



## City of Lone Tree Planning Commission Agenda Tuesday, September 9, 2014

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**Meeting Location:**  
**Meeting Procedure:**

City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

The Lone Tree Planning Commission and staff will meet in a public Study Session at 6:00 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Kelly First, [Kelly.first@cityoflonetree.com](mailto:Kelly.first@cityoflonetree.com) if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Kelly First, Community Development Director, at [Kelly.first@cityoflonetree.com](mailto:Kelly.first@cityoflonetree.com), or 303-708-1818.

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### 6:00 p.m. Study Session Agenda

1. Administrative Matters
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### 6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment
4. Minutes of the July 22, 2014 Planning Commission meeting
5. Heritage Hills Filing 2, 3<sup>rd</sup> Amendment, Lot 9-A (Kaiser South Multi-Specialty Care Center) Site Improvement Plan, Project File #SP13-38, third amendment to Douglas County SIP#2011-037  
*(The property is located approximately one-half mile north of the intersection of Park meadows Drive and Lincoln Avenue – west of the Lincoln Light Rail Station).*
6. Adjournment

**MINUTES OF THE**  
Lone Tree Planning Commission Meeting  
July 22, 2014

**Lone Tree Civic Center**

**1. Attendance**

In attendance were:

Martha Sippel, Chair  
Dave Kirchner, Vice-Chair  
Gary Godden, Planning Commissioner  
Roy Kline, Planning Commissioner  
Stephen Mikolajczak, Planning Commissioner  
Herb Steele, Planning Commissioner

Rhonda Carlson was absent

Also in attendance from City staff were:  
Kelly First, Community Development Director  
Jennifer Drybread, Senior Planner

**2. Regular Meeting Call to Order**

The meeting was called to order at 6:33 pm with a quorum.

**3. Conflict of Interest**

There were no conflicts of interest stated.

**4. Minutes of the July 14, 2014 Planning Commission Meeting**

Commissioner Kirchner moved, and Commissioner Steele seconded, to approve the minutes. The motion passed unanimously. Commissioner Godden abstained as he was absent at the July 14<sup>th</sup> meeting.

**5. Comprehensive Plan Review Discussion**

Ms. Jennifer Drybread provided a brief introduction to the Plan review process conducted thus far and staff's recommendations for an update outlined in the staff report (attached). Planning Commission discussed the report findings, and there were several changes proposed, some substantive and others less so.

Two areas in which there was considerable discussion included the concept of supporting “villages” and “business parks” in the City.

Commissioner Kirchner stated that he did not agree that the City should foster unique “villages” within the City, as this was more appropriate for a larger City. Commissioner Steele responded that subdivisions should have a sense of individual identity, or unique identifiers so you know where you are in the City. Ms. Drybread stated that RidgeGate east has opportunity for unique communities, but perhaps we should refer to them as “neighborhoods” instead of “villages.” There was general agreement to support the development of unique “neighborhoods.”

Commissioner Kirchner also stated that he did not think the Comprehensive Plan should support “business parks that provide services.” He feels that these are often single story, tilt-up construction that is out of place in Lone Tree. Commissioner Steele felt that the City should address services, and not just retail or office, and that the farther they are removed from the City, the less responsive the service. He added that there should be more of a balance of nonresidential development. Chair Sippel stated that there will be more of a demand for services, given the aging population. Commissioner Kline responded that it may be hard to make business parks work in Lone Tree because of the high cost of land, and that he has never had a problem getting services quickly. It was decided that there was a disagreement by some members of the Planning Commission on this point that would be addressed during the Plan update, presuming the process goes forward, and that it would be good to get Council’s input on the issue.

Ms. Drybread inquired whether the Planning Commission agreed with staff’s overall recommendation that while a wholesale update of the Plan was not recommended, a Plan update was in order. There was general agreement by the Planning Commission with staff’s recommendation to update the Plan.

The Planning Commission was invited to attend the City Council meeting on August 5<sup>th</sup>, and provide input or answer questions by Council if necessary.

## **6. Public Comment**

Chair Sippel asked if there was any public comment. There was none.

## **7. Adjournment**

There being no further business, Chair Sippel adjourned the meeting at 7:27 p.m.

These minutes have been reviewed and confirmed by

\_\_\_\_\_ (name), on \_\_\_\_\_(date)



CITY OF LONE TREE  
STAFF REPORT

**TO:** City of Lone Tree Planning Commission

**FROM:** Kelly First, Community Development Director

**DATE:** September 3, 2014

**FOR:** September 9, 2014 Planning Commission meeting

**SUBJECT:** Heritage Hills Filing 2, 3<sup>rd</sup> Amendment, Lot 9-A (Kaiser South Multi-Specialty Care Center)  
Site Improvement Plan, Project File #SP13-38, third amendment to Douglas County SIP#2011-037

Owner:  
Kaiser Foundation Health Plan of Colorado  
Mike Schultz  
10350 East Dakota Ave  
Denver, CO 80247

Representative:  
Davis Partnership Architects  
Jeff Stoecklein  
2301 Blake Street Suite 100  
Denver, CO 80205

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**Planning Commission Meeting Date:**  
**City Council Meeting Date:**

**September 9, 2014**  
**October 7, 2014**

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**A. REQUEST:**

Approval to amend the Kaiser Permanente SIP as follows:

- Addition of a third, 150,000 square foot medical office building located directly northeast of the existing building;
- Addition of a second, 6-level parking garage with rooftop solar panels, located at the north end of the site;
- Associated modifications to surface parking, internal circulation and landscaping on the site;
- Rooftop solar panels on the south parking garage; and

- Building material options for Buildings Two and Three and each parking garage.

**B. LOCATION:**

The site is located on approximately 20 acres west of Park Meadows Drive, across from the Lincoln Light Rail Station. Adjacent land uses are as follows:

East: Park Meadows Drive and Lincoln Station uses beyond  
West: Heritage Hills single-family residential  
North: Multi-family apartments  
South: Undeveloped land and parking lot associated with office use

**C. SITE CHARACTERISTICS:**

The entire site is currently developed with Building One, surface parking, landscaping and associated site features. Future buildings and parking structures will replace some existing surface parking.

**D. SERVICE PROVIDERS:**

Water:	Southgate Water District
Sanitation:	Southgate Sanitation District
Police:	Lone Tree Police
Fire:	South Metro Fire Rescue Authority
Metro Districts:	Lincoln Station and Southeast Public Improvement Metro District

**E. BACKGROUND:**

The original SIP for the Kaiser South campus was approved by Douglas County in 2011, prior to annexation of the property into the City. The SIP contemplated that the property would be developed in phases, with a total of three buildings, structured parking and related improvements. The SIP included specific designs for Buildings One and Two and the first parking structure. Building One was constructed and opened to the public late in 2013. Building Two and the parking garage have not yet been constructed.

In 2012, the City annexed the property, known as Lot 9-A, (as well as a 5-acre property also owned by Kaiser on the east side of Park Meadows Drive). The City accepted the County Planned Development zoning and the approved SIP without changes. The corresponding Annexation Agreement between the City and Kaiser stipulates that Kaiser has the right to develop Lot 9-A with a third medical office building, an additional parking structure and associated modifications to the site, subject to the City review process.

There are no immediate plans to construct additional phases of the campus, although the applicant is seeking amendment to the SIP at this time in anticipation of build out as market conditions warrant.

#### **F. DESCRIPTION:**

**Zoning.** The property is zoned PD as part of the Heritage Hills Planned Development and is also governed by the Heritage Hills Filing No. 2 Framework Plan for Lincoln Station.

**Access and traffic.** There are four existing access points to the property from Park Meadows Drive and no changes to access are required or proposed with this amendment. The applicant has provided a Traffic Impact Analysis Addendum to account for full build out of the campus. That analysis is attached for informational purposes and has been deemed acceptable by the City's Public Works Director. The existing southern access drive (#9a) will be signalized upon meeting warrants, as further described by General Note #2 on Sheet 1 of the SIP.

An existing traffic signal at Train Station Way and Park Meadows Drive provides a safe pedestrian crossing between the station and the medical campus. A hierarchy of sidewalks is provided along the street and internal to the campus, providing clear, safe routes through the parking areas and to the buildings.

#### **Parking.**

**Parking spaces.** The project is in compliance with the City's parking regulations. The required parking ratio was established by the original SIP at 4.3 spaces/1000 square feet or 645 spaces required for Building Three. There are 698 spaces provided with this amendment. Although the property is eligible for a reduction in the required amount of parking due to proximity to light rail, the

applicant is proposing parking based on their experience and anticipated needs at this site. Staff supports the use of structured parking to minimize the visual and environmental impacts of surface parking.

**Parking garage design.** The proposed north parking garage is 6 levels, plus a parapet. The design is very similar to that of the approved south parking garage, although the south garage is four levels. The design incorporates varied forms and materials that are in keeping with the design of the first medical office building, including a curtain wall system of spandrel glass, as well as brick, metal and concrete masonry units. A portion of the wall is a “green screen”, consisting of vines or other vegetative material. (Examples of green screens are included in the packet).

Both the approved south parking garage and the proposed north garage are proposed to have solar panels on the rooftop, as generally depicted with the SIP. As construction may be several years out and the technologies and costs associated with solar may change, the panels are depicted for reference only. Prior to issuance of a building permit, the specific location and design of the panels would be approved administratively by staff, as is currently provided for by the City Zoning Code. General Note #5 on Sheet One of the SIP is included to clarify this intent.

**Building Design.** Building Three is 150,000 square feet and has three stories, plus a partial garden level. The proposed design for Building Three is very similar and complimentary to Buildings One and Two, and will consist of similar architectural lines, materials and colors. Staff finds it is consistent with the zoning documents and City Design Guidelines.

**Material Options:** This SIP amendment proposes a limited number of options for exterior wall materials for both Buildings Two and Three, as well as both parking garages. As construction may be several years out, the applicant is requesting some degree of flexibility to use materials based on market conditions, availability and costs, determined closer to the time of actual construction. The options are consistent with the colors and character of Building One and are illustrated in the attached colored elevations. Prior to a building permit, the preferred option will be requested specifically for administrative approval. If any building materials vary from options listed with this SIP, an SIP amendment will be required pursuant to the process outlined by the Zoning Code. General Note #4 on Sheet One of the SIP outlines this issue.

**Landscaping.** The proposed landscape and irrigation plans are a continuation of the existing landscape design and are compliant with the City's requirements and that of the approved SIP. A landscape buffer is provided to help screen the campus from future homes to the west, along with the existing Heritage Hills brick wall already in place. Enclosed are cross sections and perspectives to show the approximate relationship of grade along the west property line.

**Lighting.** Street lights and pedestrian lights are compliant with the approved SIP. Security lighting is fully cut-off to minimize light pollution.

**G. REFERRALS:**

Referral agency comments have been of a general, instructional nature and no concerns or objections were raised. All Lone Tree Homeowners Associations were sent a referral and the project was been posted on the City web site. No HOA referral comments were received. Single family homes have not yet been constructed in Heritage Hills near the northwest corner of this property; however, the applicant has been in contact with Celebrity development to coordinate issues of grade and landscaping.

**H. STAFF FINDINGS AND RECOMMENDATION:**

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, and the applicable PD zoning documents.

Staff recommends the Planning Commission recommend approval of the SIP to City Council, subject to final approval by the Public Works Department.

END

**City of Lone Tree**

Department of Community Development  
9220 Kimmer Drive Suite 100  
Lone Tree, CO 80124  
Ph: 303-708-1818 Fax 303-225-4949

**DEVELOPMENT APPLICATION FORM**

PROJECT NAME: Kaiser Permanente SIP 3<sup>rd</sup> amdt. <sup>OFFICE USE ONLY</sup> PROJECT FILE # SP13-48

REQUEST: SIP amendment for building 3 and parking structure

**SITE LOCATION:** 10240 Park Meadows Dr  
Littleton, CO 80124  
(Nearest Intersections)

DATE SUBMITTED: 3-2-14

**OWNER:**

Name: Mike Schultz - Kaiser Foundation Health Plan of Colorado  
Address: 10350 East Dakota Avenue  
Denver, CO 80247  
Phone: (303) 344-7796 FAX:

FEES: 1000 -

(Engineering fees are not included)

**AUTHORIZED REPRESENTATIVE:**

Name: Jeff Stoecklein Fax:  
Address: 2301 Blake St, Suite 100 Email: Jeff.Stoecklein@davispartnership.com  
Denver, CO 80205  
Phone: (303) 861-8555 Business/Project Name: Davis Partnership Architects

**LEGAL DESCRIPTION (site address):** A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO. PLANNING AREA 10 AND 12

**PROJECT INFORMATION:**

Subdivision Name: Heritage Hills Filing #: SP13-48 Lot # (if appropriate): 9-A Block #:  
Planning Area # (if PD) 10 AND 12

PRESENT ZONING: PD (When rezoning) - PROPOSED ZONING

GROSS ACREAGE: 20.101 ACRES # of units (residential)

Unit type:

FIRE DISTRICT: METRO DIST:

WATER: ELEC:

SEWER: GAS:

Further submissions pursuant to this application may include any and all development proposals, submissions, applications and procedures that may be made or initiated under the City of Lone Tree Charter, ordinances, rules, regulations, guidelines or policies including, without limitation, those for any of the following: (i) annexation; (ii) zoning or re-zoning, including any development plan for zoning within the Planned Development (PD) District; (iii) preliminary PD or PUD site plan, or related design guidelines or development standards; (iv) final PD or PUD site plan; (v) Site Improvement Plan; (vi) any master or general development plan, sub-area plan, site plan or similar development plan, however denominated, which may be provided for under any PD development plan or any other zoning; (vii) Sketch Plan, Preliminary Plat or Final Plat; or (viii) any amendment made to any of the foregoing, as applied for or as approved. *To the best of my knowledge, the information contained on this application is true and accurate.*

APPLICANT SIGNATURE: Jeffrey A. Stoecklein

Date: 3-2-14

APPLICANT'S NAME (PRINTED): JEFFREY A. STOECKLEIN

April 30, 2014



Lone Tree Site Improvement Plan - Amendment  
South Multi-Specialty Care Center – Building 3

**I. Project Representative**

Mike Schultz  
Kaiser Foundation Health Plan of Colorado  
10350 East Dakota Ave.  
Denver, CO 80231-1314

**II. Project Location:**

Heritage Hills (Filing No. 2 Framework Plan) Lot 9-16 & Tract C

**III. Project Zoning:**

Heritage Hills PD

**IV. Development Impacts:**

There are no development impacts to this planned Amendment to the existing SIP. Offsite utilities and drainage were considered for full build out of this property. Work for Building Three will be within the limits of the existing property.

**V. Project Narrative**

The overall vision for this development is to expand on the first phase that is currently constructed as a specialty medical office building. This SIP Amendment adds a third future medical office building to the medical campus that will provide services to the community for medical, clinical, day surgery and office visit use for medical appointments, within an overall health atmosphere that reflects the Kaiser Permanente vision in both the interior and exterior environments.

The additional building is situated in a way that will still allow the site as planned to be a walkable, dynamic and sustainable environment that can serve as a passageway to the Lincoln Station Transit as well as provide outdoor spaces of various experiences and support Kaisers Total Health Environment mission for staff, patients and visitors. It is an environment that draws people in and is very connected to the surroundings by taking advantage of views and sun exposure.

**DENVER OFFICE**

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T 303.861.8555  
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**VAIL OFFICE**

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Building One was completed and open to the public in late 2013. The building consists of 210,000 square feet of specialty medical services including pharmacy, general surgery, ophthalmology, allergy, cardiology, neurology, plastic surgery, GI, Oncology, Physical Therapy, Clinical Lab, and Medical Imaging. A second building and parking structure was proposed as part of the original SIP to include 150,000 square feet of additional medical offices. This amendment request is to include a third building and associated parking structure which will also include an additional 150,000 square feet of medical offices.

Site Plan: The attached SIP Amendment includes concepts for parking, walkways, building location and general site geometry. The Lincoln Station Framework Plan was used as the guiding document for the site layout. The attachments show the site geometry for the additional Building Three in its context with Building One and Building Two. Full build out parking is also shown. Lone Tree and the existing Lincoln Station Framework plan parking counts will be met in each phase, but full build out parking ratios shown are at Kaisers preferred 5/1000 square feet ratio. Separation of pedestrian and vehicular traffic are important safety concerns that Kaiser will address within their development by providing clearly defined drop-off locations and safe pedestrian/vehicular circulation zones. ADA parking ratios will be met for all constructed parking and a shuttle service will be provided for the ADA parking associated within the parking structures. Parking will be used as an opportunity to provide a pleasant and supportive experience for visitors.

Existing and Proposed Grades: Proposed grading is shown to work with the current building and parking lots but will also accommodate both future Building Two and Building Three additions. All ADA access paths are graded accordingly. Site walls will be incorporated into the design as needed.

Drainage: The site is split into two major drainage basins. The southern portion of the site drains to a culvert crossing Park Meadows Drive. In-site runoff in this portion of the site is currently treated and detained within the project limits before releasing at a controlled rate to the existing culvert. The remainder of the site drains west and north and has been coordinated with the development to the west to convey undetained developed flows through the development to a regional detention pond within Lone Tree. The regional detention pond has been sized to provide detention and water quality for the Kaiser site, including all three Buildings.

Building Elevations: Building Three (building height of 6010.33) and Parking Garage (garage height of 6000.00, including parking lot lighting and solar panels) are designed to fit under the Centennial Airport Height Restriction (contour elevation of 6033). Building elevations demonstrate a variety of materials, building overhangs, decks and rooftop/mechanical screening all to provide interest for the character of the building and are intended to complement Building One. Due to fluctuating market prices and unknown project budgets, Buildings Two and Three have been updated with material options that provide some level of flexibility for the future development. However, all material options shown continue to create a sense of medical campus by matching or complimenting the existing colors of Building One. Building Tree will be 3 stories with a partial garden level. The addition of a third building on the site will require the construction of a 6 level parking garage with the first level being below grade. Both parking structures are planned to have solar panels included on the top parking decks as shown on the elevations. The intent is to integrate the panels structurally on the top levels; both helping to support and minimize visual impact, specifically glare, on adjacent properties. If feasible, solar panels will be held away from the outer perimeter of the garage to further reduce visibility from the ground plane.

Landscape Plans: The site landscape design will focus on continuation of the existing theme to integrating nature to create pleasant spaces, safe paths of travel for pedestrians; attractive landscaping elements; protection from the sun, wind, and rain; simplified signage and wayfinding; separation of pedestrians from vehicles; respite areas; short term waiting with seating options; and provide a “connection” to nature rather than just observing it. Entrances are designed that welcome people to the building, and organizes functional requirements and amenities. The Lincoln Station Framework Plan was used as a guiding document for the landscape with the majority of the site planted with Phase One construction.

9222 Teddy Lane  
Lone Tree, Colorado 80124



Ph: 303-662-8112  
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## CITY OF LONE TREE

Department of Public Works

Jun 6, 2014

**Updated 9/2/14**

City of Lone Tree  
Kelly First, Planning Manager  
9220 Kimmer, Suite 100  
Lone Tree, CO 80124

Re: SP13-48 – 3<sup>rd</sup> Amend (Kaiser)  
Bld. #3 & Parking Structure #2  
Project No. 061-326

Dear Kelly:

Per your request, I am providing an “UPDATE” to our prior review comment letter the SIP referral dated 5-19-14 for the above referenced Project.

