



City of Lone Tree Planning Commission Agenda Tuesday, February 25, 2014

Meeting Location:
Meeting Procedure:

City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

The Lone Tree Planning Commission and staff will meet in a public Study Session at 6:00 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Kelly First, Kelly.first@cityoflonetree.com if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Kelly First, Planning Manager at Kelly.first@cityoflonetree.com, or 303-708-1818.

6:00 p.m. Study Session Agenda

1. Administrative Matters
-

6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment
4. Minutes of the February 11, 2014 Planning Commission Meeting
5. Presentations
 - a. Jayla Sanchez Warren, DRCOG, Area Agency on Aging
6. RidgeGate Lincoln Commons Commercial Mixed-Use Sub-Area Plan (amending RidgeGate Retail District West Sub-Area Plan). #SA14-03R
7. Adjournment

MINUTES OF THE
Lone Tree Planning Commission Meeting
February 11, 2014

Lone Tree Civic Center

1. Attendance

In attendance were:

Martha Sippel, Vice-Chair and Secretary
Rhonda Carlson, Planning Commissioner
Gary Godden, Planning Commissioner
Dave Kirchner, Planning Commissioner
Stephen Mikolajczak, Planning Commissioner
Herb Steele, Planning Commissioner

Also in attendance from City staff were:
Steve Hebert, Community Development Director
Kelly First, Planning Manager
Jennifer Drybread, Senior Planner

Absent: Planning Commissioner Chair, Dave Sauder

2. Regular Meeting Call to Order

Vice-Chair Sippel called the meeting to order and noted there was a quorum.

3. Conflict of Interest

Commissioner Godden noted that he had a conflict of interest regarding the Site Improvement Plan on the agenda (Commonwealth Heights Multi-Family SIP # SP13-52R), and would excuse himself from the meeting during the hearing of that item.

4. Minutes of the January 28, 2013 Planning Commission Meeting

Commissioner Kirchner moved, and Commissioner Mikolajczak seconded, to approve the minutes. The motion passed with five affirmative votes.

5. Presentation - RidgeGate Update

Mr. Keith Simon, Development Director for Coventry Development, addressed the Commission and gave them an update on development that has occurred in

RidgeGate, as well as development that is planned for the future. He summarized the status of the RTD Light Rail Extension and the two funding options being pursued to accelerate the construction of the extension. He summarized the open space that has been dedicated as well as other lands that have been donated for public use including the Lone Tree Arts Center and various improved parks. He talked about the original objective of compact mixed-use development and the variety of residential neighborhoods. He noted the resulting balance of housing and jobs, given Sky Ridge Medical Center, the Charles Schwab campus and the various retail employers. He talked about the continued balance of jobs, housing and amenities in the build out of the West Village (West of I-25). Mr. Simon noted that there are currently 1350 residential units in RidgeGate, which should grow to a projected 2000 units by the end of 2015. He also indicated there are now 3,000 people employed within RidgeGate, which should grow to a projected 7,000 by the end of 2015. Mr. Simon also talked about the development and design standards administered by the developer, through the RidgeGate Design Review Committee. He estimated the West Village could build out in five to seven years.

Mr. Simon then talked about development in the East Village (east of I-25) and what it will take to help kick that off, such as a new corporate user or office campus.

Mr. Simon summarized the most current activity that will occur in 2014 including the expansion at the Sky Ridge Medical Center, the Charles Schwab campus and Embassy Suites. He also showed the Commission the three residential projects under construction in 2014, including Montecito, North Sky and the proposed Arcadia multi-family project in the Commonwealth Heights neighborhood. He then talked about what might happen with new retail including in Lincoln Commons north of Sky Ridge Avenue, as well as in RidgeGate Commons near the Cabela's store. He reviewed what RidgeGate is planning around the proposed Sky Ridge light rail stop, the previously approved Lauth Office Building project, the property east of the Lone Tree Recreation Center, and Tract GG which is slated for residential.

Mr. Simon discussed in more detail their work on planning for the East Village, including a build out forecast and fiscal study, infrastructure planning, the proposed City Center plan and future Sub-area Plans.

He then returned attention to the West Village to discuss the Lincoln Commons South area east of the Arts Center. He talked about the original plans for a mixed-use retail district and how the market has changed, including a loss of potential anchors, e.g. the library, less interest in retail at Lincoln Commons North, as well as market demand for other uses, e.g. senior residential uses. Mr. Simon talked about the neighborhood meetings they have held about a new vision for the area. He showed some charts and graphs describing a change in

projected housing demand and discussed plans to meet residential demand of the future, not just today.

Darryl Jones, Coventry Development, then showed the Commission a more detailed vision for the area east of the Arts Center, including a conceptual site plan and conceptual massing plan. He showed graphic simulations of views taken from the future street facing both east and west. He also showed a concept plan for plazas at the intersection of Commons Street and Sky Ridge Avenue and a more detailed concept plan for the park along the drainage area on the east side of the district. He then summarized some of the advantages of the new concept relative to the previously approved Sub-Area Plan, including activation of the land for development sooner, preservation of urban design principles, additional residential to support area retail, land for public use, and a reduction in traffic compared with the previous plan.

Commissioner Godden asked whether the potential higher education user would be the engine that starts development on the east side. Mr. Simon responded that it would be one of the engines, although it is a tax exempt entity, so they are also interested in other uses as well.

Commissioner Mikolajczak commented that he was very excited about the new plan for the area east of the Arts Center. He liked the interactive feel of the plan, with restaurants and the library, and felt that the new Schwab employees would use the area.

Commissioner Kirchner also reacted positively to both the proposed concepts for Lincoln Commons South as well as the East Village. Regarding Lincoln Commons, he commented that he liked the idea of mixing seniors with younger populations, rather than segregating seniors. He thanked Coventry for their detailed presentations.

Commissioner Steele said it was a very comprehensive presentation. He indicated that he was pleased to hear Mr. Simon say that the RidgeGate Parkway access to I-25 is now used almost as much as Lincoln Avenue and has moderated traffic on Lincoln Avenue more than expected. Commissioner Steele commented that the consideration of education on the east side will add to the "four-legged stool" by adding education the other three anchors in the City of financial, healthcare and retail. He asked about the nature of corporate interest the developer is seeing east of I-25. Mr. Simon indicated they are also considering high tech and insurance industries and agreed that they do not want to concentrate too much on any one particular industry. Commissioner Steele commented that having restaurant offerings around the Arts Center would be a plus and that, like Commissioner Kirchner, he liked the idea of mixing older and younger populations and activating the area at night.

Mr. Simon agreed and described the efforts they have made over the years to attract sit-down restaurants in the area. He has been very disappointed in the lack of interest. He is also aware of the City's efforts regarding the Entertainment District revitalization and is not interested in competing with that. He noted that restaurants and retail are very sensitive to access and visibility. Commissioner Steele noted that existing grocers like Target, Safeway and Sprouts will not face additional competition as no additional grocers are planned in the West Village. Mr. Simon indicated that additional grocers could possibly be located in the East Village.

Commissioner Carlson asked about the comment from Mr. Jones that the potential multi-family area in Lincoln Commons might become a different kind of use. Mr. Jones indicated they had been looking at some other concepts that might include an extension of townhome development, plazas and potential public uses. He indicated that concepts are still being evaluated.

6. Commonwealth Heights Multi-Family SIP # SP13-52R

Ms. Jennifer Drybread introduced the application as a request for approval of a Site Improvement Plan (SIP) for a four-story multi-family residential building consisting of 190 multi-family units and 8,210 square feet of ground floor retail on 3.25 acres. The property is located in RidgeGate, directly west of Miramont Apartments. She presented an overview of the request, the project location, key and key elements of the project.

Ms. Drybread indicated the project had been referred to out to various agencies including the RidgeGate West Village Community Association, which did not have any comments. She closed her presentation by indicating the project is in conformance with the Site Improvement Plan requirements of the Lone Tree City Comprehensive Plan, Zoning Code, RidgeGate Residential West Village Sub-Area plan and stated that staff recommends approval, subject to final approval by Public Works.

Ms. Lisa Evans, representing Arcadia Holdings at RidgeGate, the developer of the proposed project, introduced herself. She indicated that this is a project that would be built to accommodate condominiums or apartments and retail. She considers it a great infill site that will help complete the neighborhood. She talked about the RidgeGate Parkway façade and the quality of the living experience in that the units will be wider but shallower to maximize window exposure. She discussed the proposed secure parking, the clubhouse and other amenities in the building. She noted the proximity to adjacent uses and the opportunities to connect to the walkable neighborhood including the Charles Schwab campus, Sky Ridge Medical Center and the Arts Center. Ms. Evans mentioned briefly the urban, timeless feel of the architecture and the intent to create a lasting style.

Mr. Rich Muller, architect with EV Studio, addressed the Commission. He talked about how they thought about this project relative to its surroundings and said they took inspiration from some of the classic beautiful buildings in Lower Downtown Denver. He described in more detail some of the architectural renderings and the site plan. He described how the interior parking structure will work as well as each of the various levels. He discussed how they intend to accommodate snow storage in the garage.

Mr. John Olsen, landscape architect and Principal with EV Studio, talked about the landscape plan including the tree lawns around the building, wider sidewalks on Commonwealth and RidgeGate Parkway, and the locations of trees, grasses and other plant materials.

Commissioner Steele said he appreciated the presentation and the quality of the materials for review. He asked how the height of this project compared to the surrounding properties, to understand the compatibility of heights. Ms. Evans said this project will be very similar to the Miramont to the east and Regency to the south and will step up from the townhomes to the west. Ms. Evans and Mulhern clarified the proposed height. Commissioner Steele asked for a clarification on the secured access to the parking and how guests would access that parking. Ms. Evans indicated the lower level parking will be secured but the upper level parking in the courtyard will be available for guests and retail customers. Retail customers will also be able to park on the street. Commissioner Steele asked for a clarification on how many parking spaces will be onsite versus on-street to ensure that resident parking was not accounted for on the street. Ms. Evans confirmed that.

Commissioner Steele noted that a substantial proportion of the units will be one bedroom units and asked about that. Ms. Evans indicated they believe there will be a demand for these single bedroom units given the proximity to Charles Schwab and Sky Ridge Medical Center. She cited demographic trends referred to in the previous presentation and that this project fills a gap for urban professionals.

Commissioner Steele asked about how the retail spaces will be served. Mr. Mulhern described the interior service hallway and delivery area. Commissioner Steele asked where the closest residential units will be to the retail. Mr. Mulhern indicated there would be residential units immediately above the retail space. Commissioner Steele asked how the retail will be managed in a condo situation and if it will be for sale or for rent. Ms. Evans said the retail space is being designed to be sold. Commissioner Steele commented that there are often issues between HOAs and retail owners. Ms. Evans replied that she has experience with dealing with those issues successfully from other mixed-use projects she has been involved with.

Commissioner Steele asked for a clarification about the bike storage and parking, noting that there is a potential for residents to store bikes on balconies. Ms. Evans described the bike storage areas. Commissioner Steele asked about the provision of electrical charging stations. Ms. Evans said they considered that but are not including car charging stations but instead will be including a pet spa as an added amenity for residents. Commissioner Steele asked Mr. Jones who is responsible for snow plowing on RidgeGate Streets, noting concern for parked cars interfering with plow operations. Mr. Jones indicated it's a combination of contracts with the Rampart Range Metropolitan District or the City.

Vice-Chair Sippel suggested that there be no parking permitted on the south side of Halstead Lane in consideration of plowing the streets during snow storms. Mr. Hebert indicated that the City and RidgeGate are aware that parking demand will change over time and may need to be managed eventually. It will be monitored to see how it is being used, including parking for retail spaces in mixed-used buildings. Commissioner Sippel appreciated that the issue was being considered.

Commissioner Steele asked about the square footages of the units. Ms. Evans provided the breakdown based on number of bedrooms for each unit, ranging from 700 square feet up to 1350 square feet.

Commissioner Carlson asked if these units were going to be rentals or condos. Ms. Evans said the intent is that they will be condos for purchase and they are being designed as such. She indicated that she can only represent the design and that the parent company makes the final decision regarding product type. She said this is one of the few buildings in the entire metro area that is being designed for condominiums. Mr. Hebert commented on the construction defect litigation issues and the attempts by DRCOG and the state legislature to address the issue, which seems to be putting a damper on condo projects.

Commissioner Carlson is pleased they are building to accommodate condos because she thinks there is a market for that kind of product. Commissioner Carlson asked if there was an option to possibly share parking with Charles Schwab for overflow parking. Mr. Hebert noted that while Charles Schwab owns the property to the north that is not a parcel they are developing right now.

Commissioner Kirchner said he appreciates the comprehensive presentation and was complimentary about the design of the project. He asked for clarification on the parking and how the non-controlled parking area would work. Ms. Evans described the parking reservation system, and how units are priced accordingly. Commissioner Kirchner commended the applicant for consideration of condominiums given the environment of construction defect litigation. He commended the applicant on the design of the project and indicated he likes look, scale and color of the project.

Commissioner Mikolajczak said he was also glad to learn this was a condominium project. He asked for clarification about the reference to a visual transition between this project and the Charles Schwab campus to the north. Ms. Evans described the intent to provide a “professional” aesthetic that communicated architecturally with the surrounding area. Commissioner Mikolajczak asked how the retail might be used and would there be a restaurant. Ms. Evans said it will more likely be a coffee and prepared sandwich shop and not a sit down restaurant. Commissioner Mikolajczak applauded the applicant for that kind of dining opportunity and liked the idea of outdoor seating along an attractive streetscape. Commissioner Mikolajczak said he is a fan of downtown Denver and this is the best representation of that character and thinks the applicant has done an excellent job of designing the project. He pointed out many of the architectural elements that he liked. He asked about if a central tower feature on the north façade would make the building more attractive and had the applicant considered that. Mr. Muller responded by showing the architectural renderings that show how you will see the building from the street and that increasing the façade at the location isn’t really necessary. He showed the corner elevation as an example. Commissioner Mikolajczak thanked the applicant for that response.

Vice-Chair Sippel asked if there is a potential restaurant, would there be enough parking. Ms. Evans said it is more likely to be a coffee and sandwich place used by residents or people within walking distance. Vice-Chair Sippel asked for a clarification on the material to be used on the RidgeGate Parkway landscape planters. Mr. Muller described the integrally colored, pour-in-place concrete design. Vice-Chair Sippel asked how durable the material will be in this climate. Mr. Muller indicated that nothing is maintenance free but these materials will not fall off like a stone or tile and is quite a sturdy material. Vice-Chair asked about the material for landscaped boxes. The applicant indicated the material is concrete also and is durable. Vice-Chair Sippel asked about the various surface paver materials to be used. Ms. Evans indicated they will be using the same pavers required by RidgeGate and how they will match that used along Commonwealth Street. Ms. Evans described the various materials to be used that were displayed on the materials sample board. Vice-Chair Sippel asked for a confirmation that the more “pinkish” materials were just accent pieces. The applicant confirmed that to be true.

Commissioner Steele said it was an attractive project. He reiterated concerns about on-street parking relative to snow removal. Commissioner Steele said that he was concerned that sometime in the future there will be a conflict between the residential and the retail. Ms. Evans indicated her experience has been that they will address the potential conflicts in their HOA or other related documents. Commissioner Steele also reiterated his concerns about bike storage on the balconies of the units. Ms. Evans indicated that storage of items on balconies is something typically addressed in covenants. She noted that a common barbeque grill, seating and dining area is provided within the project for residents.

Commissioner Mikolajczak moved to recommend approval to the City Council of the SIP as submitted subject to final approval by the City Public Works Department. Commissioner Kirchner seconded. The motion passed unanimously with 5 Commissioners present.

7. Adjournment

There being no further business, Vice-Chair Sippel adjourned the meeting at 9:10 p.m.

These minutes have been reviewed and confirmed by

_____ (name), on _____(date)



CITY OF LONE TREE
STAFF REPORT

TO: City of Lone Tree Planning Commission

FROM: Steve Hebert, Community Development Director
Kelly First, Planning Manager

DATE: February 19, 2014

FOR: February 25, 2014 Planning Commission Meeting

SUBJECT: RidgeGate Lincoln Commons Commercial/Mixed-Use Sub-Area Plan
(Amendment to RidgeGate Retail District West Sub-Area Plan)
Project File #SA14-03R

Owner:
Lincoln Commons South, Inc.
1041 Third Avenue, 2nd Fl.
New York, NY 10065

Representative:
Coventry Development
Darryl Jones/Keith Simon
10270 Commonwealth St., Ste B
Lone Tree, CO, 80124

Planning Commission Meeting Date:
City Council Meeting Date:

February 25, 2014
March 18, 2014

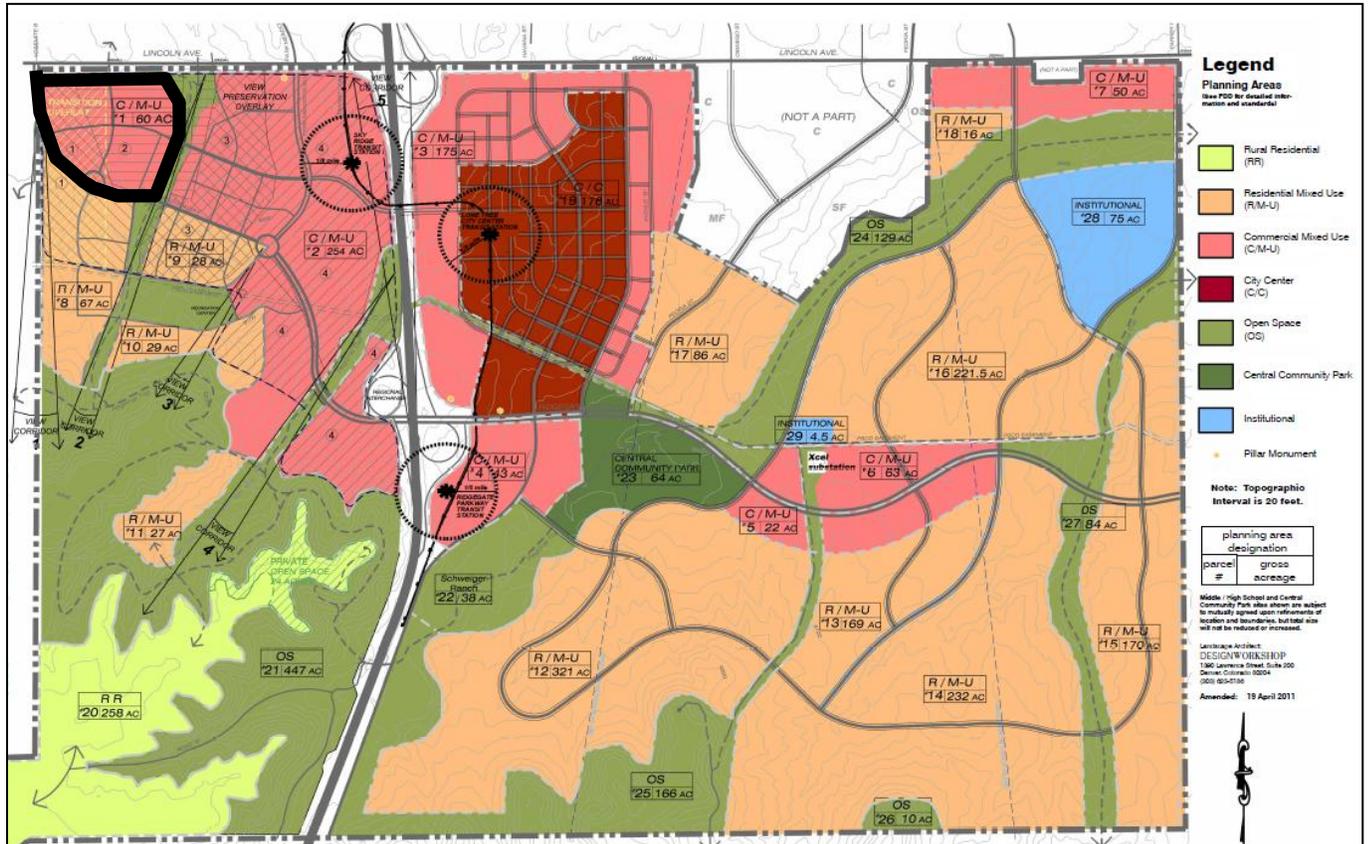
A. REQUEST:

Approval of the RidgeGate Lincoln Commons Commercial/Mixed-Use Sub-Area Plan (amending and re-naming the RidgeGate Retail District West Sub-Area Plan).

B. LOCATION:

This Sub-Area Plan applies to approximately 55 acres of land located in the northwest portion of the RidgeGate Planned Development District

(PDD). The area is collectively known as “Lincoln Commons” and is bounded by Lincoln Avenue to the north, RidgeGate Parkway to the west and south, and the Willow Creek corridor to the east. Lincoln Commons is generally divided into four quadrants by Commons Street, which bisects the property in a north/south direction, and by Sky Ridge Avenue, which bisects it in an east/west direction.



RidgeGate PDD Plan – Lincoln Commons outlined in black.

C. OVERVIEW OF RIDGEGATE SUB-AREA PLANS:

Due to the large size and long-term nature of the RidgeGate PDD, Sub-Area Plans are created to guide development with a greater degree of specificity than the overriding PDD. The PDD states, “*Individual Sub-Area Plans and related Design Guidelines will be developed prior to or concurrent with platting. Sub-Area Plans may include complete or partial planning areas, or a combination of planning areas. These will serve to further define development standards that allow flexibility to respond to*

market conditions, yet provide specificity so that development implements the planning concepts.” The PDD outlines requirements for Sub-Area Plan content and approval process. In general, Sub-Area Plans provide conceptual frameworks that address various aspects of site development and building design. Based on that direction, specific development plans are then processed separately as part of a Site Improvement Plan (SIP) process.

Sub-Area Plans are reviewed by the Planning Commission and approved by the City Council. Substantial amendments are also approved through that process. The City-approved Sub-Area Plans are then used by staff, Coventry Development and the RidgeGate Design Review Committee (DRC) in the review of individual development proposals. Staff reviews SIPs against the applicable Sub-Area Plan to make a finding to the Planning Commission and Council that development complies with, does not comply, or varies from the Sub-Area Plan, as applicable.

There are currently three Sub-Area Plans in place: the Office District Sub-Area Plan, the Residential West Village Sub-Area Plan, and the Retail District West Sub-Area Plan. Prior to or concurrent with additional development on the bluffs and east of I-25, including the City Center, separate Sub-Area Plans will be drafted for approval by the City.

D. BACKGROUND:

An overall "master" SIP for Lincoln Commons Phase II was approved in 2008 in conjunction with an amendment to the original Retail District West Sub-Area Plan. That SIP comprised approximately 40 acres within Lincoln Commons, with the exception of the northwest quadrant containing Super Target, the parking garage and retail, as that area had already been constructed. Since 2008, the northeast quadrant of the project has steadily been building out and includes Sprouts, retail, restaurants, a bank and a dental office. In 2010, the Lone Tree Arts Center was constructed in the southwest quadrant of Lincoln Commons.

At the time the overall master SIP was approved in 2008, it was envisioned that the *southeast* quadrant of Lincoln Commons would be the site of a shared Lone Tree Arts Center and Library, with mixed-use retail, office and public plaza uses around it. However, in 2009 the Library funding ballot issue failed. Subsequently, the City and RidgeGate agreed to shift the site of the Arts Center west of Commons Street, where infrastructure was already available. For other reasons cited in the applicant's narrative, the retail focus originally anticipated for the property

has not come to fruition and it is now being considered for a “multi-generational residential” land use plan, including a senior living project.

The RidgeGate PDD zoning establishes permitted land uses and building heights that may be permitted in this area. There is no zoning change associated with this request. Lincoln Commons is within Commercial/Mixed-Use Planning Area #1, which allows for a range of land uses, including residential. In order to promote an overall balanced mix of uses, the PDD stipulates that a maximum of 40% of each C/M-U Planning Area can be developed with residential uses (and, conversely that a maximum of 30% of each residential/Mixed-Use Planning area can develop as commercial uses). With the revised development plan, Lincoln Commons would continue to be in conformance with this zoning provision as approximately 27% of the total 55 acres would be residential.

E. PURPOSE OF AMENDMENT:

Staff advised the applicant to amend the Sub-Area Plan as the first step in the review process. If the Sub-Area Plan amendment is approved, individual SIP amendments would then be submitted for specific development proposals, which would be subject to review and approval through the Planning Commission and City Council.

Amending the Sub-Area Plan is necessary in this case to establish a clear and updated development concept for the area that will guide future SIP amendments. Amendments are intended to clarify applicability of the Sub-Area Plan and to incorporate key design elements and concepts regarding connections, public plaza areas, sensitivity to adjoining uses, and quality design.

In addition to the Sub-Area Plan, a subdivision replat is being processed concurrently that establishes future development lots as well as tracts that are reserved for open space and public plazas. (In accordance with the City Subdivision Code, a replat of this nature is reviewed by the Council only.)

F. SUMMARY OF SUB-AREA PLAN AMENDMENT:

The existing Sub-Area Plan was prepared concurrently with the overall SIP for Lincoln Commons Phase II. As such, it was tailored very specifically to that SIP. It included Chapters for each of the “districts” within Lincoln Commons (Lincoln District East, Town Center District West

and Town Center District East), and provided concepts, standards and guidelines specific to each district that aligned specifically with the master SIP. Staff asked the applicant to revise references to the previous development concept within the Sub-Area Plan and instead establish a new vision, with standards and guidelines that could apply throughout.

The original and overriding concept for Lincoln Commons as an urban, mixed-use area is retained in this Sub-Area Plan amendment, as are critical elements of the original plan, including provisions for an interconnected system of roadways, pedestrian connections, public plaza areas, attractive streetscapes and quality in site and building design. The following summarizes the key substantive changes in the document:

- The Sub-Area Plan is being amended and re-titled to more accurately characterize Lincoln Commons as a “Commercial/Mixed-Use” area overall, as opposed to the implication that it is retail-only.
- Specific chapters for each “district” within Lincoln Commons Phase II are eliminated and replaced with overall standards and guidelines to apply throughout the entire 60 acres of Lincoln Commons.
- A new exhibit is provided that establishes the four quadrants within Lincoln Commons as “Commercial/Mixed Use” areas. The exhibit also indicates generally where park and open space areas will be integrated with the plan.
- A residential chapter is added (taken largely from the existing RidgeGate Residential Village West Sub-Area Plan). Guidelines and standards for single-family *detached* product types are not included, as single-family detached is not anticipated in Lincoln Commons.
- The overall concept is amended to broaden the description of Lincoln Commons as a living environment with a range of housing types, in addition to including retail, office and commercial uses. (p. 11).
- The Plan includes provisions for “edge treatment mitigation” intended to ensure sensitivity of taller building massing relative to adjoining uses. Specifically:
 - 4.2.2 Building Location and Heights. Concept. “Structures greater than three stories provide a step back of the upper floors above the third floor to provide visual relief from the building mass on the adjacent street and uses”.
 - 4.2.2 Building Location and Heights. Standards. All floors above the third floor of any building adjacent to RidgeGate Parkway or Commons Street, and within twenty (20’) feet of the property line, shall be set back a minimum of four (4’) feet from the primary building wall plane of the first through the third floors of the structure.
- A number of other relatively minor changes are included with this update including some edits and updates, as well as reorganization of

chapters. Final formatting and minor editing may be permitted upon approval.

G. REFERRALS:

The proposed amendments were sent on referral to the RidgeGate West Village Community Association, Bluffmont Estates and other HOAs in the City. To date, no comments have been received.

Comments provided by the City Public Works Department regarding wording changes have been addressed.

H. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the City Comprehensive Plan and RidgeGate PDD.

Staff recommends the Planning Commission recommend approval of the Lincoln Commons Commercial/Mixed-Use Sub-Area Plan amendments to City Council, with no conditions.

END

Lincoln Commons Commercial/Mixed-Use (C/M-U) Sub-Area Plan
(an amendment to and renaming of the RidgeGate Retail District West Sub-Area Plan)

Application Narrative

Site Context

The Lincoln Commons C/M-U Sub-Area Plan site is comprised of 60 acres of land located south of Lincoln Avenue and north of RidgeGate Parkway. It is divided into four areas, by Commons Street, which runs north/south, and Sky Ridge Avenue, which runs east/west. The quadrant located east of the Arts Center (also known as “Lincoln Commons South”) is current undeveloped, and is the basis for this Sub-Area Plan amendment.

Background

In 2008, a ‘vision’ for this area was created that was anchored by an Arts Center and Library that was to be surrounded by retail and office uses. This area was originally envisioned as a mixed use high density retail area, along with development of 4 and 5 story office buildings, and a Library and the Arts Center as area anchors.

In 2009, the Library ballot funding question failed at the polls. Without the Library and Arts Center anchors, the feasibility of starting a retail-oriented development project was severely impaired and, in addition, the Lincoln Commons North District was just getting started with its development and retail leasing.

Consequently, the City of Lone Tree and RidgeGate agreed that if the Arts Center was to proceed sooner rather than later, that it would be best to relocate it to the west side of Commons Street where infrastructure already existed.

Since 2010, Lincoln Commons North has been trying to complete development and leasing of the retail in its area, and despite continuous and active marketing for 4 years now, many portions of Phase II remain undeveloped and still has approximately 30,000 square feet of retail space uncommitted. Unfortunately, we have found that the retail market here is just not that deep especially given the range and amount of retailers present in the Park Meadows area, which is just a mile or so away.

In addition, several of the existing tenants have struggled and we have had to give a couple of them rent relief in order to keep them in operation. Because of this, we have felt for some time that the vision for this area would have to be modified due to the lack of depth in the retail market, especially if their retail location is not immediately adjacent to Lincoln Avenue. We have learned more about the local retail market and better understand the myriad of complex factors that have led us to determine that a retail-heavy mixed use district in the Lincoln Commons South area is just not going to be feasible anytime in the foreseeable future.

Early last year Morningstar Senior Living approached us about a site in RidgeGate for senior housing and they ended up selecting the southern portion of the vacant LCS area as their desired location for a future Senior Housing residential development. Morningstar’s review of the few remaining sites in RidgeGate led them to identify the site at the NE Quadrant of the West Roundabout as the best to suit

their needs. Such a project is something that both RidgeGate and the City of Lone Tree agree is needed in Lone Tree.

New Vision

Morningstar's strong interest and investment commitment in the site confirmed that a more residentially oriented vision for the area was mandatory; a new plan for Lincoln Commons South was created for the entire vacant area. The new plan will retain all of the urban design principles from the previous plan, and one of the objectives of the new plan over the old plan is that it provides additional design standards ensuring sensitivity to the adjoining residential uses through step backs of buildings. The new vision of how the area will develop will consist of a residentially oriented area identified as "multi-generational residential".

The new plan's vision will create a livable residential community environment consisting of a wide variety of housing options, surrounding by a network of walkable streets and pedestrian connections with high quality streetscapes, the completion of the Willow Creek Corridor Park, two vibrant public plazas and outdoor community spaces, and high quality building design. A new and different land use mix more weighted to "multi-generational" residential uses better responds to current market demands. The traffic generated by this shift in land use for this project is at least 50% less than the previous vision (about 6,000 less trips/day will impact current residential neighborhoods in RidgeGate), and the increase in residential units on this site will help the existing and new retailers do better on nights and weekends when businesses are closed, and will eventually allow us to continue to attract high quality tenants to the area.

The vision for this area also incorporates a new site for the Lone Tree Library, for which DCL now has the funding. The new Douglas County library site will be donated by the landowner (Lincoln Commons North, Inc.) and is expected to be 2-3 times the size of the existing Lone Tree Library and includes a drive through book drop/pick up lane.

Further, the area concept includes the construction of the last segment of the Willow Creek Park system with hard and soft surface community trails from Belvedere Park under RidgeGate Parkway and Sky Ridge Avenue. The trails will continue through natural areas and then connect to a manicured park environment and a perennial flower bed promenade, much like the beds in Denver's Washington Park.

The public plazas will incorporate different kinds of water features, plaza space, outdoor dining areas and seating for people-watching to help create a strong sense of place and a dynamic space where the community can experience this vibrant outdoor environment.

Conclusion

By moving forward with this plan we can put this vacant land into production to benefit the community and add more retail choice, move forward with a new public library, complete the Willow Creek park and trail and build new public plazas and spaces. The Sub-Area Plan amendment [in conjunction with a replat of the Lincoln Commons South – (LCS) area] will be the first step in the City's process and, for many, the first introduction to the idea that the original concept plan for the LCS area is being revised.

RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

Approved November 18, 2003



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Revised:
May 15, 2006
~~February 2009~~ July 15, 2008
February 2014

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RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

Chapter 1

RidgeGate Planned Development District Overview

1.1 Planning Concept

RidgeGate consists of approximately 3,500 acres located in the City of Lone Tree in northern Douglas County, Colorado. RidgeGate’s position at metro Denver’s natural edge and its adjacency to the Interstate 25 highway corridor and planned light-rail transportation systems create unique circumstances and opportunities.

RidgeGate is envisioned as an example of responsible smart growth for Colorado’s Front Range. The community will integrate land uses, such as housing, employment and services to create a balanced, walkable development. RidgeGate’s plan accommodates growth by concentrating on efficient mixed-use areas that reduce infrastructure, service and transportation costs, while protecting sensitive habitat areas from sprawl.

Planning Areas delineated in the Planned Development District (Exhibit 65.1b in the Appendix), approved by the City of Lone Tree in 2000, have distinct edges defined by open space, which protect sensitive watersheds and habitats. The open-space network also provides for an integrated trail system.

Individual sub-area plans and related standards and guidelines (S&Gs) will be developed prior to or concurrent with platting. Sub-Area plans may include complete, partial or multiple planning areas. These will further define development standards, be responsive to market conditions, and specify realistic planning concepts. Any conflict between the PDD, sub-area plans and S&Gs will be governed by the higher standard(s), unless determined otherwise by the City of Lone Tree Director of Community Development (“Director,” as referred to in the City of Lone Tree’s Planned Development District Ordinance General Provisions).

Minor exceptions to the standards included within this document, or revisions or corrections to this document, may be permitted upon approval by the Director and the DRC. Major deviations or revisions that may require amendment to the sub-area plan shall be subject to review by the City of Lone Tree Planning Commission and approval by the City Council. The Director shall determine whether a proposed exception, deviation or revision shall be considered minor or major.

1.2 Planning Area Descriptions

1.2.1 City Center Planning Area

The City Center Planning Area is a compact, pedestrian-oriented, urban environment that provides retail, business, civic, cultural and residential uses. It is a center for the Lone Tree community. A future multi-modal transportation center will support the area as an activity center.

The City Center is sited at a knoll. It affords visibility to the I-25 corridor and views of the Front Range. It is adjacent to a major open-space system with access to the natural landscape. It connects to a new I-25 interchange with surface transportation choices. The City Center Planning Area will create an urban environment with buildings at sidewalk edges, on-street and structured parking, and an interconnected street network. It commits to high quality and functional public spaces. It is envisioned that the area may become the location for the City of Lone Tree municipal offices, public services and multiple cultural facilities. Office and non-residential components will meet a minimum FAR to support the character and intensity required for a vibrant urban environment. Residential components are expected to be higher density with limited single-family detached homes.

1.2.2 Commercial/Mixed-Use Planning Area

The Commercial/Mixed-Use Planning Areas contain neighborhoods that emphasize commercial uses. The Commercial/Mixed-use Planning Areas are intended for a mix of uses in a pedestrian-friendly environment. They rely upon an interconnected street network and connections to open space, which defines the district edges. Where residential components are integrated, they are of higher density. Residential components may exist on floors above non-residential uses.

1.2.3 Residential/Mixed-Use Planning Area

Residential/Mixed-Use Planning Areas embody similar principles to Commercial/Mixed-Use Planning Areas, but emphasize residential uses. Residential components will reflect a range of densities with attached and detached housing styles encouraged through creative planning that minimizes streets with garages or parking areas. Non-residential components will be connected to but transitioned from residences, away from residential streets, unless appropriate as determined by the Director. Multi-family residential in excess of three stories will be limited in some Planning Areas, as referenced on Sheet 4 of the PDD.

1.2.4 Rural Residential Planning Area

The Rural Residential Planning Area is a residential neighborhood set back from the mesas at RidgeGate's southwest edge. Due to their sharp elevation, these mesas are a dominant regional landform. Therefore, their development is guided by restrictive standards to preserve their visibility and character. Homes in the Rural Residential Planning Area may range from single-family on larger lots to clustered homes. Other techniques, such as restricted building envelopes and fencing restrictions will provide continuous natural open space to preserve views and maintain wildlife habitat and movement.

1.2.5 Open Space Planning Area

Open space is an important element of RidgeGate as a "city in the landscape." The open-space network preserves sensitive riparian and floodplain habitats, creates neighborhood edges, and connects Planning Areas with trail systems. A majority of the system provides passive recreational opportunities that incorporate regional trail connections and buffers with native landscape character. A Central Community Park will be located near the greatest concentration of housing and jobs and will provide active recreational uses. Neighborhood park sites identified in the PDD's Statement of Commitments will be located by the RidgeGate West Village Parks, Open Space and Trails Vision Plan and in the sub-area plans.

The RidgeGate West Village Parks, Open Space and Trails Vision Plan will include provisions for limited access to the bluffs. This provision will include details to locate, construct, and maintain trails with lookout/picnic area(s), sensitive to the environment and vistas. The plan will consider connections to other trail networks and amenities, as well as to the bluffs on the east and west of I-25. These trails will be accessible only by non-motorized means. Lookout areas may include limited provisions for emergency and maintenance vehicles, but no public vehicle access or parking will be allowed.

