



City of Lone Tree Planning Commission Agenda Tuesday, June 10, 2014

Meeting Location:
Meeting Procedure:

City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

The Lone Tree Planning Commission and staff will meet in a public Study Session at 6:00 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Kelly First, Kelly.first@cityoflonetree.com if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Kelly First, Community Development Director, at Kelly.first@cityoflonetree.com, or 303-708-1818.

6:00 p.m. Study Session Agenda

1. Administrative Matters
-

6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment
4. Minutes of the May 27, 2014 Planning Commission Meeting
5. Presentations
6. New Town Builders, RidgeGate Section 15, Filing 21, Lots 4 and 5, Project # SP14-26R.
This application requests approval of 57 residential units on 3.48 acres
7. Comprehensive Plan review wrap-up discussion, MI14-07
8. Adjournment

MINUTES OF THE
Lone Tree Planning Commission Meeting
May 27, 2014

Lone Tree Civic Center

1. Attendance

In attendance were:

Martha Sippel, Chair
Dave Kirchner, Vice-Chair
Gary Godden, Planning Commissioner
Roy Kline, Planning Commissioner
Stephen Mikolajczak, Planning Commissioner
Herb Steele, Planning Commissioner

Commissioner Rhonda Carlson was absent

Also in attendance from City staff were:

Kelly First, Community Development Director

2. Regular Meeting Call to Order

Chair Sippel called the meeting to order and noted there was a quorum.

3. Conflict of Interest

There were no conflicts of interest stated.

4. Minutes of the May 13, 2014 Planning Commission Meeting

Commissioner Kirchner moved, and Commissioner Steele seconded, to approve the minutes. The motion passed unanimously with Commissioner Godden abstaining due to absence at the May 13th meeting.

5. Sky Ridge Medical Center SIP, 10th amendment. Project SP14-05R.

Ms. Kelly First introduced the project, describing the nature of the application, project location, review process and staff recommendation, which is that the Planning Commission recommend approval of SP#14-05R with two conditions:

1. The SIP is subject to final approval by the City of Lone Tree Public Works Department.

2. Prior to final approval, the corresponding lot line adjustment for RidgeGate Section 15 Filing 2, 2nd amendment, shall be approved by the City and recorded.

Mr. Kevin Pasewalk, Davis Partnership Architects, provided an overview of the proposed medical office building, describing the site within the overall context of the medical campus, the access points, grade, building architecture and materials. He explained that the building will consist of the same brick as used elsewhere in the campus, although a darker color and added architectural detailing with brick have been introduced.

Commissioner Kirchner noted the various drop-off locations on the plan and asked for clarification on the routes to those areas. It was clarified that the route taken by the ambulances would be different than that of the other general traffic. He asked about the potential for traffic congestion. Mr. Pasewalk described how the majority of the traffic for the building will be separated based on the nature of the user. He described how the site will be signed appropriately to direct users. Commissioner Kirchner asked whether there were any thoughts about additional parking on the campus. Ms. Diane Cookson, VP of Business Development for Sky Ridge, responded that, although the site meets the City's minimum parking requirements, they are looking at several other scenarios to provide additional parking over time, and as they have the capital to construct.

Commissioner Godden pointed out a labeling error on the elevation sheet and clarified that the rooftop screening material will be metal. He also suggested that in cases like this where there is elevated parking adjacent to a roadway, it is important to consider how to reduce the potential for headlight glare from vehicles. He suggested that raising the height of the retaining wall may help with that. Mr. Matt Lackey, Gresham Smith Architects, stated that the wall had already been raised another 6" to account for that issue. (This will be reflected on revised plans).

Commissioner Mikolajczak asked whether Sky Ridge was unique in providing so many different services at one location. The applicant replied that this is a fairly typical situation at major hospitals. The applicant responded to a question regarding the nature of the ambulatory service and said it was for transport. Commissioner Mikolajczak asked staff about the condition of approval regarding the corresponding lot line adjustment. Ms. First stated that it involves a minor adjustment of a lot line to ensure that the building is wholly within a single lot. Commissioner Mikolajczak inquired about the snow storage area being designated in the same area as the switch box location. Mr. Lackey responded that the unit is below grade and is completely encased so that no moisture will get in. Commissioner Mikolajczak inquired whether the healing garden would be installed back to the way it was or if there were other improvements planned. Mr. Lackey said it will be replaced more or less the way it was previously, with the exception of some changes associated with a new Linear Accelerator unit planned along the side of the second medical office building. Commissioner Mikolajczak said he was

confused by the way some of the sections were labeled in the plans, and also asked why the site couldn't be sloped instead of using retaining walls. Mr. Lackey described the geometry and design of the walls in more detail and said there is approximately 11 feet of grade change on the site, which is too steep to get the parking to work otherwise. Commissioner Mikolajczak asked whether there would be special paving to help direct pedestrians where to go. Mr. Lackey responded there will be signage to direct people.

Commissioner Kline noted that most people approaching the site will notice the wall first rather than the building. He said he was initially concerned about the appearance of the wall but feels it has good detailing. He asked for clarification regarding the detail and drainage of the glass canopies on the building, to which Mr. Pasewalk provided clarification.

Commissioner Steele commented that the project is an asset to the Community and is very attractive. He said he wanted to inquire further about the drop off issue that had been raised earlier. He asked how much of the building would be a pediatric focus. Mr. Pasewalk responded that it will be all for women and children's services, with the pediatric emergency use taking up about half of the first floor. Commissioner Steele commented that there is often anxiety associated with a hospital visit and wondered if the design could be more children-friendly to soften it and make it a more friendly experience. Mr. Pasewalk noted that they are aware of the user-base but wanted the exterior of the building to tie in with the rest of the campus. He said the interior of the building will have curvilinear forms and shapes and colors that are friendly. Commissioner Steele asked if children would be dropped off at this location rather than the existing emergency drop off at the hospital. The applicant confirmed that is the case. Commissioner Steele said that the circulation diagram was useful on paper but people will take the shortest route. He expressed concern that signage was not included in the packet for Planning Commission review. Ms. First noted that signage is reviewed and approved by the City separately on an administrative basis. Commissioner Steele asked about the flow of water on the site. Mr. Lackey described how the sheet flow and routing to the detention pond maintains the existing drainage pattern.

Chair Sippel said it was difficult to get oriented at the site because of all the construction. She said the video clip was helpful but asked that the renderings in the packet be labeled with the direction they are taken from. She asked Darryl Jones, Coventry Development, whether the DRC was satisfied with applicant's responses to the issues raised in the DRC approval. Mr. Jones responded yes. She noted that the landscape plan calls for Cologreen junipers and questioned how well they can be established in the area near the retaining wall. She suggested that a landscape architect be consulted on that matter. Ms. Julie Eck, of David Partnership Architects, responded that they have used this landscape treatment elsewhere with success.

Commissioner Mikolajczak said he was curious why the dumpsters needed to be outside in the parking lot area at all and whether there was a more central location on the campus. Mr. Pasewalk responded that the surgery center would be producing a lot of waste and the location was convenient for the users of the building. He said that each medical office building has its own dumpsters. He clarified that hazardous waste is handled according to strict requirements and has a special pick up. Commissioner Mikolajczak said he likes the distinctiveness of the architecture and the spatial relationships of the windows and pilasters. He thinks the glass canopies are a nice feature.

Commissioner Steele asked where the circulator shuttle would pick up and drop off. Ms. Cookson said that would occur at the main entrance to the hospital.

Chair Sippel asked staff about the overall condition of the landscaping throughout the campus. Ms. First said there would be a final check of landscaping to ensure there are no violations outstanding prior to final certificates of occupancy.

Commissioner Kirchner motioned to approve SP#14-05R with the following two conditions:

1. The SIP is subject to final approval by the City of Lone Tree Public Works Department.
2. Prior to final approval, the corresponding lot line adjustment for RidgeGate Section 15 Filing 2, 2nd amendment, shall be approved by the City and recorded.

Commissioner Kline seconded the motion, which passed unanimously.

6. Adjournment

There being no further business, Chair Sippel adjourned the meeting at 7:55 p.m.

These minutes have been reviewed and confirmed by

_____ (name), on _____(date)



CITY OF LONE TREE
STAFF REPORT

TO: City of Lone Tree Planning Commission

FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

DATE: June 4, 2014

FOR: June 10, 2014 Planning Commission Meeting

SUBJECT: RidgeGate Section 15, Filing 21, Lots 4 and 5
Site Improvement Plan, Project File #SP14-26R

Owner:
RidgeGate Investments, Inc.
10270 Commonwealth St., Suite B.
Lone Tree, CO 80124

Representative:
Redland Consultants, Inc.
8000 S. Lincoln St., Suite 206
Littleton, CO 80122

Planning Commission Meeting Date: June, 10, 2014
City Council Meeting Date: July 1, 2014

A. REQUEST:

Approval of a Site Improvement Plan (SIP) for 57 single-family attached units on 3.48 acres.

B. LOCATION:

The property is located in RidgeGate in the area known as Lincoln Commons South. The property is between RidgeGate Parkway to the south and SkyRidge Avenue to the north. The adjacent land uses are as follows:

East: Willow Creek drainage and open space area
West: Future public library and future senior living facility
North: Sky Ridge Avenue, developed mixed use retail area
South: RidgeGate Parkway, residential and park uses

C. SITE CHARACTERISTICS:

The property had been used as a stockpile site for excess dirt and is currently being overlot graded. There is no vegetation remaining on site. Once graded for development the property will gently slope down from south to north with an approximate 25 feet of grade change. The project will include an open space promenade connecting homes in this area to the adjacent Willow Creek open space system to the east.

D. SERVICE PROVIDERS:

Water:	Southgate Water District
Sanitation:	Southgate Sanitation District
Police:	Lone Tree Police
Fire:	South Metro Fire Rescue Authority
Special Districts:	Rampart Range Metropolitan District

E. BACKGROUND:

The property was originally planned in 2008 as part of a mixed-use retail area. Since then, for a variety of reasons, the master developer for RidgeGate has said that the retail concept in this area is not feasible. Instead, the new plan includes the residential townhome project proposed with this application, a senior living facility, and a new public library. In April of this year, an amended Sub-Area Plan for Lincoln Commons was approved, laying the groundwork for the revised development plan. Each individual project is subject to approval of an SIP.

F. DESCRIPTION:

Zoning. The proposed residential use is permitted by zoning. The property is zoned PD and is within a Commercial-Mixed Use (C/MU) Planning Area in the RidgeGate Planned Development. The zoning allows residential as a permitted use.

Access. The property is proposed to be accessed via Belvedere Lane, which will be extended between Sky Ridge Avenue and RidgeGate Parkway.

Parking. The proposed parking complies with the parking standards as required in the RidgeGate Residential West Village Sub-Area Plan.

Parking is provided within one and two-car garages accessed off internal alleys, in small parking lots on site, and with some guest parking on street. Small parking lots are designed to be segmented largely internal to the development to minimize visual impacts.

Building Design. The proposed building designs are consistent with the City's Design Guidelines and applicable Sub-Area Plan and have been approved by the RidgeGate Design Review Committee (DRC). There are two building types, a courtyard row house fronting the Willow Creek drainage and a stacked townhouse fronting small green spaces. The buildings are sited to provide a defined edge for the neighborhood park that will be developed in Willow Creek, east of the development. The facades are articulated with architectural elements such as building breaks, roof overhangs, and offset wall planes. The scale and composition of building material components correspond with the overall scale and massing of the building. Building colors are generally earth toned, with orange and red colors limited to building accents. Building materials include stucco, brick veneer, cementitious hardboard paneling that complements the area while providing architectural variety. Roof lines are designed to accommodate photovoltaic solar panels.

Landscaping. The proposed landscape and irrigation plans are compliant with the City's requirements and that of the applicable Sub-Area Plan. Landscaping proposed is adapted to this climate, and is generally low-water intensive. Two small parks are proposed between the residences and Belvedere Lane, and are heavily landscaped with trees to provide a comfortable setting in the summer months.

Lighting. Street lights and pedestrian lights are compliant with the RidgeGate standard. Security lighting is fully cut-off to minimize light pollution.

Snow Storage. Snow storage is proposed at the end of each alley in a pervious area to allow for snow to melt into the landscape per City standards.

Local Park Dedication. The local park dedication is calculated based on provisions of the approved Sub-Area Plan. Based on the population generated and nature of amenities provided within the project, cash in lieu of land dedication is recommended in the amount of \$28,069. Payment will be required to the City prior to final approval, as recommended through a condition of approval.

- G. REFERRALS:** Homeowner Associations in the City were sent a referral and staff received no response. Xcel Energy had commented that some

landscaping and monument signage may need to be adjusted due to a potential conflict with a utility easement. This is being evaluated. Public Works Department concerns will be addressed as a condition of approval as is standard practice. Tri-County Health questioned whether this property will access the East-West Regional Trail, and the answer is yes, this property will access the Willow Creek drainage, where a trail will be constructed to extend to the existing trail in Belvedere Park, which ultimately connects to the regional trail.

H. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, and the RidgeGate Lincoln Commons Commercial Mixed-Use Sub-Area Plan.

Staff recommends the Planning Commission recommend approval of the SIP to City Council, subject to final approval by the Public Works Department, and with the condition that the local park dedication for the property will be paid to the City by the applicant at the time of final SIP approval.

END

City of Lone Tree

Department of Community Development
9220 Kimmer Drive Suite 100
Lone Tree, CO 80124
Ph: 303-708-1818 Fax 303-225-4949

RECEIVED APR 24 2014

DEVELOPMENT APPLICATION FORM

◆ OFFICE USE ONLY ◆

PROJECT NAME: RidgeGate Sec. 15, Filing 21, Lots 4+5

PROJECT FILE # SP14-26R

REQUEST: SIP Approval (New Town Bldrs)

SITE LOCATION:

(Nearest Intersections) RidgeGate Ave & Belvedere Lane

OWNER:

Name: New Town Builders
Address: 1553 Platte Street Suite 100
Denver, CO 80202
Phone: 303 707-4444 FAX:

DATE SUBMITTED: 4-24-14

FEES: \$3,200 # 5256

(Engineering fees are not included)

AUTHORIZED REPRESENTATIVE:

Name: Rick Rome Fax:
Address: 8000 S. Lincoln St Suite 206 Email: rrome@redland.com
Phone: 720 283-6783 Business/Project Name: Redland Consultants, Inc.

LEGAL DESCRIPTION (site address):

PROJECT INFORMATION:

Subdivision Name: RidgeGate Section 15 Filing #: 21 Lot # (if appropriate): 4 & 5 Block #:
Planning Area # (if PD)

PRESENT ZONING:

(When rezoning) – PROPOSED ZONING

GROSS ACREAGE: 3.48 ac

of units (residential) 57

Unit type: Townhome

FIRE DISTRICT: South Metro Fire

METRO DIST: Rampart Range Metro District No. 1

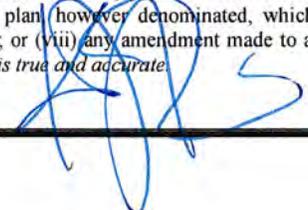
WATER: Southgate Water & Sanitation

ELEC: Xcel Energy

SEWER: Southgate Water & Sanitation

GAS: Xcel Energy

Further submissions pursuant to this application may include any and all development proposals, submissions, applications and procedures that may be made or initiated under the City of Lone Tree Charter, ordinances, rules, regulations, guidelines or policies including, without limitation, those for any of the following: (i) annexation; (ii) zoning or re-zoning, including any development plan for zoning within the Planned Development (PD) District; (iii) preliminary PD or PUD site plan, or related design guidelines or development standards; (iv) final PD or PUD site plan; (v) Site Improvement Plan; (vi) any master or general development plan, sub-area plan, site plan or similar development plan, however denominated, which may be provided for under any PD development plan or any other zoning; (vii) Sketch Plan, Preliminary Plat or Final Plat; or (viii) any amendment made to any of the foregoing, as applied for or as approved. *To the best of my knowledge, the information contained on this application is true and accurate.*

APPLICANT SIGNATURE: 

Date: 4.24.14

Project Narrative – SIP

RidgeGate Section 15, Filing 21, Lots 4 & 5
New Town Builders
Lincoln Commons South

Landowner:

Colony Investments
1041 3rd Ave
New York, NY 10021

General Information

Owner / Developer:

New Town Builders
1553 Platte Street
Suite 100
Denver, CO 80202
Kevin Puccio, Vice President

Plat Prepared by:

Redland
8000 South Lincoln Street, Suite 206
Littleton, CO 80122

Subdivision Name:

RidgeGate Section 15, Filing 21, Lots 4 & 5

Zoning:

RidgeGate, Fourth Amendment PDD

Water and Sanitation Provider:

Southgate Water & Sanitation District

Development Impact

Impact of Development:

New Town Proposes to build 57 town homes. The residential development will provide high-quality energy efficient housing for the community. The neighborhood is designed to be walkable, with alley loaded homes, strong pedestrian connections and proximity to amenities, such as open space and retail.

Housing mix:

- Courtyard Row House
- Stacked Townhouse

The neighborhood is complimentary to adjacent land uses. A strong urban edge aligns SkyRidge Parkway and RidgeGate Parkway with town homes fronting the collector, the future Belvedere Land and the Rampart Range District Park.

The Courtyard Row Homes will offer the residents of RidgeGate a more affordable alternative to single family detached housing while still offering the amenity of private outdoor space.