The 5-19-14 SIP package submitted and reviewed consists of the following documents:

- 3<sup>rd</sup> Amendment to Site Improvement Plan (14 sheets), dated 4/30/14, by Davis Partnership Architects.
- Traffic Impact Analysis Addendum, dated 6/6/13, by Felsburg Holt & Ullevig.
- Application Package, with narrative letter dated 4/30/14 by Davis Partnership

Comments are provided below: *Updated comments are provided in “bold italics”.*

### **General Comments**

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (see attached - re: SIP – Major Amendment) is \$5,500.00. Per the Kaiser Annexation Agreement, City applied fees should not exceed the similar Douglas County fees that would have been applicable at the time of the fee charge. The current Douglas County applicable fee schedule (available on-line from Douglas County) also shows \$5,500.00 (see attached excerpt). The \$5500.00 payment should be made out to “City of Lone Tree” and delivered to my attention at Public Works. ***We have no record of receipt of this payment as of 9/2/14.***
2. A Site Improvement Plan Improvements Agreement (SIPIA) is not anticipated to be required for the proposed Project.
3. A Grading, Erosion and Sedimentation Control (GESCC) Permit will be required for this Project. No site work may begin prior to issuance of the GESCC Permit.
4. Since this project will exceed one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESCC Permit.

patterns in the parking lot and drives between Building No. 3 and Parking Structure No. 2 (on Sheet 9). *A subsequent resubmittal of this sheet, with additional spot elevations was provided to our office, and is acceptable for SIP purposes.*

- b. A retention wall (for grading) is proposed at the north-west corner of Building #3. The information shown indicates portions of this wall are over the maximum 4' foot height above which sealed structural wall design documentation typically is required. Since this wall is "connected" to the Building, any associated wall submittal requirements normally will be addressed through the Building Department /Building Permit review process. *Per the 7/16/14 comment response letter by Davis Partnership, the requested structural evaluation will be provided to the Building Department as part of the applicable building plans submittals.*
5. Sheet 14:  
The indicated parking lot striping appears reasonable. We have no further comment(s) on this sheet at this time.

#### **Traffic Impact Analysis Addendum:**

1. The letter (pg. 3, Summary and Conclusions, 2<sup>nd</sup> bullet and Figures 3 & 5 – Short Range Traffic Conditions) indicates that Access Locations 7 & 8 (e.g. the existing north and center drive connection/intersections to Park Meadows Drive), *"...are to be signalized with completion of Buildings 1 and 2"*. At the time this TIA Addendum was written, signalization of these two intersection may not have been completed. However, the signalization was planned and in process, and is now installed.
2. The TIA Addendum (Figures 3, 4, 5 & 6) indicates anticipation that Access Location #9a (e.g. the southern of the currently existing drive connections, the one at the immediate south of future Building No. 2) will be signalized as part of the future site expansions. Addition of the signalization Access Location (#9a) would occur when traffic warrants support the additional signalization. If warrants support the signalization at the time of addition of Building No. 2 and/or Building No 3, Kaiser should install the signalization, or pay for the City to install it, as part of that/those expansion(s). If traffic warrants do not support the added signalization at/by the time of the final expansion (e.g. Building No. 3), Kaiser should escrow with the City the estimated cost of the signalization at that time, and the City would subsequently install the signalization once the required warrants are met.

It is recommended that installation of the signalization by Kaiser or escrow of the signalization funds (whichever is applicable as described above) be made a condition of the SIP Approval for Building No. 3/Parking Deck #2.

*Per emails and correspondence subsequent to the 6/6/14 comment letter, it was determined that signalization warrants are not anticipated to be met, at least initially based on projected traffic counts (per Charles Buck, of FHU, who did the FHU Traffic Study Update for the Kaiser SIP). However, once development of the Kaiser site (Bldg. #2 and/or Bldg. #3, and associated parking structure(s)) occurs, updated traffic counts could be obtained and evaluated to see if Warrants are met at that time. The following note (or something very close) has been agreed to be added to the SIP to address this overall issue:*

*Full Signalization of Access Location #9a (e.g. the existing southern drive connection to Park Meadows Drive) shall be installed by Kaiser concurrent with, and as part of, the Building No. 2 and associated southern parking deck construction project, if traffic warrants support*

SP13-48 – 3<sup>rd</sup> Amend (Kaiser)  
Bld. #3 & Parking Structure #2  
Project No. 061-326  
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*signalization at that time. If warrants are not met at that time, Kaiser shall escrow with the City the estimated cost of the signalization based on the projected completion date of Phase II, and the City will subsequently install the signalization once the required warrants are met.”*

## CONCLUSION

*The 7/16/14 comment response letter by Davis Partnership adequately addresses my questions/concerns. The responses regarding providing additional more detailed information with the specific plans/CD's for Phase II and Phase III at the time of the associated Phase implementation is satisfactory. Accordingly, The general concept of the proposed Kaiser Building No. 3 / Parking Deck No.2 presented in the proposed SIP Amendment #3 appears acceptable to Engineering/Public Works. Subject to appropriate resolution of the issues we have noted above, we have no objection to recommendation of SIP.*

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,

A handwritten signature in blue ink that reads "Gregory A. Weeks". The signature is written in a cursive, flowing style.

Gregory A. Weeks, PE, LEED ® AP  
City Engineer



Right of Way & Permits

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: 303.571.3306  
Facsimile: 303. 571.3660  
donna.l.george@xcelenergy.com

June 11, 2014

City of Lone Tree  
Community Development Department  
9220 Kimmer Drive, Suite 100  
Lone Tree, Colorado 80124

Attn: Kelly First

Re: **\* AMENDED RESPONSE \***  
**Kaiser Permanente SIP – Heritage Hills Flg. No. 2, 3<sup>rd</sup> Amendment, Lot 9-A**  
**Case # SP13-48**

Public Service Company of Colorado (PSCo) has reviewed the plans for **Kaiser Permanente SIP – Heritage Hills Flg. No. 2, 3<sup>rd</sup> Amendment, Lot 9-A**. Please be aware PSCo owns and operates an existing natural gas and electric distribution facilities within the subject property. As the project progresses, the property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121** and complete the application process for any new natural gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center at 1-800-922-1987** to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George  
Contract Right of Way Referral Processor  
Public Service Company of Colorado



June 9, 2014

Kelly First  
City of Lone Tree  
Community Development Department  
9220 Kimmer Drive, Suite 100  
Lone Tree, CO 80124

RE: Kaiser Permanente SIP 3<sup>rd</sup> Amendment  
TCHD Case No. 3166

Dear Ms. First:

Thank you for the opportunity to review and comment on the proposed Site Improvement Plan for two proposed medical office buildings across from the Lincoln Station. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental health regulations and for potential recommendations for site improvements to encourage opportunities for safe pedestrian and bicycle use.

#### **Community Design and Pedestrian and Bicycle Circulation**

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. TCHD commends the applicant for maximizing the opportunities to support the broader pedestrian and bicycle network through the development. The strong connections to the nearby Lincoln Station are well planned and general site circulation elements from different areas of the site are included.

#### **Low Impact Development Stormwater Management**

TCHD recommends that the applicant incorporate Low Impact Stormwater Management (LID) into the development. The incorporation of LID is best if considered early in the design process when various design consultants including engineers, landscape architects, and landscaping installers can develop solutions collaboratively. The purpose of LID is to improve water quality and limit the volume of water that must be retained or detained in ponds. Implementing LID in this development could reduce the footprint of the two proposed detention ponds freeing up more land for other development amenities.

#### **Food Service**

Plans for all new and remodeled retail food establishments must be reviewed by Tri-County Health Department (TCHD) for compliance with Colorado Retail Food Establishment Rules and Regulations and approved by the Department before start of construction. We recommend that the City of Lone Tree require the plan review and approval be completed before issuing a building permit. The applicant shall call TCHD's Plan Review Hotline, at our Administrative Office at (303) 846-6230, regarding requirements for and scheduling a plan review. Instructions for opening a retail food establishment can be found on line at TCHD's web site at [http://www.tchd.org/pdfs/how to open food est.pdf](http://www.tchd.org/pdfs/how_to_open_food_est.pdf).

#### **Sun Safety**

Exposure to ultraviolet (UV) rays from the sun is a leading risk factor for skin cancer, the most common cancer in the United States. Since Colorado has the 5<sup>th</sup> highest death rate from



# SOUTH METRO FIRE RESCUE AUTHORITY

## LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 [www.southmetro.org](http://www.southmetro.org) FAX: 720.989.2130

Kelly First  
City of Lone Tree  
9220 Kimmer Dr Suite 100  
Lone Tree, CO 80124  
303-708-1818

File #/Name: Kaiser  
Project Type: **Site Improvement Plan**  
Referral Received: 5/27/14  
Comments Due: 6/9/14

S Metro Review # 2019572  
Plan reviewer: Chip Kerkhove  
Review date: 6/5/14

**Narrative:** New building sites being added to existing lot.

Code Reference: 2009 International Fire Code, 2009 International Building Code

South Metro Fire Rescue's Life Safety Division has reviewed the above project and has disapproved the plans based on the following unresolved issues.

### **UNRESOLVED ISSUES:**

The addition of building 3 and associated parking garage are approved. However, a meeting with the design team is required to discuss fire department access, fire hydrant placement and building construction components... Please contact me to set up a meeting at [chip.kerkhove@southmetro.org](mailto:chip.kerkhove@southmetro.org)



CITY OF LONE TREE  
Community Development Department

# REFERRAL REQUEST

Today's date: May 19, 2014

<b>Project Name and File Number:</b> Kaiser Permanente SIP 3 <sup>rd</sup> Amdt.
<b>Project Type:</b> Site Improvement Plan Major Amendment
<b>Comments Due By:</b> June 9, 2014
If you are unable to respond by the due date, please contact the project planner

Dear Referral Organization:  
Information on the above referenced proposal in the City of Lone Tree is provided for your review and comment. Please submit your response no later than the due date to ensure adequate time to consider comments and enter them into the public record.

If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

We have no comments regarding this proposal

Please note the following concerns this organization has:  
\_\_\_\_\_  
\_\_\_\_\_

See attached letter for comments regarding this proposal

Organization Name: Parle Meadows Metropolitan District  
Your name: Bob Blodgett  
Your signature: [Signature] Date: 5-20-14

This project may be subject to public meetings. Please check the City's web site ([www.cityoflonetree.com](http://www.cityoflonetree.com)) for posted agendas or contact this office.  
Thank you for your consideration.

Kelly First  
CD Director

**PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:**  
City of Lone Tree Community Development Dept.  
9220 Kimmer Drive Suite 100  
Lone Tree, CO 80124  
Ph: 303-708-1818  
Fx: 303-225-4949  
[kelly.first@cityoflonetree.com](mailto:kelly.first@cityoflonetree.com)



FELSBURG  
HOLT &  
ULLEVIG

*connecting and enhancing communities*

June 6, 2013

Mr. Kevin Scott, AIA  
Principal  
Davis Partnership Architects  
2301 Blake Street, Ste. 100  
Denver, CO 80205-2108

Re: Traffic Impact Analysis Addendum  
Kaiser South MSC SIP3  
FHU Reference No. 113152-01

Dear Mr. Scott:

It is currently proposed to develop a third medical office building at the Kaiser Permanente Multi-Specialty Center at Lincoln Station. Our report, entitled KAISER SOUTH MULTI-SPECIALTY CENTER TRAFFIC IMPACT ANALYSIS, April 2011, provided an overall traffic impact analysis of the first two buildings of the facility. Because the current Site Improvement Plan amendment proposes the development of a third medical office building, the City of Lone Tree has requested a brief update report to identify any additional traffic impacts due to the proposed development of Building 3. This current effort focuses on the potential traffic impacts along Park Meadows Drive.

To be consistent with our previous efforts, two future scenarios are considered:

- Short Range Future. This scenario evaluates the traffic impacts on completion of the project in the near-term future
- Long Range Future. This scenario evaluates the traffic impacts at project build out within the context of a year 2035 horizon.

### **Site Plan**

**Figure 1** shows the current site plan concept. The Kaiser South Multi-Specialty Center is located along the west side of Park Meadows Drive, opposite the existing RTD Light Rail Station, parking garage, and transit facility. In addition to the two buildings currently under construction, the site would be developed with a third medical office building totaling about 150,000 square feet. A new parking structure will also be developed on the north side of the facility. As shown, the site would access Park Meadows Drive via four intersections: three full movement accesses and one right-in/right-out (RIRO) access. These four accesses are consistent with the access plan evaluated in our previous report.

**Trip Generation and Traffic Assignment**

As discussed above, the current development proposal consists of about 150,000 square feet of medical office building uses. A trip generation analysis of the current plan was conducted based on specific rates for Kaiser operations, documented in the previous study. To be consistent with previous traffic engineering efforts, trip reductions were applied for Transit Oriented Developments and Mixed Use Developments, per methodologies documented in TRIP GENERATION HANDBOOK, *Institute of Transportation Engineers*, 1998. **Table 1** summarizes the results.

**Table 1. Site Trip Generation Estimates – Kaiser Building 3**

Land Use	Quantity	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Building 3	150 KSF	3,290	220	65	285	70	205	275
Reduced for Internal Trips (1)		2,530	185	55	240	55	165	220

1. Reductions include 15 % for Transit Oriented Development (AM, PM, and Daily), plus Mixed Use reductions of 8% (Daily), 5% (PM) (Mixed use reductions do not apply to AM peak hour trips).

It can be seen that the proposed Building 3 would have the potential to generate approximately 2,530 daily vehicle trips. About 240 of these trips would occur in the AM peak hour, and about 220 of the trips would occur in the PM peak hour. In comparison to the overall trip generation potential of Buildings 1 and 2 evaluated in the April 2011 report, the traffic increase represented by the proposed development of Building 3 is about 35 percent.

To evaluate the potential additional impacts along Park Meadows Drive between Lincoln Avenue and Yosemite Street, the above trip generation estimates for Building 3 were assigned based on previously established trip distribution patterns. Due to the location of Building 3 on the Kaiser site, it is estimated that Accesses 7 and 8 would provide primary access for this building. Based on the location of the proposed parking structure, it is estimated that 75 percent of the site generated traffic would use Access 7 and 25 percent would use Access 8. **Figure 2** depicts the site generated traffic assignment. It can be seen that Building 3 would increase volumes on Park Meadows Drive by 2,530 vehicles per day, on Lincoln Avenue by 1,260 vehicles per day, and on Yosemite Street by 510 vehicles per day.

**Background Traffic**

Background traffic represents the level of activity that would be present along Park Meadows Drive, Lincoln Avenue, and Yosemite Street, regardless of the proposed development of Building 3. For the short range future, background traffic volumes include the daily traffic volumes documented in the previous report plus the site generated traffic from Buildings 1 and 2. These volumes are the same as the short range future total traffic volumes presented in the April 2011 report. In the long range future (year 2035), background traffic volumes include the increased volumes based on regional growth rates documented in the previous report plus the site generated traffic from Buildings 1 and 2 and the site generated traffic from future developments at Lincoln Station. These volumes are the same as the long range future total traffic volumes presented in the April 2011 report. **Figure 3** and **Figure 4** depict the background traffic volumes for both scenarios.

### ***Total Traffic Conditions***

The site generated traffic volumes (**Figure 2**) were added to the respective background scenarios (**Figure 3** and **Figure 4**) to obtain the short range and long range future total traffic volumes depicted on **Figure 5** and **Figure 6**. These volumes represent anticipated AM and PM peak hour total traffic conditions, identified as critical in our April 2011 analysis. These volumes were used as the basis for intersection Level of Service (LOS) computations (worksheets are included in the attachments to this letter). LOS is a qualitative measure of traffic operational conditions, based primarily on motorist delay. The 2010 HIGHWAY CAPACITY MANUAL defines six levels of service, ranging from A to F, with LOS A representing the best possible operating conditions and LOS F representing over-capacity, or congested conditions. In urbanized areas, LOS D is typically considered to be acceptable for peak hour traffic operations.

In the short range future, the traffic operations along Park Meadows Drive, including the proposed site accesses, would generally operate at acceptable levels. Access 10 would operate at congested levels in the PM peak hour under STOP sign control. As mentioned in the April 2011 report, future plans indicate that this intersection will be signalized for RTD movements, which will improve the LOS from E to A in the PM peak hour. The intersection at Park Meadows Drive/Lincoln Avenue would also experience near capacity conditions (LOS E) during the PM peak hour.

In the long range future, both the intersections at Park Meadows Drive/Lincoln Avenue and Park Meadows Drive/Yosemite Street would experience AM and PM peak hour congestion. This condition is anticipated either with or without the additional traffic generated by the proposed Building 3. The April 2011 report documents potential geometric changes that could be implemented to help improve the LOS of these intersections.

### ***Summary and Conclusions***

The proposed Building 3 at Lincoln Station would have the potential to increase the trip generation of the Kaiser South Multi-Specialty Care Center. Compared to the overall trip generation potential analyzed in our previous report, the projected increase would be about 35 percent. About 240 additional trips in the AM peak hour and about 220 additional trips in the PM peak hour are projected. The potential traffic impacts due to this additional traffic were evaluated under both short range future and long range future scenarios. In general, the adjacent roadway system would have sufficient capacity to accommodate the projected traffic volumes. The following is a summary of the findings of this traffic analysis update:

- Due to the location of the building, Accesses 7 and 8 would provide primary access for Building 3. Based on the location of the proposed parking garage, it is estimated that 75 percent of the site generated traffic would use Access 7 and 25 percent would use Access 8.
- The two accesses that would serve Building 3 (Accesses 7 and 8) are to be signalized with the completion of Buildings 1 and 2.
- Traffic operations at the proposed site accesses would be acceptable, at LOS D or better during peak times.

June 6, 2013  
Mr. Kevin Scott, AIA  
Page 4

- Congested conditions are projected at the intersections of Park Meadows Drive/Yosemite Street and Park Meadows Drive/Lincoln Avenue by the year 2035. This condition is expected either with or without Kaiser generated traffic volumes. Analyses documented in the April 2011 report, however, identify potential geometric improvements that could be implemented to mitigate future congestion at these intersections.

These findings are consistent with the results of our previous analyses. We trust this information will assist you in your efforts on this project. If you have any questions, or if we can provide any additional services, please call.