1.3 Revised Planning Area Boundaries

Exhibits ~~65.1b.1~~ and ~~65.1c~~ represents updated Planning Area boundaries of the RidgeGate PDD Zoning, and corresponding changes to the PDD Land Use Summary, respectively, as refined through the Sub-Area Plan. Planning area boundaries are for reference only. Refer to the City adopted Planned Development District Map

RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

Chapter 2

Sub-Area ~~District~~ Development Overview

2.1 Overview

RidgeGate’s initial development is defined by Section 15 of the property, bounded by Lincoln Avenue to the north, I-25 to the east and property boundaries to the west. The area is anticipated to be composed of four districts, each with a distinct character and use. Together, they [form the RidgeGate West Village and](#) represent anticipated near-term development that balances employment, retail, living and civic environments.

The long-term nature of the development implies that the provisions of the PDD may not address every subject. Accordingly, sub-area plans will define a greater level of detail for transportation, land use and open-space frameworks and development standards and guidelines. These sub-area plans may address complete or partial planning areas or a combination of multiple planning areas and will be prepared at or near the time of anticipated development. Residential or other uses not addressed shall adhere to the design standards and guidelines of the City of Lone Tree and applicable RidgeGate standards and guidelines. The Director shall have the authority to interpret future sub-area plans and design guidelines, and to interpret certain City regulations and standards for consistency with the planning concepts and objectives of the PDD, the Annexation and Development Agreement, and the City of Lone Tree Comprehensive Plan, as reasonably determined by the Director.

2.2 Sub-Area District Descriptions

[The RidgeGate West Village](#) boundaries are outlined on Exhibit [65.1a](#) in the Appendix. Subsequent sub-area plans may alter [thesethis](#) boundaries or related character and use concepts.

2.2.1 Office District Sub-Area

Concept

The Office District is composed of land well-suited for large-scale and multiple tenant employment/office uses that require visibility and access to I-25. Because of its visible position, the Office District and its related streetscape must present a positive, high-quality identity for RidgeGate and the City of Lone Tree. The Office District Sub-Area Plan, approved by the City of Lone Tree in 2001, outlines criteria for infrastructure, site development and architectural character, so that users understand expectations for quality and character.

The Sky Ridge Medical Center is the anchor and cornerstone for the Office District.

2.2.2 **Retail Lincoln Commons Commercial Mixed-Use District** Sub-Area

Concept

The Retail District is located for logical automobile access and orientation along Lincoln Avenue at RidgeGate Parkway’s western entrance. [RidgeGate Mixed-Use Districts are located around transportation corridors.](#) The district is well suited for mid- to large-scale* commercial, retail and office, as well as multi-family housing to add a strong economic basis for near-term development. Internal pedestrian amenities, both connectors and nodes, are a critical part of the master plan. The master plan also envisions a transition of heights and grades down from adjacent residential [to the west](#) areas.

[The new plan’s vision will create a livable community environment consisting of a wide variety of housing options, surrounding by a network of walkable streets and pedestrian connections with high quality streetscapes, parks, plazas and outdoor community spaces, and high quality building design. The vision for this area also incorporates public facilities.](#)

* Note: Large-scale retail uses that are located within the Transition Overlay District as shown on the PDD shall be subject to the City of Lone Tree Use by Special Review process.

2.2.3 Main Street/Mixed-Use District

Concept

The Main Street/Mixed Use District is located at the center of RidgeGate, west of I-25, with connections to Lincoln Avenue. Its plan combines residential uses with working, shopping, dining and services in a vertically- and horizontally-integrated, walkable environment. Buildings will be street-oriented with parallel street parking to provide a buffer for pedestrians. The majority of parking will be in structures behind or below buildings. Main Street, between RidgeGate Parkway and Sky Ridge Avenue, will have ground-level retail, dining, and entertainment and living and/or working uses above. Main Street will have an intimate character and serve as an important public space.

2.2.4 Residential **District West Village Sub-Area Plan**

Concept

The RidgeGate West Village Sub-Area Plan, as amended in 2013, serves as an overlay for residential uses within the RidgeGate West Village sub-area boundary. ~~The Residential District is well-suited for housing. It locates~~ Living environments are within walking distance of recreation, employment, shopping, and dining. It is anticipated that residential uses ~~this district~~ will offer a range of market-rate attached and detached housing for rent and sale.

2.3 Transportation Framework

The design for the RidgeGate community is based on a traditional grid system of streets that distribute traffic and provide more choices for motorists. The network relies on narrower streets and shorter blocks to help slow traffic and provide a more intimate and livable street for pedestrians and residents. The plan offers a hierarchy of street designs found within the RidgeGate Roadway Standards and Guidelines, developed in consultation with the City of Lone Tree's Engineering and Community Development Department and local fire protection districts.

Vehicular access is defined per Exhibit 65.2 in the Appendix and reinforces a clear hierarchy of circulation within and outside of RidgeGate. Pedestrian routes and access points are defined per Exhibit 65.3 in the Appendix and reinforce hierarchy and organization of pedestrian circulation within RidgeGate and to adjacent city sidewalks and county trails. Bicycle routes are defined per Exhibit 65.3 in the Appendix and reinforce hierarchy and organization of bicycles and other non-motorized wheeled vehicle circulation within RidgeGate and to adjacent city sidewalks and/or dedicated bike lanes. Open-space trail connections to individual development sites are defined per Exhibit 65.3 in the Appendix and reinforce hierarchy and organization of multi-purpose circulation (including pedestrian, bicycle and limited equestrian uses) within RidgeGate. Public transportation routes and stops to individual development sites have been defined per Exhibit 65.4 in the Appendix. A bus shuttle system will be considered to expand and extend alternative transportation within RidgeGate.

Developments must accommodate all of these plans, unless they provide an equivalent or superior solution.

2.4 Development Plan Submission Requirements

2.4.1 Overview

- The RidgeGate Design Review Committee (DRC) requires meetings with the development team and/ or timely submittal of design documents at four key project phases: Pre-Submittal Conference, Schematic Design, Design Development and Permitting.
- All structures, whether new or renovated, shall be subject to a design standards review process conducted by the DRC as defined in the Covenants, Conditions, and Restrictions (CCRs) and the DRC's Design Standards (DS&Gs).
- Informal design review may be requested by the applicant at any point in the process for clear direction on specific issues.
- Design review fees are payable per the Fee Schedule.
- The applicant must submit three (3) full sets of design documents prior to the phase and level of project development at the time review is requested. Sufficient information is required at each phase to fully evaluate relevant issues. The outline below identifies minimally acceptable information required to complete review for each phase.

2.4.2 Relationship Between the Design Review **Board Committee** and the City of Lone Tree

The DRBC shall review the application based on its CCRs and DS&Gs. Subject to DRC approval, the applicant may be allowed to initiate the Subdivision and/or Site Improvement Plan processing with the City during the DRC process, subject to required City processes that are separate and independent from the DRC. Upon satisfaction of the Review Phases described herein, the DRC will provide a recommendation to the City for their consideration in reviewing development application submissions.

2.4.3 Design Review **Board Committee** Review Phases

- Pre-Submittal Conference
 - a. Project Program indicating building and site areas, uses, and relevant information
 - b. Conceptual Site Plan
 - c. Site Visit/Site Photos
- Schematic Design (Required prior to submittal for Site Improvement Plan.)
 - a. Site Plan and Context Plan evaluating the relationship to adjacent properties
 - b. Grading Plan
 - c. Building Floor Plans
 - d. Building Elevations
 - e. Building Roof Plan
 - f. Building and Site Sections
 - g. Landscape Plan
 - h. Lighting and Signage Plan
- Design Development
 - a. Architectural Details, including treatments, aesthetic details, and structural details
 - b. Building Materials Schedule, including a materials board
 - c. Phased development site plan, illustrating phasing and interim treatments for buildings, roads, construction staging, landscaping, etc.
 - d. All items under Schematic Design, developed to appropriate detail

- Permitting (Required prior to submission for Building Permits from the City of Lone Tree.)
 - a. Final Construction Documents
 - b. All items under Design Development

Note: Incomplete submittals and/or non-compliance with DRC comments, recommendations, etc. during the process may cause delays. The applicant may ask the DRC for appropriate extensions at any time.

2.5 Definitions

2.5.1 Concept

Defines goals from which the Standards are derived.

2.5.2 Standards

Objective criteria that provide direction based on the Concept and denote critical issues. The terms “shall,” “will,” or “must” indicate required compliance, unless it can be demonstrated that an alternative meets one or more of the following conditions, at DRC discretion:

- The alternative equally or better achieves the stated Concept.
- The Standard will not achieve its objective in this particular case or circumstance.
- The application of other Standards will be improved by not applying this Standard.
- Unique site factors render a Standard impractical or cost prohibitive.

2.5.3 Guidelines

Guidelines further promote the goals defined by the Concept statements. Guidelines use the terms “should” or “may” to denote that they are considered relevant to achieving the stated Concept, and will be pertinent to the review process. Guidelines will be strongly considered when there is a request to waive a related Standard.

2.6 Site Development Resources and References

RidgeGate Design Review Committee

~~Darryl Jones, DRC Administrator~~

720/279-2581 (t)

City of Lone Tree Community Development Department

~~Steve Hebert, Director~~

303/708-1818 (t)

City of Lone Tree Engineering Department

~~John Cotten, City Engineer~~

303/792-0557 (t)

City of Lone Tree Building Department

303/708-1818 (t)

Rampart Range Metropolitan District

~~Denise Denslow, District Manager~~

303/779-5710 (t)

Southgate Water and Sanitation District

303/779-0261 (t)

South Metro Fire and Rescue

720/488-7200 (t)

Lone Tree Police Department

303/339-8150 (t)

XCEL Energy

Builders Call Line

800/628-2121 (t)

Reference Documents:

- City of Lone Tree Zoning Ordinance
- City of Lone Tree Subdivision Resolution
- City of Lone Tree Design Guidelines
- City of Lone Tree Comprehensive Plan
- RidgeGate Planned Development District Plan (PDD)
- RidgeGate Roadway Standards and Guidelines
- RidgeGate Irrigation Master Plan
- RidgeGate West Village Parks, Open Space and Trails Vision Plan

RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

Chapter 3

~~Retail District~~ Lincoln Commons Commercial Mixed-Use Framework

3.1 District Lincoln Commons Sub-Area Boundary

The Retail District Lincoln Commons Mixed-Use Sub-Area, as indicated in Figure 1, is generally bounded by Lincoln Avenue on the north, RidgeGate Parkway on the west and south, and the Willow Creek open space area on the east. The site is accessible from four primary locations:

1. An existing signalized intersection at Lincoln Avenue and Commons Street (east of South Yosemite Street) to the north
2. A future signalized intersection at RidgeGate Parkway and SkyRidge Avenue to the west
3. Roundabout access from RidgeGate Parkway to the south
4. SkyRidge Avenue to the east

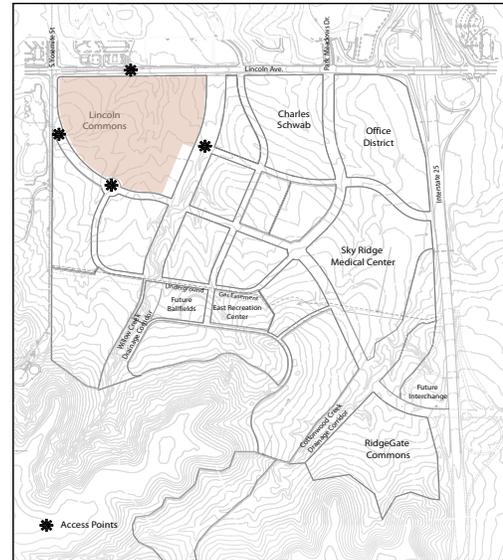


Figure 1

3.2 District Sub-Area Concept

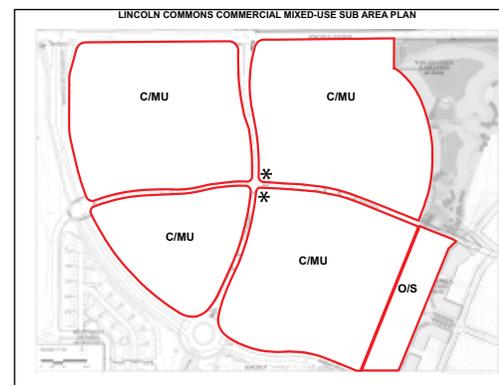
Development within the Retail Commercial Mixed-Use area District is intended to provide a variety of shopping, office and living options to the residents of Lone Tree and the broader community. Comprising approximately 45 acres, it is envisioned to create a synergy of uses ranging from large-format* and specialty retail to service, entertainment, and civic uses, and a range of residential options.

This synergy of uses will create a unique retailing environment for the Commercial/Mixed-Use area District and serve to activate the area District both day and night.

- The design will integrate and prioritize the functions of the automobile and the pedestrian, with neither excluded and both encouraged. It will be the careful blending of the auto and the pedestrian that will allow the area District to be a successful and inviting environment. Structured deck parking will be utilized to concentrate the automobile in high-use locations while freeing other areas of the site for greater pedestrian-related activity. Circulation, parking characteristics and pedestrian amenities will vary depending upon the retailing type.

The new plan's vision will create a livable community environment consisting of a wide variety of housing options, surrounding by a network of walkable streets and pedestrian connections with high quality streetscapes, parks, plazas and outdoor community spaces, and high quality building design. The vision for this area also incorporates public facilities.

The area District will contain activity zones and gathering places large and small. The goal will be to create retail "neighborhoods" within the area District that are defined by their uses while always allowing the individual identity and expression vital to retailers. It is intended that civic uses become part of the mix as well. Office space may also be incorporated to create a District population and enhance opportunities for retailing.





An enduring quality will be the defining standard.

3.3 Relationship to PDD

The Standards and Guidelines contained in this document are authorized by the PDD approved by the City of Lone Tree in June 2000, and as amended, and are intended to ensure that the vision for the ~~Retail Commercial Mixed-Use area~~District is achieved. Design Review Board Committee approval is mandatory for all projects in the ~~Retail-Commercial Mixed-Use area~~District prior to submission to the City of Lone Tree for project review.

* Note: Large-scale retail uses that are located within the Transition Overlay District as shown on the PDD shall be subject to the City of Lone Tree Use by Special Review process.

RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

Chapter 4

~~Retail~~ Lincoln Commons Commercial Mixed-Use Sub-Area ~~District~~ Standards and Guidelines

Note: Pictures are for illustrative purposes only and do not necessarily represent acceptable design.

~~6.4.1 Lincoln Commercial Mixed-Use District Sub-Area East~~ Introduction

It is anticipated that the majority of commercial uses will occur in the northern portion of the Lincoln Commons Sub-Area, where retailers, restaurant and office tenants have direct access from Lincoln Avenue, good visibility and adjacent parking fields.

Commercial office and civic uses in other portions of the Lincoln Commons Sub-Area will be served by a system of interconnected roads and sidewalks, and collectively form a synergistic, walkable and attractive area. ~~This District is located at the northeast quadrant of Lincoln Commons within RidgeGate with direct access from Lincoln Avenue. Users in this area will include vehicular-oriented national and local retail and restaurant tenants with the need for good visibility, good access and adjacent parking fields. The site improvement plan for this district links it with Lincoln District West completed in 2005. The two projects will come together to create a larger more diverse shopping palette which should increase customer interest.~~

~~The design of the Lincoln District East is critical to the success of Lincoln Commons as it is the major entry to the entire project. Access drives interior to the site will align with existing streets and will be flanked by wide sidewalks and street trees to enhance the pedestrian nature of the proposed grid system. Parking areas will be broken up into smaller parking fields through the use of landscaped medians and drives. Linear landscaped areas are also provided at perpendicular drives and crosswalks to further define the parking areas, while providing separation for the pedestrian from vehicular circulation.~~

~~Building architecture will be an extension of the Lincoln District West. It will incorporate a variety of massing and roof forms as well as appropriately placed architectural features such as tower elements and projected canopies. Use of extensive amounts of glazing shall be encouraged. Building materials will be compatible with those incorporated in the initial phase and will use brick and stone as primary materials and stucco/EIFS as background material.~~

~~The design guidelines for this district shall be prescriptive in nature to assure architectural and material continuity along the Lincoln Avenue frontage.~~

~~6.4.10.1 Application of Standards and Guidelines~~

~~Where these standards and guidelines do not address a specific subject, the city's standards and guidelines will prevail.~~

6.4.2 Site Planning Standards

~~Unless otherwise specified, these Design Standards and Guidelines shall apply to any site, regardless of use, within the district known as Lincoln District East. Certain Standards may apply only to specific retail areas or uses. Such applicability will be clearly stated within the standard.~~

~~6.2.1 Vehicular and Pedestrian Access and Circulation~~

~~Concept~~

- ~~• Maximize opportunities for ease of circulation both within and between retail neighborhoods.~~
- ~~• Establish vehicular circulation hierarchies and create pedestrian opportunities commensurate with those hierarchies.~~
- ~~• Retail traffic should rely upon Commons Street and internal Main Street as the primary access points.~~
- ~~• Internal primary roadways will be private, and will be designed as circulator streets rather than~~

through streets (although through movements will be allowed).

Unless otherwise specified, these Retail Commercial Mixed-Use District Standards and Guidelines shall apply to any non-residential site, regardless of use, within the Retail Commercial Mixed-Use District Sub-Area. Certain standards may apply only to specific retail areas or uses. Such applicability will be clearly stated within the standard.

Exceptions to or contradiction with state or local codes, within Retail Commercial Mixed-Use District Standards shall be specifically approved as part of a Site Improvement Plan. Conformance with these regulations shall exempt a structure from compliance with other applicable safety codes only if specifically noted. Exceptions may be granted on the basis of merit.

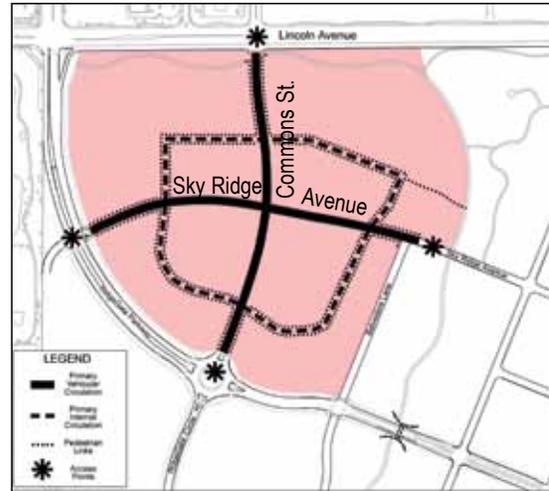


Figure 2

4.12 Site Planning Standards

4.12.1 Vehicular and Pedestrian Access and Circulation

Concept

- Maximize opportunities for ease of circulation both within and between retail neighborhoods.
- Establish vehicular circulation hierarchies and create pedestrian opportunities commensurate with those hierarchies.
- Retail traffic should rely upon Commons Street rather than RidgeGate Parkway as the primary access point.
- Internal primary roadways will be public, but will be designed as circulator streets rather than through streets (although through movements will be allowed).

Standards

- Internal circulator streets will be two lanes wide with auxiliary lanes to handle specific turn movements. Access off internal circulator streets will be approved with subsequent Site Improvement Plans. The Developer will work with the City of Lone Tree to establish the cross-section and construction standards that will allow the internal circulator streets to function as primary shopping center drive aisles while still being eligible for City maintenance as public streets.
- It is anticipated that the central intersections within the Retail Commercial Mixed-Use District Sub-Area (Sky Ridge Avenue and Commons Street) will be controlled by a four-way stop signs.
- Pedestrian connections shall be established from the Retail Commercial Mixed-Use District Sub-Area to external uses or areas where possible.
- Streets within the Retail Commercial Mixed-Use District Sub-Area may be closed from time to time on a limited basis for the purpose of conducting outdoor festivals, fairs, markets or other gatherings, subject to City approval.
- Refer to Figure 2 for the conceptual circulation plan.
- Both public and private streets internal to the overall site boundaries area shall be designed to have

an urban feel. The integration of parallel and diagonal parking, street trees generally at regular intervals, street furnishings and attached and detached walks will contribute to that urban feel.

Guidelines

- The Site Improvement Plans for the within Retail Commercial Mixed-Use District Sub-Area shall consider accommodating public transportation alternatives.
- Traffic calming measures may be employed as necessary to achieve the desired automobile/pedestrian interface. Such measures may include speed humps/tables, raised intersections/crosswalks, textured pavements, or flared sidewalks/bulbouts, subject to City approval.
- Bikeways and pedestrian walkways should be separated and protected from external and internal automobile circulation within parking lots to the extent possible.
- Walkways should be provided to allow pedestrian connections between neighborhoods within the Retail Commercial Mixed-Use District Sub-Area.
- A sense of entry to the project should be created.

4.21.2 Building Location and Heights

Concept

- “Internalize” the Retail Commercial Mixed-Use District Sub-Area such that individual retail and residential neighborhoods act to reinforce the others.
- Provide buffers to existing residential uses to the west.
- Structures greater than three stories provide a step back of the upper floors above the third floor to provide visual relief from the building mass on the adjacent street and uses.
- Encourage solar exposure of public areas.

Standards

- Buildings shall be set back from the Lincoln Avenue right-of-way a minimum of 84'.
- Buildings shall be set back from the RidgeGate Parkway right-of-way between Lincoln Avenue and Sky Ridge Avenue a minimum of 75'. Screen walls and roofs may encroach into the setback area up to 15'.
- No other internal building setbacks shall apply; buildings should relate directly to adjacent streets wherever possible.
- In order to allow the Retail Commercial Mixed-Use District Sub-Area to integrate with public open space, there shall be no setbacks adjacent to the Willow Creek open space.
- Building heights shall comply with height limits established by the RidgeGate PDD.
- All floors above the third floor of any building adjacent to RidgeGate Parkway or Commons Street, and within twenty (20') feet of the property line, shall be set back a minimum of four (4') feet from the primary building wall plane of the first through third floors of the structure.



Parking lot landscaping (non-structured)

4.21.3 Grading

Concept

- Minimize the visual impact of large retaining walls to any public streets.

- Effort should be made to work with the natural topography of the site.

Standards

- Retaining walls shall be constructed to avoid slopes greater than 3:1.
- **The slope ratio between tiered retaining walls shall not exceed 3:1.**
- **Walls must be terraced if higher than 4’.**
- **Walls should have a decorative top or cap. Appropriate pilasters, pillars, columns or other elements, as approved by the RidgeGate or Lincoln District DRC and the City of Lone Tree may punctuate the wall line.**

4.2.4 Parking, Parking Lots and Parking Structures

Concept

- Mitigate the visual impact of the automobile from RidgeGate Parkway, Lincoln Avenue and the Willow Creek open space corridor.
- Utilize structured parking where practical to consolidate parking and create a more compact, walkable environment.
- In surface (non-structured) parking areas, provide landscaped parking islands, medians or tree wells to visually break up large areas of parking, **and provide shade-, and In-surface (non-structured) parking areas, provide landscaped parking and create a more compact, walkable environment.**

Standards

- Standard curb and gutter or other appropriate improvements must define the parking lots.
- Parking structures, where utilized, shall be compatible in massing, scale and materials with the buildings they support or surround.
- Parking lots shall be properly drained.
- Parking lots shall be paved.
- Pavement grades shall not exceed 5% slopes within parking areas and 10% slopes in drive aisles that do not have stalls along the aisles.
- Parking shall be set back a minimum of 20' from arterial roadways. No other parking setbacks are required.
- **Parking shall be set back a minimum of 84’ from Lincoln Ave. No other parking setbacks are required.**
- **Minimum stall sizes shall be as follows:**

Handicapped-Accessible:	Per ADA standards
Standard:	90° = 9’ x 18’
	60° = 9’ x 20’
	45° = 9’ x 19’

Compact: 90° = 7’6” x 15’



Service area screening example



Service area screening example

60° = 8' x 15'

45° = 7'6" x 17'

- Minimum stall sizes shall be as follows:

Handicapped-Accessible:	Per ADA standards
Standard:	9'-0" x 18'-0" (or equivalent for angled parking)
Compact:	7'-6" x 15'-0" (or equivalent for angled parking)
- Compact-sized parking spaces may only be used if they exceed the City's requirements for parking ratios using standard-sized spaces, unless otherwise determined by the City.
- Overhang allowance for spaces adjacent to perimeter or islands:

Standard:	2'-0"
Compact:	1'-0"
- Minimum drive aisle widths shall be as follows:

Two-way traffic:	22'-0"
One-way traffic:	18'-0"
- Landscaped parking islands shall be provided at the ends of on-grade parking bays and should be a minimum of 8' in width from back-of-curb to back-of-curb. Landscaping is defined as vegetation and/or decorative gravel or wood mulch.
- Retail uses with shopping carts must demonstrate how carts will be regularly managed and properly screened using a design that is compatible with the primary building architecture.

Guidelines

- Surface (non-structured) parking lots should be segmented into smaller areas by using planted or concrete medians where appropriate. Planted medians in parking fields should accommodate a 6' wide landscape strip. Proper car overhang must be considered in designing the landscaping.
- Structured parking areas may incorporate perimeter landscaping to mitigate the visual impact of the structure.
- Parking lots should be buffered from Lincoln Avenue and RidgeGate Parkway through the use of low walls, berming, landscaping and/or separation (setbacks).
- Parking areas should be buffered from prominent off-site view corridors.



Composition of forms



Features



Features

4.24.5 Service Areas

Concept

- Reduce the visual and functional impact of service areas on public spaces.

Standards

- Service, recycling and delivery areas shall be located away or buffered from the primary public access points. Buffering from public view may be done with masonry walls, fences and/or landscaping of sufficient height and density (minimum 6' high walls, **10' for semi-areas**).
- Service areas shall be buffered from public streets or adjacent residential properties.
- Adequate loading and maneuvering space shall be provided for trucks and other service vehicles.
- Architecturally treat exposed sides of trash / service areas.

Guidelines

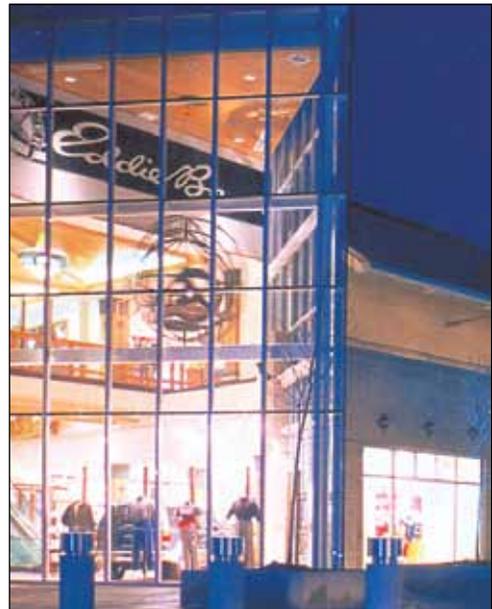
- Dumpsters shall be contained within trash enclosures which may be located within parking lots. Enclosures may be constructed of masonry walls, fences and/or landscaping of sufficient height and density to blend with the character of the architecture.
- Share or co-locate service areas with adjacent buildings where possible.



Façade example



Façade example



Fenestration

4.32 Architectural Standards

4.32.1 Concept-Vision-Goals

These guidelines are organized to ensure that high-quality building architecture is realized through the life of the development. The goal herein is to develop an architectural aesthetic for the RidgeGate Retail Commercial Mixed-Use District Sub-Area that is well grounded, enduring, and identifiable. The vision is to provide human scale in the architecture through change, contrast and intricacy of façade form, color and/or materials of structures that face public sidewalks and streets. The architecture within the RidgeGate Retail Commercial Mixed-Use District Sub-Area will vary from neighborhood to neighborhood to best address the uses and character of the specific neighborhood. The aesthetic will evolve and change as different needs, programs, and places may dictate.

4.2.2 Massing / Scale

Concept

- Scale and compose forms to create clear, organized relationships between buildings, outdoor spaces, pedestrians and automobiles.
- Promote architectural relationships between buildings of varying heights and mass.
- Buildings should be designed to create an impression that there is a division of proportion or an interpretation of the classic base, middle and top.

Standards

- In large retail buildings* use building massing or special architectural features and changes in the building topline to emphasize key building features.
- Do not create large monolithic structures. Integrate meaningful breaks in the building.
- Entries should have an inviting, pedestrian scale.

Guidelines

- All sides of the building should be attractive and interesting in accordance with their orientation and function.



Fenestration



Fenestration

6.3.14.3.2 Massing / Scale

Concept

- Individual façades should create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses. Certain façades may have a broader scope (larger neighborhood view) and others may be more related to the pedestrian experience.

Standards

- Key building features, parapets, and steps shall be returned a minimum of 4' to create a sense of depth.
- Façades shall create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses.
- All sides of the building should be attractive and interesting in accordance with their orientation and function.



Materials and colors

4.32.23 Main Building Façades—Massing and Scale

Concept

- Individual façades should create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses. Certain façades may have a broader scope (larger neighborhood view) and others may be more related to the pedestrian experience.
- To create a comfortably-scaled and appropriately-detailed visual experience and complement the adjacent uses. Certain façades may have a broader scope (larger neighborhood view) and others may be more related to the pedestrian experience.

- A major building envelope may be considered either a single freestanding building or a grouping of buildings.
- Building designs will be varied for interest and all design elements shall be complementary.
- The massing of elements will be sequenced to reinforce an overall hierarchy of scale.
- 360° architecture will be achieved by carrying the full palette of materials using a consistent pattern of banding, articulated cornices, and detailing around the sides and rears of the buildings.

*Roof forms*

Standards

- Key building features, parapets, and steps shall be returned a minimum of 4' to create a sense of depth.
- Façades shall create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses.
- All sides of the building should be attractive and interesting in accordance with their orientation and function.
- The design of the storefronts should create a pattern of transition and visual relief.
- Avoid thin, inaccurate or overly nostalgic treatments of traditional styles.
- On large single-use buildings*, vary the façade scale to address both the automobile and pedestrian experience as appropriate to the exposure.
- Exposed gas lines and electrical conduits are not allowed on building façades without adequate screening.
- Ground floor entry façades that face public streets, drives, or plazas shall have arcades, display windows with vision glass, backlit glazing elements, entry elements, awnings, or canopies along no less than 60% of the building linear frontage.
- No wall expanse or individual tenant shall extend over 75 lineal feet at anchors and shop buildings and 50 lineal feet at pad buildings without incorporating at least one architectural feature of at least 24' in total length and at least 12' or one-third the building height, whichever is greater. These are known as the 75 and 50-foot rules. Architectural features shall include towers, entry elements, brick, or cast stone colonnades with trellises, pilasters, towers, flat metal canopies, awnings, projected brick elements (minimum 2'-8" in depth), vision glass, display windows, backlit frosted glass elements, or an expression of architectural bays where areas between columns are indented.
- Attached planters at buildings shall not be considered as an architectural feature, however, the use of brick or cast stone on the planters will count toward elevation requirements, as it is a projection of the building base.
- Building bases are required to be capped with a ledger cap to overhang base material to create a shadow effect.
- The major building envelope shall be composed of brick, stone, cast stone, integrally colored pre-cast concrete, and stucco/EIFS with detail and color arranged to establish a base, middle, and top. See chart at 4.3.9

*Roof forms*

Guidelines

- Façade lighting should be appropriate to the architecture.

4.32.3 Building Fenestration

Concept

- Provide a high degree of transparency at the ground level of building façades where appropriate.
- Provide a hierarchy of forms.

Standards

- Provide building materials that are highly-detailed and rich in texture at the pedestrian level.

- * Note: Large-scale retail uses that are located within the Transition Overlay District as shown on the PDD shall be subject to the City of Lone Tree Use by Special Review process.

Guidelines

- Windows, bays, doorways, and other features of buildings should be proportional to the overall scale of the building.
- Windows should help create patterns or features or break up wall surfaces.
- **Windows should be recessed, not flat, and should be vertically-oriented. The use of sills and lintels are encouraged.**



Walls



Streetscape

4.2.54.3.4 Materials / Colors

Concept

- Building materials should be selected with the objectives of high quality and durability.
- **All accent colors are intended to complement and enhance the Lincoln District West.**

Standards

Class 1 Materials

- **Brick, stone, cast stone, metal panel, and integrally colored precast concrete, wood, heavy timbers or decorative steel: These materials shall be Class 1 building materials and their extensive use at all faces of a building is encouraged. The front face of columns clad in these materials shall be considered a part of the façade, as would attached masonry or stone planters. The proportion of materials may vary between users. When calculating the percentages of primary materials, glazing is considered a primary material.**
- **Glazing: All users are encouraged to maximize glazing to create an interesting storefront. Window**



Streetscape

and door frames are to be compatible in color and finish but may vary between buildings in a complimentary manner.

- Decorative steel: (columns, beams, stamped metal, panels, other ornaments) Ornamental Metals may be used to emphasize the design intent of the specific district, depending on the overall character of the architecture. All decorative metal shall be factory-finish or baked-on powder-coated finish.

Class 2 Materials

- Integrally-colored CMU / integrally colored precast concrete: The secondary building materials of CMU and integrally colored precast concrete shall only be used to create bases, secondary fields, or accent banding with split or ground face units (integrally colored). Acceptable banding may be utilized to differentiate between a building's base, middle, and top. [Note: the base, middle and top should be differentiated, but that can be accomplished in a number of ways.]
- Stucco or EIFS: Stucco and EIFS may be used as a secondary material in approved colors and textures only. It may also not be used lower than 36" from grade.
- Integrate a color palette based on local materials. Intense colors should be limited to accents only.
- Select permanent, durable materials incorporating current building technologies.
- The following materials are disallowed unless approved by variance:
 - Reflective glass curtain wall systems
 - Unfinished or painted CMU Block
- Cast (or natural) stone: Although a range of hues is anticipated, the colors chosen should be sympathetic to area context **Lincoln Commons**. Using a ledge stone style of stone, the colors should be selected and installed in such a way as to appear natural yet uniform from building to building.
- Brick: Colors ranging from a warm tan to burgundy-brown are acceptable. The brick is encouraged to be smooth/uniform in texture.
- Stucco: Smooth to medium textures will be utilized in a range of tan, beige, warm grays, rusts, and medium browns to contrast yet complement the rough texture and deep colors of the stone.



Outdoor café seating

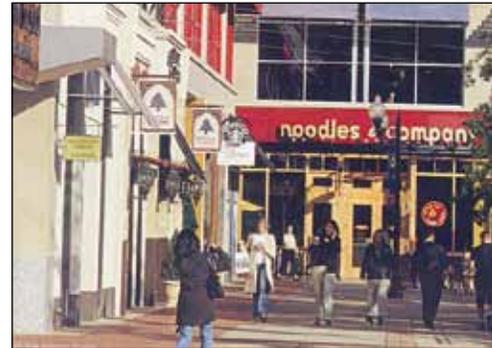


Public plaza



Outdoor retail

- Concrete masonry units must be integrally colored and textured. Buildings should avoid a painted or flat look.
- Ornamental Ironwork: Colors may be black, charcoal, brown, or slate/forest green, and be deemed appropriate to the architectural composition and the overall center.
- Glazing: Glazing may be clear, frosted, spandrel, fritted or patterned. Use of insulated panes using “low E” is encouraged. Reflective Glass shall not exceed 30% reflectivity.
- Architectural Roofing: Roofing materials shall be comprised of zinc-coated metal, copper, natural-looking clay, metal, concrete or slate tiles, horizontally-accented asphalt shingles, or other materials compatible with the architectural character within the center’s color palette.
- Light Standards: Lights and light standards in parking areas, major drives, and pedestrian walkways shall be per the design standards ~~master SHP~~, including light standards at loading bays.
- Integrally colored precast concrete: Precast concrete shall be light-medium tan/buff with a smooth, uniform finish.
- Awning and canopy colors: Awning colors may vary but must be compatible with the building materials. Awnings may not be striped or multi-colored unless incorporating approved signage components. No bold or intense colors are acceptable. Prototype or franchise colors are subject to approval by the RidgeGate ~~Lincoln District~~ DRC and the City of Lone Tree.
- Accent tiles: Accent tiles may be introduced if compatible with the architectural design of the building and shopping area. The color of the tiles must complement the overall center and is subject to approval by the RidgeGate ~~Lincoln District~~ DRC and City.
- Corporate Colors: Corporate colors may be included exclusively in signage, awning signage, and/or logos. All colors are to be approved by the RidgeGate ~~Lincoln District~~ DRC and City.
- Bold or intense colors are prohibited unless previously approved by both the City of Lone Tree and the RidgeGate ~~Lincoln District~~ DRC. If approved, these colors should be limited to signage or other accent areas.



Signage

Guidelines

- Provide plane changes between material finishes (reveals may accomplish this).

4.2.64.3.5 Roofs

Concept

- Roofs and topline forms can become a strong architectural element of RidgeGate architectural character. Buildings should integrate all building systems with a complete architectural form.

Standards

- All mechanical, electrical and telecommunications systems shall be buffered from view from surrounding streets, structures, open space and parks.
- The use of hips, sheds, and towers is encouraged to provide a varied roofscape. These may include; Zinc-coated standing seam metals, copper, natural-looking clay, concrete or slate tiles, horizontal-

ly-accented metal or asphalt shingles, or other materials compatible with the architectural style and character.

