



City of Lone Tree Planning Commission Agenda Tuesday, October 14, 2014

Meeting Location:
Meeting Procedure:

City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

The Lone Tree Planning Commission and staff will meet in a public Study Session at 6:00 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Kelly First, Kelly.first@cityoflonetree.com if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Kelly First, Community Development Director, at Kelly.first@cityoflonetree.com, or 303-708-1818.

6:00 p.m. Study Session Agenda

1. Administrative Matters
-

6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment
4. Minutes of the September 9, 2014 Planning Commission meeting.
5. RidgeGate Section 15, Filing 21, Lot 1 (Morningstar at RidgeGate) Site Improvement Plan, Project File #SP14-30R (The property is located at the northeast corner of RidgeGate Parkway and Commons Street in RidgeGate.)
6. Amendments to the City of Lone Tree Zoning Code related to references to the Board of Adjustment and Board of Appeals. Public Hearing Item, Project # MI14-64.
7. Adjournment

MINUTES OF THE
Lone Tree Planning Commission Meeting
September 9, 2014

Lone Tree Civic Center

1. Attendance

In attendance were:

Martha Sippel, Chair
Dave Kirchner, Vice-Chair
Rhonda Carlson, Planning Commissioner
Gary Godden, Planning Commissioner
Roy Kline, Planning Commissioner
Stephen Mikolajczak, Planning Commissioner
Herb Steele, Planning Commissioner

Also in attendance from City staff were:
Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

2. Regular Meeting Call to Order

The meeting was called to order at 6:30 pm with a quorum.

3. Conflict of Interest

There were no conflicts of interest stated.

4. Minutes of the July 22, 2014 Planning Commission Meeting

Commissioner Kline moved, and Commissioner Godden seconded, to approve the minutes. The motion passed unanimously. Commissioner Carlson abstained as she was absent at the July 22nd meeting.

5. Heritage Hills Filing 2, 3rd Amendment, Lot 9-A (Kaiser Permanente South Multi-Specialty Care Center) Site Improvement Plan, Project File #SP13-38, third amendment to Douglas County SIP#2011-037

Ms. Kelly First provided a brief introduction of the project that proposes to add a third building and parking structure, rooftop solar on the garages, and plans for optional building materials for the future buildings at the Kaiser Permanente campus. Ms. First stated that staff finds the application in compliance with City regulations and zoning and recommends approval, subject to final approval by the Public Works Department.

Ms. First responded to a question by Commissioner Godden, that the Site Improvement Plan would also serve as a Site Specific Development Plan for the purpose of vesting, and would vest the property for a period of ten years. Vesting would lock in existing zoning requirements, but she added that the applicant would still be required to comply with future changes in the City's building code.

Mr. Mike Shultz, Project Manager for Kaiser Permanente, made some brief opening remarks about the Kaiser Permanente proposal, and introduced the project architect, Jeff Stoecklein, from Davis Partnership Architects.

Mr. Stoecklein stated that Kaiser Permanente has always anticipated a third building that will complement the existing building on the campus. Their design objectives include a walkable and sustainable development with outdoor spaces that offers various experiences and provides a connection to nature. The addition of a second parking garage will reduce surface parking and enhance the outdoor experience with the addition of open space. They have coordinated with Celebrity Homes (the residential development to the west), to minimize impacts through enhanced landscaping on the west side of their building.

Mr. Stoecklein talked more about the location of surface parking near the entry to accommodate visitors that may be ill, and mentioned that the entrances to the parking garages were sited to provide good traffic/pedestrian circulation. He elaborated on some of the building materials including the sun shades and mechanical systems that will create a more sustainable building.

Mr. Stoecklein discussed options for building materials for future buildings that, if used, will maintain a cohesive look at the campus. Optional materials that could be used in the future, should such be needed due to a lack of material supplies or high material costs, include the use of orange and grey brick to replace the terra cotta and granite materials used today. The parking structures will have the same look, but will integrate the use of "green screens" (the addition of climbing vines) along portions of the parking garage. He showed proposed landscaped areas that will be created by the new buildings, including a courtyard with seating for use by patients, staff and visitors.

Commissioner Godden asked for a clarification on the fence to be constructed "by others." Ms. First stated that this is an existing fence on the Celebrity Homes (Heritage Hills) side and showed a photograph of that brick fencing. Commissioner Godden asked for information on the detention and drainage of

the site. Mr. Stoecklein stated that there is above ground detention at the southeast corner of the site goes through outlets under Park Meadows Drive. The drainage for the majority of the site will use underground drainage pipes that connect to the west through Heritage Hills. Commissioner Godden recommended better illustrations for the City Council packet, including what can be seen by the pedestrian from Heritage Hills and from Park Meadows Drive, and illustrations of what the site looks like at buildout.

Commissioner Carlson asked what electrical needs the solar panels mounted on the garages will serve. Mr. Schultz responded that they have not done that analysis, but it is possible that it will generate enough electricity for parking garage lighting and exterior lighting. Commissioner Carlson asked whether they were pursuing LEED certification. Mr. Schultz answered that they were pursuing Gold certification, and that LEED Silver was achieved for Building One.

Commissioner Kirchner complimented the design of the existing building, stating that the architecture is distinctive. He likes the addition of solar. He also felt that the use of grey brick as an option was less appealing than the existing building materials, and felt it important to maintain the orange color. He added that he likes the use of glass and bringing a feeling of “the outside in” to the buildings.

Commissioner Kline asked about the parking ratios and whether the 5 spaces per thousand square feet creates too massive of parking structures, particularly with their neighbors who may experience a shadowing effect. Mr. Stoecklein responded that the parking ratios were consistent with the other buildings and that one parking level will be below grade, which will help minimize the parking impact.

Commissioner Kline asked whether the garage rooftop parapet screening will screen parking. Mr. Stoecklein responded that the parapet will screen parking, but not the solar panels. Commissioner Kline asked if there would be a granite component. Mr. Stoecklein responded that yes, but they would like the flexibility of using brick to match. Commissioner Kline expressed concern with the use of orange brick, and stated he preferred the terra cotta materials. He added that he likes the use of the green screens and the solar. He expressed concern with traffic impacts at the intersection of Park Meadows Drive and Lincoln Avenue, projected to be at an “F” service level.

Commissioner Mikolajczak stated that he was hoping to see better graphics and samples of the building materials, and recommended that the applicant provide such to City Council. He expressed strong support for the existing building, finding it open and inviting, with a contemporary look. He felt the addition of the two new buildings will help to engage the street, and he likes the uses of glass curtain walls and sunshades. He expressed concern for the possible use of orange brick trying to look like terra cotta and some concern for the grey brick. He recommends keeping the terra cotta.

Commissioner Mikolajczak asked if the solar panels will be angled. Mr. Stoecklein responded that they will be and will cover the majority of the garage roofs, with the exception where the ramps are to be located. Commissioner Mikolajczak stated that he likes the overall design, including the green wall, the care taken to make the site nice for the adjoining residences, and the open spaces.

Commissioner Steele stated he found Building One extremely attractive and distinguishable. He asked whether the campus will have a regional draw. Mr. Schultz responded that it would likely draw from the south Metro area, and for specialty services, from Castle Rock, Parker, Highlands Ranch, Littleton and Lakewood. Commissioner Steele inquired about their hours of operation. Mr. Schultz stated 8:00 am to 5:00 pm for the most part, with imaging services up to seven days a week. Some services may operate seven days a week.

Commissioner Steele asked when most staffing would arrive, and whether they will likely use light rail. Mr. Schultz stated that many staff would arrive early and leave late and had no estimates or incentives in place for staff to use light rail. Commissioner Steele stated his overall concern relates to density of building in the area at buildout, and the concern for traffic and pedestrian conflicts trying to cross Park Meadows Drive to access light rail. He expressed concern with the amount of signalization that will occur along this corridor, causing a lot of stop and go movements. He asked whether Kaiser Permanente owns property east of Park Meadows Drive, and Mr. Schultz responded that Kaiser Permanente owns five acres. Commissioner Steele expressed concern for integrating cars and pedestrian activity between the buildings across Park Meadows Drive.

Commissioner Steele asked about building signage, and expressed support for clearly labeling buildings and installing signage to direct visitors and patients to the campus. Mr. Schultz responded that they will address and mitigate that issue to ensure visitors can navigate their way through the campus.

Commissioner Sippel shared her concern regarding traffic volumes at peak travel periods, and concern for added traffic from the additional apartments under construction in the area. She said that she likes the building design and expressed a preference for rusty, terra cotta color, instead of what she described as a salmon color. In the drawings, she prefers the use of grey brick over the current salmon-orange color brick. She expressed strong concern with providing flexibility in color and materials and not having a material sample board with which the Planning Commission can view the optional materials.

Commissioner Sippel asked about the weeds on the southwest side of the site, and the fact that trees in this area were planted too close together. Mr. Stoecklein responded that the plans always show symbols of landscaping at their mature size to account for spacing, but that they did install more dense plantings on the west side for screening purposes, at the request of Celebrity Homes. Mr.

Stoecklein added that many trees along the west side are dwarf species that may get only 12 feet in diameter.

Commissioner Sippel recommended the graphics be better labeled, particularly the photos and cross sections. She asked whether the screen wall graphic was taken from photos from Colorado. Mr. Stoecklein responded that they can get photos from Colorado.

There was discussion by the Planning Commission members and general agreement expressed for requiring Kaiser Permanente to bring the final material boards and colors back to the Planning Commission in the future for approval by the Commission.

Commissioner Mikolajczak motioned to recommend approval of #SP13-38 with the following two conditions:

1. Final approval of the SIP is subject to approval by the City Public Works Department; and
2. Prior to issuance of building permits for Buildings Two and Three and each parking structure, the applicant shall submit specific building color and materials samples for review and approval by the Planning Commission.

The motion passed by a 6-1 vote. The dissenting vote by Commissioner Kirchner was in opposition to the second condition; not to the project. He felt that the condition defeated the purpose of the applicant's request for some degree of flexibility in making final material and color selections at the time of construction through a simplified, administrative process.

6. Discussion on Concepts and Land Uses for the Outdoor Public Spaces at the Lone Tree Arts Center/Lone Tree Library

Ms. Jennifer Drybread presented graphics showing planned outdoor public spaces at the site of the future Lone Tree Library and the existing Lone Tree Arts Center, with the objective of having a general discussion regarding the Planning Commission's initial ideas and interests for uses at those sites. It was made clear that this was not intended as a promise or agreement by the City about any of the ideas, but only as a preliminary brainstorming session.

Ms. Drybread listed a number of ideas that had come from a previous meeting on this subject with the City's consulting urban designer, Dick Farley, including blocking off portions of Commons Street for street fairs, the addition of benches, landscaping, water features, places for public art, space for gourmet food trucks, space for music and entertainment, tables and areas for games, fire pit, ice skating, with activities planned for year-round use. The Planning Commission suggested:

- Relocating art from the existing Lone Tree Library
- A gazebo for weddings and other events
- Tensile or other shade structures for immediate shade
- The importance of having a focal point by the Arts Center since the east drive is to be relocated to the north to align with the future Arts Center Drive.
- Using the amenities proposed for the Arts Center that were included in a presentation by RidgeGate at a previous RidgeGate community meeting.

Some Planning Commission members expressed support for some of the ideas presented by staff including a space for outdoor weddings, water fountain, ice skating, benches, water features, sculptures, and a coffee kiosk.

The Planning Commission was invited to attend a presentation by the Library at the next City Council meeting on September 16th.

7. Public Comment

There was no public comment.

8. Adjournment

There being no further business, Chair Sippel adjourned the meeting at 8:25 p.m.

These minutes have been reviewed and confirmed by

_____ (name), on _____(date)



CITY OF LONE TREE
STAFF REPORT

TO: City of Lone Tree Planning Commission

FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

DATE: October 8, 2014

FOR: October 14, 2014 Planning Commission Meeting

SUBJECT: RidgeGate Section 15, Filing 21, Lot 1 (Morningstar at RidgeGate)
Site Improvement Plan, Project File #SP14-30R

Owner:
Lincoln Commons South, Inc.
10270 Commonwealth St., Suite B.
Lone Tree, CO 80124

Representative:
Haselden Construction
8000 S. Lincoln St., Suite 206
Littleton, CO 80122

Planning Commission Meeting Date:
City Council Meeting Date:

October 14, 2014
November 18, 2014

A. REQUEST:

Approval of a Site Improvement Plan (SIP) for a 224-unit senior living facility on 4.824 acres.

B. LOCATION:

The property is located in RidgeGate in the area known as Lincoln Commons South. The property is located between RidgeGate Parkway to the south and Arts Center Drive (now under construction) to the north. The adjacent land uses are as follows:

East: Future townhomes (New Town Builders)
West: Lone Tree Arts Center

North: Undeveloped land (planned for the future Lone Tree Library and other commercial mixed-use development north of Arts Center Drive)

South: RidgeGate Parkway, residential uses

C. SITE CHARACTERISTICS:

The property had been overlot graded. There is no vegetation remaining on site. The property gently slopes down from south to north with approximately 10 feet of grade change.

D. SERVICE PROVIDERS:

Water:	Southgate Water District
Sanitation:	Southgate Sanitation District
Police:	Lone Tree Police
Fire:	South Metro Fire Rescue Authority
Special Districts:	Rampart Range Metropolitan District

E. BACKGROUND:

The property was originally planned in 2008 as part of a mixed-use retail area. Since then, for a variety of reasons, the master developer for RidgeGate has said that the retail concept in this area is not feasible. Instead, the new plan includes a senior living facility proposed with this application, recently approved townhomes, and a new public library expected to be heard by the Planning Commission this fall. In April of this year, an amended Sub-Area Plan for Lincoln Commons was approved, laying the groundwork for the revised development plan.

F. DESCRIPTION:

Zoning. The proposed senior living facility is permitted by zoning. The property is zoned PD and is within a Commercial-Mixed Use (C/MU) Planning Area in the RidgeGate Planned Development. The zoning allows residential as a permitted use.

Access. The property is proposed to be accessed via Commons Street, as well as Arts Center Drive and Belvedere Lane (both streets now under construction). The west driveway accesses the main entrance to the building; the north driveway accesses parking (surface and underground); and the east driveway accesses the memory care units.

Parking. Staff finds the proposed amount of parking is adequate to meet the needs of the facility, based on staff research and documentation from the applicant.

The parking proposed is provided both in surface and underground parking. The exterior parking is located on three small surface lots and in underground parking, thereby minimizing the visual impact of parking fields. Environmental impacts are also minimized in this way through the reduction in the heat-island effect (heat gain and re-radiation of heat of large pavement areas).

The parking section of the City's Zoning Code lists a parking standard for nursing homes based on .5 parking spaces per bed. However, it does not specifically address parking for this type of facility that provides a continuum of care (a mix of independent living, assisted living and memory care).

Staff has consulted the *Parking Generation* manual, 3rd Edition, published by the Institute of Transportation Engineers (ITE). Of similar facilities surveyed by ITE, parking of .5 spaces per unit on were provided on average for independent, assisted living and skilled nursing facilities.

Morningstar at RidgeGate is proposing a total of 224 units. At .5 spaces per unit, 112 parking spaces would be required. The developer is proposing 156 on-site parking spaces. This calculates to .70 spaces per unit.

Staff asked the Morningstar representative to address parking needs in a separate letter (see attached). Morningstar calculates parking demand based on their experience at their other facilities and based on the resident level of care (for example, Morningstar concludes that few assisted living residents and no memory care residents drive). Also taking also into account parking demand for these residents, plus independent living residents, visitors and staff parking needs, they conclude that there will be more than adequate parking to meet the demand.

Building Design. Staff finds that the proposed building design is consistent with the City's Design Guidelines and applicable Sub-Area Plan.

The architectural context of the overall area will consist of a mix of both traditional and contemporary styles, complementing each other through careful transitions in massing and the use of quality materials and earth toned colors.

Considerable effort has been made to transition the building mass and scale with the nearby residential units and the Lone Tree Arts Center. This has been accomplished by limiting building heights to a maximum of three stories in these areas. The building transitions up to a height of five stories on middle portion of the north and west sides of the building. However, these taller areas are generally stepped back from the street to help reduce building mass and relate with adjacent development. Additionally, the floor level of the building along RidgeGate Parkway is lower than the road, again, minimizing building's visual impact from the road and for residents living in the Lincoln Park townhomes to the south. The building heights are compliant with zoning.

Vertical elements, such as brick and stucco features, window orientation and architectural embellishments are also added to help break up the generally horizontal building form.

As this building is visible on all four sides by public streets, "360 degree" architectural treatment has been applied to this building design, with building materials and colors wrapping the building.

Considerable attention has been given to the northwest corner of the building where an outdoor patio and seating area has been added to help activate this area adjacent to the City's Art Center and future Library.

Building colors are generally earth toned, with orange, yellow and red colors limited to building accents, in keeping with the City's Design Guidelines. Building materials include stucco and brick veneer that are durable and provide architectural variety.

All service areas, trash receptacles, and generators are screened from public view. All rooftop mechanical is screened from public view.

Landscaping. The proposed landscape and irrigation plans are compliant with the City's requirements and that of the applicable Sub-Area Plan. Landscaping proposed is adapted to this climate, and is generally low-water intensive.

Retaining and screen walls are located along the south, southwest, northeast and northwest corners of the property. No wall is taller than 5 feet. Walls at the northwest corner are tiered to reduce the visual impact. Retaining walls along RidgeGate Parkway are planned downslope from the street, minimizing visual impact. Landscaping has also been added in areas to help soften the visual impact of the walls.

Lighting. Street lights and pedestrian lights are compliant with the RidgeGate standard. Security lighting is fully cut-off to minimize light pollution.

Snow Storage. Snow storage areas are designed in various portions of the surface parking lots throughout the site, and noted on the SIP.

Local Park Dedication. The requirement for local park dedication is calculated based on provisions of the approved Sub-Area Plan. Staff recommends that credit be given toward the park requirements, based on the large central courtyard, fitness center, pool and spa, art room, game/card room, and theater. Consistent with the Sub-Area Plan provisions related to consideration of credits, the recommended cash-in-lieu fee is \$19,200. Payment will be required to the City prior to issuance of a building permit, as recommended through a condition of approval.

G. **REFERRALS:** The following community meetings were held by Coventry Development Corporation on the application:

- September 9, 2013 – meeting with 7-8 residents living closest to the Morningstar site to get initial feedback
- October 8, 2013 – meeting with Living and Aging Well in Lone Tree. Approximately 30 people in attendance
- October 8, 2013 – first community evening meeting with RidgeGate residents to present project and Lincoln Commons South Area development. Approximately 110 people in attendance
- December 11, 2013 – second community evening meeting with RidgeGate residents regarding Morningstar project. Approximately 60 people in attendance
- May 6, 2014 – third community evening meeting to provide project update. Approximately 40 people in attendance
- June 10, 2014 – second meeting with Living and Aging Well group regarding project. Approximately 30 people in attendance.

All Homeowner Associations in the City were sent a referral and no responses were received. Although not a requirement of the SIP process, staff also mailed notifications to each of the adjoining residents in the Lincoln Park neighborhood, containing general project information, staff contact information, and the date and time of the public meetings.

The RidgeGate Design Review Committee has reviewed and approved the design plans (meeting notes are included in the packet).

South Metro Fire Rescue Authority responded with a number of technical issues that are being addressed by the applicant. Sign off on the building permit by South Metro will be required prior to permit issuance.

The applicant will address Public Works Department referral comments (who conclude with no overall objection to the proposal) prior to final approval of the SIP (a condition of SIP approval).

H. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, and the RidgeGate Lincoln Commons Commercial Mixed-Use Sub-Area Plan.

Staff notes that the Comprehensive Plan supports senior friendly housing development, including “assisted living facilities, [located] near social services, public facilities, and commercial areas to reduce feelings of isolation and to ensure access to employment, education, and other activities.”

Staff recommends the Planning Commission recommend approval of the SIP to City Council, subject to:

1. Final approval by the Public Works Department
2. The local park dedication for the property will be paid to the City by the applicant, prior to issuance of a building permit

END

City of Lone Tree

Department of Community Development
9220 Kimmer Drive Suite 100
Lone Tree, CO 80124
Ph: 303-708-1818 Fax 303-225-4949

DEVELOPMENT APPLICATION FORM

RidgeGate Sec 15, Fld. 21, Lot 1
PROJECT NAME: MorningStar at RidgeGate

◆ OFFICE USE ONLY ◆
PROJECT FILE # SP14-30R

REQUEST: SIP

SITE LOCATION: NE Corner of RidgeGate Parkway & Commons St

(Nearest Intersections)

OWNER: Lincoln Commons South, Inc

Name: Darryl Jones

Address: 10270 Commonwealth Street, Suite B
Lone Tree, CO 80124

Phone: 720-279-2483 FAX:

AUTHORIZED REPRESENTATIVE: Haselden/MorningStar Lone Tree, LLC

Name: Jerry Blocher

Fax: 303-751-1627

Address: 6950 South Potomac St
Centennial, CO 80112

Email: jerryblocher@haselden.com

Phone: 303-728-3730

Business/Project Name: MorningStar at RidgeGate

LEGAL DESCRIPTION (site address): Sky Ridge, Commons St, & 9251 RidgeGate Parkway

PROJECT INFORMATION:

Subdivision Name: RIDGEGATE SECTION 15 Filing #: 21

Lot # (if appropriate): (Future Lot / 1) Block #: / 1

Planning Area # (if PD)

PRESENT ZONING: MU-PUD

(When rezoning) – PROPOSED ZONING N/A

GROSS ACREAGE: 4.824

of units (residential)

Unit type:

FIRE DISTRICT: South Metro Fire Rescue Authority

METRO DIST: Rampart Range

WATER: SOUTH GATE

ELEC: Xcel

SEWER: SOUTH GATE

GAS: Xcel

Further submissions pursuant to this application may include any and all development proposals, submissions, applications and procedures that may be made or initiated under the City of Lone Tree Charter, ordinances, rules, regulations, guidelines or policies including, without limitation, those for any of the following: (i) annexation; (ii) zoning or re-zoning, including any development plan for zoning within the Planned Development (PD) District; (iii) preliminary PD or PUD site plan, or related design guidelines or development standards; (iv) final PD or PUD site plan; (v) Site Improvement Plan; (vi) any master or general development plan, sub-area plan, site plan or similar development plan, however denominated, which may be provided for under any PD development plan or any other zoning; (vii) Sketch Plan, Preliminary Plat or Final Plat; or (viii) any amendment made to any of the foregoing, as applied for or as approved. *To the best of my knowledge, the information contained on this application is true and accurate.*

APPLICANT SIGNATURE: [Signature]

Date: 4/28/14

APPLICANT'S NAME (PRINTED): by Jerry Blocher, authorized agent

10/14/14

5650 DTC Parkway, Suite 200
Englewood, CO 80111
(303) 773-0436
(303) 773-8709 Fax

September 10, 2014

MorningStar at RidgeGate – Project Narrative (Section 16-27-60)

Project Team:

Owner:
Haselden/MorningStar Lone Tree, LLC
6950 South Potomac Street
Centennial, Colorado 80112
Contact: Jerry Blocher

Civil Engineer:
J3 Engineering Consultants
6505 South Paris Street, Suite B
Centennial, Colorado 80111
Contact: Jason Margraf

Architect:
Lantz-Boggio Architects, P.C.
5650 DTC Parkway, Suite 200
Englewood, Colorado 80111
Contact: Dwight Miller

Landscape Architect:
Blu Design Group
1238 South Broadway
Denver, Colorado 80210
Contact: Ariel Gelman

Electrical Engineer:
MEP Engineering, Inc.
6402 South Troy Circle
Centennial, Colorado 80111
Contact: Mardi Jones

Project Name:

MorningStar at RidgeGate

Lot 1, Filing 21 of Rampart Range Metropolitan District 1
A portion of Lot-2A, RidgeGate Section 15 Filing No. 5 – 1st Amendment,
Located in the Northwest Quarter of Section 15, Township 6 South, Range 67
West of the Sixth Principal Meridian, City of Lone Tree, County of Douglas,
State of Colorado

The MorningStar at RidgeGate project is a high-quality continuing care senior living campus in the Mixed Commercial/Mixed Use Planning Area as part of the RidgeGate Planned Development District, located in Lone Tree, Colorado. The project will include 124 independent living, 71 assisted living, and 29 memory care resident units for a total of 224 total units comprising approximately 265,000 square feet of enclosed space. Situated on 4.824 acres, the varying height structure has been designed to place the tallest and highest density portion of the project toward the northern side of the site,

thereby, minimizing the most immediate massing impact to the existing townhouses and other residences to the south of RidgeGate Parkway. Additionally, the design takes advantage of the natural topography of the site that slopes downward from the south to the north. This slope allows the first floor of the building to be approximately 13-feet lower than the floor level of the existing townhouses; thereby, lowering the roofline of the building by a story when viewed by the neighbors to the south.

The purpose of this project is to provide a first-class home for its residents where they are able to maintain dignity and independence in a comfortable and familiar residential environment even after they require assistance with activities of daily living. The location for this project was specifically selected for its prominence in the RidgeGate development, as well as its proximity to the surrounding residential neighborhoods. This immediacy allows the residents to continue to live in a residential setting and, quite often, close to their families. Both inside and out, the project design works synergistically with the operating principles of MorningStar to promote the livelihood of the residents and the community as a whole.

This SIP submittal includes the required drawings, documents, and narratives to demonstrate compliance with the Intent and Approval Standards of the Zoning Code.

Construction is anticipated to commence with grading operations in November, 2014, foundations in December, 2014, and full construction activities by April, 2015. Anticipated project opening is in the first quarter of 2016.