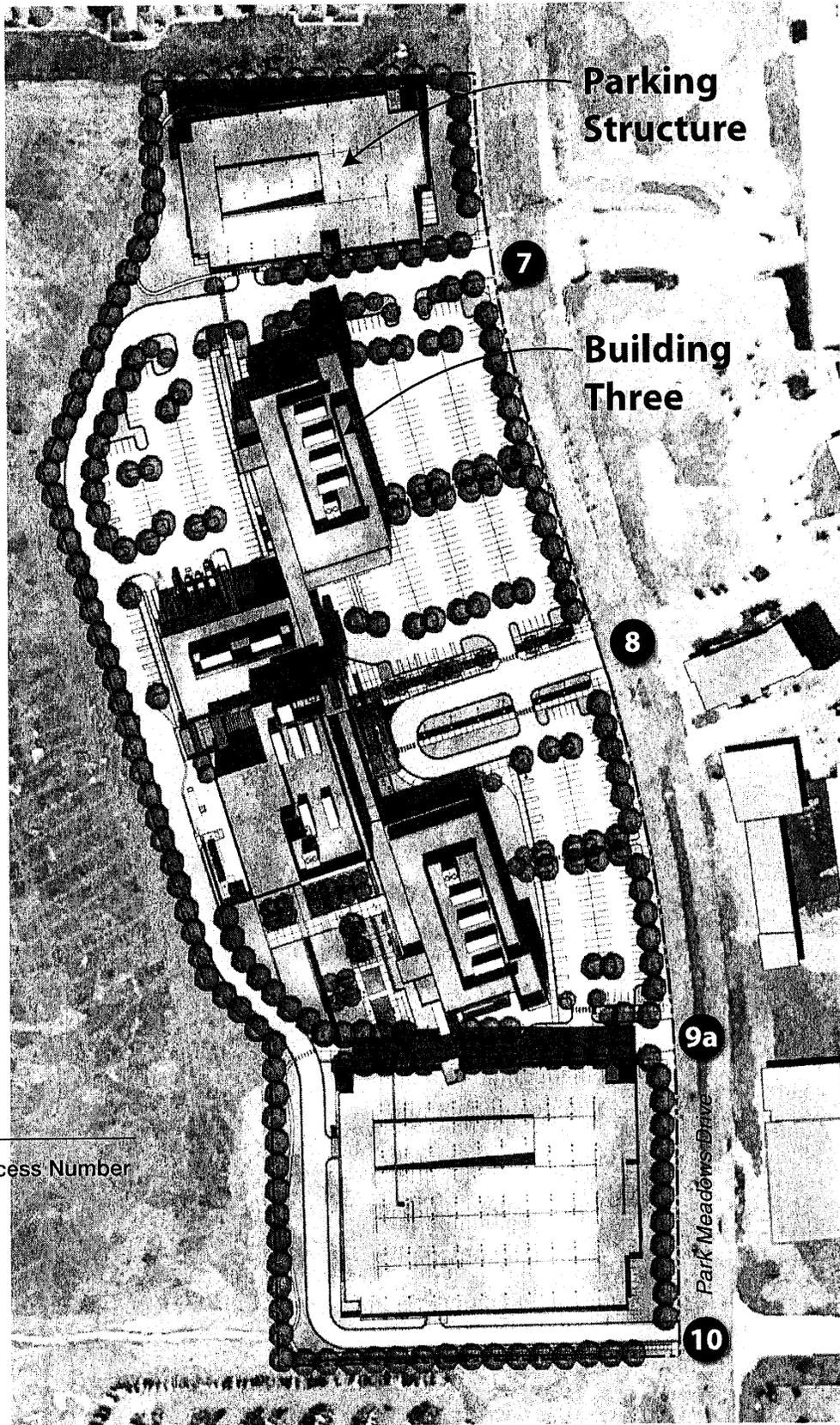
Sincerely,

**FELSBURG HOLT & ULLEVIG**



Charles M. Buck, P.E., PTOE  
Senior Transportation Engineer

Attachments

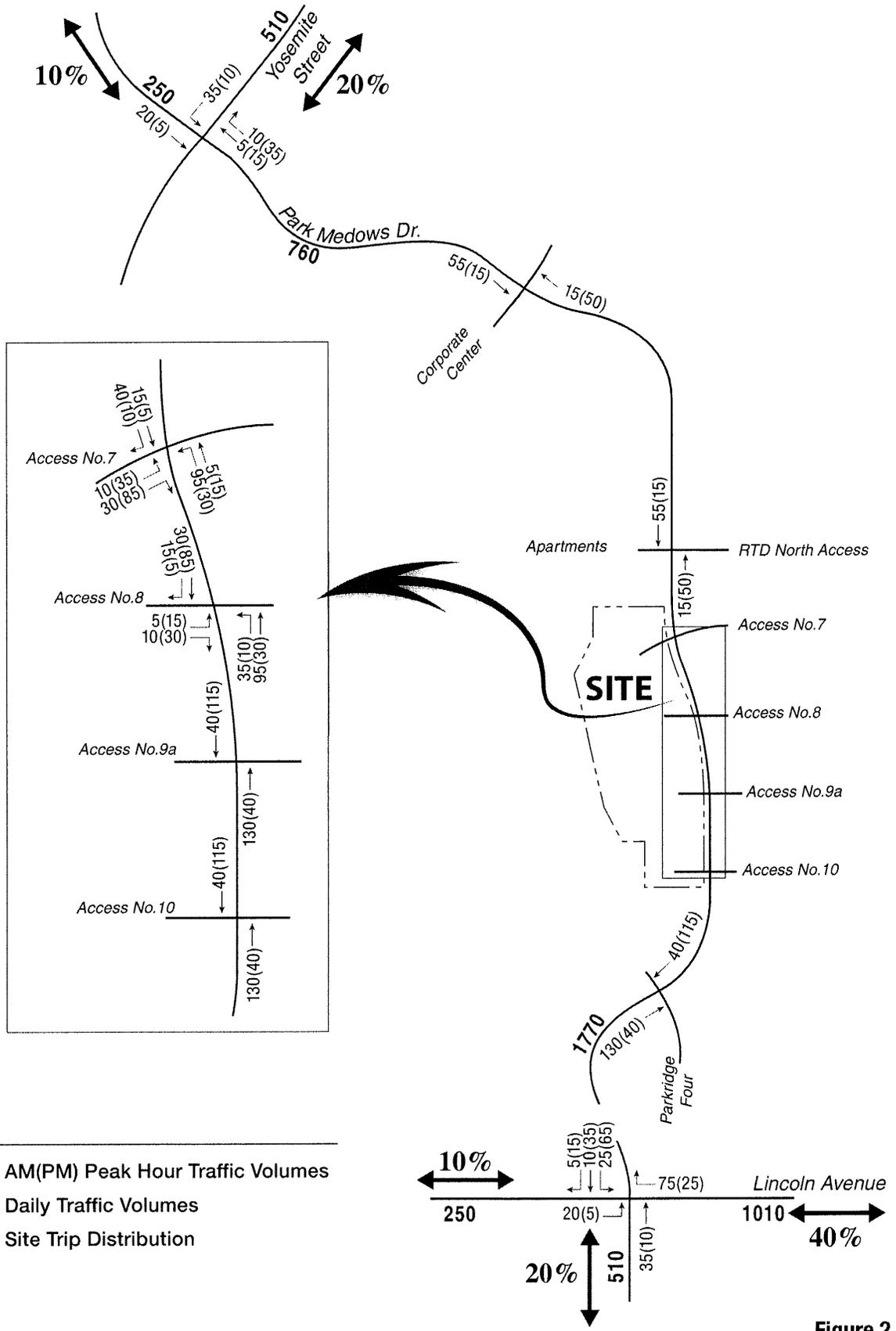


**LEGEND**

**X** = Access Number

**Figure 1**  
**Conceptual Site Plan**

**NORTH**



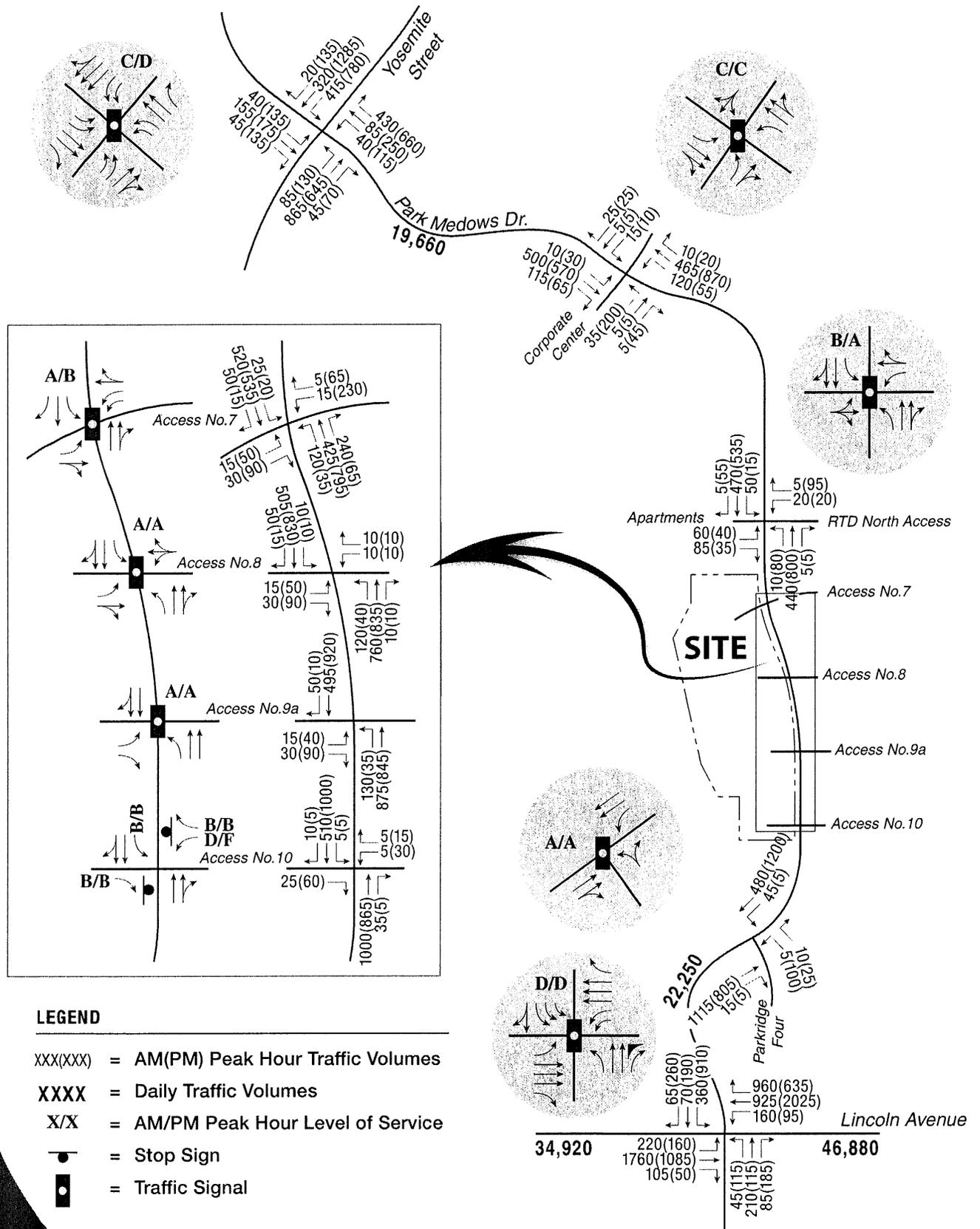
**LEGEND**

XXX(XXX) = AM(PM) Peak Hour Traffic Volumes

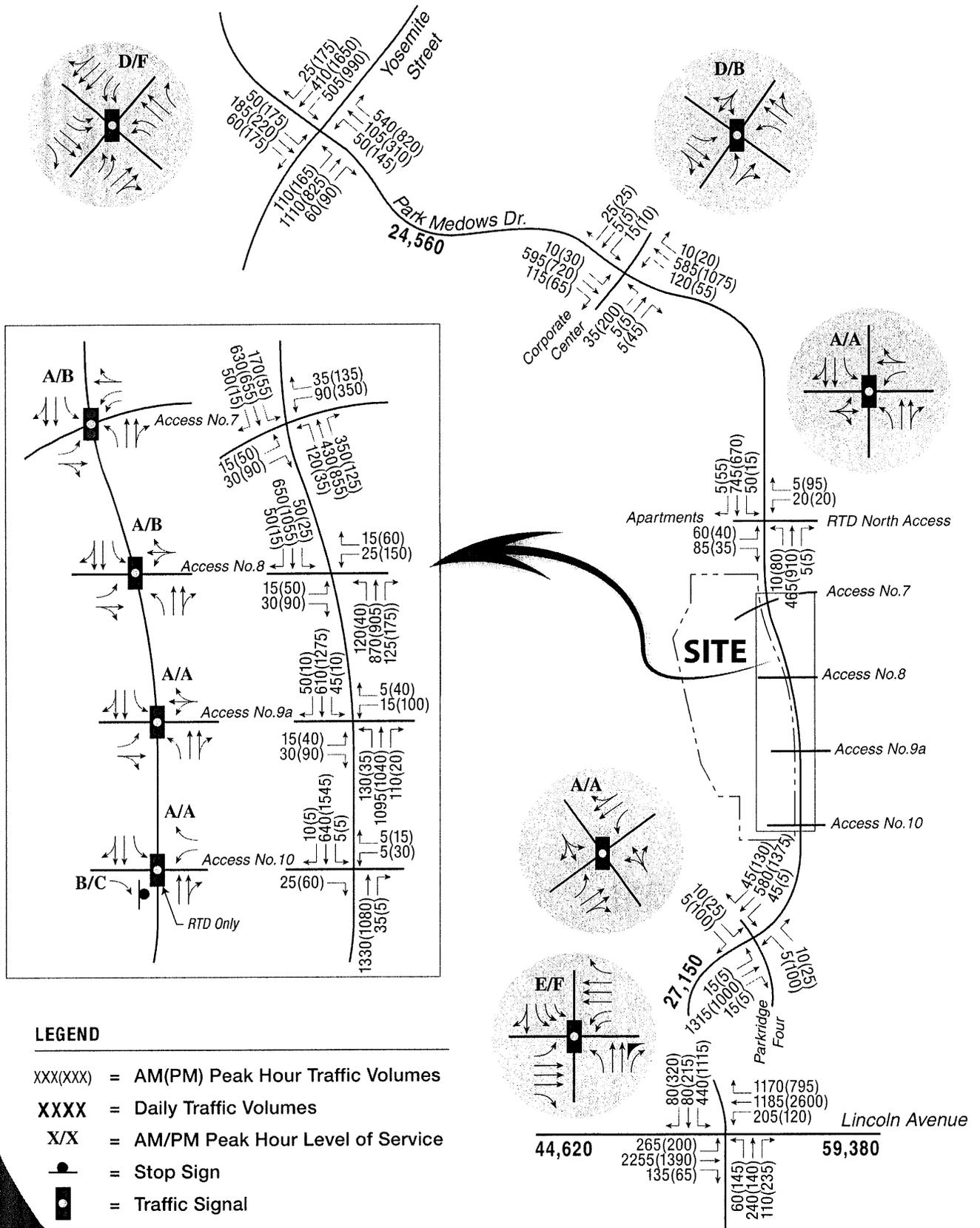
XXXX = Daily Traffic Volumes

XX % = Site Trip Distribution

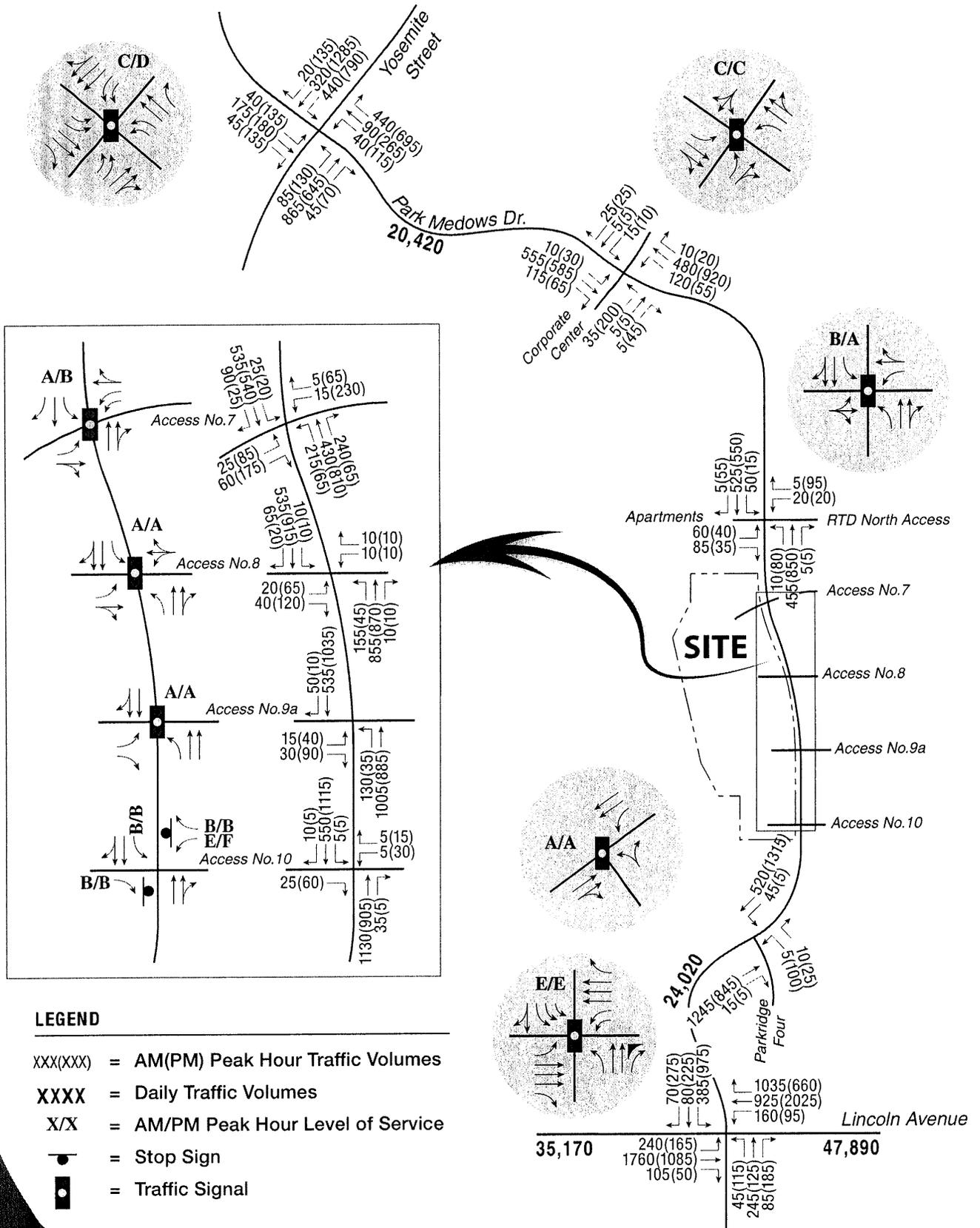
**Figure 2**  
Site Generated Traffic Assignment



**Figure 3**  
Short Range Future Background Traffic Conditions



**Figure 4**  
Long Range Future Background Traffic Conditions



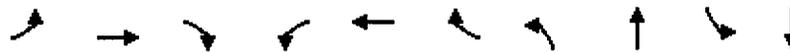
**Figure 5**  
Short Range Future Total Traffic Conditions



Timings  
3: Yosemite St & Park Meadows Dr

Short Range Background AM Peak Hour

6/6/2013



Lane/Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations										
Volume (vph)	40	155	45	40	85	430	85	865	415	320
Turn Type	Prot	NA	Perm	Prot	NA	Perm	Prot	NA	Prot	NA
Protected Phases	7	4		3	8		5	2	1	6
Permitted Phases			4			8				
Detector Phase	7	4	4	3	8	8	5	2	1	6
Switch Phase										
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	8.0	20.0	20.0	8.0	20.0	20.0	8.0	20.0	8.0	20.0
Total Split (s)	8.0	35.0	35.0	12.0	39.0	39.0	11.0	51.0	22.0	62.0
Total Split (%)	6.7%	29.2%	29.2%	10.0%	32.5%	32.5%	9.2%	42.5%	18.3%	51.7%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lead	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	None	None	None	None	None	None	C-Max	None	C-Max
Act Effect Green (s)	4.0	20.4	20.4	6.9	23.0	23.0	7.8	58.8	19.9	70.8
Actuated g/C Ratio	0.03	0.17	0.17	0.06	0.19	0.19	0.06	0.49	0.17	0.59
v/c Ratio	0.38	0.28	0.13	0.22	0.14	0.88	0.41	0.57	0.80	0.18
Control Delay	66.4	42.4	0.8	76.5	16.0	32.1	59.6	26.0	59.3	13.4
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	66.4	42.4	0.8	76.5	16.0	32.1	59.6	26.0	59.3	13.4
LOS	E	D	A	E	B	C	E	C	E	B
Approach Delay		38.5			32.8			28.8		38.6
Approach LOS		D			C			C		D

Intersection Summary

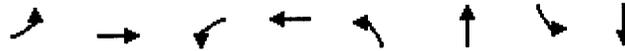
Cycle Length: 120  
 Actuated Cycle Length: 120  
 Offset: 49 (41%), Referenced to phase 2:NBT and 6:SBT, Start of Green  
 Natural Cycle: 65  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.88  
 Intersection Signal Delay: 33.5  
 Intersection Capacity Utilization 65.3%  
 Analysis Period (min) 15  
 Intersection LOS: C  
 ICU Level of Service C