- Flat roofs must be fully screened by parapets.
- When parapets do occur, they shall be finished with either an articulated cornice or pre-finished metal coping cap of complementary color.
- Warm blacks and charcoal colors are not permitted as architectural roofing materials, except in small/accent areas.
- Use of primary colors in roofing materials is prohibited with the exception of its use on icon buildings which may be used to create a character, or story, for the project.

Guidelines

- Three-dimensional rooftop elements are encouraged.
- Provide a diversity of building heights, emphasis on building tops (embody character of design in roof forms).

6.2.54.3.6 Pedestrian Walks

Concept

- ~~Lincoln Commons~~The Commercial Mixed-Use District will be designed to provide a pedestrian friendly environment **that is connection with the surrounding area.**

Standards

- Special attention shall be given to all walking surfaces, especially those in front of each retail entry. Walks at major public areas shall feature additional scoring and a minimum of 10% integrally colored or textured concrete. This area is determined by definition of the concrete walk running along the front (and sides, if a corner lot) of building frontage and within the block of the development. This concept is more clearly defined in the Landscape Section of these Guidelines.
- Planters will be placed between building entries where grade changes occur and unbroken walk areas exceed a width of 20 feet.
- Areas of standard paving greater than 20' will be mitigated by planting beds or enhanced paving.
- Attached planter boxes of brick or cast stone shall be provided for a minimum of 33% of unglazed building frontage that exceeds 30' in length.
- Trees shall be placed along facades in tree grates or shrub beds. Tree locations may be adjusted with city approval, but the number of trees shown on the Site Improvement Plan at the sidewalks shall not be reduced. One tree shall be provided for approximately every 30' of building frontage. They may be inline or grouped.
- Average depth of walkway from curb to building at users up to 11,999 s.f. shall be 12' minimum. For users 12,000 s.f. or greater shall be 17' minimum, and at Pad and outlying retail buildings, usually constituting a smaller footprint, are recommended to be a minimum of 12', including planters.

Guidelines

- Pedestrian-scale pole lights, wall-mounted lights, sidewalk benches, and colonnades with trellises will emphasize the pedestrian nature of the building fronts. Lights and street furnishings are further described below.

6.3.44.3.7 Building Sides and Rears

Standards

- The architectural expression of the sides and rear should be consistent with the front façade. This articulation need not occur within a screened loading court area. However, the wall area above the

elevation of screen walls must meet the 75-foot rule as well as include cornice details, scoring, and roof details compatible with the overall center.

- Screen wall treatments should be constructed of brick, integrally colored and precast concrete, and/or integrally colored concrete masonry units. These walls should shield the majority of the building's rear façade.

6.3.54.3.8 Building Entries

Standards

- The entry to each user shall be highlighted and protected by a well-designed architecturally interesting arcade, recess, vestibule, awning, or canopy or a combination of the aforementioned.
- These entry elements shall be composed of brick, stone, cast stone, integrally colored precast concrete, wood, heavy timbers, decorative steel, vision glass, and/or frosted backlit glass equaling a minimum of 60% of the wall area at Anchors and 80% at Pad buildings.
- The scale or mass of any tenant entry should be proportional to the square footage of the entry façade and be pedestrian in scale.
- No entry element shall extend beyond 1/3 the building height over parapet line. Signage should be in proportion to the entry element and should be designed to coordinate with the architecture of the building.
- Signage requirements are outlined in a separate section within this document.

6.3.84.3.9 Building Materials Requirement Chart

	Anchors	Shops & Pads
Front		
Class 1 Material	50% min.	50% min.
Class 2 Material	50% max	50% max.
Glazing	25% min. of linear frontage	60% of linear frontage
75' Rule	Yes	No
50' Rule	No	Yes
Side		
Class 1 Material	25% min.	40% min.
Class 2 Material	75% max.	60% max.
Glazing	Encouraged	25% of linear frontage encouraged
75' Rule	Yes	No
50' Rule	No	Yes
Rear		
Class 1 Material	25% min.	40% min.
Class 2 Material	75% max.	60% max.
Glazing	Encouraged	Encouraged
75' Rule	Yes	No
50' Rule	No	Yes

Materials Notes:

1. “Class 1” and “Class 2” are defined in 4.3.4
2. See 4.3.2 for definition of 75’ Rule and 50’ Rule.
3. Amounts specified in the materials requirement chart above may be adjusted in cases where quality of a particular building design is of a high standard and warrants a different percentage of materials than is specified in the table above.

~~6.3.104.3.10~~ 6.3.104.3.10 Drive-Thrus

Concept

- Pad buildings may incorporate drive-thrus that comply with the City of Lone Tree Development standards.

Standards

- Drive-thru lanes must provide for adequate stacking of vehicles in front of the order board as well as between the order area and pick-up window(s).
- Stacking of cars must be designed to prevent encroachment into drive aisles, parking lots, or streets.
- Pad sites adjacent to Lincoln Avenue with drive-thrus require screen walls or approved dense landscaping for those drive thru lanes adjacent to public roadways or site access drives. Screen walls shall be no less than 32” in height and comply with Wall criteria found in these guidelines.

~~6.3.114.3.11~~ 6.3.114.3.11 Awnings and Canopies

Concept

Use of awnings and canopies is encouraged. Awnings must be canvas and of a complementary color to the buildings of the overall center; canopies are typically metal. Awnings and canopies must project a minimum of 4’ from the building face. Signage may be placed on an awning or canopy if architecturally compatible with the building, as approved by the City of Lone Tree. They must be consistent throughout the building.

~~6.3.134.3.12~~ 6.3.134.3.12 Screening of Rooftops Units

Standards

- Building parapets or screen walls of equal heights should be used to screen equipment from the equally elevated surroundings.
- Screen walls should match the design, detailing, and materials of the building.
- A view study that analyzes this condition may be required; if deemed appropriate, screening may not be necessary.

~~6.3.144.3.13~~ 6.3.144.3.13 Ornamental Iron Work

Standards

- Where appropriate, ornamental ironwork shall be introduced into the overall composition of building façades. If used, ironwork is to comprise a minimum of 5% of entry elements. Decorative metal shall be factory-finish or baked-on powder-coated finish.

~~6.3.154.3.14~~ 6.3.154.3.14 Loading Docks

Concept

- Loading dock areas must be screened throughout the project.

Standards

- Dock areas, where exposed to public view, shall be screened with a brick, cut stone or integrally-colored textured concrete masonry wall that is a minimum of 14'-0" above the grade of the dock and a minimum length to effectively screen tractor trailers. Walls shall meet architectural requirements listed in this document.
- Lights incorporated at dock areas and at the rear of buildings shall be cut-off fixtures. Wall pack lights are prohibited.

~~6.3.16~~ 4.3.18 Downspouts

Standards

- Downspouts may not occur on any building's front façade with the exception of copper or zinc-coated metal downspouts at canopies or entry elements. Downspout colors that occur at sides and rears shall be designed in accord with these standards. In general, downspout color should match background material colors.

~~6.3.17~~ 4.3.19 Utility Meters and Gear

Guidelines

- Exposed gas and electrical meters, conduit and equipment are to be grouped together when possible and painted to match the building architecture or adjacent surfaces. Screening, such as screen walls to match the architecture, mesh screen walls, or dense landscaping is encouraged.

~~6.3.18~~ 4.3.20 Trash Enclosures

Standards

- Trash enclosure areas, freestanding dumpsters, or compactors shall be fully-screened with walls of the same materials used in the adjacent buildings and provided with durable, painted powder coated solid metal gates.
- The enclosure shall be designed such that is it gated on one side and that the other three sides are in full compliance with screen wall requirements of both these standards and the City of Lone Tree.
- The height of the trash enclosure wall must be a minimum of 18" higher than the dumpster with a cap, or the enclosure shall have an approved cover.
- Any internal surfaces that are visible from the exterior with the gates closed must be painted to be complimentary to the exterior material.

Guidelines

- Enclosure walls of trash enclosures, loading docks and other areas vulnerable to vandalism should be covered with an anti-graffiti coating

4.43 Landscape Standards

4.43.1 Landscape Character

Concept

- Create a distinct landscape character that creates identity, adds value and is water-efficient.

Standards

- Planting composition and type shall be appropriate to the climatic and environmental conditions of the site.

Guidelines

- Development edges adjacent to open space should extend that character into the development site.

4.43.2 Planting and Groundcover

Concept

- Minimize environmental impact and maintenance costs of plantings and maintain their high quality and aesthetic character.

Standards

- Soils shall be tested for horticultural suitability and amended as necessary to create an environment conducive to proper plant health and vigor. [Engineered soils for tree grates to enhance drainage and root growth.](#)
- Use of ~~gravel, rock, crushed or decomposed granite or other such material~~, or wood chip or other similar mulches or groundcovers must be limited to areas below shrub masses, [perennial and annual beds](#), mow strips or areas where planting is not feasible. [Gravel, rock or decomposed granite are only permitted as mulch in high-wind, steep slope, or hard to maintain areas.](#)
- Minimum plant sizes are as follows:
 - Deciduous shade trees - 2" to 3" caliper
 - Deciduous ornamental trees - 1.5" to 2" caliper
 - Coniferous evergreen trees - 6' to 10' tall
 - Shrubs - #5 container
 - Groundcover - 4-inch pot
 - Un-manicured Native grass - Seed
 - Manicured Native grass - Seed
 - Turf - Sod

Guidelines

- Low-water-use plant materials should be used wherever possible, including native grasses and drought tolerant perennials. High-water-use plants should be confined to areas with high pedestrian activity or used as special accents in gateway or plaza areas. Refer to Exhibit [65.7](#) in the Appendix for the approved plant palette. Other plant species may be acceptable, subject to DRC approval.
- Plants with similar water requirements should be grouped together.

4.43.3 Irrigation

Concept

- Conservation of water resources
- Irrigation design that promotes plant growth

Standards

- Landscaped areas must utilize drip or other low-volume application systems controlled by [smart controllers](#) ~~automatic computerized clocks~~, which will be linked to rain sensors. One rain sensor per two controllers is required.
- Spray heads must minimize over-spray to non-pervious areas including sidewalks, buildings and roadways.
- For further information, see the Irrigation Master Plan.

Guidelines

- The use of spray irrigation should be minimized directly around the perimeters of buildings.

4.43.4 Walls

Concept

- Walls that enhance the Retail-Commercial Mixed-Use District streetscape and/or open space rather than detract from it.

Standards

- Wall color, material and design shall compliment the natural environment or building architecture.
- Use retaining walls to minimize excessive slopes.
- Retaining walls shall be constructed of materials that blend with the natural or constructed environments. Wire-cut concrete block and unfinished concrete are not allowed.
- The slope ratio between tiered retaining walls shall not exceed 3:1.
- The minimum distance between tiered retaining walls shall be 6 feet.

Guidelines

- Terracing retaining walls should be considered.
- Walls should have a decorative top or cap. Appropriate pilasters, pillars, columns or other elements, as approved by the DRBC and the City of Lone Tree could punctuate the wall line.

4.43.5 Streetscape, Sidewalks and CrosswalksConcept

- Create an active, vibrant, pedestrian-scaled public streetscape with rich character for pedestrian-oriented areas.
- Ensure that pedestrian uses are adequately separated from automobile uses.

Standards

- Pedestrian sidewalks shall be a minimum of six feet in width.
- Sidewalks shall be constructed of concrete pavement, precast concrete pavers, durable stone pavers or other comparable material.
- Concrete paving or painted striping for pedestrian crosswalks shall be provided at intersections and drive aisles
- Street trees shall be provided along streets to provide scale, shade and interest. Where street trees are located in impervious paving, the trees shall have proper soil preparation, amendments and drainage.

Guidelines

- Detached sidewalks are recommended along streets or where there is no retail use. A minimum of a six-foot planting strip should be provided between the back of curb and the sidewalk.
- Attached sidewalks are recommended where buildings and storefronts face onto streets or high pedestrian traffic areas.
- Raised pedestrian crosswalks or tablespots can be used at intersections, drive aisles or where important pedestrian connections warrant. Crosswalks should be visually different in color and provide a texture, where possible, to demarcate the pedestrian area.
- Outdoor café seating is encouraged, and sidewalk dimensions should allow for such seating where appropriate.
- The display of retail merchandise outside of stores is encouraged (subject to City approval), and sidewalk dimensions should allow for such display where appropriate.

4.43.6 Public PlazasConcept

- Create flexible, active and vibrant public spaces that are defined and energized by retail or commercial edges and able to accommodate both small and large-scale use.

Standards

- Vendor carts or kiosks shall be allowed as approved by the DRBC and the City of Lone Tree. Their design must be of high quality and complementary to the surrounding areas.

Guidelines

- Plazas should be designed with smaller-scale and larger-scale gathering areas to accommodate small-group interaction as well as large public events.
- Where appropriate, public art should be provided and integrated with the plaza design. A community involvement process to conceive or produce such art is encouraged.

4.43.7 Site Furnishings

Concept

- Site furnishings that are visually attractive and coordinated to create a sense of character and identity for the project.
- Site furnishings that are used to give a human scale to sidewalk areas and public spaces within the [Retail Village area](#).
- Site furnishings that are durable and comfortable for people to use.

Standards

- All site furnishings must be easy to maintain and vandalism-resistant.
- The palette of site furnishings may vary between neighborhoods within the [area District](#), but should be consistent within neighborhoods.
- Tree grates shall be provided where high pedestrian activity and/or on-street parking is anticipated and used to prevent soil compaction and to give added interest to the ground plane. Tree grates shall be fabricated of strong, non-rusting steel, capable of supporting maintenance vehicles.
- Newspaper vending machines, if used, shall be grouped in pedestal-mounted racks near activity centers or principal entry points to buildings.

Guidelines

- Benches should be located in areas that receive direct sunlight in winter, and are sheltered from the winds and shaded in summer.
- Benches may be provided at regular intervals along sidewalks.
- Where appropriate, tree guards should be used to give added protection to young trees.
- The use of additional site furnishings, including but not limited to trash receptacles, planters, bollards, clocks, drinking fountains, newspaper racks or corrals and public telephones is encouraged. Where utilized, the design of these elements should complement the design of the adjacent architecture and streetscape.

4.54 Signage

Concept

- Create an organized and interrelated system of quality signs, sign structures, lighting and graphics.
- Create signs and graphic elements that are related to and respect the architecture of the building which they serve.
- Encourage a variety of signs and graphics elements that are compatible with the character of the surrounding district.
- **All sections of The City of Lone Tree Sign Code and Design Guidelines shall be in effect. The City of Lone Tree's sign code will govern with respect to the size, number, and design of signage. Also, the City's code and case-by-case approach will govern and prevail with any conflicts.**
- **Signage should balance the need for auto oriented scale with the pedestrian needs of the district and**

should adhere to an established hierarchy of sizes and types.

- Signage design shall be harmonious with the materials, color, texture, size, scale, shape, height, placement, and shall enhance and extend the spirit of the architectural character of the district. Expressing the establishment's name and function clearly, while also serving as an expression of the high quality of the commercial environment is important. Graphic design shall be imaginative, simple, and clear. Creative and expressive signage solutions using a variety of materials are strongly encouraged as a means of enhancing visitor experience.

Standards

- A sign permit is required from the City of Lone Tree Community Development Department for all new signage and any modifications to existing signage.
- A progression of multiple monument signs creating a hierarchy of project and tenant identity may be permitted.
- A permit is required from the City of Lone Tree Community Development Department for all temporary signage including "for lease" and "for sale" signs, as well as seasonal and event banners.
- Each building project must prepare a comprehensive signage plan defining locations, sizes, and types of information, identity and directional signage.
- Pole-mounted signs are prohibited.
- Strobe, flashing, blinking and portable signs are not allowed.
- Use of neon lighted signs is allowable in certain, limited applications.

Guidelines

- Signs should fit within the architectural features of the façade and complement the building's architecture. Signs should not overlap and conceal architectural elements.
- Monument signage may be provided along Lincoln Avenue for tenants within the ~~Retail-Commercial~~ Mixed-Use District.

4.54.1 Wayfinding Signage Program

The Wayfinding Signage Program in RidgeGate is a comprehensive signage program that directs and informs people with a hierarchy of sign types. The approved comprehensive Wayfinding Signage Program for the west side of the RidgeGate PD is intended to direct and inform the public with regard to neighborhood destinations with a hierarchy of sign types. This Program involves the following types of signs:

Entry monumnet signs:

Existing along Lincoln at Park Meadows Blvd., and at RidgeGate Parkway; future signs at new interchange; would be subject to landscaping enhancements per condition of approval.

Directional Kiosks (Large):

Permanent signs to direct people to destination areas within RidgeGate.

Street Kiosks (Small):

Temporary signs that may be relocated; provide more detailed directional information.

Future Amenity Signs:

Temporary signs to inform people about upcoming amenities and future development.

Builder Identification Signs:

Temporary signs proposed for each home builder's sales area.

Refer to Exhibit 65.8a to 65.8e in the Appendix.

4.65 Lighting

Concept

- Provide a functional, attractive lighting system throughout that features the building and contributes to a high-quality design and a feeling of security for users.
- Utilize lighting that enhances the landscape and architecture while avoiding glare, harsh, direct light, and light pollution.
- All light standards for parking lots, pedestrian lights, or wall-mounted fixtures shall be as follows:

Standards

- Each building project must prepare a comprehensive lighting plan defining levels, locations and types of illumination proposed for the façade. General and feature lighting will be used.
- The maximum height of light fixtures shall be twenty-five feet (25') above the surface it is illuminating.
- Metal halide or other “white” lighting sources are required.
- Fixtures must complement those selected for the overall project streetscapes.
- **Fixtures**

Street Lighting: Street lighting fixtures are specified in the master SIP. The fixture is manufactured by Lumec, Citea CTS model, Natural Aluminum (NP) color, and mounted 30' above grade with a Metal Halide lamp.

Parking Lot Lighting: Parking Lot lighting fixtures are specified in the master SIP. The fixture is manufactured by McGraw-Edison, Cirrus CIM model, Black (BK) color, and mounted 24' above grade with a Metal Halide lamp.

Ornamental Lights at Sidewalks and Pedestrian Plazas: Ornamental lighting fixtures are specified in the master SIP. The fixture is manufactured by Hadco, model R52, Black (B) color, and mounted 14' above grade with a Metal Halide lamp.

Wall Lighting: Wall packs or other exposed bulbs are prohibited.

- All lights, except for security purposes, must be extinguished one hour after end of business and remain off until one hour before commencement of business hours. This stipulation includes all signage lighting.
- Lights mounted on the ground or on poles for the purpose of illuminating the building façade are prohibited, unless approved through the SIP process.
- **Anchors and Shops:** One light for every 60' of curb frontage, average.
- **Pad Buildings:** One light for every 45' of frontage at pad entry façade. (A minimum of two lights shall be provided regardless of length of frontage).
- Accent lighting or the use of decorative lights that are consistent with the architectural character of the center is encouraged.

46.7 Sustainability

Concept:

- The reduction of energy and non-renewable resource consumption is important in Ridgeway. Users within each district are encouraged to implement common sustainability practices in the design, mate-

rial selection, and construction of their projects.

Standards

- Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is encouraged throughout.
- Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is required for all Office Use buildings greater than 50,000 gross square feet in this district.

Guidelines

- Site planning to maximize solar access with building's long axis in a generally east-west orientation.
- Architectural design integrating passive solar, natural ventilation, day-lighting and simple shading is encouraged. Implementation should establish the goal of exceeding the ASHRAE standards by 25 percent or more.
- Use of reusable, natural or recycled building materials and materials produced locally is encouraged.
- Landscape design integrating microclimate modification and the use of drought tolerant/low-water use plantings, where appropriate, is encouraged.
- Interior fixtures and furnishings that support water and energy conservation are encouraged.
- Recycling programs related to construction phase activities and post-construction building operations are encouraged.
- Trash dumpsters designated for recycling are encouraged, and shall be screened by approved trash enclosures.

46.8 Art in Public Places

Concept

- Where appropriate, public art should be provided and integrated with the site design. A community involvement process to conceive or produce such art is encouraged.

Standards

- Locations for public art are designated for each project in their respective SIP

RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

Chapter 5

Residential Design Standards & Guidelines

RidgeGate West Village Residential Standards Sub-Area Plan shall apply to any site consisting of residential uses, regardless of product, within the Residential Commercial Mixed-Use Sub Area, as depicted in Exhibit 67.1a. Specific standards per residential type can be found in either the single-family or multi-family standards sections.

In cases of contradiction to state or local codes, these standards shall be overruled with notification to the RidgeGate Design Review Committee. In no way does conformance with these regulations exempt a structure from compliance with other applicable safety codes. Exceptions may be granted to these standards on the basis of architectural merit.

54.0 Relationship to City Regulations

Where provisions of this Sub Area Plan do not address a particular subject, the relevant provisions of the City of Lone Tree Zoning Code, as amended, or any other applicable ordinances, standards and guidelines, or regulations of the City of Lone Tree shall be applicable.

54.1 Overall Site-Planning Standards

54.1.1 Land Uses

Concept

- A mix of land uses that emphasize integrated and diverse housing choices, strengthen pedestrian character and walkability and implement connection with open spaces.

Standards

- ~~Exhibit 67.1db in the Appendix~~ The RidgeGate PDD defines land uses permitted by right, allowed with special review and disallowed in each of the planning areas appropriate for this sub-area.

54.1.2 Density

Concept

- An energetic living environment that supports mixed-use development.

Standards

- The PDD defines minimum and maximum development yields allowed in these sub-areas. ~~To the extent that this component of the PDD is amended, then this exhibit shall be deemed amended in the same manner.~~
- Areas within a one-quarter-mile radius of business districts, neighborhood parks, employment centers, recreation centers or other activity nodes shall densities appropriate to the area in order to concentrate pedestrian activity and increase vitality of these areas.

54.1.3 Vehicular and Pedestrian Access and Circulation

Concept

- A clear hierarchy and organization of circulation within RidgeGate.
- Public sidewalk and building façade continuity.

Standards

- Public and private roadways must follow the *RidgeGate Roadway Standards and Guidelines*.
- Garages shall be accessed by way of alleys, single or shared driveways, motor courts, or unobtrusive parking structure entrances. Exceptions are a matter of specific variance, subject to official approval.

Rules and Exceptions

- Topography may prohibit driveways at right angles, in which case they may be at acute angles to the public right-of-way, subject to approval of the DRC and the City of Lone Tree.
- ~~The design of driveways in the Hillside Transition District (HTD) shall be subject to approval of the DRC and the City of Lone Tree.~~

54.1.4 Wayfinding Signage Program

The Wayfinding Signage Program in RidgeGate is a comprehensive signage program that directs and informs people with a hierarchy of sign types. The approved comprehensive Wayfinding Signage Program for the west side of the RidgeGate PDD is intended to direct and inform the public with regard to neighborhood destinations with a hierarchy of sign types. This Program involves the following types of signs:

Entry monument signs

Existing along Lincoln at Park Meadows Blvd, and at RidgeGate Parkway; future signs at new interchange; would be subject to landscaping enhancements per condition of approval.

Directional Kiosks (Large)

Permanent signs to direct people to destination areas within RidgeGate.

Street Kiosks (Small)

Temporary signs that may be relocated; provide more detailed directional information.

Future Amenity Signs

Temporary signs to inform people about upcoming amenities and future development.

Builder Identification Signs

Temporary signs proposed for each home builder's sales area.

Refer to Exhibits 67.87a to 67.87e in the Appendix.

54.1.5 Building Location

Concept

- Buildings that reinforce and create a strong edge for public spaces and rights-of-way.
- Structures greater than three stories provide a step back of the upper floors above the third floor to provide visual relief from the building mass on the adjacent street and uses.
- Encourage solar exposure of public areas.

Standards

- Building locations shall reinforce the street corridor and concentrate pedestrian activity.
- Buildings shall be sited to provide a defined edge for recreation areas, neighborhood parks, schools, commercial areas or other neighborhood activity centers.

- Buildings must be sited to minimize the impact to natural landscape, including significant landforms, drainage corridors or vegetation patterns.
- All floors above the third floor of any building adjacent to RidgeGate Parkway or Commons Street, and within twenty (20') feet of the property line, shall be set back a minimum of four (4') feet from the primary building wall plane of the first through third floors of the structure.

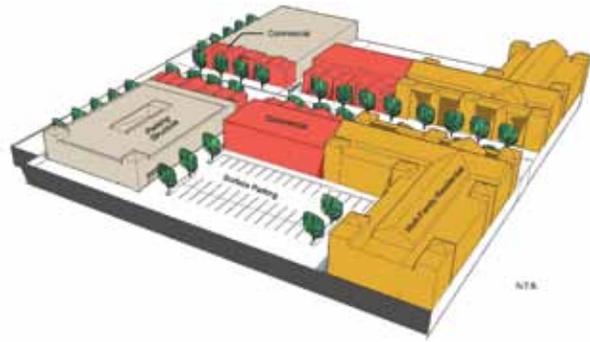


Figure 2: Mixed-Use Massing

54.1.6 Grading

Concept

- Utilization, to the extent practical and economically feasible, of the natural variation in topography inherent in the site.
- Minimization of the visual impact of large retaining walls to any public street.

Standards

- Proposed grading shall vary so that it blends naturally with existing topography especially where proposed and existing grades meet.
- The minimum distance between the face of a retaining wall and a building foundation shall be 5 feet.

54.1.7 Parking, Parking Lots and Parking Structures

Concept

- Minimization of the impact of parking and parked cars upon development character.
- Adequate parking for residents and guests in a site-sensitive manner.

Standards (General)

- Parking lots shall not dominate the street or open-space frontage on pedestrian-oriented streets.
- Parking structure entrances shall be located on build-to lines for direct sidewalk access.
- Parking edges must be defined and enhanced with low walls or berming and landscaping.
- Parking lots should be segmented into smaller areas appropriate to the project.
- Landscaped parking islands shall be provided to filter and reduce stormwater runoff in parking areas.
- ~~Parking structures shall not be permitted in a single-family residential subdivision.~~
- Parking structures shall be compatible with related buildings in massing, scale and materials (Figure 2).
- Phased development projects are required to provide parking studies that demonstrate appropriate parking levels over time.
- Snow storage must be accommodated and located in sunny areas that do not conflict with pedestrian plazas, walkways and building entrances. Snow storage and disposal areas should be located in an area where snowmelt can infiltrate into the ground, filter through a vegetated buffer or be directed to stormwater BMPs for treatment. Snow shall not be plowed directly into streams or wetlands. Parking spaces may not be used for snow storage, except in cases where the parking spaces provided exceed the required minimum.
- The Director of the Community Development Department may recommend an increase or decrease in the minimum parking standards based upon documented comparisons, information from similar

jurisdictions, evidence from qualified professionals, or in consideration of unusual site-design factors. Parking variances are subject to approval by the City Council.

Standards (Single-family detached¹)

- Minimum off-street parking requirements of two spaces per single-family detached residence shall be provided in either the garage or private parking lot.

Standards (Single-family attached²)

- Parking structure entrances shall be located on build-to lines for direct sidewalk access.
- Parking structures shall be compatible with related buildings in massing, scale and materials (Figure 2).
- Minimum off-street parking requirements of two spaces per single-family attached residence shall be provided in either the garage or private parking lot.
- A minimum of .25 parking spaces per unit shall be required for guest parking. A minimum of twenty-five percent (25%) of required guest parking must be satisfied on-site in parking lots or garages.
- The number of off-street parking spaces for single-family attached located within one-quarter (1/4) mile of a light rail transit station may be reduced up to twenty percent (20%) with the approval of the Director.

Standards (Multi-family³)

- The following minimum parking standards shall apply:
 - ◊ 1 parking space per one-bedroom unit;
 - ◊ 1.5 parking spaces per one-bedroom plus den/flex space;
 - ◊ 2 spaces per two and three-bedroom units.
- The minimum amount of required residential parking must be satisfied on-site in parking lots or garages.
- A minimum of .25 parking spaces per unit shall be required for guest parking.
- Twenty-five percent (25%) of required guest parking must be satisfied on-site in parking lots or garages.
- Parking structure entrances shall be located on build-to lines for direct sidewalk access.
- Parking structures shall be compatible with related buildings in massing, scale and materials (Figure 2).
- The number of on-site parking spaces for multi-family located within one-quarter (1/4) mile of a light rail transit station may be reduced up to twenty percent (20%) with the approval of the Director.

54.1.8 Phased Development and Interim Treatment

Concept

- Minimization of long-term undeveloped portions of individual sites.

Standards

- The applicant must prepare a site plan showing long-term build-out of the total site development, including building areas, roads, parking, public spaces, employment totals, grading construction facilities, landscape, etc.

1 For the purpose of parking, single-family detached shall mean a building type where a dwelling unit is constructed as a stand-alone building and is served by a private, enclosed garage or parking area.

2 For the purpose of parking, single-family attached shall mean a building type where two or more units are constructed as a single building and are served by private, enclosed garages and/or parking lots.

3 For the purpose of parking, multi-family shall mean a building or buildings where multiple units share, or are assigned, parking spaces in a common area.

- Undeveloped portions of a site must be properly graded, seeded and maintained in the interim.

~~54.1.9 Planning Area #11~~

~~The following standards shall apply to development within the area designated in the *RidgeGate Planned Development District* document as R/MU Planning Area #11. Refer to Exhibits 67.1b in the Appendix:~~

~~Standards~~

- ~~• The detailed site plan for R/MU Planning Area #11 will provide for the reconfiguration of the southern portion of that parcel, surrounded by the bluffs, to allow for its shifting to the northern half of the valley area, thereby preserving the middle and southern area. It is recognized that such shifting may entail development on slopes exceeding 20 percent in this particular parcel (irrespective of previous references indicating that slopes greater than 20 percent would be in open space); in which case appropriate mitigation measures for development shall be employed. The site plan for this parcel will be prepared in consultation with the Division of Wildlife. Additional requirements in this area may involve the maintenance of natural vegetation and restricted landscaping through building envelopes and the consideration of a regional trail through the area. The site plan will consider alternative residential development design, including reduced street width, common open space areas, and a mix of housing types. The design shall also incorporate common building materials and a palette of building colors for homes in this area. Low-profile and stair-stepped buildings will be considered in the areas that are located along the toes of the bluffs, in order to conform to the topography.~~
- ~~• Planning Area #11 boundaries may be reconfigured or reduced to preserve tree and brush vegetation, wildlife areas, and significant views to the south from Planning Area #11 and views to the west from Interstate 25.~~
- ~~• All development proposed within Planning Area #11 is subject to review by the City of Lone Tree Planning Commission and approval by the City Council prior to or concurrent with platting. Plats in these areas may include designation of building envelopes. Submittal requirements may include (but are not limited to) proposed building massing (which may involve height limitations and/or low-profile and stair-stepped buildings); architectural elevations; materials; colors; landscaping; fencing; and lighting. Other information necessary to determine the overall design, character and quality of the project for consistency with the Sub-Area Plan, the City of Lone Tree Design Guidelines, and the overall goal of providing a natural transition to the bluffs may be required.~~
- ~~• In addition to all development in Planning Area #11, residential development located adjacent to the southern open space planning areas along the toe of the bluffs is subject to the above City review and approval process. This shall apply to development located within 250 feet from the open space, or the average depth of the lot, whichever is greater.~~
 - ~~• A Wildfire Hazard Assessment, consistent with Douglas County's Wildfire Mitigation Standards, will be required to be submitted to the Lone Tree Community Development Department at the time of subdivision of any plat for Planning Area #11. Suggested mitigation measures may be required as a condition of subdivision approval. On-going maintenance measures to minimize the potential for wildfire may be required to be incorporated in the Covenants, Conditions and Restrictions (CC & Rs) for Planning Area #11.~~

54.2 Single Family Attached and Multi-Family Architectural Standards

54.2.1 Architectural Style

Concept

- Architectural styles that are complementary and consistent with each other and the landscape. It is important to note that complementary and consistent does not mean identical and monotonous. While architectural styles should not compete, they must nonetheless express variety.

Standards

- Within a project, architectural styles shall be composed of complementary components, such as materials, colors, architectural detailing and massing to achieve an integration of architectural styles throughout.
- Façades shall be articulated with architectural elements such as building breaks, roof overhangs, offset wall planes, window boxes, and cantilevers.
- Each development must provide complete street elevations that illustrate building façades, architectural variety and appropriate landscape, which must be approved by the DRC and the City of Lone Tree, as applicable per City regulations.
- All residential units fronting streets shall have a front porch or stoop that compliments the proportion and architectural character of the residential unit. In addition, the porch shall be large enough for sitting by the homeowner and it should provide adequate visual transition along the façade or at corner lot locations.

54.2.2 Building Height

Concept

- Character and visual interest to the roof line of buildings.

Standards

- Building heights within the district shall conform to those set forth in the *RidgeGate Planned Development District* document. Parts of this district fall within the View Preservation Overlay and shall conform to those standards for maximum height (see Exhibit 67.1eb in the Appendix).

54.2.3 Roofs and Mechanical Equipment

Concept

- Articulated, varied roof forms that create interest between structures and along street faces.
- Reduced views of rooftop equipment from adjacent buildings and streets.

Standards

- Primary roofs of single-family structures shall have symmetrically sloped roofs. Roofs shall maintain a minimum 3:12 and maximum 12:12 ratio rise to run.
- Roofs must have vertical and horizontal articulation. Roof articulation may be achieved by changes in plane through traditional roof forms such as gables, hips, and dormers. Parapet roofs must be articulated to avoid a continuous form.
- Multi-family building roofs shall have a characteristically residential feel by including sloped, hipped, dormer or gabled elements.
- Roof materials should be limited to ceramic, slate, concrete tile, laminated multiple-ply composition shingles, metal seam or other materials as approved by the DRC and the City. Wood shake roofs are prohibited.
- Laminated or multiple-ply composition shingles shall be covered by a minimum 30-year manufacturer's warranty. Laminated or multiple-ply composition shingles shall have a multi-dimensional appearance with a resemblance to weathered wood shake or shingles.
- Metal seam roofs must be copper or architecturally ornamental aluminum and have integral color that is compatible with the façade.

- Rooftop mechanical systems shall be screened with architectural enclosures.
- Mechanical, electrical and telecommunications systems shall be screened from surrounding streets and structures, regardless of location.
- Colors should reflect or complement the surrounding natural environment. Roof color shall be in warm natural tones. Roof color shall not be black or white. Materials shall not be used that will weather white or bright. Roofs shall not be reflective.

54.2.4 Façade Materials

Concept

- Reinforcement of the architectural traditions of urban Denver neighborhoods like those found in Park Hill, Congress Park, Washington Park and Country Club.
- Human-scaled architectural detailing and articulation.
- Use of materials appropriate to urban and traditional neighborhood environments.

Standards

- Façades shall be constructed of the following materials:
 - Masonry, including stone, brick, architectural pre-cast concrete, cast stone and pre-fabricated brick panels. Split-block masonry may be used as a foundation material to a height of 24 inches.
 - Hardi-plank siding.
 - Brick color shall be complementary to the architectural style and have minimal variation in color.
 - Cement stucco with a smooth sand or a consistent pebbled finish.
 - Architectural metals, including metal panel systems, copper or metal sheets with expressed seams, metal framing systems, or cut, stamped or cast, ornamental metal panels shall be limited to ornament and trim.
 - Glass.
 - If approved in writing, areas may be finished with wood siding. Any such wood siding must be of a treatment, quality, and appearance approved by the DRC and the City of Lone Tree.

54.2.5 Windows and Doors

Concept

- Windows at the lower levels of building façades to create a lively streetscape.
- Location and patterns of glazing to enhance building function, form and scale. Variations in fenestration patterns should be used to emphasize building features such as entries.

Standards

- Windows and doors shall be consistent with the scale, spacing, and proportions of buildings of the same architectural style within the development.
- Primary entrances into buildings shall be identified through elements and detailing and should orient to streets, plazas, public drop-off areas or public spaces, not to interior blocks or parking lots.
- Doorways shall be of high quality, express quality workmanship and relate to the architectural style of the building.
- Exterior window frame color shall be compatible with the exterior building color.
- Window frames other than wood shall be anodized, electrostatically painted or vinyl-coated. Wood frames shall be aluminum-clad, painted, sealed or stained.
- Transparent glass should possess a minimum 60 percent light transmittance factor. Reflective and mirrored glass with a visible reflectivity greater than 10 percent is prohibited. Where reflective glass is used, such glass shall be gray or a similar neutral shade. The use of silver, gold, blue, green, or highly-mirrored glass is prohibited.

54.2.6 Building Colors

Concept

- Building colors that work together to create a unified whole; i.e., the roof color, trim and siding colors, as well as any accent complementing brick or stone so that no accent dominates the exterior.

Standards

- A color palette shall delineate color ranges and combinations to reflect or complement colors in the development's surrounding natural environment. Brighter colors may be permitted within a subdivision or project when approved by the DRC and the City as part of an entire color package.

54.2.7 Neighborhood Signage

Concept

- An organized and interrelated system of high-quality signs, sign structures, lighting and graphics appropriate to an urban setting.
- Signs and graphic elements that are related to and/or respect the architecture that they serve.
- A variety of signs and graphic elements compatible and able to enhance the street and district.

Standards

- Each project must prepare a comprehensive signage plan that defines locations, sizes and types of information, identity and directional signage. Signage plans shall be subject to review and approval by the DRC and the City of Lone Tree.
- Mixed-use buildings shall accommodate changeable tenant signage, including wall signs, projecting signs and window signs.
- Orientation of illuminated signs or light sources shall be directed to avoid spill or glare into residential areas.
- Rooftop signs are prohibited.
- Pole-mounted signs are prohibited.
- Strobe, flashing, and blinking signs are prohibited.
- Signs shall fit the façade and complement the development.
- Signs shall not overlap architectural elements.