Many of the homes front parks or courtyards, providing an attractive balance of hardscape and landscape components. These gathering areas promote community and emphasize walkability. The neighborhood is adjacent to parks.

Compliance with Intent and Approval Standards

Intent of Site Improvement Plan Process

The proposed townhome design compiles with the intent of the City of Lone Tree Site Improvement Plan process (outlined in Section 16-27-10 of Article XXVII) by promoting high-quality residential design and sustainable and healthy living. As referenced above, the site has been designed to integrate parks and courtyards and provide a balance of hardscape and landscape components. These public and private spaces promote community and emphasize walkability. The surrounding land uses are embraced.

Approval Standards:

This project is in conformance with the current City of Lone Tree Comprehensive Plan, Design Guidelines, and Code. This project will also comply with the applicable standards listed in Section 16-27-90 of Article XXVII.

Development Phasing

Proposed Development Schedule:

New Town Builders proposes to develop the land starting beginning October of 2014. The land is planned to be developed in 2 phases with all construction to be completed within 48 months. The first closings to homebuyers is projected to be in the fall of 2015.

Sustainability

Sustainability and Energy Efficiency:

New Town Builders supports the City of Lone Tree's environmental goals and will employ green building practices and energy efficient design and construction for the townhome development. The Site Plan was developed considering the optimum solar orientation and community access to nearby parks and open space. New Town Builders will offer solar panels as a renewable energy source. Our landscape plan includes native plants to limit the irrigation requirements.

New Town Builders is the Denver region homebuilder with the greatest focus on energy efficiency, achieved using the following construction principles:

- The frame of each home is turned into an insulating envelope to keep the outside air out and the inside air exceedingly comfortable.
- Heating and air conditioning ducts are checked for tightness so heated or cooled air reaches its destination with loss of less than seven percent.
- High efficiency furnaces, air conditioners and tankless water heaters are included.
- Each home is planned to include a photovoltaic (solar) electricity generating system on the roof as a standard feature.

All homes are intended to be built to Department of Energy "Challenge Home" standards. Every New Town home's energy efficiency is certified by an independent third party energy auditor.

New Town takes building science to the next level, demonstrating that energy efficient homes are also beautiful and affordable. For the first time, everyday homebuyers can see and purchase an energy efficient home that is truly "state-of-the-art" in building science.

Other Project Data

Total number of employees on maximum shift:

TBD, Varies

Square footage of Buildings:

Varies

Lot Area:

Lot 4 = 1.964 Acres (85,563 SF)

Lot 5 = 1.486 Acres (64,726 SF)

Anticipated Opening Date:

Fall of 2015.

Variances

There are no variances necessary with this proposal.

N/A



April 14, 2014

Mr. Kevin Puccio
Ms. Kathleen Wanatowicz
New Town Builders
1553 Platte Street, Suite 100
Denver, CO 80202

RE: New Town Townhomes at RidgeGate – Lincoln Commons South

Kevin and Kathleen,

The RidgeGate DRC has reviewed the Design Development (DD) submittal package. The DRC approves the submittal based on your design resolution of the issues as noted below and adds the following comments of support:

Architecture

1. Adding color to the garage doors and the balcony structure is a great use of accent to give the project playfulness and add just enough spice without 'over trying.' Without the color the project could suffer from being just another place without uniqueness
2. The DRC approves the color schemes for both components and building types of the project. The darker brick palette on the Courtyard buildings is a nice contrast, they coordinate nicely. The DRC likes the garage door color, and sees them as a rust-terracotta color that fits within the Ridgegate Guidelines, not necessarily a focal point since they are buried in the drive courts
3. The DRC appreciates the development of the material / color assembly across both projects, and there's now a nice unity to the project, with subtle tweaks to avoid the monotonous
4. Great resolution at the corners of the Courtyard Units with your response to the end elevations using the flat shading lid (eyebrow) at the front door and around the corner.
5. Consider the selection of the panel with 5/4 trim as it is somewhat out of context with the architectural forms and other material palette with is 'in the present, with a forward leaning. The DRC suggests removing this textural element in favor of something else that respects the palette you have successfully developed
6. The DRC likes the balcony cable support detailing
7. The DRC approves of the alley end screen walls

Kevin Puccio / Kathleen Wanatowicz
RidgeGate – Lincoln Commons South
April 14, 2014
Page 2

Site / Landscaping

1. Trees shown in Park Property should be deleted for now as the park has not been fully designed and additional ideas may prevail for the park design
2. The conceptual signage looks too much like the RidgeGate wayfinding signs and needs to be reconsidered. Proposed signage should tie in more to the project, not the overall community
3. The DRC suggests that the project name tie into future park name which will probably NOT be Willow Creek since that is used elsewhere in the region

This approval allows your plans to be submitted to the City of Lone Tree for review of the project for a Site Improvement Plan (SIP). The DRC will confirm incorporation of any remaining design elements in the Construction Document (CD) stage of the DRC approval process. Please advise the RidgeGate DRC should you have any questions or need to request additional modifications to this application.

Regards,


Darryl Jones
RidgeGate DRC Administrator



City of Lone Tree Design Guidelines

Statement of Design Intent

Using this form, or a separate page, please describe how the project meets the intent of the City of Lone Tree Design Guidelines, including the City's Core Design Principles. (If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well).

Please use the outline below as a guide in formulating your response. You may also use this opportunity to describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

Project Name: New Town Builders – Lincoln Commons South

Location: RidgeGate Section 15, Filing 21, Lots 4 & 5

1. Overall Design Concept:

Briefly describe the use and overall concept for the project as a whole.

New Town Builders is proposing to build fifty-seven (57) town homes. These townhomes will be a mix of "Courtyard Row House" constructed in an attached rowhome configuration as well as a "Stacked Townhouse" (ranging from 3 attached units to 6 attached units). The residential development will provide high-quality energy efficient housing for the community. The neighborhood is designed to be walkable, with alley loaded homes, strong pedestrian connections and proximity to amenities, such as open space and retail.

The Site Plan was developed considering the best solar orientation and community access to nearby parks and open space. New Town Builders will offer solar panels on as a renewable energy source. The landscape plan includes native plants to limit the irrigation requirements. New Town Builders supports the City of Lone Tree's environmental goals and will employ green building practices and energy efficient design and construction for the townhome development.

2. Context and Site:

Describe how the project relates functionally and visually to the context of the surrounding area (consider issues of form and character; the natural environment; vehicular and pedestrian access and circulation systems, etc.).

The neighborhood is complimentary to adjacent land uses. A strong urban edge aligns SkyRidge Avenue and RidgeGate Parkway with town homes fronting the collector, the future Belvedere Land and the Rampart Range District Park.

The Courtyard Row Homes will offer the residents of RidgeGate a more affordable alternative to single-family detached housing while still offering the amenity of private outdoor space. Many of the homes front parks or courtyards, providing an attractive balance of hardscape and landscape components. These gathering areas promote community and emphasize walkability. The neighborhood is adjacent to parks.

3. Public Realm

Describe how the project contributes to an inviting, safe and functional public realm (consider public spaces, street/sidewalk – level experience, lighting, landscaping and signage).

The project has been designed to positively contribute to the existing and future public spaces. The alley-loaded residential design allows the homes to front onto the street and parks. The high-quality architectural design provides an inviting street scene for pedestrians and motorists. Landscaping will be integrated into the project to compliment the architecture. Wide sidewalks and mid-block pedestrian connections offer a pedestrian-friendly environment. The lighting for the project will fit in with the surrounding character of the community and it will also offer safety at night. The signage for the project will be pedestrian scale, and will complement the design of the architecture.

4. Architectural Design

Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high quality design (consider building form and composition, façade composition and articulation, materials and colors and lighting).

This project provides a unique opportunity to utilize similar design principles and composition already in place within the community as seen at The Lone Tree Arts Center. As a result, simple, angular contemporary forms dominate the overall architectural language of these single-family attached townhouse residences by New Town Builders. Furthermore, by utilizing a color and material palette that strays only slightly from that of its immediate surroundings, the intent is for these townhomes to complement rather than compete with the neighborhood context. The architectural theme is also based on an “additive” approach that allows for a balanced arrangement of materials that avoids large expanses of blank walls or monotonous color applications.

On the interior, each of the townhouse product types offers a minimum 10’ ceiling height at the main living level which allows for greater window area, light and overall spaciousness. Individual private and semi-private outdoor areas (patios and/or decks made of composite materials) as well as attached garages (one-car or 2-car) are provided for each individual townhouse as well.

Another important aspect of the architectural design is energy efficiency. These townhouses will be built to the U.S. Department of Energy ‘Challenge Home’ specifications offering a cost-effective, high performance package of energy savings, comfort, health, and durability unparalleled in today’s marketplace. Only a select few of the top builders in the country meet the extraordinary levels of excellence and quality specified by the DOE guidelines.



9222 Teddy Lane
Lone Tree, Colorado 80124



Ph: 303-662-8112
Fax: 303-792-9489
www.cityoflonetree.com

CITY OF LONE TREE

Department of Public Works

May 21, 2013
Revised- 5/23/14

City of Lone Tree
Kelly First, Planning Manager
9220 Kimmer, Suite 100
Lone Tree, CO 80124

Re: SP14-26R (New Town SIP)
RidgeGate Sec 15, Fil. 21, Lots 4 & 5
and
SB14-29R (Replat of Lots 4 & 5)
RidgeGate Filing No. 21, 1st Amendment

Project No. 061-371

Dear Jennifer:

We have reviewed the SIP and Plat referrals for the above referenced Project.

The SIP package submitted and reviewed consists of the following documents:

- Site Improvement Plan (28 sheets), dated 5/13/14, by Redland et.al.
- Narrative letter & application.

The Plat package submitted and reviewed consists of the following document:

- RidgeGate Filing No. 21, 1st Amendment (Replat of Fil. 21 Lots 4 & 5) (2 sheets), dated 5-12-14, by Coventry Development.

As a separate action, Redland has submitted, and we have reviewed and provided comments directly to Redland on, the following documents relative to this proposed development:

- Civil Construction Plans (CD's) (19 sheets), dated 4/24/14, by Redland.
- Grading, Erosion and Sedimentation Control (GESC) Plans (7 sheets), dated 2/18/14, by Redland.
- Grading, Erosion and Sedimentation Control (GESC) Report, dated 4/24/14, by Redland.
- Phase III Drainage Report, dated 4/24/14, by Redland.

Our comments are provided below:

General Comments

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (re: SIP – Major Amendment) is \$3,000.00. Review and comment on the SIP, GESC Plans, GESC Report and Drainage Report are covered under this review fee. A separate fee of \$1,600.00 is associated with the Civil Construction Plans review. The combined \$4,600.00 review fee (please see

attached Fee Schedule form) will need to be paid prior to the resubmission of the documents for subsequent review and/or approval. The payment should be made out to "City of Lone Tree" and delivered to my attention at Public Works.

2. The Plat submittal review fee will be addressed in the Technical Plat Referral comment letter by Mike Cregger.
3. A Site Improvement Plan Improvements Agreement (SIPIA) is not anticipated to be required for the proposed Project**. If required, the SIPIA standard form is available for reference on the City website (<http://www.cityoflonetree.com/DocumentView.aspx?DID=23>). The surety referenced in the SIPIA would cover all Project improvements to be installed by New Town that are located within the public right-of-ways of RidgeGate Parkway, Bevedere Lane and Sky Ridge Avenue. (e.g. curb returns, drive approaches, sidewalk, etc.).

** Note: It is our understanding that all of the hardscape within the ROW's, including the sidewalk(s), curb cuts and drive approaches, will be installed by the RRMD concurrent with construction of the streets, in which case the SIPIA from New Town will not be required.
4. A Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans / GESC Report and at least recommendation of SIP approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.
5. Since this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
6. Only those sheets within the SIP set for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents. The applicant's professional(s) should verify that the item(s) are addressed throughout the related Project documents consistently, as applicable.

Specific Comments

Plat Submittal:

1. The replat of Fil. 21, Lots 4 & 5 appears to be being processed by Coventry Development / Lincoln Commons South, Inc. as the current owner of Lot Nos. 4 & 5, in anticipation of the proposed New Town Development as indicated in the SIP. The Plat (replat) subdivides the development into individual lots (57 lots, one lot per proposed Town Home). The remainder of the site is incorporated into four (4) Tracts which encompass the on-site drives and open space.
2. Based on the SIP, extensive landscaping is proposed around the perimeters of the proposed development (e.g. north segment – 33 lots/units, and south segment – 24 lots/units) and also between units 17&18 and 21&22 (south) and 23&24 and 29&30(north). (See SIP Sheets 3 & 4 for lot/unit numbers and SIP Sheets 5 & 6 for landscaping). The lot lines as indicated on the Plat would appear to make several of the adjacent individual lot owners responsible (as the property owners) for this landscaping. It may be more appropriate adjust the individual lot lines to encompass only the dwelling units and immediate "back yards", and make all of the rest of the property (e.g. common and open space areas and major site landscaping areas) part of the Tracts. All of the tracts should be defined on the Plat (see subsequent comment) as under the

ownership and maintenance responsibility of an HOA for the development.

3. As noted in the preceding comment, the Plat includes 4 tracts and 57 lots. Two of the tracts (Tracts B & D) consist of the on-site drives, and are indicated on the Plat as "30' Utility and Pedestrian Access Easements". However, these two tracts provide more than "pedestrian" access (e.g. These Tracts include public and vehicle access, fire department and emergency fire access lane, and also utility easement (water and sanitary sewer, and possibly others). (Reference SIP Sheets 3 & 4). We recommend that a note (or notes) be added to the Plat cover sheet identifying the various tracts and their specific purposes, and also listing the entity(ies) owning the tracts and responsible for their maintenance (e.g. HOA).

SIP Submittal:

1. Sheet 1 – Cover Sheet:

- a. The Site Data Chart indicates that the nine (9) on-street parking spaces shown on the Belvedere Lane frontage of the north segment (e.g. Lot 4, SIP Sheet 2 & 3) are counted toward meeting the indicated required 128 parking spaces. Although, as shown on Sheet 3, these parking spaces are in conflict with the driveway-street intersection line of sight requirements, per City adopted Douglas County Roadway Design and Construction Standards, (Section 4.11.4), parking within the sight triangle may be allowed on local streets. This portion of Belvedere meets the design criteria for the DC referenced "local streets", and the proposed parking would therefore not be precluded.

2. Sheet 3 – Lot 4 Site Plan:

- a. As noted above, the nine (9) on-street parking spaces shown on the east side of Belvedere Lane will be allowed.
- b. The on-street parking spaces shown on the west side of Belvedere Lane either should be removed, or should be indicated as "potential future parking, by others".
- c. A proposed fire hydrant is shown adjacent to Belvedere Lane on the north side of the north drive. Consistent with the location of a similar hydrant on the Lot 5 site (see SIP Sheet 4), it may be desirable for fire department access (to connect and pull hoses) to have the Lot 4 hydrant located on the south side of the drive. South Metro Fire and Rescue should review and approve the proposed hydrant locations and also the "No Parking – Fire Lane" signage locations for the proposed New Town development.
- d. At three locations in the development (one on the north portion - between units/lots 29&30, and two on the south -- between units/lots 17&18 and 21&22) space is maintained between the adjacent units to include a 5' connection from the drive to the Park walkway. However, between units/lots 23&24 on the north portion, this connection has not been provided. In this location, the space between the adjacent units is narrower by 6' than in the other similar locations. The loss of this connection walk apparently was a trade-off in order to obtain two (2) added "Handicapped" units.
- e. The sidewalk along the east side of the Project, in the adjacent RRMD "Tract A" is being designed by the RRMD's Landscape Architect. The sidewalk should be shown in conformance with the RRMD Park design and appropriately labeled as "by others". Coordination/approval of the proposed connection(s) from the New Town Project to the RRMD sidewalk must be confirmed by the RRMD, or the on-site New Town design should be modified appropriately to eliminate the off-site work/connections. We recommend resolution of this issue prior to SIP and/or Plat finalization and approvals, and prior to final engineering plans approvals.

3. Sheet 4 – Lot 5 Site Plan:
 - a. A 10-foot Type R inlet is required to be added at the east side of Belvedere Lane, immediately north of the curb return of the north drive for Lot 5. This inlet is required to intercept a portion of the developed Lot 5 drainage. The inlet, and the storm sewer connection to the inlet on the west side of Belvedere, should be shown.

4. Sheet 5 – Lot 4 Landscaping Plan:
 - a. The landscaping plan in “snow storage area” at the end of drive (at the north end, next to Sky Ridge Avenue) may conflict with the snow storage functionality of the location. Additionally, placing snow storage directly in front of/over the Type R inlet at this location may contribute to drainage issues in this area.

5. Sheet 6 – Lot 5 Landscaping Plan::
 - a. Three (3) trees (one each to the north and south side of the north drive, and one on RidgeGate Parkway, just east of Belvedere) are shown in conflict with the sight-distance triangles. Initially, as young trees, they should create minimal issue. However, the locations may be problematic as the trees mature. The location(s) of these trees should be shifted to the extent possible to avoid the sight-distance conflicts, or removal of the tree(s) in the future may be necessary.
 - b. The landscaping plan within the end of drive “snow storage area” at the south (next to RidgeGate Parkway) may conflict with the snow storage functionality of the location.