Splits and Phases: 3: Yosemite St & Park Meadows Dr

22 s	51 s	12 s	35 s
11 s	62 s	8 s	39 s

Timings  
5: Corporate Center & Park Meadows Dr

Short Range Background AM Peak Hour  
6/6/2013



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations	↶	↷	↶	↷	↶	↷		↕
Volume (vph)	10	500	120	465	35	5	15	5
Turn Type	pm+pt	NA	pm+pt	NA	Perm	NA	Perm	NA
Protected Phases	7	4	3	8		2		6
Permitted Phases	4		8		2		6	
Detector Phase	7	4	3	8	2	2	6	6
Switch Phase								
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	8.0	20.0	8.0	20.0	20.0	20.0	20.0	20.0
Total Split (s)	12.0	82.0	12.0	82.0	26.0	26.0	26.0	26.0
Total Split (%)	10.0%	68.3%	10.0%	68.3%	21.7%	21.7%	21.7%	21.7%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0		4.0
Lead/Lag	Lead	Lag	Lead	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes				
Recall Mode	None	None	None	None	C-Max	C-Max	C-Max	C-Max
Act Effct Green (s)	36.9	30.9	42.3	40.7	69.1	69.1		69.1
Actuated g/C Ratio	0.31	0.26	0.35	0.34	0.58	0.58		0.58
v/c Ratio	0.04	0.73	0.61	0.43	0.05	0.01		0.05
Control Delay	35.6	39.7	36.4	25.7	13.4	10.2		7.7
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Delay	35.6	39.7	36.4	25.7	13.4	10.2		7.7
LOS	D	D	D	C	B	B		A
Approach Delay		39.6		27.9		12.7		7.7
Approach LOS		D		C		B		A

Intersection Summary

Cycle Length: 120  
 Actuated Cycle Length: 120  
 Offset: 14 (12%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green  
 Natural Cycle: 50  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.73  
 Intersection Signal Delay: 32.3  
 Intersection Capacity Utilization 43.4%  
 Analysis Period (min) 15  
 Intersection LOS: C  
 ICU Level of Service A

Splits and Phases: 5: Corporate Center & Park Meadows Dr

↶ ø2 (R) 26.5	↷ ø3 12.5	→ ø4 82.5
↷ ø6 (R) 26.5	↶ ø7 12.5	↶ ø8 82.5

Timings  
9: Park Meadows Dr & Apartments/RTD North

Short Range Background AM Peak Hour  
6/6/2013



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations		↔	↗	↖	↗	↖	↗	↖
Volume (vph)	60	5	20	5	10	440	50	470
Turn Type	Perm	NA	Perm	NA	pm+pt	NA	pm+pt	NA
Protected Phases		4		8	5	2	1	6
Permitted Phases	4		8		2		6	
Detector Phase	4	4	8	8	5	2	1	6
Switch Phase								
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	20.0	20.0	20.0	20.0	8.0	20.0	8.0	20.0
Total Split (s)	28.0	28.0	28.0	28.0	8.0	84.0	8.0	84.0
Total Split (%)	23.3%	23.3%	23.3%	23.3%	6.7%	70.0%	6.7%	70.0%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)		4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lead/Lag					Lead	Lag	Lead	Lag
Lead-Lag Optimize?					Yes	Yes	Yes	Yes
Recall Mode	None	None	None	None	None	C-Max	None	C-Max
Act Effct Green (s)		14.6	14.6	14.6	93.8	89.2	96.7	95.4
Actuated g/C Ratio		0.12	0.12	0.12	0.78	0.74	0.81	0.80
v/c Ratio		0.73	0.21	0.05	0.02	0.18	0.07	0.18
Control Delay		52.7	49.4	31.9	1.1	2.5	1.4	4.1
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay		52.7	49.4	31.9	1.1	2.5	1.4	4.1
LOS		D	D	C	A	A	A	A
Approach Delay		52.7		43.9		2.5		3.8
Approach LOS		D		D		A		A

Intersection Summary

Cycle Length: 120  
 Actuated Cycle Length: 120  
 Offset: 2 (2%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green  
 Natural Cycle: 50  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.73  
 Intersection Signal Delay: 10.6  
 Intersection Capacity Utilization 42.0%  
 Analysis Period (min) 15

Intersection LOS: B  
 ICU Level of Service A

Splits and Phases: 9: Park Meadows Dr & Apartments/RTD North

ø1	ø2 (R)	ø4
8.5	8.5	28.5
ø5	ø6 (R)	ø8
8.5	8.5	28.5

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12 20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48

SITE DATA CHART		
ITEM	SQUARE FOOTAGE*	% OF GROSS SITE*
Gross Site Area	875,602	100%
<b>BUILDING 1:</b>		
Building Footprint	59,250	6.77%
Parking / Roads (including planted interior parking islands)	427,200	48.79%
<b>HARDSCAPE TOTAL</b>	<b>486,450</b>	<b>55.56%</b>
Planted Area (if applicable, including water retention/quality parking lot islands)	191,215	21.84%
Existing Vegetation	54,400	6.21%
Trails and Walks	20,137	2.30%
Porous Pavement	123,400	14.09%
<b>LANDSCAPE TOTAL</b>	<b>389,152</b>	<b>44.44%</b>
<b>BUILDING 2:</b>		
Building Footprint	96,750	11.05%
Parking / Roads (including planted interior parking islands)	489,855	55.95%
<b>HARDSCAPE TOTAL</b>	<b>586,605</b>	<b>67.00%</b>
Planted Area (if applicable, including water retention/quality parking lot islands)	182,993	20.90%
Existing Vegetation	0	0%
Trails and Walks	41,004	4.68%
Porous Pavement	65,000	7.42%
<b>LANDSCAPE TOTAL</b>	<b>288,997</b>	<b>33%</b>
<b>BUILDING 3:</b>		
Building Footprint	135,323	15.45%
Parking / Roads (including planted interior parking islands)	433,125	49.47%
<b>HARDSCAPE TOTAL</b>	<b>568,448</b>	<b>64.92%</b>
Planted Area (if applicable, including water retention/quality parking lot islands)	215,272	24.59%
Existing Vegetation	0	0%
Trails and Walks	84,542	9.65%
Porous Pavement	7,340	0.84%
<b>LANDSCAPE TOTAL</b>	<b>307,154</b>	<b>35.08%</b>
ITEM	DESCRIPTION	
<b>BUILDING 1:</b>	277,000 sq. ft. TOTAL	
Building Size: 6 Stories		
Parking:	1,192 spaces (4.3 / 1,000 sq. ft.)	
Required	1,355 spaces (4.89 / 1,000 sq. ft.)	
Provided	incl. 136 H.C., incl. 23 Van	
TOTAL Deferred**	245 spaces	
<b>BUILDING 2:</b>	150,000 sq. ft. TOTAL	
Building Size: 4 Stories		
Parking Structure: 4 Levels		
Parking:	645 spaces (4.3 / 1,000 sq. ft.)	
Required:	895 spaces (5 / 1,000 sq. ft.)	
Total Provided:	incl. 90 H.C., incl. 15 Van	
<b>CAMPUS TOTAL: BUILDINGS 1 AND 2</b>		
TOTAL Required	1,837 spaces	
TOTAL Provided	2,237 spaces	
(Surface):	777 spaces	
(Structure):	1,460 spaces	
<b>BUILDING 3:</b>	150,000 sq. ft. TOTAL	
Building Size: 3 Stories with Partial Garden Level		
Parking Structure: 6 Levels		
Parking:	645 spaces (4.3 / 1,000 sq. ft.)	
Required	698 spaces (4.65 / 1,000 sq. ft.)	
Total Provided	incl. 37 H.C., incl. 7 Van	
<b>CAMPUS TOTAL: BUILDINGS 1, 2, AND 3</b>		
TOTAL Required	2,482 spaces (4.3 / 1,000 sq. ft.)	
TOTAL Provided	2,880 spaces (4.99 / 1,000 sq. ft.)	
(Surface):	340 spaces	
(Structure):	2,540 spaces	

\*NOTE: When a portion of a site's natural vegetation is proposed as landscape area, as permitted herein, these totals may not add up to 100.

\*\*NOTE: 245 parking spaces to be deferred during Building One construction. Deferred parking may be constructed if needed, pending approval from City of Lone Tree SIP review.

SHEET INDEX	
SHEET 01 OF 14	COVER SHEET
SHEET 02 OF 14	COMPOSITE PLAN
SHEET 03 OF 14	BUILDING ELEVATIONS - BUILDING 2
SHEET 04 OF 14	BUILDING ELEVATIONS - BUILDING 2
SHEET 05 OF 14	SITE PLAN - BUILDING 3
SHEET 06 OF 14	SITE PLAN - BUILDING 3
SHEET 07 OF 14	LANDSCAPE PLAN - BUILDING 3
SHEET 08 OF 14	LANDSCAPE PLAN - BUILDING 3
SHEET 09 OF 14	GRADING/DRAINAGE PLAN - BUILDING 3
SHEET 10 OF 14	GRADING/DRAINAGE PLAN - BUILDING 3
SHEET 11 OF 14	BUILDING ELEVATIONS - BUILDING 3
SHEET 12 OF 14	BUILDING ELEVATIONS - BUILDING 3
SHEET 13 OF 14	LIGHTING PLAN - BUILDING 3
SHEET 14 OF 14	LIGHTING PLAN - BUILDING 3



1 VICINITY MAP  
1" = 2000'



APPROVAL CERTIFICATE	
THIS THIRD AMENDMENT TO THE SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON (DATE).	
By: _____	
Name: _____	
Title: Community Development Director	
Date: _____	
By: _____	
Name: _____	
Title: City Engineer	
Date: _____	
By: _____	
Name: _____	
Title: Mayor	
Date: _____	
The owner(s) of the lands described herein, hereby agree(s) (1) to develop and maintain the property described herein in accordance with this approved Site Improvement Plan and in compliance with Chapter 16 of the Lone Tree Municipal Code and that (2) the heirs, successors and assigns of the owner(s) shall also be bound. The signatures of the owner(s)'s representative(s) below indicate that any required authorizations to enter this agreement, including any corporate authorizations, have been obtained.	
_____	(Name of Owner)
_____	(Signature of Owner)
_____	(Printed Name and Title)
State of _____ )	
County of _____ ) ss.	
Subscribed and sworn to before me this ____ day of _____, 20____, by _____	
Witness my hand and official seal.	
My commission expires: _____	
Notary Public _____	
Approval by the City of Lone Tree does not signify that the requirements of the Americans with Disabilities Act (ADA) have been satisfied. The applicant is responsible to ensure that said ADA requirements have been met.	
Owner waives, remises, and releases any right or cause of action it may now have or which it may have in the future against the County of Douglas, its officers, employees, and agents related to or resulting from the passage of aircraft in the airspace above the property that is the subject of this Site Improvement Plan.	
For all future phases, the applicant shall submit a revised Site Improvement Plan of the phase for which a permit is requested. The revised SIP shall be approved prior to issuance of a building permit.	

GENERAL NOTE:

- THIS THIRD AMENDMENT INCLUDES THE ADDITION OF BUILDING THREE AND PARKING STRUCTURE TO THE KAISER SOUTH MULTI-SPECIALTY CAMPUS, THE ADDITION OF SOLAR PANELS ON BOTH THE NORTH AND SOUTH PARKING STRUCTURES, AND REFINED BUILDING MATERIALS FOR USE ON BUILDINGS TWO AND THREE.
- FULL SIGNALIZATION OF ACCESS LOCATION #9a (e.g. THE EXISTING SOUTHERN DRIVE CONNECTION TO PARK MEADOWS DRIVE) SHALL BE INSTALLED BY KAISER CONCURRENT WITH, AND AS PART OF, THE BUILDING NO. 2 AND ASSOCIATED SOUTHERN PARKING GARAGE CONSTRUCTION PROJECT, IF TRAFFIC WARRANTS SUPPORT SIGNALIZATION AT THAT TIME. IF WARRANTS ARE NOT MET AT THAT TIME, KAISER SHALL ESCROW WITH THE CITY THE ESTIMATED COST OF THE SIGNALIZATION BASED ON THE PROJECTED COMPLETION DATE OF PHASE II, AND THE CITY WILL SUBSEQUENTLY INSTALL THE SIGNALIZATION ONCE THE REQUIRED WARRANTS ARE MET.
- PER SEC. 16-27-70(b)(1): THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.
- THIS THIRD AMENDMENT INCLUDES THE ADDITION OF MATERIAL OPTIONS FOR BUILDINGS TWO AND THREE AND EACH PARKING GARAGE, WITH INTENT TO PROVIDE THE MEDICAL CAMPUS FLEXIBILITY IN FINAL MATERIAL SELECTIONS WHEN DEVELOPED. MATERIALS MAY VARY FROM THE EXISTING TERRA COTTA AND GRANITE ON BUILDING ONE, BUT WILL CONTINUE TO COMPLEMENT BUILDING ONE THROUGH COLOR AND BUILDING MASSING. FINAL BUILDING MATERIALS SHALL BE ADMINISTRATIVELY APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. IF ANY BUILDING MATERIALS VARY FROM OPTIONS APPROVED WITH THIS SIP, AN APPLICATION FOR AN SIP AMENDMENT SHALL BE REQUIRED PURSUANT TO SECTION 16-27-110 OF THE ZONING CODE, AS AMENDED.
- THE SOLAR PANELS SHOWN IN THIS SIP ARE FOR REFERENCE ONLY. FINAL LAYOUT, LOCATION, NUMBER, AND COLOR OF EXTERIOR COMPONENTS SHALL BE ADMINISTRATIVELY APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR PRIOR TO ISSUANCE OF A BUILDING PERMIT.



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ARCHITECTS

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JULY 16, 2014

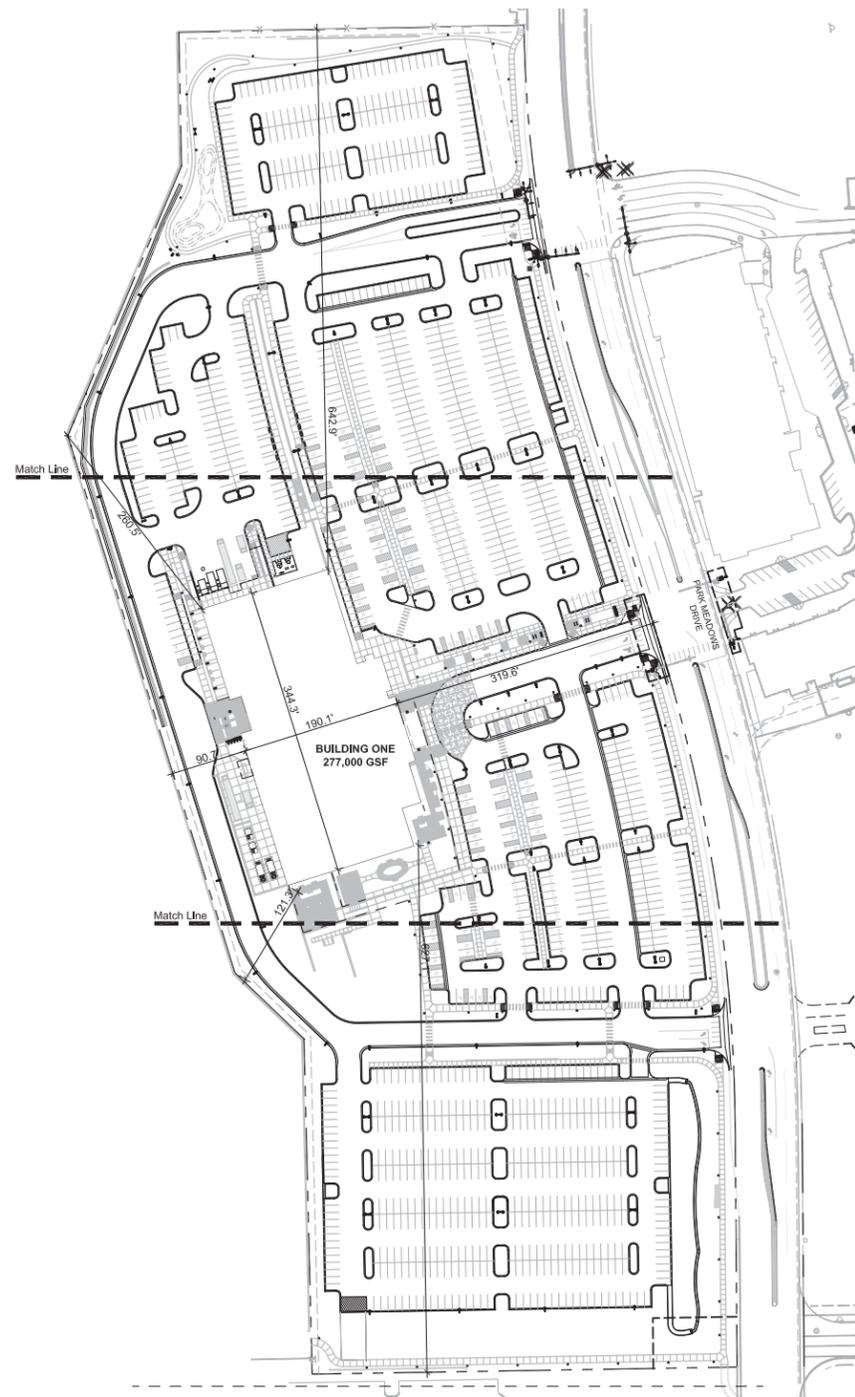
01 OF 14

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

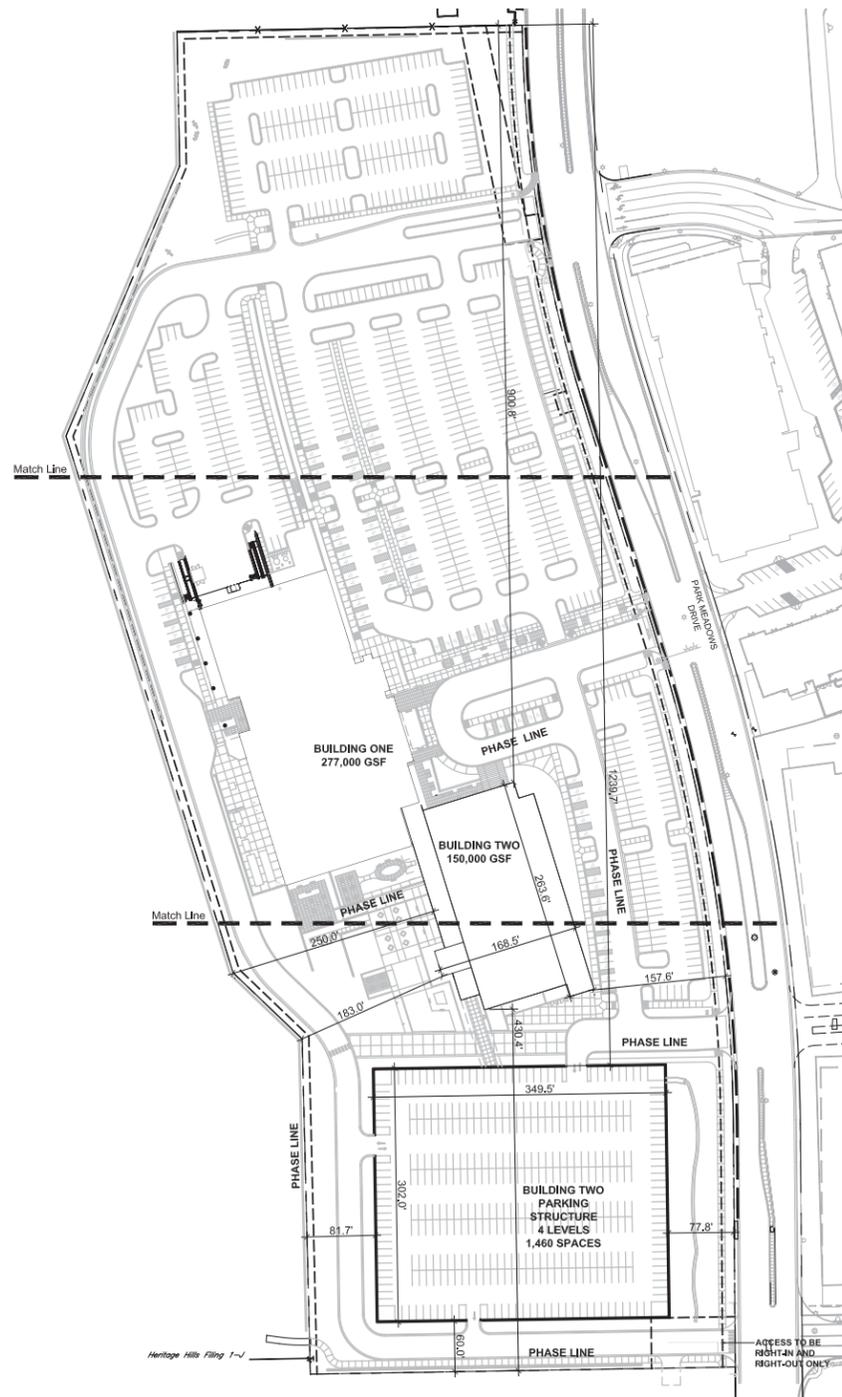
A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12 20.101 ACRES