54.3 Landscape Standards

54.3.1 Landscape Character

Concept

- Distinct landscape character that creates identity, adds value and is water-efficient.

Standards

- Individual lot development must incorporate outdoor public spaces that relate to street or open-space edges.
- Development edges adjacent to open space must extend that character into the development site.
- Landscaping for the front yard of each house and the side yards on corner lots must be installed upon completion of the development or TCO/CO, or within 60 days of the time that planting becomes seasonably viable.
- Development of a project greater than 5 acres must include a contribution to a public art fund to be implemented by RidgeGate and the City of Lone Tree.
- Individual lot development that incorporates the underground Xcel Gas Easement will be required to file an Encroachment Application with Xcel Energy. Landscaping within this 50-foot-wide area

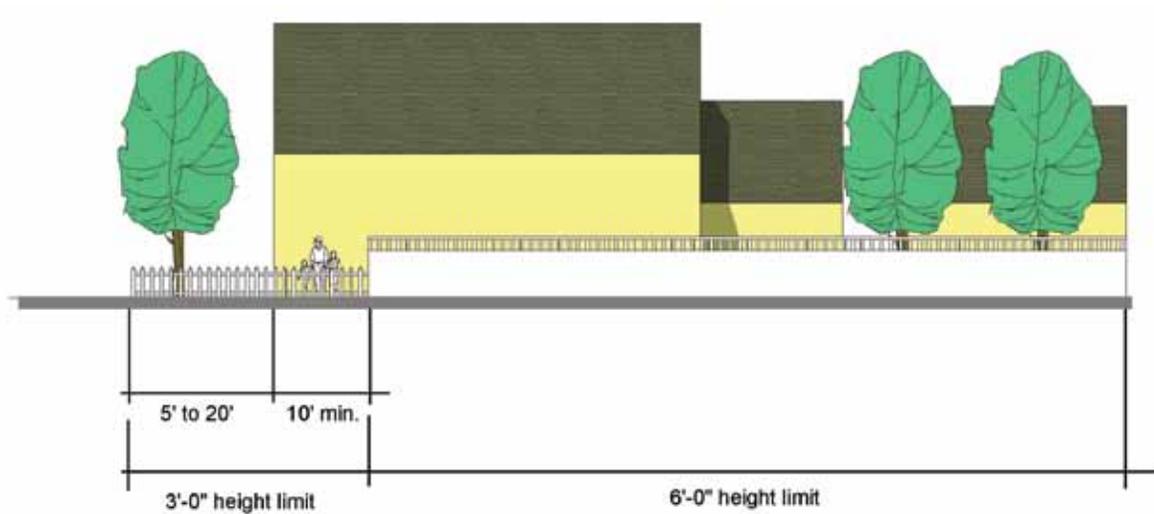


Figure 3: Front- and Rear-Yard Fences

shall comply with the requirements of Xcel Energy.

54.3.2 Planting and Groundcover

Concept

- Minimize the environmental impact of plantings and maintain their high quality and aesthetic character while minimizing maintenance costs.

Standards

- The approved plant palette list can be referenced in the *RidgeGate Roadway Standards and Guidelines*. Other plant species may be acceptable, subject to DRC and City of Lone Tree review and approval.
- Native plant species, grasses, wildflowers and plants chosen for their xeriscape qualities shall be planted in open-space areas and/or private lots adjacent to open space to provide natural character and/or transition to the landscape of these areas.
- Land areas not covered by buildings or paved areas shall be planted with trees, shrubs, or ground cover.
- Soils shall be tested for horticultural suitability and amended as necessary to create an environment conducive to plant health and vigor.
- Use of ~~gravel, rock, crushed or decomposed granite or other such material~~, or wood chip or other similar mulches or groundcovers must be limited to areas below shrub masses or trees, **perennial and annual beds**, mow strips or areas where planting is not feasible. **Gravel, rock or decomposed granite are only permitted as mulch in high-wind, steep slope, or hard to maintain areas.**
- All landscaping must be completed by time of occupancy, or if seasonal conditions preclude, within 60 days from the time planting operations can reasonably resume.
- Minimum plant sizes are as follows:
 - Deciduous shade trees - 2.5" to 3" caliper
 - Deciduous ornamental trees - 1.5" to 2.5" caliper
 - Coniferous evergreen trees - 8' to 10' tall
 - Shrubs - #5 container
 - Groundcover - 4-inch pot
 - Native grass - Seed

- Turf - Sod

54.3.3 Irrigation

Concept

- Conservation of water resources
- Irrigation design that promotes plant growth

Standards

- Landscaped areas must utilize drip or other low-volume application systems controlled by ~~auto-~~~~computerized clocks~~ smart controllers, which will be linked to rain and moisture sensors. One rain sensor per lot is required at a minimum.
- Plants with similar water requirements shall be planted together.
- Spray heads must avoid over-spray to non-pervious areas including sidewalks and roadways.
- For further information, see the *Irrigation Master Plan* and City of Lone Tree Zoning Code.

54.3.4 Fences and Walls

Concept

- Fences and walls that enhance the streetscape and open space.

Standards

- Wall and fence color, material and design shall be consistent with building architecture or blend with the landscape design or natural setting.
- Permanent chain-link fences are prohibited.
- Fences and walls shall have a decorative top or cap. The fence line shall be punctuated by appropriate pilasters, pillars, columns or other elements, as approved by the DRC and the City of Lone Tree.
- Rear or side fencing or other areas that are highly visible to the public may necessitate higher standards for design and materials.
- Retaining walls shall create attractive terraces, avoid excessive slopes and limit stormwater disturbance.
- Landscape material shall be provided in front of and/or behind fences and walls for screening.
- Front yard fences shall be decorative and shall be 3 feet or less in height. Front yard fences are allowed in combination with a retaining wall only if the total height from the sidewalk is 3 feet or less.
- Rear yard fences shall have a maximum height of 6 feet and must be set back 10 feet from the building's rear façade (Figure 3).
- Fencing will be installed by the builder and maintained by the Metro District or the applicable homeowners' association (HOA).
- Properties abutting open space shall have visually open fencing.
- All fencing must be approved by the DRC and the City of Lone Tree.

54.3.5 Site Furniture

Concept

- Site furnishings and special features, such as fountains and plazas, that are consistent and complementary in design and quality to buildings and landscape.

Standards

- Site furnishings that complement the streetscape, buildings and landscapes and follow standards set forth in the *RidgeGate Roadway Standards and Guidelines*.

54.3.6 Lighting

Concept

- Luminescence that minimizes light pollution, enhances the landscape and architecture, provides security, and avoids glare and harsh, direct light.
- Energy-efficient lighting standards are highly encouraged.

Standards

- Decorative lighting fixtures shall complement the architectural style of buildings and streets.
- Metal halide or other “white” lighting sources shall be used.
- Landscaping lighting may be cool spectrum, but shall not project more than two candle-feet.
- For single-family residential areas, the maximum height of pedestrian street light fixtures shall be 15 feet.
- Each building project must prepare a comprehensive lighting plan, including specifications, that defines levels, locations and types of illumination proposed for the following:
 - Road and parking areas.
 - Pedestrian areas.
 - Special features/accents on buildings.
- Lights along roadways shall follow standards in the *RidgeGate Roadway Standards and Guidelines*.

54.3.7 Mailboxes

Concept

- Gather mailboxes in one or a few central locations within the neighborhood so they become a place where residents can gather and socialize.

Standards

- Mailboxes should be grouped together wherever possible, and comply with the requirements of the United States Postal Service. Mailboxes may be located in one or a few community buildings that serve multiple neighborhoods.
- Site furnishings, such as benches, trash receptacles, signage, drinking fountains, shade structures, or bicycle racks may be located near mail collection areas to promote community gathering areas.

54.4 Energy Conservation and Sustainability Standards

Concept

- The reduction of water, energy and other non-renewable resource consumption.

Standards

- Each builder shall conform to the energy code in use by the City of Lone Tree, as amended, for sustainable design.

5.56.4 Site Planning: Multi-Family Residential

5.7.16.1.1 Building Location

Concept

- Multi-family housing, because of its potentially larger scale and proportions should be carefully designed to minimize impact to surrounding uses and/or properties.

Standards

- Distance of building setbacks shall be proportional to the structure height, as determined by the DRC and the City of Lone Tree on a case-by-case basis.

5.5.26.1.2 Service Areas

Concept

- Reduce the visual and functional impact of service areas on public roadways and spaces within RidgeGate.

Standards

- Service and delivery activities shall be separated from primary public access and screened from public view by means such as:
 - Locating underground
 - Locating internal to structures
 - Providing masonry walls, fences and/or landscaping of sufficient height and density

5.66.2 Architecture: Multi-Family

5.6.16.2.1 Massing and Scale

Concept

- Provide an organized variety of building massing, architectural form and detail with human-scaled building components at ground level.

Standards

- Changes of materials, color, texture, must be based on a variation of wall plane.
- Design elements (recessed windows, exposed columns, reveals, entry recesses, etc.) shall create interesting visual patterns and rhythms.
- Building articulation (a change of massing in plan or elevation in the vertical plane) should happen at corners of the block, as designated by public streets and at the building entrance.
- Each façade oriented to a public street or open space shall incorporate scaling patterns that include three or more of the following:
 - Expressions of building structural elements such as floors (banding, belt courses, etc.), columns (pilasters, piers, quoins, etc.), and foundations (water tables, rustication)
 - Patterns of window and door openings that are emphasized through change of plane, and/or the use of sills, lintels, mullions, muntins, and other scale providing elements
 - Changes in material
 - Changes in color
 - Changes in texture
 - Changes in material module or pattern
- Architectural scaling patterns shall occur both horizontally and vertically.
- The *RidgeGate PDD* identifies view corridors and heights limitations that must be preserved.
- Required scaling elements shall be integral with the building form and construction, not a thinly applied façade.

5.6.26.2.2 Awnings and Balconies

Concept

- Awnings and balconies add dimension and interest to the streetscape.
- Awnings help energy efficiency, protect pedestrians from the elements and provide a space for signage.
- Balconies add habitable outdoor space for multi-family units.

Standards

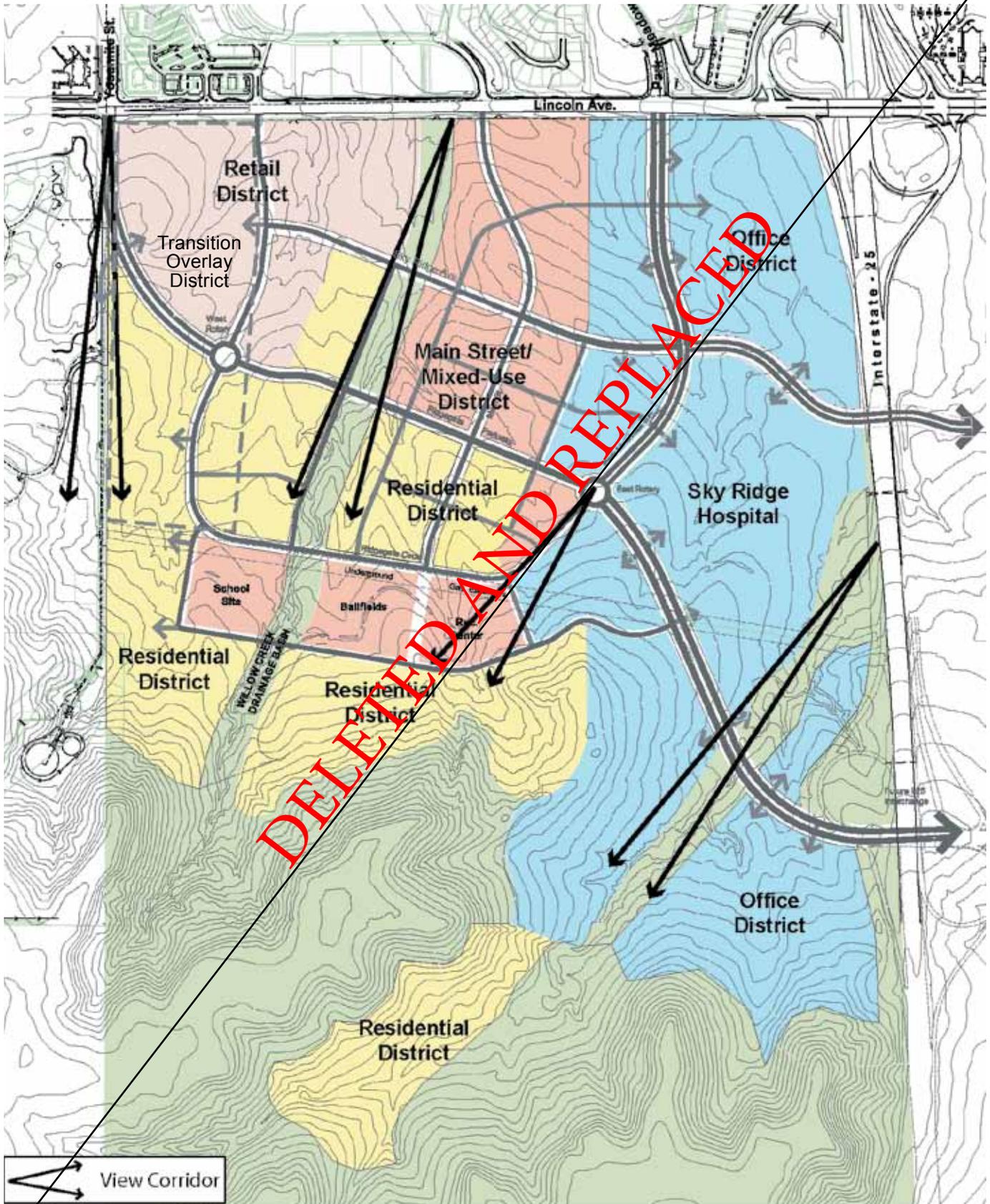


- Awnings may encroach on the sidewalk, but shall not interfere with the growth of street trees or public right-of-way.

RidgeGate Lincoln Commons ~~Retail District West~~ Commercial Mixed-Use Sub-Area Plan

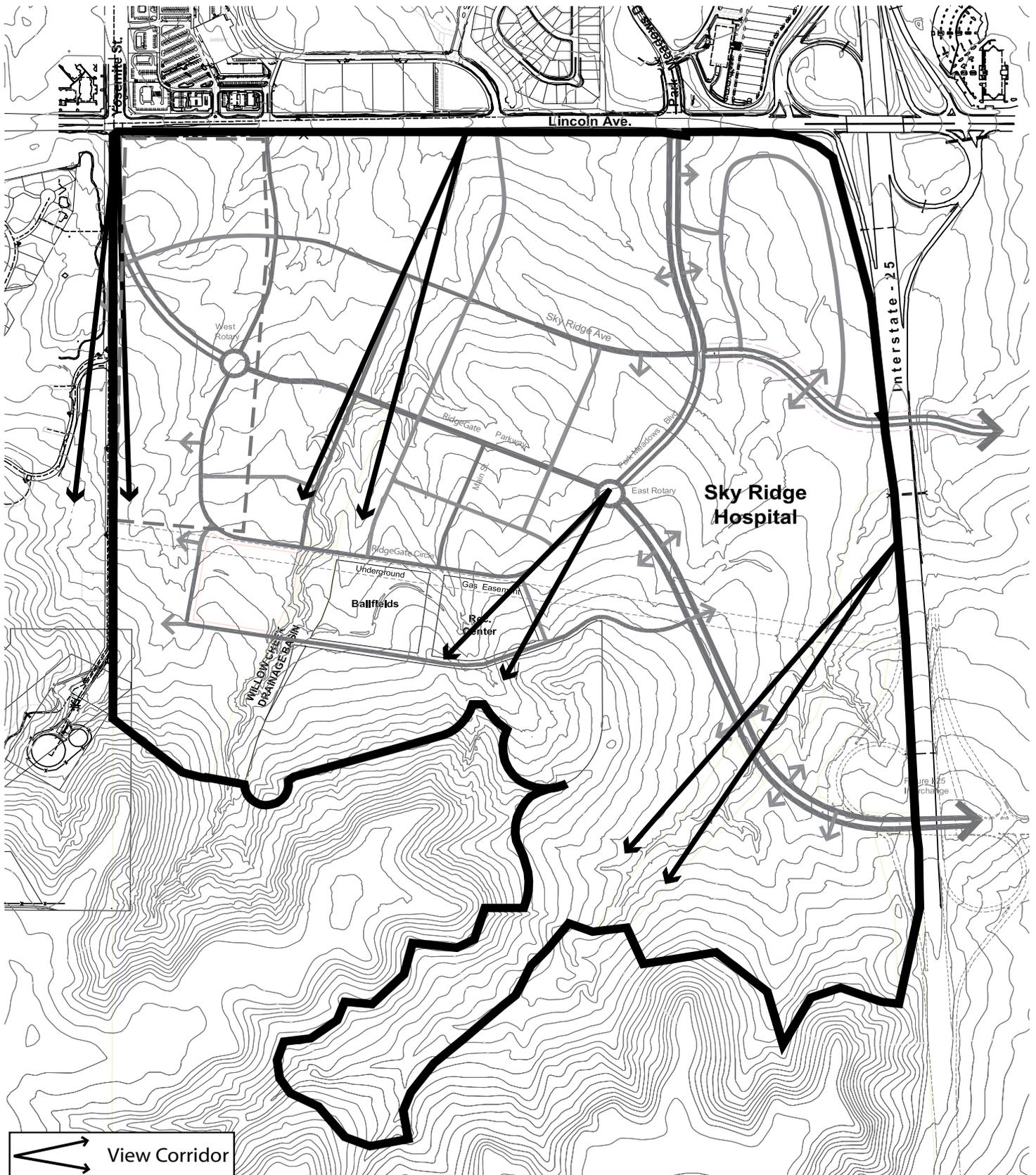
Chapter 56
Appendix

Exhibit 65.1a Section 15 Sub-Area Districts



Note: The Sub-Area District boundaries are conceptual and may be refined by subsequent Sub-Area Plans.

Exhibit 67.1a Section 15 RidgeGate West Village Sub-Area Boundary



Note: The Sub-Area District boundaries are conceptual and may be refined by subsequent Sub-Area Plans.

Exhibit 65.1b PDD Zoning Plan

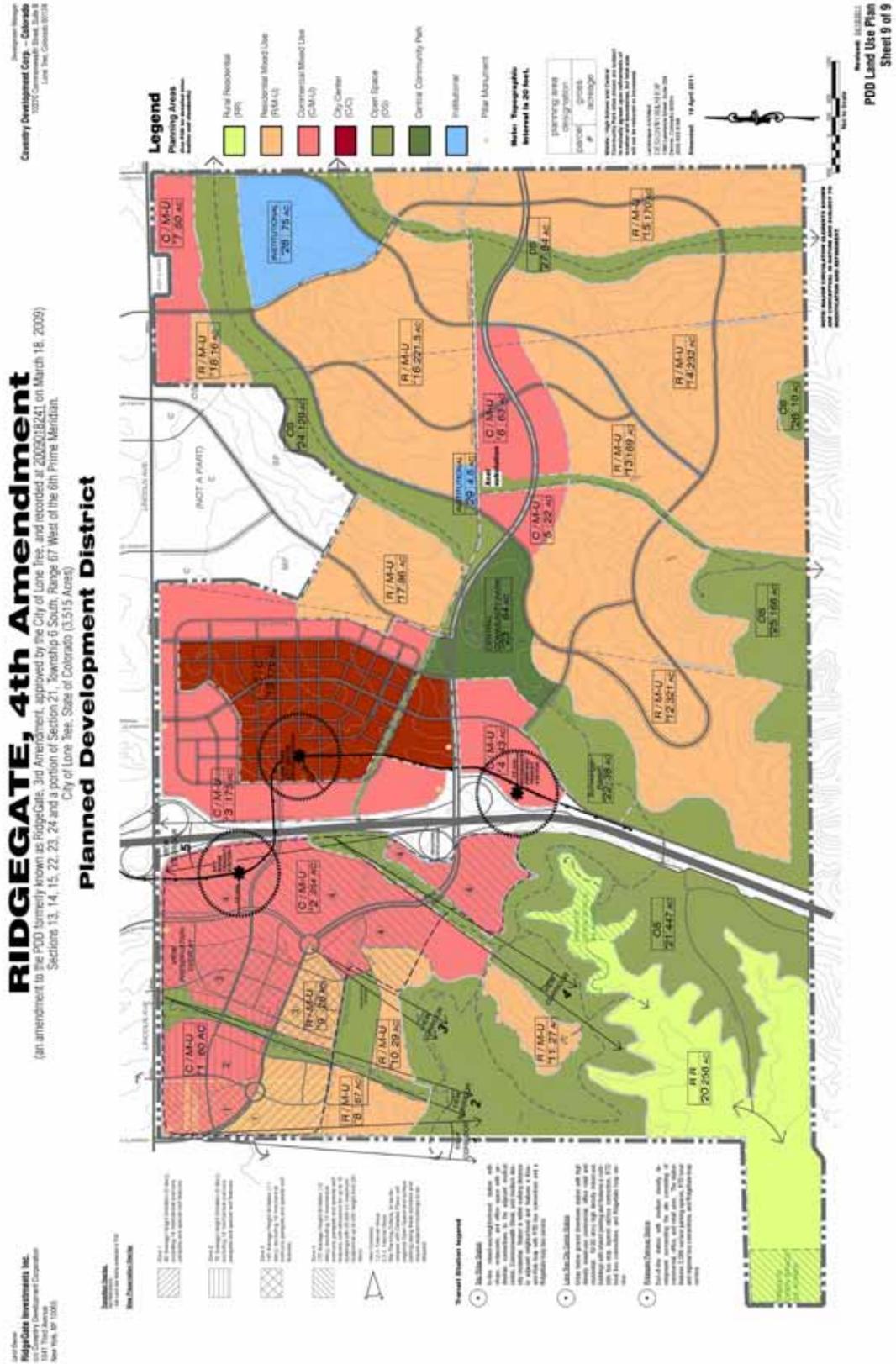
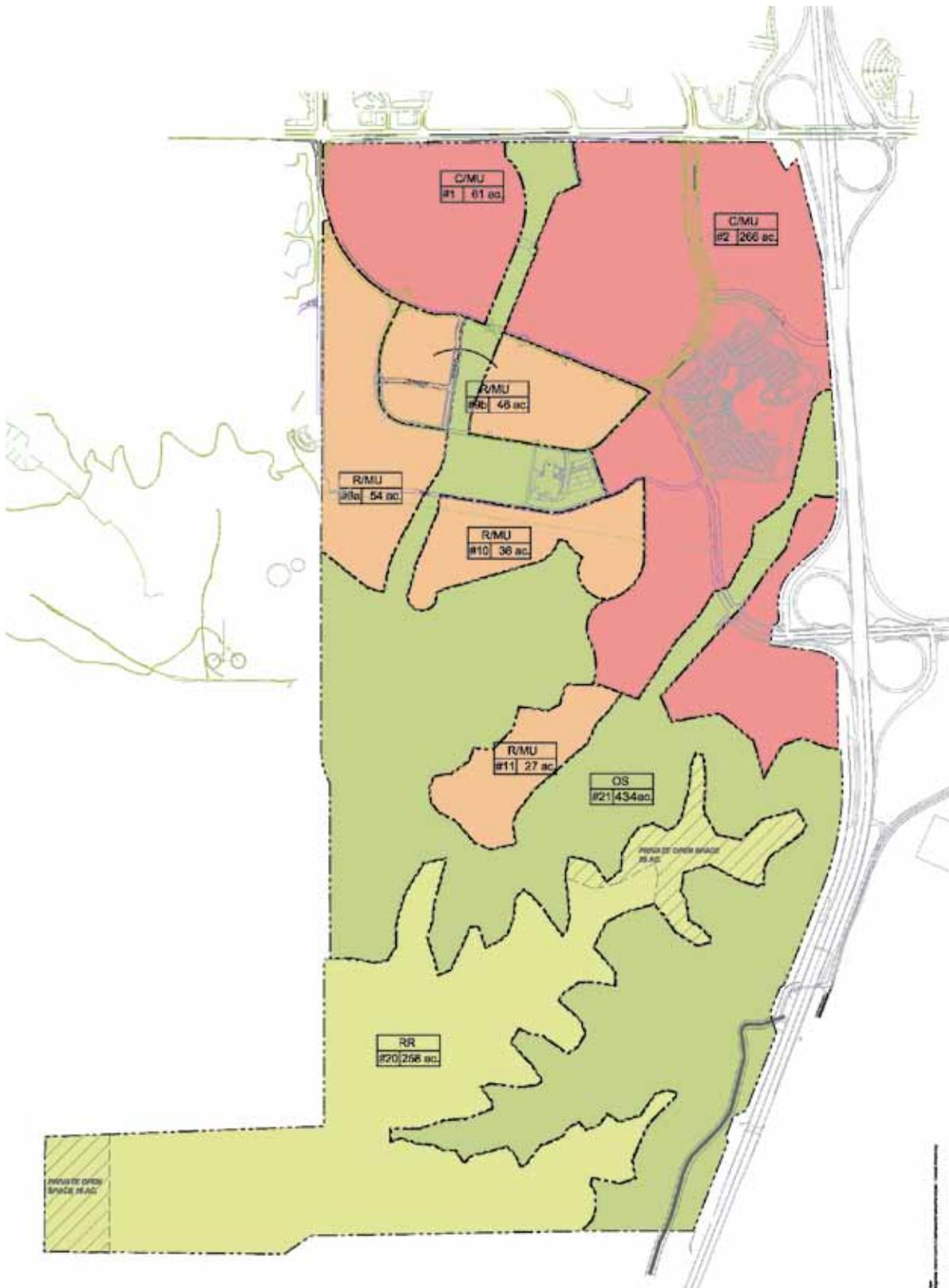


Exhibit 65.1b.1 Planning Area Boundary Map [Revised 11/18/2003]



Note: Exhibits 5.1b.1 and 5.1e represent updated Planning Area boundaries of the RidgeGate PDD Zoning, and corresponding changes to the PDD Land Use Summary, respectively, as refined through the Sub-Area Plan.

Exhibit 65.1c Permitted Land Uses

MATRIX OF PLANNING AREAS AND USES

Use Legend
 Blank = Prohibited
 A = Permitted
 SR = Special Review

Planning Area Legend
 OS = Open Space and Public and Private Parks
 R-MU = Residential Mixed Use
 C-MU = Commercial Mixed Use
 CC = City Center
 RR = Rural Residential

USE	OS	R-MU	C-MU	CC	RR
(a) Residential Uses					
1. Artist Studio;		A	A	A	SR
2. Abbey, Convent, Monastery, Priory, or other similar residence for clergy;		A	A	A	
3. Fraternity or Sorority House ² ;		SR	A	A	
4. Home Occupation;		A	A	A	A
5. Multifamily Dwelling ¹ ;		A	A	A	
6. Retirement Home;		A	A	A	A
7. Rooming and/or Boarding House;		A	A	A	
8. Single Family Attached Dwelling;		A	A	A	A
9. Single Family Detached Dwelling		A	A	SR	A
(b) Civic Uses					
1. Ambulance Service ² ;				A	
2. Church or Religious Institution - Community Scale;		A	A	A	
3. Church or Religious Institution - Neighborhood Scale;		A	A	A	
4. Club or Lodge;		A	A	A	A
5. Community Center;	SR	A	A	A	SR
6. Day Center/Preschool or Day-Care Home;		A	A	A	
7. Fire Station ² ;		SR	A	A	
8. Gallery;		A	A	A	
9. Golf Course, not including Miniature Golf Courses;	SR	A	A		
10. Library;		A	A	A	
11. Major Impact Utility/Public Works Facility ²	SR	SR	SR	SR	SR
12. Miniature Golf Courses		A	A	A	
13. Minor Impact Utility;	SR	A	A	A	SR
14. Museum;	SR	SR	A	A	
15. Office for Park Purposes;	A	A	A	A	A
16. Parks and Open Space;	A	A	A	A	A
17. Police Station;		A	A	A	
18. Postal Facility, Contract and Finance;		A	A	A	
19. Postal Facility, Neighborhood;	SR	A	A	A	
20. Postal Processing Center;		A	A	A	
21. School, Boarding;		SR	A	A	
22. School, Elementary or Secondary;		A	A	A	
23. University or College ² ;		SR	A	A	
(c) Commercial Uses					
1. Agriculture, Limited	A		A	A	A
2. Airline Reservation Center;		A	A	A	
3. Animal Care or Boarding ¹	SR	SR	A	A	SR
4. Animal Sales or Service;		SR	A	A	
5. Automobile Gasoline Filling Station;		SR	A	A	
6. Automobile Laundry or Polishing Shop ² ;			A	A	
7. Automobile, Motorcycle or Light Truck Sales, Leasing or Rental ² ;			SR		
8. Automobile Repair Garage;		SR	A		
9. Banking and Financial Services;		A	A	A	
10. Bed and Breakfast		A	A	A	SR
11. Building Contractors, General;		A	A	A	
12. Building Maintenance Service;		A	A	A	
13. Building Materials and Supplies, Sales or Rental;			A	A	
14. Business Equipment Sales or Service		A	A	A	
15. Business Support or Printing Service		A	A	A	
16. Clinic or Office, Dental or Medical;		A	A	A	
		(Less than 5,000 square feet individually and no more than 10,000 square feet in aggregation)			

USE	OS	R-MU	C-MU	CC	RR
17. Commercial Food Preparation and Sales;		A	A	A	
18. Consumer Retail, Large Scale ¹ ;		SR	A	A	
19. Consumer Retail, Medium Scale;		A	A	A	
20. Consumer Retail, Small Scale;		A	A	A	
21. Consumer Service, Large Scale ¹ ;		A	A	A	
22. Consumer Service, Medium Scale;		A	A	A	
23. Consumer Service, Small Scale;		A	A	A	
24. Eating Place	SR	A	A	A	
25. Food Sales or Market, Small;		A	A	A	
26. Food Sales or Market, Large;		SR	A	A	
27. Garden Supply Store;		A	A	A	
28. Hospital ^{2,3} ;			A	A	
29. Hotel ¹ ;			A	A	
30. Husbandry ² ;	SR				
31. Laundry or Dry Cleaning, Commercial ¹ ;		A	A	A	
32. Liquor Store;		A	A	A	
33. Mortuary ¹ ;		A	A	A	
34. Nursery, Plant;	SR	A	A	A	
35. Office: Non-Dental or Non-Medical;		A	A	A	
		(Less than 5,000 square feet individually and no more than 10,000 square feet in aggregate)			
36. Parking Off Street, not;	SR		A	A	
37. Recreation Facilities, Indoor;	SR	A	A	A	SR
38. Recreation Facilities, Outdoor;	A	A	A	A	SR
39. Recycling, Allegian Station;		SR	A	A	
40. Repair Service, Consumer ¹ ;		A	A	A	
41. School, Vocational;		SR	A	A	
42. School, Vocational, Large;			A	A	
43. School, Vocational, Small;		A	A	A	
44. Sexually Oriented Business ² ;					
45. Storage Services ¹ ;		SR	A		
46. Terminal, Public Transportation, Inter-city;			A	A	
47. Terminal, Public Transportation, Local ¹ ;		A	A	A	
48. Theater, Indoor ¹ ;		SR	A	A	
49. Theater, Studio;		SR	A	A	
50. Trailer or Recreational Vehicle			SR		
51. Utility Service or Telecommunications Facility ¹ ;		A	A	A	
52. Wholesale Sales ¹ ;			A	A	
(d) Industrial Uses					
1. Air Courier Service ² ;			A	A	
2. Aircraft Maintenance and Repair Facility ² ;					
3. Asphalt and Concrete Plant and Contractors ² ;					
4. Automobile Parts Recycling ² ;					
5. Building Contractors, Heavy ² ;					
6. Commercial Services ² ;					
7. Concrete, Asphalt, and Rock Crushing Facility ² ;					
8. Manufacturing, Fabrication, and Assembly, Custom ² ;			SR		
9. Manufacturing, Fabrication, and Assembly, General ² ;			SR		
10. Manufacturing, Fabrication, and Assembly, Light ² ;			A		
11. Recycling Plant ² ;					
12. Recycling Center ²			SR		
13. Research, Development or Technological Service ² ;			A	A	
14. Terminal, Freight ² ;					SR
15. Truck or Equipment Sales, Leasing or Rental ² ;					SR
16. Warehousing ² ;			A		
17. Wholesale Trade, Light ² ; and			A		SR
18. Wholesale Trade, General ² ;					SR

Note: Building setbacks will be established through subsequent Sub-Area Plans and Design Guidelines or established on a case by case basis at the time of final platting and will be consistent with their associated land use.

Use definitions are per Lone Tree Zoning Ordinance or as defined through subsequent Sub-Area Plans.

- A maximum of 30% of each R-MU Planning Area can be developed with non-residential uses
- A maximum of 40% of each C-MU Planning Area can be developed with residential uses
- Multi-Family Housing (attached residential units in excess of three stories or more in height but not exceeding 5', unless otherwise restricted by the View Preservation Overlay or other provisions of this PDD) will be limited to the following percentages of the gross acreage of the Planning Area:
 - R-MU #9, #10, #11: no more than 20% of the land area
 - R-MU #12, #13, #14, #15, #16: no more than 30% of the land area
 - R-MU #17: no limitation
 - R-MU #18: no more than 60% of the land area
 - R-MU #11 shall be limited to residential uses (a) only
- Information signs required to be posted at time of platting for sites being considered as mixed-use or non-residential use in R-MU Planning Areas
- Commercial Uses shall be prohibited on local streets in residential neighborhoods unless approved by the Director of Community Development as a compatible use, such as customary neighborhood services.
- Golf courses shall be predominantly located in R-MU or C-MU Planning Areas and developed in an environmentally sensitive, low water use manner

1. Use requiring R in "Transition Overlay" District
 2. Use prohibited in "Transition Overlay" District
 3. Use requiring R if located west of Park Meadows Drive in C/MU parcel #1.

Note: The Subarea Area District boundaries are conceptual and may be refined by subsequent Subarea Plans.

Exhibit 65.1d Permitted Building Heights

PERMITTED BUILDING HEIGHTS³

Maximum Permitted Building Heights (excluding mechanical equipment, penthouses, parapets and special features which may exceed this limit by no more than fourteen (14) feet)	
Planning Area	Height (in feet) ¹
OS	30
R-MU	55
C-MU	250
CC	360
RR	35 ²

Note: Federal regulations related to Centennial Airport may limit building heights in some areas.

- 1 Height is measured from the average proposed finished ground elevation.
- 2 The maximum height of dwelling units in the Rural Residential Planning Area may be further limited as required by the City in accordance with the standards set forth in the Rural Residential Design Guidelines.
- 3 A View Preservation Overlay as shown on the PDD Land Use Plan defines maximum height limitations and shall apply to all residential and non-residential development west of I-25.

The View Preservation Overlay identifies four areas, utilizing major roadway alignments and drainageways to establish view corridors. Future Sub-Area Plans shall outline specific restrictions and development standards designed to preserve these major view corridors as seen from key areas internal and external to the project. Specific restrictions and standards may include setback requirements and stair-stepped building techniques.

Buildings in any C/MU Planning Areas covered by the View Preservation Overlay that exceed 150' in height must obtain City Council approval at a public meeting, as a part of Site Plan Review, upon staff review, analysis and recommendation of conformance with the following criteria:

1. Designated bluff view preservation corridors must be maintained and not compromised by the building height approval.
2. The building height appears compatible with the bluffs, including parapets and other mechanical screening details, specifically considering the building's relative bulk, where narrower unobtrusive buildings would be preferable to wider buildings.
3. The building height in relation to its proposed design is compatible within the Planning Area as it has developed and its corresponding Sub-Area Plan.

Note: The Subarea Area District boundaries are conceptual and may be refined by subsequent Subarea Plans.

Exhibit 65.1e Land Use

LAND USE SUMMARY

Symbol	Land Use	Density	Acres	% of Total
OS	Open Space		850	
	Neighborhood Park Dedication ⁶		103	
	Central Community Park		77	33.0%
	Public School Dedication ⁷		73	
	Rural Residential Restricted Area ¹		41	
RR	Rural Residential ^{3,4}	1 du/acre	217	6.0%
R-MU	Residential/ Mixed-Use ^{3,4}	4-20 du/ac ⁵ , .3-1.0 FAR	1276	36.0%
C-MU	Commercial/ Mixed-Use ^{3,4}	12-40 du/ac, .35 - 6.0 FAR	690	20.0%
CC	City Center ^{2,3,4}	15-60 du/ac, 1.0 - 20.0 FAR	175	5.0%
	Exst./Proposed I-25 Improvements		12	0.0%
			Total: 3514	acres

Note: Acreage for golf courses that may be developed in the R-MU and C-MU Planning Areas will be considered as Open Space.