6. Sheet 12 – Lot 5 Grading Plan:
 - a. Grading is shown off-site in the proposed RRMD tract east of units/lots 15–17 and 22–24. RRMD is coordinating the design and grading in that tract (Tract A, RidgeGate Fil. 21) as part of the proposed park development of that Tract. Additionally, as noted above, the sidewalk along the east side of the New Town Project in the RRMD Tract A is being designed by the RRMD’s Landscape Architect, and should be shown on the New Town Plans in conformance with the RRMD design. New Town should provide either written approval from the RRMD of the indicated New Town Project grading and of the proposed sidewalk connections within Tract A, or appropriately revise the on-site design to eliminate the off-site work/connections. We recommend resolution of these issues be addressed prior to SIP and/or Plat finalization and approvals, and prior to final engineering plans approvals.

7. We have no comments on the other sheets within the SIP Plan set, as those sheets address details/items typically not part of the Engineering reviews.

Civil Engineering Submittals:

As noted, we have submitted detailed comments on the engineering submittals (GESC Plans and Report, Drainage Report, and Civil Site CD’s) directly to Redland. With a few exceptions (e.g. items noted above), these detailed engineering comments should not directly impact the larger picture SIP and/or Plat considerations. Storm water management for the site will be in general conformance with the master planned drainage concept for this area, with water quality and detention provided in RRMD Regional Pond 302 located in Willow Creek just east of the development. The GESC plans/report will address GESC management consistent with local standards during construction of the proposed development. The site civil construction details, consistent with the ultimately approved SIP, will be required to be appropriately reflected in the Civil CD’s.

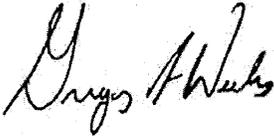
SP14-26R (New Town)
RidgeGate Sec 15, Fil. 21, Lots 4 & 5
Page 5

CONCLUSION

Except as noted in the comments above, the general concept of the proposed New Town Development presented in SIP SP14-26R and Plat SB14-29R appears acceptable to Engineering/Public Works. Subject to appropriate resolution of the issues we have noted, we have no objection to recommendation of SIP and/or Plat approval contingent upon final Engineering/Public Works approval of the various engineering documents/plans. .

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,

A handwritten signature in black ink, appearing to read "Gregory A. Weeks". The signature is written in a cursive style with a large initial "G".

Gregory A. Weeks, PE, LEED @ AP
City Engineer



CITY OF LONE TREE
Community Development Department

REFERRAL REQUEST

Today's date: May 14, 2014

Project Name and File Number: RidgeGate Section 15, Filing 21, 1st Amendment (New Town), Project #SB14-29R

Project Type: Replat

Comments Due By: June 3, 2014

If you are unable to respond by the due date, please contact the project planner

Dear Referral Organization:

Information on the above referenced proposal in the City of Lone Tree is provided for your review and comment. Please submit your response no later than the due date to ensure adequate time to consider comments and enter them into the public record.

If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

X We have no comments regarding this proposal – The Rampart Range Metropolitan District supports this project.

____ Please note the following concerns this organization has:

____ See attached letter for comments regarding this proposal

Organization Name: Rampart Range Metropolitan District

Your name: Denise Denslow

Your signature: *Denise Denslow*
Date: 5/16/14

This project may be subject to public meetings. Please check the City's web site (www.cityoflonetree.com) for posted agendas or contact this office. Thank you for your consideration.

Jennifer Drybread

Senior Planner

PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:

City of Lone Tree Community Development Dept.
9220 Kimmer Drive Suite 100
Lone Tree, CO 80124
jennifer.drybread@cityoflonetree.com



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3660
donna.l.george@xcelenergy.com

June 2, 2014

City of Lone Tree
Community Development Department
9220 Kimmer Drive, Suite 100
Lone Tree, Colorado 80124

Attn: Jennifer Drybread

**RE: RidgeGate Sec 15 Flg 21 Lots 4 and 5 – New Town – Case # SP14-26R
RidgeGate Sec 15 Flg 21 1st Amd – New Town – Case # SB14-29R**

Public Service Company of Colorado (PSCo) has determined **there are possible conflicts** with the above captioned projects. PSCo acknowledges the ten-foot (10') utility easement to be platted on the abutting property to the southeast; however, there is a question as to its usability for dry utilities given the proposed grading in that area.

A proposed monument sign in the southerly corner of Sky Ridge Avenue and Belvedere Lane, as well as various planned trees along the public rights-of-way, appear to be in conflict with the proposed utility easements. The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121 as soon as possible** and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center at 1-800-922-1987** to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Sincerely,

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



June 3, 2014

Jennifer Drybread
9220 Kimmer Drive, Suite 100
Lone Tree, CO 80124

RE: RidgeGate Section 15, Filing 21
TCHD Case # 3164

Dear Ms. Drybread:

Thank you for the opportunity to review and comment on the Replat of 2 lots into 37 lots in the Southeast section of Rivington Ct and Crossington Way. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comment.

Community Design for Active Living

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, we encourage community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Thoughtful community designs can promote people walking or biking as part of their daily routines if considered early in the development process.

The Site Plan does not indicate whether this new development will connect to the East West Regional Trail located on the Southwest corner of the property line. TCHD strongly encourages the applicant to consider adding a trail connection to allow increased physical activity for residents.

In general, providing good, safe connections throughout the proposed subdivision for pedestrians and bicyclists will provide the infrastructure for promoting healthy choices for residents.

Please feel free to contact me at 720-200-1580 or vrichard@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be "V. Richardson", with a horizontal line extending to the right.

Vanessa Richardson

Environmental Health Specialist II

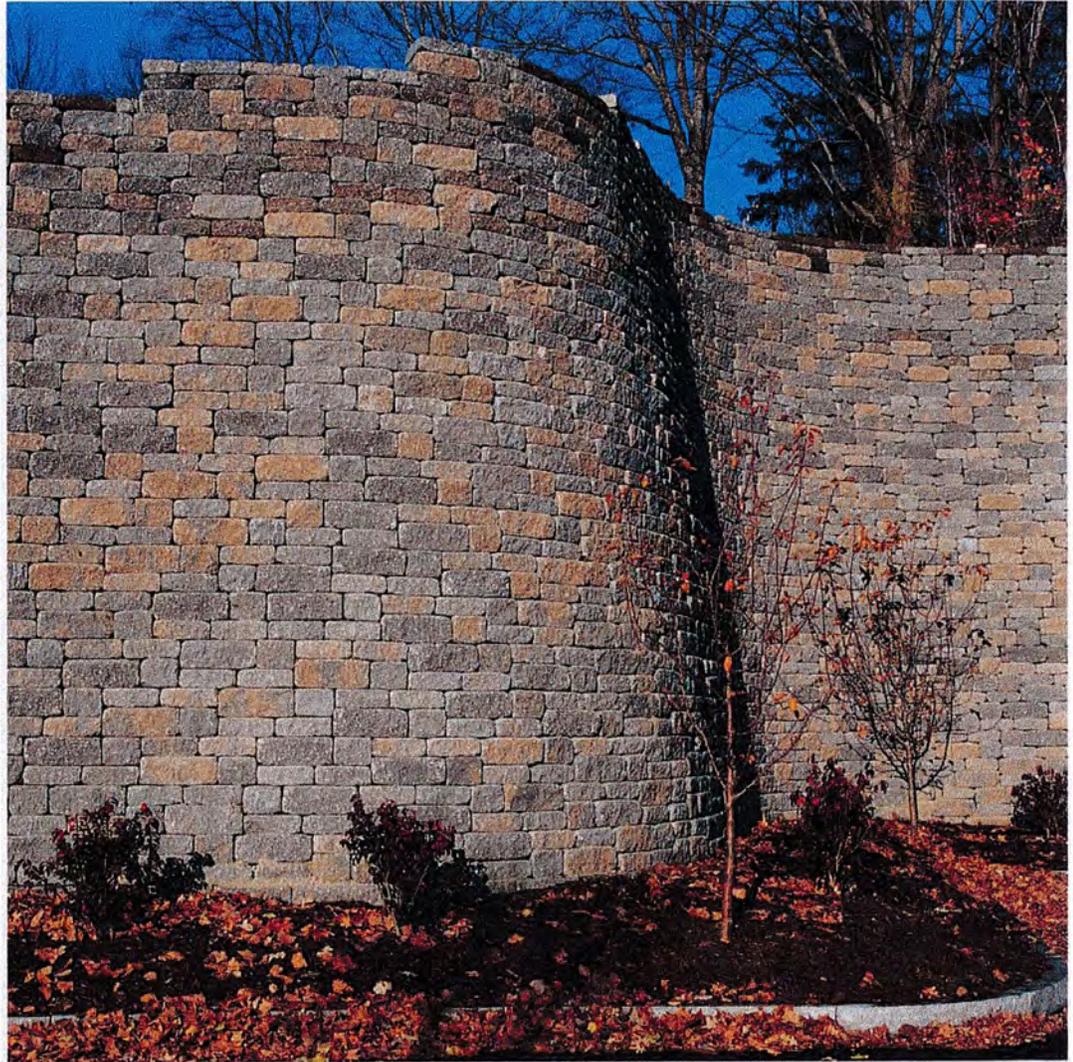
CC: Sheila Lynch, Keith Homersham, TCHD



VERSA-LOK[®]
Retaining Wall Systems

Solid Solutions.[™]

www.versa-lok.com



Mosaic[®]

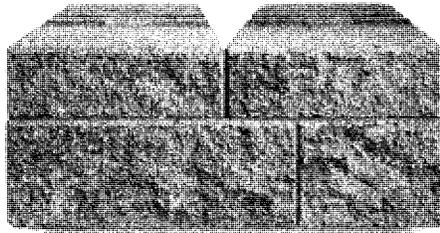
Design & Installation Guidelines

Introduction & Unit Specifications

VERSA-LOK[®] Mosaic[®]

Mosaic panels create a seemingly complex random-patterned, natural stone appearance while still providing unmatched ease in installation and design flexibility.

The VERSA-LOK Mosaic Retaining Wall System represents the ultimate combination of aesthetics and performance in segmental retaining walls.



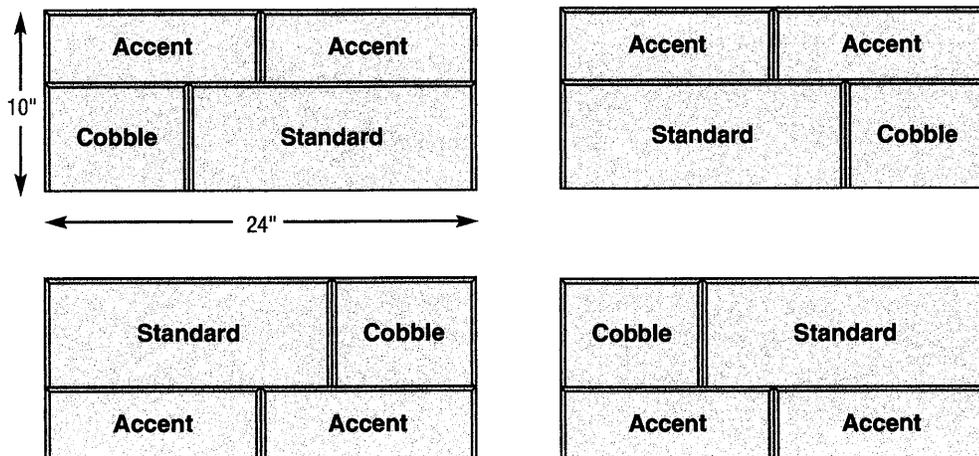
While appearing to be randomly placed in the wall, Mosaic units are installed in simple panels.

The Mosaic system utilizes VERSA-LOK units of varying heights and widths to achieve a random-like pattern that closely resembles natural stone walls. Mosaic retaining walls consist of three units: Standard, Accent[®], and Cobble[®].

One Standard, one Cobble, and two Accent units are arranged in ten-inch-high by 24-inch-wide panels. There are four different panel configurations that can be arranged in any order to form a random, natural stone wall appearance.

The Mosaic system provides design flexibility, durability, and ease of installation. VERSA-LOK Mosaic walls are quickly and economically assembled without mortar and do not require concrete footings. VERSA-LOK's unique hole-to-slot pinning system interlocks units and aids in alignment. Installers can easily modify the solid Mosaic units to create an unlimited variety of curves and corners, without ordering special units. Matching concrete cap units are available to finish any VERSA-LOK Mosaic wall.

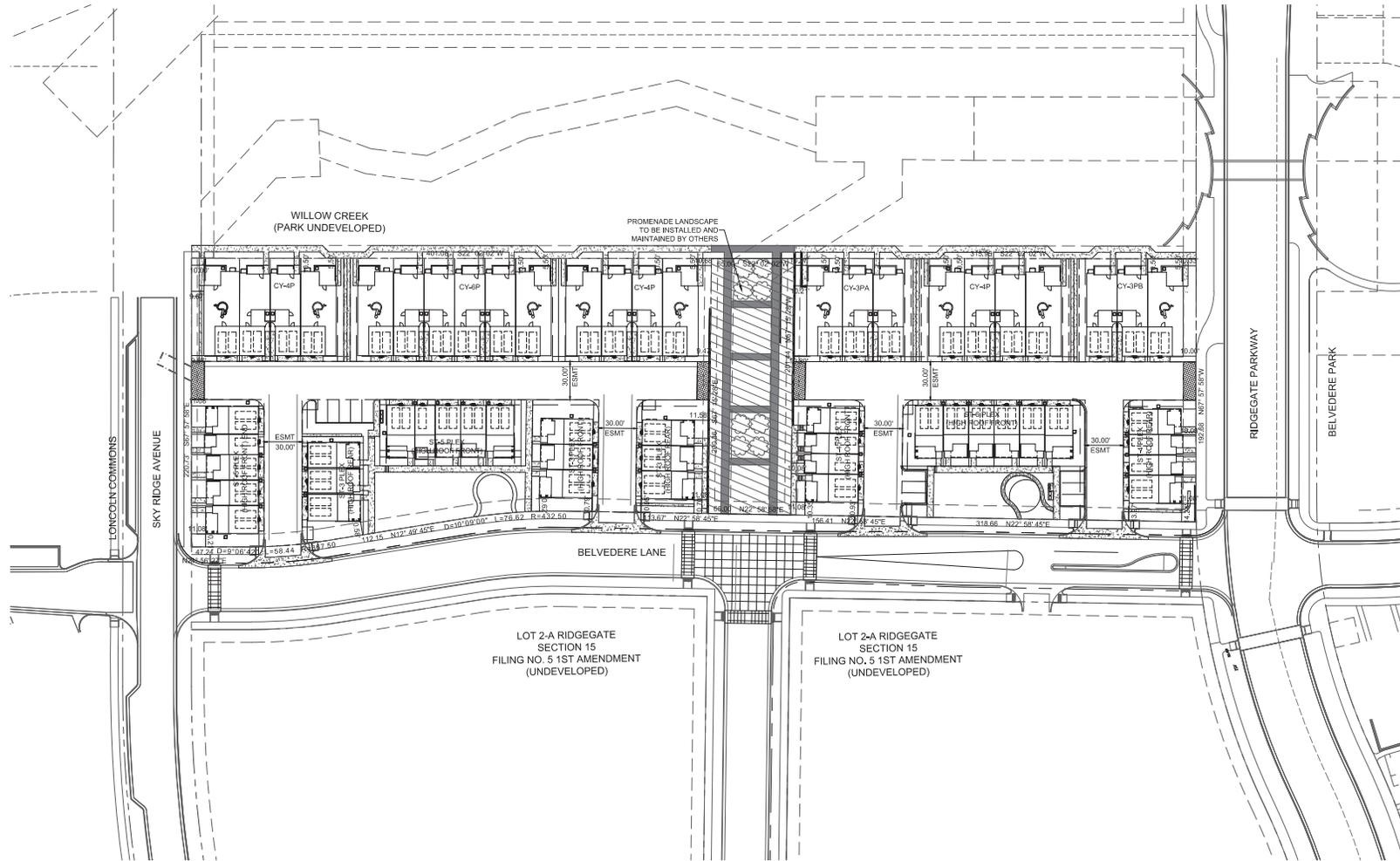
MOSAIC PANEL CONFIGURATIONS



RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



SCALE: 1" = 40'