Sustainable features of the MorningStar at RidgeGate project include:

- Close proximity to existing housing. Families and staff who live in surrounding neighborhoods will have limited commutes to and from work, to the point that they could walk or bike to visit or for work.
- Convenient access to local pedestrian and bike trails. The local trail system helps facilitate low environmentally impactful means of transportation.
- Energy Star appliances specified.
- Most lighting will utilize LED lamps.
- White membrane roofing used at low slope roof is specified to be used and has a higher reflectivity than darker colored membrane roofs.
- In addition to locations required by Code, occupancy sensors are specified at all of the resident unit bathrooms. This will lower energy use.
- All paints are specified to be low VOC.
- Surface parking lots have been limited in size, in favor of a parking structure beneath the building, allowing more area for landscaping.



Statement of Design Intent

Using this form, or a separate page, please describe how the project meets the intent of the City of Lone Tree Design Guidelines, including the City's Core Design Principles. (If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well).

Please use the outline below as a guide in formulating your response. You may also use this opportunity to describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

Project Name: MorningStar at RidgeGate

Location: RidgeGate Parkway and Commons Street

1. Overall Design Concept:

Briefly describe the use and overall concept for the project as a whole.

The MorningStar at RidgeGate project is a high-quality continuing care senior living campus in the Mixed Commercial/Mixed Use Planning Area as part of the RidgeGate Planned Development District, located in Lone Tree, Colorado. The project will include 124 independent living, 71 assisted living, and 29 memory care resident units for a total of 224 total units comprising approximately 265,000 square feet of enclosed space. Situated on 4.824 acres, the varying height structure has been designed to place the tallest and highest density portion of the project toward the northern side of the site, thereby, minimizing the most immediate massing impact to the existing townhouses and other residences to the south of RidgeGate Parkway.

As safety and security are of great concern to the residents and their families, the building is designed to provide enclosed courtyard. One space is specifically for the memory care residents, and a second that is shared between the independent and assisted living residents. This shared courtyard is located to the middle of the project site and helps to provide the buffer between the tallest portion of the building and adjacent neighboring residences.

Finally, this project is designed and will operate in many hospitality aspects found in luxury resorts. The wellness center includes a swimming pool, hot tub, massage room, and spaces for a physicians to provide treatment. The dining facilities include a display kitchen similar to those found in many contemporary restaurants with both indoor and outdoor seating and a bar and lounge space appointed with soft seating for intimate gatherings with friends.

2. Context and Site:

Describe how the project relates functionally and visually to the context of the surrounding area (consider issues of form and character; the natural environment; vehicular and pedestrian access and circulation systems, etc.).

As noted above, the MorningStar at RidgeGate project has been designed such that the tallest and highest density portion of the building is located at the northern side of the site, thereby, minimizing the most immediate massing impact to the existing townhouses and other residences to the south of RidgeGate Parkway. Additionally, the design takes advantage of the natural topography of the site that slopes downward from the south to the north. This slope allows the first floor of the building to be approximately 13-feet lower than the floor level of the existing townhouses; thereby, lowering the roofline of the building by a story when viewed by the neighbors to the south.

The parking lots at the East and West entrances to the building are intentionally small in both size and number of spaces, forcing most of the parking to be centralized to the larger parking lot to the north side of the site and beneath a portion of the building accessed off of the northern parking lot. As noted in the attached parking narrative from MorningStar, the number of drivers who reside in these types of projects are far fewer than other multi-family type projects, therefore, the traffic generated by this project is generally considered to be minimal.

3. Public Realm

Describe how the project contributes to an inviting, safe and functional public realm (consider public spaces, street/sidewalk – level experience, lighting, landscaping and signage).

The MorningStar at Ridgegate landscaping is based on the following planting design principles:

The planting palette provides a wide range of colors, textures, and heights all year long (see flowering chart). The intensive of use perennials and ornamental grasses provide a comfortable pedestrian scale. They were carefully selected not only for water and light requirements but also as soft elements defining circulation, and providing a vertical barrier (for views or safety).

Trees and shrubs provide the upper layers with a lot of character and structure. During the wintertime, evergreens and most importantly ornamental grasses deliver color, texture and soft architectural edges at specific locations. From the urban perspective, large deciduous trees frame the entire site along with future city plantings. Large evergreens used in specific locations where a focal point was sought or as a complement to the building volume. Main entries to buildings are the focal point where the use of perennials, flowering trees, and ornamental grasses is most intense. Planting design defines spaces, complement signage, and hide undesirable views from public realm. Retaining walls are softened with cascading perennials as well as evergreen vines in order to soften its mass and at the same time to produce a 'garden-like-feeling'.

The building design specifically addresses each of the site corners. At the southwest corner, the building is stepped in plan around the corner to relate to the roundabout at RidgeGate Parkway and Commons Street. The southeast corner of the building has been set into the ground to reduce the exposed portion of the building immediately at this corner to a single story, which is also set back from both the road and the detached sidewalk to allow landscaping to interact with retaining walls and the signage wall. The building notched at the northeast corner to allow the integration of low retaining walls that can serve as seating walls. Finally, a pedestrian plaza space is integrated into the northwest corner. Planter walls step down as the building approaches this corner to allow plantings to soften the building edges and form a seating area for pedestrians and residents. The private dining room with

balconies has been located at this corner of the building to overlook the plaza and intersection and create an interaction between the street level and the building space that is perched a story above.

The vehicular plaza at the West entry to the building is designed to emulate a European motor court. Scored concrete is used to identify the main entry, to distinguish this area from the asphalt paving at the parking area and to integrate it with the pedestrian circulation. The pedestrian path to the West entry is lit with lantern fixtures mounted to the top of brick bollards that protect the path.

4. Architectural Design

Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high quality design (consider building form and composition, façade composition and articulation, materials and colors and lighting).

The exterior of the building is finished in a combination of brick and varied colors of stucco, and has sloped asphalt shingle roofs, low slope roofs with parapets, and accent roofs with red standing seam metal roofing. The brick veneer is a strong and heavy material that is generally applied at the lower stories to form a “grounded base” for the building. The mixture of stucco colors, interplay with the varying building heights and “ins and outs” of the façade to break down linear nature of the building. The placement and depth of the balconies is strategically done to create vertical stacking of elements to create further interest at the building’s façade. Large windows are used throughout to offer views from the inside to the surrounding buildings, streetscape, and in the distance both downtown Denver and mountain scenery to the West. These windows, with the stucco control joints, also create a rhythmic pattern at the exterior.

To promote liveliness at the dining plaza located near the northwest corner of the building, vibrant yellow canopies are located above windows and doors creating an eye-catching and inviting outdoor space for residents to enjoy their dining experience.

The story and a half tall wellness center, located at the southern portion of the site, is centralized between the independent living, 5-story building and the 3-story assisted living building so that it can be shared by all residents. The exterior design includes large expanses of glazing to take advantage of the natural light and views toward RidgeGate Parkway.



September 17, 2014

Jennifer Drybread
Senior Planner
City of Lone Tree
9220 Kimmer Drive, #100
Lone Tree, CO 80124

Re: Parking for MorningStar at RidgeGate

Dear Jennifer:

As part of our Site Improvement Plan submittal to the City of Lone Tree, we wish to specifically address parking needs for our planned project, MorningStar at RidgeGate (MSR). MorningStar operates or has under development over 2,300 units of independent living, assisted living and memory care in over 20 projects in six states, and over half of these projects (comprising over 1,300 units) are materially similar to the planned project in that they include independent living (IL), assisted living (AL) and memory care (MC) in congregate communities ranging in size from 193 units to 240 units. In addition, the MorningStar principals have decades of experience developing and operating projects very similar to the planned MorningStar at RidgeGate. We draw from this broad and deep experience when designing our new projects, including the parking requirements.

It is important to understand that the primary purpose of our senior living projects is to provide a high-quality home for our residents where they are able to maintain dignity and independence in a comfortable and familiar residential environment even after they require assistance with activities of daily living (ADLs). Since many of our residents will, in fact, need assistance with ADLs, only a small percentage of our residents, especially in assisted living, have or drive cars. Further, no residents in our memory care neighborhoods have or drive cars. Vehicular traffic and parking needs are limited to approximately 25-50% of our independent living residents, our staff, visitors and outside vendors.

In an effort provide specific data related to MorningStar at RidgeGate, we expect a maximum staff load during the day (peak time) of approximately 44 staff. In MorningStar's current portfolio, 36.9% of IL residents and 5.9% of AL residents have cars. For our RidgeGate parking analysis presented below, we assume approximately 40% of the IL residents and 7.5% of the AL

residents will have cars. Applying these assumptions to the MSR program suggests a need for 53 parking spaces for IL residents and 6 spaces for AL residents once the project achieves stabilized occupancy. No memory care residents will have cars. We then assume a maximum of 35 visitors at any given time during a normal day. Far less than 100% of our workforce typically drive separate cars, but if we assume either 80% of staff or 100% of staff drive separate cars to work (conservative assumptions in either case), the maximum required parking is as follows:

	80% of Staff Drive Separately	100% of Staff Drive Separately
Max Staff Spaces	35	44
IL Resident Spaces	53	53 <i>Assumes 40% have cars</i>
AL Resident Spaces	6	6 <i>Assumes 7.5% have cars</i>
MC Resident Spaces	0	0
Visitors	35	35
Total Spaces Needed	129	138
Onsite Spaces Provided	156	156

Another approach to projecting parking requirements for senior living is to use widely accepted industry benchmarks. The chart below reflects industry benchmark parking requirements of .75 spaces per independent living unit and .50 spaces per assisted living and/or memory care unit applied to the planned unit mix for MorningStar at RidgeGate.

Unit Type	Unit Count	Spaces/Unit	Total
Independent	124	0.75	93
Assisted/Memory Care	100	0.50	50
Total	224	0.64	143
Onsite Spaces Provided		0.70	156

As a final data point, the average parking ratio for all similar MorningStar communities is .66 parking spaces per unit – lower than the ratio planned for MorningStar at RidgeGate.

Jennifer, we are excited to introduce a beautiful and much-needed project to serve the seniors of Lone Tree and to join its vibrant business community. Please do not hesitate to reach out with any questions.

Sincerely,

 Matt Turner

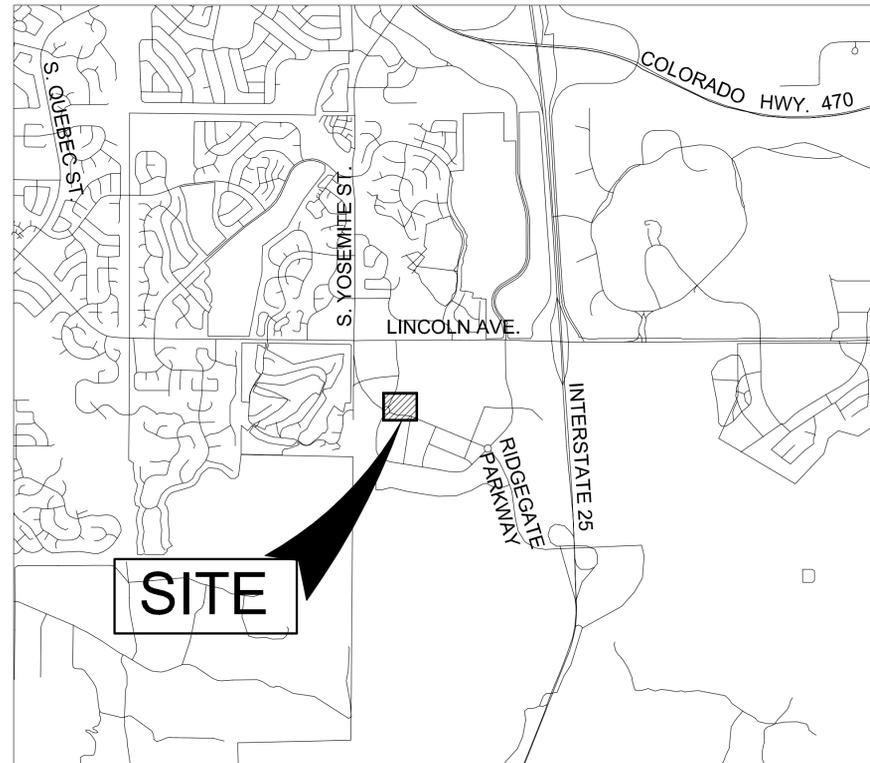
Chief Financial & Development Office, MorningStar Senior Living

RIDGEGATE SECTION 15, FILING 21, LOT 1

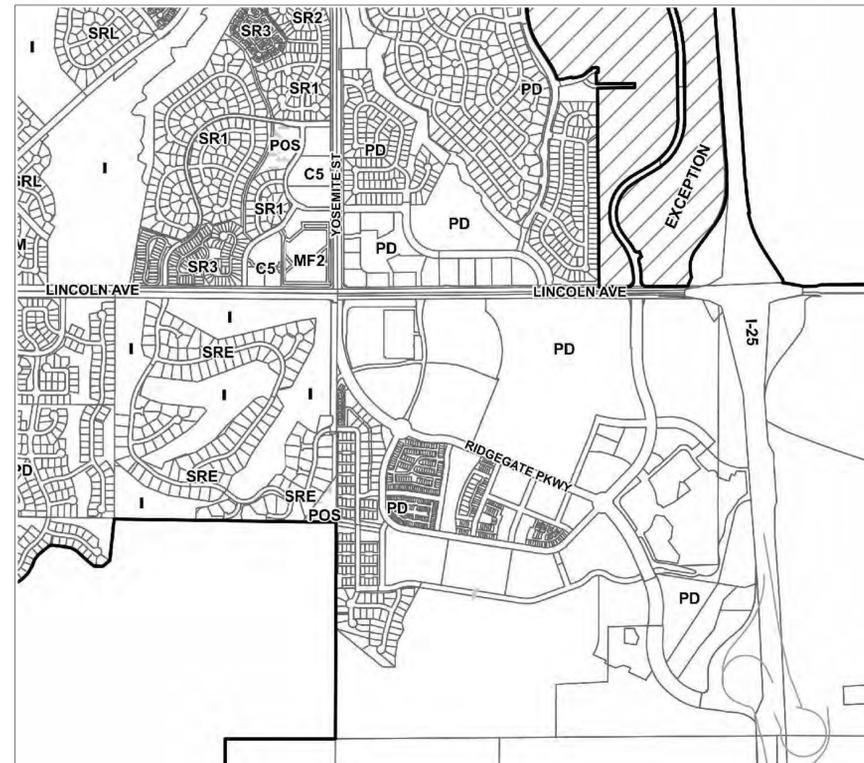
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

4.8 ACRES
SITE IMPROVEMENT PLAN PROJECT #SP14-30R

J3 ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
6505 S. Paris St., Suite B - Centennial, CO 80111-6500
(303) 368-5601 - FAX: (303) 368-5603
Email: jmargin@j3engineering.net



VICINITY MAP
1" = 2000'



PLANNED DEVELOPMENT MAP
1" = 1000'



APPROVAL CERTIFICATE:

THIS SITE IMPROVEMENT PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH THE CITY REGULATIONS, AS APPROVED BY THE CITY ON (DATE).

BY: _____

NAME: _____
TITLE: COMMUNITY DEVELOPMENT DIRECTOR

DATE: _____

BY: _____

NAME: _____
TITLE: CITY ENGINEER

DATE: _____

BY: _____

NAME: _____
TITLE: MAYOR

DATE: _____

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREIN IN ACCORDANCE WITH THE APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE CITY OF LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S)'S REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

NAME OF OWNER _____

SIGNATURE OF OWNER _____

PRINTED NAME AND TITLE _____

STATE OF _____)

COUNTY OF _____)ss.

SUBSCRIBED AND SWORN TO BEFORE ME THIS ___ DAY OF _____, 20__ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.

OWNER: _____

MORNINGSTAR LT, LLC
6905 S. POTOMAC ST.
CENTENNIAL, CO 80112
CONTACT: JERRY BLOCHER
PH: 303.728.3830

ARCHITECT: _____

LANTZ BOGGIO ARCHITECTS, P.C.
5650 DTC PARKWAY, SUITE 200
ENGLEWOOD, CO 80111
CONTACT: DWIGHT MILLER, R.A.
PH: 303.773.0436

ELECTRICAL ENGINEER: _____

MEP ENGINEERING, INC.
6402 S. TROY CIRCLE
CENTENNIAL, CO 80111
CONTACT: MARDI JONES
PH: 303.936.1633x325
EMAIL: Mardi@mep-eng.com

CIVIL ENGINEER: _____

J3 ENGINEERING CONSULTANTS, INC.
6505 S. PARIS STREET, SUITE B
CENTENNIAL, CO 80111
CONTACT: JASON D. MARGRAF, P.E.
PH: 303.368.5601
EMAIL: jmargin@j3engineering.net

LANDSCAPE ARCHITECT: _____

BLU DESIGN GROUP
1238 S BROADWAY
DENVER, CO 80210
CONTACT: ARIEL GELMAN, R.A.
PH: 720.505.3784

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	SITE PLAN
3	GRADING & UTILITY PLAN
4	PLANTING PLAN - NO TREES OR SHRUBS
5	PLANTING PLAN - TREES OR SHRUBS ONLY
6	IRRIGATION PLAN
7	PLANTING DETAILS AND NOTES
8	SITE PHOTOMETRIC PLAN
9	FIXTURE SCHEDULE & FIXTURE CUT SHEETS
10	FIXTURE CUT SHEETS
11	ARCHITECTURAL SITE PLAN
12	ARCHITECTURAL BASEMENT LEVEL FLOOR PLAN
13	EXTERIOR BUILDING ELEVATIONS
14	BUILDING CROSS SECTIONS
15	TRASH ENCLOSURE DETAILS

NOTE:
THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.

**MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN
COVER SHEET**

MORNINGSTAR LT, LLC
6905 South Potomac St.
Centennial CO 80112
Phone: 303-728-3830
Contact: Jerry Blocher

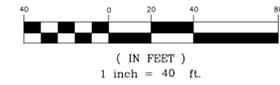
No.	Date	Description
7		
6		
5		
4	10/07/14	3rd Submittal
3	09/15/14	2nd Submittal
2	04/25/14	1st Submittal
1		

Project Number: **092004**
Designed By: **JDM**
Drawn By: **GKP**
Checked By: **JDM**
Sheet Number: **1**

RIDGEGATE SECTION 15, FILING 21, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

4.8 ACRES
SITE IMPROVEMENT PLAN PROJECT #SP14-30R



LEGEND:

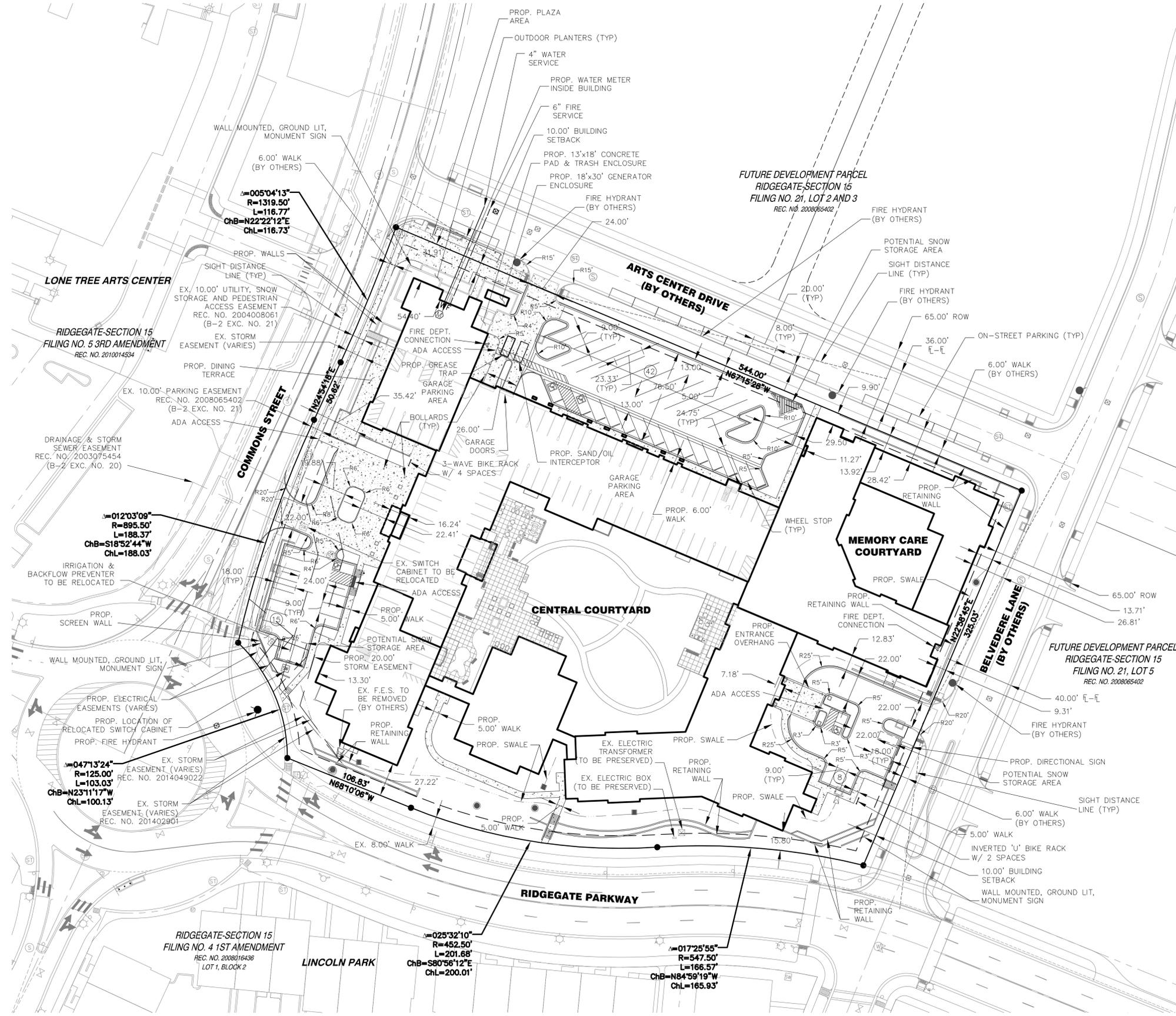
- PROPERTY BOUNDARY
- PROPOSED CENTERLINE
- PROPOSED CURB AND GUTTER
- PROPOSED ROW
- EXISTING CENTERLINE
- EXISTING CURB AND GUTTER
- EXISTING ROW
- EXISTING EASEMENT
- BUILDING SETBACK
- SIGHT DISTANCE LINE

SITE DATA TABLE		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	210,151	100
BUILDING FOOTPRINT	81,825	39
PARKING/ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS)	35,801	17
LANDSCAPED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS, TRAILS AND WALKS)	79,085	38
TRAILS/WALKS (INCLUDING PLAZA AREA)	13,440	6
ITEM		VALUE
MAXIMUM BUILDING HEIGHT		68'-0"
MAXIMUM BUILDING HEIGHT @ SPECIAL FEATURES / TOWERS		72'-0"
AVERAGE ROOF HEIGHT		61'-8"
AVERAGE GRADE PLAN		97'-0"
TOTAL FLOOR AREA		235,000
INDEPENDENT LIVING UNITS		124
ASSISTED LIVING UNITS		71
MEMORY CARE UNITS		29
TOTAL UNITS		224

PARKING DATA TABLE	
ITEM	VALUE
PARKING FOR STAFF	35
PARKING FOR INDEPENDENT LIVING RESIDENTS	53
PARKING FOR ASSISTED LIVING RESIDENTS	6
PARKING FOR VISITORS	35
TOTAL REQUIRED PARKING	129
PARKING PROVIDED	
ITEM	VALUE
EXTERIOR PARKING	65
INTERIOR PARKING	91
ON-STREET PARKING	16
TOTAL PARKING	172
BICYCLE PARKING	6

NOTES:

1. ALL DIMENSIONS AT CURB AND GUTTER ARE TO FLOWLINE.
2. FLOWLINE RADII ARE 2.0' UNLESS OTHERWISE NOTED.
3. RELATIVE TO EMERGENCY/FIRE ACCESS LANES, ALL THREE ENTRANCES TO THE SITE ARE 'PULL-IN, PULL-OUT' ACCESS ONLY. WIDTH OF ENTRANCES ARE SHOWN ON THIS SHEET.



ENGINEERING CONSULTANTS
 Contact: Jason D. Margraf, PE
 6505 S. Paris St., Suite B - Centennial, CO 80111-6500
 (303) 368-5601 ~ FAX: (303) 368-5603
 Email: jmargin@engineering.net

MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN
SITE PLAN

MORNINGSTAR LT, LLC
 6905 South Potomac St.
 Centennial CO 80112
 Phone: 303-728-8830
 Contact: Jerry Blocher

No.	Date	Description
7		
6		
5		
4	10/07/14	3rd Submittal
3	09/15/14	2nd Submittal
2	04/25/14	1st Submittal
1		

No.	Date	Description
7		
6		
5		
4		
3		
2		
1		

Project Number: **092004**
 Drawn By: **GKP**
 Designed By: **JDM**
 Checked By: **JDM**
 Sheet Number: **2**

RIDGEGATE SECTION 15, FILING 21, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

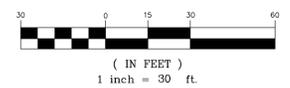
4.8 ACRES
SITE IMPROVEMENT PLAN PROJECT #SP14-30R

No.	Date	Description
7		
6		
5		
4	10/07/14	3rd Submittal
3	09/15/14	2nd Submittal
2	04/25/14	1st Submittal
1		

Project Number:	Drawn By:	Checked By:	Sheet Number:
092004	JDM	GKP	3

EARTHWORK QUANTITIES		
CUT (CY)	FILL (CY.)	NET (CY.)
20,480*	3,840	16,640 (CUT)

*CUT NUMBER WAS ADJUSTED FOR THE REMOVAL AND STOCKPILE OF 6" OF TOPSOIL. THE NET CUT IS UNDERSTOOD TO BE PLACED WITHIN THE RIDGEGATE DEVELOPMENT (OFF-SITE) FOR PERMANENT PLACEMENT.