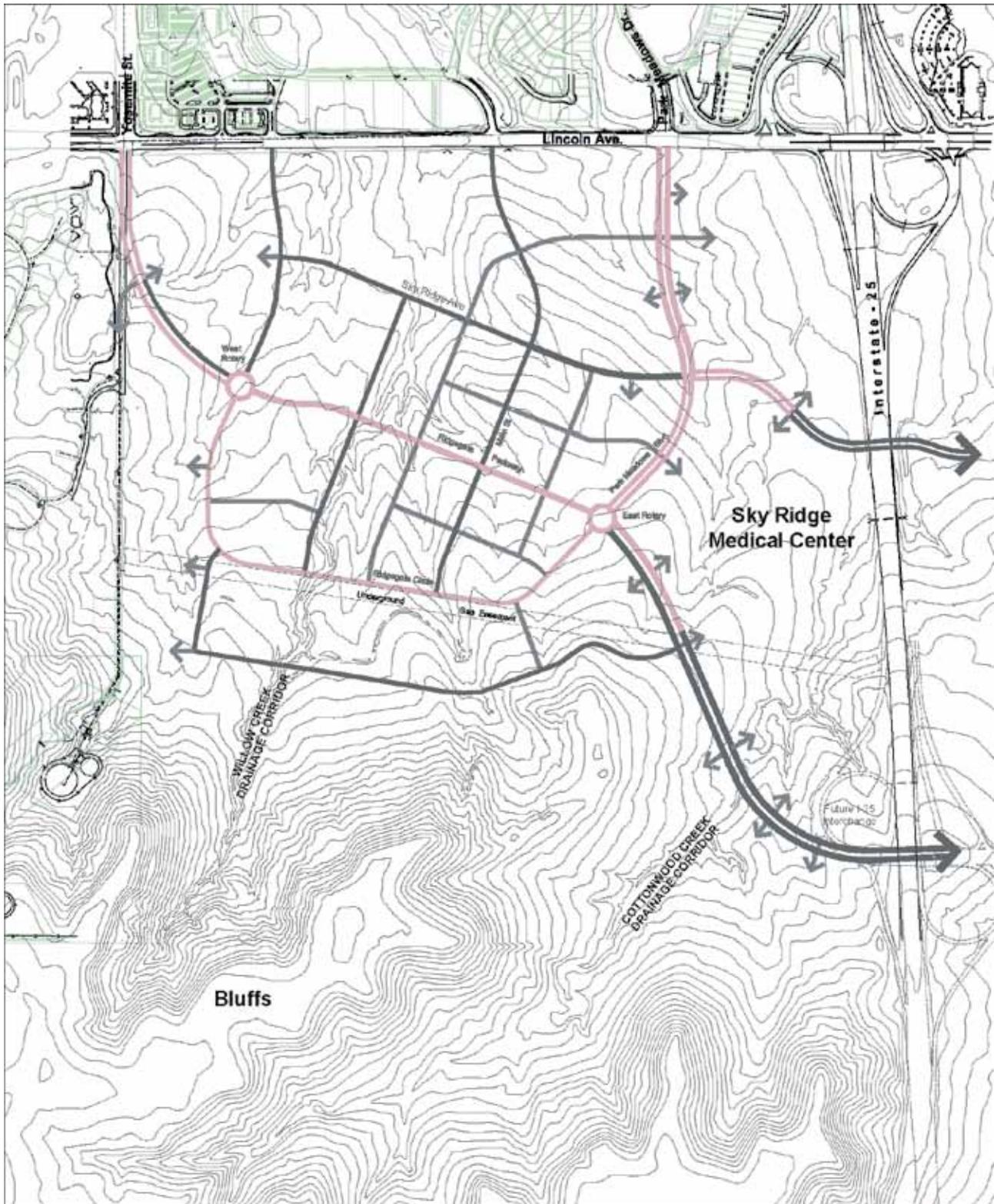
Open Space totals and percentages are subject to adjustment pursuant to the Public Dedications and Conveyances section of the Statement of Commitments.

- 1 This 41 acres represents the portion of the Rural Residential Planning Area which will be privately owned and restricted to open space so as not to allow building development and to preserve existing habitat.
- 2 Single-family homes at densities less than 15 du/ac may be included in the City Center, not to exceed 10 percent of the land area of the City Center Planning Area.
- 3 103 acres to be dedicated as community and neighborhood parks or golf courses in the RR, R-MU, C-MU and CC Planning Areas are excluded in these totals because they are included in the open-space totals.
- 4 Acreage shown includes public road right-of-ways.
- 5 Minimum densities may be lowered in areas where terrain dictates.
- 6 Assumes 10,000 dwelling units (25,000 population) with park generation based on 5 acres/1,000 residential population.
- 7 Assumes middle/high school site of approximately 75 acres, and three elementary schools totaling 24 acres.

NOTE: ELEMENTS DEPICTED ON PDD LAND-USE PLAN ARE FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO REFINEMENT AND MODIFICATION AT SUBSEQUENT REVIEW STAGES.

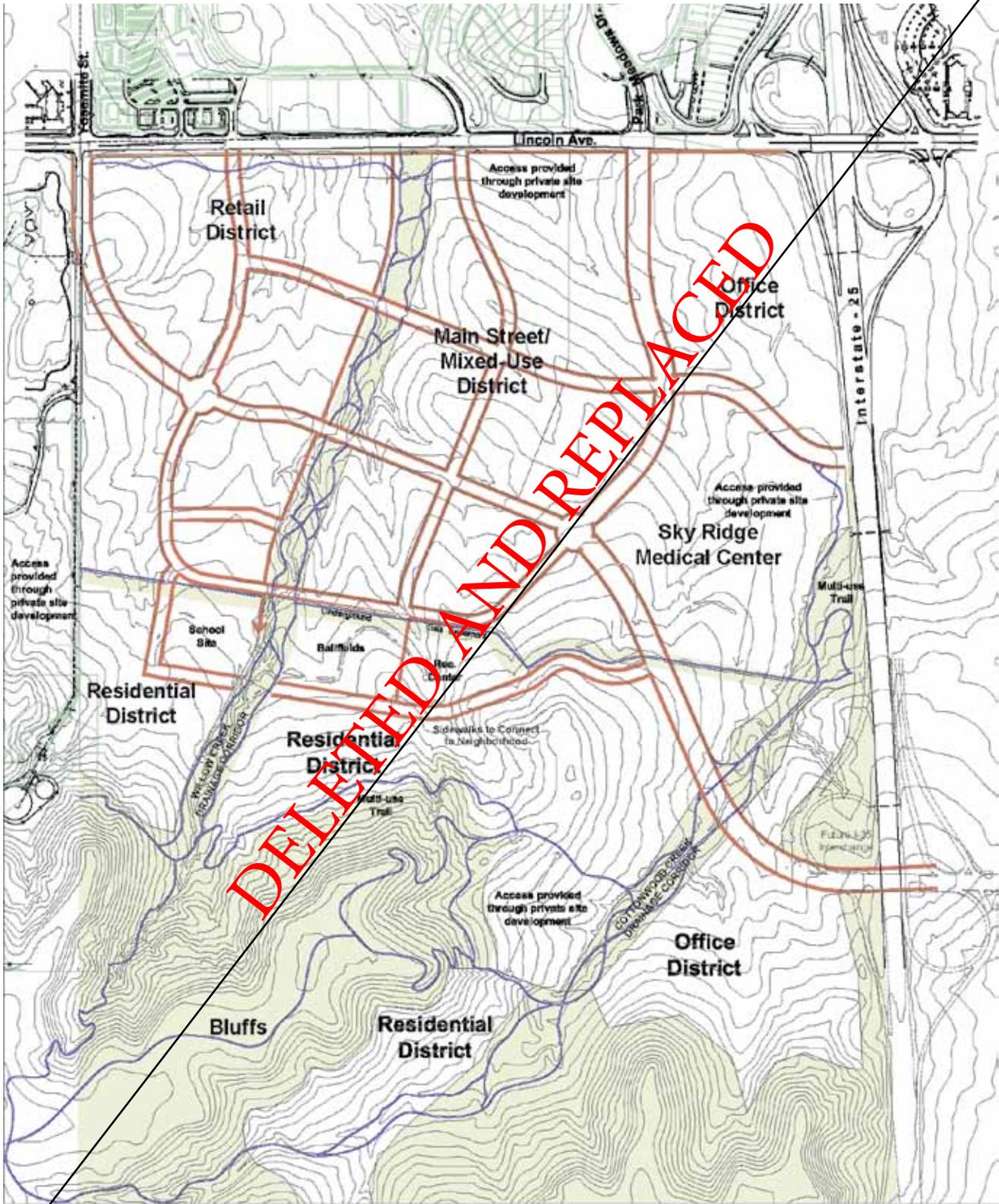
Note: Exhibits 5.1b.1 and 5.1e represent updated Planning Area boundaries of the RidgeGate PDD Zoning, and corresponding changes to the PDD Land Use Summary, respectively, as refined through the Sub-Area Plan.

Exhibit 65.2 Section 15 Transportation Framework Plan



Note: The Transportation Framework is conceptual. Final road alignments will be subject to refinement with Final Design Plans and Site Improvement Plans. Some Roads may be built in phased increments based on capacity needs.

Exhibit 65.3 Section 15 Bike and Pedestrian Framework Plan



Multi-use Trail ———
Sidewalk ———

Note: The Pedestrian and Bike Access Framework is conceptual and may be refined with Final Road Design Plans.
N.T.S.

Exhibit 67.3 Section 15 Bike and Pedestrian Framework Plan

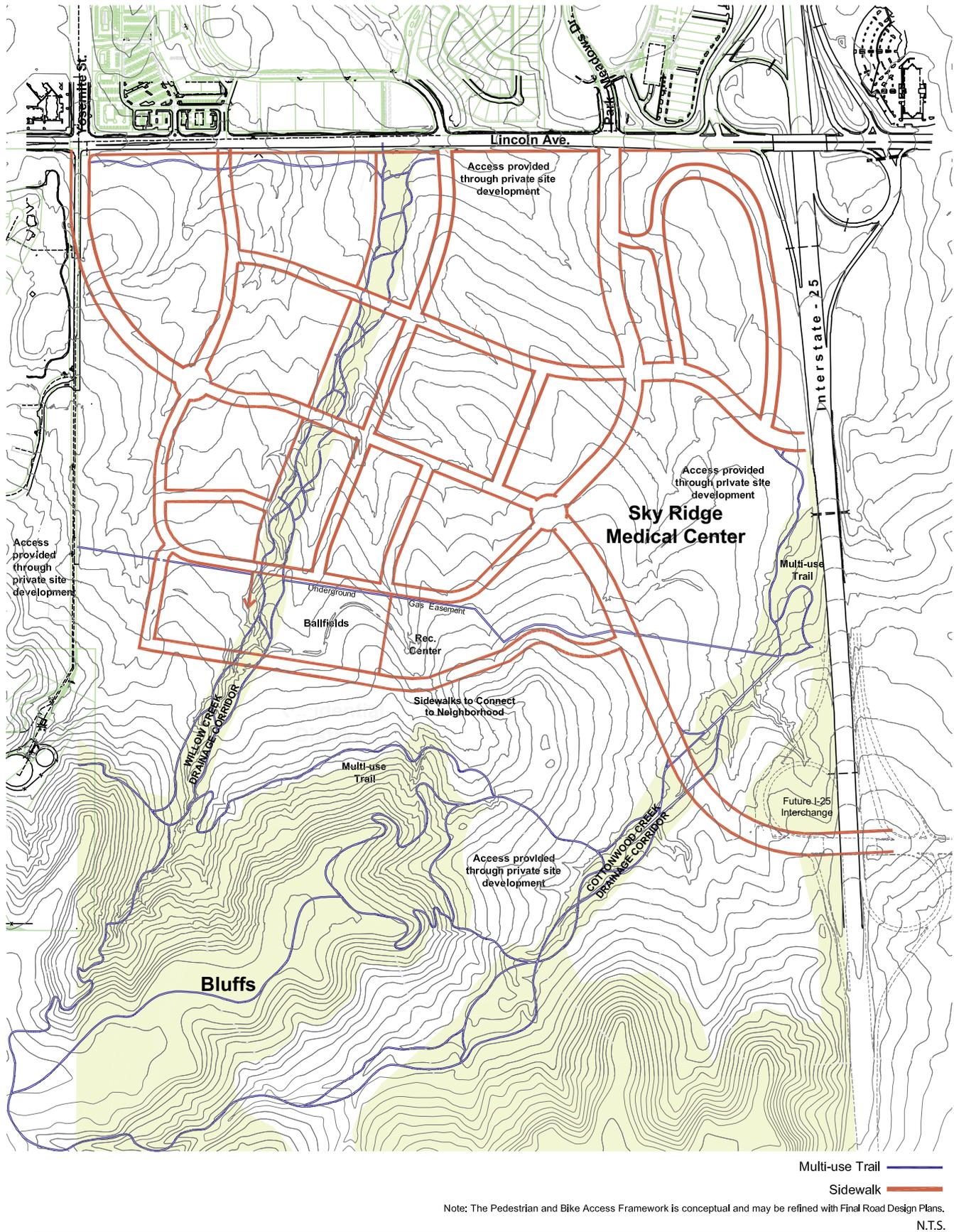
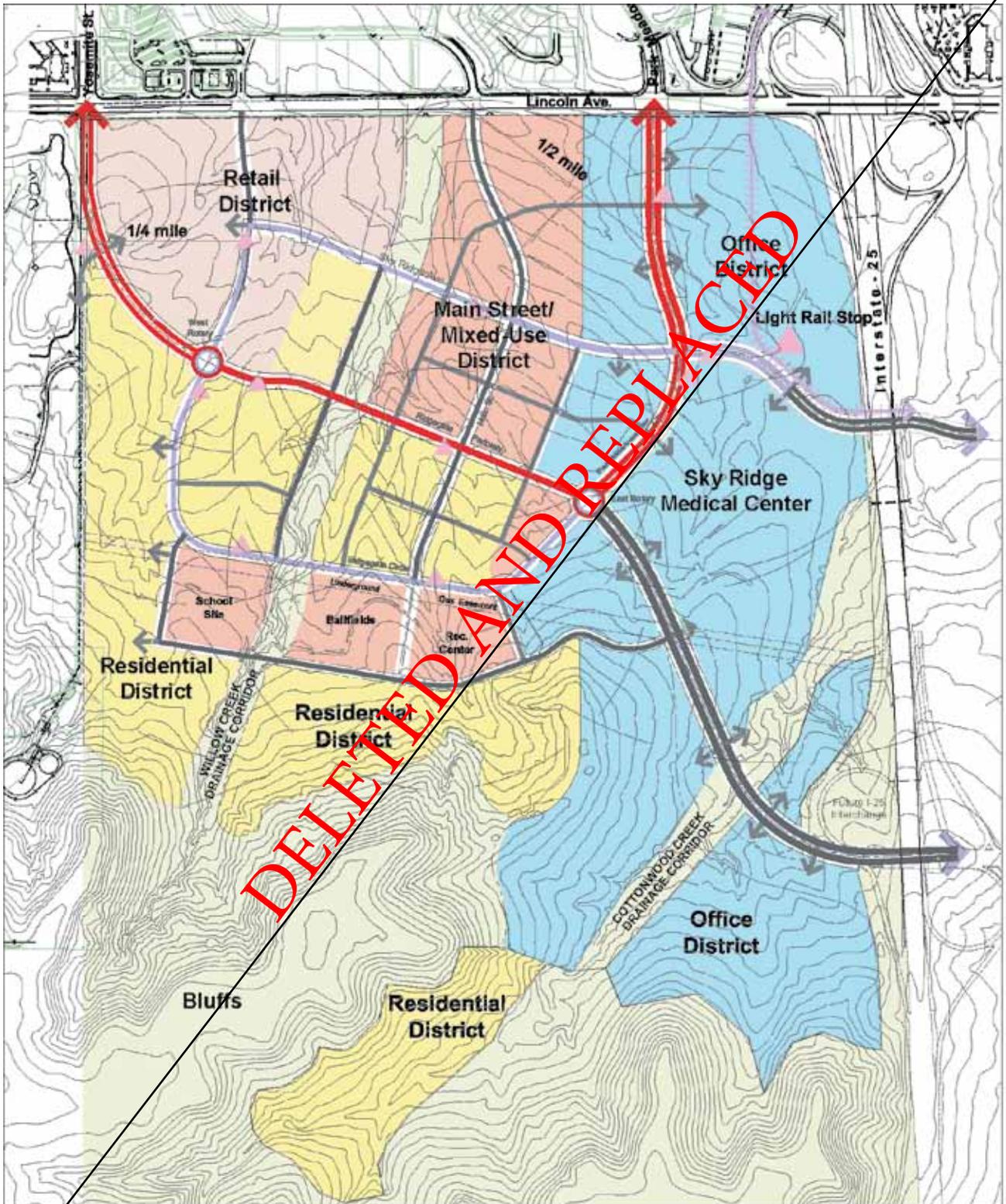


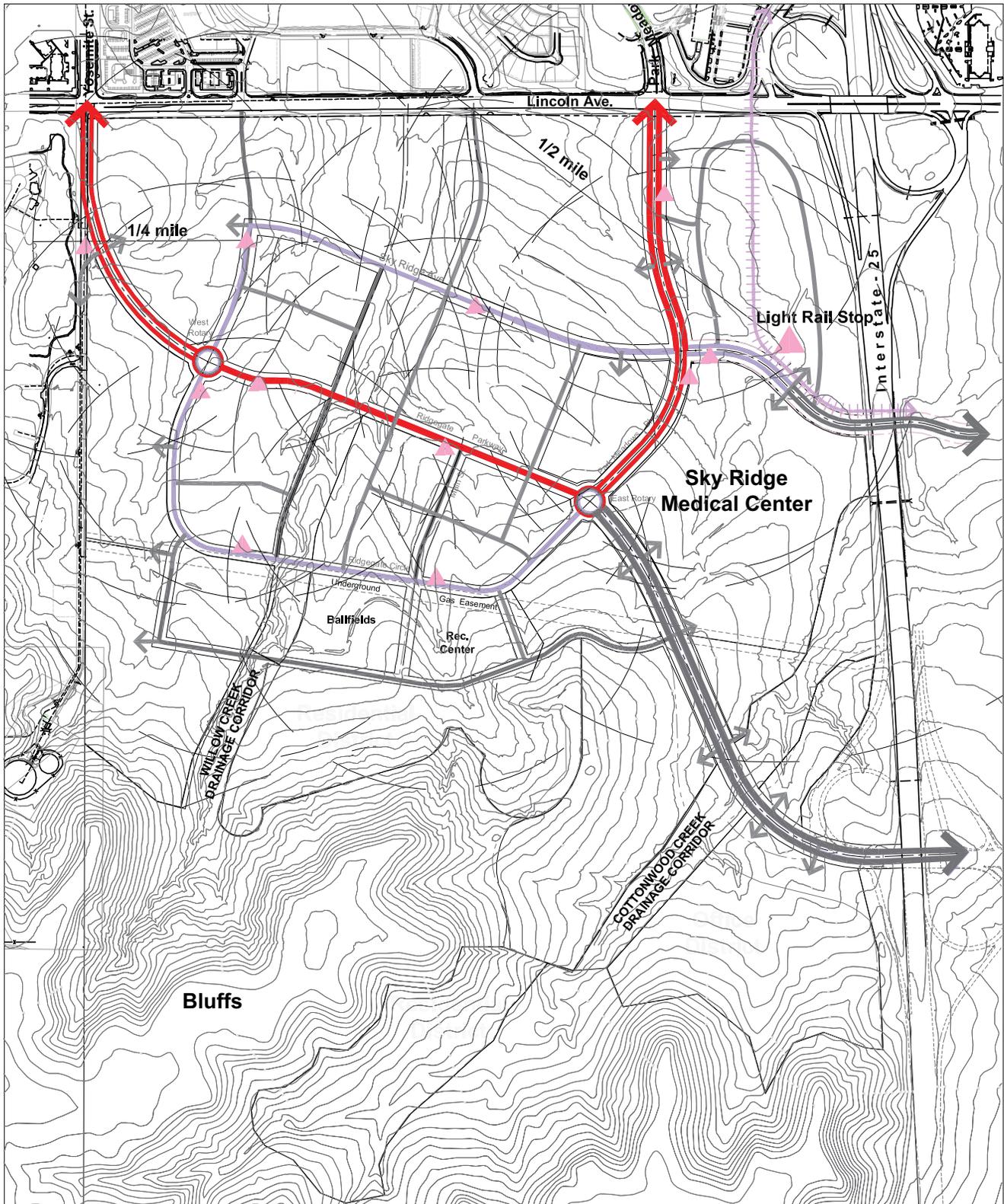
Exhibit 65.4 Section 15 Public Transportation Framework Plan



Transit Stop
Local Bus Route
Regional Bus Route
Light Rail Route

Note: The Public Transportation Framework is conceptual and will be refined with future Transit Routing Plans.
N.T.S.

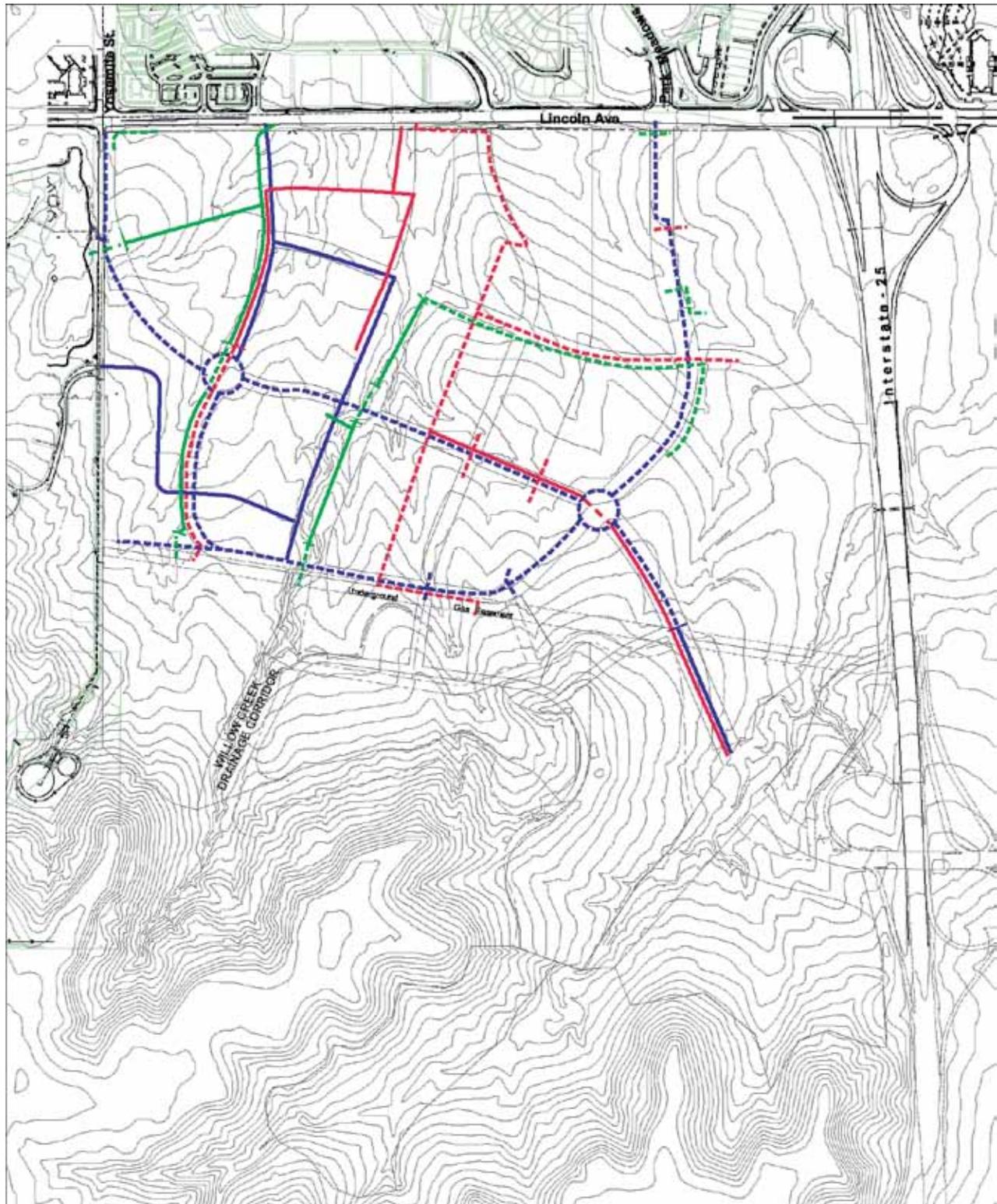
Exhibit 67.4 Section 15 Public Transportation Framework Plan



- Transit Stop ▲
- Local Bus Route —
- Regional Bus Route —
- Light Rail Route - - - - -

Note: The Public Transportation Framework is conceptual and will be refined with future Transit Routing Plans.
N.T.S.

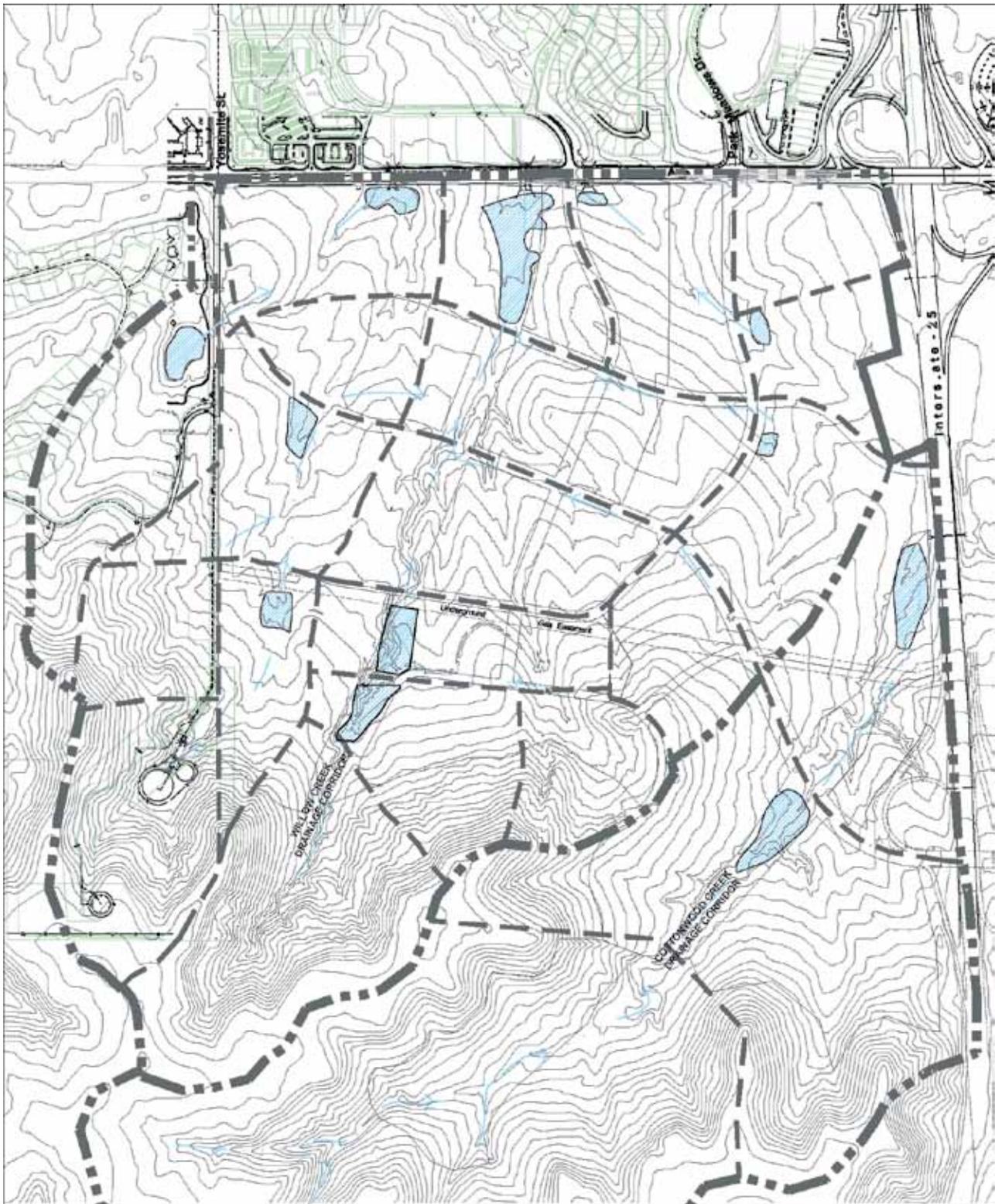
Exhibit 65.5 Utility Framework Plan



Existing	Future
PH 1 Storm	PH 2 Storm
PH 1 Sanitary	PH 2 Sanitary
PH 1 Water	PH 2 Water

Note: The Utilities Plan is conceptual and may be refined with subsequent Utilities Plans.

Exhibit 65.6 Stormwater Management Plan



● Detention Pond Location
— Swale Location
--- Major Basin Boundary
--- Proposed Basin Boundary

Note: The Stormwater Management plan is conceptual and may be refined with subsequent Site Improvement and Infrastructure Plans.

N.T.S.

Exhibit 65.7 Approved Plant Palette

This plant list is adapted from the City of Lone Tree [Landscaping, Signage and Lighting Master Plan](#). Other plant species may be acceptable, subject to DRBC review and approval.

	Development Zones			
	Urban	Semi Urban	Semi Rural	Rural
Deciduous Trees:				
Acer ginnala - Amur Maple		•	•	•
Crataegus ambigua - Russian Hawthorne				
Fraxinus americana 'Autumn Purple' - Autumn Purple Ash	•	•	•	
Fraxinus americana 'Empire' - Empire Ash	•	•		
Fraxinus pennsylvanica - Green Ash	•	•	•	
Fraxinus pennsylvanica 'Patmore' - Patmore Green Ash	•	•	•	
Gleditsia tricanthos inermis - Thornless Honeylocust	•	•	•	
Gleditsia tricanthos 'Skyline' - Skyline Locust	•	•		
Gymnocladus dioicus - Kentucky Coffeetree	•	•	•	
Quercus rubra - Red Oak		•	•	•
Quercus bicolor - Swamp White Oak		•	•	•
Quercus macrocarpa - Bur Oak		•	•	•
Tilia americana 'Redmond' - Redmond Linden	•	•		
Tilia cordata 'Greenspire' - Greenspire Linden	•	•		
Evergreen Trees:				
Juniperus scopulorum - Rocky Mountain Juniper			•	•
Juniperus scopulorum 'Cologreen' - Cologreen Juniper		•	•	
Juniperus scopulorum 'Wichita Blue' - Wichita Blue Juniper		•	•	
Picea pungens - Colorado Spruce		•	•	
Picea pungens 'Glauca' - Colorado Blue Spruce		•	•	
Pinus aristata - Bristlecone Pine			•	•
Pinus cembroides var. edulis - Pinyon Pine		•	•	•
Pinus nigra - Austrian Pine	•	•		
Pinus ponderosa - Ponderosa Pine			•	•

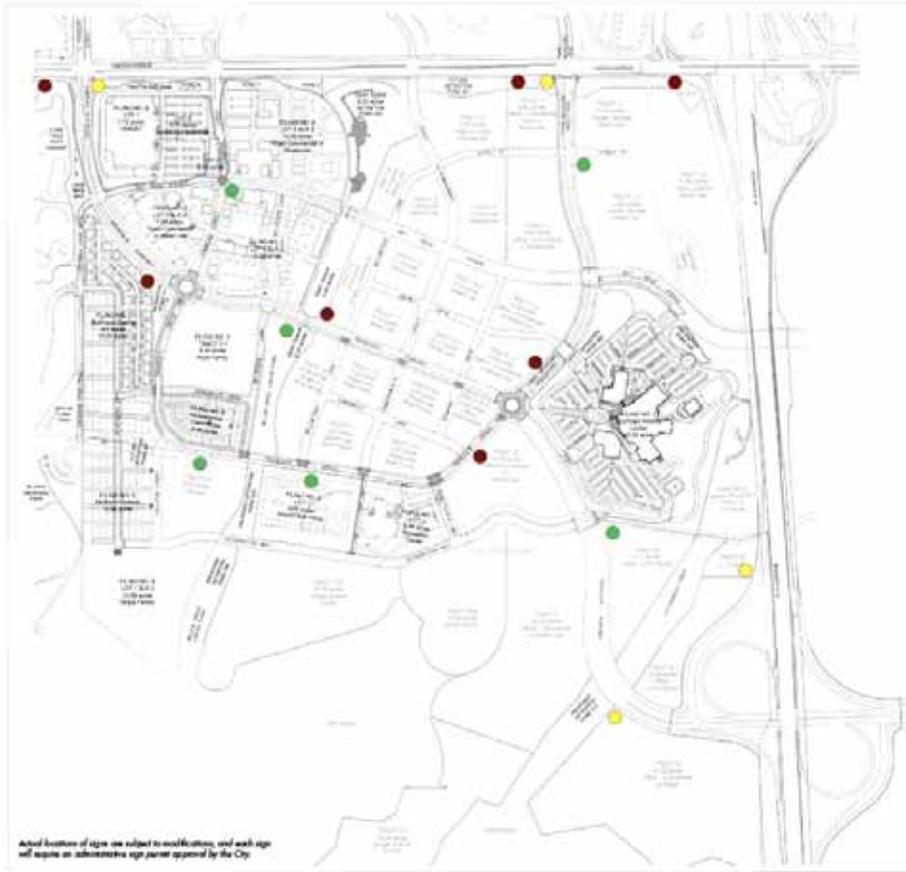
Exhibit 65.7 Approved Plant Palette (continued)

	Development Zones			
	Urban	Semi Urban	Semi Rural	Rural
Deciduous Shrubs:				
<i>Berberis mentorensis</i> - Mentor Barberry	•	•	•	
<i>Berberis thunbergii</i> - Japanese Barberry	•	•	•	
<i>Caragana arborescens</i> - Siberian Peashrub	•	•	•	
<i>Caragana pygmaea</i> - Pygmy Peashrub	•	•	•	
<i>Cornus sericea</i> - RedTwig Dogwood		•	•	•
<i>Cornus sericea</i> 'Isanti' - Isanti Dogwood		•	•	•
<i>Cotoneaster sericea flaviramea</i> - YellowTwig Dogwood		•	•	•
<i>Cotoneaster apiculatus</i> - Peking Cotoneaster	•	•		
<i>Cotoneaster apiculatus</i> - Cranberry Cotoneaster	•	•		
<i>Euonymus alatus</i> - Winged Euonymus or Burning Bush	•	•		
<i>Forsythia intermedia</i> - Border Forsythia	•	•		
<i>Ligustrum vulgare</i> 'Lodense' - Londense European Privet	•	•		
<i>Potentilla fruticosa</i> - Bush Cinquefoil		•	•	
<i>Prunus besseyi</i> - Western Sand Cherry			•	•
<i>Prunus cistena</i> - Purpleleaf Sand Cherry		•	•	•
<i>Prunus triloba</i> - Double Flowering Almond	•	•		
<i>Rhus trilobata</i> - Skunkbus/Three-leaf Sumac			•	•
<i>Ribes alpinum</i> - Alpine Currant		•	•	•
<i>Ribes aureum</i> - Golden Currant		•	•	
<i>Spiraea vanhouttei</i> - Vanhoutte Spirea	•	•		
<i>Syringa meyeri</i> - Dwarf Korean Lilac	•	•		
<i>Syringa persica</i> - Persian Lilac	•	•		
<i>Viburnum lentago</i> - Nannyberry Viburnum	•	•		
<i>Viburnum trilobum</i> - American Cranberrybush	•	•		
Evergreen Shrubs:				
<i>Juniperus chinensis pfitzerana</i> - Pftizer Juniper	•	•	•	
<i>Mahonia aquifolium</i> - Oregongrape Holly	•	•	•	
<i>Pinus mugo</i> - Mugo Pine	•	•		
<i>Pyracantha coccinea</i> - Scarlet Firethorn	•	•		

Exhibit 65.7 Approved Plant Palette (continued)

	Development Zones			
	Urban	Semi Urban	Semi Rural	Rural
Perennial Shrubs:				
Aquilegia spp. - Columbine			•	•
Chrysanthemum x superbum - Shasta Daisy		•	•	
Cornus sericea 'Isanti' - Isanti Dogwood		•	•	•
Geranium spp. - Crainebill	•	•		
Hosta spp. - Hosta	•	•		
Kniphobia uvaria - Torch Lily/Red Hot Poker	•	•	•	
Liatris spicata - Gayfeather		•	•	
Linum spp. - Flax		•	•	•
Penstomen spp. - Beard Tongue		•	•	
Rhus armatica 'Go-Low' - Gro-Low Sumac		•	•	•
Rides alpinum 'Green Mound' - Green Mound Currant			•	•
Rides aureum - Goden Currant			•	•
Veronica spp. - Spike Speedwell		•	•	
Ground Covers:				
Ajuga reptans - Bugleweed	•	•		
Cerastium tomentosum - Snow in Summer	•	•	•	
Juniperus horizontalis 'Hughus' - Hughes Juniper	•	•	•	
Mahonia repens - Creeping Mahonia		•	•	
Vinca minor - Common Periwinkle	•	•		
Vines:				
Clematis x 'Jackmanii' - Jackman Clematis	•	•		
Hedera helix - English Ivy	•	•	•	
Lonicera sempervirens - Trumpet Honeysuckle	•	•		
Parthenocissus quinquefolia - Virginia Creeper	•	•		
P.q. englemanni - Englemann Virginia Creeper	•	•		
Parthenocissus tricuspidata - Boston Ivy	•	•		
Polygonum aubertii - Silver Lace Vine		•	•	

Exhibit 65.8a Wayfinding Signage Program



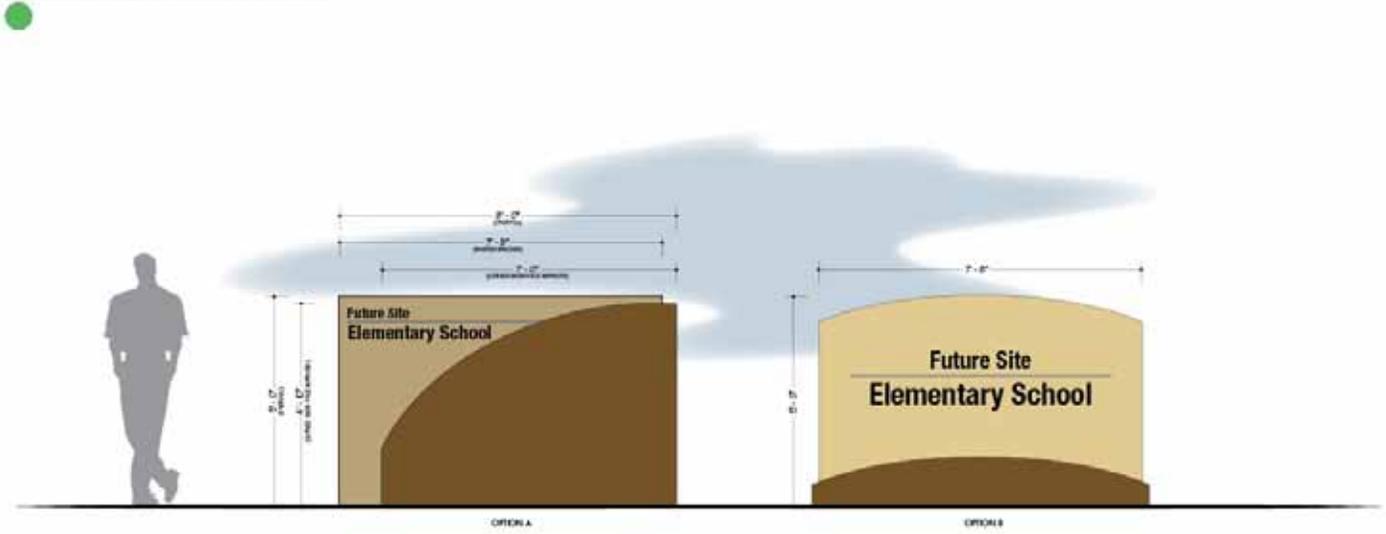
RIDGEGATE SIGN LEGEND	
	Entry Monuments
	Directional Kiosks
	Future Amenity Sites
	Street Kiosk Signs <i>Temporary movable signs, locations TBD</i>
	Builder Identification Signs <i>Temporary 1 per project, locations TBD</i>

Actual locations of signs are subject to modifications, and each sign will require an administrative sign permit approved by the City.