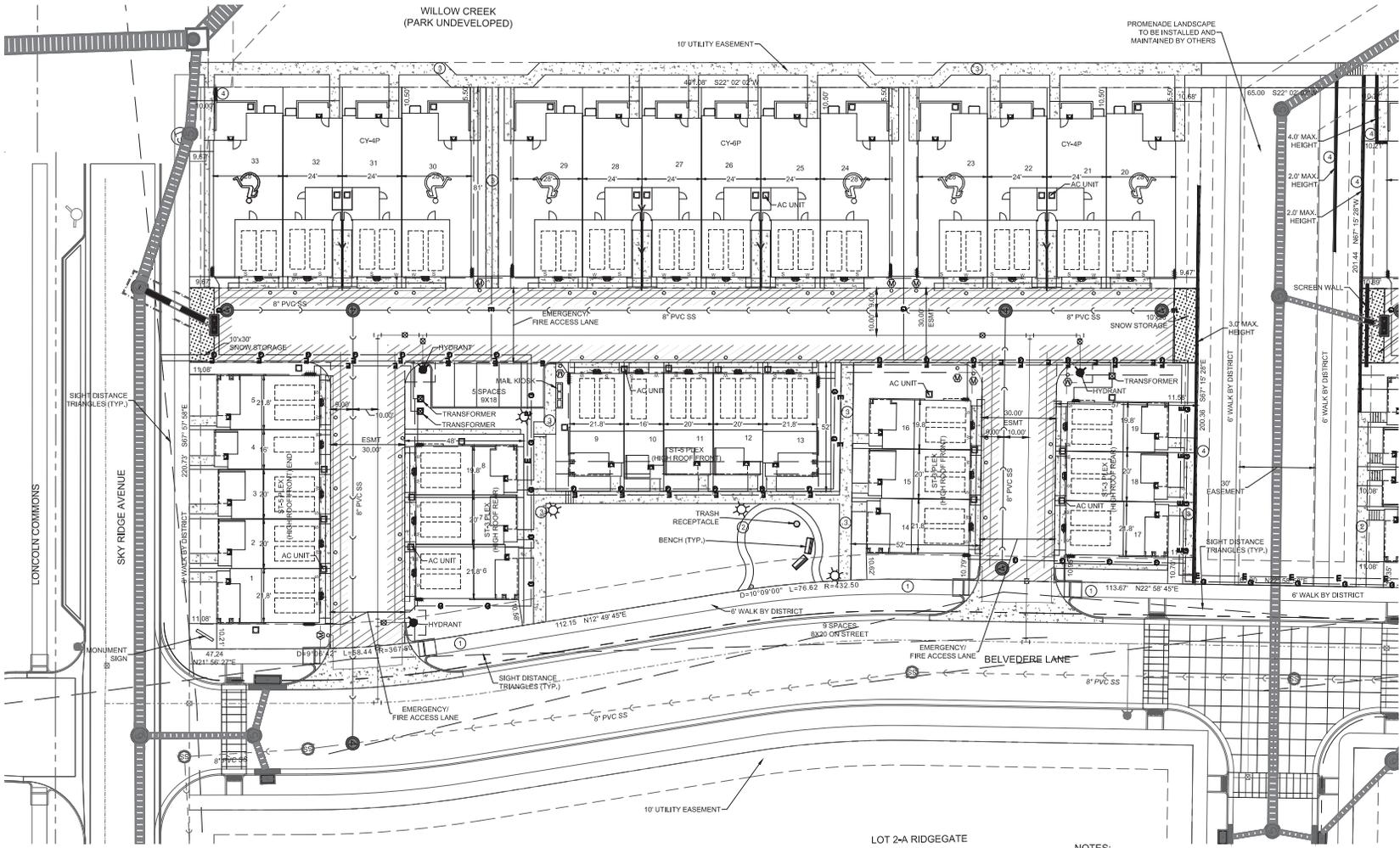
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04.14.14	2	2ND SUBMITTAL		
04.14.14	3	3RD SUBMITTAL		

DATE	NO.	DESCRIPTION	BY	SCALE

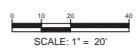
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
OVERALL SITE PLAN

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 Plot Date: 03/14/14 10:52 AM
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 Plot Area: 187.00 sq. ft.
 Plot Weight: 1.00 lb.
 Plot Color: Black
 Plot Font: Arial, 10pt
 Plot Line: 1/8pt
 Plot Style: Redland.ctb
 Plot Path: C:\Users\jgarcia\AppData\Local\Temp\1414141052\1414141052\1414141052.dwg
 Plot Title: Ridgegate Section 15, Filing 21, Lots 4 & 5 Site Improvement Plan (SP14-26R) - Overall Site Plan.dwg
 Plot User: jgarcia
 Plot Version: 2014

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



- NOTES:**
- ① 6' WALK
 - ② 4' WALK
 - ③ 5' WALK
 - ④ RETAINING WALL
 - ☼ WALL-MOUNTED LIGHTING
 - ☼ EXTERIOR LIGHTING
 - CY COURTYARD UNIT
 - ST STACKED UNIT



DATE	NO.	DESCRIPTION
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04.14.14	2	2ND SUBMITTAL
04.14.14	3	3RD SUBMITTAL
04.14.14	4	PROJECTAL
04.14.14	5	FINAL SCALE
04.14.14	6	FINAL SCALE

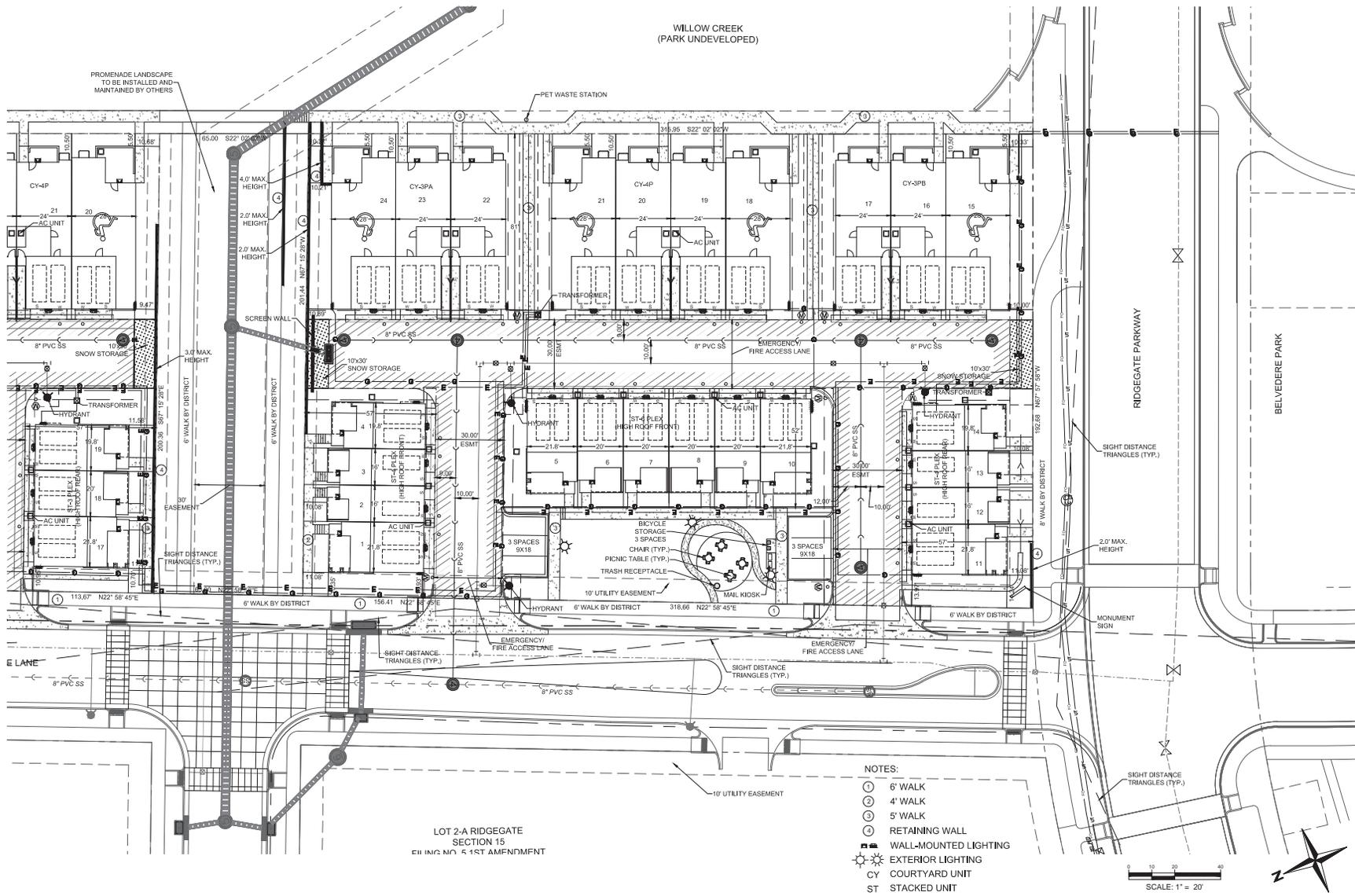
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
LOT 4 SITE PLAN

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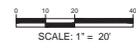
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



- NOTES:
- ① 6' WALK
 - ② 4' WALK
 - ③ 5' WALK
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DATE	NO.	DESCRIPTION	BY	SCALE
04.14.14	1	1ST SUBMITTAL		
04.14.14	2	2ND SUBMITTAL		
04.14.14	3	3RD SUBMITTAL		

RIDGEGATE SECTION 15 - FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
 LOT 5 SITE PLAN

4 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
- THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - ALL PLANT MATERIAL SHALL BE PROTECTED FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, MIRROR VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTLING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
- CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED REPAIRS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES SHALL BE LOCATED A MINIMUM OF 1'0" OFF OF WATERLINE.
- REFER TO THE IRRIGATION PLANS FOR IRRIGATION IMPROVEMENTS.

EDGING:

- ALL EDGING SHALL BE 3/16" X 5 1/2" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURER'S SPECIFICATIONS OR EQUAL.

MULCH:

- WOOD MULCH, NON-DYED SHREDDED CEDAR MULCH OR APPROVED EQUAL.
- COBBLE MULCH, 2-4" ROUND, OVAL NATURAL RIVER COBBLE, DERESSED 2" BELOW SURROUNDING CURBS AND WALKS. PLACE WITH TIGHT JOINTS.
- GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAP, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

SOD:

- ALL SOD SHALL BE TEXAS HYBRID BLUE GRASS "DURABLE" OR "THERMAL BLUE" SOD OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.

SOIL SPECIFICATIONS:

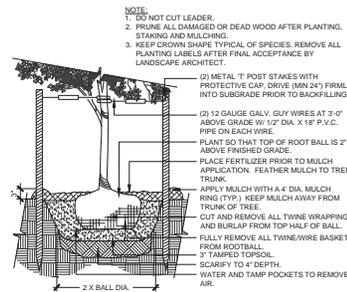
- TOPSOIL SHALL BE FERTILE, FRABLE, SANDY LOAM FROM THE 1' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
- ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS 1 TYPE SUCH AS AVAILABLE FROM A1 COMPOST, JENSEN SALES, PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE NOT ACCEPTABLE. SUBMIT DATED RECENT MATERIAL ANALYSIS TO LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
- SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
- PREPARED BACKFILL FOR TREES/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/ SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

WALLS:

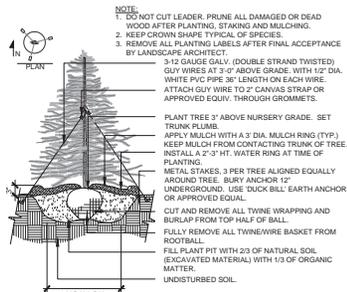
- RETAINING WALL: MATERIAL TO BE MOSAIC AS PROVIDED BY VERSA-LOK OR APPROVED EQUAL. COLOR TO BE APPROVED BY OWNER AND DISTRICT.
- SCREEN WALL: BRICK COLOR TO BE GENERAL SHALE COLESEUM TO MATCH ARCHITECTURE. CONCRETE CAP TO BE STANDARD GRAY IN COLOR.

PLANT SCHEDULE

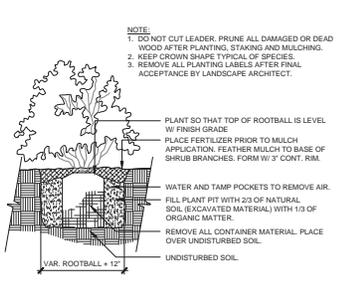
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
GLSK	9	GLEDITSIA TRACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	B & B	3" CAL
GYES	8	GYMNOCALDIUS DOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	3" CAL
QURU	12	QUERCUS RUBRA	RED OAK	B & B	3" CAL
TGR	11	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	B & B	3" CAL
	40				
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
JURK	48	JUNIPERUS VIRGINIANA 'SKYROCKET'	SKYROCKET JUNIPER	B & B	6-8" HT
	48				
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
ACGI	9	ACER GINNALA	AMUR MAPLE	B & B	2.5" CAL
MAPP	9	MALUS X PRARIFRINIF	PRARIFRINE CRAB APPLE	B & B	2.5" CAL
MASP	16	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2.5" CAL
PRPO	20	PRUNUS VIRGINIANA 'POZZ'	SUCKER PUNCH CHOKECHERRY	B & B	MULTI-STEM
PVCH	12	PRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	B & B	2.5" CAL
	66				
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
BUDP	53	BUDDLEIA DAVIDI 'POTTER'S PURPLE'	POTTER'S PURPLE BUTTERFLY BUSH	5 GAL	
CORE	61	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL	
EUCO	45	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	5 GAL	
HYIN	30	HYDRANGEA ARBORESCENS 'INVINCIBELLE SPIRIT'	INVINCIBELLE SPIRIT HYDRANGEA	5 GAL	
ROBA	81	ROSA VAS. RADRAZZ	KNOCK OUT ROSE	5 GAL	
ROFL	63	ROSA X FLOWER CARPET CORAL	CORAL FLOWER CARPET ROSE	5 GAL	
SPLP	33	SPREAIA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	5 GAL	
VIDE	67	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	5 GAL	
WEAL	81	WEIGELA FLORIDA 'ALEXANDRA' TM	WINE & ROSE WEIGELA	5 GAL	
WRP	39	WEIGELA FLORIDA 'RED PRINCE'	RED PRINCE WEIGELA	5 GAL	
	563				
EVERGREEN SHRUB	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
JUWI	46	JUNIPERUS HORIZONTALIS 'WILTON'	WILTON BLUE RUG JUNIPER	5 GAL	
MAAC	47	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT GREGG GRAPE HOLLY	5 GAL	
PISL	12	PINUS MUGO 'SLOWGROWD'	MUGO PINE	5 GAL	
	105				
ORNAMENTAL GRASS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
CAIK	207	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	FOERSTER'S REED GRASS	1 GAL	
CAVA	183	CALAMAGROSTIS ARUNDINACEA BRACHYTRICHA	KOREAN FEATHER REED GRASS	1 GAL	
MSJ	115	MISCANTHUS SINENSIS	MAIDEN GRASS	1 GAL	
MTVJ	120	MISCANTHUS SINENSIS 'YAKU JIMA'	DWARF MAIDEN GRASS	1 GAL	
	725				
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
HERE	52	HEMEROCALLIS X 'RED'	RED DAYLILY	1 GAL	
HESO	178	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	
HORS	39	HOSTA X 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	1 GAL	
LKAN	76	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1 GAL	
RUKO	48	RUBROCOA FLUGOSA 'GOLDSBURG'	BLACK-EYED SUSAN	1 GAL	
SAMA	514	SALVIA SYLVESTRIS X 'MANNAGHT'	MAY NIGHT SALVIA	1 GAL	
	968				
GROUND COVERS			COMMON NAME	CONT @	
			PREMIUM BLUEGRASS	SOD	



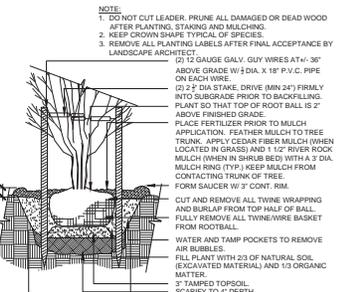
1. DECIDUOUS TREE
1/2" = 1'-0"



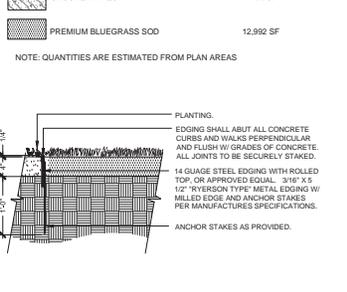
2. EVERGREEN TREE PLANTING
3/8" = 1'-0"



3. SHRUB / ORNAMENTAL GRASS PLANTING
1/2" = 1'-0"



4. ORNAMENTAL TREE PLANTING
1/2" = 1'-0"



5. STEEL EDGING
1/4" = 1'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[Symbol]	12" MOUNTAIN GRANITE WALKWAY	471 SF
[Symbol]	COBBLE SWALE	9,427 SF
[Symbol]	SHREDDED WOOD MULCH	21,699 SF
[Symbol]	CONCRETE FLATWORK WITH INTEGRAL COLOR	471 SF
[Symbol]	CRUSHER FINES	704 SF
[Symbol]	PREMIUM BLUEGRASS SOD	12,992 SF

NOTE: QUANTITIES ARE ESTIMATED FROM PLAN AREAS

EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH W/ GRASSES OF CONCRETE. ALL JOINTS TO BE SECURELY STAKED.
14 GAUGE STEEL EDGING WITH ROLLED TOP OR APPROVED EQUAL, 3/16" X 5/8" 12" RYERSON TYPE METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURER'S SPECIFICATIONS.
ANCHOR STAKES AS PROVIDED.