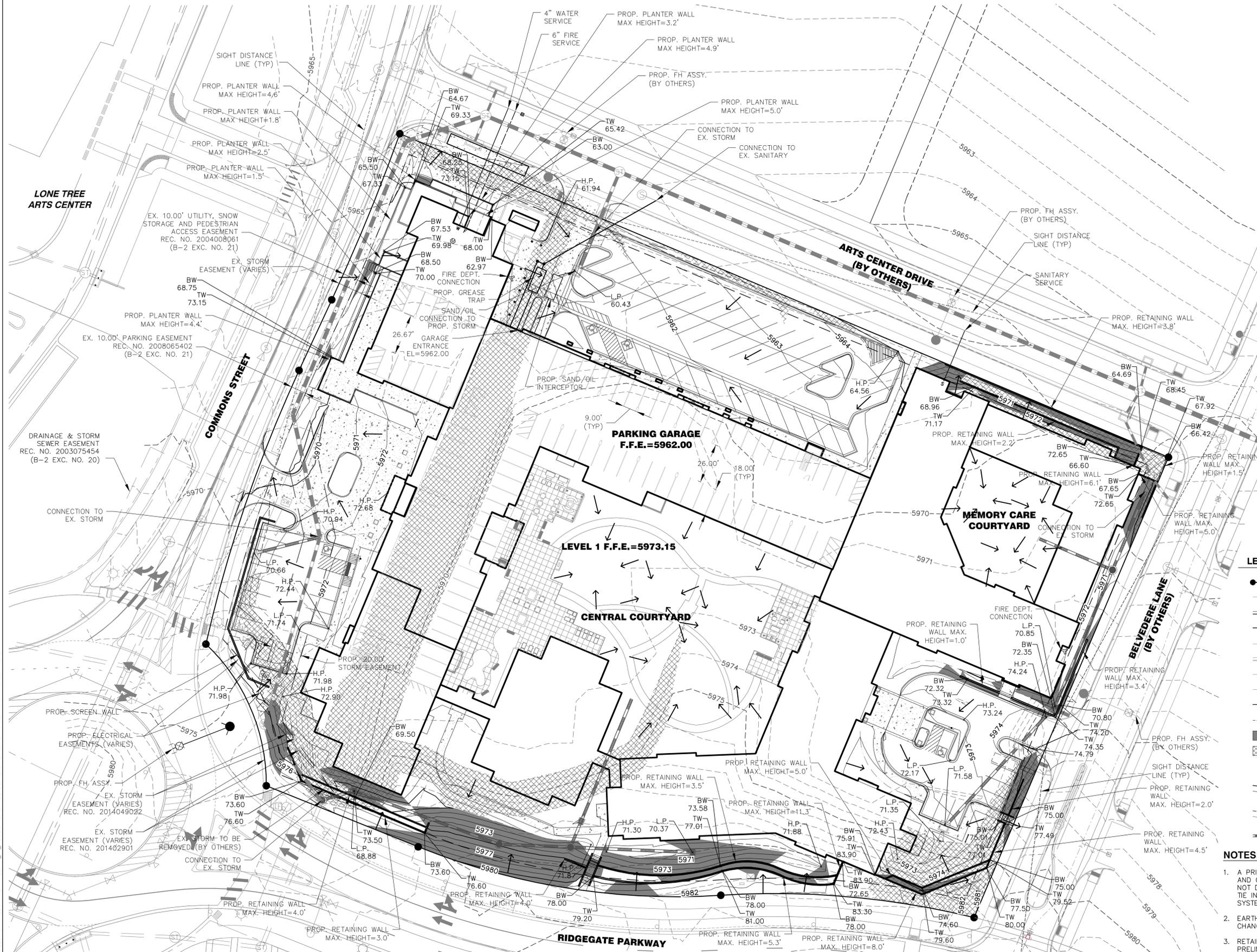


LEGEND:

- PROPERTY BOUNDARY
- PROPOSED CENTERLINE
- PROPOSED CURB AND GUTTER
- PROPOSED ROW
- EXISTING CENTERLINE
- EXISTING CURB AND GUTTER
- EXISTING ROW
- EXISTING EASEMENT
- BUILDING SETBACK
- SIGHT DISTANCE LINE (TYP)
- PROP. GRADING > 4:1 SLOPE
- EX. GRADE > 5:1 SLOPE
- FLOW ARROW
- PROPOSED CONTOURS
- EXISTING CONTOURS
- STORM SEWER

NOTES:

1. A PRIVATE DRAINAGE SYSTEM IS ANTICIPATED TO CAPTURE AND CONVEY RUNOFF FROM DOWNSPOUTS. THIS SYSTEM IS NOT DEPICTED ON THIS PLAN BUT SHALL BE ALLOWED TO TIE INTO THE EXISTING AND PROPOSED STORM SEWER SYSTEM.
2. EARTHWORK QUANTITIES ARE PRELIMINARY AND SUBJECT TO CHANGE
3. RETAINING WALL LOCATIONS, LIMITS AND LENGTHS ARE PRELIMINARY AND SUBJECT TO CHANGE.



L:\0815\MORNINGSTAR\RIDGEGATE\PLAN\BETS\SP14-30R\PLAN.DWG 10/7/2014 9:45 AM GREG PHILPOTT

RIDGEGATE SECTION 15, FILING 21, LOT 1

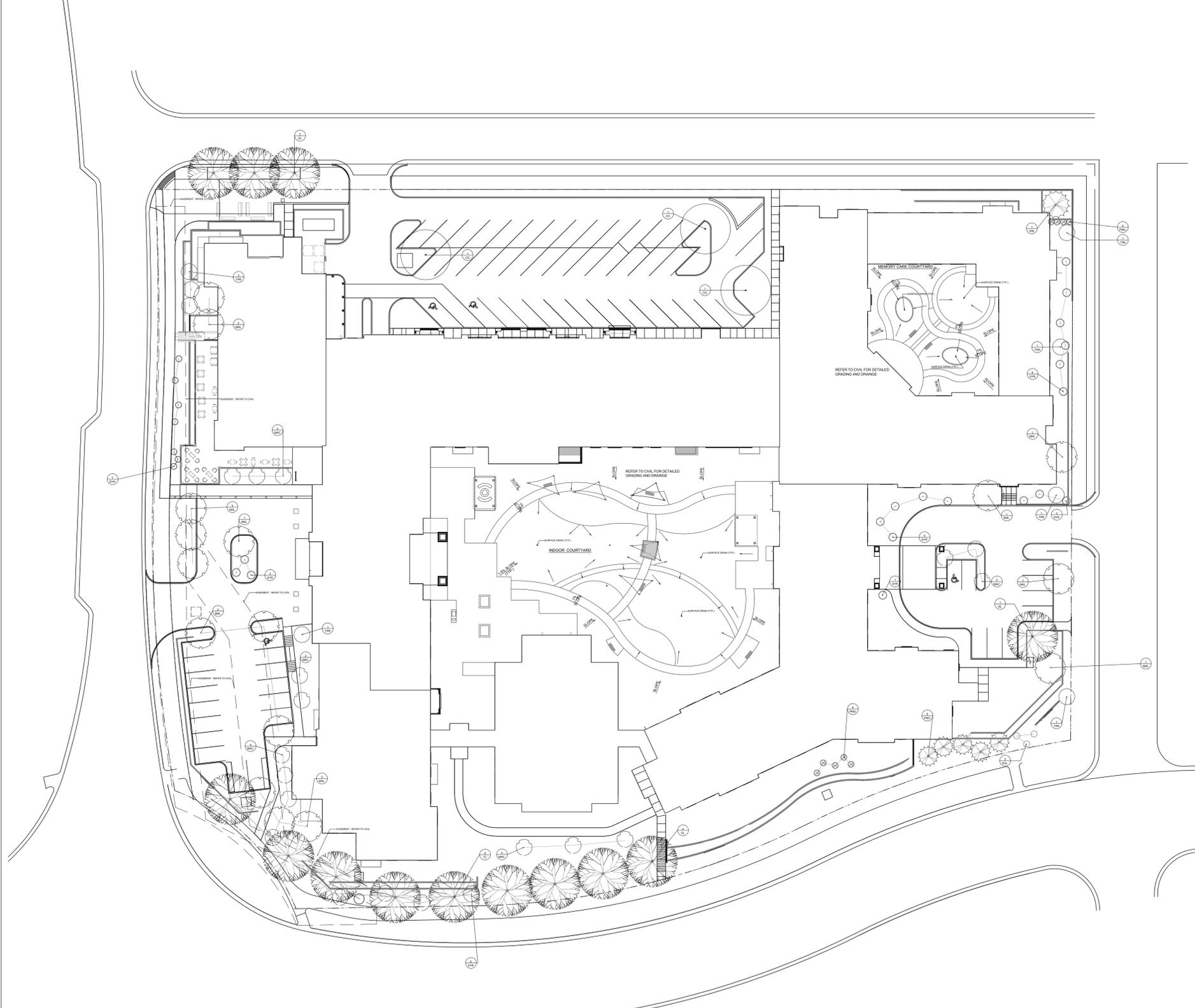
RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R

No.	Date	Description
7		
6		
5		
4	09/17/14	1st Submittal (Planning Commission Review)
3	09/15/14	2nd Submittal
2	09/15/14	1st Submittal
1	04/25/14	1st Submittal

blu

Project Number: **092004**
Designed By: **AG**
Drawn By: **TK**
Checked By: **DM**
Street Number: **5 OF 15**



KEY	QTY.	BOT. NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
CO	3	Celtis occidentalis	Western Hackberry	3" cal.	As Shown
GL	9	Gleditzia triacanthos 'Shademaster'	Shademaster Honeylocust	3" cal.	As Shown
TC	5	Tilia cordata 'Glenleven'	Glenleven Linden	3" cal.	As Shown
Total	12				
FLOWERING TREES					
MAC	19	Malus x Centurion	Centurion Crabapple	3" cal.	As Shown
MAL	16	Malus x spring snow	Spring Snow Crab	3" cal.	As Shown
Total	35				
EVERGREEN TREE					
HET	15	Juniperus chinensis 'Hetzi Columnaris'	Columnar Hetzi	9'	As Shown
PIN	1	Pinus nigra	Austrian Pine	9'	As Shown
PNO	5	Pinus nigra Oregon	Oregon Austrian Pine	9'	As Shown
Total	21				
EVERGREEN SHRUBS					
MAH	53	Mahonia aquifolium	Oregon Grape Holly	1gal.	As Shown
TAN	8	Pinus densiflora 'Umbraculifera'	Tanysho Pine	1gal.	As Shown
PMU	68	Pinus mugo 'Columnaris'	Columnar mugo pine	1 gal.	As Shown
TAX	7	Taxus x media 'Citation'	Citation Yew	1 gal.	As Shown
Total	136				
SHRUBS					
EUD	102	Euonymus turkestanica 'Nana	Nana Burning Bush	1 gal.	As Shown
FOR	35	Forsythia viridissima koreana 'kunsong'	Forsythia Kumson	1gal.	As Shown
JAM	16	Jamesia americana	Waxflower	1gal.	As Shown
KUL	17	Kolkwitzia amabilis	Beautybush	1gal.	As Shown
SIR	50	Syringa prestoniae 'Royalty'	Royalty Lilac	1gal.	As Shown
Total	220				
ORNAMENTAL GRASSES					
CAL	105	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	24" o.c.
MSP	519	Miscanthus sinensis purpurascens	Maiden Grass	1 gal.	30" o.c.
PAL	191	Poa trivialis	Fountain Grass 'Little Bunny'	1 gal.	18" o.c.
SW	17	Sporobolus wrightii	Giant Sacaton Grass	1 gal.	36" o.c.
Total	832				
PERENNIALS					
ALC	60	Alchemilla mollis	Lady's Mantle	1 gal.	18" o.c.
AUR	334	Aurinia saxatilis	Basket of Gold	32c flat	12" o.c.
CEN	34	Centaura dealbata	Bachelor's Buttons Cornflower	1 gal.	24" o.c.
COR	65	Coreopsis route 66	Coreopsis	1 gal.	24" o.c.
EP	250	Echinacea purpurea	Coneflower	1 gal.	30" o.c.
GAL	24	Gaillardia aristata 'Oranges and Lemmons'	Orange and Lemmos Gaillardia	1 gal.	30" o.c.
GO	116	Gallium odoratum	Sweet Woodruff	1 gal.	12" o.c.
GR	183	Gypsophila Repens	Creeping Baby's Breath	1 gal.	12" o.c.
LS	406	Liatris spicata	Gayfeather	1 gal.	18" o.c.
NE	348	Nepeta faassenii 'Walker Low'	Catmint	1 gal.	30" o.c.
PER	10	Perovskia atriplicifolia	Russian Sage	1 gal.	As Shown
RU	237	Rudbeckia fulgida goldsturm 'Gloriosa Daisy'	Black-Eyed Susan	1 gal.	30" o.c.
TEU	28	Teucrium chamaedrys	Germander	1 gal.	12" o.c.
Total	2035				
HEDGES					
PRI	232	Ligustrum vulgare 'Cheyenne'	Privet	B&B	36" o.c.
GROUNDCOVERS					
VM	364	Vinca minor	Vinca	32c flat	24" o.c.
VMJ	211	Vinca major	Vinca	32c flat	30" o.c.
Total	575				
VINES					
HH	29	Hedera helix	English Ivy	Stacked #5	10" o.c.

1 PLANTING PLAN (TREES & SHRUBS)
SCALE 1/32"=1'-0"



To be completed by Denver Water

Denver Water's review of these plans relates only to Denver Water requirements, and does not include a full analysis of soil conditions, support or load factors, or any other matters. Any modification of these plans must be resubmitted to Denver Water for review prior to construction. The Professional Engineer, Contractors, and Owners designing and constructing this proposed water distribution system shall be solely responsible for the adequacy of the design, installation, and materials utilized in this water distribution system for any specific site location.

Date	I.D. No.
Contract No.	Map No.
<input type="checkbox"/> Approved for Construction Approval Valid for 1 year	
DENVER WATER	
Sales Administrator	

RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R

GENERAL IRRIGATION NOTES

1. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL PROVIDE FOR UNINTERRUPTED LANDSCAPE WATERING/IRRIGATION THROUGHOUT THE CONSTRUCTION PERIOD UNTIL SITE IS TRANSFERRED TO THE OWNER AND PER WRITTEN SPECIFICATIONS.
3. IF DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT.
4. INSTALL POP-UP TYPE SPRINKLER HEADS IN LAWN AREAS SO THAT TOP OF SPRINKLER HEAD IS 1.5" BELOW ANY ADJACENT SIDEWALK OR CURB.
5. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO BE IRRIGATED UNLESS OTHERWISE INDICATED ON DRAWINGS.
6. WHEN VERTICAL OBSTRUCTIONS (FIRE HYDRANTS, TREES, LIGHTS, ETC.) INTERFERE WITH SPRAY PATTERN OF SPRINKLER HEADS SO AS TO PREVENT PROPER COVERAGE, ADJUST SPRINKLER SYSTEM BY INSTALLING A QUARTER CIRCLE, HALF CIRCLE, OR ADJUSTABLE CIRCLE SPRINKLER HEAD ON EACH SIDE OF OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. PERFORM ADJUSTMENTS AT NO COST TO OWNERS AUTHORIZED REPRESENTATIVE.
7. SPRINKLER SYSTEM DESIGN IS BASED ON MINIMUM OPERATING PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS AT THE EXISTING PRESSURE VACUUM BREAKER LOCATED WITHIN THE MECHANICAL ROOM. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REVISIONS.
8. THIS DESIGN IS DIAGRAMMATIC. PIPING, VALVES, ETC. MAY BE SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS BETWEEN SPRINKLER SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. VALVE BOXES SHALL BE LOCATED TO BE AS INCONSPICUOUS AS POSSIBLE, WHILE STILL FULFILLING THE DESIGN INTENT. NO VALVE BOXES SHALL BE PLACED WITHIN PLAY FIELD AREAS.
9. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND BUILDINGS. THIS INCLUDES SELECTING THE BEST DEGREE OF ARC TO FIT SITE CONDITIONS AND TO THROTTLE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM PRESSURE FOR EACH SYSTEM.
10. DO NOT WILLFULLY INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN. BRING SUCH OBSTRUCTIONS OR OR DIFFERENCES TO THE ATTENTION OF OWNER'S AUTHORIZED REPRESENTATIVE. IN EVENT THIS NOTIFICATION IS NOT PERFORMED, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REVISIONS.
11. INSTALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE ON PVC MALE PIPE THREADS ON SPRINKLER SWING JOINT AND VALVE ASSEMBLIES.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. COORDINATE WORK WITH GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
13. IN ADDITION TO SLEEVES SHOWN ON THE DRAWINGS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF PIPE SLEEVING AND SEPARATE CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER PAVED AREAS.
14. THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UN-SIZED LATERAL IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS LOCATED ON THE SAME LATERAL RUN.

DRIP IRRIGATION NOTES

1. PROVIDE DRIPPERLINE EMITTERS PER SPECIFICATIONS AND DETAILS TO ALL PLANT MATERIAL SERVED BY DRIP IRRIGATION SYSTEM. SPACING FOR PLANTING BEDS SHALL BE DETERMINED IN THE FIELD BASED ON PLANT TYPE AND SPACING. FINAL LAYOUT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
2. DRIP EMITTER VALVING IS INTENDED TO IRRIGATE PLANT MATERIAL BY PLANT TYPE IN ORDER TO APPLY APPROPRIATE AMOUNTS OF WATER AS NEEDED FOR PROPER PLANT GROWTH AND PLANT CARE. EXCEPTIONS TO PLANT MATERIAL SYSTEM SEPARATIONS ARE NOTED WITH VALVE CALLOUTS ON PLAN.
3. DRIP IRRIGATION LINES ARE SHOWN DIAGRAMMATIC FOR CLARITY. INSTALL ALL PIPING IN LANDSCAPE PLANTING AREAS PER INSTALLATION DETAILS.
4. INSTALL POLYETHYLENE DRIP LATERAL TO BE WITHIN PVC OR METAL SLEEVE WHEN ROUTING THROUGH PAVED SURFACES OR THROUGH PLANTER'S WALLS.
5. PROVIDE ONE (1) FLUSH-VALVE ASSEMBLY (DETAILS X/19X) AT EACH END OF DRIP SYSTEM OR AS SHOWN ON DETAILS. LOCATE FLUSH-VALVE ASSEMBLY BOXES ADJACENT TO PLANTING BORDERS OR PAVING EDGES FOR MAINTENANCE CONVENIENCE.
6. THE MAXIMUM ALLOWABLE LENGTH DOWNSTREAM OF EACH ZONE CONTROL VALVE FOR THE 3/4" NOMINAL DIAMETER POLYETHYLENE DRIP LATERAL IS 300 FEET. IF THE LENGTH OF THE LATERAL EXCEEDS THE ALLOWABLE AMOUNT AN ADDITIONAL CONNECTION AND ZONE CONTROL VALVE SHALL BE INSTALLED. IN NO CASE SHALL THE ACTUAL FLOW OF THE DRIP LATERAL BE INCREASED BY MORE THAN 5% THROUGH THE ADDITION OF MORE EMITTERS OR BY CHANGING THE FLOW RATE OF THE EMITTERS.

EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
	POINT-OF-CONNECTION
	SLEEVING: CLASS 200 PVC PROVIDE SEPARATE 2" MIN. SLEEVE FOR WIRING
	MAINLINE PIPE: CLASS 200 PVC (1.5-INCH UNLESS OTHERWISE INDICATED)
	LATERAL PIPE: CLASS 200 PVC (1-INCH UNLESS OTHERWISE INDICATED)
	DRIP SUPPLY LATERAL PIPE: CLASS 200 PVC (1-INCH UNLESS OTHERWISE INDICATED)
	UNCONNECTED PIPE CROSSING
	BACKFLOW PREVENTOR ASSEMBLY: 1.5" FBCCO 825 YA
	MASTER VALVE - SUPERIOR 1.5"
	FLOW SENSOR - HUNTER FLOW-SYNC 1.5"
	ISOLATION GATE VALVE ASSEMBLY
	MANUAL DRAIN VALVE ASSEMBLY
	QUICK COUPLING VALVE ASSEMBLY: RAIN BIRD 44LRC
	REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS (HUNTER ICV SIZED AS INDICATED)
	REMOTE CONTROL VALVE ASSEMBLY FOR DRIP LATERALS (HUNTER ICZ-101 DRIP CONTROL KIT: 1-INCH)
	SUBSURFACE DRIP IRRIGATION AT SHRUB/PERENNIAL BEDS: HUNTER PLD DRIPPERLINE (PLD-06-18 TO 24) EMITTER SPACING 18-24" O.C. / LATERAL SPACING 18" O.C.
	SUBSURFACE DRIP IRRIGATION AT TURF ZONES: HUNTER PLD DRIPPERLINE (PLD-10-12) EMITTER SPACING 12" O.C. / LATERAL SPACING 12" O.C.
	FLUSH CAP: PVC BALL VALVE WITH DRIP INDICATOR
	IRRIGATION CONTROLLER: HUNTER I-CORE SERIES CONTROLLER A: 48 STATIONS, 27 STATIONS USED
	INDICATES CONTROLLER AND CONTROLLER STATION NUMBER
	INDICATES LATERAL DISCHARGE IN GPM OR DRIP
	INDICATES REMOTE CONTROL VALVE SIZE IN INCHES

PIPE SCHEDULE

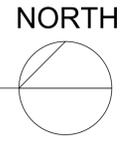
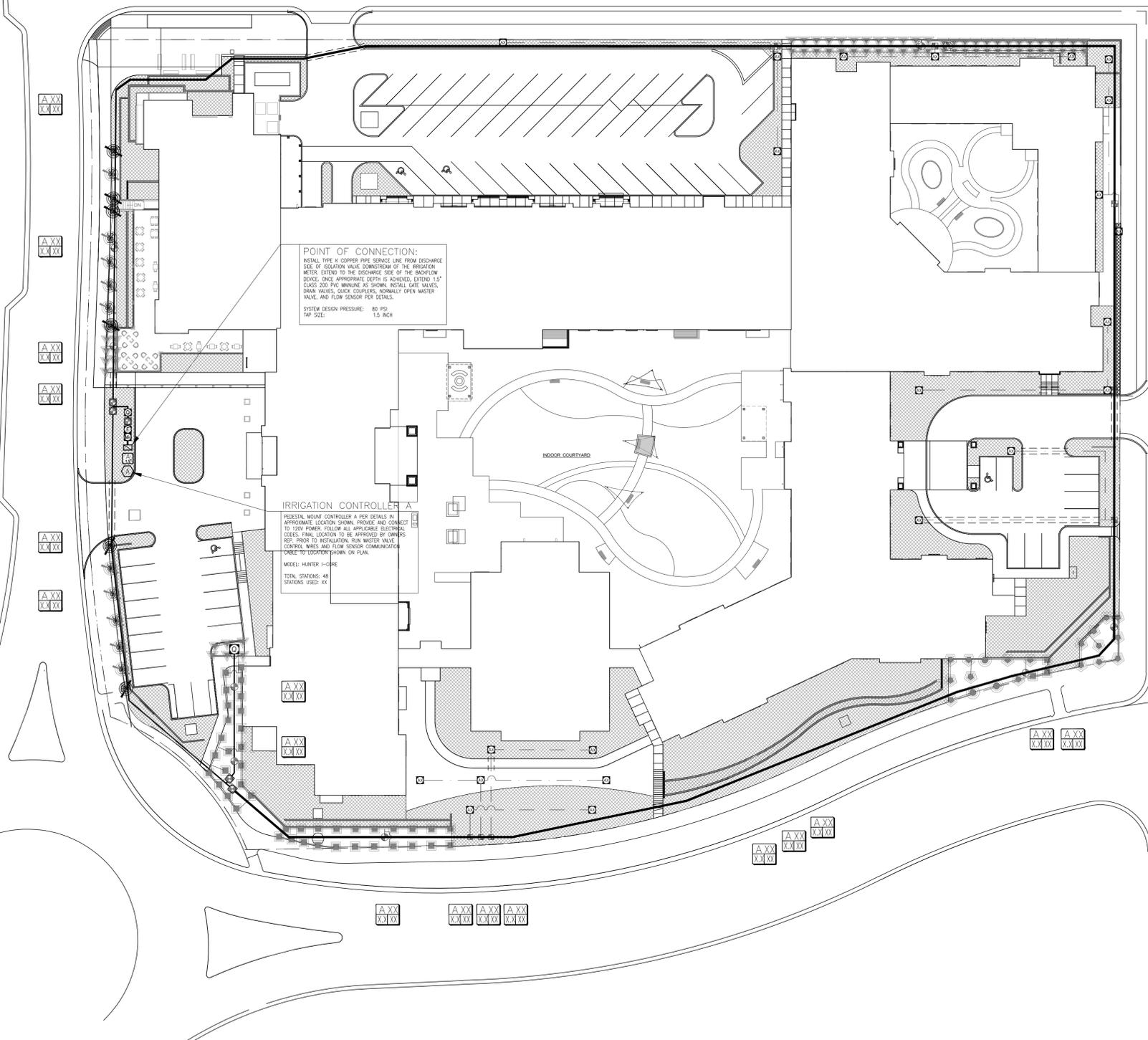
MAXIMUM FLOW RATE - PVC PLASTIC PIPE	
PIPE SIZE	MAXIMUM FLOW (GPM)
1"	16
1 1/4"	26
1 1/2"	35
2"	55
2 1/2"	80
3"	120

SPRINKLER SCHEDULE

SYMBOL	DESCRIPTION	MAKE	MODEL	NOZZLE	G.P.M.	P.S.I.	PATTERN
	RISE R HEIGHT						
	POP-UP SPRAY HEAD	HUNTER	PRO SPRAY 30	MP 1000	0.19-0.75	30 PSI	90-360°
	POP-UP SPRAY HEAD	HUNTER	PRO SPRAY 40	MP 2000	0.40-1.47	40 PSI	90-360°
	POP-UP SPRAY HEAD	HUNTER	PRO SPRAY 40	MP 3000	0.86-3.84	40 PSI	90-360°
	POP-UP SPRAY HEAD	HUNTER	PRO SPRAY 40	6"	1.69	40 PSI	VARIABLE

POINT OF CONNECTION:
METAL TYPE & COPPER PIPE SERVICE LINE FROM DISCHARGE SIDE OF ISOLATION VALVE DOWNSTREAM OF THE IRRIGATION METER EXTEND TO THE DISCHARGE SIDE OF THE BACKFLOW DEVICE. MAKE APPROPRIATE DEPTH AS INDICATED. EXTEND 1.5" CLASS 200 PVC MAINLINE AS SHOWN. INSTALL GATE VALVES, DRAIN VALVES, QUICK COUPLERS, NORMALLY OPEN MASTER VALVE, AND FLOW SENSOR PER DETAILS.
SYSTEM DESIGN PRESSURE: 80 PSI
TEMP. SIZE: 1.5 INCH

IRRIGATION CONTROLLER:
PERENNIAL MOUNT CONTROLLER A PER DETAILS IN APPROPRIATE LOCATION SHOWING PROTECT AND CONNECT TO 120V POWER. FOLLOW ALL APPLICABLE ELECTRICAL CODES. FINAL LOCATION TO BE APPROVED BY OWNERS. REP. PRIOR TO INSTALLATION. RUN MASTER VALVE CONTROL WIRES AND FLOW SENSOR COMMUNICATION CABLE TO LOCATION SHOWN ON PLAN.
MODEL: HUNTER I-CORE
TOTAL STATIONS: 48
STATIONS USED: XX



1 IRRIGATION PLAN
SCALE 1/32"=1'-0"

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ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
6506 S. Paris St., Suite B - Centennial, CO 80111-6500
(303) 308-5601 - FAX: (303) 308-5603
Email: jdmargraf@bluengineering.net

MORNINGSTAR AT RIDGEGATE SITE IMPROVEMENT PLAN
LANDSCAPE PLAN

MORNINGSTAR LT, LLC
6905 South Potomac St.
Centennial CO 80112
Phone: 303-728-3830
Contact: Jerry Blocher

No.	Date	Description
7		
6		
5		
4	09/17/14	3rd Submittal (Planning Commission Review)
3	09/15/14	2nd Submittal
2	04/25/14	1st Submittal
1		



To be completed by Denver Water

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Date: _____ I.D. No. _____
Contract No. _____ Map No. _____
 Approved for Construction
Approval Valid for 1 year
DENVER WATER
Sales Administrator _____

Project Number: **092004**
Designed By: **AG**
Checked By: **DM**
Drawn By: **TK**
Sheet Number: **4 OF 15**

RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R

PLANTING NOTES

ALL PLANTING BEDS TO BE AMENDED UPON COLORADO STATE UNIVERSITY (CSU) COOPERATIVE EXTENSION SOIL TESTING FACILITY RECOMMENDATIONS. (WWW.COLOSTATE.EDU)

SUBMIT SOIL SAMPLES, A COPY OF PLANTING PLAN, AND PLANT LIST TO COLORADO STATE UNIVERSITY SOIL TESTING LABORATORY FOR A ROUTINE SOIL TEST.