Source: City of Lincoln Commons 2/2020

Exhibit 65.8b Wayfinding Signage Program - Future Amenity Signs (Temporary)

FUTURE AMENITY SIGNS (TEMPORARY)

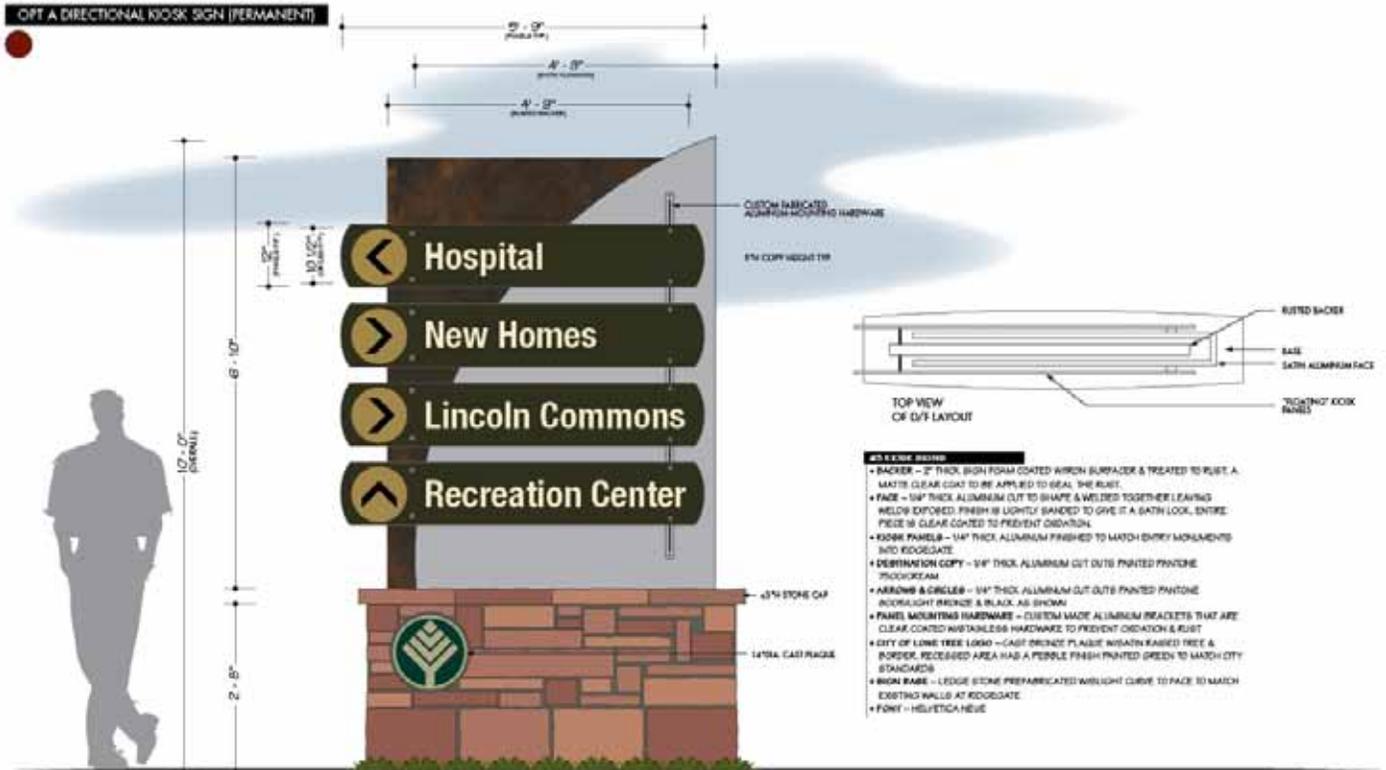


NOT TO SCALE
 *CONCEPTUAL ONLY - ACTUAL COLORS, MATERIALS AND METHODS OF FABRICATION TO BE DETERMINED

RIDGEGATE	RIDGEGATE 2 FUT SITE A, B - GD-001 - MATT SHEREDY	1/2" = 1' - 0"	08 - 14 - 08	Motivational Systems Inc
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Exhibit 65.8c Wayfinding Signage Program - Option A Directional Kiosk Sign (Permanent)



RIDGEGATE	RIDGEGATE 3 KIOSK OPT A TAB - GD-001 - MATT SHEREDY	3/4" - T - 0"	08 - 14 - 06	
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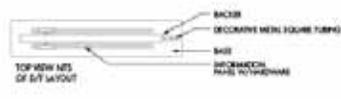
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Exhibit 65.8d Wayfinding Signage Program - Builder Identification Signs (Temporary)

BUILDER IDENTIFICATION SIGNS (TEMPORARY)



- ## BUILDER SIGN**
- SIGNFRAME - WOOD BOX STYLE SIGN OR 2" THICK SIGN FOAM CUT TO SHAPE
 - FACE - PAINTED (PANTONE) OR FULL COLOR EXTERIOR GRADE PHOTO-VINYL
 - RENDERING - FULL COLOR EXTERIOR GRADE PHOTO-VINYL
 - PANELS - 1/4" THICK 24 BOND (OR EQUIVALENT) CUT TO SHAPE & PRINTED
 - INFORMATIONAL COPY - VCI
 - PANEL MOUNTING HARDWARE - CUSTOM MADE ALUMINUM BRACKETE THAT ARE CLEAR COATED AND USELESS HARDWARE TO PREVENT OXIDATION & RUST
 - POLE STRUCTURE - P & 1/2" SQUARE ALUMINUM TUBING WELDED TOGETHER & CLEAR COATED OR POWDER COATED TO PREVENT OXIDATION
 - SIGN BASE - FORMED IN PLACE CONCRETE FORMED TO SHAPE. CONCRETE CAN HAVE A STAINED FINISH OR DYES MIXED IN THE POUR.
 - FONT - HELVETICA HELVETIC NEW BASKERVILLE

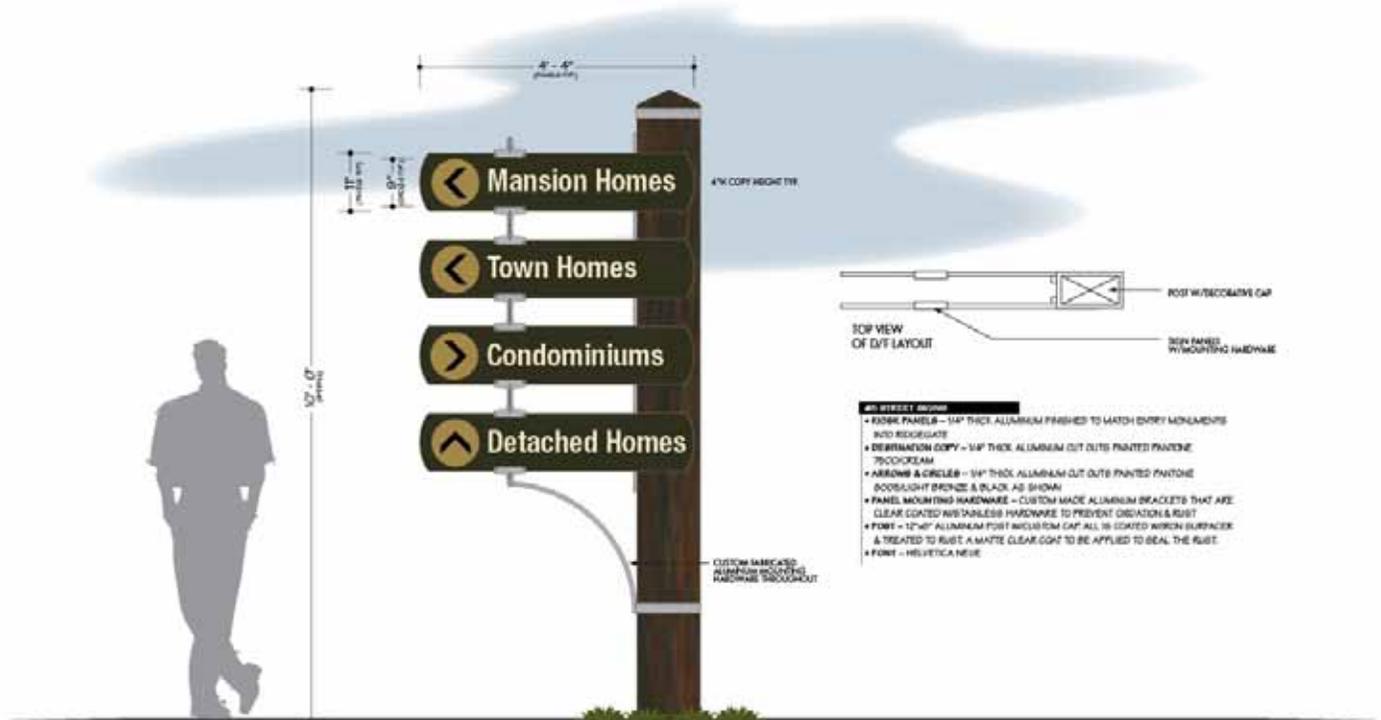


RIDGEGATE	RIDGEGATE 4 BUILDER TAB - GP-001 - MATT SHEREDY	3/4" x 7' - 0"	01 - 12 - 06	Motivational Systems Inc
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Exhibit 65.8e Wayfinding Signage Program - Street Kiosk Sign (Temporary & Moveable)

STREET KIOSK SIGN (TEMPORARY & MOVEABLE)



- 40 STREET SIGNAGE**
- KIOSK PANELS - 1/4" THICK ALUMINUM FINISHED TO MATCH ENTRY MONUMENTS INTO RIDGE GATE
 - DEBRIBRATION COPY - 1/4" THICK ALUMINUM CUT OUTS PAINTED PANTONE 7800CREAM
 - ARROWS & CIRCLES - 1/4" THICK ALUMINUM CUT OUTS PAINTED PANTONE DOORSLIGHT BRONZE & BLACK AS SHOWN
 - PANEL MOUNTING HARDWARE - CUSTOM MADE ALUMINUM BRACKETS THAT ARE CLEAR COATED IN STAINLESS HARDWARE TO PREVENT OXIDATION & RUST
 - POST - 12" HP ALUMINUM POST INCLASION CAP ALL IS COATED W/IRON SURFACE & TREATED TO RUST. A WHITE CLEAR COAT TO BE APPLIED TO SEAL THE RUST.
 - FONT - HELVETICA NEUE

RIDGE GATE	RIDGE GATE 5 STREET TAB - GD-C01 - MATT SHEREDY	3/4" x 7'-0"	01-12-06	
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Exhibit 67.98 RidgeGate Local Park Dedication Credit and Cash-in-Lieu Policy



CITY OF LONE TREE
Community Development Department

RIDGEGATE Local Park Dedication Credit & Cash-in-Lieu Policy

Park Land Dedication Standard per the PD:

Local/neighborhood parks shall be dedicated by the owner at the time of residential platting and based on the standard of 5 acres/1,000 population.

Credit*:

The City may grant credit towards the project's total required acreage for parkland dedication, based on the provision of appropriate internal project amenities that are determined by the City to be equal or greater in value to the estimated market value of the required acreage amount.

Note: In such a case as described above, value of the land shall be based on anticipated market value after completion of platting. The City may require the applicant to provide at least one appraisal of the property by a qualified appraiser, as well as cost estimates for internal amenities.

Internal project amenities that may be considered appropriate towards credit of local park dedication include but are not limited to:

- Common open space for passive or active recreation;
- Pedestrian connections to adjacent or nearby parks, trails and open space;
- Swimming pools;
- Non-commercial indoor recreation centers and other specialized recreation facilities;
- Other amenities that demonstrate fulfillment or supplement of the park and recreation needs of residents within the project, as determined by the City.

The City may grant up to 75% credit towards the project's total required acreage for private amenities.

The City may grant up to 100% credit of the project's total required acreage for parkland dedication if said amenities are available to the general public and meet a demonstrated public need, as determined by the City.

**Determination of parkland dedication credit is at the City's discretion, and is negotiable based on the guidelines presented above.*

Exhibit 67.98 RidgeGate Local Park Dedication Credit and Cash-in-Lieu Policy (continued)**Cash-in-lieu of land dedication**

Cash-in-lieu of land dedication shall be used in cases in which the cash value of park land dedication is deemed, by the City to be more appropriate in satisfying the needs of the proposed development than land within the proposed development. Such cases include, but are not limited to, small developments not able to meet the minimum size requirement and development, which already have adjacent facilities that serve or could be expanded to satisfy the need created by the development.

The cash-in-lieu fee shall be based on \$75,000/acre.**

Again, the total acreage required is based on 5 acres/1,000 population

Any combination of land dedication, cash-in-lieu and parkland credit may be accepted, as negotiated based on the guidelines presented herein, and as determined by the Director

The minimum cash-in-lieu fee shall be \$1000.

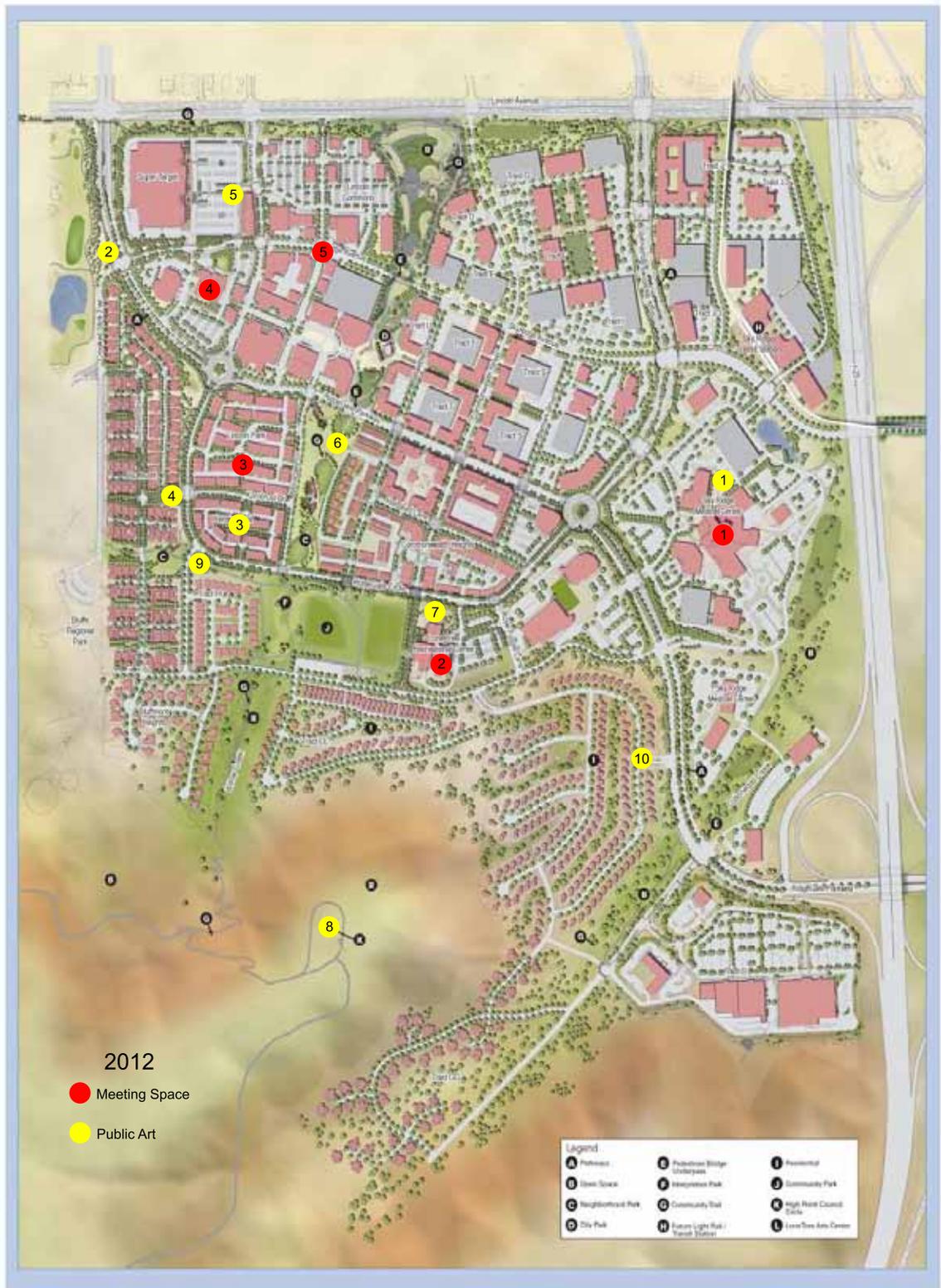
*** This amount may be adjusted over time to market conditions.*

Exhibit 67.109 Criteria for Annual Staff Review of Community Meeting Space Demand

1. Annual review of the demand for meeting space will begin after the first 350 homes are occupied.
2. By January 31st of each year, beginning in 2005, RidgeGate will submit an annual report to the City of Lone Tree, summarizing at minimum, the following information which may include charts and corresponding land use maps.
 - a. Residential development constructed to date and during the previous year:
 - i. Name of builder and project
 - ii. Location of project
 - iii. Size of project (acreage)
 - iv. Number and type of residential units with Certificates of Occupancy.
 - v. Summary of amenities associated with each project (i.e. park, open space, public art, etc)
 - b. Non-residential development
 - i. Name of project
 - ii. Location of project
 - iii. Land Use
 - iv. Size of Project (acreage)
 - v. Size of Project (square footage of buildings)
 - c. Community Meeting Spaces
 - i. Number of facilities constructed to date
 - ii. Location
 - iii. Size
 - iv. Description of facilities
 - d. Public Art
 - i. List of projects and map that have contributed to public art fund
 - ii. Amount in fund
 - iii. Actual art constructed (location and type)

Exhibit 67.110 Community Meeting Spaces

RIDGEGATE COMMUNITY MEETING SPACE AND PUBLIC ART



RidgeGate Retail District West Commercial Mixed-
Use Sub-Area Plan
Lincoln District East

Chapter 6
Retail District Standards and Guidelines

6.1 Lincoln District East Introduction

This District is located at the northeast quadrant of Lincoln Commons with direct access from Lincoln Avenue. Users in this area are vehicular-oriented national and local retail and restaurant tenants with the need for good visibility, good access and adjacent parking fields. The site improvement plan for this district links it with Lincoln District West completed in 2005. The two projects will come together to create a larger more diverse shopping palette which should increase customer interest.

The design of the Lincoln District East is critical to the success of Lincoln Commons as it is the major entry to the entire project. Access drives interior to the site align with those existing and will be flanked by wide sidewalks and street trees to enhance the pedestrian nature of the proposed grid system. Parking areas will be broken up into smaller parking fields through the use of landscaped medians and drives. Linear landscaped areas are also provided at perpendicular drives and crosswalks to further define the parking areas, while providing separation for the pedestrian from vehicular circulation.

Building Architecture will be an extension of the Lincoln District West. It will incorporate a variety of massing and roof forms as well as appropriately placed tower elements and projected canopies. Use of extensive amounts of glazing shall be encouraged. Building materials will be compatible with those incorporated in the initial phase and will use brick and stone as primary materials and stucco/EIFS as background material.

The design guidelines for this district shall be prescriptive in nature to assure architectural and material continuity along the Lincoln Avenue frontage.

6.1.1 Application of Standards and Guidelines

Where these standards and guidelines do not address a specific subject, the city's standards and guidelines will prevail.

6.2 Site Planning Standards

Unless otherwise specified, these Design Standards and Guidelines shall apply to any site, regardless of use, within the district known as Lincoln District East. Certain Standards may apply only to specific retail areas or uses. Such applicability will be clearly stated within the standard.

6.2.1 Vehicular and Pedestrian Access and Circulation

Concept

- Maximize opportunities for ease of circulation both within and between retail neighborhoods.
- Establish vehicular circulation hierarchies and create pedestrian opportunities commensurate with those hierarchies.
- Retail traffic should rely upon Commons Street and internal Main Street as the primary access points.
- Internal primary roadways will be private, and will be designed as circulator streets rather than through streets (although through movements will be allowed).

Standards

- Both public and private streets internal to the overall site boundaries shall be designed to have an urban feel. The integration of parallel and diagonal parking, street trees generally at regular intervals, street furnishings and attached and detached walks will contribute to that urban feel.

6.2.2 Building Location and Heights

Standards

- No other internal building setbacks should apply; buildings should relate directly to adjacent streets wherever possible.
- In order to allow the Retail District to integrate with public open spaces, setbacks adjacent to the Willow Creek open space shall not be required.
- Building height shall be limited to 70' and/or five stories

Guidelines

- Unify design with common elements from block to block so that individual retail neighborhoods act to reinforce the others in its context.

6.2.3 Grading

Concept

- Minimize the visual impact of retaining walls to any public streets.
- Effort should be made to work with the natural topography of the site.

Standards

- Please refer to Section 6.4.4 and the master SIP for wall details
- The same type and style of masonry block used in Lincoln District West retaining walls shall be used in Lincoln District East.
- The slope ratio between tiered retaining walls shall not exceed 3:1.
- Walls must be terraced if higher than 4'.
- Walls should have a decorative top or cap. Appropriate pilasters, pillars, columns or other elements, as approved by the Lincoln District DRC and the City of Lone Tree may punctuate the wall line.

6.2.4 Parking, Parking Lots and Parking Structures

Concept

- Mitigate the visual impact of the automobile from Lincoln Avenue and the Willow Creek open space corridor.
- In surface (non-structured) parking areas, provide landscaped parking and create a more compact, walkable environment.

Standards

- Standard curb and gutter or other appropriate improvements must define the parking lots.
- Parking lots shall be properly drained.
- Parking lots shall be paved.
- Pavement grades shall not exceed 5% slopes within parking areas and drive aisles.
- Parking shall be set back a minimum of 84' from Lincoln Ave. No other parking setbacks are required.

- Minimum stall sizes shall be as follows:

Handicapped-Accessible: Per ADA standards

Standard: 90° = 9' x 18'

60° = 9' x 20'

45° = 9' x 19'

Compact: 90° = 7'6" x 15'

60° = 8' x 15'

45° = 7'6" x 17'

- Compact-sized parking spaces may only be used if they exceed the City's requirements for parking ratios using standard-sized spaces, unless otherwise determined by the City.
- Overhang allowance for spaces adjacent to perimeter or islands:
 - Standard: 2'
 - Compact: 1'
- Minimum drive aisle widths shall be as follows:
 - Two-way traffic: 22' (15' for standard size 45° parking)
 - One-way traffic: 18'
- Landscaped parking islands shall be provided at the ends of on-grade parking bays and should be a minimum of 8' in width from back-of-curb to back-of-curb. Landscaping is defined as vegetation and decorative gravel mulch.
- Retail uses with shopping carts must demonstrate how carts will be regularly managed and properly screened using a design that is compatible with the primary building architecture.

Guidelines

- Surface (non-structured) parking lots should be segmented into smaller areas by using planted or concrete medians where appropriate. Planted medians in parking fields should accommodate a 6' wide landscape strip. Proper car overhang must be considered in designing the landscaping.
- Parking lots should be buffered from Lincoln Avenue through the use of low walls, berming, landscaping and/or separation (setbacks).
- Parking areas should be buffered from prominent off-site view corridors.

6.2.5 Pedestrian Walks

Concept

- Lincoln Commons will be designed to provide a pedestrian friendly environment.

Standards

- Special attention shall be given to all walking surfaces, especially those in front of each retail entry. Walks at major public areas shall feature additional scoring and a minimum of 10% integrally colored or textured concrete. This area is determined by definition of the concrete walk running along the front (and sides if a corner lot) of building frontage and within the block of the development. This concept is more clearly defined in the Landscape Section of these Guidelines.
- Planters will be placed between building entries where grade changes occur and unbroken walk areas exceed a width of 20 feet.
- Areas of standard paving greater than 20' will be mitigated by planting beds or enhanced paving.
- Attached planter boxes of brick or cast stone shall be provided for a minimum of 33% of unglazed building frontage that exceeds 30' in length.
- Trees shall be placed along facades in tree grates or shrub beds. Tree locations may be adjusted with city approval, but the number of trees shown on the Site Improvement Plan at the sidewalks shall not be reduced. One tree shall be provided for approximately every 30' of building frontage. They may be inline or grouped.
- Average depth from curb to building at users up to 11,999 s.f. shall be 12' minimum. For users 12,000 s.f. or greater shall be 17' minimum, and at Pad and outlying retail buildings, usually constituting a smaller footprint, are recommended to be a minimum of 12', including planters.

Guidelines

- Pedestrian-scale pole lights, wall-mounted lights, sidewalk benches, and colonnades with trellises will emphasize the pedestrian nature of the building fronts. Lights and street furnishings are further described below.

6.3 Architectural Standards

Lincoln District East will be primarily composed of multiple national retail tenants with prototypical plans. The overall architectural concepts used the Lincoln District West shall be brought to this District, including the creation of interesting massing, tower elements to address gateways and architectural focal points, sloped roof planes projected canopies and an enduring palette of high quality materials.

6.3.1 Massing / Scale

Concept

- Individual facades should create a comfortably scaled and appropriately detailed visual experience and complement the adjacent uses. Certain facades may have a broader scope (larger neighborhood view) and others may be more related to the pedestrian experience.

Standards

- Key building features, parapets, and steps shall be returned a minimum of 4' to create a sense of depth.
- Facades shall create a comfortably scaled and appropriately detailed visual experience and complement the adjacent uses.
- All sides of the building should be attractive and interesting in accordance with their orientation and function.

6.3.2 Major Building Envelope

Concept

- A major building envelope may be considered either a single freestanding building or a grouping of buildings.
- Building designs will be varied for interest and all design elements shall be complementary.
- The massing of elements will be sequenced to reinforce an overall hierarchy of scale.
- 360° architecture will be achieved by carrying the full palette of materials using a consistent pattern of banding, articulated cornices, and detailing around the sides and rears of the buildings.

Standards

- The major building envelope shall be composed of brick, stone, cast stone, integrally colored pre-cast concrete, and stucco/EHFS with detail and color arranged to establish a base, middle, and top. See chart at 6.3.8

6.3.3 Main Building Facade

Standards

- Ground floor entry facades that face public streets, drives, or plazas shall have arcades, display windows with vision glass, backlit glazing elements, entry elements, awnings, or canopies along no less than 60% of the building linear frontage.
- No wall expanse or individual tenant shall extend over 75 lineal feet at anchors and shop buildings and 50 lineal feet at pad buildings without incorporating at least one architectural feature of at least 24' in total length and at least 12' or one-third the building height, whichever is greater. These are known as the 75 and 50-foot rules. Architectural features shall include towers, entry elements, brick, or cast stone colonnades with trellises, pilasters, towers, flat metal canopies, awnings, projected

brick elements (minimum 2'-8" in depth), vision glass, display windows, backlit frosted glass elements, or an expression of architectural bays where areas between columns are indented.

- Attached planters at buildings shall not be considered as an architectural feature, however, the use of brick or cast stone on the planters will count toward elevation requirements, as it is a projection of the building base.
- Building bases are required to be capped with a ledger cap to overhang base material to create a shadow effect.

6.3.4 Building Sides and Rears

Standards

- The architectural expression of the sides and rear should be consistent with the front façade. This articulation need not occur within a screened loading court area. However, the wall area above the elevation of screen walls must meet the 75-foot rule as well as include cornice details, scoring, and roof details compatible with the overall center.
- Screen wall treatments should be constructed of brick, integrally colored and precast concrete, and/or integrally colored concrete masonry units. These walls should shield the majority of the building's rear façade.

6.3.5 Building Entries

Standards

- The entry to each user shall be highlighted and protected by a well-designed architecturally interesting arcade, recess, vestibule, awning, or canopy or a combination of the aforementioned.
- These entry elements shall be composed of brick, stone, cast stone, integrally colored precast concrete, wood, heavy timbers, decorative steel, vision glass, and/or frosted backlit glass equaling a minimum of 60% of the wall area at Anchors and 80% at Pad buildings.
- The scale or mass of any tenant entry should be proportional to the square footage of the entry façade and be pedestrian in scale.
- No entry element shall extend beyond 1/3 the building height over parapet line. Signage should be in proportion to the entry element and should be designed to coordinate with the architecture of the building.
- Signage requirements are outlined in a separate section within this document.

6.3.6 Building Fenestration

Standards

- Windows should be recessed, not flat, and should be vertically-oriented. The use of sills and lintels are encouraged.

6.3.7 Material and Composition

Standards

Class 1 Materials

- Brick, stone, cast stone, metal panel, and integrally colored precast concrete, wood, heavy timbers or decorative steel. These materials shall be Class 1 building materials and their extensive use at all faces of a building is encouraged. The front face of columns clad in these materials shall be considered a part of the façade, as would attached masonry or stone planters. The proportion of materials may vary between users. When calculating the percentages of primary materials, glazing is considered a primary material.

- Glazing: All users are encouraged to maximize glazing to create an interesting storefront. Window and door frames are to be compatible in color and finish but may vary between buildings in a complimentary manner.
- Decorative steel: (columns, beams, stamped metal, panels, other ornaments) Ornamental Metals may be used to emphasize the design intent of the specific district, depending on the overall character of the architecture. All decorative metal shall be factory-finish or baked-on powder-coated finish.
- Class 2 Materials
- Integrally-colored CMU / integrally colored precast concrete: The secondary building materials of CMU and integrally colored precast concrete shall only be used to create bases, secondary fields, or accent banding with split or ground face units (integrally colored). Acceptable banding may be utilized to differentiate between a building’s base, middle, and top. [Note: the base, middle and top should be differentiated, but that can be accomplished in a number of ways.]
- Stucco or EIFS: Stucco and EIFS may be used as a secondary material in approved colors and textures only. It may also not be used lower than 36” from grade.

6.3.8 Building Materials Requirement Chart

	Anchors	Shops & Pads
Front		
Class 1 Material	50% min.	50% min.
Class 2 Material	50% max.	50% max.
Glazing	25% min. of linear frontage	60% of linear frontage
75’ Rule	Yes	No
50’ Rule	No	Yes
Side		
Class 1 Material	25% min.	40% min.
Class 2 Material	75% max.	60% max.
Glazing	Encouraged	25% of linear frontage encouraged
75’ Rule	Yes	No
50’ Rule	No	Yes
Rear		
Class 1 Material	25% min.	40% min.
Class 2 Material	75% max.	60% max.
Glazing	Encouraged	Encouraged
75’ Rule	Yes	No
50’ Rule	No	Yes

Materials Notes:

1. “Class 1” and “Class 2” are defined in 6.3.7
2. See 6.3.3 for definition of 75’ Rule and 50’ Rule.

3. Amounts specified in the materials requirement chart above may be adjusted in cases where quality of a particular building design is of a high standard and warrants a different percentage of materials than is specified in the table above.

~~6.3.9 Color~~

~~Concept~~

- All accent colors are intended to complement and enhance the Lincoln District West.

~~Standards~~

- Cast (or natural) stone: Although a range of hues is anticipated, the colors chosen should be sympathetic to Lincoln Commons. Using a ledge stone style of stone, the colors should be selected and installed in such a way as to appear natural yet uniform from building to building.
- Brick: Colors ranging from a warm tan to burgundy-brown are acceptable. The brick is encouraged to be smooth/uniform in texture.
- Stucco: Smooth to medium textures will be utilized in a range of tan, beige, warm grays, rusts, and medium browns to contrast yet complement the rough texture and deep colors of the stone.
- Concrete masonry units must be integrally colored and textured. Buildings should avoid a painted or flat look.
- Ornamental Ironwork: Colors may be black, charcoal, brown, or slate/forest green, and be deemed appropriate to the architectural composition and the overall center.
- Glazing: Glazing may be clear, frosted, ~~spandrel~~, fritted or patterned. Use of insulated panes using "low E" is encouraged. Reflective Glazings shall not exceed 30% reflectivity.
- Architectural Roofing: Roofing materials shall be comprised of zinc-coated metal, copper, natural-looking clay, metal, concrete or slate tiles, horizontally-accented asphalt shingles, or other materials compatible with the architectural character within the center's color palette.
- Light Standards: Lights and light standards in parking areas, major drives, and pedestrian walkways shall be per the master SFP, including light standards at loading bays.
- Integrally colored precast concrete: Precast concrete shall be light-medium tan/buff with a smooth, uniform finish.
- Awning and canopy colors: Awning colors may vary but must be compatible with the building materials. Awnings may not be striped or multi-colored unless incorporating approved signage components. No bold or intense colors are acceptable. Prototype or franchise colors are subject to approval by the Lincoln District DRC and the City of Lone Tree.
- Accent tiles: Accent tiles may be introduced if compatible with the architectural design of the building and shopping area. The color of the tiles must complement the overall center and is subject to approval by the Lincoln District DRC and City.
- Corporate Colors: Corporate colors may be included exclusively in signage, awning signage, and/or logos. All colors are to be approved by the Lincoln District DRC and City.
- Bold or intense colors are prohibited unless previously approved by both the City of Lone Tree and the Lincoln District DRC. If approved, these colors should be limited to signage or other accent areas.

~~6.3.10 Drive-Thrus~~

~~Concept~~

- Pad buildings may incorporate drive-thrus that comply with the City of Lone Tree Development standards.

~~Standards~~

- Drive-thru lanes must provide for adequate stacking of vehicles in front of the order board as well as between the order area and pick-up window(s).
- Stacking of cars must be designed to prevent encroachment into drive aisles, parking lots, or streets.
- Pad sites adjacent to Lincoln Avenue with drive-thrus require screen walls or approved dense landscaping for those drive thru lanes adjacent to public roadways or site access drives. Screen walls shall be no less than 32" in height and comply with Wall criteria found in these guidelines.

6.3.11 Awnings and Canopies

Concept

- Use of awnings and canopies is encouraged. Awnings must be canvas and of a complementary color to the buildings of the overall center; canopies are typically metal. Awnings and canopies must project a minimum of 4' from the building face. Signage may be placed on an awning or canopy if architecturally compatible with the building, as approved by the City of Lone Tree. They must be consistent throughout the building.

6.3.12 Roofs

Standards

- The use of hips, sheds, and towers is encouraged to provide a varied roofscape. These may include; Zinc-coated standing seam metals, copper, natural-looking clay, concrete or slate tiles, horizontally-accented metal or asphalt shingles, or other materials compatible with the architectural style and character.
- Flat roofs must be fully screened by parapets.
- When parapets do occur, they shall be finished with either an articulated cornice or pre-finished metal coping cap of complementary color.
- Warm blacks and charcoal colors are not permitted as architectural roofing materials, except in small/ accent areas.
- Use of primary colors in roofing materials is prohibited with the exception of its use on icon buildings which may be used to create a character, or story, for the project.

6.3.13 Screening of Rooftop Units

Standards

- Building parapets or screen walls of equal heights should be used to screen equipment from the equally elevated surroundings.
- Screen walls should match the design, detailing, and materials of the building.
- A view study that analyzes this condition may be required; if deemed appropriate, screening may not be necessary.

6.3.14 Ornamental Iron Work

Standards

- Where appropriate, ornamental ironwork shall be introduced into the overall composition of building facades. If used, ironwork is to comprise a minimum of 5% of entry elements. Decorative metal shall be factory-finish or baked-on powder-coated finish.