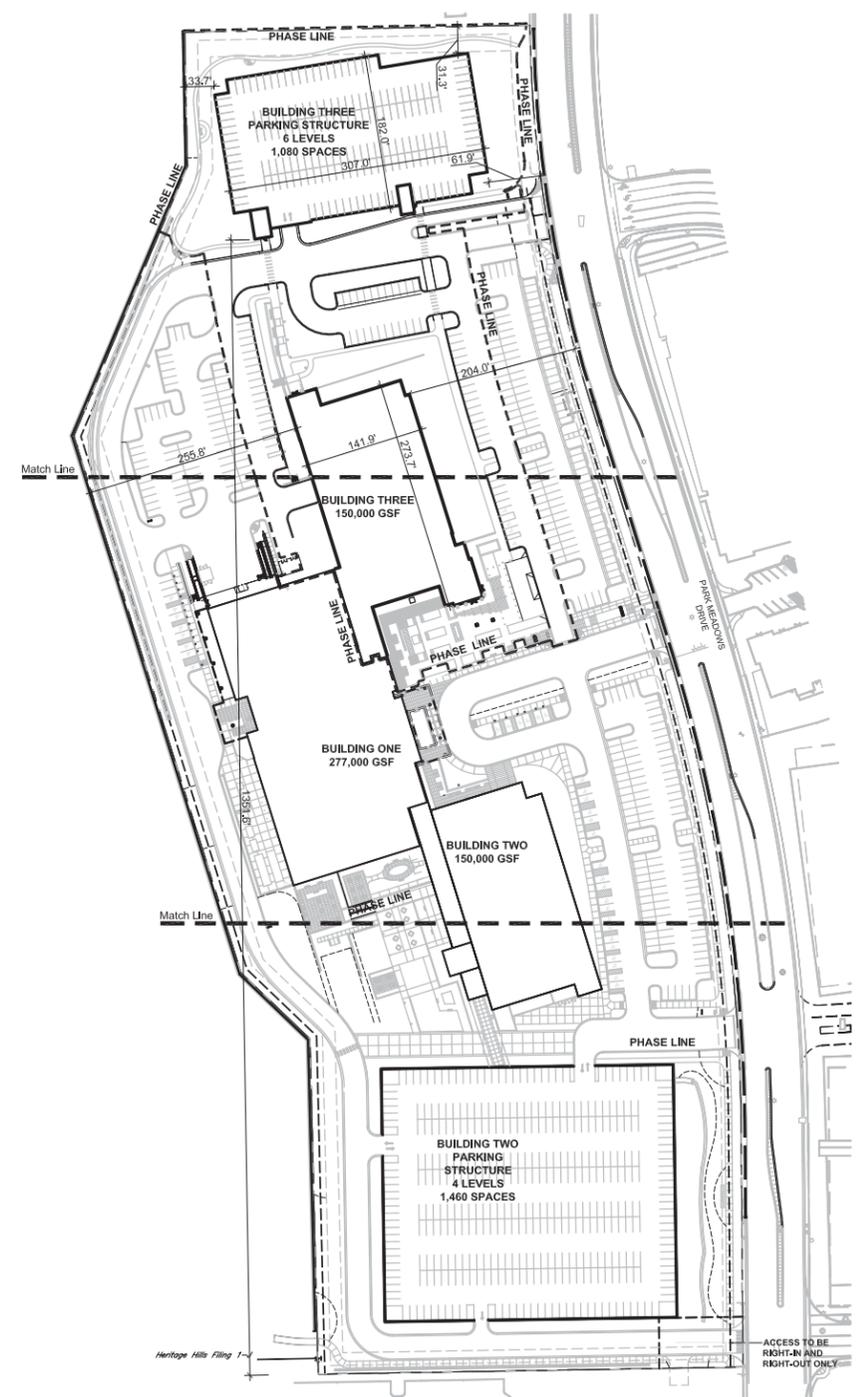
THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48



1 SITE PLAN - BUILDING ONE  
1" = 100'



2 SITE PLAN - BUILDING TWO  
1" = 100'



2 SITE PLAN - BUILDING THREE  
1" = 100'



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02 OF 14

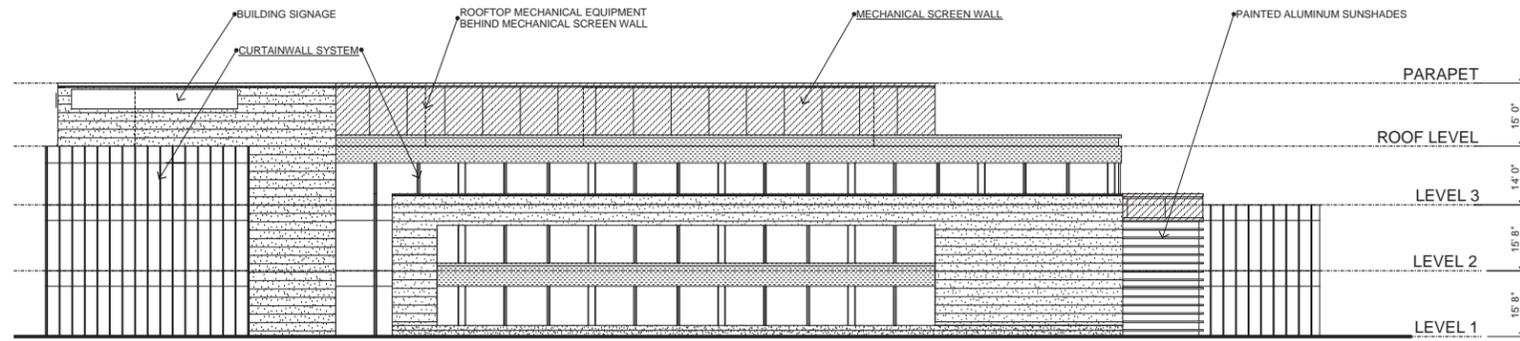
# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

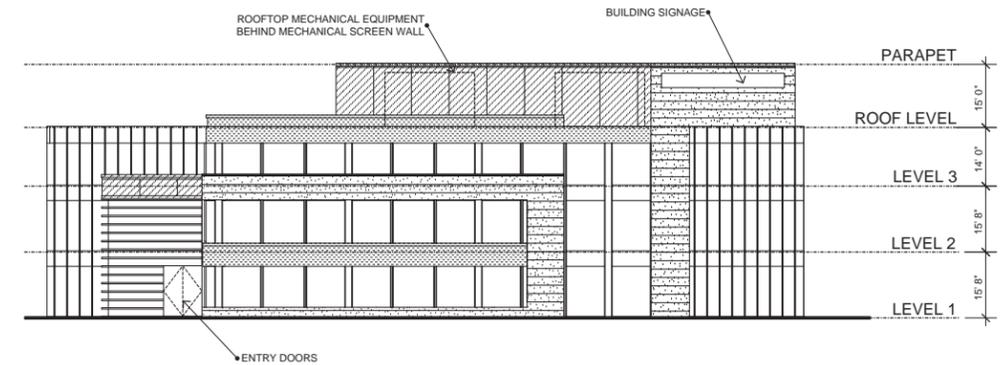
PLANNING AREA 10 AND 12 20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN

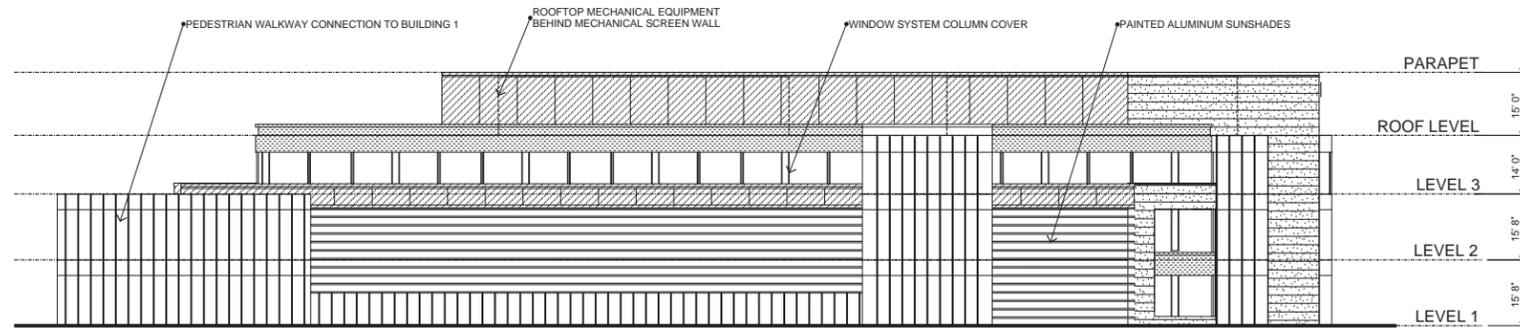
#SP2011-037, PROJECT #SP13-48



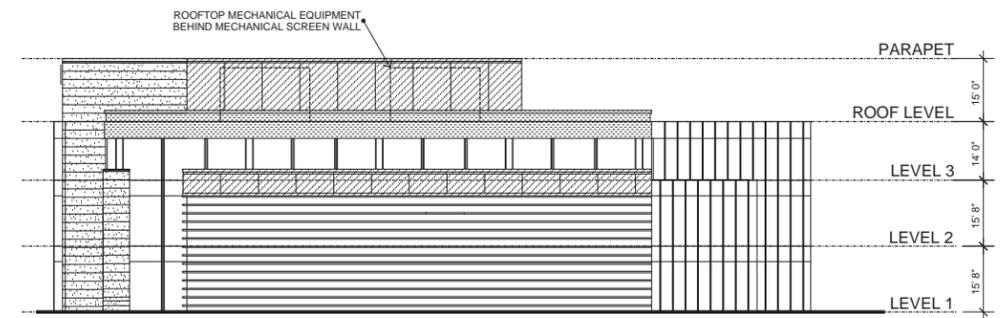
1 BUILDING 2 MOB - EAST ELEVATION  
SCALE: 1" = 20'



2 BUILDING 2 MOB - SOUTH ELEVATION  
SCALE: 1" = 20'



3 BUILDING 2 MOB - WEST ELEVATION  
SCALE: 1" = 20'



4 BUILDING 2 MOB - NORTH ELEVATION  
SCALE: 1" = 20'

### MATERIAL LEGEND



**CURTAIN WALL SYSTEM 1**  
HIGH PERFORMANCE VISION AND SPANDEL GLASS  
VIRACON COLOR: CRYSTAL GRAY  
HORIZONTAL AND VERTICAL ALUMINUM MULLIONS  
\*KAWNEER COLOR: STERLING GRAY  
\*WAUSAU COLOR: SILVER LT730



**EXTERIOR WALL SYSTEM 1**  
MASONRY UNIT SYSTEM  
OPTION 1 - TERRA COTTA  
OPTION 2 - ORANGE BRICK TO MATCH COLOR OF EXISTING TERRA COTTA  
OPTION 3 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE



**EXTERIOR WALL SYSTEM 2**  
COMPOSITE METAL PANEL SYSTEM  
\*ALUCOBOND COLOR: COLOR TO MATCH ANODIC BRONZE  
\*REYNOBOND COLOR: ANODIC BRONZE



**EXTERIOR WALL SYSTEM 3**  
CONCRETE MASONRY UNITS  
BASALITE - GROUND FACE BLOCK - COLOR 607



**EXTERIOR WALL SYSTEM 4**  
MASONRY UNIT SYSTEM  
OPTION 1 - GRANITE TO MATCH EXISTING  
OPTION 2 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE



**PARAPET/MECHANICAL SCREEN WALL**  
COMPOSITE METAL PANEL SYSTEM  
\*ALUCOBOND COLOR: COLOR TO MATCH ANODIC SATIN  
\*REYNOBOND COLOR: ANODIC SATIN



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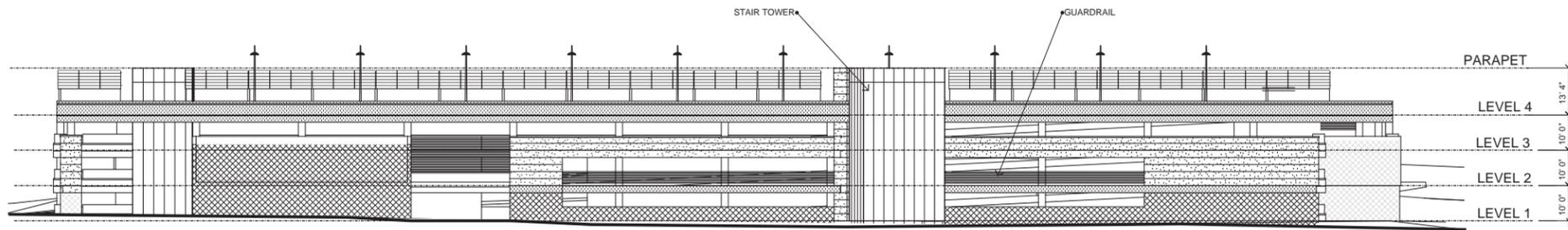
Vail | 225 Main Street, Unit C101  
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JULY 16, 2014

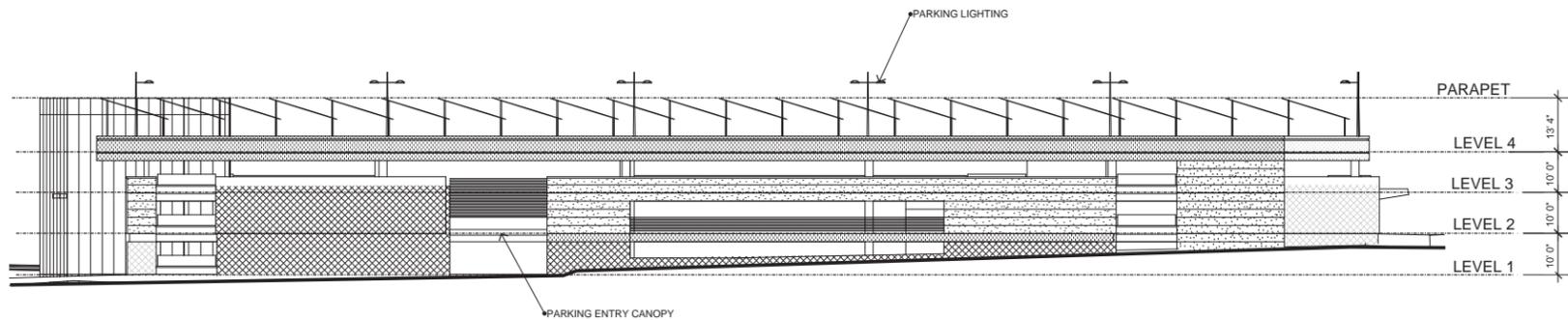
3 OF 14

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

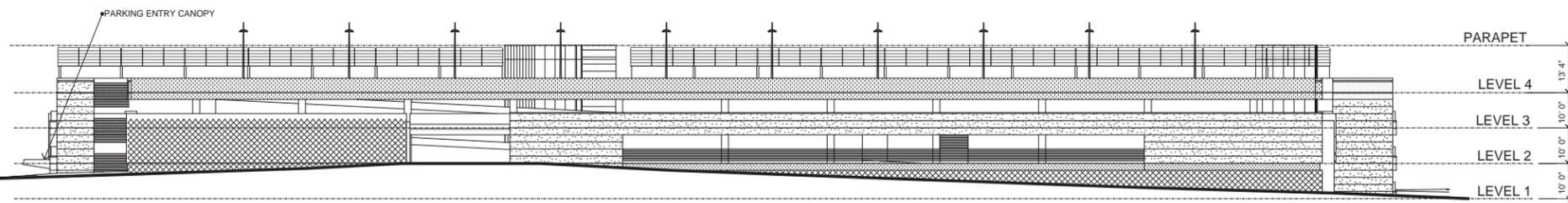
A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO  
 PLANNING AREA 10 AND 12 20.101 ACRES  
 THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48



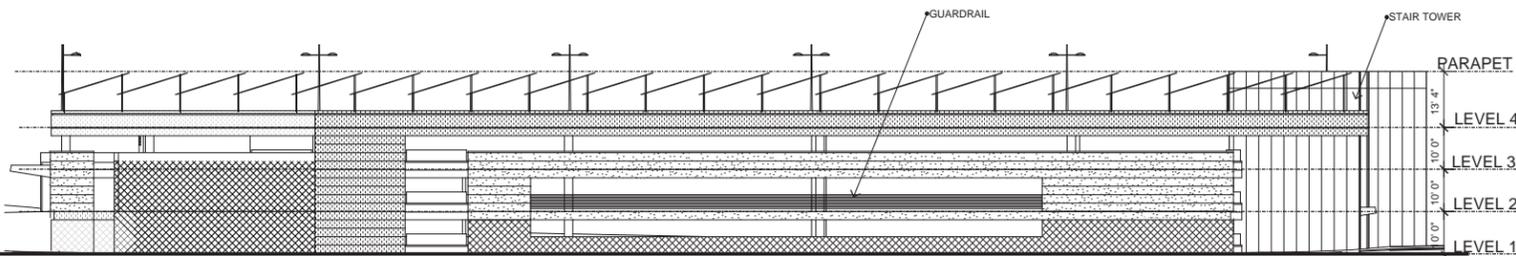
1 PARKING GARAGE - NORTH ELEVATION  
 SCALE: 1" = 20'



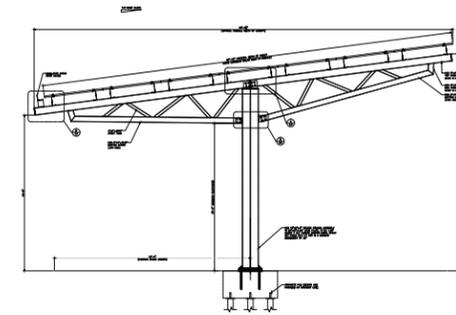
2 PARKING GARAGE - WEST ELEVATION  
 SCALE: 1" = 20'



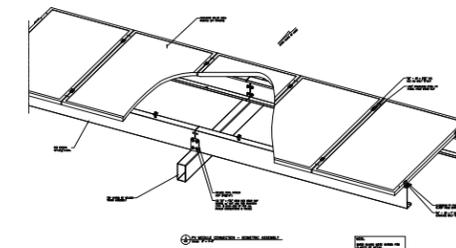
3 PARKING GARAGE - SOUTH ELEVATION  
 SCALE: 1" = 20'



4 PARKING GARAGE - EAST ELEVATION  
 SCALE: 1" = 20'



TYPICAL PV MODULE - ELEVATION (N.T.S.)



TYPICAL PV MODULE - ISOMETRIC (N.T.S.)