ANY PLANT SUBSTITUTIONS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.

IRRIGATION CONSULTANT TO PROVIDE SHOP DRAWING FOR IRRIGATION COVERAGE AND LAYOUT.

APPLY 4" OF MULCH. FOLLOW CSU RECOMMENDATIONS FOR MULCH TYPE.

FOLLOW CSU RECOMMENDATIONS IF NITROGEN DEFICIENCY IS DETECTED.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE. ANY DAMAGE TO ADJACENT PROPERTY OR UTILITIES NOT DESIGNATED FOR REMOVAL, RELOCATION OR REPLACEMENT, SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS OR LICENSES REQUIRED FOR THE PERFORMANCE OF THE WORK AS APPLICABLE TO THE PROJECT.

THE LANDSCAPE ARCHITECT AND/OR OWNER MAKE NO WARRANTY AS TO THE CORRECTNESS AND/OR COMPLETENESS OF THE EXISTING UTILITY LOCATIONS SHOWN OR NOT SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES INCLUDING WATER, SEWER, STORM DRAINS, GAS TRANSMISSION LINES, AND OTHER UTILITIES ABOVE AND BELOW THE SURFACE THAT MAY AFFECT THE PROJECT. SHOULD DISCREPANCY OR CONFLICT BE DISCOVERED THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY, AND SHALL NOT CONTINUE CONSTRUCTION UNTIL SAID CONFLICT CAN BE RESOLVED IN WRITING.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES.

ANY CONSTRUCTION DEBRIS OR MUD-TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.

CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT BOTH ON SITE AND ADJACENT PROPERTY, EXISTING TREES AND VEGETATION.

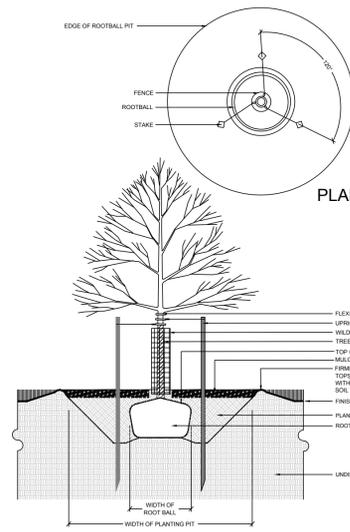
AREAS OUTSIDE THE LIMITS OF WORK AS SHOWN ON THE PLANS AND/OR CROSS SECTIONS SHALL REMAIN UNDISTURBED.

ANY ITEMS NOT INTENDED FOR DEMOLITION MUST BE PROTECTED.

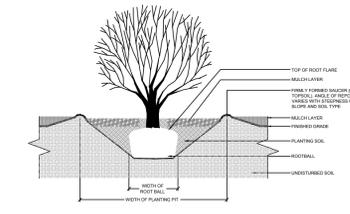
ANY DAMAGE WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.

GENERAL LANDSCAPE NOTES

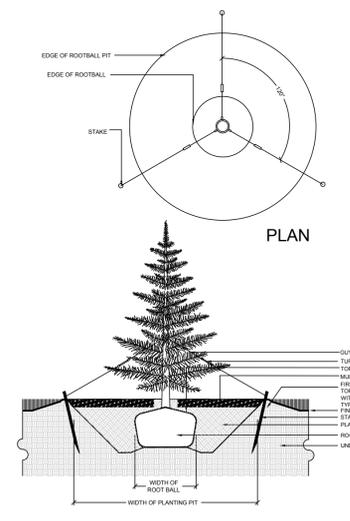
- THE WORK CONSISTS OF THE PROVISION OF ALL MATERIALS AND WORK AS CALLED FOR ON THE LANDSCAPE PLANS, SPECIFICATIONS AND AS HEREIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIALS SPECIFIED, THE FURNISHING OF ALL LABOR, EQUIPMENT, WATER, ELECTRICITY, EQUIPMENT AND ALL MATERIALS CALLED FOR AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE LANDSCAPE INSTALLATION. FURTHER, THE WORK SHALL INCLUDE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER AND FULFILLING ALL GUARANTEE PROVISIONS. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH HIS WORK.
- ALL ON-SITE EXISTING CONDITIONS INCLUDING SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR BEFORE CONSTRUCTION BEGINS. THE LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL PLANS PREPARED BY OTHERS THAT AFFECT THE LANDSCAPE AND IRRIGATION WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, FURNISHINGS AND EXISTING PLANTING AREAS TO REMAIN INCLUDING LAWN. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE EXECUTION OF THE CONTRACTOR'S WORK.
- THE CONTRACTOR SHALL INTERFACE WITH OTHER WORK BEING PERFORMED BY OTHER CONTRACTORS. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND THEIR SUBCONTRACTORS. THE LANDSCAPE CONTRACTOR SHALL INSURE THAT THEIR WORK DOES NOT IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS AND MAKE ARRANGEMENTS WITH THE LANDSCAPE ARCHITECT TO REVIEW AND MUTUALLY FIELD TAG AGREED UPON PLANT MATERIALS AT LEAST 2 WEEKS PRIOR TO PROCUREMENT AND DELIVERY TO THE JOB SITE. REPRESENTATIVE OF THE LANDSCAPE ARCHITECT MAY ALLOW SAMPLES OF SHRUBS AND GROUND COVER TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR IN LIEU OF FIELD VISITS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE AMERICAN STANDARDS FOR NURSERY STOCK AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE INC. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. ALL CONTAINER AND TREE CALIPER SIZES ARE MINIMUM. CONTAINER OR CALIPER SIZE MAY BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL AT THE JOB SITE BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. WHEN DELIVERED PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE LANDSCAPE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. THE LANDSCAPE CONTRACTOR SHALL REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 48 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.
- NO PLANT SUBSTITUTIONS WILL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. IF SPECIFIED PLANT MATERIALS ARE NOT AVAILABLE, IDENTIFY THE EXTENT AND QUANTITY IN WRITING TOGETHER WITH A RECOMMENDED SUBSTITUTION THAT MEETS OR EXCEEDS THE INITIAL REQUIREMENT.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING VEGETATION AS REQUIRED AND PREPARING PLANTING AREAS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL TEST PROJECT SOILS TO VERIFY THAT THE SOILS ON-SITE ARE ACCEPTABLE FOR PROPER GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND PLANTERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION, AND PROCUREMENT OF EXISTING ON-SITE SOIL SAMPLES WITH THE LANDSCAPE ARCHITECT. REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH RECOMMENDATIONS FOR AMENDING THE SOILS SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO DELIVERY AND INSTALLATION OF PLANT MATERIALS AT THE JOB.
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH HARDPAN AND COMPACTED FILL SHALL BE ACCOMPLISHED TO INSURE DRAINAGE.
- ALL PLANTING BEDS SHALL BE STAKED IN ACCORDANCE WITH THE PLANS AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL PROVIDE STAKES OR IRRIGATION FLAGS TO LOCATE THE EDGES OF ALL SHRUB AND GROUND COVER PLANT BEDS AND INDIVIDUAL TREES. THE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT BED OUTLINES AND INDIVIDUAL TREES AND OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO DELIVERY AND INSTALLATION OF THE PLANT MATERIAL. IF EXISTING CONDITIONS DO NOT ALLOW THE DESIGN TO BE LAID OUT AS SHOWN, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED OUTLINES SHALL NOT BE OBSTRUCTED AND SHALL BE SMOOTH AND FLOWING. IF TREES ARE LOCATED OUTSIDE PLANTING BEDS IN SOD AREAS, MAINTAIN A MINIMUM 3' WIDE OFFSET TO ALLOW FOR MOWERS TO MANEUVER.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXTENT OF SOD WORK IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GRASS SOD IN THE AREAS SHOWN ON THE PLAN IN SUFFICIENT QUANTITY TO PROVIDE FULL COVERAGE. ADDITIONAL SOD REQUIRED WILL BE ADJUSTED BASED ON A SQUARE FOOTAGE UNIT PRICE. AREAS TO BE SODDED SHALL BE AMENDED PER SOILS REPORT TO PROVIDE REQUIRED NUTRIENTS AND SOIL PH OF BETWEEN 6.0 AND 7.0.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANTS, SPACED AS SPECIFIED ON THE PLANT LIST. WHEN INSTALLING SHRUBS IN PLANTING BEDS, SPACING OF MATERIAL SHALL TAKE PRECEDENCE OVER QUANTITY OF MATERIALS INDICATED FOR PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF SUCH SITUATIONS ARISE. SHRUB AND GROUND COVER SPACING IS GENERALLY INDICATED ON THE PLANT LIST FOR ALL MASS PLANTINGS. ACCENT SHRUBS AND TREES THAT ARE NOT PART OF MASS PLANTINGS SHALL BE SPACED AS SHOWN ON THE PLANS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL INSTALLED PLANT MATERIALS AND REPLACING ANY DAMAGED PLANT MATERIAL WITH PLANTS OF EQUAL KIND, SIZE AND CONDITION AT NO ADDITIONAL COST TO THE OWNER. NO CHAINS OR CABLES SHALL BE USED WHEN INSTALLING PLANT MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS AND TREES FROM FALLING OR BEING BLOWN OVER, AND TO REPLACE ALL PLANTS WHICH ARE DAMAGED DUE TO INADEQUATE GUYING OR STAKING, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL REMOVE ALL STAKING MATERIALS THE END OF THE WARRANTY PERIOD AND DISPOSE OFF SITE.
- ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" THICK MULCH RING PLACED AROUND THE BASE OF THE TRUNK. THE LANDSCAPE SCOPE OF WORK INCLUDES MULCHING AS AN INTEGRAL PART OF THE PROJECT AND NOT AS A SEPARATE COST OR WORKS ITEM. ALL PLANT MATERIALS SHALL RECEIVE ADEQUATE WATERING BY THE LANDSCAPE CONTRACTOR AS REQUIRED UNTIL THE LANDSCAPE IRRIGATION SYSTEM IS FULLY OPERATIONAL AND UNTIL FINAL ACCEPTANCE BY OWNER.
- ALL EXISTING PLANT BEDS TO REMAIN WITHIN THE CONSTRUCTION LIMIT LINE SHALL BE LEFT UNDISTURBED. EXISTING TREES TO REMAIN, AS NOTED ON THE DRAWINGS, SHALL BE LEFT UNDISTURBED AND PROTECTED BY APPROPRIATE TREE PROTECTION FENCING ERRECTED AT THE PERIMETER OF THE TREE DRIP LINE (S). NO VEHICLE SHALL TRAVERSE THIS AREA NOR SHALL ANY STORAGE OF MATERIALS OR EQUIPMENT BE PERMITTED WITHIN THE AREA OF THE TREE DRIP LINE(S). ANY EXISTING PLANT BEDS OR TREES DAMAGED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE RESPONSIBLE PARTY AT THEIR OWN EXPENSE.
- NO TREES SHALL BE PLANTED WITHIN DESIGNATED UTILITY CORRIDORS, PUBLIC RIGHT OF WAY (WITHOUT RIGHT OF WAY UTILIZATION PERMIT), FIELD ADJUST AS NECESSARY AND REVIEW ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EFFECTIVE TRAFFIC CONTROL AND REMOVAL OF ALL DEBRIS AND EXCAVATED BACKFILL OFF-SITE ON A DAILY BASIS AT NO ADDITIONAL COST TO THE OWNER.
- ALL DECIDUOUS TREES < 2" IN CAL DO NOT NEED TO BE STAKED UNLESS THE DRAWINGS INFORM OTHERWISE.
- ALL BURLAP, ROPE AND WIRE IS TO BE REMOVED FROM ALL B&B STOCK PRIOR TO BACKFILLING. NO EXCEPTIONS.
- WRAP ALL DECIDUOUS TREE TRUNKS WITH TREE WRAP
- WILDLIFE PROTECTION FENCING IS REQUIRED AROUND ALL TREES. PROVIDE 2'X2" WIRE MESH AROUND THE TRUNK OF ALL DECIDUOUS TREES AND AROUND THE DRIP LINE OF ALL SPRUCE TREES.



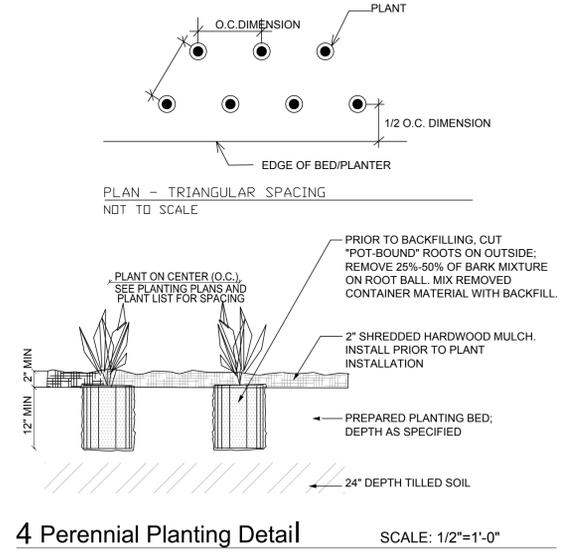
1 Deciduous Tree Planting Detail SCALE: 1/2"=1'-0"



2 Deciduous Shrub Planting Detail SCALE: 1/2"=1'-0"



3 Evergreen Tree Planting Detail SCALE: 1/2"=1'-0"



4 Perennial Planting Detail SCALE: 1/2"=1'-0"

ENGINEERING CONSULTANTS
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 (303) 368-5901 - FAX: (303) 368-5603
 Email: jdmargraf@jdmengineering.net

MORNINGSTAR AT RIDGEGATE SITE IMPROVEMENT PLAN
LANDSCAPE PLAN

MORNINGSTAR LT, LLC
 6905 South Potomac St.
 Centennial CO 80112
 Phone: 303-728-3830
 Contact: Jerry Blocher

No.	Date	Description
1	04/25/14	1st Submittal
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4		
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6		
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Project Number: 092004
 Drawn By: TK
 Designed By: AG
 Checked By: DM
 Street Number: 7 OF 15

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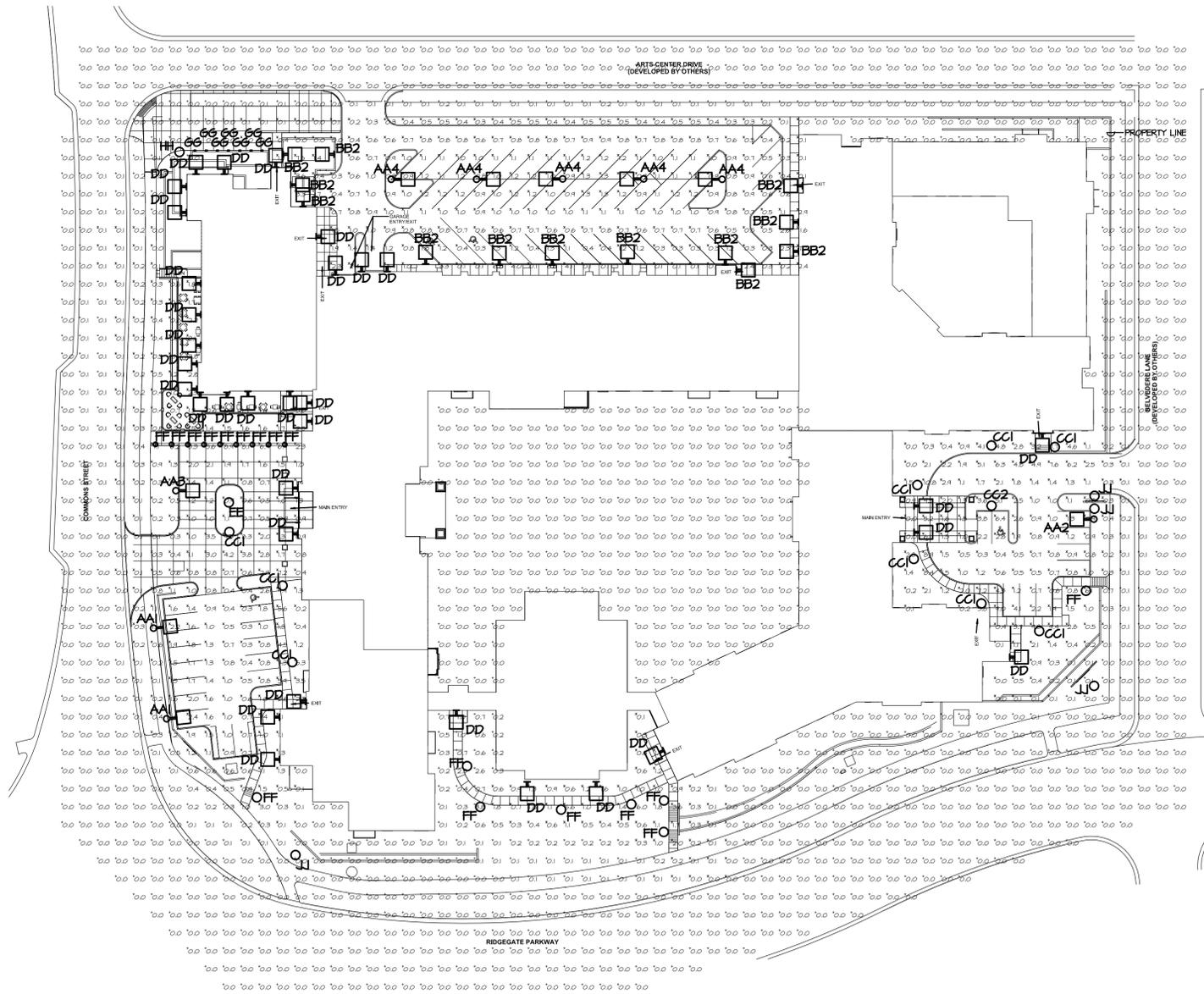
DENVER WATER
 Sales Administrator

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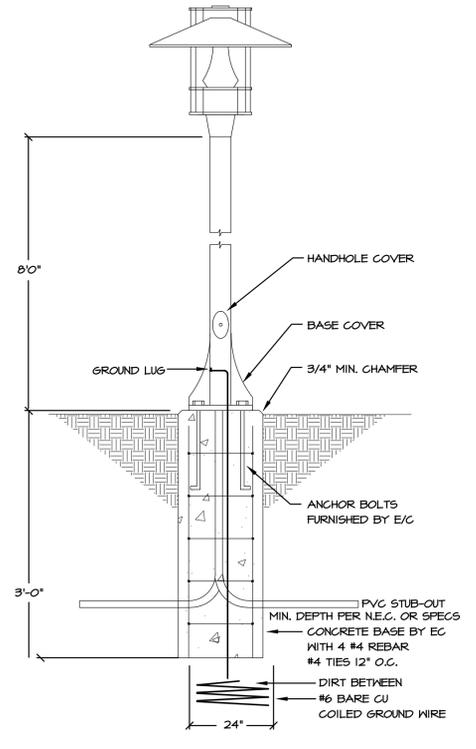
RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R

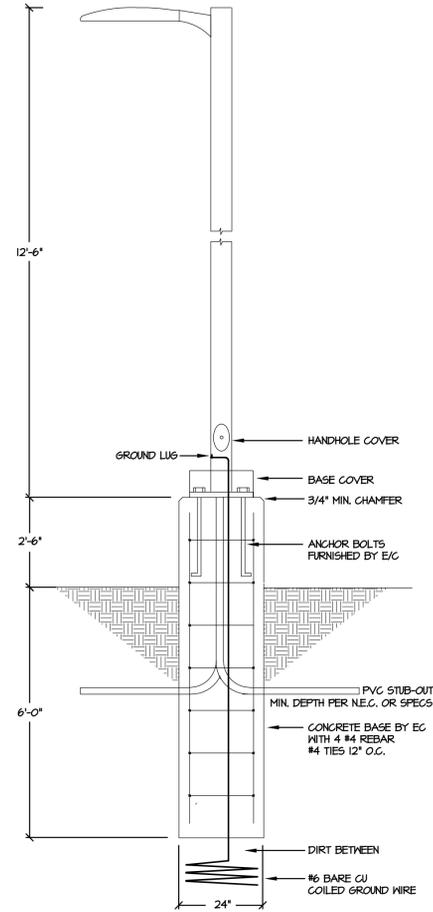


SITE PHOTOMETRIC PLAN
SCALE: 1" = 40'-0"



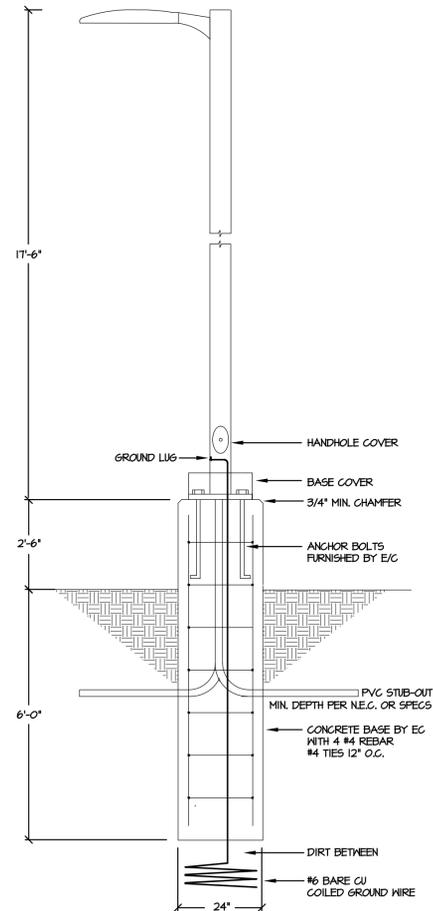
"CC1"/CC2' POLE BASE DIAGRAM

NOT TO SCALE



"AA1"/AA3'/AA4' POLE BASE DIAGRAM

NOT TO SCALE



"AA2' POLE BASE DIAGRAM

NOT TO SCALE

ENGINEERING CONSULTANTS
 Contact: Jason D. Margraf, PE
 6595 S. Paris St., Suite B - Centennial, CO 80111-6590
 (303) 368-5601 - FAX: (303) 368-5603
 Email: jdmargraf@j3engineering.net

**MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN
SITE PHOTOMETRIC PLAN**

MORNINGSTAR LT, LLC
 6905 South Potomac St.
 Centennial CO 80112
 Phone: 303-728-5830
 Contact: Jerry Blocher

No.	Date	Description
7		DOCUMENT AMENDMENTS
6		
5		
4	09/15/14	3rd Submittal (Planning Commission Review)
3	09/15/14	2nd Submittal
2	09/15/14	1st Submittal
1	04/25/14	



M.E.P. ENGINEERING
 6402 S. Troy Circle
 Centennial, CO 80111
 info@mep-eng.com www.mep-eng.com
 (7) 303.934.3299

Project Number: 13304
 Designed By: MAS
 Drawn By: MAS
 Checked By: DGM
 Sheet Number: 8 of 15

RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R

EXTERIOR LIGHTING FIXTURE SCHEDULE					
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING	LAMPS
AA1	LITHONIA	D5X0 LED 200 1000 30K 14M MVOLT H5	LED AREA FIXTURE WITH TYPE 4M FORWARD MEDIUM THROW AND HOUSE SIDE SHIELD	POLE 15'-0"	(2) LED T2M METAL HALIDE
AA2	LITHONIA	D5X0 LED 200 1000 30K 14M MVOLT H5	LED AREA FIXTURE WITH TYPE 4M FORWARD MEDIUM THROW AND HOUSE SIDE SHIELD	POLE 20'-0"	(2) LED T2M METAL HALIDE
AA3	LITHONIA	D5X0 LED 200 530 30K 14M MVOLT	LED AREA FIXTURE WITH TYPE 4M FORWARD MEDIUM THROW AND HOUSE SIDE SHIELD	POLE 15'-0"	(2) LED T2M METAL HALIDE
AA4	LITHONIA	D5X0 LED 200 530 30K 14M MVOLT	LED AREA FIXTURE WITH TYPE 5 DISTRIBUTION	POLE 15'-0"	(2) LED T2M METAL HALIDE
BB1	PAGE LIGHTING	AEDC-1620-PLT26-1MMD	FLUORESCENT WALL MOUNT AREA FIXTURES WITH MEDIUM FORWARD THROW	WALL 10'-0"	(1) 26W CFL
BB2	PAGE LIGHTING	AEDC-1620-10M14-1MMD	METAL HALIDE WALL MOUNT AREA FIXTURES WITH MEDIUM FORWARD THROW	WALL COORDINATE W/ARCHITECT ELEVATIONS	(1) 10W MH
CC1	SELIX	SACL-1-L63500-R3-35-120-H5	LED PEDESTRIAN POLE	POLE 8'-0"	(30) LED 51W
CC2	SELIX	SACL-1-L63105-R5-50-120	LED PEDESTRIAN POLE	POLE 8'-0"	(30) LED 100W
DD	SCOTT ARCH. LIGHTING	S4390 2FP24 EH	COMPACT FLUORESCENT WALL MOUNT DECORATIVE FIXTURE W/40 MINUTE BATTERY BACKUP	WALL @ 8'-0" AFF	(2) 24W T5HO
EE	HYDREL	T100 10M TB HFL KM S45Axx*	STANCHION MOUNTED FLOOD	STANCHION	(1) 10W MH
FF	PAGE LIGHTING	PAMPAS	METAL HALIDE BOLLARD	BOLLARD	(1) 10W MH
GG	PAC	ML-LED100-C-56	LED STEP LIGHT	RECESSED IN WALL	(1) 3.9W LED
HH	MORNINGSTAR	5YLED 3023 12V	IN GRADE FLOOD	RECESSED IN GRADE	6W LED
JJ	ECOSENSE	BUL-L 30 27T-1C	STANCHION MOUNTED FLOOD	THREADED KNUCKLE	(1) 21.1W LED

D-Series Size 0 LED Area Luminaire

Specifications
 SPA: 2.8"
 Length: 36"
 Width: 12"
 Height: 12"
 Weight: 7.5 lbs

Performance Data
 Lumen Output table with columns for Beam Angle, Height, and Lumen Output.