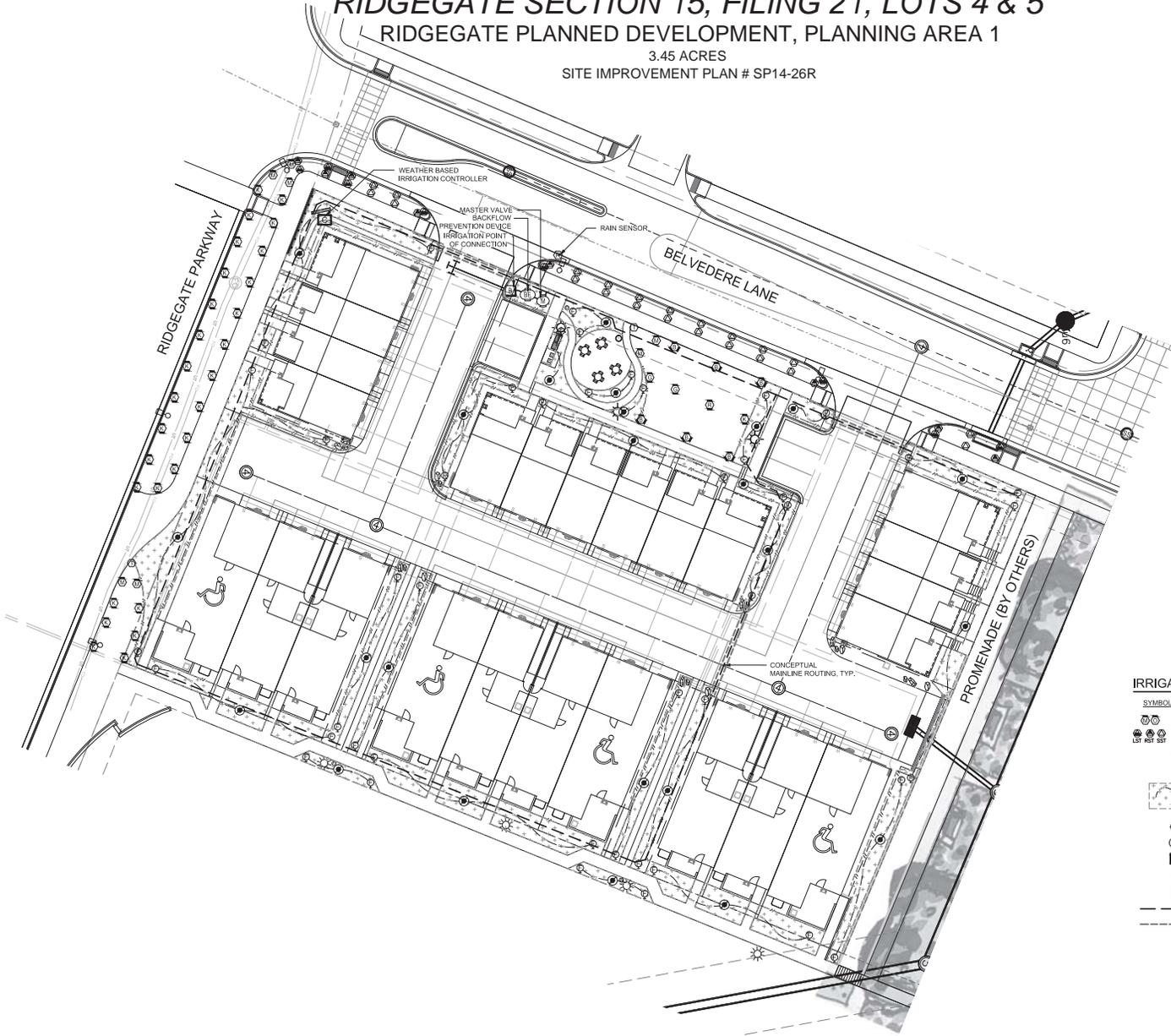
REDLAND

NEW TOWN BUILDERS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
LANDSCAPE SCHEDULE

7 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	POP-UP ROTARY SPRAY HEADS
	PIPE TRANSITION POINT
	FLUSH VALVE
	POINT SOURCE DRIP AREA
	MASTER VALVE
	REDUCED PRESSURE BACKFLOW PREVENTER
	WEATHER-BASED SMART CONTROLLER
	RAIN/FREEZE SENSOR TRANSMITTER
	WATER METER 3/4"
	IRRIGATION MAINLINE
	CONCEPTUAL MAINLINE ROUTING, TYP.

1 LOT 5 IRRIGATION PLAN

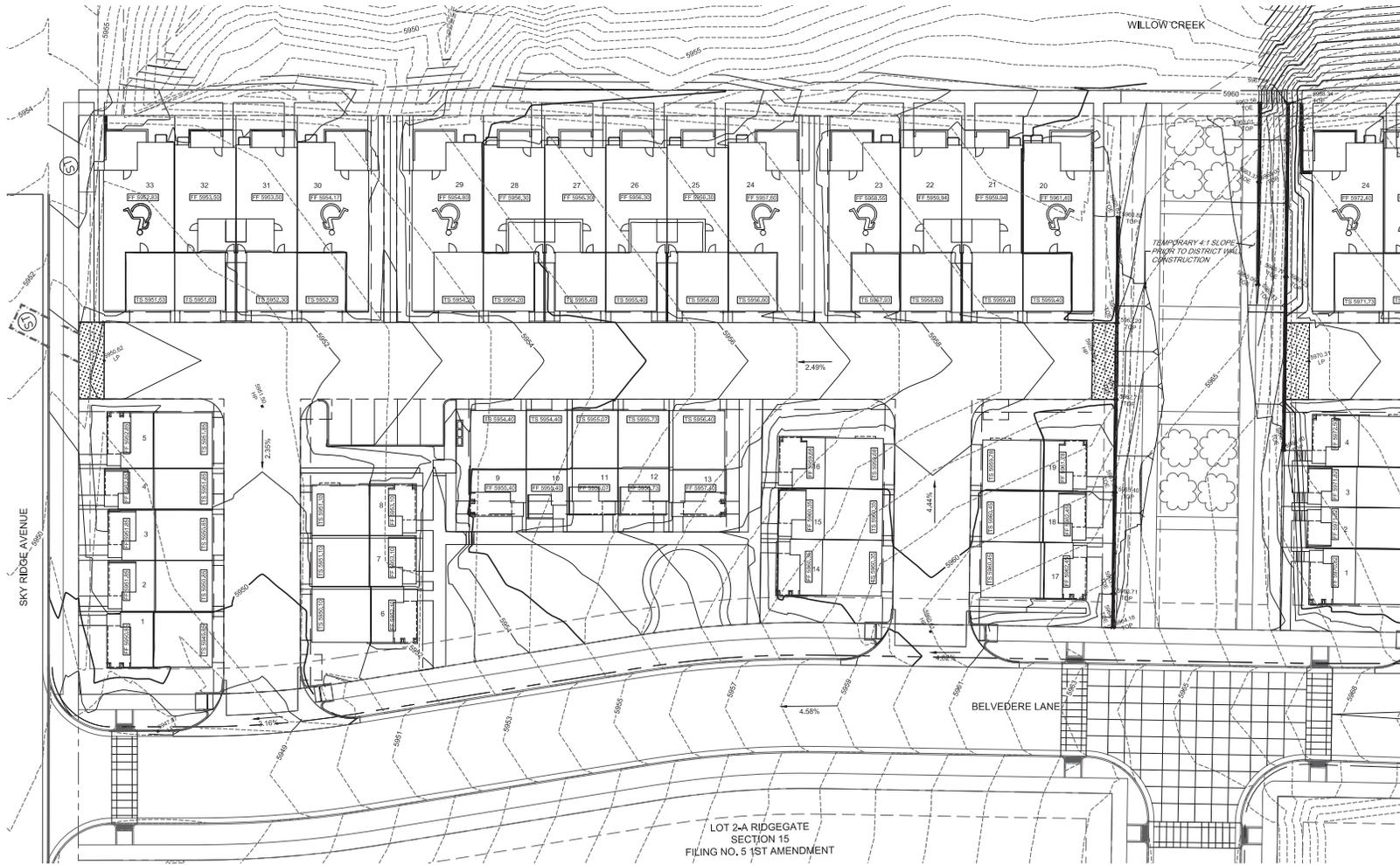


REDLAND
 THE CITY OF
 NEW TOWN BUILDERS
 CHECKED BY: []
 APPROVED BY: []
 DATE: []

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
LOT 5 IRRIGATION PLAN

9 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



LOT 2-A RIDGEGATE SECTION 15 FILING NO. 5 1ST AMENDMENT



DATE	BY	DESCRIPTION

DATE	NO.	NOTE
03/13/14	1	1ST SUBMITTAL
03/13/14	2	2ND SUBMITTAL
03/13/14	3	3RD SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
LOT 4 GRADING PLAN

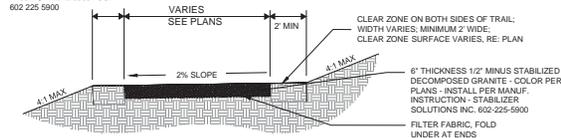
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R

STABILIZER NOTES:
SUPPLY AND INSTALL STABILIZER MIXTURE OVER 3" THICKNESS OF 1/2" MINUS DECOMPOSED GRANITE OVER COMPACTED SUBGRADE PER MANUFACTURER'S SPECIFICATIONS-INSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.

CONTACT INFORMATION FOR FURTHER SPECIFICATIONS:
Stabilizer Solutions, Inc.
205 South 28th Street
Phoenix, Arizona 85034 USA
602.225.5900



ADDITIONAL NOTES:

- DISTURBANCE TO EXISTING VEGETATION SHALL NOT EXCEED LIMITS OF DISTURBANCE REQUIRED FOR GRADING OF TRAILS. ANY ADDITIONAL DISTURBANCE TO EXISTING VEGETATION SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR AT FAULT.
- ALL CRUSHER FINES MATERIAL SHALL BE COLOR GRAY OVER FILTER FABRIC.

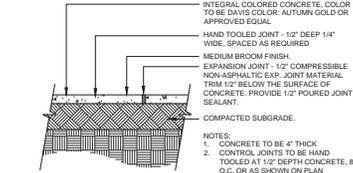
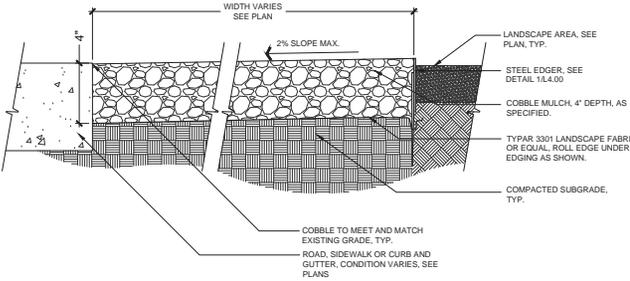
1 CRUSHER FINES TRAIL

1/4" = 1'-0"

321543-03

2 COBBLE MULCH BAND

3" = 1'-0"



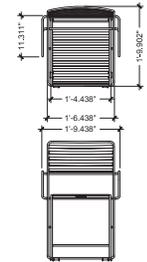
- NOTES:**
- CONCRETE TO BE 4" THICK
 - CONTROL JOINTS TO BE HAND TOOLED AT 1/2" DEPTH CONCRETE, IF O.C. OR AS SHOWN ON PLAN

3 CONCRETE FLATWORK - COLORED

3/4" = 1'-0"

R-14

Parc Centre® Chair, with Arms
Product Drawing
landscapeForms
www.landscapeforms.com Ph: 800.921.2546



MANUFACTURER: LANDSCAPE FORMS
MODEL: PARC CENTRE CHAIR WITH ARMS
COLOR: METALLIC SILVER
CONTACT: VIVIAN KOVACS 303-799-0028 VVIANK@LANDSCAPEFORMS.COM

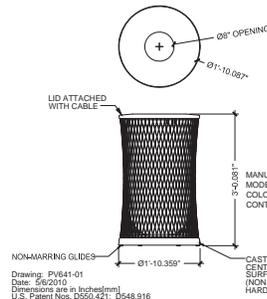
Drawing: PC018-02
Date: 6/10/2010
Dimensions are in Inches[mm]
U.S. Patent Nos. D572,456; D569,121

4 CHAIR

3/4" = 1'-0"

R-04

Parc Vue® Litter Receptacle, Top Opening, With Um-Shaped Liner
Product Drawing
landscapeForms
www.landscapeforms.com Ph: 800.921.2546



MANUFACTURER: LANDSCAPE FORMS
MODEL: PARC VUE LITTER RECEPTACLE
COLOR: METALLIC SILVER
CONTACT: VIVIAN KOVACS 303-799-0028 VVIANK@LANDSCAPEFORMS.COM

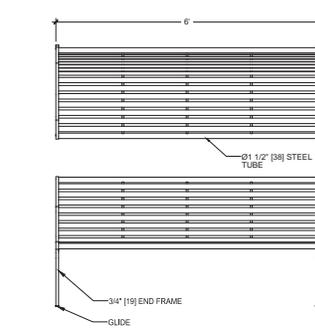
Drawing: PV641-01
Date: 6/6/2010
Dimensions are in Inches[mm]
U.S. Patent Nos. D550,421; D548,916

5 TRASH RECEPTACLE

3/4" = 1'-0"

R-06

Parc Vue® Backed Bench, 72in. Freestanding, with End Arms
Product Drawing
landscapeForms
www.landscapeforms.com Ph: 800.921.2546



MANUFACTURER: LANDSCAPE FORMS
MODEL: PARC VUE BACKED BENCH
COLOR: METALLIC SILVER
CONTACT: VIVIAN KOVACS 303-799-0028 VVIANK@LANDSCAPEFORMS.COM

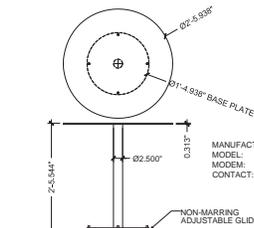
Drawing: PV644-02
Date: 5/18/2010
Dimensions are in Inches[mm]
U.S. Patent Nos.: D532,030; D534,021; D528,831

6 BENCH

3/4" = 1'-0"

R-05

Parc Centre® Table, 30in Round Top, Freestanding
Product Drawing
landscapeForms
www.landscapeforms.com Ph: 800.921.2546



MANUFACTURER: LANDSCAPE FORMS
MODEL: PARC CENTRE 30" TABLE
COLOR: METALLIC SILVER
CONTACT: VIVIAN KOVACS 303-799-0028 VVIANK@LANDSCAPEFORMS.COM

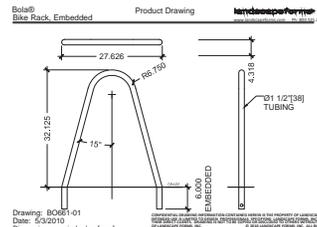
Drawing: PC021-01
Date: 5/9/2010
Dimensions are in Inches[mm]

7 PICNIC TABLE

3/4" = 1'-0"

R-03

Bola® Bike Rack, Embedded
Product Drawing
landscapeForms
www.landscapeforms.com Ph: 800.921.2546

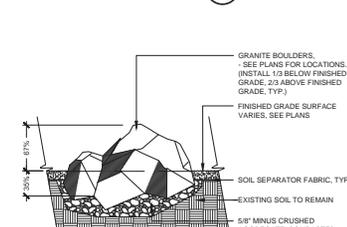


MANUFACTURER: LANDSCAPE FORMS
MODEL: BOLA BIKE RACK
COLOR: METALLIC SILVER
CONTACT: VIVIAN KOVACS 303-799-0028 VVIANK@LANDSCAPEFORMS.COM

8 BIKE RACK

3/4" = 1'-0"

R-02

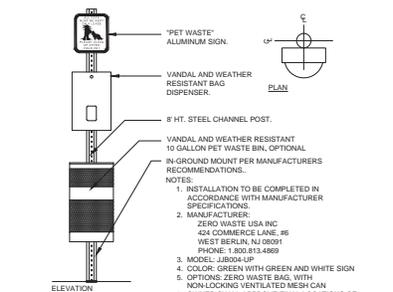


NOTE: CONTRACTOR SHALL COORDINATE VISIT WITH LANDSCAPE ARCHITECT TO SELECT AND PLACE BOULDERS. COLOR: GREY GRANITE AS SUPPLIED BY PIONEER SAND CO. OR APPROVED EQUAL. WIDTH: BETWEEN 30 AND 42"

9 LANDSCAPE BOULDER

1/4" = 1'-0"

EF-21



10 PET STATION

1" = 1'-0"

12923-52



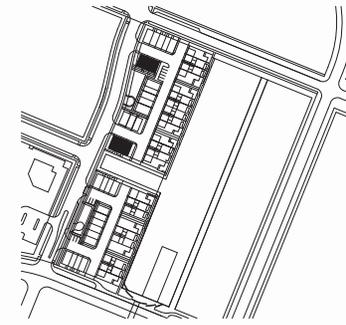
NO.	DATE	BY	CHKD.	APPV.	NOTES
1	06/10/10	ST. S. SMITH			
2	06/10/10	ST. S. SMITH			
3	06/10/10	ST. S. SMITH			
4	06/10/10	ST. S. SMITH			
5	06/10/10	ST. S. SMITH			
6	06/10/10	ST. S. SMITH			
7	06/10/10	ST. S. SMITH			
8	06/10/10	ST. S. SMITH			
9	06/10/10	ST. S. SMITH			
10	06/10/10	ST. S. SMITH			