NOTE:  
 FINAL GRADING TO BE DETERMINED WITH CIVIL

### MATERIAL LEGEND

-  **CURTAIN WALL SYSTEM 1**  
 HIGH PERFORMANCE VISION AND SPANDREL GLASS  
 VIRACON COLOR: CRYSTAL GRAY  
 HORIZONTAL AND VERTICAL ALUMINUM MULLIONS  
 \*KAWNEER COLOR: STERLING GRAY  
 \*WAUSAU COLOR: SILVER LT730
-  **EXTERIOR WALL SYSTEM 1**  
 MASONRY UNIT SYSTEM  
 OPTION 1 - TERRA COTTA  
 OPTION 2 - ORANGE BRICK TO MATCH COLOR OF EXISTING TERRA COTTA  
 OPTION 3 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE
-  **EXTERIOR WALL SYSTEM 2**  
 COMPOSITE METAL PANEL SYSTEM  
 \*ALUCOBOND COLOR: COLOR TO MATCH ANODIC BRONZE  
 \*REYNOBOND COLOR: ANODIC BRONZE
-  **EXTERIOR WALL SYSTEM 3**  
 CONCRETE MASONRY UNITS  
 BASALITE - GROUND FACE BLOCK - COLOR 607
-  **EXTERIOR WALL SYSTEM 4**  
 MASONRY UNIT SYSTEM  
 OPTION 1 - GRANITE TO MATCH EXISTING  
 OPTION 2 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE
-  **PARAPET/MECHANICAL SCREEN WALL**  
 COMPOSITE METAL PANEL SYSTEM  
 \*ALUCOBOND COLOR: COLOR TO MATCH ANODIC SATIN  
 \*REYNOBOND COLOR: ANODIC SATIN



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 4 OF 14

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12

20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN

#SP2011-037, PROJECT #SP13-48

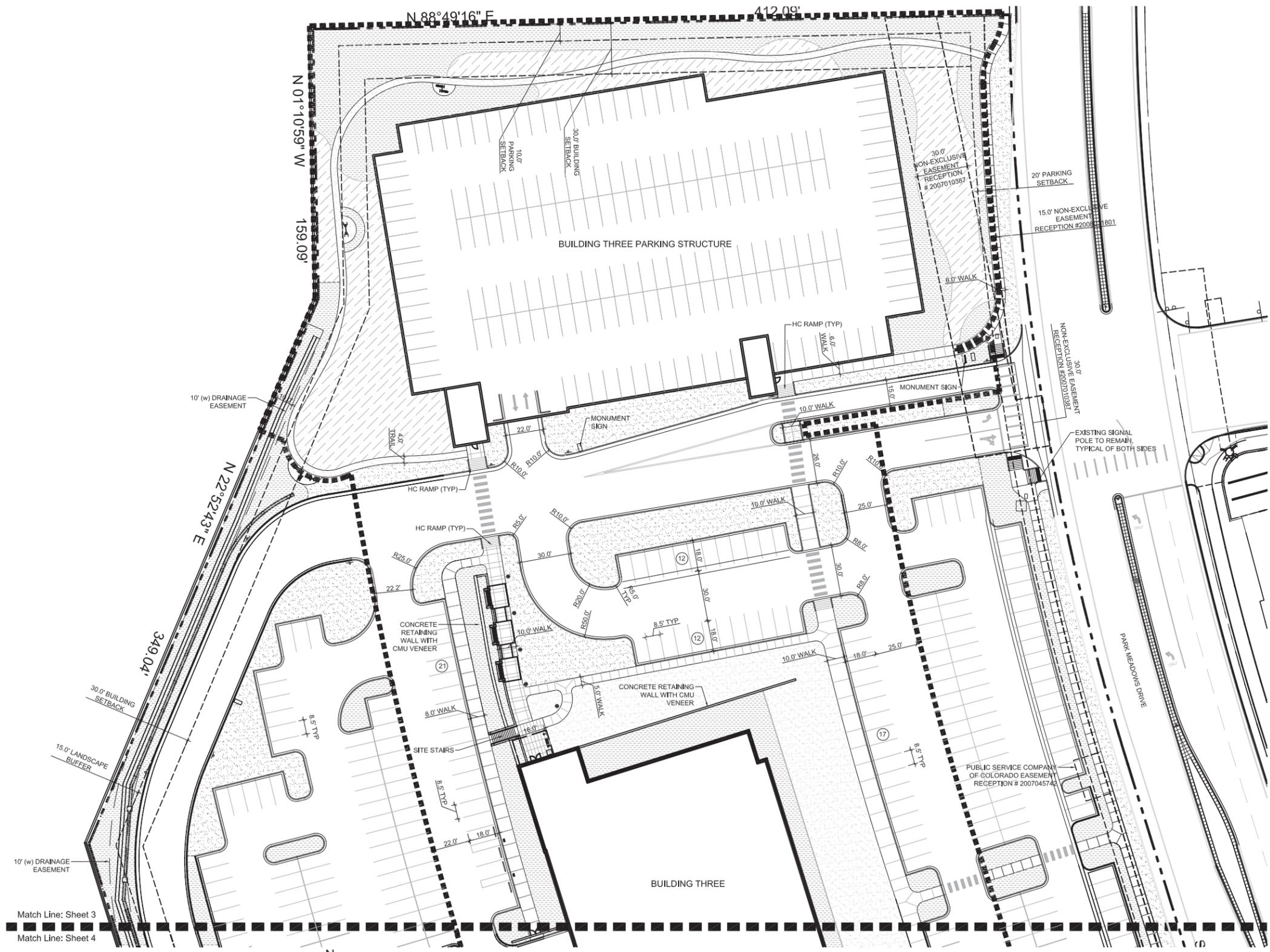


2 PLAN KEY  
1" = 500'

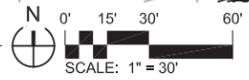
3 LEGEND

- PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - SETBACK LINE
- ⊙ PARKING COUNT
- - - - - STEEL EDGER
- ▨ PLANTING BED

GENERAL NOTE:  
1. MAINTENANCE OF THE DETACHED SIDEWALK THAT RUNS ALONG THE WEST SIDE OF PARK MEADOWS DRIVE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER. THIS MAINTENANCE WILL INCLUDE BUT NOT BE LIMITED TO REPAIRS, REPLACEMENT, AND SNOW REMOVAL.



1 SITE PLAN - BUILDING THREE  
1" = 30'



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JULY 16, 2014

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# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12

20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN

#SP2011-037, PROJECT #SP13-48

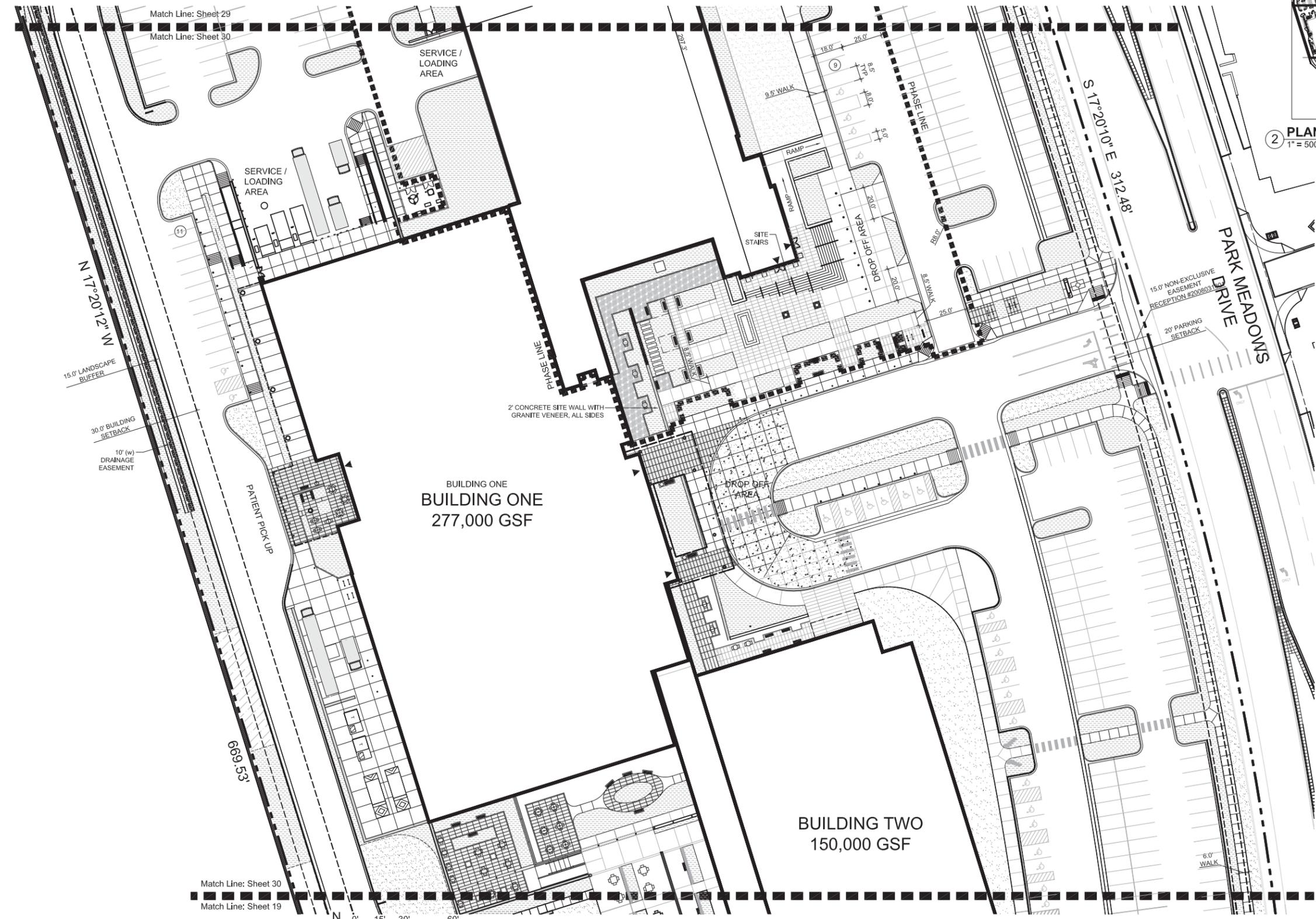


2 PLAN KEY  
1" = 500'

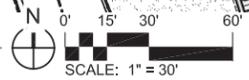
3 LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- ⊙ PARKING COUNT
- ▶ POINT OF INGRESS/EGRESS
- ⊕ DINING TABLES
- ⊕ BENCHES
- BOLLARDS
- HC PARKING SIGN
- STEEL EDGER
- ▨ PLANTING BED

GENERAL NOTE:  
1. MAINTENANCE OF THE DETACHED SIDEWALK THAT RUNS ALONG THE WEST SIDE OF PARK MEADOWS DRIVE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER. THIS MAINTENANCE WILL INCLUDE BUT NOT BE LIMITED TO REPAIRS, REPLACEMENT, AND SNOW REMOVAL.



1 SITE PLAN - BUILDING THREE  
1" = 30'



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JULY 16, 2014

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# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12 20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48



2 PLAN KEY  
1" = 500'

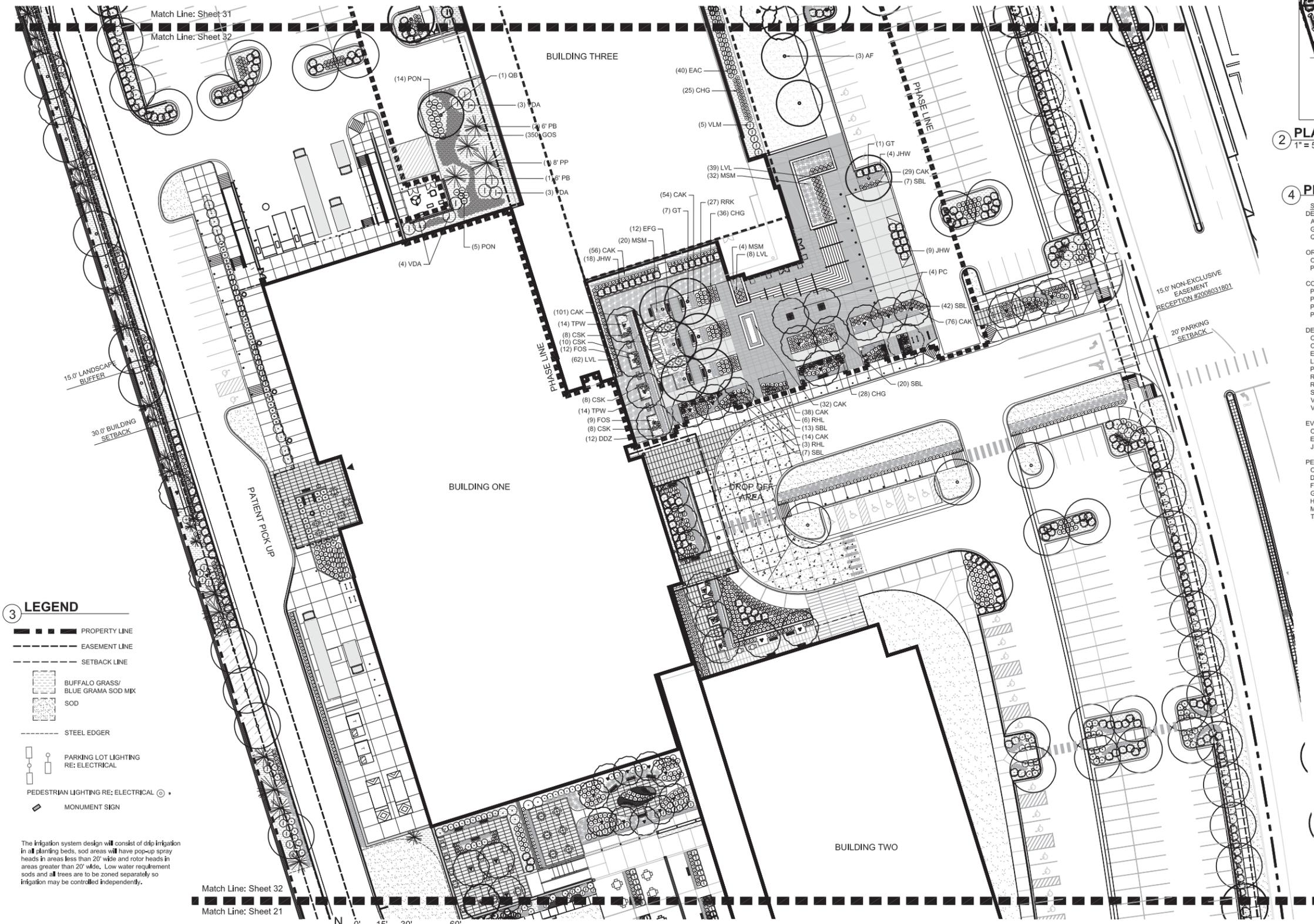
4 PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HIGH-WATER USE
<b>DECIDUOUS TREES</b>					
AF	3	Asar x freemanii 'Sienna'	Sienna Glen Maple	2.5" min cal.	N
GT	8	Cedrela tomentosa 'Skyline'	Skyline Honeylocust	2.5" min cal.	N
OB	1	Quercus bicolor	Swamp White Oak	2.5" min cal.	N
<b>ORNAMENTAL TREES</b>					
CC	5	Crataegus crus-galli 'Thermis'	Thornless Cockspur Hawthorn	1.5" min cal.	N
PC	6	Pyrus calleryana	Chambliss Pear	1.5" min cal.	N
<b>CONIFEROUS TREES</b>					
PA	-	Picea abies 'Cupressina'	Fastigate Norway Spruce	6' min height	N
PB	2	Picea pungens 'Bakeri'	Bakeri Spruce	6' min height	N
PE	-	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	6' min height	N
PP	1	Picea pungens	Colorado Spruce	6' min height	N
<b>DECIDUOUS SHRUBS</b>					
CHG	125	Cotoneaster horizontalis perpusillus	Ground Cotoneaster	5 gal, 24" h multi-cane	N
CSK	42	Cornus sericea 'Kelsey'	Kelsey Dogwood	5 gal, 24" h multi-cane	N
EAC	40	Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 gal, 24" h multi-cane	N
LVL	45	Ligustrum vulgare 'Lodense'	Lodense Privet	5 gal, 24" h multi-cane	N
PON	19	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	5 gal, 24" h multi-cane	N
RHL	9	Rosa 'Harvelcome'	Living Easy Rose	5 gal, 24" h multi-cane	N
RRK	100	Rosa 'Radrazz'	Knock Out Rose	5 gal, 24" h multi-cane	N
SBL	95	Spiraea x bumaldia 'Limemound'	Limemound Spiraea	5 gal, 24" h multi-cane	N
VDA	10	Viburnum dentatum	Arrowwood Viburnum	5 gal, 24" h multi-cane	N
VLM	10	Viburnum lantana 'Mohikan'	Mohikan Viburnum	5 gal, 24" h multi-cane	N
<b>EVERGREEN SHRUBS</b>					
CHG	125	Cotoneaster horizontalis perpusillus	Ground Cotoneaster	5 gal, 24" h	N
EFG	18	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	5 gal, 24" h	N
JHW	19	Juniperus horizontalis 'Wiltoni'	Wiltoni Juniper	5 gal, 24" h	N
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>					
CAK	360	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	5 gal shrub grass	N
DDZ	12	Dianthus deltoides 'Zing Rose'	Zing Rose Dianthus	1 gal groundcover	N
FOS	30	Fragaria 'Ogataki'	Strawberry	1 gal groundcover	N
GOS	350	Galium odoratum	Sweet Woodruff	5 gal groundcover	N
HSB	-	Helictotrichon sepevirens	Blue Avena	1 gal shrub grass	N
MSM	30	Miscanthus sinensis 'Gracillimus'	Maiden Grass	5 gal shrub grass	N
TPW	28	Thymus praecox pseudolanuginosus	Woolly Thyme	1 gal groundcover	N

NOTE: In the event of a discrepancy between the plan graphic and the landscape legend, the plant material quantity as determined by the plan graphic shall take precedence.

The irrigation system design will consist of drip irrigation in all planting beds, sod areas will have pop-up spray heads in areas less than 20' wide and rotor heads in areas greater than 20' wide. Low water requirement sods and all trees are to be zoned separately so irrigation may be controlled independently.

\*Trees in Park Meadows Drive median to have 3.0" min caliper at planting

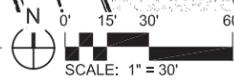


3 LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- [Pattern] BUFFALO GRASS/ BLUE GRAMA SOD MIX
- [Pattern] SOD
- STEEL EDGER
- [Symbol] PARKING LOT LIGHTING RE: ELECTRICAL
- [Symbol] PEDESTRIAN LIGHTING RE: ELECTRICAL
- [Symbol] MONUMENT SIGN

The irrigation system design will consist of drip irrigation in all planting beds, sod areas will have pop-up spray heads in areas less than 20' wide and rotor heads in areas greater than 20' wide. Low water requirement sods and all trees are to be zoned separately so irrigation may be controlled independently.