~~**6.3.15 Loading Docks**~~~~Concept~~

- ~~• Loading dock areas must be screened throughout the project.~~

~~Standards~~

- ~~• Dock areas, where exposed to public view, shall be screened with a brick, cut stone or integrally-colored textured concrete masonry wall that is a minimum of 14'-0" above the grade of the dock and a minimum length to effectively screen tractor trailers. Walls shall meet architectural requirements listed in this document.~~
- ~~• Lights incorporated at dock areas and at the rear of buildings shall be cut-off fixtures. Wall pack lights are prohibited.~~

~~**6.3.16 Downspouts**~~~~Standards~~

- ~~• Downspouts may not occur on any building's front façade with the exception of copper or zinc-coated metal downspouts at canopies or entry elements. Downspout colors that occur at sides and rears shall be designed in accord with these standards. In general, downspout color should match background material colors.~~

~~**6.3.17 Utility Meters and Gear**~~~~Guidelines~~

- ~~• Exposed gas and electrical meters, conduit and equipment are to be grouped together when possible and painted to match the building architecture or adjacent surfaces. Screening, such as screen walls to match the architecture, mesh screen walls, or dense landscaping is encouraged.~~

~~**6.3.18 Trash Enclosures**~~~~Standards~~

- ~~• Trash enclosure areas, freestanding dumpsters, or compactors shall be fully-screened with walls of the same materials used in the adjacent buildings and provided with durable, painted powder coated solid metal gates.~~
- ~~• The enclosure shall be designed such that is it gated on one side and that the other three sides are in full compliance with screen wall requirements of both these standards and the City of Lone Tree.~~
- ~~• The height of the trash enclosure wall must be a minimum of 18" higher than the dumpster with a cap, or the enclosure shall have an approved cover.~~
- ~~• Any internal surfaces that are visible from the exterior with the gates closed must be painted to be complimentary to the exterior material.~~

~~Guidelines~~

- ~~• Enclosure walls of trash enclosures, loading docks and other areas vulnerable to vandalism should be covered with an anti-graffiti coating~~

~~**6.4 Landscape Standards**~~~~**6.4.1 Landscape Character**~~~~Concept~~

- ~~• Create a distinct landscape character that creates identity, adds value and is water-efficient.~~

Standards

- Planting composition and type shall be appropriate to the climatic and environmental conditions of the site.

Guidelines

- Development edges adjacent to open space should extend that character into the development site.

6.4.2 Planting and Groundcover

Concept

- Minimize environmental impact and maintenance cost of planting and maintain their high quality and aesthetic character. Focus intensity of landscaping at highly visible areas.

Standards

- Soils shall be tested for horticultural suitability and amended as necessary to create an environment conducive to proper plant health and vigor.
- Use of gravel, rock, crushed or decomposed granite or other such material, or wood chip or other similar mulches or groundcovers must be limited to areas below shrub masses, mow strips or areas where planting is not feasible.
- Minimum plant sizes are as follows:
 - o Deciduous shade trees - 2" to 3" caliper
 - o Deciduous ornamental trees - 1.5" to 2" caliper
 - o Coniferous evergreen trees - 6' to 10' tall
 - o Shrubs - #5 container
 - o Groundcover - 4-inch pot
 - o Un-manicured native grass - Seed
 - o Manicured Native grass - Seed
 - o Turf - Sod

Guidelines

- Low-water-use plant materials should be used wherever possible, including native grasses and drought tolerant perennials. High-water-use plants should be confined to areas with high pedestrian activity or used as special accents in gateway or plaza areas. Refer to the Master SIP for the approved plant palette. Other plant species may be acceptable, subject to Lincoln Commons DRC approval.
- Plants with similar water requirements should be grouped together.

6.4.3 Irrigation

Concept

- Conservation of water resources and Irrigation design that promotes plant growth

Standards

- Landscaped areas must utilize drip or other low volume application systems controlled by automatic computerized clocks, which will be linked to rain sensors. One rain sensor per two controllers is required.
- Spray heads must minimize over-spray to non-pervious areas including sidewalks, buildings and roadways.

Guidelines

- The use of spray irrigation should be minimized directly around the perimeters of buildings.

~~6.4.4 Walls~~

~~Concept~~

- ~~• Walls should enhance the Lincoln District streetscape and/or open space rather than detract from it.~~

~~Standards~~

- ~~• Please refer to Section 6.2.3 and the Master SIP for grading details~~
- ~~• Wall color, material and design shall compliment the natural environment or building architecture.~~
- ~~• Use retaining walls to minimize excessive slopes.~~
- ~~• Retaining walls shall be constructed of materials that blend with the natural or constructed environments. Wire-cut concrete block and unfinished concrete are not allowed.~~
- ~~• The slope ratio between tiered retaining walls shall not exceed 3:1.~~
- ~~• The minimum distance between tiered retaining walls shall be 6 feet.~~

~~Guidelines~~

- ~~• Terrace retaining walls should be considered if higher than 4 feet.~~
- ~~• Walls should have a decorative top or cap. Appropriate pilasters, pillars, columns or other elements, as approved by the Lincoln District DRC and the City of Lone Tree may punctuate the wall line.~~

~~6.4.5 Streetscape, Sidewalks and Crosswalks~~

~~Concept~~

- ~~• Create an active, vibrant, pedestrian-scaled public streetscape with rich character for pedestrian-oriented areas.~~
- ~~• Ensure that pedestrian uses are adequately separated from automobile uses.~~
- ~~• Sidewalks will be of ample width to be comfortable and inviting to the pedestrian.~~

~~Standards~~

- ~~• Pedestrian sidewalk widths shall be per the Master SIP.~~
- ~~• Sidewalks shall be constructed of concrete pavement, precast concrete pavers, or other comparable material.~~
- ~~• Concrete paving or painted striping for pedestrian crosswalks shall be provided at intersections and drive aisles.~~
- ~~• Street trees shall be provided along streets to provide scale, shade and interest. Where street trees are located in impervious paving, the trees shall have proper soil preparation, amendments and drainage.~~

~~Guidelines~~

- ~~• Detached sidewalks are recommended along streets with no adjacent occupied use. A minimum of a six-foot planting strip should be provided between the back of curb and the sidewalk.~~
- ~~• Attached sidewalks are recommended where buildings and storefronts face onto streets or high pedestrian traffic areas.~~
- ~~• Raised pedestrian crosswalks can be used at intersections, drive aisles or where important pedestrian connections warrant. Crosswalks should be visually different in color and provide a texture, where possible, to demarcate the pedestrian area.~~
- ~~• Outdoor café seating is encouraged, and sidewalk dimensions should allow for such seating where appropriate.~~
- ~~• The display of retail merchandise outside of stores is permitted (subject to City approval), and sidewalk dimensions should allow for such display where appropriate.~~

6.4.6 Site Furnishings

Concept

- Site furnishings that are visually attractive and coordinated to create a sense of character and identity for the project.
- Site furnishings that are used to give a human scale to sidewalk areas and public spaces within the District.
- Site furnishings that are durable and comfortable for people to use.

Standards

- Please refer to the master SIP for specifications and locations.
- All site furnishings must be easy to maintain and vandalism-resistant.
- The palette of site furnishings may vary between neighborhoods within the District, but should be consistent within neighborhoods.
- Tree grates shall be provided where high pedestrian activity and/or on-street parking is anticipated and used to prevent soil compaction and to give added interest to the ground plane. Tree grates shall be fabricated of strong, non-rusting steel, capable of supporting maintenance vehicles.
- Newspaper vending machines, if used, shall be grouped in pedestal-mounted racks near activity centers or principal entry points to buildings.

Guidelines

- Benches should be located with the goal, but not requirement, of receiving direct sunlight and sheltered from the winds in winter, and shaded in summer.
- Benches should be provided at regular intervals along sidewalks.
- Where appropriate, tree guards should be used to give added protection to young trees.
- The use of additional site furnishings, including but not limited to trash receptacles, planters, bollards, clocks, drinking fountains, newspaper racks or corrals is encouraged. Where utilized, the design of these elements should complement the design of the adjacent architecture and streetscape, and are subject to City approval.

6.5 Signage

All sections of The City of Lone Tree Sign Code and Design Guidelines shall be in effect. The City of Lone Tree's sign code will govern with respect to the size, number, and design of signage. Also, the City's code and case-by-case approach will govern and prevail with any conflicts.

Signage should balance the need for auto-oriented scale with the pedestrian needs of the district and should adhere to an established hierarchy of sizes and types.

Signage design shall be harmonious with the materials, color, texture, size, scale, shape, height, placement, and shall enhance and extend the spirit of the architectural character of the district. Expressing the establishment's name and function clearly, while also serving as an expression of the high quality of the commercial environment is important. Graphic design shall be imaginative, simple, and clear. Creative and expressive signage solutions using a variety of materials are strongly encouraged as a means of enhancing visitor experience.

6.6 Lighting

Concept

- All light standards for parking lots, pedestrian lights, or wall-mounted fixtures shall be as follows:

Standards

• Fixtures

~~Street Lighting: Street lighting fixtures are specified in the master SIP. The fixture is manufactured by Lumec, Citca CTS model, Natural Aluminum (NP) color, and mounted 30' above grade with a Metal Halide lamp.~~

~~Parking Lot Lighting: Parking Lot lighting fixtures are specified in the master SIP. The fixture is manufactured by McGraw-Edison, Cirrus CIM model, Black (BK) color, and mounted 24' above grade with a Metal Halide lamp.~~

~~Ornamental Lights at Sidewalks and Pedestrian Plazas: Ornamental lighting fixtures are specified in the master SIP. The fixture is manufactured by Hadeo, model R52, Black (B) color, and mounted 14' above grade with a Metal Halide lamp.~~

~~Wall Lighting: Wall packs or other exposed bulbs are prohibited.~~

- ~~• All lights, except for security purposes, must be extinguished one hour after end of business and remain off until one hour before commencement of business hours. This stipulation includes all signage lighting.~~
- ~~• Lights mounted on the ground or on poles for the purpose of illuminating the building façade are prohibited, unless approved through the SIP process.~~
- ~~• Anchors and Shops: One light for every 60' of curb frontage, average.~~
- ~~• Pad Buildings: One light for every 45' of frontage at pad entry façade. (A minimum of two lights shall be provided regardless of length of frontage).~~
- ~~• Accent lighting or the use of decorative lights that are consistent with the architectural character of the center is encouraged.~~

6.7 Sustainability

Concept:

- ~~• The reduction of energy and non-renewable resource consumption is important in Ridgeway. Users within each district are encouraged to implement common sustainability practices in the design, material selection, and construction of their projects.~~

Standards

- ~~• Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is encouraged throughout.~~
- ~~• Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is required for all Office Use buildings greater than 50,000 gross square feet in this district.~~

Guidelines

- ~~• Site planning to maximize solar access with building's long axis in a generally east-west orientation.~~
- ~~• Architectural design integrating passive solar, natural ventilation, day-lighting and simple shading is encouraged. Implementation should establish the goal of exceeding the ASHRAE standards by 25 percent or more.~~
- ~~• Use of reusable, natural or recycled building materials and materials produced locally is encouraged.~~
- ~~• Landscape design integrating microclimate modification and the use of drought tolerant/low-water use plantings, where appropriate, is encouraged.~~
- ~~• Interior fixtures and furnishings that support water and energy conservation are encouraged.~~

- Recycling programs related to construction phase activities and post-construction building operations are encouraged.
- Trash dumpsters designated for recycling are encouraged, and shall be screened by approved trash enclosures.

6.8 Art in Public Places

Concept

- Where appropriate, public art should be provided and integrated with the site design. A community involvement process to conceive or produce such art is encouraged.

Standards

- Locations for public art are designated in the Master SIP
- At least one location for permanent art is required in the Lincoln District East
- At least one location for rotating art is required in the Lincoln District East

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APPENDIX

- A. Implementation Process
- B. Glossary of Terms
- C. Plant List
- D. Contact List

APPENDIX A: Implementation Process

The following section describes the Planning and the Approval Process for projects at Lincoln Commons

Overview

The Lincoln Commons master SIP sets forth the framework for the development in terms of land uses and general development guidelines. Further, the master SIP contains the overall site plan including parking and drives, landscape plan and design, and placement and architectural concept of the buildings to be built as phase one by the master developer. The Design Guidelines address issues concerning overall site design, building design, construction, materials, detailing, landscape design, signage, and site standards for specific pad development for the first phase and subsequent phases of construction. As a package, the SIP and the Design Guidelines address:

- The overall plan for streets, plazas, and open space;
- Amount of floor area proposed;
- Building height, setback, and architectural concept;
- Landscape quantities, theme, plant type, and street treatment standards and guidelines.

These documents establish a set of comprehensive standards that serve as the framework for development.

SIP Amendment

Each SIP Amendment will be submitted to the Lincoln District DRC and the City of Lone Tree for approval, and be evaluated against the “RidgeGate Retail District West Sub-Area Plan Design Standards and Guidelines,” City regulations, and the approved master SIP.

All anchor buildings, the cultural center, the parking garages, and any hotels, and projects of similar size and impact as determined by the Director will be will be subject to a Major Revision process including Planning Commission and City Council review.

The review of all other buildings will require review and approval only by the Planning Commission, and submittal will consist of all building elevations, vicinity map and material sample board. Referrals will not be required for projects that are consistent with the approved master SIP. Planning Commission decisions for denial may be appealed to the City Council for final action.

APPENDIX B: Glossary of Terms

50-foot Rule: No wall expanse or individual tenant shall extend over 50 lineal feet without incorporating at least one architectural feature of at least 24' in length total and at least 12' or one-third the building height, whichever is greater.

75-foot Rule: No wall expanse or individual tenant shall extend over 75 lineal feet without incorporating at least one architectural feature of at least 24' in length total and at least 12' or one-third the building height, whichever is greater.

Anchor: A single retail tenant 10,000 to 50,000 square feet in floor area.

Blade sign: A two-sided sign that hangs perpendicular to the building.

Changeable panels: Sign panels which contain advertising information, copy, forms or images that are intended to be removed in whole or part, changed and replaced with new advertising information, copy, forms or images.

CMU Ground Face: A decorative style of concrete masonry unit (CMU) whose exterior face has a smooth texture and some aggregate is exposed.

CMU Split Face: A decorative style of concrete masonry unit (CMU) whose exterior face has a rough, stone-like texture

Demised Premises: The area occupied by the tenant and defined by the lease line.

High Bay Building: A single story building with a high roof structure used to create the exterior appearance of a two story building.

Icon Building: A building of great prominence as designated by the developer.

Landscaping: Consists of any combination of materials such as, but not limited to, grass, ground covers, shrubs, vines, hedges, trees, or other live plant material. Non-live material such as rocks, pebbles, mulches, fences, walls, pavers, benches, irrigation systems, and other site amenities are also to be considered landscaping.

Lease Line: A combination of wall planes, center lines or finished faces which define the limits of the tenant area.

Lincoln District DRC: A committee consisting of members from the Ridgeway DRC, the City of Lone Tree and the master developer of the Lincoln District East.

Low 'E': Glazing that contains coatings that filter out the heat producing portions of the solar spectrum, but

still allow the greatest possible visible light transmittance.

Master Developer: Opus Northwest, LLC and Coventry Development

Monument Sign: A monolithic sign and base structure, freestanding, and installed in a landscaped area.

Office: Means a place of business for predominantly administrative, professional or clerical operations, i.e., accounting; architect; attorney; bookkeeper; broker; doctor; dentist; chiropractor; psychologist; drafter; bank; savings and loan; insurance company; credit union; credit-reporting agency; developer; contractor; engineer; surveyor; planner; insurance agency; interior design; landscape architect; pharmacy; notary; stenographer or clerical services.

Pad: A retail tenant located in a free standing building of approximately 1,200 to 10,000 square feet in floor area, usually located along the perimeter of the site.

Permissible Building Area: Specific area of an outparcel designated for the location of above ground structures such as buildings. Generally, the boundaries are determined by setback and view corridor requirements.

Pilaster: An ornamental rectangular column with a capital and base, projecting only slightly from a wall.

Setback: A required minimum distance between a structure or other use and a property line or other determined point.

Shop: A multi-tenant retail building. Usually shares a common wall with adjacent tenants.

USG Imperial Plaster System or EIFS: A stucco system with a high level of durability.

Vehicle stacking: The space allowance for a number of cars or trucks waiting to use drive-up facilities or traffic control points such as stop signs, lights, pick-up lanes, left turn lanes, deceleration and acceleration lanes.

Vision Glass: Glazing that is clear in color and allows sight through all panes without obstruction or distortion.

Wall Plane: The vertical area of a building's exterior walls, which includes columns, pilasters, openings, projections, etc. within the same plane.

APPENDIX C: Plant List

Please refer to Master SIP for acceptable plat materials and species.

APPENDIX D Contact List

Developer:

Coventry Development
~~10475 Park Meadows Drive~~ 10270 Commonwealth Street, Suite B
Lone Tree, Colorado 80124
720.279.2581

~~Opus Northwest, LLC
1855 Blake Street, Suite 200
Denver, Colorado 80202
303.297.3700~~

Civil Engineer:

Merrick & Co.
~~2450 South Peoria Street, Suite 125
Aurora, CO 80014
303.751.0741~~

Land Planner / Architect:

The Mulhern Group
1730 Blake Street, Suite 435
Denver, CO 80202
303.297.3334

Landscape Architect:

Design Studios West
1475 Lawrence Street, Suite 100
Denver, CO 80202
303.623.3465

Traffic Engineer:

Felsburg Holt & Ullevig
6300 South Syracuse Way
Centennial, CO 80111

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RidgeGate Retail District West Commercial Mixed-
Use Sub-Area Plan
Town Center East

Chapter 7

Design and Character Guidelines

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7.1 Town Center East Introduction

The Town Center Districts are composed of the two southern blocks of Lincoln Commons, bounded by Sky Ridge Avenue to the north, the Willow Creek open space to the east, and Ridgeway Parkway to the south. Town Center East is comprised of the “block” bordered on the west edge by Commons Street, between Sky Ridge Avenue and Ridgeway Parkway, and the Willow Creek Open Space defining the eastern edge.

The district will be an urban village based on an extension of the street grid and enhanced by a series of public spaces. It will be accessed by a series of pedestrian friendly streets leading one to the “Commons”, about which a variety of uses occur, including civic, entertainment, retail, restaurant, office and possibly residential. The Commons will include a variety of active and passive pedestrian spaces which ultimately connect to the Willow Creek Open Space.

The Town Center East architecture shall be a reflection of multiple buildings of varied uses built over time. The mix of building types and heights will add great interest, and the streetscape will act as the major organizational element. To that end, the architecture shall be a mix of traditional and contemporary architecture whose differences make it interesting and exciting. It should take advantage of its varied heights and site location through use of towers or other architectural elements so that each building may develop a special identity.

The guidelines for this District will not be prescriptive but will allow for the flexibility to judge a building based on its appropriateness to where it is sited and its relationship to the street. This concept has been tested in many lifestyle centers around the country, where an eclectic mix of architectural styles and massing of buildings play off each other. This process will be overseen by the Town Center East Design Review Committee and the City of Lone Tree.

7.1.1 Block by Block Description

Commons Green Drive (street leading to)

The primary focus of the Town Center East District is the Commons, a green public space for kiosk-scale specialty food and drink, markets, fairs and performances, or simply a respite from other activities. As the saying goes, all streets lead to it; in this case all uses act as a visually-stimulating background or definition for the Commons itself. The physical confines of the multi-functioning buildings around it create a strong urban fabric to the Commons and give it a strong pedestrian character. The space is somewhat irregular in shape, controlling the flow of traffic in a calming way and creating areas of different scale for use in varying purposes. The scale of the sidewalks on the north and south street boundaries inspire bringing landscape, texture and visual stimulus from the storefronts abutting the sidewalk to the edge of the curb. Building entrance overhangs, tree canopies and specialty light fixtures create a visual canopy, giving the shopper a sense of intimacy not seen in other districts at Lincoln Commons. The horizontal surfaces are more stimulating and richer in character, again hinting at the level of detail and care taken in creating a strong street sense.

To the east the Commons intersects the Willow Creek Open Space, opening up to bike paths, trails, prairie-style landscape gardens, and larger plaza and outdoor performance spaces. In essence, the Willow Creek Open Space acts as a backdrop for the privatized Commons space, with a plaza serving the Lone Tree Cultural Center and Office Building acting as the transition between the spaces.

Town Ridge Drive (north-south central street)

The north-south street shall serve as a connection to the Town Center Districts from Sky Ridge Avenue and act as a transition from the Lincoln Districts to the Commons. It shall be a primary shopping street made up of one-story retail shops with high-bay massing occurring at the intersection at Sky Ridge Parkway and at the street corners when intersecting the Commons. The shops may break up in street rhythm to provide locations for free-standing restaurants or pad buildings whose architecture may be of a special nature, or iconic, reminiscent of another time. The shops on the east side of the street will serve to screen views of the shared parking facility. The street character of the sidewalks use plant material and specialized paving to develop a strong sense of texture, with trees and plantings, bike racks, and pedestrian lighting creating a rhythm that interfaces with the storefront entrances. Benches placed along the streets create pockets of interest for people-watching or for taking a break from shopping and other activities.

The northeast block

This block is expected to host the library and cultural center, retail space, office space and the district-serving parking structure. The massing of buildings on this block will be made more interesting and inviting by a varied architecture.

The importance of centralized parking is to create a more urban feel to the project, allowing the street character to be determined by architecture and streetscape. The potential impact of the structure will be mitigated by “wrapping” it with retail and civic uses on the west and south sides. The north and east facades are expected to maintain an architectural presence consistent with the buildings in this district.

Pedestrians will enter and exit the structure through paseos which lead either south to the plaza between the civic uses or west onto Main Street. These paseos will be characterized as inviting intimate space that quickly leads to grander places. The auto access is limited to an entrance and exit off of Sky Ridge Avenue, minimizing the auto impact on the project.

The northwest block

This block is very urban in character, with buildings being brought close to the street and massing varying along the streetscape. Corners are highlighted by higher architectural shapes, which could be a tower, covered walkway with raised parapet, or one and a half-story massing. The street character is intimate, with street trees and plantings placed within the pedestrian walk in a regular pattern for interest. The street pattern steps back at the four corners to allow for visual attention to the architecture and create a gathering place for shoppers.

The southwest block

An entertainment anchor is centered on the block with smaller-scaled retail and restaurant uses wrapping the building. At the corners, the massing is held back and employs strong architectural elements, becoming a conduit for pedestrian gathering. An entry plaza in the middle of the block serves as an exterior pre-function space for the entertainment anchor, with ample seating and planting areas. The streetscape along this block is again congenial to the pedestrian, by creating a rhythm of pedestrian lighting, benches, specialty paving and street trees.

The southeast block

This block is expected to accommodate larger-scale buildings (within building height criteria) having a commercial emphasis. Architectural interest is created through undulating facades and covered walkways, where mixed uses can occur. This area complementarily frames the Commons with the civic uses on the north side. The edge along the Willow Creek Open Space is definitive, where the architecture takes advantage of this natural feature.

7.2 Urban Design Guidelines

The purpose and intent of these guidelines is to shape the development of the Town Center District East. These guidelines will provide assurance to city officials, planners, neighbors and other stakeholders that the infrastructure and buildings will be of consistent high quality through the build out of the district, as contemplated by the master SIP. The buildings will demonstrate the vision that the Town Center East is characterized as urban, dense and pedestrian-oriented.

This document will also serve to facilitate the review of all structures and landscape improvements proposed for this district, to ensure the design intent and quality is consistent with the concepts set forth in the master SIP.

7.2.1 Application of Standards and Guidelines

Where these standards and guidelines do not address a specific subject, the city's standards and guidelines will prevail.

7.2.2 Vehicular and Pedestrian Access and Circulation

Standards

- Parallel parking shall be incorporated at streets to support ground level retail and office uses, and to provide a buffer to pedestrians from the street.
- Both public and private streets internal to the overall site boundaries shall be designed to have an urban feel. Along with the parallel and diagonal parking they shall incorporate street trees generally at regular intervals, in tree lawns, shrub beds or grates, street furnishings and attached and detached walks as appropriate.

7.2.3 Building Location and Heights

Standards

- Buildings should integrate with the streetscape. No other internal building setbacks shall apply.
- In order to integrate with public open spaces, there shall be no setbacks adjacent to the Willow Creek open space.
- Building height shall be a maximum of 70' and five stories.

7.2.4 Parking, Parking Lots and Parking Structures

Concept

- Shared, structured parking should be utilized to create a more compact, walkable environment.
- Shared parking formulas used are indicated in the Master SIP.
- Structured parking could come in a phased effort as critical mass dictates and as required by the City.

- Surface parking areas are permissible if within a parking court buffered on no less than two sides by buildings.

Standards

- Parking structures shall be compatible in massing, scale and materials with the buildings they support or surround.
- Minimum stall sizes shall be as follows:

Handicapped-Accessible:	Per ADA standards
Standard:	90° = 9' x 18'
	60° = 9' x 20'
	45° = 9' x 19'
Compact:	90° = 7'6" x 15'
	60° = 8' x 15'
	45° = 7'6" x 17'
Parallel	= 9' x 20'
- Compact-sized parking spaces may only be used if they exceed the City's requirements for parking ratios using standard-sized spaces, unless otherwise determined by the City.
- Overhang allowance for spaces adjacent to perimeter or islands:

Standard:	2'
Compact:	1'
- Minimum drive aisle widths shall be as follows:

Two-way traffic:	22' (15' for standard size 45° parking)
One-way traffic:	18'
Parallel	12'
- In the event of surfaced parking, landscaped parking islands shall be provided at the ends of on-grade parking bays and should be a minimum of 8' in width from back-of-curb to back-of-curb. Landscaping is defined as vegetation and/or decorative gravel mulch.
- Surface parking lots with exposed perimeters (not adjacent to buildings) should be screened at the ground level with a combination of landscaping and low walls.

Guidelines

- Structured parking areas may incorporate perimeter landscaping to mitigate the visual impact of the structure.
- Lighting in parking structures should be cut-off to minimize offsite impacts.
- Surface parking lots should be segmented into smaller areas by using planted or concrete medians where appropriate. Proper car overhang must be considered in designing the landscaping.

7.2.5 Pedestrian Walks

Concept

- Town Center East is designed to be a pedestrian-focused environment.

Standards

- Special attention shall be given to all walking surfaces. Walks at major public areas, such as plazas, and other intentional gathering places shall feature "premium" surface materials as indicated on the master SIP.
- Standard concrete should not be used in large amounts or "fields" in primary areas, but should not be completely discouraged.

Guidelines

- Please refer to the master SIP for the Town Center District East regarding intent for planters, trees

and shrub beds.

- Tree locations may be adjusted with city approval, but the tree layout shown on the master SIP at the sidewalks shall be matched as closely as possible. In general, one tree for approximately every 30' of building frontage is appropriate.
- Pedestrian-scale pole lights and other furnishings will contribute to the pedestrian nature of this district.

7.2.6 Site Furnishings

Concept

- Site furnishings include benches, bollards, portable planters, waste receptacles, bicycle racks, tree grates and special manhole covers, etc.
- Diverse styles of site furnishings shall be incorporated at the Town Center District to add interest, varying from one area to another.
- All components of outdoor site furniture should be low-maintenance and durable, and materials should be compatible with the architecture in that area.
- These fixtures shall be located at all major pedestrian plazas, sidewalks, building entries and other areas deemed appropriate by the master SIP and Amendments to the SIP.

Standards

- Please refer to the master SIP for specifications and locations.
- All site furnishings must be easy to maintain and vandalism-resistant.
- The palette of site furnishings may vary between neighborhoods within the District, but should be consistent within neighborhoods.
- Tree grates shall be provided where high pedestrian activity and/or on-street parking is anticipated and used to prevent soil compaction and to give added interest to the ground plane. Tree grates shall be fabricated of strong, non-rusting steel, capable of supporting maintenance vehicles.
- Newspaper vending machines, if used, shall be grouped in pedestal-mounted racks near activity centers or principal entry points to buildings.

Guidelines

- Benches should be located with the goal, but not requirement, of receiving direct sunlight and sheltered from the winds in winter, and shaded in summer.
- Benches should be provided at regular intervals along sidewalks.
- Where appropriate, tree guards should be used to give added protection to young trees.
- The use of additional site furnishings, including but not limited to trash receptacles, planters, bollards, clocks, drinking fountains, newspaper racks or corrals is encouraged. Where utilized, the design of these elements should complement the design of the adjacent architecture and streetscape, and are subject to City approval.

7.2.7 Landscape Character

Concept

- Create a distinct landscape character that creates identity, adds value and is water-efficient.

Standards

- Planting composition and type shall be appropriate to the climatic and environmental conditions of the site.
- Minimum plant sizes within the Commons:
 - o Deciduous shade trees - 4" caliper minimum
 - o Deciduous ornamental trees – 4" caliper minimum

- o Coniferous evergreen trees – 10’ tall minimum

Guidelines

- Development edges adjacent to open space should extend that character into the development site.
- Materials should emphasize year-round character
- Placement of materials in various settings is encouraged, i.e. ground level, planter boxes, and planters.

7.2.8 Public Plazas

Concept

- Create flexible, active and vibrant public spaces that are defined and energized by retail or commercial edges and able to accommodate both small and large-scale use.

Standards

- Vendor carts or kiosks shall be allowed as approved by the Town Center DRC and the City of Lone Tree. Their design must be of high quality and complementary to the surrounding areas.

Guidelines

- Plazas should be designed with smaller-scale and larger-scale gathering areas to accommodate small-group interaction as well as large public events.
- Where appropriate, public art should be provided and integrated with the plaza design. A community involvement process to conceive or produce such art is encouraged.
- Water features with spray heads should be limited to children’s play areas to conserve water.
- Water features should be attractive when not in use.

7.3 Architectural Character

The Town Center District East is about the creation of pedestrian friendly streets and great pedestrian spaces. The urban fabric of the master SIP should dictate the vertical building surfaces and continuity of street walls that are critical to urban place-making and a pedestrian oriented environment.

Great interest will be added to the streets through a variety of building types, including retail, restaurants, hotel, mixed-use, entertainment, office, and civic uses. Use of a variety of architecture, materials and heights will create a sense of a place built over time. To that end, a combination of traditional and contemporary buildings is encouraged. An interesting variety of building facades that are inviting and well detailed at the pedestrian level, while also creating an interesting and varied roofscape are encouraged.

This district should consist of multiple building heights. Single-story, high bay and multi-story buildings will combine to create a unique and appealing environment. In general, the character should be consistent with the massing plan shown in the master SIP.

7.3.1 Massing / Scale

Concept

- Individual facades should create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses.

7.3.2 Major Building Envelope

Concept

- A major building envelope may be considered either a single freestanding building or a grouping

of buildings.

- Building designs will be varied for interest and all design elements shall be complementary.
- The massing of elements will be sequenced to reinforce an overall hierarchy of scale. 360° architecture, when applicable, will be achieved by carrying the full palette of materials using a consistent pattern of banding, articulated cornices, and detailing around the sides and rears of the buildings. Architecture at interior of loading and parking courts shall be simplified and of cost effective materials allowing for upgraded facades at primary streets.

7.3.3 Building Façade and Entries

Standards

- The street-wall façade of buildings more than two stories in height will be articulated by three horizontal components in order to define a base, middle and upper zone. The base should give an appearance of greater height than other floors and should be composed of masonry and window systems with the window sill of the ground floor as near as possible to the adjacent walking surface.
- Pedestrian-scaled features, building entries and ground level uses should be oriented toward the street, contain rich architectural details and materials and relate to the street edge treatment.
- Windows should be recessed, and should be vertically-oriented. The use of sills and lintels are encouraged.
- Building facades should be articulated to add depth and shadow.

7.3.4 Building Sides and Rears

Standards

- The architectural expression of the sides and rear, when adjacent to public spaces, should be consistent with the front façade.

7.3.5 Materials

Standards

- The major building envelopes shall be composed of brick, stone, cast stone, integrally colored pre-cast concrete, stucco and glazing.
- Wood siding is acceptable as a well-placed, secondary material.
- Other materials may be considered by the Town Center DRC and the City of Lone Tree on a case-by-case basis. The character of existing surrounding materials will be considered when evaluating these suggestions.

7.3.6 Color

Concept

- In general, the color palette shall provide interest and excitement will being compatible with adjacent and nearby uses. Earth tones similar to those found throughout Ridgegate to date shall be introduced at the edges of the district to ensure compatibility. These may include soft brown, gray green, muted gold, tan, terra cotta, beige, and warm reds. Bright whites and cool grays' are not acceptable.
- Much greater variation of color is encouraged on the interior of the district. Care should be taken to ensure appropriateness based on use and compatibility.

Standards

- Cast (or natural) stone: Although a range of hues is anticipated, the colors chosen should be sympathetic to the overall center. The colors should be selected and installed in such a way as to appear natural from building to building.

- Brick: Varying brick color schemes are encouraged. “Used” brick may be permitted by the Town Center DRC and the City of Lone Tree.
- Stucco: Smooth to medium textures will be utilized in a range of tan, beige, warm grays, rusts, and medium browns to contrast yet complement the rough texture and deep colors of the stone.
- Blacks and charcoal colors are not permitted on architectural roofing materials, except in small/ accent areas.

7.3.7 Roofs

Standards

- All mechanical, electrical and telecommunications systems shall be buffered from view to surrounding streets, structures, open space and parks with the use of building parapets or screen walls.

7.4 Signage

All sections of The City of Lone Tree Sign Code and Design Guidelines shall be in effect. The City of Lone Tree’s sign code will govern with respect to the size, number, and design of signage. Also, the City’s code and case-by-case approach will govern and prevail with any conflicts.

Signage should be focused on the pedestrian nature of the district and should adhere to an established hierarchy of sizes and types.

Signage design shall be harmonious with the materials, color, texture, size, scale, shape, height, placement, and shall enhance and extend the spirit of the architectural character of the district. Expressing the establishment’s name and function clearly, while also serving as an expression of the high quality of the commercial environment is important. Graphic design shall be imaginative, simple, and clear. Creative and expressive signage solutions using a variety of materials are strongly encouraged as a means of enhancing visitor experience.

7.5 Lighting

All light standards for parking lots, pedestrian lights, or wall-mounted fixtures shall be as follows (these do not include lights used along Ridgeway Parkway).

Standards

- Fixtures

Street Lighting: Street lighting fixtures are specified in the master SIP. The fixture is manufactured by Lumec, Citea CTS model, Natural Aluminum (NP) color, and mounted 30’ above grade with a Metal Halide lamp

Parking Lot Lighting: Parking Lot lighting fixtures are specified in the master SIP. The fixture is manufactured by McGraw-Edison, Cirrus CIM model, Black (BK) color, and mounted 24’ above grade with a Metal Halide lamp.

Ornamental Lights at Sidewalks and Pedestrian Plazas: Ornamental lighting fixtures are specified in the master SIP. The fixture is manufactured by Hadco, model R52, Black (B) color, and mounted 14’ above grade with a Metal Halide lamp.

- All lights, except for security purposes, must be extinguished one hour after end of business and remain off until one hour before commencement of business hours. This stipulation includes all signage lighting.
- Lights mounted on the ground or on poles for the purpose of illuminating the building facade are prohibited, unless approved through the SIP process.
- Ornamental pedestrian lights (with fixed-in-place banners): one per 60 l.f. of building curb frontage at adjacent drives, two lights per frontage, minimum.

7.6 Sustainability

Concept:

- The reduction of energy and non-renewable resource consumption is important in Ridgeway. Users within each district are encouraged to implement common sustainability practices in the design, material selection, and construction of their projects.

Standards

- Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is encouraged throughout.
- Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is required for all Office or Civic Uses in this district.

Guidelines

- Site planning to maximize solar access with building's long axis in a generally east-west orientation.
- Architectural design integrating passive solar, natural ventilation, day-lighting and simple shading is encouraged. Implementation should establish the goal of exceeding the ASHRAE standards by 25 percent or more.
- Use of reusable, natural or recycled building materials and materials produced locally is encouraged.
- Landscape design integrating microclimate modification and the use of drought tolerant/low-water use plantings, where appropriate, is encouraged.
- Interior fixtures and furnishings that support water and energy conservation are encouraged.
- Recycling programs related to construction phase activities and post-construction building operations are encouraged.
- Trash dumpsters designated for recycling are encouraged, and shall be screened by approved trash enclosures.

7.7 Art in Public Places

Concept

- Where appropriate, public art should be provided and integrated with the site design. A community involvement process to conceive or produce such art is encouraged.

Standards

- Locations for public art are designated in the master SIP
- At least one location for permanent art is required in the Town Center District East
- At least one location for rotating art is required in the Town Center District East

APPENDIX

- A. Implementation Process
- B. Glossary of Terms
- C. Plant List
- D. Contact List

APPENDIX A: Implementation Process

The following section describes the Planning and the Approval Process for projects at Lincoln Commons

Overview

The Lincoln Commons master SIP sets forth the framework for the development in terms of land uses and general development guidelines. Further, the master SIP contains the overall site plan including parking and drives, landscape plan and design, and placement and architectural concept of the buildings to be built as phase one by the master developer. The Design Guidelines address issues concerning overall site design, building design, construction, materials, detailing, landscape design, signage, and site standards for specific pad development for the first phase and subsequent phases of construction. As a package, the SIP and the Design Guidelines address:

- The overall plan for streets, plazas, and open space;
- Amount of floor area proposed;
- Building height, setback, and architectural concept;
- Landscape quantities, theme, plant type, and street treatment standards and guidelines.