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
SITE FURNISHING DETAILS

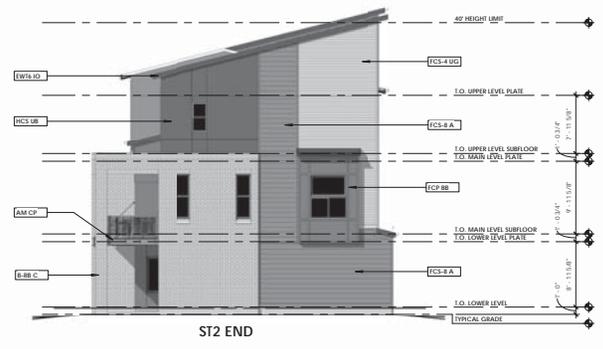
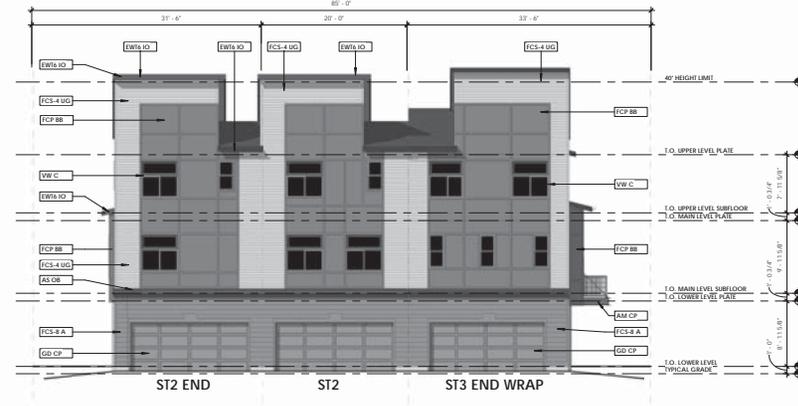
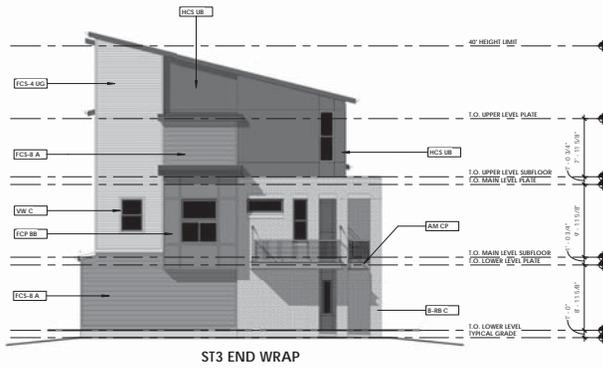
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
B-BR-C	BRICK - RUNNING BOND - GENERAL SHALE - COLESLUM
FCP-BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS T520 BURNISHED BRANDY
FCS-4UG	FIBER CEMENT LAP SIDING - F EXPOSURE - SHERWIN WILLIAMS T520 - CUSTIL GRAY
FCS-4A	FIBER CEMENT LAP SIDING - F EXPOSURE - SHERWIN WILLIAMS T548 - ANONYMOUS
HCS-BB	HAND-CAST STUCCO - SHERWIN WILLIAMS T520 BURNISHED BRANDY
HCS-UB	HAND-CAST STUCCO - SHERWIN WILLIAMS T548 - URBANE BROWN
AM-CP	ALUMINUM CLADDING - SHERWIN WILLIAMS T500 SPINNING BOND
EWB-ID	THE ENGINEERED WOOD TRIM FACIA - SHERWIN WILLIAMS TRAY BROWN OSE
AS-OB	ASPHALT SHINGLES - OWENS CORNING OWYS BLACK
VW-C	VINYL WINDOW - CLAN COLOR



OWNER	REV. NO.	DATE
CHICAGO	001	08.24.14
CHICAGO	002	08.13.14
CHICAGO	003	08.14.14

NO.	DATE	DESCRIPTION
1	08.24.14	1ST SUBMITTAL
2	08.13.14	2ND SUBMITTAL
3	08.14.14	3RD SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-3 PLEX (HIGH ROOF REAR) ELEVATIONS

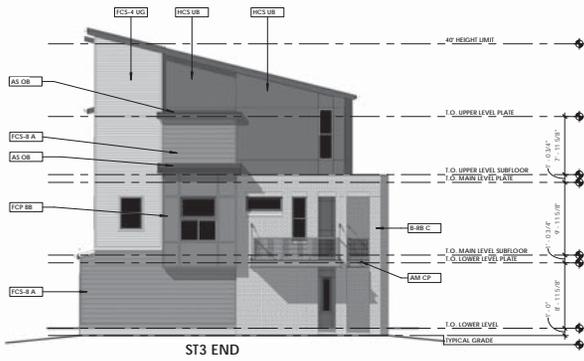
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



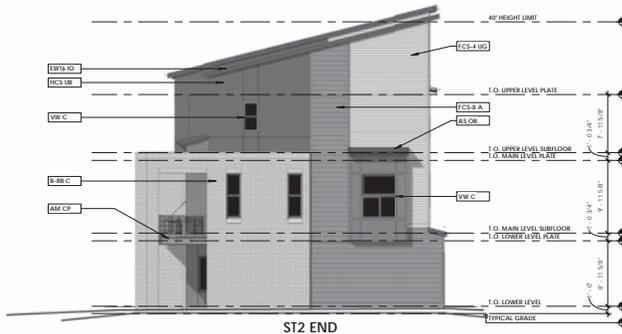
MARK	DESCRIPTION
B-B-C	BRCK - BRUNING BOND - GENERAL SHALE - COLSEUM
CP-BB	BRCK - CEMENT PANEL - SHERWIN WILLIAMS T52 BURGUNDY BRANDY
FCS-4-UG	BRCK - CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS T502 - URBAL GRAY
FCS-8-A	BRCK - CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS T084 - ANONYMOUS
FCS-BB	MAROCQAL BRCK - SHERWIN WILLIAMS T522 BURGUNDY BRANDY
HCS-UB	MAROCQAL BRCK - SHERWIN WILLIAMS T084 - URBANE BRONZE
HW-CP	HW - CEDAR SHED - SHERWIN WILLIAMS T5000 CEDAR SHED
EW-16-KD	HW - ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS T069 BROWN ONE
AO-OB	ASPHLT - BRICKLE - LOWING, CAROLING GRAY BLACK
WV-C	WV - WINDOW - JUNEY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

DATE	NO.	DESCRIPTION	BY	CHK.
02.24.14	1	1ST SUBMITTAL		
03.13.14	2	2ND SUBMITTAL		
03.14.14	3	3RD SUBMITTAL		

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-4PLEX (HIGH ROOF REAR)
ELEVATIONS

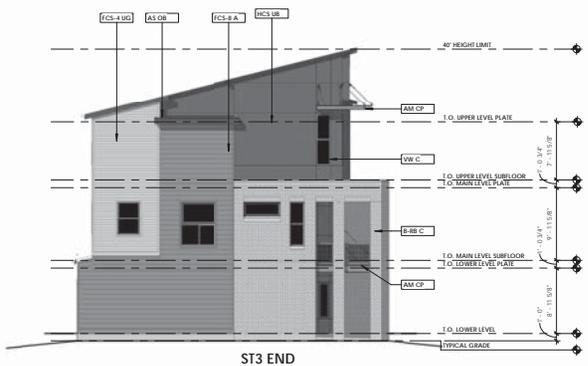
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



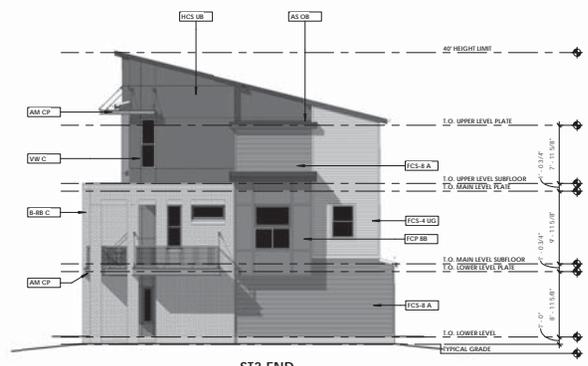
MATERIAL LEGEND	
MARK	DESCRIPTION
B-B-C	BRICK - RUNNING BOND - GENERAL SHALE - COLSEUM
FCP-BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS 223 BLENDED BRANDY
FCP-UG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 205 - CESTIL GRAY
FC-S-A	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 204 - ANONYMOUS
HCS-LB	HAND-CAST STUCCO - SHERWIN WILLIAMS 202 BLENDED BRANDY
HCS-LB	HAND-CAST STUCCO - SHERWIN WILLIAMS 204 - URBANE BECHTOLD
AM-CP	ALUMINUM CLADDING - SHERWIN WILLIAMS 200-OPPER POP
EW-EO	ENGRAINED WOOD TRIM FACIA - SHERWIN WILLIAMS 204-BROWN OAK
AS-OB	ASPHALT SHINGLES - COVERING CORNING ONYX BLACK
VW-C	VINYL WINDOW - CLEAN COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DATE	NO.	DESCRIPTION	BY	CHK.
04.24.14	1	1ST SUBMITTAL		
06.13.14	2	2ND SUBMITTAL		
08.04.14	3	3RD SUBMITTAL		

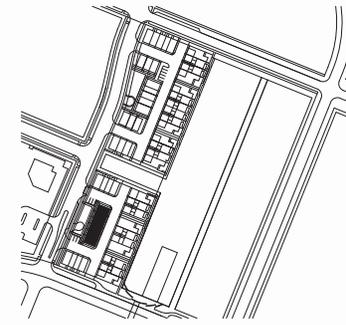
DATE	NO.	DESCRIPTION	BY	CHK.

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-5-PLEX (HIGH ROOF FRONT) END ELEVATIONS

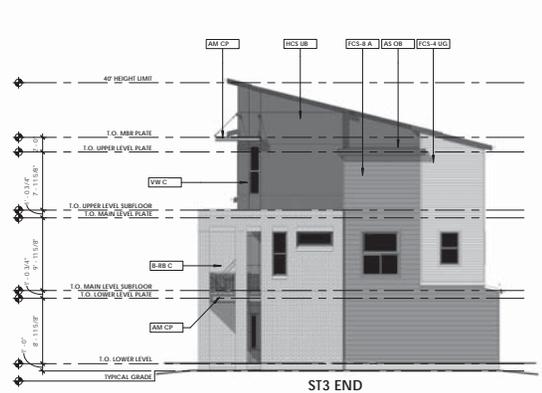
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
B-BB C	BRICK - RUNNING BOND - GENERAL SHALE - C-CLAY
CP-BB	SEER - CONCRETE PANEL - SHERWIN WILLIAMS T53 BURNISHED BRANCO
FCS-4 UG	SEER CEMENT LAP SIDING - EXPOSURE - SHERWIN WILLIAMS T53 - USEFUL GRAY
FCS-A	SEER CEMENT LAP SIDING - EXPOSURE - SHERWIN WILLIAMS T50 - ANDROMEDA
FCS-BB	HARDCOAT TRUCCO - SHERWIN WILLIAMS T53 BURNISHED BRANCO
FCS-BB	HARDCOAT TRUCCO - SHERWIN WILLIAMS T53 BURNISHED BRANCO
FCS-BB	HARDCOAT TRUCCO - SHERWIN WILLIAMS T53 BURNISHED BRANCO
AM CP	ACCENT METAL - SHERWIN WILLIAMS T50 COPPER PIG
EWIS-30	4x8 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS T50 BROWN ORE
HS-BB	HORIZONTAL SIDING - OVERSIC CORNING LINY BLACK
VW-C	VINYL WINDOW - CLAY COLOR



DATE	NO.	DESCRIPTION	BY	CHK.
04.24.14	1	1ST SUBMITTAL		
05.13.14	2	2ND SUBMITTAL		
06.14.14	3	3RD SUBMITTAL		

DATE	NO.	DESCRIPTION	BY	CHK.

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-6PLEX (HIGH ROOF FRONT)
ELEVATIONS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R

MATERIAL LEGEND	
MARK	DESCRIPTION
BSB A	BSB-X - RUNNING BOND - GENERAL SHALE - ADDISON
FCP BM	BSB-C CEMENTICUS PANEL - SHERWIN WILLIAMS 8997 - BLACK MAGNET
ECS-4 GG	BSB-C CEMENTICUS PANEL - 4" EXPOSURE - SHERWIN WILLIAMS 7005 - GAROLF GRAY
ECS-8 DG	BSB-C CEMENTICUS PANEL - 8" EXPOSURE - SHERWIN WILLIAMS 7011 - DOBMAN GRAY
MSB B	MASONRY BRICK - SHERWIN WILLIAMS 414 - SPOTTEN HAN
MSB B	ACCENT METAL - SHERWIN WILLIAMS 7600 - BULLOCK
AS OB	ASPHALT BRINGLE - OWENS CORNING ONYX BLACK



4 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DATE	NO.	DESCRIPTION
06.24.14	1	1ST SUBMITTAL
06.13.14	2	2ND SUBMITTAL
06.14.14	3	3RD SUBMITTAL

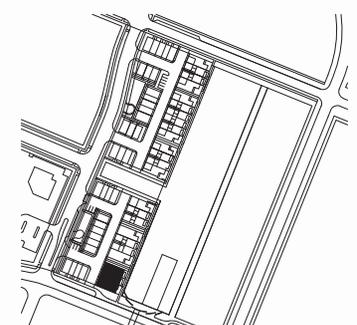
DESIGN	SCALE
DRAMA	1/8" = 1'-0"
CHECKED	1/8" = 1'-0"
APPROVED	1/8" = 1'-0"
DATE	1/8" = 1'-0"
SCALE	1/8" = 1'-0"
VERT. SCALE	1/8" = 1'-0"

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-3PA BUILDING ELEVATIONS

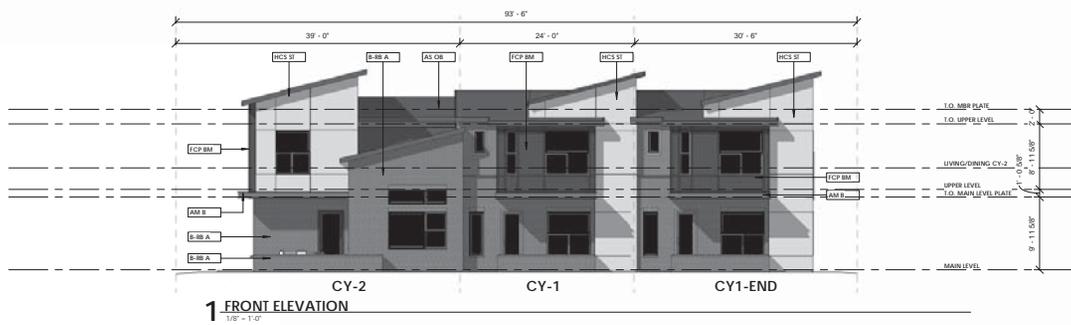
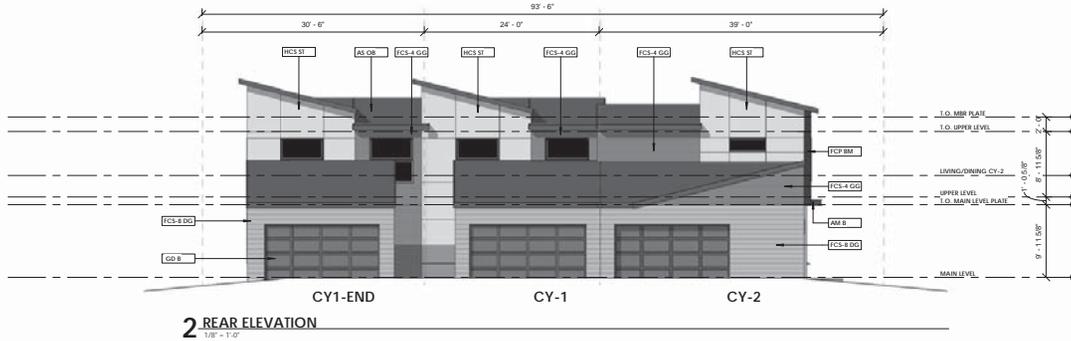
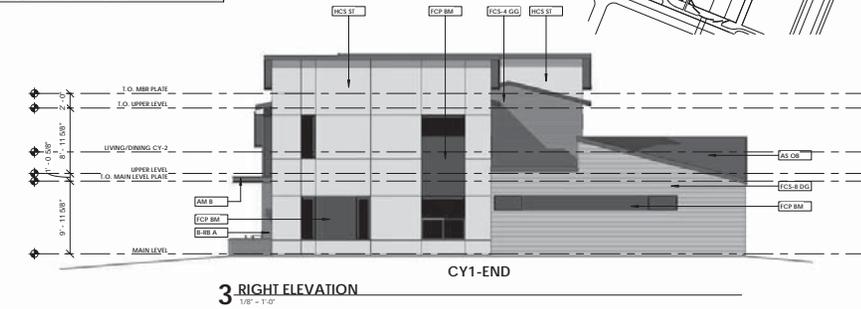
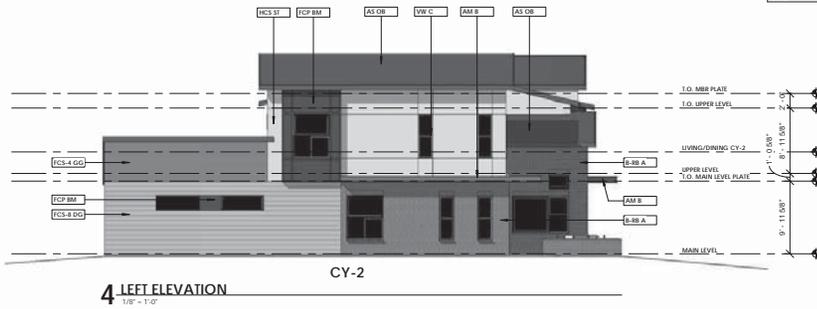
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
B-SB A	BRICK - RUNNING BOND - GENERAL SHALE - ADDISON
FCP BM	FIBRE CEMENTOUS PANEL - SHERWIN WILLIAMS 8971 - BLACK MAGAZ
FCS-4 GG	FIBRE CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7058 - GIBBLE GRAY
FCS-8 DG	FIBRE CEMENT SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7071 - COBAIN GRAY
HCS ST	HANDSCAPED STUCCO - SHERWIN WILLIAMS 5141 - SCUTTERAN
AS OB	ASBESTOS FREE - SHERWIN WILLIAMS 7059 - BELLING
AS OB	ASPHALT SHINGLE - OWENS CORNING ORNIX BLACK