Ordering Information
 Example: D5X0 LED 40C 1000 40K T3M MVOLT SPA D5DD

TYPE AA1/AA2/AA3/AA4

Performance Data
 Lumen Output table with columns for Beam Angle, Height, and Lumen Output.

Electrical Load
 Table showing electrical load specifications.

Photometric Diagrams
 Beam spread diagrams for various mounting heights.

Features & Specifications
 Detailed technical specifications for the luminaire.

TYPE BB

TYPE: BB1/BB2 MORNINGSTAR - RIDGEGATE

ROBUSTO
 AESW - Shaped Wedge

Dimensions
 Wall Mount, Pole Mount, Bollard.

Specifications
 Architectural shaped wedge, Heavy gauge formed aluminum construction, Clear tempered glass lens standard.

ROBUSTO

AESW - Shaped Wedge

Standard Features
 Architectural shaped wedge, Heavy gauge formed aluminum construction, Clear tempered glass lens standard.

Ordering Code Guide
 Table with columns for Series, Model, Size, Lamp, Volt, Optics, Color, Mounting, Options.

TYPE CC1/CC2

Saturn Cutoff LED

Project: MORNINGSTAR - RIDGEGATE
Type: CC1/CC2

Series
 Saturn LED, Saturn LED, Saturn LED

Light Engine
 CCT, CCT, CCT

Options
 Pole, Pole, Pole

TYPE DD

Saturn Cutoff LED

Photometry
 Light distribution diagrams for various beam angles.

Technical Specifications
 R1 Optics / 6W LED / 8000K CCT, R2 Optics / 6W LED / 8000K CCT, R3 Optics / 6W LED / 8000K CCT, R4 Optics / 6W LED / 8000K CCT.

TYPE DD MORNINGSTAR - RIDGEGATE

Scott
 Luminaire specifications and technical details.

TYPE DD MORNINGSTAR - RIDGEGATE

Scott
 Luminaire specifications and technical details.

ENGINEERING CONSULTANTS
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 6595 S. Paria St., Suite B - Centennial, CO 80111-6590
 (303) 368-5601 - FAX: (303) 368-5603
 Email: jmargin@j3engineering.net

MORNINGSTAR AT RIDGEGATE SITE IMPROVEMENT PLAN
FIXTURE SCHEDULE & FIXTURE CUTSHEETS

MORNINGSTAR LT, LLC
 6905 South Potomac St.
 Centennial, CO 80112
 Phone: 303-728-3830
 Contact: Jerry Blocher

No.	Date	Description
7		
6		
5		
4	09/15/14	3rd Submittal (Planning Commission Review)
3	09/15/14	2nd Submittal
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1	04/25/14	1st Submittal

Project Number: 13304
 Drawn By: MAS
 Checked By: DGM
 Project Number: 9 of 15

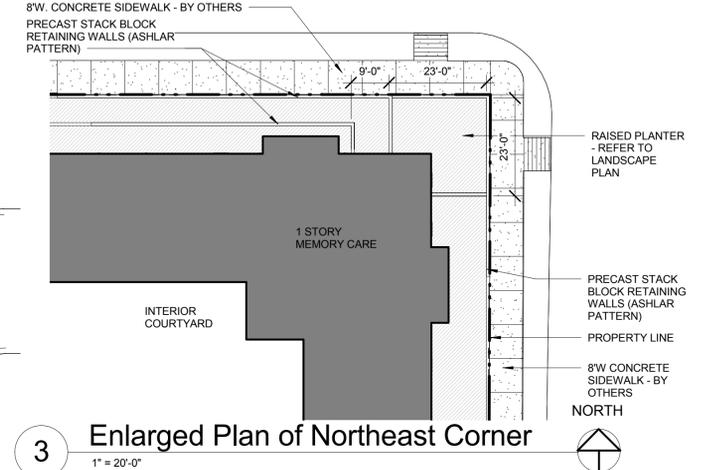
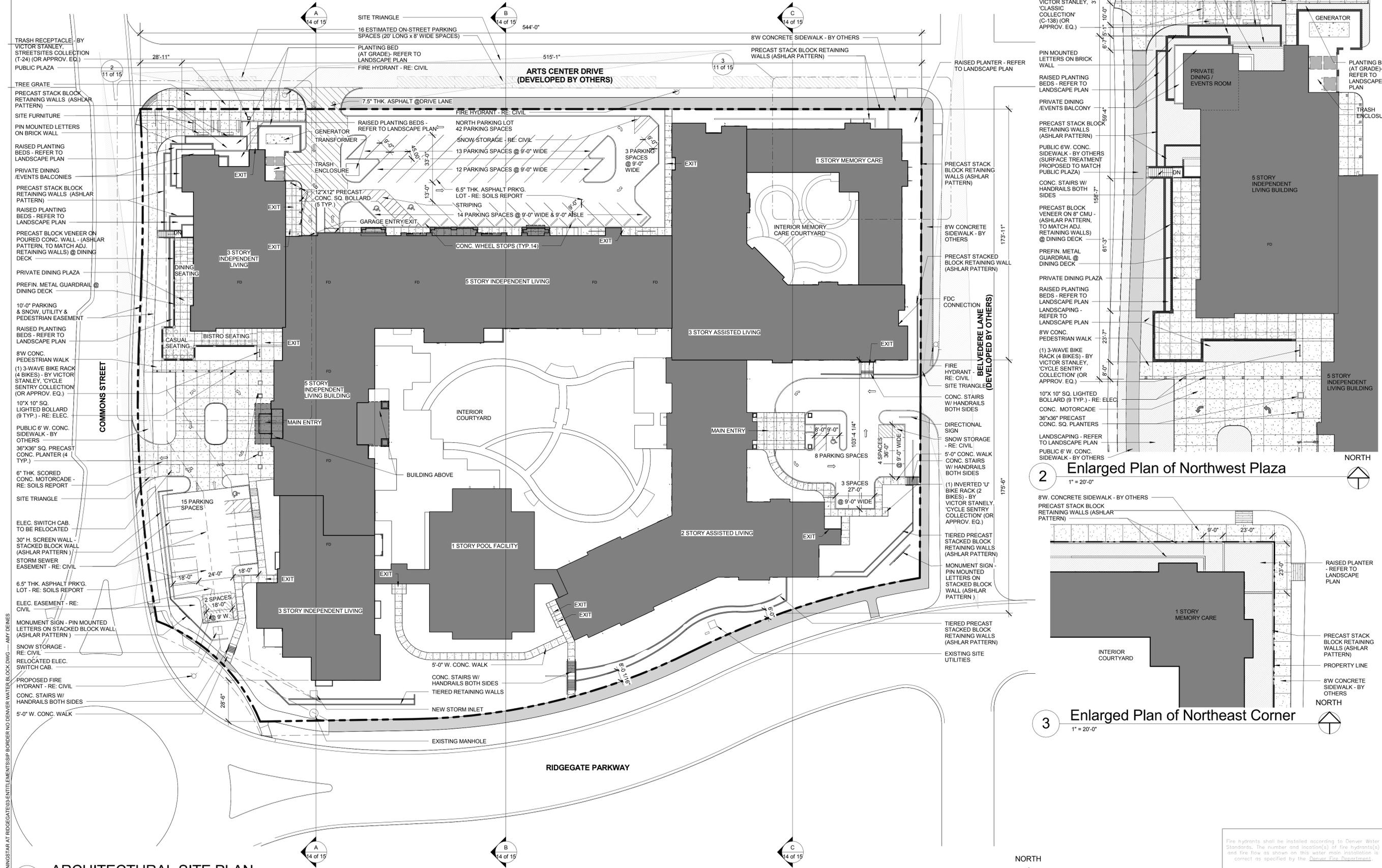


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 6402 S. Troy Circle
 Centennial, CO 80111
 info@mep-eng.com www.mep-eng.com

RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

2 Enlarged Plan of Northwest Plaza
1" = 20'-0"

3 Enlarged Plan of Northeast Corner
1" = 20'-0"

ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
6505 S. Paris St., Suite B - Centennial, CO 80111-6500
(303) 368-5601 - FAX: (303) 368-5603
Email: jmargin@engineering.net

MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN
ARCHITECTURAL SITE PLAN

MORNINGSTAR LT, LLC
6905 South Potomac St.
Centennial, CO 80112
Phone: 303-728-3830
Contact: Jerry Blocher

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Lantz-Boggio Architects, P.C.
Architects, P.C.
5650 DTC Pkwy. | Suite 2001
Englewood | CO 80111
Ph: 303.773.0436 |
Fax: 303.773.8709

Fire hydrants shall be installed according to Denver Water Standards. The number and location(s) of fire hydrant(s) and fire flow as shown on this water main installation is correct as specified by the Denver Fire Department.

Signature of Fire Chief or Designated Representative
Date _____ gpm fire flow
Signed _____

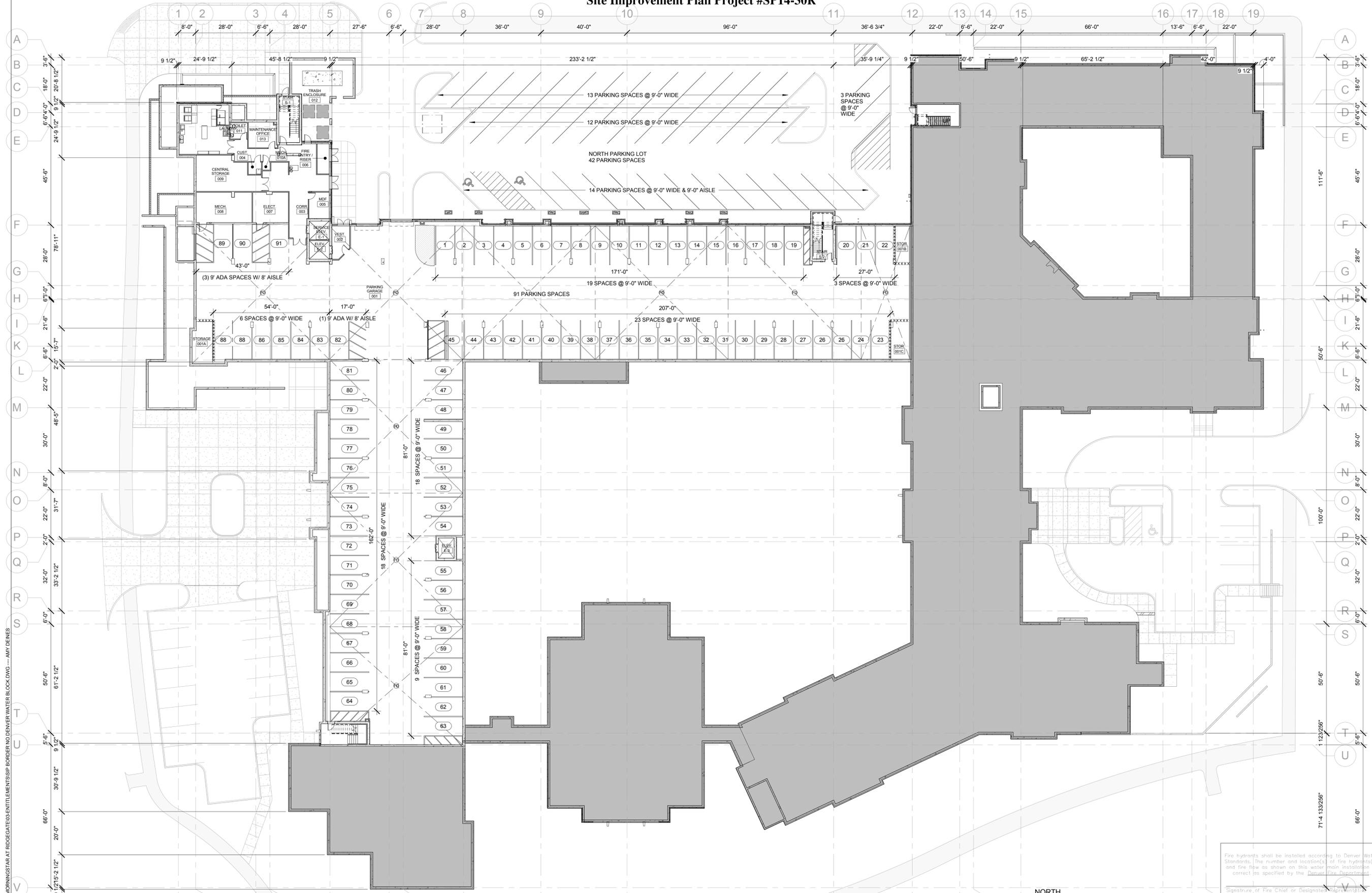
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RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres

Site Improvement Plan Project #SP14-30R



BASEMENT LEVEL FLOOR PLAN (5962')

Fire hydrants shall be installed according to Denver Water Standards. The number and location(s) of fire hydrant(s) and fire flow as shown on this water main installation is correct as specified by the Denver Fire Department.

Signature of Fire Chief or Designated Representative
Date
Sheet



ENGINEERING CONSULTANTS
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Email: jdmargraf@engineering.net

MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN
BASEMENT LEVEL FLOOR PLAN

MORNINGSTAR LT, LLC
6905 South Potomac St.
Centennial CO 80112
Phone: 303-728-3830
Contact: Jerry Blocher

No.	Date	Description
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Lantz-Boggio Architects, P.C.
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Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Project Number: **092004**
Designed By: **JS AND**
Checked By: **DM**
Sheet Number: **12 OF 15**

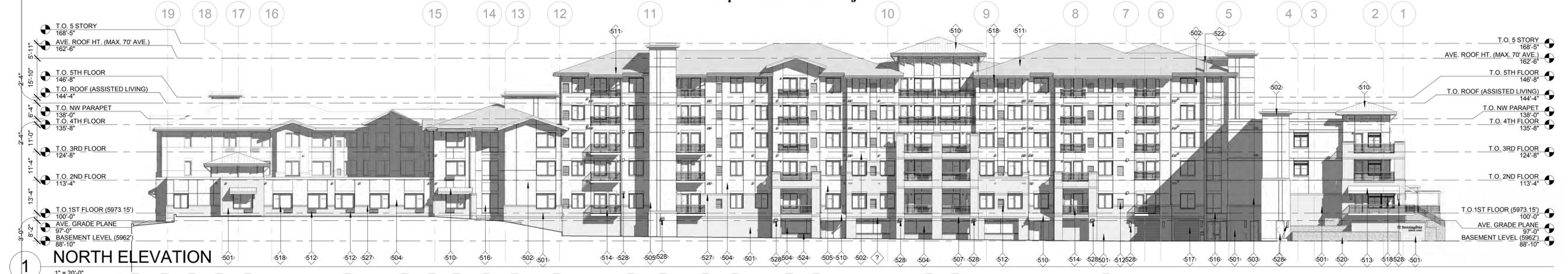
DOCUMENT AMENDMENTS

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RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres
Site Improvement Plan Project #SP14-30R



KEYNOTE LEGEND

501	BRICK - INTERSTATE BRICK 'IRONSTONE'
502	STUCCO 1 - B.M. 'REVERE PEWTER' (HC-172)
503	STUCCO 2 - B.M. 'LENOX TAN' (HC-44)
504	STUCCO 3 - B.M. 'TEXAS LEATHER' (AC-3)
505	STUCCO 4 - ACCENT COLOR, S.W. 'GINGERY' (6363)
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508	PRE-FIN. METAL COPING - DREXEL METAL 'SANDSTONE'
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512	METAL LOUVER - PAINTED TO MATCH ADJ. SURFACE
513	CANVAS AWNING - SUNBRELLA FABRICS 'SUNFLOWER YELLOW'
514	METAL BALCONY RAILING (COLONIAL RED)
515	H.M. DOOR - TO MATCH ADJACENT STUCCO
516	ANOD. ALUMINUM STOREFRONT
517	COMMERCIAL GARAGE DOOR
518	VINYL WINDOW
520	BLOCK RETAINING WALL - BASALITE, ASHLAR PATTERN, TAN BLEND
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524	BRICK ROWLOCK SILL - INTERSTATE BRICK ACCENT
527	PRE-CAST CONCRETE WATERTABLE
528	EXTERIOR LIGHT FIXTURE; RE: ELECTRICAL

ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
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(303) 368-5601 - FAX: (303) 368-5603
Email: jmargin@engineering.net

**MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN
EXTERIOR BUILDING ELEVATIONS**

MORNINGSTAR LT, LLC
6905 South Potomac St.
Centennial CO 80112
Phone: 303-728-3830
Contact: Jerry Blocher

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Lantz-Boggio Architects, P.C.
5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Project Number: 092004
Designed By: JS AND
Checked By: DM
Sheet Number: 13 OF 15

Fire hydrants shall be installed according to Denver Water Standards. The number and location(s) of fire hydrant(s) and fire flow as shown on this water main installation is correct as specified by the Denver Fire Department.

Signature of Fire Chief or Designated Representative

Date: _____ gpm fire flow

Signed: _____

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RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

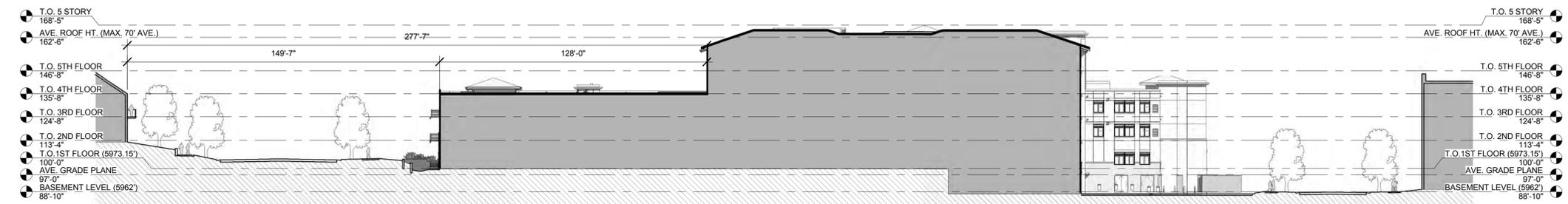
4.8 Acres

Site Improvement Plan Project #SP14-30R

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Project Number: **092004**
 Designed By: **JS AND**
 Checked By: **DM**
 Sheet Number: **14 OF 15**



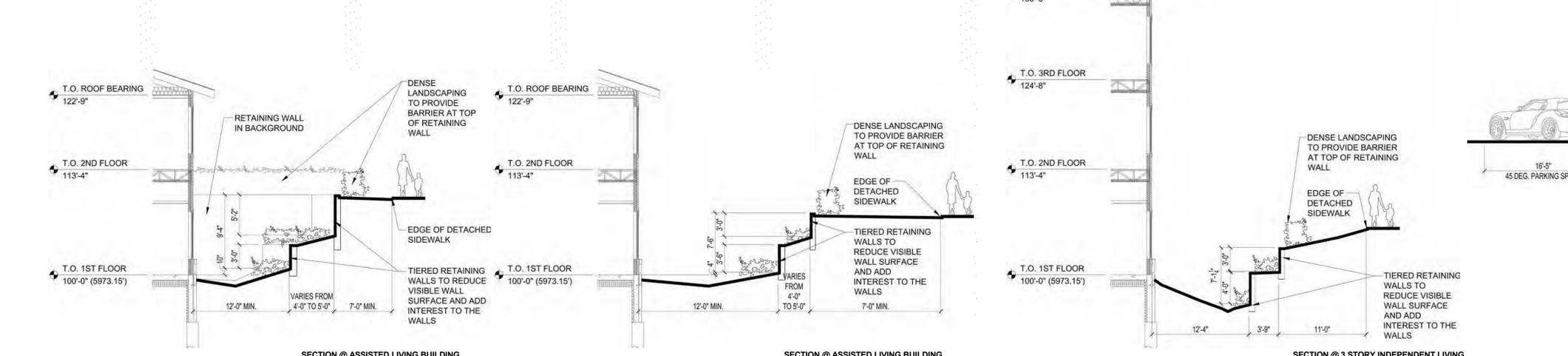
A BUILDING SITE SECTION A
 1" = 30'-0"



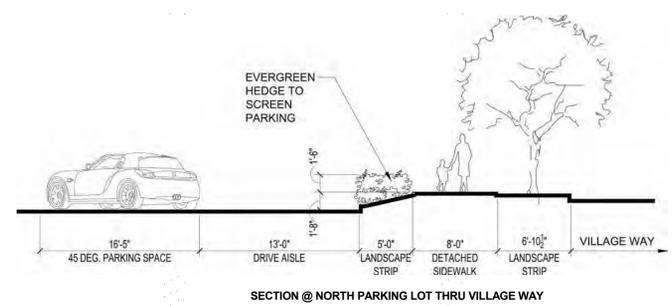
B BUILDING SITE SECTION B
 1" = 30'-0"



C BUILDING SITE SECTION C
 1" = 30'-0"



D Site Sections
 1/8" = 1'-0"



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 Date _____ gpm fire flow
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RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres

Site Improvement Plan Project #SP14-30R

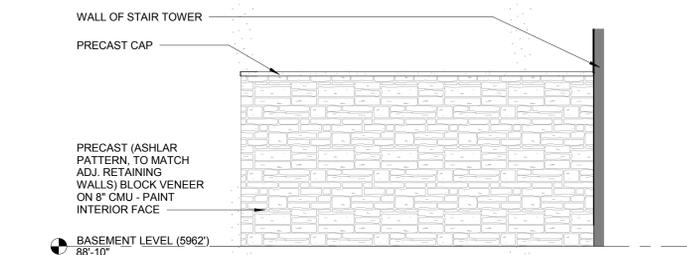
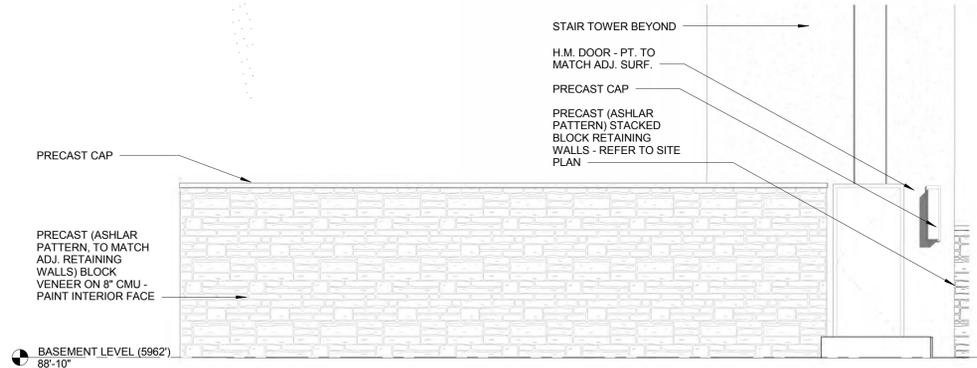
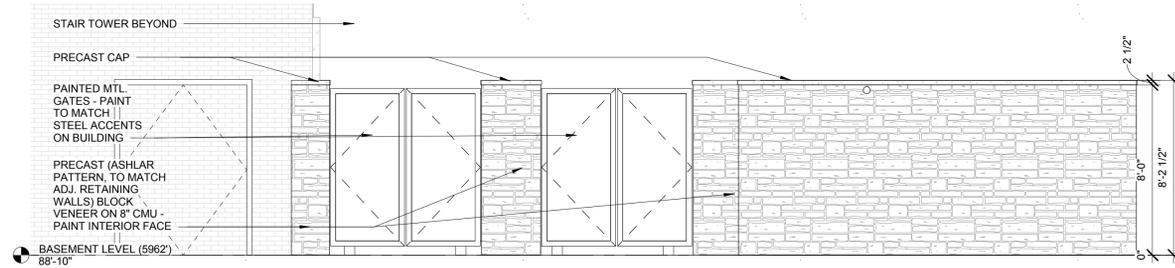
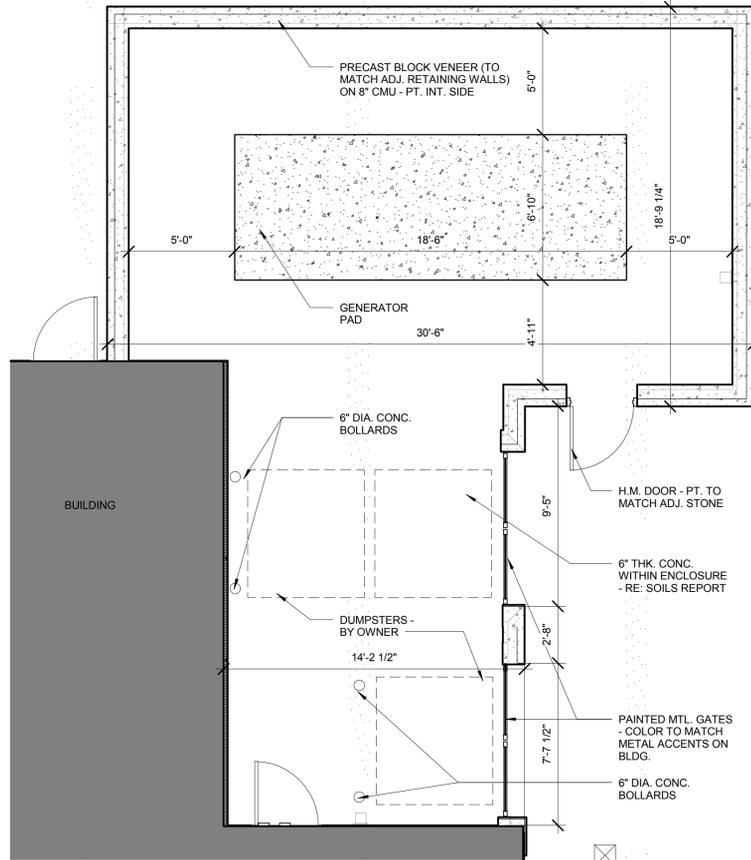
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2	04/25/14	1st Submittal
1		

Lantz-Boggio Architects, P.C.
 5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Project Number: 092004
 Drawn By: JS AND
 Checked By: DM
 Sheet Number: 15 OF 15

Fire hydrants shall be installed according to Denver Water Standards. The number and location(s) of fire hydrant(s) and fire flow as shown on this water main installation is correct as specified by the Denver Fire Department.