These documents establish a set of comprehensive standards that serve as the framework for development.

SIP Amendment

Each SIP Amendment will be submitted to the Town Center District DRC and the City of Lone Tree for approval, and be evaluated against the “RidgeGate Retail District West Sub-Area Plan Design Standards and Guidelines,” City regulations, and the approved master SIP.

All anchor buildings, the cultural center, the parking garages, and any hotels, and projects of similar size and impact as determined by the Director will be will be subject to a Major Revision process including Planning Commission and City Council review.

The review of all other buildings will require review and approval only by the Planning Commission, and submittal will consist of all building elevations, vicinity map and material sample board. Referrals will not be required for projects that are consistent with the approved master SIP. Planning Commission decisions for denial may be appealed to the City Council for final action.

APPENDIX B: Glossary of Terms

CMU - Ground Face: A decorative style of concrete masonry unit (CMU) whose exterior face has a smooth texture and some aggregate is exposed.

CMU – Split Face : A decorative style of concrete masonry unit (CMU) whose exterior face has a rough, stone-like texture

Demised Premises: The area occupied by the tenant and defined by the lease line.

High Bay Building: A single story building with a high roof structure used to create the exterior appearance of a two story building.

Icon Building: A building of great prominence and special architectural style.

Landscaping: Consists of any combination of materials such as, but not limited to, grass, ground covers, shrubs, vines, hedges, trees, or other live plant material. Non-live material such as rocks, pebbles, mulches, fences, walls, pavers, benches, irrigation systems, and other site amenities are also to be considered landscaping.

Lease Line: A combination of wall planes, center lines or finished faces which define the limits of the tenant area.

Low 'E': Glazing that contains coatings that filter out the heat producing portions of the solar spectrum, but still allow the greatest possible visible light transmittance.

Main Street Anchors: Tenants of 50,000 square feet or more.

Office: Means a place of business for predominantly administrative, professional or clerical operations, i.e., accounting; architect; attorney; bookkeeper; broker; doctor; dentist; chiropractor; psychologist; drafter; bank; savings and loan; insurance company; credit union; credit-reporting agency; developer; contractor; engineer; surveyor; planner; insurance agency; interior design; landscape architect; pharmacy; notary; stenographer or clerical services.

Pad: A retail tenant located in a free standing building of approximately 1,200 to 10,000 square feet in floor area, usually located along the perimeter of the site.

Permissible building area: Specific area of an outparcel designated for the location of above ground structures such as buildings. Generally, the boundaries are determined by setback and view corridor requirements.

Pilaster: An ornamental rectangular column with a capital and base, projecting only slightly from a wall.

Setback: A required minimum distance between a structure or other use and a property line or other determined point.

Shop: A multi-tenant retail building. Usually shares a common wall with adjacent tenants.

USG Imperial Plaster System or EIFS: A stucco system with a high level of durability.

Vision Glass: Glazing that is clear in color and allows sight through all panes without obstruction or distortion.

Wall Plane: The vertical area of a building's exterior walls, which includes columns, pilasters, openings, projections, etc. within the same plane.

APPENDIX C: ~~Plant List~~

Please refer to master SIP for acceptable plant materials and species

DELETED

APPENDIX D: Contact List

Developer:

Coventry Development

10475 Park Meadows Drive 10270 Commonwealth Street, Suite B

Lone Tree, Colorado 80124

720.279.2581

Opus Northwest, LLC

1855 Blake Street, Suite 200

Denver, Colorado 80202

303.297.3700

Civil Engineer:

Merrick & Co.

2450 South Peoria Street, Suite 125

Aurora, CO 80013

303.751.0741

Land Planner / Architect:

The Mulhern Group

1730 Blake Street, Suite 435

Denver, CO 80202

303.297.3334

Landscape Architect:

Design Studios West

1475 Lawrence Street, Suite 100

Denver, CO 80202

303.623.3465

Traffic Engineer:

Felsburg Holt & Ullevig

6300 South Syracuse Way

Centennial, CO 80111

DELETED

RidgeGate Retail District West Commercial Mixed-
Use Sub-Area Plan
Town Center West

Chapter 8

Retail District Standards and Guidelines

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8.1 Town Center West Introduction

This District is located in the southwest quadrant of Lincoln Commons with direct access from Ridgeway Parkway, Commons Street and Sky Ridge Ave. The opportunity for this district is to combine vehicular-oriented tenants and their need for good visibility, good access and adjacent parking fields as seen in the Lincoln District with the urban village character of the Town Center East. The result should be a unique mix of uses that links the other three districts of Lincoln Commons together.

The design of the Town Center West is based on an extension of the grid street system established in the Town Center East but is both pedestrian and vehicular friendly. Parking shall be broken up into smaller parking fields. The landscaped edge adjacent to Ridgeway Parkway will help provide a buffer from the residential uses to the southwest.

Building Architecture should be an extension of the rest of Lincoln Commons, but should be similar to the Town Center East on the eastern side and Lincoln District East on the western side. Building materials shall be compatible with those incorporated in the initial phase and will use brick and stone as primary materials and stucco/EIFS as background material.

8.1.1 Application of Standards and Guidelines

Where these standards and guidelines do not address a specific subject, the City's standards and design guidelines will prevail.

8.2 Site Planning Standards

Unless otherwise specified, these Design Standards and Guidelines shall apply to any site, regardless of use, within the Town Center West. Certain Standards may apply only to specific retail areas or uses. Such applicability will be clearly stated within the standard. The street pattern and the retail uses adjacent to Commons Street as shown in the Master SIP should be closely maintained.

8.2.1 Vehicular and Pedestrian Access and Circulation

Concept

- Maximize opportunities for ease of circulation both within and between retail neighborhoods.
- Establish vehicular circulation hierarchies and create pedestrian opportunities commensurate with those hierarchies.
- Retail traffic should rely upon Commons Street as the primary access point.
- Internal primary roadways will be public, but will be designed as circulator streets rather than through streets (although through movements will be allowed).

Standards

- Both public and private streets internal to the overall site boundaries shall be designed to have an urban feel. The integration of parallel and diagonal parking, street trees generally at regular intervals, street furnishings and attached and detached walks will contribute to that urban feel.

8.2.2 Building Location and Heights

Standards

- No other internal building setbacks should apply; buildings shall be brought to private streets wher-

ever possible.

- Building height shall be limited to 40' and/or three stories.

Guidelines

- Unify design with common elements from block to block so that individual retail neighborhoods act to reinforce the others in its context.

8.2.3 Grading

Concept

- Minimize the visual impact of large retaining walls to any public streets.
- Effort should be made to work with the natural topography of the site.

Standards

- Please refer to Section 8.4.4 and the master SIP for wall details
- The same type and style of masonry block used in Lincoln District West retaining walls shall be used in Town Center West.
- The slope ratio between tiered retaining walls shall not exceed 3:1.
- Walls must be terraced if higher than 4'.
- Walls should have a decorative top or cap. Appropriate pilasters, pillars, columns or other elements, as approved by the DRC and the City of Lone Tree could punctuate the wall line.

8.2.4 Parking, Parking Lots and Parking Structures

Concept

- Mitigate the visual impact of the automobile from Ridgeway Parkway and Sky Ridge Avenue.
- In surface (non-structured) parking areas, provide landscaped parking and create a more compact, walkable environment.

Standards

- Standard curb and gutter or other appropriate improvements must define the parking lots.
- Parking structures, where utilized, shall be compatible in massing, scale and materials with the buildings they support or surround.
- Parking lots shall be properly drained.
- Parking lots shall be paved.
- Pavement grades shall not exceed 5% slopes within parking areas and drive aisles.
- Parking shall be set back a minimum of 20' from Ridgeway Parkway. No other parking setbacks are required.
- Minimum stall sizes shall be as follows:

Handicapped-Accessible:	Per ADA standards
Standard:	90° = 9' x 18'
	60° = 9' x 20'
	45° = 9' x 19'
Compact:	90° = 7'6" x 15'
	60° = 8' x 15'
	45° = 7'6" x 17'

- Compact-sized parking spaces may only be used if they exceed the City's requirements for parking ratios using standard-sized spaces, unless otherwise determined by the City.
- Overhang allowance for spaces adjacent to perimeter or islands:

Standard:	2'
Compact:	1'

- Minimum drive aisle widths shall be as follows:
Two-way traffic: 22' (15' for standard size 45° parking)
One-way traffic: 18'
- Landscaped parking islands shall be provided at the ends of on-grade parking bays and should be a minimum of 8' in width from back-of-curb to back-of-curb. Landscaping is defined as vegetation and decorative gravel mulch.
- Retail uses with shopping carts must demonstrate how carts will be regularly managed and properly screened using a design that is compatible with the primary building architecture. [
- In the event structured parking occurs in this district, the Town Center East standards and guidelines will apply.

Guidelines

- Surface (non-structured) parking lots should be segmented into smaller areas by using planted or concrete medians where appropriate. Planted medians in parking fields should accommodate a 6' wide landscape strip. Proper car overhang must be considered in designing the landscaping.
- Parking lots should be buffered from Ridgeway Parkway through the use of low walls, berming, landscaping and/or separation (setbacks).
- Parking areas should be buffered from prominent on-site view corridors.

8.2.5 Pedestrian Walks

Concept

- Lincoln Commons will be designed to provide a pedestrian friendly environment.

Standards

- Special attention shall be given to all walking surfaces, especially those in front of each retail entry. Walks at major public areas shall feature additional scoring and a minimum of 10% integrally colored or textured concrete. This area is determined by definition of the concrete walk running along the front (and sides, if a corner lot) of building frontage and within the block of the development. This concept is more clearly defined in the Landscape Section of these Guidelines.
- Planters will be placed between building entries where grade changes occur and unbroken walk areas exceed a width of 20 feet.
- Areas of standard paving greater than 20' will be mitigated by planting beds or enhanced paving.
- Attached planter boxes of brick or cast stone shall be provided for a minimum of 33% of unglazed building frontage that exceeds 30' in length.
- Trees shall be placed along facades in tree grates or shrub beds. Tree locations may be adjusted with city approval, but the number of trees shown on the Site Improvement Plan at the sidewalks shall not be reduced. One tree shall be provided for approximately every 30' of building frontage. They may be inline or grouped.
- Average depth from curb to building at users up to 11,999 s.f. shall be 12' minimum. For users 12,000 s.f. or greater shall be 17' minimum, and at Pad and outlying retail buildings, usually constituting a smaller footprint, are recommended to be a minimum of 12', including planters.

Guidelines

- Pedestrian-scale pole lights, wall-mounted lights, sidewalk benches, and colonnades with trellises will emphasize the pedestrian nature of the building fronts. Lights and street furnishings are further described below.

8.3 Architectural Standards

Town Center West will likely combine prototypical design from national retail tenants with site specific design taking cues from the Town Center East. The overall architectural concepts used in the Lincoln Districts West and East shall be brought to this District, including the creation of interesting massing, tower elements to address gateways and architectural focal points, sloped roof planes projected canopies and an enduring palette of high quality materials. Buildings adjacent to Commons Street should capture the look and feel of the buildings in adjacent to Commons Street in Town Center District East.

8.3.1 Massing / Scale

Concept

- Individual facades should create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses. Certain facades may have a broader scope (larger neighborhood view) and others may be more related to the pedestrian experience.

Standards

- Key building features, parapets, and steps shall be returned a minimum of 4' over the roof to create a sense of depth.
- Facades shall create a comfortably-scaled and appropriately detailed visual experience and complement the adjacent uses.
- All sides of the building should be attractive and interesting in accordance with their orientation and function.

8.3.2 Major Building Envelope

Concept

- A major building envelope may be considered either a single freestanding building or a grouping of buildings.
- Building designs will be varied for interest and all design elements shall be complementary.
- The massing of elements will be sequenced to reinforce an overall hierarchy of scale
- 360° architecture will be achieved by carrying the full palette of materials using a consistent pattern of banding, articulated cornices, and detailing around the sides and rears of the buildings

Standards

- The major building envelope shall be composed of brick, stone, cast stone, integrally colored precast concrete, and stucco/EIFS with detail and color arranged to establish a base, middle, and top. See chart at 8.3.8

8.3.3 Main Building Facade

Standards

- Ground floor entry facades that face public streets, drives, or plazas shall have arcades, display windows with vision glass, backlit glazing elements, entry elements, awnings, or canopies along no less than 60% of the building linear frontage.
- No wall expanse or individual tenant shall extend over 75 lineal feet at anchors and shop buildings and 50 lineal feet at pad buildings without incorporating at least one architectural feature of at least 24' in total length and at least 12' or one-third the building height, whichever is greater. These are known as the 75 and 50-foot rules. Architectural features shall include towers, entry elements, brick, or cast stone colonnades with trellises, pilasters, towers, flat metal canopies, awnings, projected brick elements (minimum 2'-8" in depth), vision glass, display windows, backlit frosted glass elements, or an expression of architectural bays where areas between columns are indented.
- Attached planters at buildings shall not be considered as an architectural feature, however, the use

of brick or cast stone on the planters will count toward elevation requirements, as it is a projection of the building base.

- Building bases are required to be capped with a ledger cap to overhang base material to create a shadow effect.

8.3.4 Building Sides and Rears

Standards

- The architectural expression of the sides and rear should be consistent with the front façade. This articulation need not occur within a screened loading court area. However, the wall area above the elevation of screen walls must meet the 75-foot rule as well as include cornice details, scoring, and roof details compatible with the overall center.
- Screen wall treatments should be constructed of brick, integrally colored and precast concrete, and/or integrally colored concrete masonry units. These walls should shield the majority of the building's rear façade.

8.3.5 Building Entries

Standards

- The entry to each user shall be highlighted and protected by a well-designed architecturally interesting arcade, recess, vestibule, awning, or canopy or a combination of the aforementioned.
- These entry elements shall be composed of brick, stone, cast stone, integrally colored pre-cast concrete, vision glass, and/or frosted backlit glass equaling a minimum of 60% of the wall area at Anchors and 80% at Pad buildings.
- The scale or mass of any tenant entry should be proportional to the square footage of the entry façade and be pedestrian in scale.
- No entry element shall extend beyond 1/3 the building height over parapet line. Signage should be in proportion to the entry element and should be designed to coordinate with the architecture of the building.
- Signage requirements are outlined in a separate section within this document.

8.3.6 Building Fenestration

Standards

- Windows should be recessed, not flat, and should be vertically-oriented. The use of sills and lintels are encouraged.

8.3.7 Material and Composition

Standards

Class 1 Materials

- Brick, stone, cast stone, metal panel, and integrally colored precast concrete, wood, heavy timbers or decorative steel: These materials shall be Class 1 building materials and their extensive use at all faces of a building is encouraged. The front face of columns clad in these materials shall be considered a part of the façade, as would attached masonry or stone planters. The proportion of materials may vary between users. When calculating the percentages of primary materials, glazing is considered a primary material.
- Glazing: All users are encouraged to maximize glazing to create an interesting storefront. Window and door frames are to be compatible in color and finish but may vary between buildings in a complimentary manner.

- Decorative steel: (columns, beams, stamped metal, panels, other ornaments) Ornamental Metals may be used to emphasize the design intent of the specific district, depending on the overall character of the architecture. All decorative metal shall be factory-finish or baked-on powder-coated finish.

Class 2 Materials

- Integrally-colored CMU / integrally colored precast concrete: The secondary building materials of CMU and integrally colored precast concrete shall only be used to create bases, secondary fields, or accent banding with split or ground face units (integrally colored). Acceptable banding may be utilized to differentiate between a building’s base, middle, and top. [Note: the base, middle and top should be differentiated, but that can be accomplished in a number of ways.]
- Stucco or EIFS: Stucco and EIFS may be used as a secondary material in approved colors and textures only. It may also not be used lower than 36” from grade.

8.3.8 Building Materials Requirement Chart

	Anchors	Shops & Pads
Front		
Class 1 Material	50% min.	50% min.
Class 2 Material	50% max.	50% max.
Glazing	25% min. of linear frontage	60% of linear frontage
75’ Rule	Yes	No
50’ Rule	No	Yes
Side		
Class 1 Material	25% min.	40% min.
Class 2 Material	75% max.	60% max.
Glazing	Encouraged	25% of linear frontage encouraged
75’ Rule	Yes	No
50’ Rule	No	Yes
Rear		
Class 1 Material	25% min.	40% min.
Class 2 Material	75% max.	60% max.
Glazing	Encouraged	Encouraged
75’ Rule	Yes	No
50’ Rule	No	Yes

Materials Notes:

1. “Class 1” and “Class 2” are defined in 8.3.7
2. See 8.3.3 for definition of 75’ Rule and 50’ Rule.
3. Amounts specified in the materials requirement chart above may be adjusted in cases where quality of a particular building design is of a high standard and warrants a different percentage of materials than is specified in the table above.

8.3.9 Color

Concept

- All accent colors are intended to complement and enhance the Lincoln District West.

Standards

- Cast (or natural) stone: Although a range of hues is anticipated, the colors chosen should be sympathetic to Lincoln Commons. Using a ledge stone style of stone, the colors should be selected and installed in such a way as to appear natural yet uniform from building to building.
- Brick: Colors ranging from a warm tan to burgundy-brown are acceptable. The brick is encouraged to be smooth/uniform in texture.
- Stucco: Smooth to medium textures will be utilized in a range of tan, beige, warm grays, rusts, and medium browns to contrast yet complement the rough texture and deep colors of the stone.
- Concrete masonry units must be integrally colored and textured. Buildings should avoid a painted or flat look.
- Ornamental Ironwork: Colors may be black, charcoal, brown, or slate/forest green, and be deemed appropriate to the architectural composition and the overall center.
- Glazing: Glazing may be clear, frosted, spandrel, fritted or patterned. Use of insulated panes using “low E” is encouraged. Reflective Glass shall not exceed 30% reflectivity.
- Architectural Roofing: Roofing materials shall be comprised of zinc-coated metal, copper, natural-looking clay, metal, concrete or slate tiles, horizontally-accented asphalt shingles, or other materials compatible with the architectural character, within the center’s color palette.
- Light Standards: Lights and light standards in parking areas, major drives, and pedestrian walkways shall be per the master SIP, including light standards at loading bays.
- Integrally colored pre-cast concrete: Pre-cast concrete shall be light-medium tan/buff with a smooth, uniform finish.
- Awning and canopy colors: Awning colors may vary but must be compatible with the building materials. Awnings may not be striped or multi-colored unless incorporating approved signage components. No bold or intense colors are acceptable. Prototype or franchise colors are subject to approval by the Lincoln District DRC and the City of Lone Tree.
- Accent tiles: Accent tiles may be introduced if compatible with the architectural design of the building and shopping area. The color of the tiles must complement the overall center and is subject to approval by the Lincoln District DRC and City.
- Corporate Colors: Corporate colors may be included exclusively in signage, awning signage, and/or logos. All colors are to be approved by the Lincoln District DRC and City.
- Bold or intense colors are prohibited unless previously approved by both the City of Lone Tree and the Lincoln District DRC. If approved, these colors should be limited to signage or other accent areas.

8.3.10 Drive-Thrus

Concept

- Pad buildings may incorporate drive-thrus that comply with the City of Lone Tree Development standards.

Standards

- Drive-thru lanes must provide for adequate stacking of vehicles in front of the order board as well as between the order area and pick-up window(s).
- Stacking of cars must be designed to prevent encroachment into drive aisles, parking lots, or streets.
- Pad sites adjacent to Lincoln Avenue with drive-thrus require screen walls or approved dense land-

scaping for those drive thru lanes adjacent to public roadways or site access drives. Screen walls shall be no less than 32" in height and comply with Wall criteria found in these guidelines.

8.3.11 Awnings and Canopies

Concept

Use of awnings and canopies is encouraged. Awnings must be canvas and of a complementary color to the buildings of the overall center; canopies are typically metal. Awnings and canopies must project a minimum of 4' from the building face. Signage may be placed on an awning or canopy if architecturally compatible with the building, as approved by the City of Lone Tree. They must be consistent throughout the building.

8.3.12 Roofs

Standards

- The use of hips, sheds, and towers is encouraged to provide a varied roofscape. These may include; Zinc-coated standing seam metals, copper, natural-looking clay, concrete or slate tiles, horizontally-accented metal or asphalt shingles, or other materials compatible with the architectural style and character.
- Flat roofs must be fully screened by parapets.
- When parapets do occur, they shall be finished with either an articulated cornice or pre-finished metal coping cap of complementary color.
- Warm blacks and charcoal colors are not permitted as architectural roofing materials, except in small/accent areas.
- Use of primary colors in roofing materials is prohibited with the exception of its use on icon buildings which may be used to create a character, or story, for the project.

8.3.13 Screening of Rooftops Units

Standards

- Building parapets or screen walls of equal heights should be used to screen equipment from the equally elevated surroundings.
- Screen walls should match the design, detailing, and materials of the building.
- A view study that analyzes this condition may be required; if deemed appropriate screening may not be necessary.

8.3.14 Ornamental Iron Work

Standards

- Where appropriate, ornamental ironwork shall be introduced into the overall composition of building facades. If used, ironwork is to comprise a minimum of 5% of entry elements. Decorative metal shall be factory-finish or baked-on powder-coated finish.

8.3.15 Loading Docks

Concept

- Loading dock areas must be screened throughout the project.

Standards

- Dock areas, where exposed to public view, shall be screened with a brick, cut stone or integrally-colored textured concrete masonry wall that is a minimum of 14'-0" above the grade of the dock

and a minimum length to effectively screen tractor trailers. Walls shall meet architectural requirements listed in this document.

- Lights incorporated at dock areas and at the rear of buildings shall be cut-off fixtures. Wall pack lights are prohibited.

8.3.16 Downspouts

Standards

- Downspouts may not occur on any building's front façade with the exception of copper or zinc-coated metal downspouts at canopies or entry elements. Downspout colors that occur at sides and rears shall be designed in accord with these standards. In general, downspout color should match background material colors.

8.3.17 Utility Meters and Gear

Guidelines

- Exposed gas and electrical meters and equipment are to be grouped together when possible and painted to match the building architecture or adjacent surfaces. Screening, such as screen walls to match the architecture, mesh screen walls, or dense landscaping is encouraged.

8.3.18 Trash Enclosures

Standards

- Trash enclosure areas, freestanding dumpsters, or compactors shall be fully-screened with walls of the same materials used in the adjacent buildings and provided with durable, painted powder coated solid metal gates.
- The enclosure shall be designed such that it is gated on one side and that the other three sides are in full compliance with screen wall requirements of both these standards and the City of Lone Tree Planning and Zoning standards.
- The height of the trash enclosure wall must be a minimum of 18" higher than the dumpster, or the enclosure shall have an approved cover.
- Any internal surfaces that are visible from the exterior with the gates closed must be painted to be complimentary to the exterior material.

Guidelines

- Enclosure walls of trash enclosures, loading docks and other areas vulnerable to vandalism should be covered with an anti-graffiti coating

8.4 Landscape Standards

8.4.1 Landscape Character

Concept

- Create a distinct landscape character that creates identity, adds value and is water-efficient.

Standards

- Planting composition and type shall be appropriate to the climatic and environmental conditions of the site.

8.4.2 Planting and Groundcover

Concept

- Minimize environmental impact and maintenance cost of planting and maintain their high quality and aesthetic character.

Standards

- Soils shall be tested for horticultural suitability and amended as necessary to create an environment conducive to proper plant health and vigor.
- Use of gravel, rock, crushed or decomposed granite or other such material, or wood chip or other similar mulches or groundcovers must be limited to areas below shrub masses, mow strips or areas where planting is not feasible.
- Minimum plant sizes are as follows:
 - o Deciduous shade trees - 2" to 3" caliper
 - o Deciduous ornamental trees – 1.5" to 2" caliper
 - o Coniferous evergreen trees – 6' to 10' tall
 - o Shrubs - #5 container
 - o Groundcover – 4-inch pot
 - o Un-manicured native grass – Seed
 - o Manicured Native grass – Seed
 - o Turf – Sod

Guidelines

- Low-water-use plant materials should be used wherever possible, including native grasses and drought tolerant perennials. High-water-use plants should be confined to areas with high pedestrian activity or used as special accents in gateway or plaza areas. Refer to the master SIP for the approved plant palette. Other plant species may be acceptable, subject to Town Center DRC and City approval.
- Plants with similar water requirements should be grouped together.

8.4.3 Irrigation

Concept

- Conservation of water resources and Irrigation design that promotes plant growth

Standards

- Landscaped areas must utilize drip or other low volume application systems controlled by automatic computerized clocks, which will be linked to rain sensors. One rain sensor per two controllers is required.
- Spray heads must minimize over-spray to non-pervious areas including sidewalks, buildings and roadways.

Guidelines

- The use of spray irrigation should be minimized directly around the perimeters of buildings.

8.4.4 Walls

Concept

- Walls should enhance the Lincoln District streetscape and/or open space rather than detract from it.

Standards

- Please refer to Section 6.2.3 and the master SIP for grading details
- Wall color, material and design shall compliment the natural environment or building architecture.
- Use retaining walls to minimize excessive slopes.
- Retaining walls shall be constructed of materials that blend with the natural or constructed environ-

ments. Wire-cut concrete block and unfinished concrete are not allowed.

- The slope ratio between tiered retaining walls shall not exceed 3:1.
- The minimum distance between tiered retaining walls shall be 6 feet.

Guidelines

- Terracing retaining walls should be considered if higher than 4'.
- Walls should have a decorative top or cap. Appropriate pilasters, pillars, columns or other elements, as approved by the Town Center DRC and the City of Lone Tree could punctuate the wall line.

8.4.5 Streetscape, Sidewalks and Crosswalks

Concept

- Create an active, vibrant, pedestrian-scaled public streetscape with rich character for pedestrian-oriented areas.
- Ensure that pedestrian uses are adequately separated from automobile uses.
- Sidewalks will be of ample width to be comfortable and inviting to the pedestrian.

Standards

- Pedestrian sidewalk widths shall be per the master SIP.
- Sidewalks shall be constructed of concrete pavement, precast concrete pavers, or other comparable material.
- Concrete paving or painted striping for pedestrian crosswalks shall be provided at intersections and drive aisles.
- Street trees shall be provided along streets to provide scale, shade and interest. Where street trees are located in impervious paving, the trees shall have proper soil preparation, amendments and drainage.

Guidelines

- Detached sidewalks are recommended along streets with no adjacent occupied use. A minimum of a six-foot planting strip should be provided between the back of curb and the sidewalk.
- Attached sidewalks are recommended where buildings and storefronts face onto streets or high pedestrian traffic areas.
- Raised pedestrian crosswalks or tabletops can be used at intersections, drive aisles or where important pedestrian connections warrant. Crosswalks should be visually different in color and provide a texture, where possible, to demarcate the pedestrian area.
- Outdoor café seating is encouraged, and sidewalk dimensions should allow for such seating where appropriate.
- The display of retail merchandise outside of stores is permitted (subject to City approval), and sidewalk dimensions should allow for such display where appropriate.

8.4.6 Site Furnishings

Concept

- Site furnishings that are visually attractive and coordinated to create a sense of character and identity for the project.
- Site furnishings that are used to give a human scale to sidewalk areas and public spaces within the District.
- Site furnishings that are durable and comfortable for people to use.

Standards

- Please refer to the master SIP for specifications and locations.
- All site furnishings must be easy to maintain and vandal-resistant.

- The palette of site furnishings may vary between neighborhoods within the District, but should be consistent within neighborhoods.
- Tree grates shall be provided where high pedestrian activity and/or on-street parking is anticipated and used to prevent soil compaction and to give added interest to the ground plane. Tree grates shall be fabricated of strong, non-rusting steel, capable of supporting maintenance vehicles.
- Newspaper vending machines, if used, shall be grouped in pedestal-mounted racks near activity centers or principal entry points to buildings.

Guidelines

- Benches should be located with the goal, but not requirement, of receiving direct sunlight and sheltered from the winds in winter, and shaded in summer.
- Benches should be provided at regular intervals along sidewalks.
- Where appropriate, tree guards should be used to give added protection to young trees.
- The use of additional site furnishings, including but not limited to trash receptacles, planters, bollards, clocks, drinking fountains, newspaper racks or corrals is encouraged. Where utilized, the design of these elements should complement the design of the adjacent architecture and streetscape, and are subject to City approval.

8.5 Signage

All sections of The City of Lone Tree Sign Code and Design Guidelines shall be in effect. The City of Lone Tree's sign code will govern with respect to the size, number, and design of signage. Also, the City's code and case-by-case approach will govern and prevail with any conflicts.

Signage should balance the need for auto-oriented scale with the pedestrian needs of the district and should adhere to an established hierarchy of sizes and types.

Signage design shall be harmonious with the materials, color, texture, size, scale, shape, height, placement, and shall enhance and extend the spirit of the architectural character of the district. Expressing the establishment's name and function clearly, while also serving as an expression of the high quality of the commercial environment is important. Graphic design shall be imaginative, simple, and clear. Creative and expressive signage solutions using a variety of materials are strongly encouraged as a means of enhancing visitor experience.

8.6 Lighting

Concept

- All light standards for parking lots, pedestrian lights, or wall-mounted fixtures shall be as follows (these do not include lights used along Ridgegate Parkway).

Standards

- Fixtures

Street Lighting: Street lighting fixtures are specified in the master SIP. The fixture is manufactured by Lumec, Citea CTS model, Natural Aluminum (NP) color, and mounted 30' above grade with a Metal Halide lamp.

Parking Lot Lighting: Parking Lot lighting fixtures are specified in the master SIP. The fixture is manufactured by McGraw-Edison, Cirrus CIM model, Black (BK) color, and mounted 24' above grade with a Metal Halide lamp.

Ornamental Lights at Sidewalks and Pedestrian Plazas: Ornamental lighting fixtures are specified in the master SIP. The fixture is manufactured by Hadco, model R52, Black (B) color, and mounted 14' above grade with a Metal Halide lamp.

Wall Lighting: Wall packs or other exposed bulbs are prohibited.

- All lights, except for security purposes, must be extinguished one hour after end of business and remain off until one hour before commencement of business hours. This stipulation includes all signage lighting.
- Lights mounted on the ground or on poles for the purpose of illuminating the building façade are prohibited, unless approved through the SIP process.
- Anchors and Shops: One light for every 60' of curb frontage, average.
- Pad Buildings: One light for every 45' of frontage at pad entry façade. (A minimum of two lights shall be provided regardless of length of frontage).
- Accent lighting or the use of decorative lights that are consistent with the architectural character of the center is encouraged.

8.7 Sustainability

Concept:

- The reduction of energy and non-renewable resource consumption is important in RidgeGate. Users within each district are encouraged to implement common sustainability practices in the design, material selection, and construction of their projects.

Standards

- Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is encouraged throughout.
- Certification with the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program is required for all Office Use buildings greater than 50,000 gross square feet in this district.

Guidelines

- Site planning to maximize solar access with building's long axis in a generally east-west orientation.
- Architectural design integrating passive solar, natural ventilation, day-lighting and simple shading is encouraged. Implementation should establish the goal of exceeding the ASHRAE standards by 25 percent or more.
- Use of reusable, natural or recycled building materials and materials produced locally is encouraged.
- Landscape design integrating microclimate modification and the use of drought tolerant/low-water use plantings, where appropriate, is encouraged.
- Interior fixtures and furnishings that support water and energy conservation are encouraged.
- Recycling programs related to construction phase activities and post-construction building operations are encouraged.
- Trash dumpsters designated for recycling are encouraged, and shall be screened by approved trash enclosures.

8.8 Art in Public Places

Concept

- Where appropriate, public art should be provided and integrated with the site design. A community

involvement process to conceive or produce such art is encouraged.

Standards

- Locations for public art are designated in the master SIP
- At least one location for permanent art is required in the Town Center District West
- At least one location for rotating art is required in the Town Center District West

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APPENDIX

- A. Implementation Process
- B. Glossary of Terms
- C. Plant List
- D. Team Contact List

APPENDIX A: Implementation Process

The following section describes the Planning and the Approval Process for projects at Lincoln Commons

Overview

The Lincoln Commons master SIP sets forth the framework for the development in terms of land uses and general development guidelines. Further, the master SIP contains the overall site plan including parking and drives, landscape plan and design, and placement and architectural concept of the buildings to be built as phase one by the master developer. The Design Guidelines address issues concerning overall site design, building design, construction, materials, detailing, landscape design, signage, and site standards for specific pad development for the first phase and subsequent phases of construction. As a package, the SIP and the Design Guidelines address:

- The overall plan for streets, plazas, and open space;
- Amount of floor area proposed;
- Building height, setback, and architectural concept;
- Landscape quantities, theme, plant type, and street treatment standards and guidelines.

These documents establish a set of comprehensive standards that serve as the framework for development.

SIP Amendment

Each SIP Amendment will be submitted to the Town Center District DRC and the City of Lone Tree for approval, and be evaluated against the “RidgeGate Retail District West Sub-Area Plan Design Standards and Guidelines,” City regulations, and the approved master SIP.

All anchor buildings, the cultural center, the parking garages, and any hotels, and projects of similar size and impact as determined by the Director will be subject to a Major Revision process including Planning Commission and City Council review.

The review of all other buildings will require review and approval only by the Planning Commission, and submittal will consist of all building elevations, vicinity map and material sample board. Referrals will not be required for projects that are consistent with the approved master SIP. Planning Commission decisions for denial may be appealed to the City Council for final action.

APPENDIX B: Glossary of Terms

50-foot Rule: No wall expanse or individual tenant shall extend over 50 lineal feet without incorporating at least one architectural feature of at least 24' in length total and at least 12' or one-third the building height, whichever is greater.

75-foot Rule: No wall expanse or individual tenant shall extend over 75 lineal feet without incorporating at least one architectural feature of at least 24' in length total and at least 12' or one-third the building height, whichever is greater.

Anchor: A single retail tenant 10,000 to 50,000 square feet in floor area.

Blade sign: A two-sided sign that hangs perpendicular to the building.

Changeable panels - Sign panels: Sign panels which contain advertising information, copy, forms or images that are intended to be removed in whole or part, changed and replaced with new advertising information, copy, forms or images.

CMU – Ground Face: A decorative style of concrete masonry unit (CMU) whose exterior face has a smooth texture and some aggregate is exposed.

CMU – Split Face: A decorative style of concrete masonry unit (CMU) whose exterior face has a rough, stone-like texture

Demised Premises: The area occupied by the tenant and defined by the lease line.

High Bay Building: A single story building with a high roof structure used to create the exterior appearance of a two story building.

Icon Building: A building of great prominence as designated by the developer.

Landscaping: Consists of any combination of materials such as, but not limited to, grass, ground covers, shrubs, vines, hedges, trees, or other live plant material. Non-live material such as rocks, pebbles, mulches, fences, walls, pavers, benches, irrigation systems, and other site amenities are also to be considered landscaping.

Lease Line: A combination of wall planes, center lines or finished faces which define the limits of the tenant area.

Low 'E: Glazing that contains coatings that filter out the heat producing portions of the solar spectrum, but still allow the greatest possible visible light transmittance.

Master Developer: Coventry Development

Monument Sign: A monolithic sign and base structure, freestanding, and installed in a landscaped area.

Office: Means a place of business for predominantly administrative, professional or clerical operations, i.e., accounting; architect; attorney; bookkeeper; broker; doctor; dentist; chiropractor; psychologist; drafter; bank; savings and loan; insurance company; credit union; credit-reporting agency; developer; contractor; engineer;

surveyor; planner; insurance agency; interior design; landscape architect; pharmacy; notary; stenographer or clerical services.

Pad: A retail tenant located in a free standing building of approximately 1,200 to 10,000 square feet in floor area, usually located along the perimeter of the site.

Permissible Building Area: Specific area of an outparcel designated for the location of above ground structures such as buildings. Generally, the boundaries are determined by setback and view corridor requirements.

Pilaster: An ornamental rectangular column with a capital and base, projecting only slightly from a wall.

Setback: A required minimum distance between a structure or other use and a property line or other determined point.

Shop: A multi-tenant retail building. Usually shares a common wall with adjacent tenants.

Town Center District DRC: A committee consisting of members from the Ridgegate DRC, the City of Lone Tree and the master developer of the Town Center District.

USG Imperial Plaster System or EIFS: A stucco system with a high level of durability.

Vehicle stacking: The space allowance for a number of cars or trucks waiting to use drive-up facilities or traffic control points such as stop signs, lights, pick-up lanes, left turn lanes, deceleration and acceleration lanes.

Vision Glass: Glazing that is clear in color and allows sight through all panes without obstruction or distortion.

Wall Plane: The vertical area of a building's exterior walls, which includes columns, pilasters, openings, projections, etc. within the same plane.

APPENDIX C: Plant List

Please refer to master SIP for acceptable plant materials and species.

APPENDIX D: Team Contact List

Developer:

Coventry Development
10475 Park Meadows Drive 10270 Commonwealth Street, Suite B
Lone Tree, Colorado 80124
720.279.2581

Opus Northwest, LLC
1855 Blake Street, Suite 200
Denver, Colorado 80202
303.297.3700

Civil Engineer:

Merrick & Co.
2450 South Peoria Street, Suite 125
Aurora, CO 80014
303.751.0741

Land Planner / Architect:

The Mulhern Group
1730 Blake Street, Suite 435
Denver, CO 80202
303.297.3334

Landscape Architect:

Design Studios West
1475 Lawrence Street, Suite 100
Denver, CO 80202
303.623.3465

Traffic Engineer:

Felsburg Holt & Ullevig
6300 South Syracuse Way
Centennial, CO 80111

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