DATE	NO.	DESCRIPTION	BY	SCALE
06.24.14	1	1ST SUBMITTAL		
06.13.14	2	2ND SUBMITTAL		
06.14.14	3	3RD SUBMITTAL		

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
 CY-3PB BUILDING ELEVATIONS

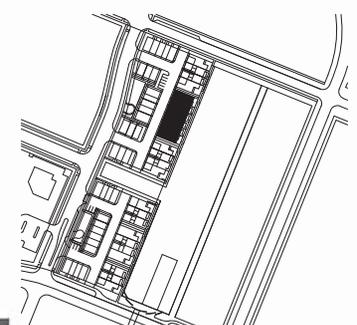
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R

MATERIAL LEGEND	
MARK	DESCRIPTION
B-BB A	BRICK - RUNNING BOND - GENERAL SHALE / ZODISON
FCP BM	FIBRE CEMENT FLOOR PANELS - SHERWIN WILLIAMS TRIO - BLACK MARBLE
FC3-4 GG	FIBRE CEMENT LAP SIDING - F EXPOSURE - SHERWIN WILLIAMS TRIO - GRAYLE GREY
FC3-4 DG	FIBRE CEMENT SIDING - F EXPOSURE - SHERWIN WILLIAMS TRIO - COBALT GRAY
HCS ST	HORIZONTAL SLUICING - SHERWIN WILLIAMS TRIO - SPIDER FAN
AM B	ACCENT METAL - SHERWIN WILLIAMS TRIO - BOLDERS
FC3-8	FORMAL SINGLE - COVERING CORNER ONLY BLACK



4 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	BY/AD	CHECKED	BY/AD	APPROVED	BY/AD	DATE	SCALE	VERT. SCALE

DATE	NO.	NOTE
06.24.14	1	1ST SUBMITTAL
06.13.14	2	2ND SUBMITTAL
06.14.14	3	3RD SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-6P BUILDING ELEVATIONS

SHEET

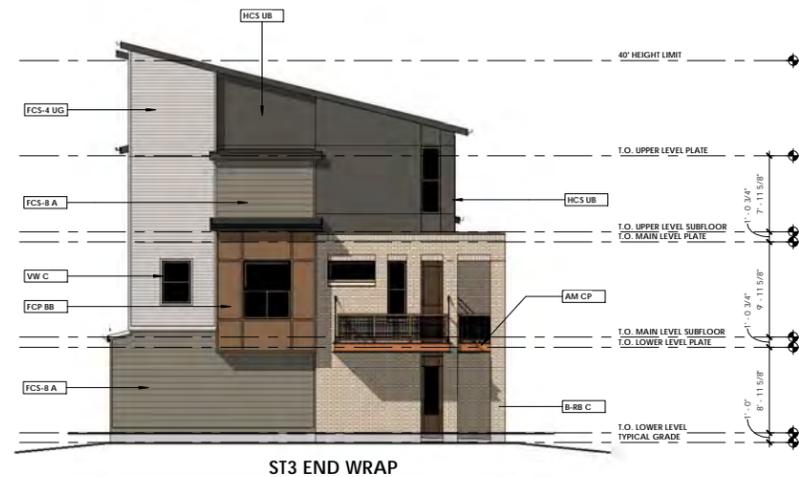
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MARK	DESCRIPTION
B-RB C	BRICK - RUNNING BOND - GENERAL SHALE - COLISEUM
FCP BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7056 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
HCS UB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7048 - URBANE BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7709 COPPER POT
EW6 IO	1x6 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7069 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	RW, TK, JK
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORIZ SCALE	N/A
VERT SCALE	N/A

DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

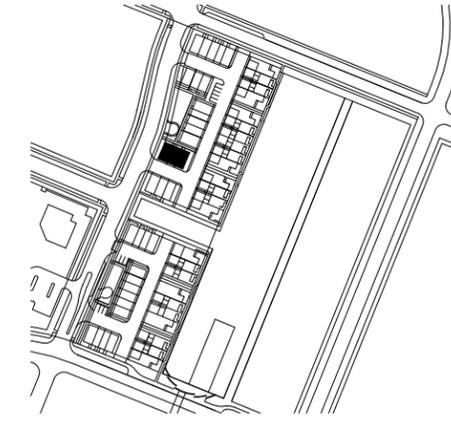
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-3PLEX (HIGH ROOF REAR) ELEVATIONS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R



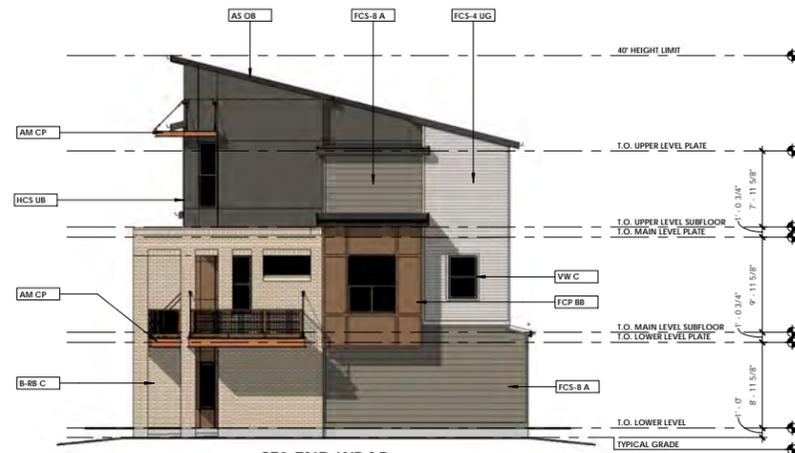
MARK	DESCRIPTION
B-RR C	BRICK - RUNNING BOND - GENERAL SHALE - COUSEUM
FCP BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7092 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
HCS UB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7048 - URBANE BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7190 COPPER POT
EW16 IO	1 1/2" ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7069 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	REV. NO.	DATE
RV	1	04.24.14
RV	2	05.13.14
RV	3	06.04.14

NO.	DATE	DESCRIPTION
1	04.24.14	1ST SUBMITTAL
2	05.13.14	2ND SUBMITTAL
3	06.04.14	3RD SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-3PLEX (HIGH ROOF FRONT) ELEVATIONS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R



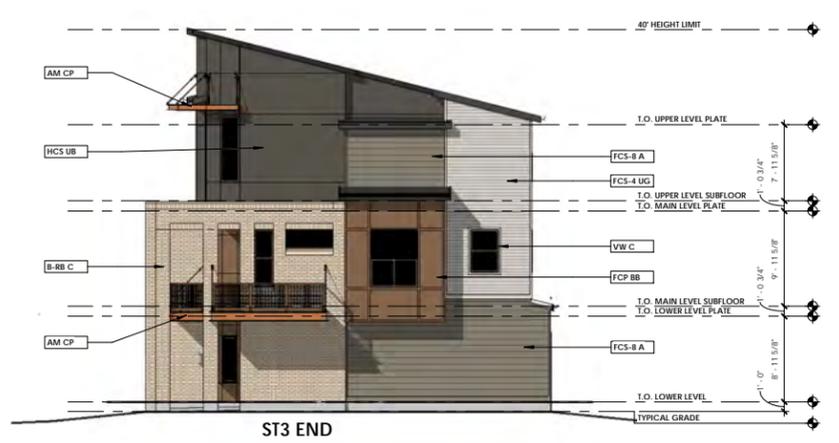
MATERIAL LEGEND	
MARK	DESCRIPTION
B-RB C	BRICK - RUNNING BOND - GENERAL SHALE - COLUOLUM
FCP BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7050 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
HCS UB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7048 - URBANE BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7709C COPPER POT
EW16 ID	1 1/2" ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7049 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	RW, TK, JK
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORIZ SCALE	N/A
VERT SCALE	N/A

DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

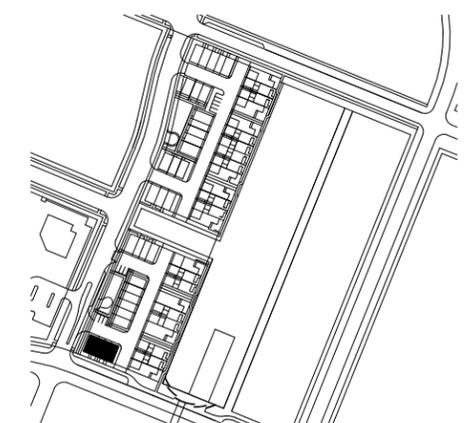
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-4PLEX (HIGH ROOF FRONT) ELEVATIONS

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RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
B-RB C	BRICK - RUNNING BOND - GENERAL SHALE - COUSEUM
FCP BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS 7523 BURNT BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7056 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HANDICOAT STUCCO - SHERWIN WILLIAMS 7523 BURNT BRANDY
HCS UB	HANDICOAT STUCCO - SHERWIN WILLIAMS 7048 - URBAN BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7709COPPER POT
EW6 IO	1x6 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7069 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

NOTES

DRAWN: RW, TK, JK
CHECKED: RW
APPROVED: RW
PROJECT NO.: 132201
HORIZ. SCALE: N/A
VERT. SCALE: N/A

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-4PLEX (HIGH ROOF REAR) ELEVATIONS

SHEET

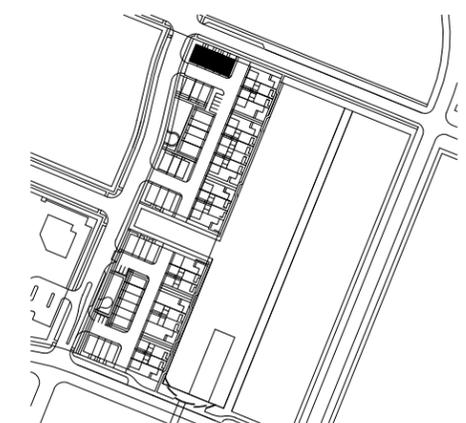
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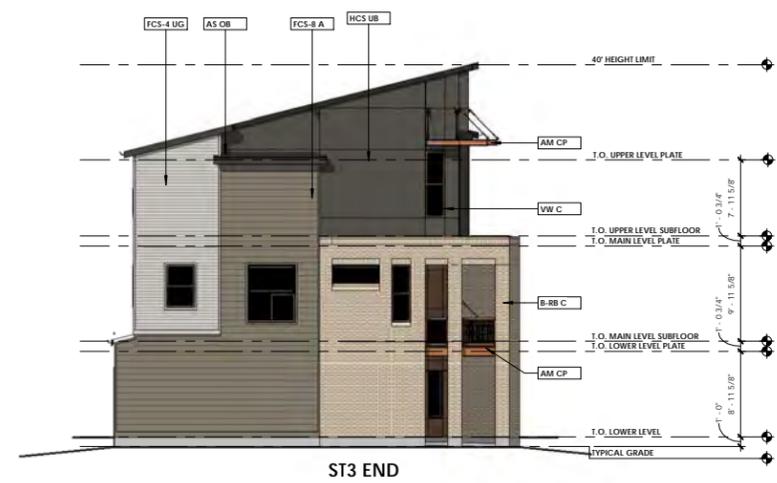
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MARK	DESCRIPTION
B-RB C	BRICK - RUNNING BOND - GENERAL SHALE - "COLUSEUM"
FCP BB	FIBER CEMENT PANELS - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7050 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
HCS UB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7048 - URBANE BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7709 COPPER POT
EW% IG	1/4" ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7069 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	RW, TK, JK
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORZ SCALE	N/A
VERT SCALE	N/A

DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

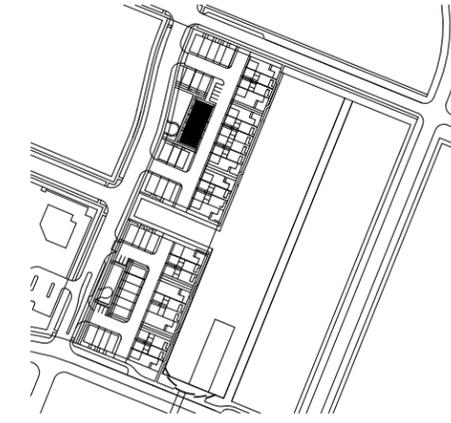
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
ST-5PLEX (HIGH ROOF FRONT) END ELEVATIONS

C:\Users\jwh\Documents\132201 ST-5PLA_TheSite.rvt

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MARK	DESCRIPTION
B-RB C	BRICK - RUNNING BOND - GENERAL SHALE - "COLUJUM"
FCP BB	FIBER CEMENT PANELS - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7050 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
HCS UB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7048 - IRISANE BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7709 COPPER POT
EW6 IO	1x6 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7069 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	RW, TK, JK
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORIZ SCALE	N/A
VERT SCALE	N/A

DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

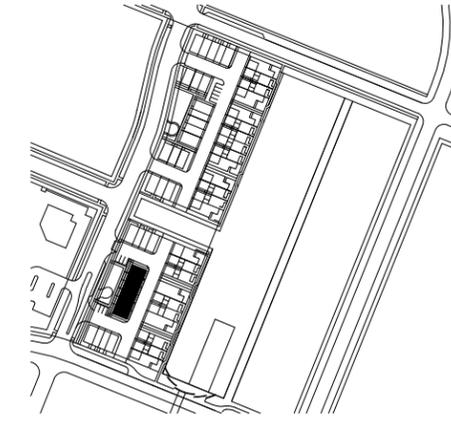
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
ST-5PLEX (HIGH ROOF FRONT) ELEVATIONS

C:\Users\kath\Documents\132201 ST-5PLEX THRU14.rvt

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



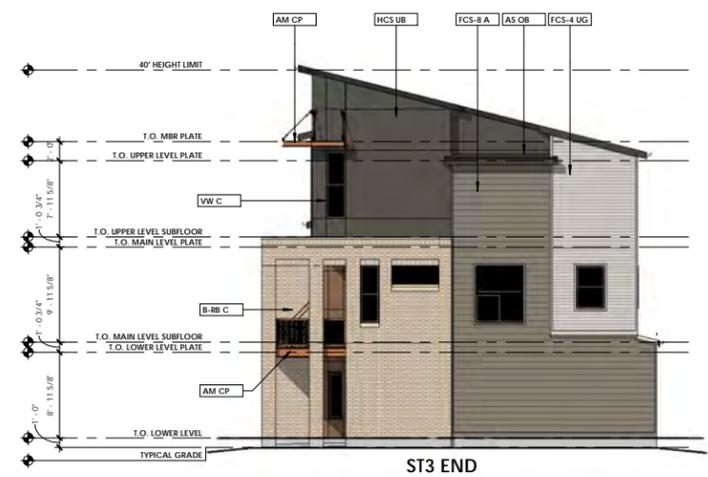
MATERIAL LEGEND	
MARK	DESCRIPTION
B-RB C	BRICK - RUNNING BOND - GENERAL SHALE - COLISEUM
FCP BB	FIBER CEMENT PANEL - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
FCS-4 UG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7050 - USEFUL GRAY
FCS-8 A	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS BB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7523 BURNISHED BRANDY
HCS UB	HARDCOAT STUCCO - SHERWIN WILLIAMS 7048 - URBANE BRONZE
AM CP	ACCENT METAL - SHERWIN WILLIAMS 7709C-COPPER POT
EW16 IO	1x6 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7069 IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DRAWN	RW, TK, JK
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORIZ SCALE	N/A
VERT SCALE	N/A

DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-6PLEX (HIGH ROOF FRONT) ELEVATIONS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R

MATERIAL LEGEND	
MARK	DESCRIPTION
B-RB A	BRICK - RUNNING BOND - GENERAL SHALE - ADDISON
FCP BM	FIBRE CEMENTIOUS PANEL - SHERWIN WILLIAMS 6991 - BLACK MAGIC
FCS-4 GG	FIBRE CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7669 - GARZILE GREY
FCS-8 DG	FIBRE CEMENT SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7017 - DORIAN GRAY
HCS ST	HARDCOAT STUCCO - SHERWIN WILLIAMS 6141 - SOFTER TAN
AM B	ACCENT METAL - SHERWIN WILLIAMS 7600 - BOLERO
AS OB	ASPHALT SHINGLE - OWENS CORNING ORNYX BLACK



4 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

DATE	NO.	DESCRIPTION

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-3PA BUILDING ELEVATIONS

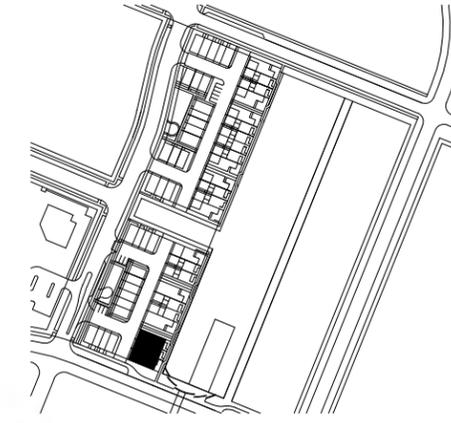
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RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