Signature of Fire Chief or Designated Representative
 Date _____ gpm fire flow
 Signed _____



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10/14/14 2013.16 MORNINGSTAR AT RIDGEGATE/ENTITLEMENTS/SP BORDER NO DENVER WATER BLOCK.DWG - AMY DENNIS

RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres

Site Improvement Plan Project #SP14-30R

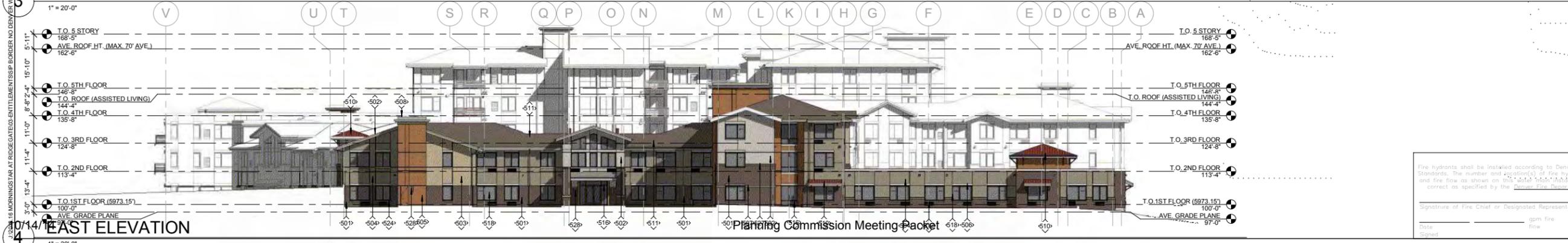
ENGINEERING CONSULTANTS
 Contact: Jason D. Margraf, PE
 6905 S. Para St., Suite B - Centennial, CO 80114-5500
 (303) 345-5601 - FAX: (303) 345-5603
 Email: jdmargraf@engineeringcs.com

**MORNINGSTAR AT RIDGEGATE
 SITE IMPROVEMENT PLAN**

EXTERIOR BUILDING ELEVATIONS



KEYNOTE LEGEND	
501	BRICK - INTERSTATE BRICK 'IRONSTONE'
502	STUCCO 1 - B.M. 'REVERE PEWTER' (HC-172)
503	STUCCO 2 - B.M. 'LENOX TAN' (HC-44)
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527	PRE-CAST CONCRETE WATERTABLE
528	EXTERIOR LIGHT FIXTURE; RE: ELECTRICAL



Fire hydrants shall be installed according to Denver Water Standards. The number and location(s) of fire hydrant(s) and fire flow as shown on this "as-built" shall be correct as specified by the Denver Fire Department.

Signature of Fire Chief or Designated Representative _____
 Date _____
 Scaled _____

MORNINGSTAR LT, LLC
 6905 South Potomac St.
 Centennial CO 80112
 Phone: 303-728-3830
 Contact: Jerry Blocher

No.	Date	Description
1	04/25/14	1st Submittal
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3	09/15/14	3rd Submittal (Planning Commission Review)
4		
5		
6		
7		

DOCUMENT AMENDMENTS

Lantz-Boggio Architects, P.C.
 5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Project Number: 992004
 Drawn By: AND
 Designed By: JIS
 Checked By: DM
 Sheet Number: 13 OF 15

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 JUDICIAL MORNINGSSTAR AT RIDGEGATE 03-ENTITLEMENT/SSIP BORDER NO DENYER WATER BLOCK/DWG - ANY DENIES

RIDGEGATE SECTION 15, FILING 21, LOT 1

RidgeGate Planned Development, Planning Area 1

4.8 Acres

Site Improvement Plan Project #SP14-30R



Partial West Elevation



Partial North Elevation



Partial South Elevation



Partial East Elevation

**ENGINEERING
CONSULTANTS**
Contact: Jason D. Margraf, PE
6505 S. Paris St., Suite B - Centennial, CO 80114-6500
(303) 368-5601 - FAX: (303) 368-5603
Email: jmargin@3Engineering.net

**MORNINGSTAR AT RIDGEGATE
SITE IMPROVEMENT PLAN**
EXTERIOR RENDERINGS

MORNINGSTAR LT, LLC
6905 South Potomac St.
Centennial CO 80112
Phone: 303-728-3830
Contact: Jerry Blocher

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Englewood | CO 80111
Ph: 303.773.0436 |
Fax: 303.773.8709

Project Number: 092004
Drawn By: AND
Designed By: JS
Checked By: DM
Sheet Number:

To be completed by Denver Water

Denver Water's review of these plans relates only to Denver Water requirements, and does not include a full analysis of: soil conditions, support or load factors, or any other matters. Any modification of these plans must be resubmitted to Denver Water for review prior to construction. The Professional Engineer, Contractors, and Owners designing and constructing this proposed water distribution system shall be solely responsible for the adequacy of the design, installation, and materials utilized in this water distribution system for any specific site location.

Date: _____ I.D. No. _____
Contract No. _____ Map No. _____
 Approved for Construction
Approval Valid for 1 year
DENVER WATER
Date: _____ gpm Fire Flow _____
Signed: _____
Size Administrator

Fire hydrants shall be installed according to Denver Water Standards. The number and location(s) of fire hydrant(s) and fire flow as shown on this water main installation is correct as specified by the Denver Fire Department.

Signature of Fire Chief or Designated Representative _____
Date: _____ gpm Fire Flow _____
Signed: _____

DOCUMENT AMENDMENTS

NOTICE: These documents are instruments of professional service, and information contained therein is incomplete unless used in conjunction with Lantz-Boggio's interpretations, decisions, observations and administrations. Use or reproduction of these documents in whole or in part without Lantz-Boggio's consent is in violation of common law, copyright, statutory and other reserved rights. Refer to Act 17 U.S.C., par. 511 (1991), which preempts state and local public records act. Refer to Act 17 U.S.C., par. 301 (1991).



SOUTH METRO FIRE RESCUE AUTHORITY

LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 www.southmetro.org FAX: 720.989.2130

City of Lone Tree – Community Development Department
Attention: Jennifer Drybread – Senior Planner
9220 Kimmer Drive, Suite 100
Lone Tree, Colorado 80124
Office: 303.708.1818
Email: jennifer.drybread@cityoflonetree.com

Application Type: Site Improvement Plan
Status: **Site**
Application Name: Morningstar (Ridgegate Section 15 Filing 21, Lot 1)
Case/AP#: SP14-30R
Referral Received: September 18, 2014
Comments Due: October 6, 2014

S Metro Review # **2021465**
Review date: September 25, 2014
Plan reviewer: Randall L. Capra, randy.capra@southmetro.org
Phone: 720.989.2244

SCOPE: Applicant is submitting to address the SIP for a new (approximately 314,000 square foot) senior living facility that will encompass three specific groups of individual occupancy uses; independent living, assisted living, and memory care

Code Reference: 2009 International Fire Code, 2009 International Building Code

UNRESOLVED ISSUES/COMMENTS

1. Per the fee schedule adopted by the South Metro Board of Directors in 2012, a fee is to be assessed for the review of water distribution system:
(South Metro Fire Rescue Authority (SMFRA) Resolution 2012 - 04: Resolution Adopting a Fee Schedule.

Adoption of Fee Schedule - The Board hereby adopts the Fee Schedule attached hereto as Exhibit A.

The fee for this project will be \$290.00; payment will be required at the time the water documents are submitted for signature

2. All building riser room(s) shall have separate access; this issue was discussed with Jerry Blocker (with Haselden Construction) and Matt Archer (Lone Tree, CBO). The proposed riser room is located on the north side of the project (n/w portion of complex) and is being designed to support the complex (which is being designed as three separate/attached buildings). The riser is to be supported by a 6 inch underground fire line.
3. The submittal does not include an OVERALL UTILITY that satisfactorily meets the intent of the code with regard to the location of all fire hydrants, riser rooms, and underground fire line locations; I am currently working with John (of Merrick) as to the locations of the fire hydrants and riser rooms.

Discussed: The applicant shall add a fire hydrant to the west of the entry that is to be located off of Arts Center Drive, relocate the fire hydrant that is currently shown on the east side of the entry off of Arts Center Drive further east (in an area by the Memory Care Bldg), and add an additional fire hydrant off of Ridgegate Parkway in the area of the pedestrian access by Bldg C.

4. The applicant shall submit an electronic submittal of the overall utility plan (in a pdf format) as required by this office. The electronic submittal shall be uploaded to the www.southmetro.org website at the time of hard copy submittal
5. Separate submittals are required for each underground fire line; the underground fire line shall meet the requirements (provided below) of the most current addition of NFPA 24. Details provided by water districts are not acceptable. Information on underground fire line submittals are noted at the end of this document.

SITE SPECIFIC ISSUES – (Not all items listed below are applicable to every site)

Site Access – Civil drawings and documentation (wet stamped by a Colorado licensed engineer) shall be submitted to the Fire District for review and approval of street and fire lane access to the site and facilities. The drawings shall include an evaluation of Fire District apparatus turning radius requirements (Auto turn or equivalent). At least two drawings clearly depicting the fire lane shall be submitted for Fire District record retention. Fire District apparatus access shall be provided to within 150 feet of any portion of the exterior of the building along an approved route as required by the adopted fire code.

A. Water Supply [SMFR SRR 05-03 11/10/05]

Areas without water supply systems (Sections 508.2, 508.3, and B103.3):

1. In general, all new facilities, structures, and additions to existing structures must meet the fire flow requirements of the International Fire Code Appendices B and C, except as modified by this Supplemental Rule.
2. Water Supplies – Civil drawings and calculations (wet stamped by a Colorado licensed engineer) shall be submitted to the Fire District for review and approval for the purpose of ensuring minimum fire flow requirements for facilities, structures and outside storage of materials. An application with at least two sets of documents shall be submitted to the District for review and approval, one set shall be retained for record retention purposes. Water supplies available for fire fighting purposes shall meet the minimums established by the adopted fire code and as approved by the Fire District.

Fire flow requirements can only be determined and approved when the construction type and total fire area for each building (or worst case) are identified. Provide information on whether fire sprinkler systems will be installed since they may provide a means to reduce fire flow, hydrant number and access requirements.

Total fire area (ft ²)	315,000	Provided by applicant	
Construction type	II-B	Provided by applicant	
Sprinkler system	Yes	Type: NFPA 13	
Required flow (gpm)	Min # hydrants	Average spacing between hydrants (ft)	Max distance f/any point on street to a hydrant (ft)
8,000	8 +	200	120
Up to a 50% reduction will be allowed for installation of an NFPA 13 sprinkler system to a minimum of 1500gpm			
4,000	4	350	210

09 IFC Appendix B

GENERAL COMMENTS

All engineering documents submitted to the Fire District shall bear the wet signature and seal of the engineer or architect in responsible charge of the design.

Water distribution and site access components shall be installed and in service prior to the construction of any portion of the structure, except by special permit issued by the Fire District.

UNDERGROUND FIRE LINE SUBMITTAL REQUIREMENTS

When thrust blocks are used as part of the pipe restraint system, submitted plans for permit shall provide detailed documentation that the thrust blocks satisfy all requirements of 07 NFPA 24: 10.8.2, including specific thrust block dimensions and mathematical calculations for block dimensions per guidelines provided in Annex A.10.8.2.

Reference: 2013 NFPA 24 **Installation of Private Fire Service Mains and Their Appurtenances**

A separate permit is required and will be issued pending review of a detailed submittal which must include the following:
[12 IFC 901.2]

4.1.1 Working plans (1 paper set and 1 pdf downloaded to our website) shall be submitted for approval to the authority having jurisdiction before any equipment is installed or replaced.

4.1.2 Deviation from approved plans shall require permission of the authority having jurisdiction.

4.1.3 Working plans shall be drawn to an indicated scale on sheets of uniform size, with a plan of each floor as applicable, and shall include the following items that pertain to the design of the system:

- (1) Name of owner
- (2) Location, including street address
- (3) Point of compass
- (4) A graphic representation of the scale used on all plans
- (5) Name and address of contractor
- (6) Size and location of all water supplies
- (7) The following items that pertain to private fire service mains:
 - (a) Size
 - (b) Length
 - (c) Location
 - (d) Material (ductile iron, pvc, etc)
 - (e) Point of connection to city main
 - (f) Sizes, types, and locations of valves, depth at which the top of the pipe is laid below grade
 - (g) Method of restraint (Meg-a-Lug or similar)

4.1.4 The working plan submittal shall include the manufacturer's installation instructions for any specially listed equipment, including descriptions, applications, and limitations for any devices, piping, or fittings. Submittals must include installation specifications for thrust blocks, corrosion protection, restraint system, bedding, detail of pipe under the building up to, and including, the flange. When it is intended that a different contractor will extend the fire line from a stopping point outside the building, to the inside flange, a second submittal and permit is required.

All tees, plugs, reducers, valves, and hydrant branches shall be restrained against movement by thrust blocks [10.8.2] or restrained joint systems [10.8.3]. When thrust blocks are used as part of the pipe restraint system, submitted plans shall provide detailed documentation that the thrust blocks satisfy all requirements of Section 10.8.2, including specific thrust block dimensions and mathematical calculations for block dimensions per guidelines provided in Annex A.10.8.2.

Any individual or company who physically works on or installs any part of a fire suppression system, including underground supply lines, from public water lines to system risers and backflow preventers, **must** be registered with the Colorado Division of Fire Safety. [Dept of Public Safety, Division of Fire Safety, Fire Suppression Program 8 CCR 1507-11:3.1.2] Documentation of valid annual registration may be required with plan submittal.

The following website for the Colorado Division of Fire Safety will provide registration instructions.

<http://dfs.state.co.us/SuppAppsProclnsp.htm>

All submittals must display a wet stamp and original signature by a Colorado licensed professional engineer or NICET III, or higher, in fire suppression systems. [Dept of Public Safety, Division of Fire Safety, Fire Suppression Program 8 CCR 1507-11:5.1]

REQUIRED INFORMATION

Pipe	
Type	USP Field Lok Gasket
Material	Ductile Iron
Size (inches)	
Length (feet)	
Bends	22.5° - 0 45° - 0 90° - 0

Total bends Includes one 90° under the building

Joint Restraint				
Thrust block	Yes	22.5°	45°	90°
Height		'	'	'
Width		' "	' "	' "
Area		ft ²	ft ²	ft ²
Block width should be between 1x and 2x the height				

Block height must be \geq the pipe diameter and \leq $\frac{1}{2}$ the depth to bottom of block	
Restained joint	Yes
Type	Megalug Series 1700 for ductile iron



9222 Teddy Lane
Lone Tree, Colorado 80124



Ph: 303-662-8112
Fax: 303-792-9489
www.cityoflonetree.com

CITY OF LONE TREE

Department of Public Works

September 23, 2014

City of Lone Tree
Jennifer Drybread, Senior Planner
9220 Kimmer, Suite 100
Lone Tree, CO 80124

Re: SP14-30R (Morningstar SIP)
RidgeGate Sec 15, Fil. 21, Lot No.1

Project No. 061-383

Dear Jennifer:

We have reviewed the SIP referral for the above referenced Project.

The SIP package submitted and reviewed consists of the following documents:

- Site Improvement Plan (15 sheets), dated 9/15/14, by J3 Engineering Consultants.

Our comments are provided below:

General Comments

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (re: SIP) is \$3,000.00. A separate fee will be associated the Civil Construction Plans review (the amount to be determined once that submittal occurs). The \$3,000.00 SIP review fee will need to be paid prior to the resubmission of the documents for subsequent review and/or approval. The payment should be made out to "City of Lone Tree" and delivered to my attention at Public Works.
2. A Site Improvement Plan Improvements Agreement (SIPIA) may be required for the proposed Project**. If required, the SIPIA standard form is available for reference on the City website (<http://www.cityoflonetree.com/DocumentView.aspx?DID=23>). The surety referenced in the SIPIA would cover all Project hardscape improvements to be installed by Morningstar that are located within the public right-of-ways of RidgeGate Parkway, Belvedere Lane, Art Center Drive and/or Commons Street. (e.g. curb returns, drive approaches, sidewalk, etc.).

**** Note:** It is our understanding that most, or all, of the hardscape within the ROW's, including the sidewalk(s), curb cuts and drive approaches, with possible exception of the Commons Street curb-cut/drive approach, will be installed by the RRMD concurrent with construction of the streets. If all of this work, including that within Commons Street ROW is done by the RRMD, an SIPIA from Morningstar will not be required.

3. A Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans / GESC Report and at least recommendation of SIP approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.
4. Since this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
5. Only those sheets within the SIP set for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the SIP plans set. The applicant's professional(s) should verify that the item(s) are addressed throughout the related SIP Sheets consistently, as applicable.

Specific Comments

Sheet 2-- Site Plan:

1. The Parking Data Table indicates twenty-one (21) on-street parking spaces shown on the Arts Center Drive frontage counted toward meeting the indicated 177 provided parking spaces. The Table also indicates that the required 156 spaces are provided "on-site" (e.g. not counting the Arts Center Drive spaces), which is good since several of the indicated spaces on Arts Center Drive are not allowable.
 - a. Several of the Arts Center Drive parking spaces are in conflict with the driveway-street intersection line of sight requirements. However, per City adopted Douglas County Roadway Design and Construction Standards, (Section 4.11.4), parking within the sight triangle may be allowed on local streets. This portion of Arts Center Drive meets the design criteria for the DC referenced "local streets", and the proposed parking would not be precluded by the driveway line-of-sight concern.
 - b. Per the Model Traffic Code for Colorado (CMTC), parking within 15' either side of the proposed fire hydrant, within 20' of a crosswalk at an intersection (e.g. at Commons and at Belvedere), within 30 feet of a stop sign (e.g. at Belvedere), and/or within 5' of a private driveway would not be allowed. Applying the above CMTC limits, it appears that at best, only approx. 16 spaces would be available on Arts Center Drive.
2. At a recent planning meeting between the City (Planning, Engineering, Art Center) staff and the Douglas County Library representatives, one of the concepts considered for the immediate area was the possibility of providing on-street (bump out) parking on the east side of Commons (similar to that on the west side of Commons). If such bump-out parking addition were to be proposed south of Arts Center Drive (e.g. in front of the proposed Morningstar site), the 9' wide bump-out could be provided within the indicated current 10' Parking Easement. However, even with an attached (6-foot) sidewalk, a slight increase of 1' - 4' of additional pedestrian access and snow storage easement width would be required. Scaling from the site plan, it appears the proposed walls along Commons Street at the NW corner of the Morningstar development would be just east of expanded easement line, which should not be problem provided the wall "footers" do not extend west of the walls into the potential "expanded" easement.
3. There are existing storm sewer easements along the east side of Commons Street and across the SW corner of the proposed Morningstar site (recorded with the Filing #21 Plat, at # 201402901, and subsequently based on final constructed location of the incorporated storm sewer, at # 2014049022). Both of these storm sewer easements should be shown on Sheets 2 through 6 of this Site Plan Package. In addition, the location of the existing storm sewer (shown on Sheet 3) is incorrect, and the correct "as constructed" location should be shown. Conflicts between the storm sewer easement(s), and the proposed site development and landscaping plans, should be clearly demonstrated. The conflicts will need to be addressed appropriately

- before SIP approval. Specifically:
- a. Through an appropriate License Agreement, Public Works would consider allowing the proposed parking lot and associated improvements (at SW corner of site) to overlay the storm sewer easement.
 - b. The proposed location of the relocated switch cabinet must be outside of the storm easement.
 - c. No trees (re: Sheet 5) or other large landscaping plantings would be allowed within the storm sewer easement.
4. A proposed water meter is indicated near the NW side of the development, off of Arts Center Drive. We offer the following concerns regarding this indicated meter:
- a. Provision of both domestic and fire protection connection(s) will be required (see Sheet 3, Grading and Utility Plan). The Site Plan (Sheet 2) should be updated to match Sheet 3 information regarding the water service(s).
 - b. The proposed location of the meter (shown in the concrete area) may not be acceptable to Southgate Water/Denver Water (e.g. meter within concrete, vs. landscaping), and should be confirmed with Southgate/Denver Water.
5. A proposed Directional Sign is indicated at the south side of the driveway connection off Belvedere Lane. The sign should be located back from the street sufficiently that it does not adversely impact the sight distance triangle to the south for traffic exiting the site at this location. As shown on Sheet 2, the location appears to be clear of the sight triangle. As located on Sheet 11, the sign may be slightly in conflict.

Sheet 3 – Grading & Utility Plan:

6. There is only one (1) Fire Department Connection (FDC) indicated for the overall development (on the NE corner of the building near the NW corner of the site). The nearest located fire hydrant is shown as approximately 190 feet (hose length) from this proposed FDC location. South Metro Fire Department (SMFD) requirements are that the FDC should be in the range of no more than 50-100 feet from the nearest hydrant. In addition, given the nature and layout of the proposed Morningstar site, and the potential of multiple fire “zones” and/or multiple fire riser locations within the complex, SMFD may require more than one FDC and/or additional fire hydrant location(s) on-site or around the site. The Site Plan (and ultimately the Civil Engineering Plans) should be updated to address any SMFD comments, including additional fire hydrant location(s).
7. One water service supply location (at NE corner), two sanitary service lines, and one storm sewer connection (four total connections) are shown as new connections into Arts Center Drive. Art Center Drive will be a brand new street, including a geotextile reinforced pavement cross-section. Street cuts in brand new streets (under two years old) normally are not permitted except for emergency repairs of existing utilities. Morningstar should coordinate with the applicable utility providers (Southgate Water and Sanitation Districts, and Denver Water) and with the Rampart Range Metro District, to get the necessary taps and stubs installed BEFORE Art Center Drive is constructed and paved. Likewise, if additional on-site fire hydrant(s) and/or water connections are necessary to address South Metro Fire Department requirements, those additional connection and stubs (if within Art Center Drive and/or Belvedere Lane), also should be installed before those streets are constructed and paved.
8. Insufficient grading information (including spot elevations) is provided to allow a detailed review of the proposed site grading. At an SIP level, we do not anticipate a major concern over the ultimate drainage design. However, detailed site grading information will be required, and must be approved with the Site Civil Construction Documents (plans and drainage report) before final engineering approvals will be issued. In the interim, some specific comments are:
 - a. A storm sewer “stub” is shown into the Central Courtyard – but no drainage grades or other information is provided to indicate how this courtyard area will be graded and/or drained.