1 LANDSCAPE PLAN - BUILDING THREE  
1" = 30'



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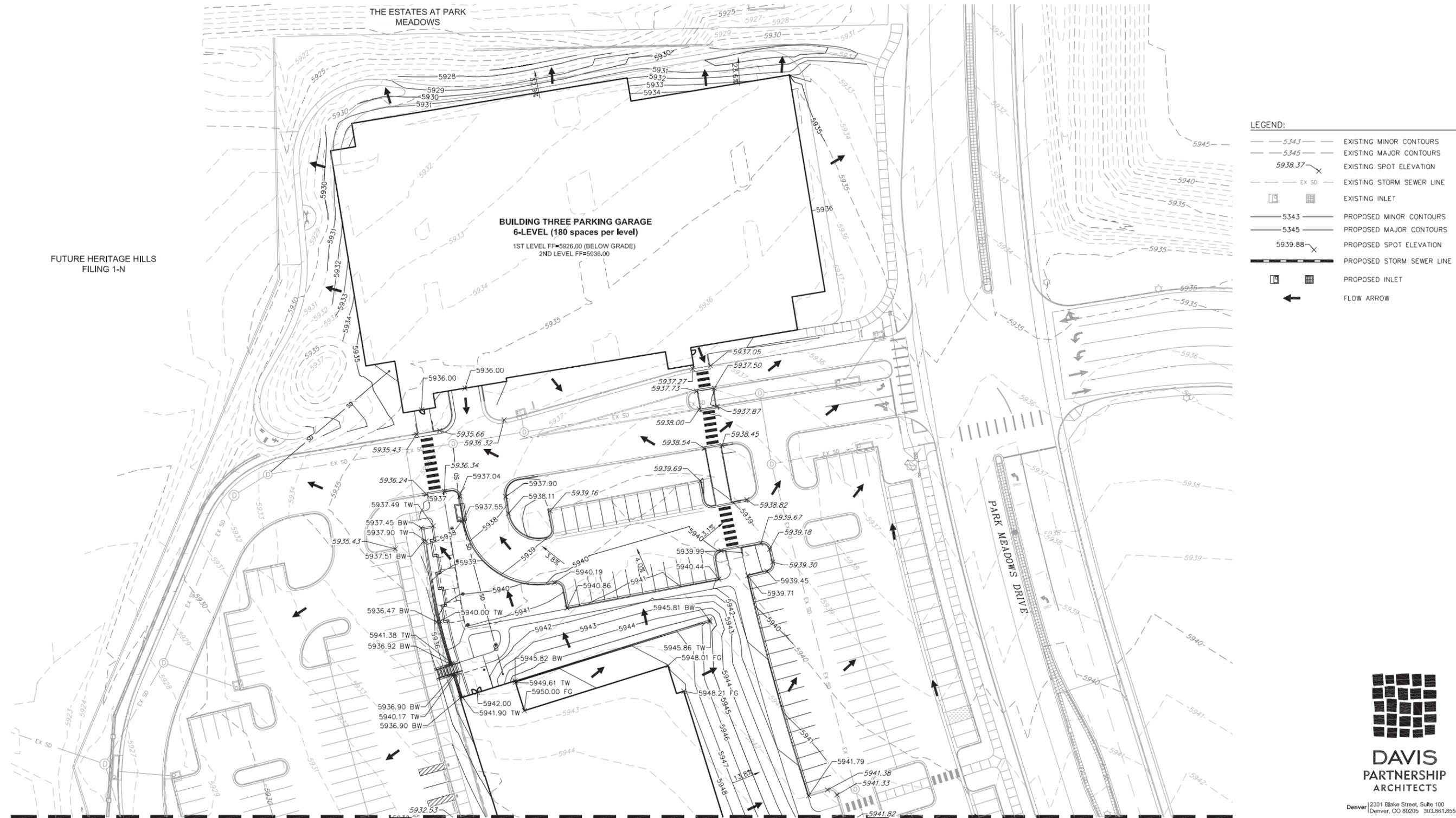
08 OF 14

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12 20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48



FUTURE HERITAGE HILLS FILING 1-N

**BUILDING THREE PARKING GARAGE**  
**6-LEVEL (180 spaces per level)**  
 1ST LEVEL FF=5926.00 (BELOW GRADE)  
 2ND LEVEL FF=5936.00

- LEGEND:**
- 5343 --- EXISTING MINOR CONTOURS
  - 5345 --- EXISTING MAJOR CONTOURS
  - 5938.37 X EXISTING SPOT ELEVATION
  - - - EX SD - - - EXISTING STORM SEWER LINE
  - [ ] [ ] EXISTING INLET
  - 5343 --- PROPOSED MINOR CONTOURS
  - 5345 --- PROPOSED MAJOR CONTOURS
  - 5939.88 X PROPOSED SPOT ELEVATION
  - - - - - PROPOSED STORM SEWER LINE
  - [ ] [ ] PROPOSED INLET
  - ← FLOW ARROW



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GRADING/ DRAINAGE PLAN - BUILDING 3



30 0 30  
 SCALE: 1" = 30'

MATCH LINE SEE SHEET 10

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

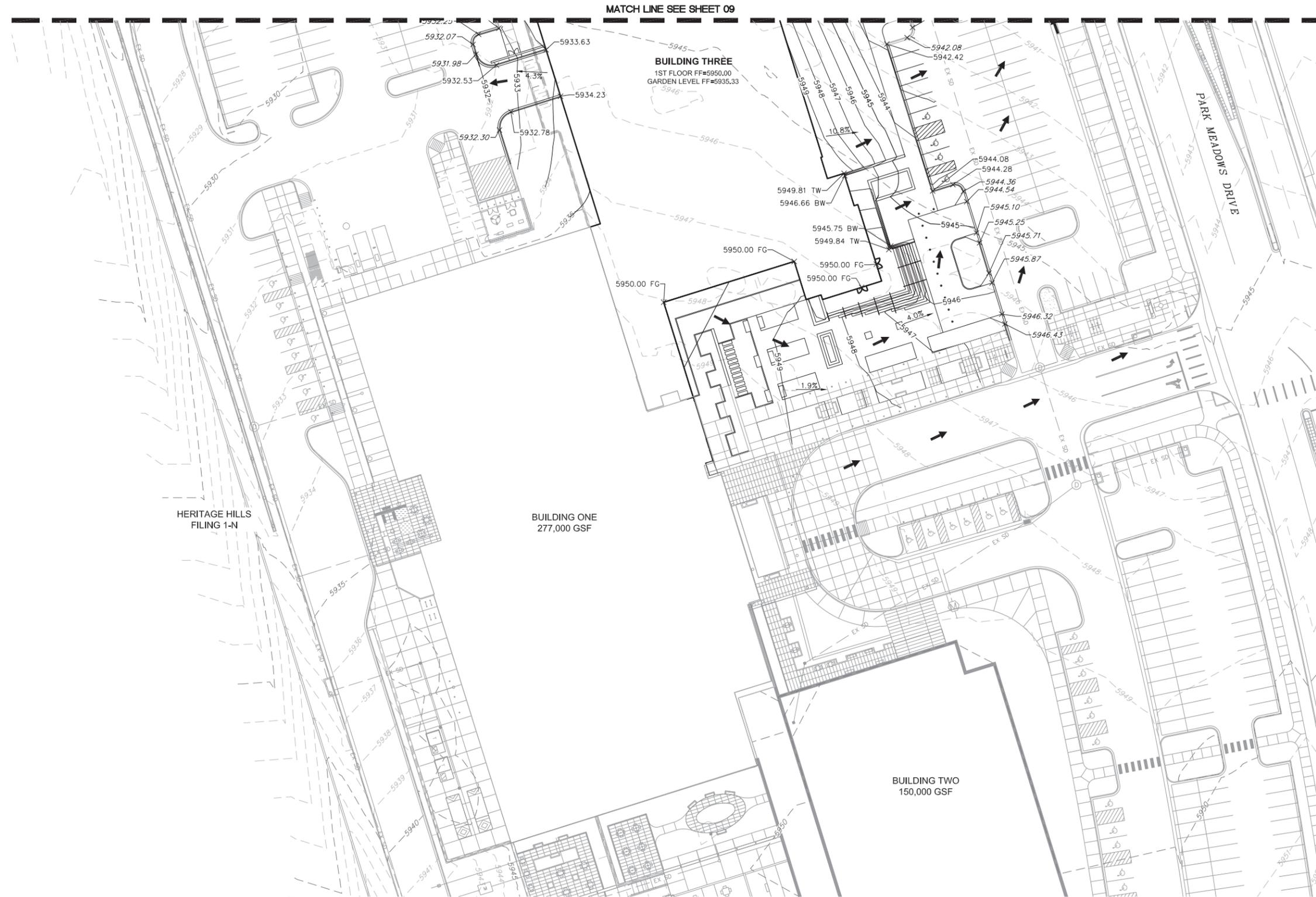
A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12

20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN

#SP2011-037, PROJECT #SP13-48



**LEGEND:**

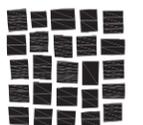
	5343	EXISTING MINOR CONTOURS
	5345	EXISTING MAJOR CONTOURS
	5938.37	EXISTING SPOT ELEVATION
	EX SD	EXISTING STORM SEWER LINE
		EXISTING INLET
	5343	PROPOSED MINOR CONTOURS
	5345	PROPOSED MAJOR CONTOURS
	5939.88	PROPOSED SPOT ELEVATION
	SD	PROPOSED STORM SEWER LINE
		PROPOSED INLET
		FLOW ARROW

GRADING/ DRAINAGE PLAN - BUILDING 3

1"=30'



30 0 30  
SCALE: 1" = 30'



**DAVIS**  
PARTNERSHIP  
ARCHITECTS

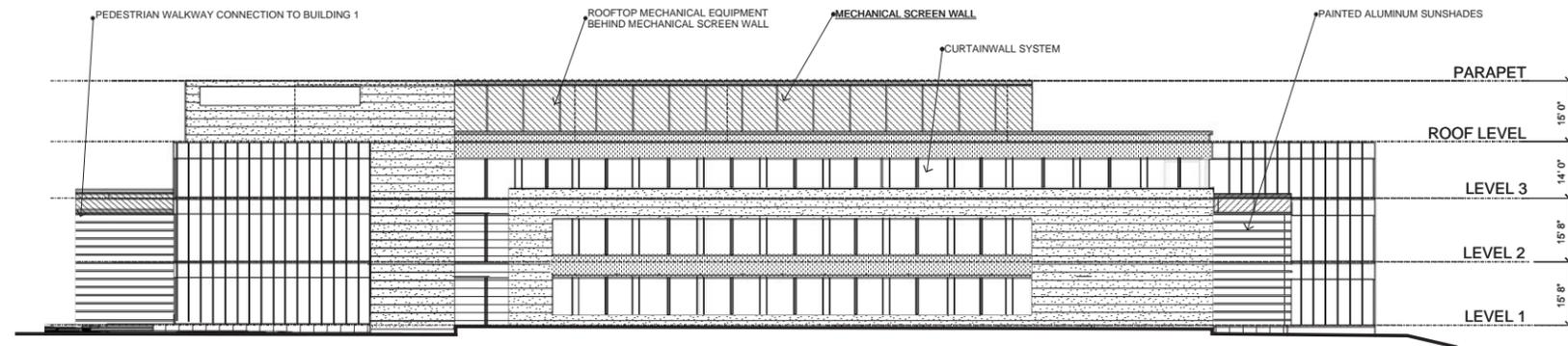
Denver | 2301 Blake Street, Suite 100  
Denver, CO 80205 303.861.8555  
Vail | 225 Main Street, Unit C101  
Edwards, CO 81632 970.926.8960

JULY 16, 2014

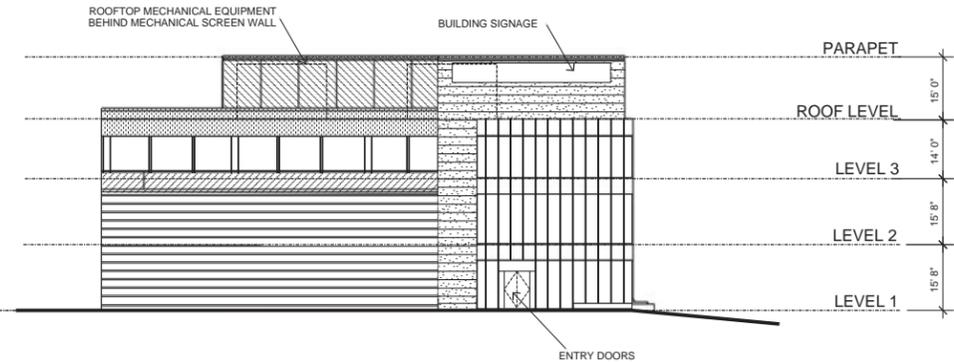
10 OF 14

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

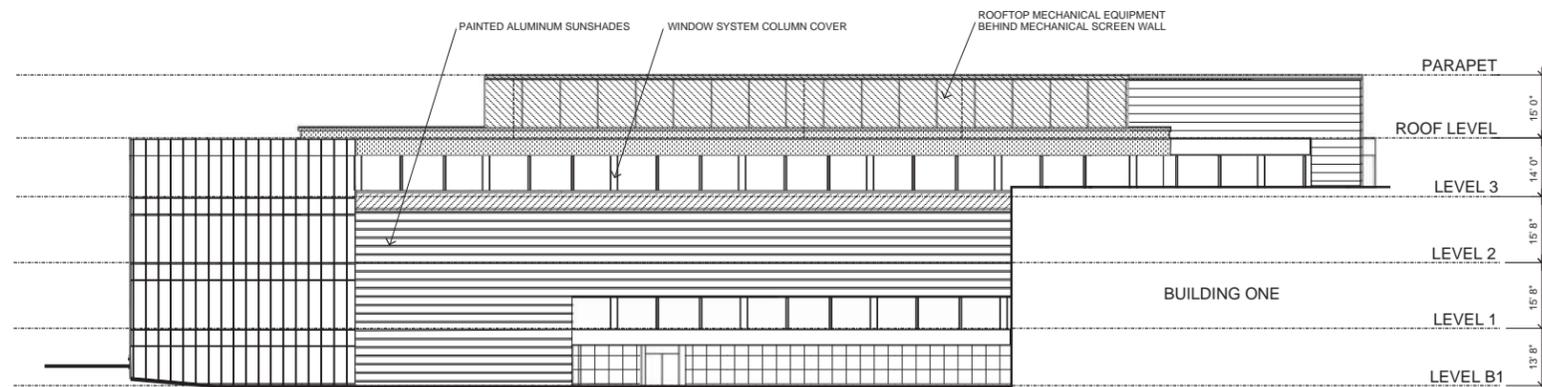
A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO  
 PLANNING AREA 10 AND 12 20.101 ACRES  
 THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48



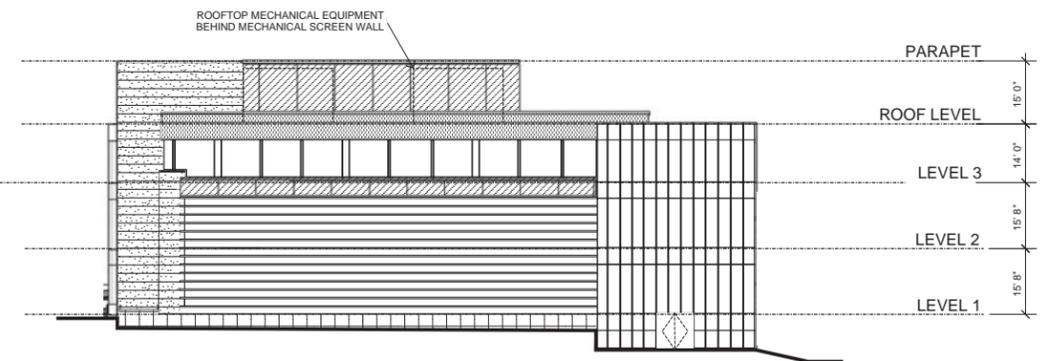
1 BUILDING 3 MOB - EAST ELEVATION  
 SCALE: 1" = 20'



2 BUILDING 3 MOB - SOUTH ELEVATION  
 SCALE: 1" = 20'



3 BUILDING 3 MOB - WEST ELEVATION  
 SCALE: 1" = 20'



4 BUILDING 3 MOB - NORTH ELEVATION  
 SCALE: 1" = 20'

### MATERIAL LEGEND

 <b>CURTAIN WALL SYSTEM 1</b> HIGH PERFORMANCE VISION AND SPANDREL GLASS WIRAGON COLOR: CRYSTAL GRAY HORIZONTAL AND VERTICAL ALUMINUM MULLIONS *KAWNEER COLOR: STERLING GRAY *WAUSAU COLOR: SILVER LT730	 <b>EXTERIOR WALL SYSTEM 3</b> CONCRETE MASONRY UNITS BASALITE - GROUND FACE BLOCK - COLOR 607
 <b>EXTERIOR WALL SYSTEM 1</b> MASONRY UNIT SYSTEM OPTION 1 - TERRA COTTA OPTION 2 - ORANGE BRICK TO MATCH COLOR OF EXISTING TERRA COTTA OPTION 3 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE	 <b>EXTERIOR WALL SYSTEM 4</b> MASONRY UNIT SYSTEM OPTION 1 - GRANITE TO MATCH EXISTING OPTION 2 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE
 <b>EXTERIOR WALL SYSTEM 2</b> COMPOSITE METAL PANEL SYSTEM *ALUCOBOND COLOR: COLOR TO MATCH ANODIC BRONZE *REYNOBOND COLOR: ANODIC BRONZE	 <b>PARAPET/MECHANICAL SCREEN WALL</b> COMPOSITE METAL PANEL SYSTEM *ALUCOBOND COLOR: COLOR TO MATCH ANODIC SATIN *REYNOBOND COLOR: ANODIC SATIN



**DAVIS  
 PARTNERSHIP  
 ARCHITECTS**

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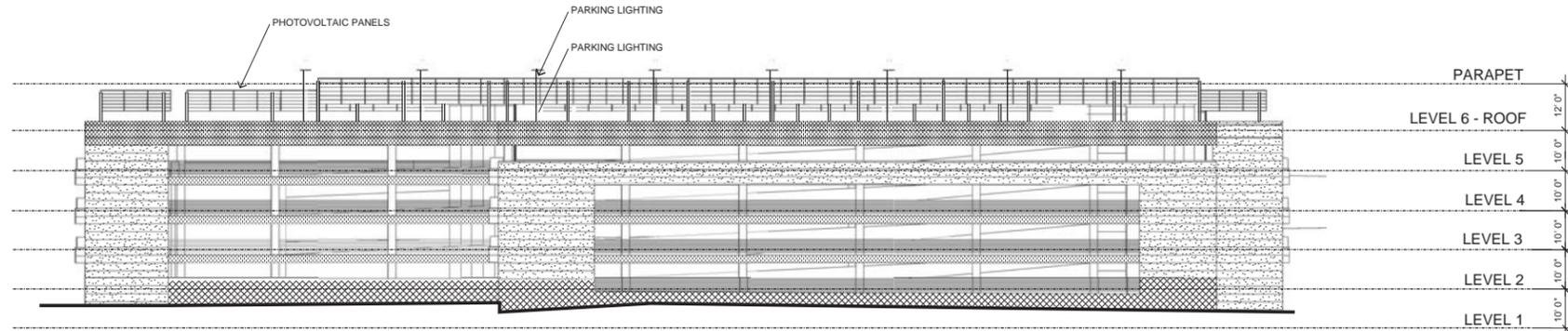
JULY 16, 2014  
 11 OF 14

# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

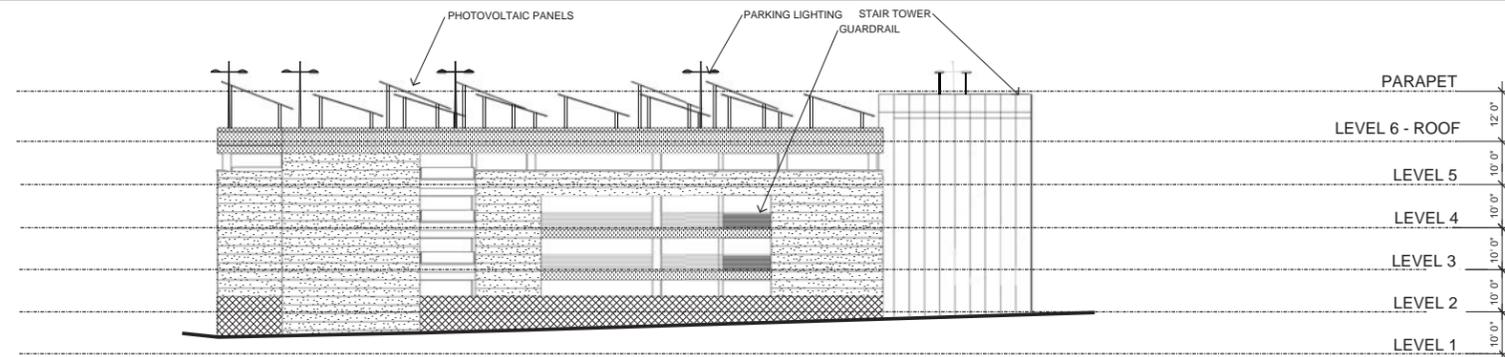
A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12 20.101 ACRES