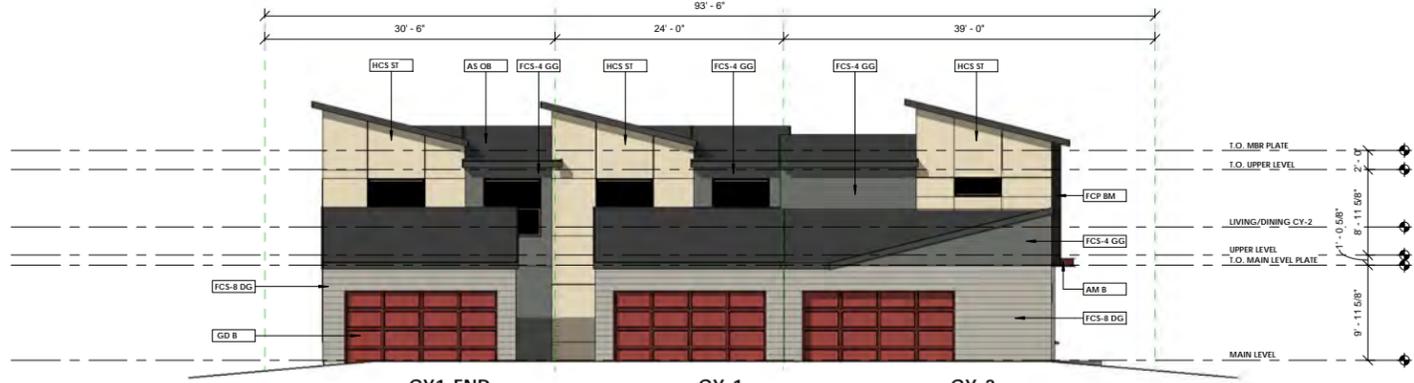
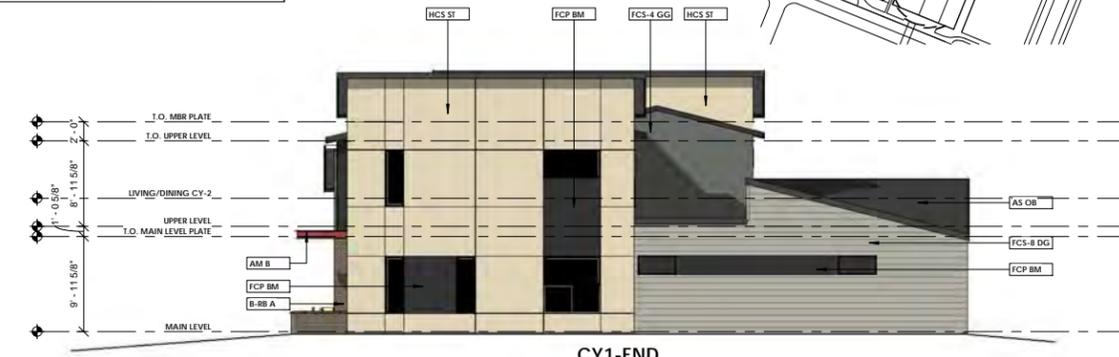
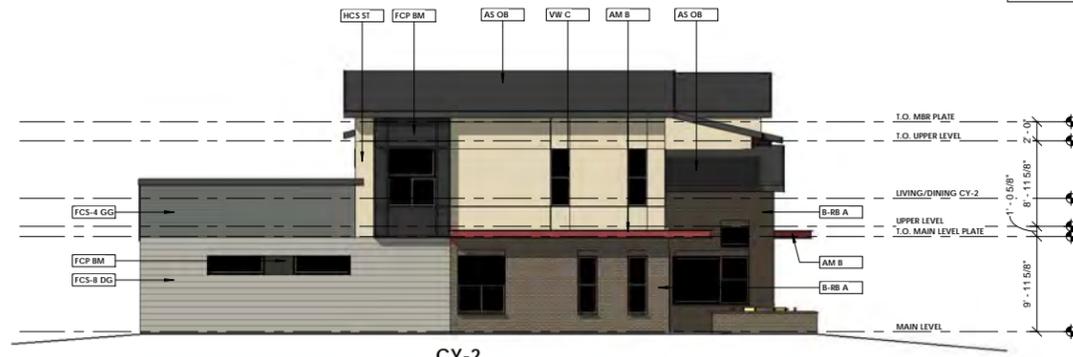
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
B-RR A	BRICK - RUNNING BOND - GENERAL SHALE - ADDISON
FCP BM	FIBRE CEMENTICIOUS PANEL - SHERWIN WILLIAMS 6991 - BLACK MAGIC
FCS-4 GG	FIBRE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS 7068 - GRIZZLE GREY
FCS-8 DG	FIBRE CEMENT SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7017 - DORIAN GRAY
HCS ST	HARDCOAT STUCCO - SHERWIN WILLIAMS 6111 - SOPER TAN
AM B	ACCENT METAL - SHERWIN WILLIAMS 7608 - BOLERO
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK



DRAWN	BW/AD
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORIZ SCALE	N/A
VERT SCALE	N/A

NOTES	
DATE	NO.
04.24.14	1
05.13.14	2
06.04.14	3

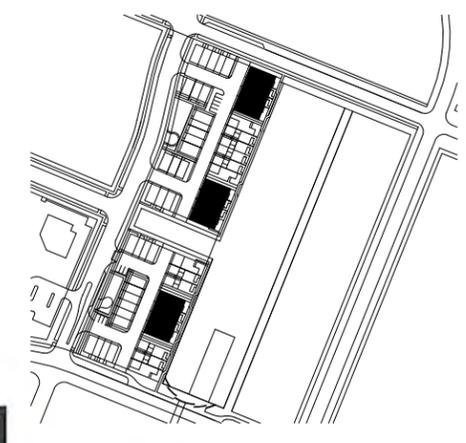
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-3PB BUILDING ELEVATIONS

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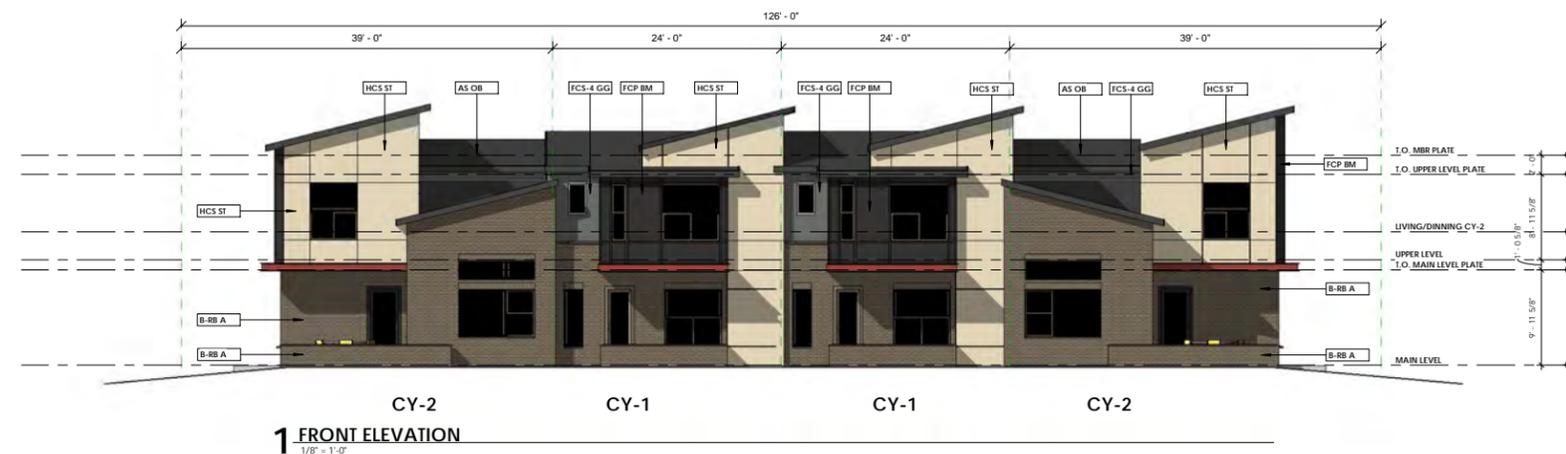
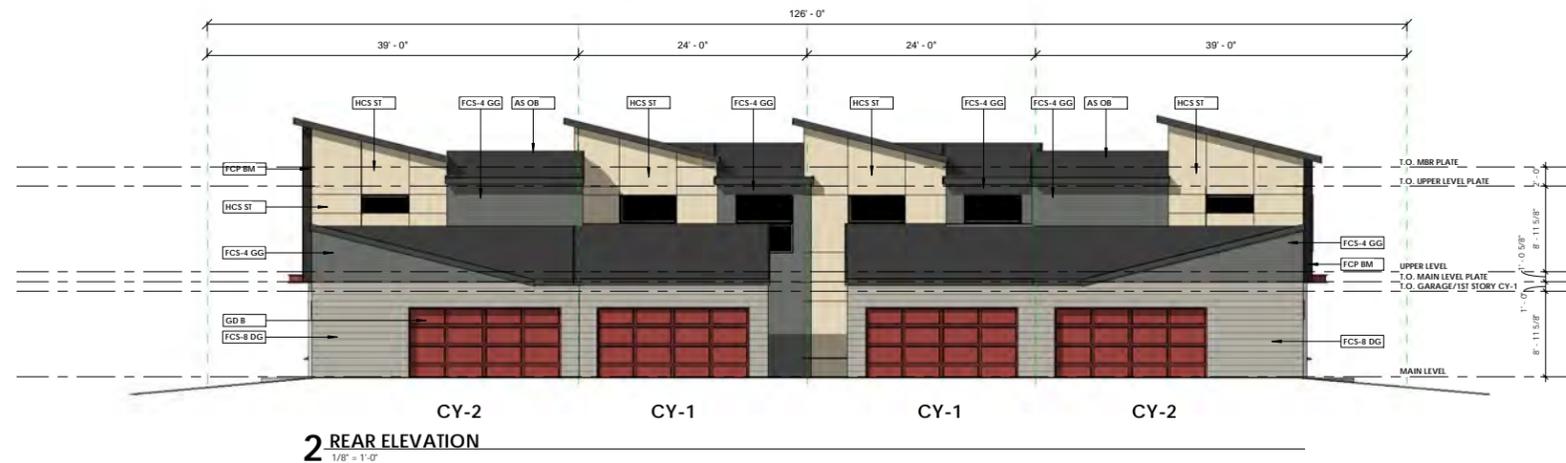
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
B-RB A	BRICK - RUNNING BOND - GENERAL SHALE - ADDISON
FCP BM	FIBRE CEMENTICUS PANEL - SHERWIN WILLIAMS 6991 - BLACK MAGIC
FCS-4 GG	FIBRE CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7068 - GRIZZLE GREY
FCS-8 DG	FIBRE CEMENT SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7017 - DOBMAN GRAY
HCS ST	HARDCOAT STUCCO - SHERWIN WILLIAMS 6181 - SOFTER TAN
AM B	ACCENT METAL - SHERWIN WILLIAMS 7600 - BOLERO
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK



DATE	NO.	DESCRIPTION
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.04.14	3	3RD SUBMITTAL

NOTES

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-4P BUILDING ELEVATIONS

DRWN: BJA
CHKD: RW
APPRD: RW
PROJECT NO: 132201
HORZ SCALE: N/A
VERT SCALE: N/A

SHEET
11 of 12

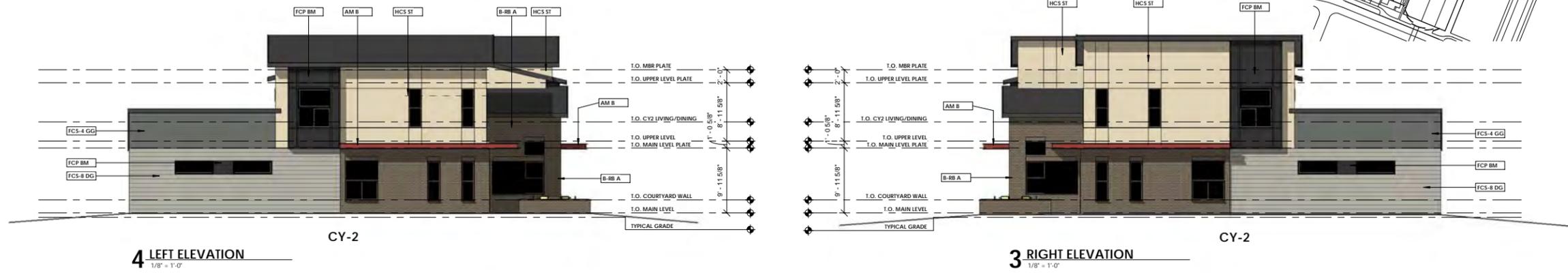
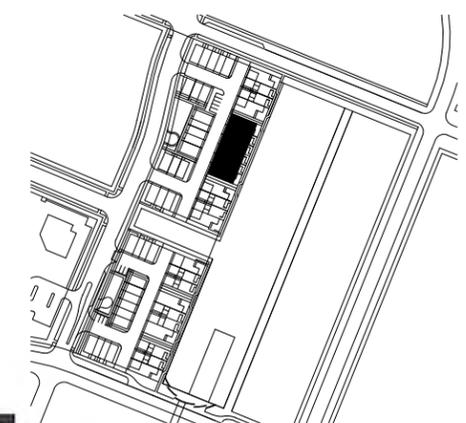
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RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R

MATERIAL LEGEND	
MARK	DESCRIPTION
B-RR A	BRICK - RUNNING BOND - GENERAL SHALE - ADDISON
FCP BM	FIBRE CEMENTICIOUS PANEL - SHERWIN WILLIAMS 6991 - BLACK MAGIC
FCS-4 GG	FIBRE CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7068 - GRIZZLE GREY
FCS-8 DG	FIBRE CEMENT SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7017 - DORIAN GRAY
HCS ST	HANDICRAFT STUCCO - SHERWIN WILLIAMS 6141 - SCHTER TAN
AM B	ACCENT METAL - SHERWIN WILLIAMS 7600 - BOLDERO
AS OB	ASPHALT SHINGLE - OWENS CORNING ONYX BLACK



DRAWN	BW/AO
CHECKED	RW
APPROVED	RW
PROJECT NO.	132201
HORIZ SCALE	N/A
VERT SCALE	N/A

NOTES	
NO.	DATE
1	04.24.14
2	05.13.14
3	06.04.14

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-6P BUILDING ELEVATIONS

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CITY OF LONE TREE STAFF REPORT

TO: City of Lone Tree Planning Commission

FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

DATE: June 4, 2014

FOR: June 10, 2014 Planning Commission Meeting

SUBJECT: Comprehensive Plan Discussion

For the past 5 months staff has held numerous information sessions with the Planning Commission about various topics including changing demographic trends, transportation, economic development (retail and office), and housing. We have also distributed information on trends in the medical industry. Now we turn our attention to whether the existing Comprehensive Plan needs updating – whether the vision, goals, objectives, policies and urban growth and municipal influence areas developed in 2007 still meets the City’s needs now and into the future.

The Vision

We have asked the Planning Commission to complete a “visioning” worksheet intended to spur thinking on how the Commission envisions the City of the future. This is a creative brainstorming exercise – have fun with it!. We will start our discussion on the Comprehensive Plan looking for this feedback. Please bring this completed sheet to the meeting on June 10th (we have included a copy here in case you need it).

Goals, Objectives and Policies

We will also focus the Planning Commission’s attention on the existing goals, objectives and policies, and will ask for your input on whether these statements need to be modified to meet the Commission’s intended vision for the Lone Tree community. If you have not already done so, please read the existing Comprehensive Plan on the website with that in mind, and bring those ideas to the meeting on June 10th.

<http://www.cityoflonetree.com/index.aspx?nid=453>

General Land Use Plan and Municipal Influence Area

Finally, we will look once again at the City’s Urban Growth Area (current boundaries and possible areas for future annexations) and Municipal Influence Area (area that, if developed, will have an impact on the City, and therefore the City should have a voice in development decisions in those areas) to see whether these boundaries need to be modified.

We look forward to a lively discussion!

Visioning Exercise for the Planning Commission

Please complete and bring for discussion with the Planning Commission on June 10th:

- Complete this headline published in the Timberlines in the year 2020 – “Lone Tree leaders announce _____ to improve the lives of residents.”

- A third grader attending Lone Tree Elementary will graduate in 2025 from a university abroad. She comes back to Lone Tree because:

- What are the top three things that would prevent you from “aging in place” in Lone Tree – if you could no longer drive your own vehicle:

1. _____
2. _____
3. _____

- What is the single-most unique asset that Lone Tree has to offer prospective businesses? _____ In ten years? _____

- The voters of Lone Tree have just approved a new tax on themselves that results in a substantial increase in annual revenue, with the caveat that the money be spent on capital projects. The Planning Commission recommends it be spent on:

- You are taking a hike on the bluffs in 2025 and, looking out over the City. The first thing you notice is:

Does the Plan’s Current Vision Statement Capture your vision for the City?

Envisioned is a city with a sense of connection and safety, where residents take pride in the community they call home. It is a vibrant city, with a full spectrum of community amenities and services, based upon high quality design, environmental sensitivity, sustainability and careful decision making.

If not, what would you add/change?