- b. The drainage direction arrows in the proposed parking lot at the SW side of the site indicate drainage to the NE, while the inlet in this area is at the NW corner of the lot.
 - c. Based on the indicated grading, drainage from the main drop-off area at the west side, connecting to Commons Street, is shown draining into Commons Street. Typically, drainage from on-site parking lots/drives must be intercepted prior to entering the street. We will review this issue in more detail once the Civil Plans and Drainage Report for the development are submitted. We may require an added inlet at the drive connection to intercept the on-site drainage prior to entering Commons Street.
 - d. A drainage direction arrow is shown (erroneously?) near the east end of the parking garage area.
 - e. Walls are shown over storm sewers in several locations. We normally recommend against storm sewers under buildings and/or walls. However, for the on-site private storm sewers maintained by the property owner, we will not disallow "conflict".
 - f. Retaining walls also are shown at the NE corner of the site, over the "Public" storm sewer between the inlets on Belvedere, just south of Art Center Drive, and the inlets and storm sewer on Art Center Drive. These walls either will not be allowed, or if allowed, will need to be addressed in an appropriate license agreement with the City (perhaps integrated with the License agreement associated with the storm sewer and parking lot at the SW corner of the site – see prior comments above).
9. Several site retaining walls, some greater than 4-foot in overall height (from wall footer to top of wall) are indicated around the site. Retaining wall(s) greater than 4-foot overall height must be designed and sealed by a licensed structural engineer, with the design documentation provided to the City for review. Any such walls connected to and/or part of an adjacent building will be addressed through the Building Department process. Wall submittals on walls for site grading (not connected to an adjacent building) will be part of the grading submittals to Public Works/Engineering for Engineering review and approvals.

Sheets 4 through 11 – 15:

10. Denver Water approval block(s) are included on each of these sheets, although with somewhat differently on Sheets 4 - 7 versus Sheets 8 – 15. Denver Water approvals may be appropriate on the landscaping related sheets (Sheets 4 – 7), however we question Denver Water approval necessity of the other sheets. Please update (remove?) the Denver Water approval blocks if/where not required.

CONCLUSION

Except as noted in the comments above, the general concept of the proposed Morningstar development presented in SIP SP14-30R appears acceptable to Engineering/Public Works. Subject to appropriate resolution of the issues we have noted, we have no objection to recommendation of SIP approval contingent upon final Engineering/Public Works approval of the updated SIP and various engineering documents/plans.

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,



Gregory A. Weeks, PE, LEED ® AP
City Engineer



October 6, 2014

Jennifer Drybread
City of Lone Tree
Community Development Department
9220 Kimmer Drive, Suite 100
Lone Tree, CO 80124

RE: Morningstar, SP14-30R
TCHD No. 3291

Dear Ms. Drybread:

Thank you for the opportunity to review and comment on the Site Improvement Plan Application for a senior living facility located east of Commons Street and north of RidgeGate Parkway. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comments.

Food Service

If the facility is intending to open a kitchen that can serve food to the public, plans for all new and remodeled retail food establishments must be reviewed by TCHD for compliance with Colorado Retail Food Establishment Rules and Regulations and approved by the Department before start of construction. We recommend that the City of Aurora require the plan review and approval be completed before issuing a building permit. The applicant shall call TCHD's Plan Review Hotline, at our Administrative Office at (303) 846-6230, regarding requirements for and scheduling a plan review. Instructions for opening a retail food establishment can be found on line at TCHD's web site at http://www.tchd.org/pdfs/how_to_open_food_est.pdf.

Recreational Health

Swimming pools are environments in which bathers can be exposed to diseases or environmental contaminants. Plans and specifications for all new public pools should be reviewed by Tri-County Health Department (TCHD) to ensure that swimming pools provide bathers a safe and clean environment. The applicant should submit plans for the proposed pool(s) to our Administration Office. A downloadable copy of the pool and spa plans can be found at <http://www.tchd.org/pools.htm>. The phone number for the Administration Office is 303-200-1670 for assistance in this process. We recommend a review of the plans by TCHD be completed before Lone Tree issues a building permit for the addition.

Sun Safety

Exposure to ultraviolet (UV) rays from the sun is a leading risk factor for skin cancer, the most common cancer in the United States. Colorado has the 5th highest death rate from

Morningstar, S14-30R
TCHD Case # 3291
October 6, 2014
Page 2 of 2

melanoma, the most deadly form of skin cancer. TCHD commends the applicant for incorporating shade structures in the central courtyard area.

Please feel free to contact me at 720-200-1580 or vrichard@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be 'V. Richardson', with a long horizontal line extending to the right.

Vanessa Richardson

Environmental Health Specialist II

CC: Sheila Lynch, Keith Homersham, TCHD

✓



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3660
donna.l.george@xcelenergy.com

October 7, 2014

City of Lone Tree
Community Development Department
9220 Kimmer Drive, Suite 100
Lone Tree, Colorado 80124

Attn: Jennifer Drybread

Re: RidgeGate, Section 15, Filing No. 21, Lot 1 - Morningstar, Case # SP14-30R

Public Service Company of Colorado (PSCo) has reviewed the plans for **RidgeGate, Section 15, Filing No. 21, Lot 1 - Morningstar**. Please be aware PSCo owns and operates existing natural gas and electric distribution facilities within the subject property. The property owner/developer/contractor must continue working with Mike Martinez (Designer, 303-716-2033) and Robyn Larm (Right-of-Way Agent, 303-716-2043) for approval of design details and any necessary easements.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center at 1-800-922-1987** to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



WATER AND SANITATION DISTRICTS
3722 EAST ORCHARD ROAD, CENTENNIAL, CO 80121
MAIN 303.779.0261 FAX 303.779.0220
WWW.SOUTHGATEDISTRICTS.ORG



October 6, 2014

Delivered via email: jennifer.drybread@cityoflonetree.com

Jennifer Drybread
Community Development Department
City of Lone Tree
9220 Kimmer Drive, #100
Lone Tree, CO 80124

**RE: Referral for Project File No. SP14-30R
RidgeGate, Section 15, Filing 21, Lot 1, Morningstar
SPN 2231-152-19-001**

Dear Ms. Drybread,

The subject property is within the boundaries of Southgate Water & Sanitation Districts (Southgate) and is serviceable through Southgate; and, service connections to Southgate's water distribution and wastewater collection systems may be made only after proper application to Southgate and are subject to the following conditions. Southgate comments are as follows:

1. The subject property will have water and sewer main line access within Arts Center Drive, to be installed by the Rampart Range Metro District; and, additional water distribution and wastewater collection system extension projects are not anticipated with the development of the subject property.
2. Fire hydrant, water and sewer service plans, with applicable fees, shall be submitted to Southgate for review and approval prior to construction. The design and construction of water and wastewater systems or facilities shall be in strict accordance with Southgate Water & Sanitation Districts' Rules & Regulations and Design & Construction Standards/Specifications. Information on the review process and submittal requirements can be found on Southgate's website: www.southgatedistricts.org
3. Grease interceptor plans, with applicable fees, shall be submitted to Southgate for review and approval prior to construction. The design and construction shall be in strict accordance with Southgate Sanitation District's Rules & Regulations and Design & Construction Standards/Specifications. Information on the review process and submittal requirements can be found on Southgate's website.
4. Southgate adheres to the Littleton/Englewood Wastewater Pre-Treatment Policy and their Fats, Oils, and Grease (FOG) Program. The policy can be found on their website: www.Englewoodgove.org/wwtp/ - review and implement best management practices as necessary.

5. Trees, woody plants, landscaping, plantings, etc. (excluding sod, bark, and gravel) are not permitted within Southgate easements to ensure clear access for operations and maintenance.
6. Contact Southgate's Engineering Staff as soon as possible to discuss the project and establish project-specific requirements.

You may contact me at cbaca@southgatedistricts.org or (303) 713-7746 with questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'CBaca', with a long horizontal flourish extending to the right.

Christina Baca, PE
Project Engineer

cc: David Irish, John Allen, File

**RidgeGate
Residential Design Review Committee
Morningstar Haselden
Lincoln Commons South
Pre-Submittal Meeting
July 11, 2013**

In attendance for the Design Review Committee:

Craig Karn, Consilium Design
Steve Lane, Kephart Architects
Keith Simon, Coventry Development/RidgeGate

In attendance for the City of Lone Tree:

Steve Hebert
Jennifer Drybread

In attendance for Morningstar Haselden:

Jerry Blocher, Haselden Construction
Jeff Shera, Lantz-Boggio Architects
Jason Margraf, J3 Engineering Consultants, Inc.

Applicant Presentation:

The project is a senior living community consisting of two Independent Living buildings, one of which is 5 stories, two Assisted Living buildings (3-4 stories), memory care buildings and an aquatic/fitness building. Living units range from 500-1,500 square feet. The site is bounded by Commons Street on the West, Village Way to the north, Belvedere Lane to the east and RidgeGate Pkwy on the south. The Assisted and Independent Living buildings create a central courtyard for those residents while the Assisted Living and Memory Care buildings create an enclosed courtyard for the memory care residents. Site plans include plaza bistro space at the northwest corner of the site along Commons Street ending mid-way up the Independent Living building. The grade change from Village Way to RidgeGate Pkwy is approximately 15 feet. The applicant presented architecture character studies.

DRC Comments:

Architecture

- Give consideration to elevations along RidgeGate Parkway that face existing homes to the south.
- Current architectural forms are somewhat arbitrary, particularly the urban design form along RidgeGate Parkway where the form is lost. Reconsider the shape of the aquatic/fitness center or consider architecture that reinforces the round-a-bout.
- Consider the materials and forms. Multiple materials and layers; Pitched roof and shorter buildings with unique features; balcony elements on Independent Living units.

Site Plan/Landscape Plan

- Consider opportunities to strengthen the street edge.
- Double driveway ingress/egress (Commons and Belvedere) should be studied in consultation with City Public Works staff.
- Consider revising the Independent Living entry to work with the utility cabinet. Possibly a straight in design with round-a-bout.
- Consider extending the outdoor plaza up to Commons and Village Way to blend with the existing and future retail.
- There was discussion regarding City parking requirements and the process for a variance. Consider opportunities for parallel parking in order to meeting City parking requirements.
- Coordinate streetscape with the Rampart Range Metropolitan District.

Next Meeting:

- **Provide cross sections**
- **Continue to develop site plan and architecture**
- **Provide conceptual landscape plans**
- **Provide grading plans**

The meeting ended at 4:30pm. The applicant was approved to the Schematic Design phase of the Design Review process.

**RidgeGate
Residential Design Review Committee
Morningstar Haselden
Lincoln Commons South
Schematic Design Meeting
September 13, 2013**

In attendance for the Design Review Committee:

Craig Karn, Consilium Design
Jon Hindlemann, Hindlemann Architects
Steve Lane, Kephart Architects
Kevin Yoshida, The Abo Group

In attendance for the City of Lone Tree:

Steve Hebert

In attendance for Morningstar Haselden:

Jerry Blocher, Haselden Construction
Dennis Boggio, Lantz-Boggio Architects
Amy Deines, Lantz-Boggio Architects
Dwight Miller, Lantz-Boggio Architects
Ben Jenkins, J3 Engineering Consultants, Inc.
Mardi Salazar, MEP Engineering

Applicant Presentation:

Per the Pre-Submittal meeting, the applicant proceeded forward with formal Site Plan and Architecture design.

DRC Comments:

Architecture

- Consider ways to break up massing on long wall planes (especially the north side) with additional roof forms and materials such as brick, roof skirts, brackets or stucco color changes. Provide contrasting roof materials.
- Consider widening the north elevation center tower element or accentuate this element by using a contrasting material or provide more separation between the two shorter building elements.
- Address the transition between the 2nd and the 5th story portions of building at the building corners.
- Clarify the portions of the roof where RTU's will be placed.
- Bring the masonry level higher on the building (high waist it) elevation and consider a base-middle-top solution to visually reduce the building height.
- Use the influence of the Lone Tree Arts Center building for the entry arcade to this building.
- Provide a version of the building in sketch up model.

Site Plan/Landscape Plan

- Study the 4 to 5 site and topographic conditions along RidgeGate Pkwy and provide site sections for DRC review.
- Study the relationship of the building to the round-a-bout. The building should adapt and parking should not be visible. Consider increasing landscaping at the round-a-bout and give consideration to pedestrian connection and experience.
- Provide detailed landscape plans, including species and call outs, at next meeting.
- Strengthen streetscape and urban edge especially along RidgeGate Pkwy and Village Way. Consider double esplanade of trees with screen wall on Village Way.
- Provide site cross sections at key points along Village Way at next meeting.
- Provide a detail of the plaza site at the northwest corner. Consider pedestrian connection at the intersection versus a midblock connection and consider ways to create an urban statement.
- Identify and label snow storage locations.
- Provide detail of the 11 foot wall at the site pinch point on RidgeGate Pkwy. Break up the wall with color and materials. Consider benching the wall and adding ivy. Consider straightening this portion of the building to relieve the tight pinch point against the curvature of RidgeGate Pkwy and enhancing the public view/landscaping.
- Consider signage revisions such as incorporating into site retaining walls.
- Consider corner monumentation and signage as a function of the landscape, especially in the pedestrian plaza areas.
- Identity and provide on street parking on Commons Street, Village Way and Belvedere Lane.
- Integrate the RRMD provided sidewalks and tree lawns around the site perimeter as appropriate.

Next Meeting:

- **Provide site cross sections as identified in the notes above**
- **Continue to develop site plan and architecture**
- **Provide developed landscape plans**
- **Provide grading plans**
- **Provide material and color boards including retaining wall materials**
- **Provide 3D renderings (sketch up model)**

The meeting ended at 11:00am. The applicant was conditionally approved to the Design Development phase of the Design Review process.

**RidgeGate
Residential Design Review Committee
Morningstar Haselden
Lincoln Commons South
Design Development Meeting
February 6, 2014**

In attendance for the Design Review Committee:

Craig Karn, Consilium Design
Jon Hindlemann, Hindlemann Architects
Steve Lane, Kephart Architects
Kevin Yoshida, The Abo Group
Keith Simon, RidgeGate

In attendance for the City of Lone Tree:

Steve Hebert
Jennifer Drybread

In attendance for Morningstar Haselden:

Matt Turner, Morningstar
Jerry Blocher, Haselden Construction
Dennis Boggio, Lantz-Boggio Architects
Amy Deines, Lantz-Boggio Architects
Dwight Miller, Lantz-Boggio Architects
Ariel Gelmans, BW Design Group
Jason Margraf, J3 Engineering Consultants, Inc.
Mardi Salazar, MEP Engineering

Applicant Presentation:

Dennis Boggio reviewed the comments from the Schematic Design meeting. Their responses to and modifications made are as follows:

- Modified the grade and architecture of the building at the southeast corner of the site to allow room between the building and the garden retaining wall. This modification reduced the height of the wall to 6 feet maximum. A guard rail will be installed along the points closest to the sidewalk and landscape material at the farther points to act as a guard rail.
- Added trees along Village Way and along RidgeGate Pkwy to create urban edge.
- Added landscaping details at the corners where signage is located.
- Signage locations designated at the RidgeGate Pkwy and Commons Street round-about, Village Way and RidgeGate Pkwy intersection, and Commons Street and Sky Ridge Ave intersection.
- Building materials and colors were identified. Brick will wrap the base of the building stepping up at areas to break up the mass of the stucco material. Three different hues of beige stucco colors were selected and were drawn from the neighboring Lincoln Park townhomes and Lone Tree Arts Center and one trim color was chosen. The colors were meant to be subtle to help scale the building down, create a clean appearance, and help the building fade into the background. Vertical details on the front entry building facade are burgundy colored metal. Awnings are added for

accent, consisting of terra cotta colored fabric. Roofs are a combination of asphalt composition shingles and painted standing seam metal.

- Landscape plans call for perennials around the building with ornamental grasses and other low maintenance materials. Ornamental grasses are meant to screen vehicle parking areas from public streets. There are no plans for turf lawn areas inside the project's property line.

DRC Comments:

- **In general, the submittal was not felt to be at the Design Development level of detail required, especially the landscape plans.**

Architecture

1. Study and consider more contrast in the proposed color schemes for the body of the building, including metal railings and vertical elements that have more color or punch to them. The color scheme is too subtle and washes out, especially at the upper levels and the excitement in the building is lost.
2. Large panels of stucco walls need reveals and windows or other detail where possible.
3. Study and consider ways to break up the southern elevation and upper floor of the eastern elevation by adding a window at the end of that hallway, as it is not engaging. Consider a bay window or other architectural detail to break up the building massing. Currently the building has an institutional appearance because of the massing, scale and color scheme.
4. The project is suburban and introverted within a mandate for strong edge and urban design principles. The architecture should incorporate contributions to the public realm especially the building and site at the northwest corner of the site where there is a lack of activation. Let the urban design imperative influence the architecture of the building.

Site Plan/Landscape Plan

1. The DRC is not comfortable with the current site plan for the northwest corner of the site and it is not consistent with applicant's verbal description of the "community connection". Study and consider opportunities to activate the corner with the public. If no viable alternative is found, consider expanding the landscape wall around the building.
2. Provide a 3D model of the street scene at the round-about. Consider the addition of landscape elements to reinforce round-about form.
3. Consider opportunities to enhance the corner at Village Way and Belvedere Lane and consider using landscape and/or structural features to enhance the project and the pedestrian transition to the future open space to the east.
4. Add landscaping and/or low retaining walls to screen vehicle parking where close to sidewalk (Village Way and Commons Street in particular). The RidgeGate Design Standards and Guidelines require that parking areas are screened with a low walls or berm.
5. Consider seeding areas around lower walls and keeping color materials at the corners. Continue to explore mix and refine the landscaping palate.
6. Add evergreen trees where there is an opportunity and explore using other columnar evergreens to substitute for the arborvitae.
7. Reflect Rampart Range Metro District tree lawn landscaping and pedestrian lighting on plans.
8. Provide cross sections of parking conditions to show prototypical site conditions.
9. Consider opportunities for pedestrian connections from the Independent Living building to the perimeter sidewalk, especially at Commons Street.
10. Provide details and material of trash enclosure.

Next Meeting:

- **Provide site cross sections as identified in the notes above**
- **Provide developed landscape plans**
- **Provide revised material and color boards including retaining wall materials**
- **Provide 3D model and renderings (sketch up model) as noted above.**

The meeting ended at 3:45pm. The applicant was asked to resubmit to the Design Review Committee in the Design Development phase of the Design Review process.

**RidgeGate
Residential Design Review Committee
Morningstar Haselden
Lincoln Commons South
Design Development Resubmittal Meeting
April 8, 2014**

In attendance for the Design Review Committee:

Jon Hindlemann, Hindlemann Architects
Steve Lane, Kephart Architects
Keith Simon, RidgeGate

In attendance for the City of Lone Tree:

Jennifer Drybread

In attendance for Morningstar Haselden:

Matthew Turner, Morningstar
Jerry Blocher, Haselden Construction
Dennis Boggio, Lantz-Boggio Architects
Amy Deines, Lantz-Boggio Architects
Dwight Miller, Lantz-Boggio Architects
Jeff Shera, Lantz-Boggio Architects
Ariel Gelman, BW Design Group
Jason Margraf, J3 Engineering Consultants, Inc.
Mardi Jones, MEP Engineering

Applicant Presentation:

The following was presented:

- A revised 3D model showing increased window size, addition of windows along the eastern wall, stucco detailing on that wall as well to help break up the solid plane and the revisions to the northwest corner.
- Revised color board. Metal roofing detail was modified to a brick red color, awnings were changed from orange to yellow, building body colors are now beige and tans with an orange accent color and the brick is a dark brown/red color.
- Revised landscape plans for the northwest corner were presented. The internal program was adjusted to push the dining/community room to the northwest corner, balconies above the corner extended to allow for more public space outside, awnings, benches and terraced landscape planter walls were added. One planter wall will be brick where signage will be mounted and the other two will be rough faced retaining wall material. The signage wall is 6 ½ to 7 feet tall. Landscape materials in the walls will cascade over to soften.
- Modifications to the northeast corner include a curvilinear plant bed around the corner of the building creating a connection between the two sidewalks.
- Trash enclosure details were presented. The trash enclosure is faced with stone to match the building materials.
- Signage will be pin detail with no back lighting.

DRC Comments:

- **Consistency of drawings and projection with material board needs to be confirmed for PC/CC Presentations.**

Architecture

1. ****The City prefers a terracotta color over the orange stucco color presented.**
2. ****Confirm the yellow awning presents as yellow.**
3. ****Provide detail of awning attachment.**

Site Plan/Landscape Plan

Northwest Corner:

1. Consider ways to soften the 90 degree angle of the signage wall.
2. ****Continue ground planting bed around the corner planter wall.**
3. ****Reorient the two benches 90-degrees from planter wall in paired groupings and add additional bench grouping .**
4. ****Add a rectangular tree bed rather than tree grates.**
5. Consider using color and/or patterned materials for planter walls. Consider using brick on all low walls.
6. Re-Study # of parking lot light fixtures in North Lot.

Northeast Corner:

1. ****The DRC favors eliminating the path element.**

Overall Site:

1. ****Consider opportunities for year round color landscape, i.e. evergreens.**
2. ****The DRC will provide Craig Karn's comments regarding species and other detailed landscape comments separately.**
3. ****Consider potential conflicts of ornamental trees with pedestrians and vehicles.**

The meeting ended at 3:30pm. The applicant was approved to the Construction Document phase of the Design Review process and approved to submit their SIP to the City of Lone Tree SUBJECT TO INTEGRATION OF THE COMMENTS ABOVE W/.**

**RidgeGate
Residential Design Review Committee
Morningstar Haselden
Lincoln Commons South
Design Development Resubmittal Meeting
September 10, 2014**

In attendance for the Design Review Committee:

Jon Hindlemann, Hindlemann Architects
Steve Lane, Kephart Architects
Dick Marshall
Keith Simon, RidgeGate
Kevin Yoshida, The Abo Group

In attendance for the City of Lone Tree:

Jennifer Drybread

In attendance for Morningstar Haselden:

Matthew Turner, Morningstar
Jerry Blocher, Haselden Construction
Amy Deines, Lantz-Boggio Architects
Dwight Miller, Lantz-Boggio Architects
Jeff Shera, Lantz-Boggio Architects
Mardi Jones, MEP Engineering

Applicant Presentation:

The applicant reviewed modifications made since the April DRC meeting and subsequent work sessions.

- 34 units were added to the project. Those units came from the addition of a 5th story on the north elevation and a 3rd story to the east Assisted Living elevation.
- The northwest corner remains 3 stories.
- Parking spaces were added. 39 in the garage and 5 surface spaces between the west and north parking lots. There will be controlled access entry at night.
- The emergency generator was moved to the northwest corner of project and is screened by an 8 foot enclosure. The enclosure material will be the same as the retaining wall material.
- The retaining wall along the north of the site was extended west, it is about 3' to 4' in height, and a retaining wall was added along the south side of the site.
- A low retaining wall was added on the east elevation in front of the memory care center.
- The west and south architectural elevations were unchanged.
- The east elevation was changed to include the 3rd story on the Assisted Living building.
- The north elevation was modified by extending the 5 story elevation east.
- The northwest corner elevation has the added generator enclosure with a small landscape strip between the enclosure and the sidewalk.
- LED lighting will be provided with a thin edge to the light fixture so that they are less visible and be a warm color.

- Pedestrian light fixtures are at 15' in height. Pedestrian lights will be at assisted living and independent living entries.
- Building mounted sconces will be dark bronze.
- Seasonal lighting will be used.

DRC Comments:

- **Consistency of drawings :**
 - **Correct landscape colors to match landscape plan materials.**
 - **Coordinate landscape renderings to include RRMD landscape.**
 - **Update context site plan on the cover of the SIP package. Darryl will send Amy a new plan.**
- **Items of note for Planning Commission and City Council hearings:**
 - **Be aware of the possible push back from Planning Commission regarding the use of Honey Locust trees.**
 - **Create a presentation board with the landscape site plan in color.**
 - **Include 3D models in presentation materials.**

Architecture

1. Consider opportunities to enhance the east tower element on the north elevation due to the new street alignment and now that it is a focal point. Consider adding windows or spandrel glass as reveals and scoring is not enough given the mass of the wall.

Site Plan/Landscape Plan

- **Consider a third tree species to the plant scheme for additional variety.**

Northwest Corner:

1. Consider vines (and a trellis element) or columnar junipers in the planting area around the generator enclosure.
2. Consider alternative retaining wall material, colors or pattern of materials for the leading walls at northwest corner. At a minimum change the color or add a decorative coursing of the building brick or wall cap.
3. Coordinate outdoor furnishing with the Metro District improvements.

North Parking Lot:

1. Increase plant material in the islands to add as much material as possible.
2. Consider lowering the hedge or trim low at driveway ingress/egress due to possible sight distance issues.
3. Consider a lighter colored textured pole for light poles and fixtures in the parking lot to help make them disappear.

Southeast Corner:

1. Delete the sod in front of signage monument. Consider additional planting material or ornamental grasses.

Signage:

Signs were approved as presented and clarified that there is ground mounted lighting, but no up lighting.

The meeting ended at 12:00pm. The applicant was conditionally approved to the Construction Document phase of the Design Review process and approved to submit their SIP to the City of Lone Tree.



September 24, 2014

Mr. Matthew Turner
Morningstar Senior Living
7555 E. Hampden Avenue, Suite 501
Denver, CO 80231

RE: Morningstar Senior Living DRC Review – Lincoln Commons South

Matt,

The RidgeGate Design Review Committee (DRC) has reviewed the Design Development (DD) submittal package. The DRC approves the submittal subject to incorporation of the following design elements with your Site Improvement Plan (SIP) application to the City of Lone Tree:

Architecture

1. Consider opportunities to enhance the east tower element on the north elevation due to the new street alignment and now that it is a focal point. Consider adding windows or spandrel glass as reveals and scoring is not enough given the mass of the wall.

Site Plan/Landscape Plan

- Consider a third tree species to the plant scheme for additional variety.

Northwest Corner:

1. Consider vines (and a trellis element) or columnar junipers in the planting area around the generator enclosure.
2. Consider alternative retaining wall material, colors or pattern of materials for the leading walls at northwest corner. At a minimum change the color or add a decorative coursing of the building brick or wall cap.
3. Coordinate outdoor furnishing with the Metro District improvements.

North Parking Lot:

1. Increase plant material in the islands to add as much material as possible.
2. Consider lowering the hedge or trim low at driveway ingress/egress due to possible sight distance issues.
3. Consider a lighter colored textured pole for light poles and fixtures in the parking lot to help make them disappear.

Southeast Corner:

1. Delete the sod in front of signage monument. Consider additional planting material or ornamental grasses.

This approval allows your plans to be submitted to the City of Lone Tree for review of the project for a SIP. The DRC will confirm incorporation of any remaining design elements in the Construction Document (CD) stage of the DRC approval process.

Regards,

Darryl Jones
RidgeGate DRC Administrator



CITY OF LONE TREE STAFF REPORT

TO: Lone Tree Planning Commission

FROM: Kelly First, Community Development Director

DATE: October 8, 2014

FOR: October 14, 2014 Agenda

SUBJECT: Proposed Amendment to Chapter 16 (Zoning) of the Municipal Code related to consolidation of the Board of Adjustment and Appeals. Public Hearing item #MI14-64

Summary

The Board of Adjustment and the Board of Appeals are two boards that very seldom meet for official business. The Board of Adjustment has met twice since the city incorporated and the Board of Appeals has met eight times during that same time period. The Board of Adjustment is required by the City's home rule charter and the Board of Appeals is required by the building code. Staff proposes consolidation of the two boards.

References to the Boards appears in two sections of the Municipal Code: Chapter 2 (Administration and Personnel), and Chapter 16 (Zoning). Chapter 16 (Zoning) amendments must be considered by the Planning Commission and City Council, per Sec. 16-1-100 of the Zoning Code.

Amendments are limited to Article XXVI of the Zoning Code (Variance and Appeal Standards and Procedures). There are no changes proposed to the procedures or requirements associated with variances or appeals. Rather, the amendments are simply to change all references to "Board of Adjustment" to "Board of Adjustment and Appeals". Also, at the advice of the City Attorney, a new section has been added (16-26-100) to clarify the option for review of decisions by District Court. A red-lined version of the Chapter with proposed amendments is attached.

Recommended Action

Staff recommends the Planning Commission recommend approval of the Zoning Code Amendments to the City Council.

Background

Creation and Purpose of the Board of Adjustment

The Board of Adjustment is required by Article VII of the City's Charter. According to the Charter:

- By ordinance, the Council shall create and establish a Board of Adjustment and shall determine the number of its members. The Council shall appoint such members, who shall serve overlapping terms of three years. (Note the Charter does not set a minimum number of members, nor does it require term limits for the Board of Adjustment.)
- The Board shall exercise the powers and perform the duties assigned to it by the Council acting by ordinance. The findings and decisions of the Board shall be final and subject to judicial review.

Article V of the Municipal Code establishes the Board of Adjustment. According to Article V:

- Early versions of the code required the Board consist of five members. The current version of the code does not state a minimum. Historically, appointment resolutions have always kept the Board of Adjustment at five (5) members.
- The Board of Adjustment may grant variances to Chapter 16 of the Code (Zoning Chapter), subject to the limitation and approval criteria in Chapter 16.
- The Board of Adjustment shall also hear and decide appeals of any administrative decision related to the enforcement of Chapter 16.
- Article V and Chapter 16 require a minimum of four affirmative votes to approve a variance or appeal.

Chapter 16 limits the authority of the Board of Adjustment to variances related to:

- Minimum area of a lot
- Maximum height of structures or fences
- Minimum setbacks
- Minimum off-street parking requirements

Chapter 16 also gives the City Council the authority to grant variances through the Site Improvement Plan (SIP) process. Because all non-single-family residential developments are subject to an SIP, historically variances for these types of projects have been the purview of the City Council.

In addition to the Council's authority to grant variances, all of the City's single-family residential subdivisions are relatively new, having been established in the 1980s and after. The zone districts, minimum lot sizes, setbacks and height restrictions closely match the intent of the original subdivisions. In addition, most of the subdivisions have relatively strong homeowners associations, with restrictive covenants. Because of this, setback and height variances are very seldom required or requested by homeowners.

The two variance applications the Board of Adjustment has heard since incorporation include the height variance for the SkyVenture structure and setback variances for a shed, a garage and a bay window at a home in the Carriage Club. The SkyVenture variance was denied by the Board but subsequently approved by the City Council through an amendment to the Planned Development zoning. The Carriage Club variances were all denied unanimously by the Board.

Creation and Purpose of the Board of Appeals

The Board of Appeals is established in the International Building Code (IBC) and the International Residential Code (IRC) "to hear and decide appeals of orders, decisions or determinations made by the building official relative to the application and interpretation of the code." The Board of Appeals does not grant variances to the building code, but rather rules on interpretations of the code or whether a request for modification meets the intent of the code.

Per the IBC and the IRC, the Board of Appeals shall consist of members who are qualified by experience and training to pass on matters pertaining to building construction and are not employees of the jurisdiction.

The eight times the Board of Appeals has met occurred prior to 2007, when the City was still using the 1997 Uniform Building Code (UBC). In 2009, the City adopted the 2006 series of building codes and currently enforces the 2009 series of codes. The 1997 UBC was a more prescriptive code with little room for interpretation or flexibility. The more recent International Codes (IBC and IRC) are prescriptive but also performance-based, and as such they allow for alternate means and modifications to meet the intent of the code. Most jurisdictions in the metro area have also seen a dramatic reduction in the number of appeals considered by their boards. Douglas County's building board of appeals has met once in the last eight years.

Proposed Consolidation

Having two boards that seldom meet is an unnecessary use of resources necessary to advertise, interview and train. It is often disappointing to the members who get appointed to sit on a board or commission that seldom, if ever, meets. Staff suggests

amending the municipal code and the Council adopted policy on commissions, boards and committees to maintain one board instead of two.

The essential elements of the proposal are as follows:

- a) One board called the Board of Adjustment and Appeals
- b) Five board members
- c) At least three members should have experience in the building trades, such as construction, architecture, fire protection, civil engineering or related legal experience. Two members may not have any of the above background
- d) Terms of three years
- e) No term limits
- f) All current members of the two individual boards may be considered for the consolidated board
- g) Approval of zoning code variances would still require four affirmative votes
- h) Building code appeals would require four affirmative votes.

CHAPTER 16

Zoning

Article I

Administrative Provisions and Procedures

Sec. 16-1-10	Intent
Sec. 16-1-20	Authority of City
Sec. 16-1-25	Short title
Sec. 16-1-30	Overlapping regulations
Sec. 16-1-35	Applicability
Sec. 16-1-40	Existing permits or easements
Sec. 16-1-50	Jurisdiction
Sec. 16-1-60	Fees
Sec. 16-1-70	Definitions and section numbers
Sec. 16-1-90	Calculation of time period for public notice
Sec. 16-1-100	Amendment of Chapter; procedure
Sec. 16-1-110	Effective date of amendments
Sec. 16-1-120	Public notice requirements for amendments
Sec. 16-1-130	Violations
Sec. 16-1-140	Penalties
Sec. 16-1-150	Damages and abatement
Sec. 16-1-160	Enforcement of Chapter
Sec. 16-1-170	Nonliability for officials
Sec. 16-1-180	Nonliability for injury
Sec. 16-1-190	Any provision declared invalid
Sec. 16-1-200	Application of any provision declared invalid
Sec. 16-1-205	Repeals
Sec. 16-1-210	Effective date

Article II

General Requirements and Exceptions

Sec. 16-2-10	Districts
Sec. 16-2-20	Incorporation of maps
Sec. 16-2-30	District boundaries
Sec. 16-2-40	Disconnected land
Sec. 16-2-50	Exclusion of uses
Sec. 16-2-60	Inclusion of use not listed
Sec. 16-2-70	Trash, junk, inoperative vehicles
Sec. 16-2-80	Reserved
Sec. 16-2-90	Public access
Sec. 16-2-100	Minimum area
Sec. 16-2-110	Building restrictions
Sec. 16-2-120	Merger by contiguity
Sec. 16-2-130	Satisfied dedication requirements
Sec. 16-2-140	Review fees
Sec. 16-2-150	Reserved
Sec. 16-2-160	Setbacks for infill lots
Sec. 16-2-170	Household pets
Sec. 16-2-180	Planned Developments
Sec. 16-2-190	Dedication of land
Sec. 16-2-200	Group homes
Sec. 16-2-210	Property maintenance
Sec. 16-2-220	Variances to height and setback requirements

Article III	Reserved
Article IV	Reserved
Article V	Reserved
Article VI	Reserved
Article VII	SR – Suburban Residential District (SR-1—SR-M)
	Sec. 16-7-10 Intent
	Sec. 16-7-20 Principal uses
	Sec. 16-7-30 Accessory uses
	Sec. 16-7-40 Uses permitted by special review
	Sec. 16-7-50 Maximum gross density
	Sec. 16-7-60 Minimum lot area
	Sec. 16-7-70 Water and sanitation
	Sec. 16-7-80 Utilities
	Sec. 16-7-90 Land dedication
	Sec. 16-7-100 Street standards
	Sec. 16-7-110 Parking standards
	Sec. 16-7-120 Minimum setbacks
	Sec. 16-7-130 Encroachments
	Sec. 16-7-140 Building height
	Sec. 16-7-150 Fencing standards
	Sec. 16-7-160 Sign standards
	Sec. 16-7-170 Lighting standards
	Sec. 16-7-175 Common/public area standards
	Sec. 16-7-180 Subzoning districts (SR-1 through SR-4)
	Sec. 16-7-190 Principal uses of SR-1 Subzoning District
	Sec. 16-7-200 Uses permitted by special review in SR-1 Subzoning District
	Sec. 16-7-210 Development standards of SR-1 Subzoning District
	Sec. 16-7-220 Principal uses of SR-2 Subzoning District
	Sec. 16-7-230 Uses permitted by special review in SR-2 Subzoning District
	Sec. 16-7-240 Development standards of SR-2 Subzoning District
	Sec. 16-7-250 Principal uses of SR-3 Subzoning District
	Sec. 16-7-260 Uses permitted by special review in SR-3 Subzoning District
	Sec. 16-7-270 Development standards of SR-3 Subzoning District
	Sec. 16-7-280 Principal uses of SR-4 Subzoning District
	Sec. 16-7-290 Subzoning districts (SR-E – Estate; SR-L – Low Density and SR-M – Moderate Density) of SR-3
	Sec. 16-7-300 Development standards of SR-4 Subzoning District
	Sec. 16-7-310 Subzoning districts (SR-E – Estate, SR-L – Low Density and SR-M – Moderate Density) of SR-4
	Sec. 16-7-320 Principal uses of SR-E, SR-L and SR-M Subzoning Districts
	Sec. 16-7-330 Uses permitted by special review in SR-E, SR-L and SR-M Subzoning Districts
	Sec. 16-7-340 Development standards of SR-E, SR-L and SR-M Subzoning Districts
	Sec. 16-7-350 Accessory buildings and uses in SR-E, SR-L and SR-M Subzoning Districts
	Sec. 16-7-360 Setbacks for accessory uses in SR-E, SR-L and SR-M Subzones
Article VIII	MF – Multi-family District (MF-1, MF-2)
	Sec. 16-8-10 Intent
	Sec. 16-8-20 Principal uses
	Sec. 16-8-30 Accessory uses

Sec. 16-8-40	Uses permitted by special review
Sec. 16-8-50	Maximum gross density
Sec. 16-8-60	Minimum lot area
Sec. 16-8-70	Water and sanitation
Sec. 16-8-80	Public utilities
Sec. 16-8-90	Land dedication
Sec. 16-8-100	Street standards
Sec. 16-8-110	Landscape requirements
Sec. 16-8-120	Parking standards
Sec. 16-8-130	Minimum setbacks
Sec. 16-8-140	Encroachments
Sec. 16-8-150	Building height
Sec. 16-8-160	Fencing standards
Sec. 16-8-170	Sign standards
Sec. 16-8-180	Lighting standards
Sec. 16-8-190	Subzoning districts (MF-1, MF-2)
Sec. 16-8-200	Principal uses of MF-1 Subzoning District
Sec. 16-8-210	Development standards of MF-1 Subzoning District
Sec. 16-8-220	Subzoning Districts (MF-2)
Sec. 16-8-230	Principal uses of MF-2 Subzoning District
Sec. 16-8-240	Development standards of MF-2 Subzoning District

Article IX

I – Institutional District

Sec. 16-9-10	Intent
Sec. 16-9-20	Principal uses
Sec. 16-9-30	Accessory uses
Sec. 16-9-40	Uses permitted by special review
Sec. 16-9-50	Minimum lot area
Sec. 16-9-60	Parking standards
Sec. 16-9-70	Landscaping requirement
Sec. 16-9-80	Minimum setbacks
Sec. 16-9-90	Building height
Sec. 16-9-100	Sign standards
Sec. 16-9-110	Lighting standards

Article X

Reserved

Article XI

B – Business District

Sec. 16-11-10	Intent
Sec. 16-11-20	Principal uses
Sec. 16-11-30	Accessory uses
Sec. 16-11-40	Uses permitted by special review
Sec. 16-11-50	Minimum lot area
Sec. 16-11-60	Water and sanitation requirement
Sec. 16-11-70	Utilities
Sec. 16-11-80	Land dedication
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ARTICLE XXVI

Variance and Appeal Standards and Procedures

Sec. 16-26-10. Intent.

The purpose of this Article is to provide a process and criteria for varying from certain provisions of this Chapter so as to afford a measure of flexibility in the standards, while ensuring that development is sensitive to the natural and built environment and to existing and future residents, and to support or advance community goals and policies. (Ord. 02-01 §2601; Ord. 05-13 §2601)

Sec. 16-26-20. Variance limitations.

- (a) Variances shall be limited to the following:
 - (1) Minimum area of a lot.
 - (2) Maximum height of structures or fences.
 - (3) Minimum setbacks.
 - (4) Minimum off-street parking requirements.
- (b) A variance for the following shall be strictly prohibited:
 - (1) A use variance to permit a use other than those listed in a specific zoning district.
 - (2) A variance authorizing a violation of this Chapter or any duly adopted ordinance of the City. (Ord. 02-01 §2602; Ord. 04-17 §1; Ord. 05-13 §2602)

Sec. 16-26-30. Variance; approval criteria.

- (a) A variance may be granted only where it can be demonstrated that such:
 - (1) Is sensitive to and compatible with adjoining existing and future land uses;
 - (2) Will not adversely impact the natural environment through unwarranted or undesirable grading, altering of drainages or vegetation removal;
 - (3) Maintains a desirable balance with the overall bulk and massing of building architecture;
and
 - (4) Promotes other community goals as set forth in the City's Comprehensive Plan, such as a well-planned, high-quality and, where appropriate, compact development.

(b) A variance may be granted, provided that no substantial detriment to the public good is created and that the intent and purpose of this Chapter is not impaired. (Ord. 02-01 §2603; Ord. 04-17 §1; Ord. 05-13 §2603)

Sec. 16-26-40. Administrative variance.

The Director may grant up to a twenty-five-percent adjustment in the zoning requirements for those items listed in Subsection 16-26-20(a) in accordance with the approval criteria listed in Section 16-26-30. The applicant shall submit the processing fee and the information required in Subsection 16-26-50(d) below to the Community Development Department. The applicant shall notify abutting landowners affected by the appeal or the request. Such notification shall be either a notice of the variance request sent by certified mail, return receipt requested, at least ten (10) days prior to the Director's consideration of such request, or the applicant may obtain a signed statement from the abutting landowners stating that they were notified of the variance request and submit those signatures with the application. A decision by the Director to deny such variance may be appealed to the ~~Board of Adjustment~~[Board of Adjustment and Appeals](#) in accordance with the procedure in Section 16-26-50 below. A written appeal shall be submitted by the applicant to the Community Development Department within ten (10) days of such denial. (Ord. 02-01 §2604; Ord. 05-13 §2604)

Sec. 16-26-50. Appeals or variances to ~~Board of Adjustment~~[Board of Adjustment and Appeals](#).

(a) Appeal. An appeal may be taken to the ~~Board of Adjustment~~[Board of Adjustment and Appeals](#) by any person aggrieved by an inability to obtain a building permit or by an administrative decision of any official based upon or made in the course of the administration or enforcement of the provisions of this Chapter.

(b) Vote required. The concurring vote of four (4) members of the ~~Board of Adjustment~~[Board of Adjustment and Appeals](#) shall be necessary to reverse any order, requirement, decision or determination of any such administrative official or to decide in favor of the applicant on a variance request.

(c) Preapplication review for variance or appeal. The applicant shall discuss the variance or appeal informally with staff to discuss the procedures and submittal requirements.

(d) Submittal requirements. The applicant shall submit the following to the Community Development Department:

- (1) A completed application form.
- (2) Proof of ownership of the land which is the subject of the variance or appeal.
- (3) Application fee (fee schedule available from the Community Development Department).
- (4) A site plan, when applicable, indicating how the variance relates to the affected land drawn to scale, including the height and setbacks of all existing and proposed structures and any other information requested by the Director.
- (5) An explanation in narrative form explaining the variance or appeal and how it meets the approval criteria in Section 16-26-30 herein.

(e) Formal review process.

(1) The submittal shall be reviewed for completeness and the applicant notified of any inadequacies. An incomplete submittal shall not be processed.

(2) Once the submittal is determined to be complete, staff shall submit the application to the appropriate referral agencies, schedule the variance or appeal before the ~~Board of Adjustment~~Board of Adjustment and Appeals and notify the applicant of the date and time of the public hearing.

(3) The applicant is responsible for posting notice on the property and notifying the abutting landowners in accordance with the public notice requirements in Section 16-26-60 below.

(4) The ~~Board of Adjustment~~Board of Adjustment and Appeals shall evaluate the application, referral agency comments, staff report and public testimony, and shall approve, conditionally approve, table for further study or deny the appeal or variance.

(5) The concurring vote of four (4) members of the ~~Board of Adjustment~~Board of Adjustment and Appeals shall be necessary for a variance. The Board's determination shall be based on the evidence presented and compliance with the applicable criteria. (Ord. 02-01 §2605; Ord. 05-13 §2605)

Sec. 16-26-60. Public notice requirements.

The applicant shall be responsible for public notification. In calculating the time period for public notification, the day of posting or mailing shall be counted toward the total number of days required. The day of the hearing shall not be counted toward this total.

(1) Mailed notice. At least fifteen (15) days prior to the ~~Board of Adjustment~~Board of Adjustment and Appeals hearing, the applicant shall send a written notice of said hearing by first class mail to all adjoining landowners and to homeowners' associations which have authority over property located within two hundred (200) feet of the land under consideration. The notice shall include:

- a. An explanation of the variance or appeal in narrative form;
- b. A vicinity map; and
- c. A site plan (when applicable).

At least five (5) days prior to the public hearing, the applicant shall submit to the Community Development Department a copy of the notice sent to the landowners, an alphabetical listing of the parties receiving notice and a map illustrating the location of the abutting landowners.

(2) Posted notice. At least fifteen (15) days prior to the ~~Board of Adjustment~~Board of Adjustment and Appeals hearing, the applicant shall post a notice on the land under consideration. The sign posting shall consist of at least one (1) sign facing each abutting right-of-way, within ten (10) feet of the lot line abutting the right-of-way, visible from the right-of-way, placed on posts at least four (4) feet above ground level. Each sign shall measure not less than three (3) feet by four (4) feet. Letter size shall be a minimum of three (3) inches high. The notice shall read:

NOTICE OF PUBLIC HEARING BEFORE THE ~~BOARD OF ADJUSTMENT~~BOARD OF ADJUSTMENT AND APPEALS

This land shall be considered for (a variance/ appeal) pursuant to Chapter 16 of the Lone Tree Municipal Code to allow for a change in _____. For more information, call the Community Development Department, [list the phone number provided by the City]. The public hearing is (date), in the City Council Hearing Room, 8527 Lone Tree Pkwy., City of Lone Tree, CO 80124 [or other designated place, if applicable] at (time).

Name of Proposal: _____
File Number: _____ Hearing Date: _____

a. An affidavit of sign posting shall be submitted for the file in the Community Development Department at least five (5) days prior to the hearing. The signs shall be photographed by the applicant and attached to the affidavit as follows:

(attach photo here)

I, (applicant/representative), attest that the above sign was posted on (date), at (location) pursuant to Chapter 16 of the Lone Tree Municipal Code.

(signature)
(applicant/representative)

File name and number: _____

Signed and sworn before me this date: _____

NOTARIZED BY: _____

b. The sign shall be removed by the applicant within two (2) weeks following the final decision of the ~~Board of Adjustment~~Board of Adjustment and Appeals or withdrawal of the application.

(3) Additional public notice may be required by the Director. (Ord. 02-01 §2608; Ord. 05-13 §2606)

Sec. 16-26-70. Variance requests heard by City Council.

The City Council may grant a variance to the zoning requirements for those items listed in Subsection 16-26-20(a), where such request is made concurrent with a Site improvement Plan (SIP) application.

(1) Submittal requirements. In addition to the submittal requirements for an SIP, the applicant shall include a narrative explaining the need for the variance and how the request meets the approval criteria in Section 16-26-30 herein.

(2) Public notice. In addition to the notice of such variance request being sent to referral agencies and homeowners' associations as part of the SIP process, the Director may require additional noticing as provided in Section 16-26-60.

(3) Approval criteria. A variance or appeal may be granted by the City Council where it is determined that the applicant has met the approval criteria in Section 16-26-30. (Ord. 05-13 §2607)

Sec. 16-26-80. Post-approval action.

Construction pursuant to approval of a variance or an appeal shall be completed within eighteen (18) months from the date the variance/appeal was granted, unless otherwise specified by the reviewing authority as provided herein. An extension of time may be granted by the reviewing authority as provided herein for good cause shown, upon a written request by the applicant. (Ord. 02-01 §2609; Ord. 05-13 §2608)

Sec. 16-26-90. Post-denial application.

If denied by the ~~Board of Adjustment~~Board of Adjustment and Appeals or City Council, a resubmittal of the same or substantially same variance or appeal application shall not be accepted within one (1) year from the date of denial by the Board or, in the event of litigation, from the date of the entry of the final judgment. However, if evidence is presented to the ~~Board of Adjustment~~Board of Adjustment and Appeals showing that there has been a substantial change in physical conditions or circumstances, the Board may reconsider the variance/appeal. A new application and processing fee shall be required. (Ord. 02-01 §2610; Ord. 05-13 §2609)

Sec. 16-26-100. Review by Court.

Every decision of the Board of Adjustment and Appeals related to provisions of this Chapter shall be subject to review by certiorari by the District Court in and for the County or any county in which any part of the City is located. The appeal shall be filed no later than thirty (30) days from the final action taken by the Board of Adjustment. The appeal may be taken by any person aggrieved or by an officer, department or board of the City. (Ord. 97-6 §3.1)

ARTICLE XXXVI

Definitions

Sec. 16-36-10. Rules of construction.

- (a) The particular controls the general.
- (b) In case of any difference of meanings or implication between the text of this Chapter and the captions for each section, the text shall control.
- (c) The word *shall* is always mandatory and not directory. The word *may* is permissive.
- (d) Words used in the present tense include the future, unless the context clearly indicates the contrary.
- (e) Words used in the singular number include the plural, and words used in the plural number include the singular, unless the context clearly indicates the contrary.
- (f) A *building* or *structure* includes any part thereof. A *building or other structure* includes all other structures of every kind, regardless of similarity to buildings.

(g) The phrase *used for* includes "arranged for," "designed for," "intended for," "maintained for" and "occupied for." (Ord. 05-13 §3601)

Sec. 16-36-20. Definitions.

As used in this Chapter, the following words shall be interpreted and defined as set forth below, in accordance with the provisions set forth in this Section, unless the context otherwise requires:

Abutting means having a common border with, or separate from such a common border by, a right-of-way, alley or easement.

Accessible parking means parking spaces provided for the disabled according to the requirements of the Americans with Disabilities Act (ADA).

Accessory equipment shelter means an enclosed structure, cabinet, shed or box generally near or at the base of the support structure of a telecommunication or personal wireless communication facility that houses batteries, electrical equipment and other related equipment.

Accessory structure means a subordinate structure detached from but located on the same lot as the principal structure, the use of which is incidental and accessory to that of the principal structure.

Accessory use means a use naturally and normally incidental to, subordinate to and devoted exclusively to the principal use.

Adjacent means having a common border with, or separated by common areas, open space, roadways or alleys.

Antenna means a system of wires, rods, reflecting discs or similar devices used for the wireless transmission or reception from a specific direction.

a. *Directional (or panel or rectangular) antenna* means a flat surface antenna used to archive transmission or reception from a specific direction.

b. *Omnidirectional (or whip) antenna* means a thin, self-supporting rod antenna that beams and receives a signal in all directions.

c. *Parabolic (or dish) antenna* means a round, often concave, antenna no greater than twenty-four (24) inches in diameter used primarily for point-to-point transmission of radio signals.

Antenna array means groups of antennas designed to send and receive wireless transmissions.

Assisted living and congregate care means independent living developments that provide centralized amenities such as dining, housekeeping, transportation and organized social/recreational activities. Limited medical services (such as nursing and dental) may or may not be provided. The resident may contract additional medical services or personal assistance.

Berm means a mound of earth used in landscaping for screening, definition of space, noise attenuation or decoration.

~~*Board of Adjustment*~~*Board of Adjustment and Appeals* means the persons appointed by the City Council and acting pursuant to the provisions of the Charter.

~~*Board of Appeals* means the persons appointed by the City Council and acting pursuant to the provisions of the Charter.~~