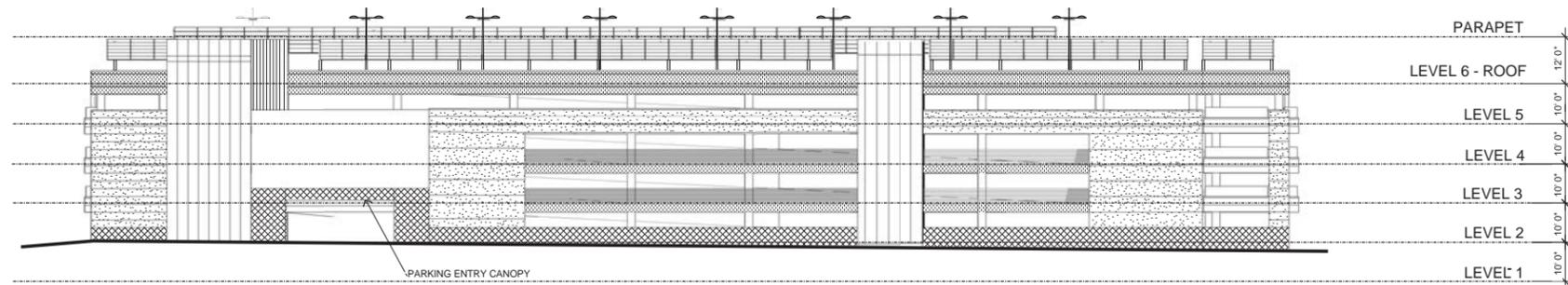
THIRD AMENDMENT TO SITE IMPROVEMENT PLAN #SP2011-037, PROJECT #SP13-48



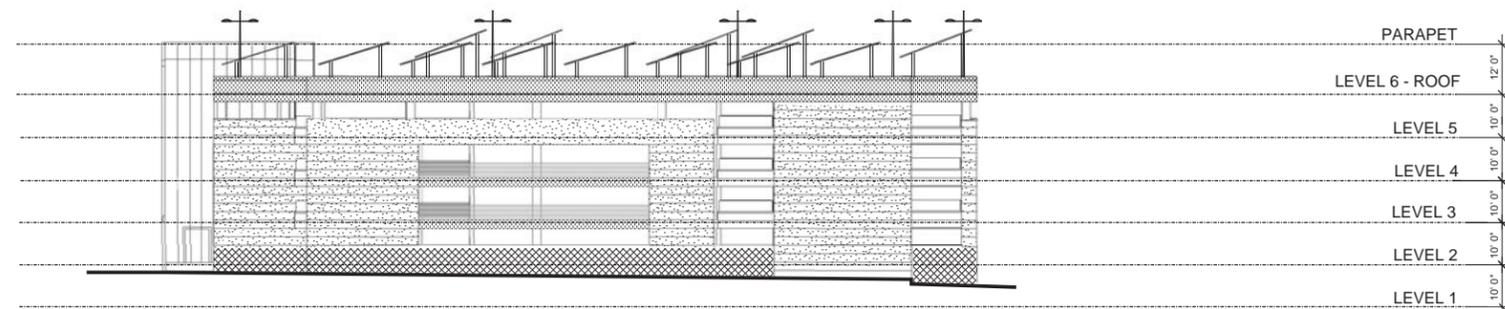
1 PARKING GARAGE - NORTH ELEVATION  
SCALE: 1" = 20'



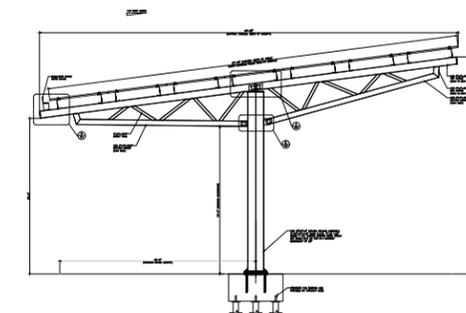
2 PARKING GARAGE - WEST ELEVATION  
SCALE: 1" = 20'



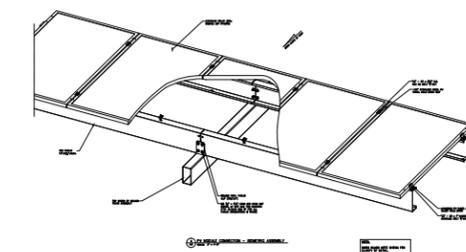
3 PARKING GARAGE - SOUTH ELEVATION  
SCALE: 1" = 20'



4 PARKING GARAGE - EAST ELEVATION  
SCALE: 1" = 20'



TYPICAL PV MODULE - ELEVATION (N.T.S.)



TYPICAL PV MODULE - ISOMETE (N.T.S.)

### MATERIAL LEGEND

**CURTAIN WALL SYSTEM 1**  
HIGH PERFORMANCE VISION AND SPANDREL GLASS  
VIRACON COLOR: CRYSTAL GRAY  
HORIZONTAL AND VERTICAL ALUMINUM MULLIONS  
\*KAWNEER COLOR: STERLING GRAY  
\*WAUSAU COLOR: SILVER LT730

**EXTERIOR WALL SYSTEM 1**  
MASONRY UNIT SYSTEM  
OPTION 1 - TERRA COTTA  
OPTION 2 - ORANGE BRICK TO MATCH COLOR OF EXISTING TERRA COTTA  
OPTION 3 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE

**EXTERIOR WALL SYSTEM 2**  
COMPOSITE METAL PANEL SYSTEM  
\*ALUCOBOND COLOR: COLOR TO MATCH ANODIC BRONZE  
\*REYNOBOND COLOR: ANODIC BRONZE

**EXTERIOR WALL SYSTEM 3**  
CONCRETE MASONRY UNITS  
BASALITE - GROUND FACE BLOCK - COLOR 607

**EXTERIOR WALL SYSTEM 4**  
MASONRY UNIT SYSTEM  
OPTION 1 - GRANITE TO MATCH EXISTING  
OPTION 2 - GREY BRICK TO MATCH COLOR OF EXISTING GRANITE

**PARAPET/MECHANICAL SCREEN WALL**  
COMPOSITE METAL PANEL SYSTEM  
\*ALUCOBOND COLOR: COLOR TO MATCH ANODIC SATIN  
\*REYNOBOND COLOR: ANODIC SATIN

NOTE:  
FINAL GRADING TO BE DETERMINED WITH CIVIL



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JULY 16, 2014  
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# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12

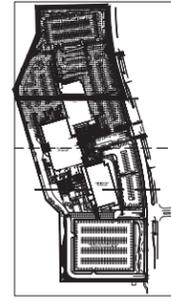
20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN

#SP2011-037, PROJECT #SP13-48

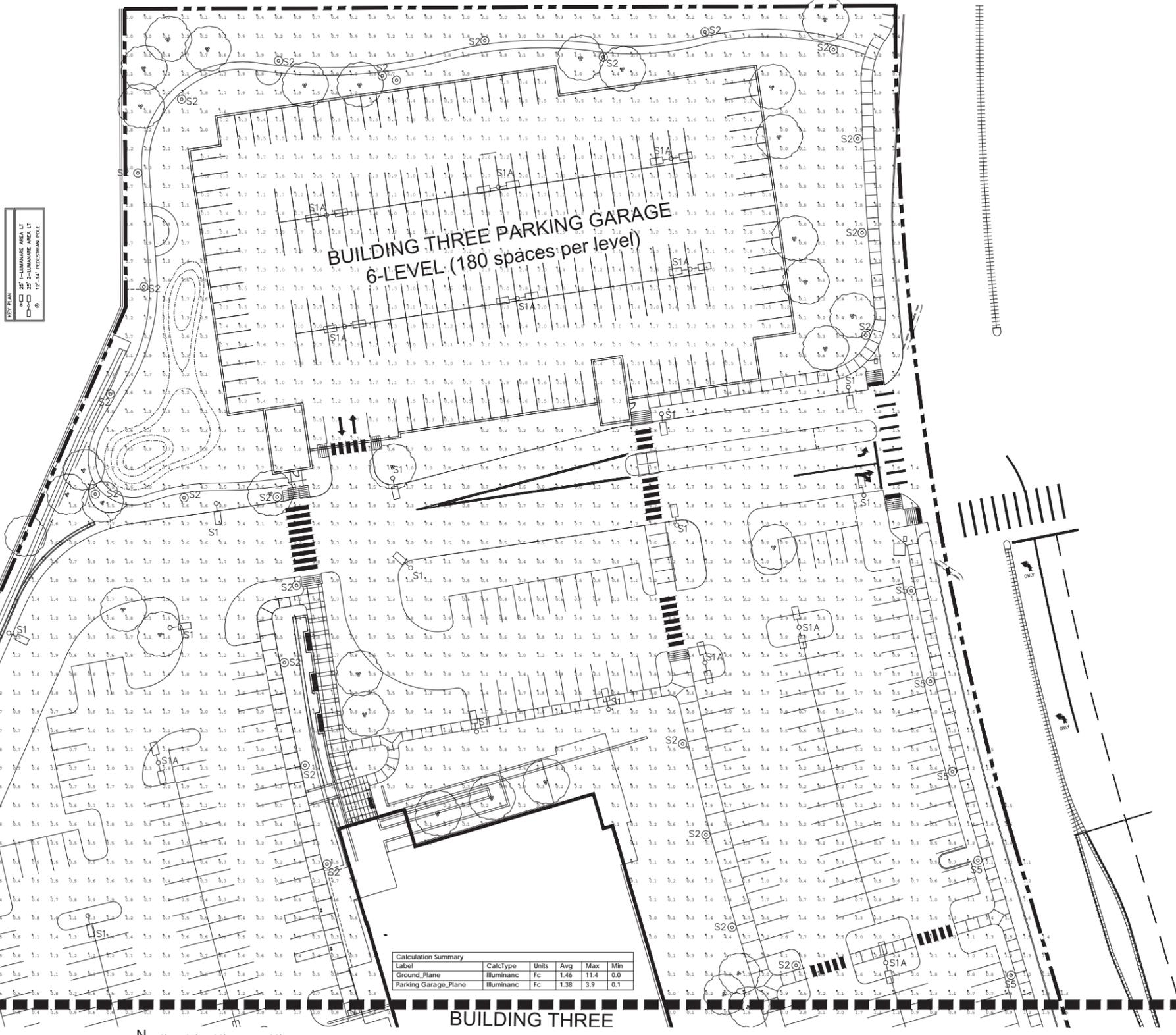
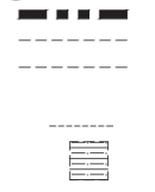
NO.	DESCRIPTION	DATE	BY	CHKD.
1	PRELIMINARY SITE PLAN	10/15/11	J. DAVIS	J. DAVIS
2	REVISED SITE PLAN	11/15/11	J. DAVIS	J. DAVIS
3	REVISED SITE PLAN	12/15/11	J. DAVIS	J. DAVIS
4	REVISED SITE PLAN	01/15/12	J. DAVIS	J. DAVIS
5	REVISED SITE PLAN	02/15/12	J. DAVIS	J. DAVIS
6	REVISED SITE PLAN	03/15/12	J. DAVIS	J. DAVIS
7	REVISED SITE PLAN	04/15/12	J. DAVIS	J. DAVIS
8	REVISED SITE PLAN	05/15/12	J. DAVIS	J. DAVIS
9	REVISED SITE PLAN	06/15/12	J. DAVIS	J. DAVIS
10	REVISED SITE PLAN	07/15/12	J. DAVIS	J. DAVIS
11	REVISED SITE PLAN	08/15/12	J. DAVIS	J. DAVIS
12	REVISED SITE PLAN	09/15/12	J. DAVIS	J. DAVIS
13	REVISED SITE PLAN	10/15/12	J. DAVIS	J. DAVIS
14	REVISED SITE PLAN	11/15/12	J. DAVIS	J. DAVIS
15	REVISED SITE PLAN	12/15/12	J. DAVIS	J. DAVIS
16	REVISED SITE PLAN	01/15/13	J. DAVIS	J. DAVIS
17	REVISED SITE PLAN	02/15/13	J. DAVIS	J. DAVIS
18	REVISED SITE PLAN	03/15/13	J. DAVIS	J. DAVIS
19	REVISED SITE PLAN	04/15/13	J. DAVIS	J. DAVIS
20	REVISED SITE PLAN	05/15/13	J. DAVIS	J. DAVIS
21	REVISED SITE PLAN	06/15/13	J. DAVIS	J. DAVIS
22	REVISED SITE PLAN	07/15/13	J. DAVIS	J. DAVIS
23	REVISED SITE PLAN	08/15/13	J. DAVIS	J. DAVIS
24	REVISED SITE PLAN	09/15/13	J. DAVIS	J. DAVIS
25	REVISED SITE PLAN	10/15/13	J. DAVIS	J. DAVIS
26	REVISED SITE PLAN	11/15/13	J. DAVIS	J. DAVIS
27	REVISED SITE PLAN	12/15/13	J. DAVIS	J. DAVIS
28	REVISED SITE PLAN	01/15/14	J. DAVIS	J. DAVIS
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32	REVISED SITE PLAN	05/15/14	J. DAVIS	J. DAVIS
33	REVISED SITE PLAN	06/15/14	J. DAVIS	J. DAVIS
34	REVISED SITE PLAN	07/15/14	J. DAVIS	J. DAVIS
35	REVISED SITE PLAN	08/15/14	J. DAVIS	J. DAVIS
36	REVISED SITE PLAN	09/15/14	J. DAVIS	J. DAVIS
37	REVISED SITE PLAN	10/15/14	J. DAVIS	J. DAVIS
38	REVISED SITE PLAN	11/15/14	J. DAVIS	J. DAVIS
39	REVISED SITE PLAN	12/15/14	J. DAVIS	J. DAVIS
40	REVISED SITE PLAN	01/15/15	J. DAVIS	J. DAVIS
41	REVISED SITE PLAN	02/15/15	J. DAVIS	J. DAVIS
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45	REVISED SITE PLAN	06/15/15	J. DAVIS	J. DAVIS
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55	REVISED SITE PLAN	04/15/16	J. DAVIS	J. DAVIS
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63	REVISED SITE PLAN	12/15/16	J. DAVIS	J. DAVIS
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94	REVISED SITE PLAN	07/15/19	J. DAVIS	J. DAVIS
95	REVISED SITE PLAN	08/15/19	J. DAVIS	J. DAVIS
96	REVISED SITE PLAN	09/15/19	J. DAVIS	J. DAVIS
97	REVISED SITE PLAN	10/15/19	J. DAVIS	J. DAVIS
98	REVISED SITE PLAN	11/15/19	J. DAVIS	J. DAVIS
99	REVISED SITE PLAN	12/15/19	J. DAVIS	J. DAVIS
100	REVISED SITE PLAN	01/15/20	J. DAVIS	J. DAVIS

KEY PLAN  
 1 25'-0" LUMINAIRE AREA LT  
 2 25'-0" LUMINAIRE AREA LT  
 3 12'-0" PEDESTRIAN POLE



2 PLAN KEY  
1" = 500'

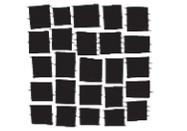
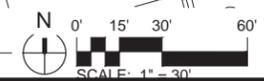
3 LEGEND



Label	CalcType	Units	Avg	Max	Min
Ground_Plane	Illuminanc	Fc	1.46	11.4	0.0
Parking_Garage_Plane	Illuminanc	Fc	1.38	3.9	0.1

Match Line: Sheet 3  
Match Line: Sheet 4

1 SITE PLAN - BUILDING THREE  
1" = 30'



**DAVIS PARTNERSHIP ARCHITECTS**

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Edwards, CO 81632 | 970.926.8960

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# HERITAGE HILLS FILING 2, 3RD AMENDMENT, LOT 9-A

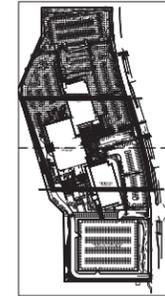
A PORTION OF THE E 1/2 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

PLANNING AREA 10 AND 12

20.101 ACRES

THIRD AMENDMENT TO SITE IMPROVEMENT PLAN

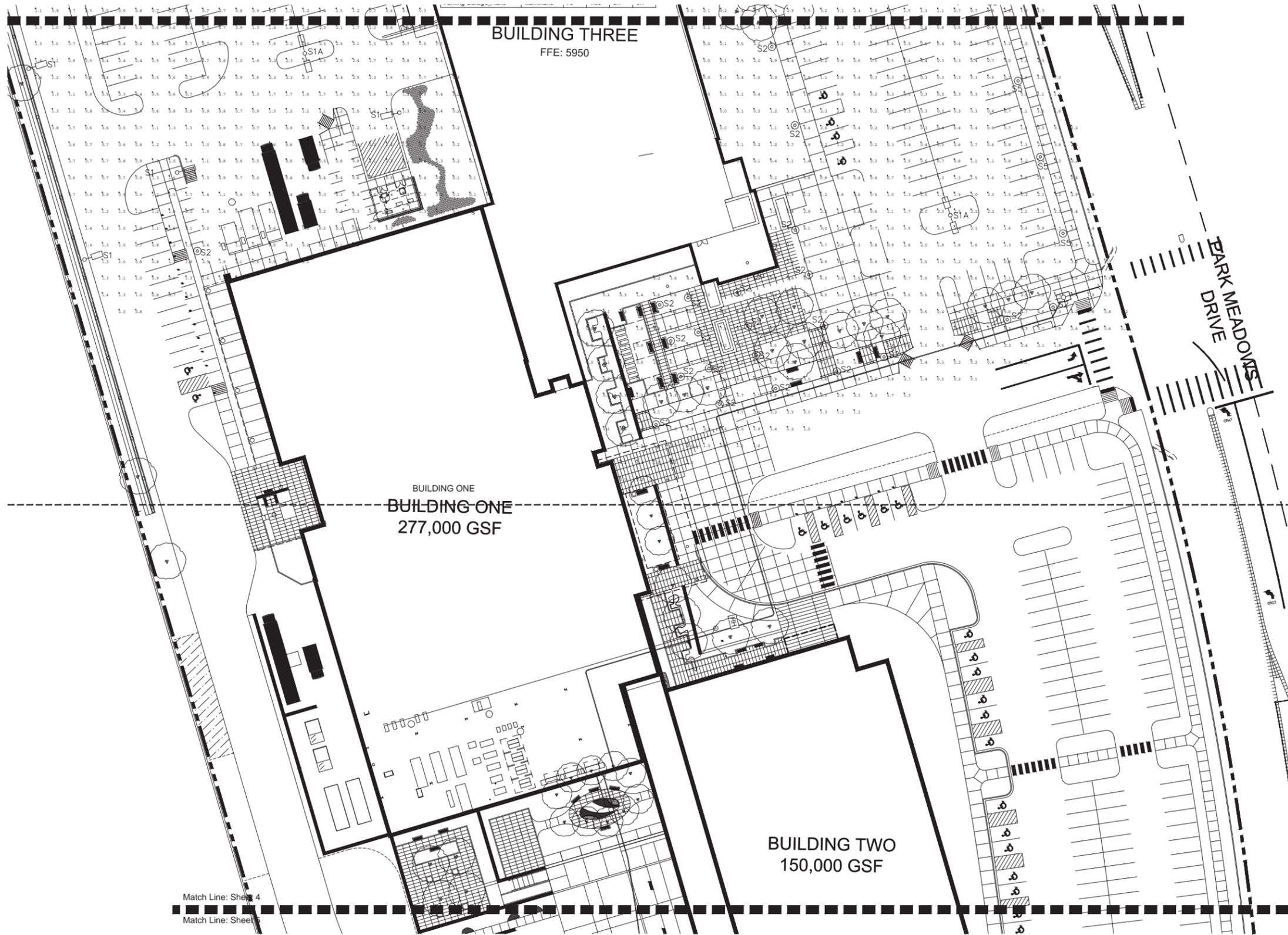
#SP2011-037, PROJECT #SP13-48



PLAN KEY

1" = 500'

### LEGEND



Match Line: Sheet 4  
Match Line: Sheet 5

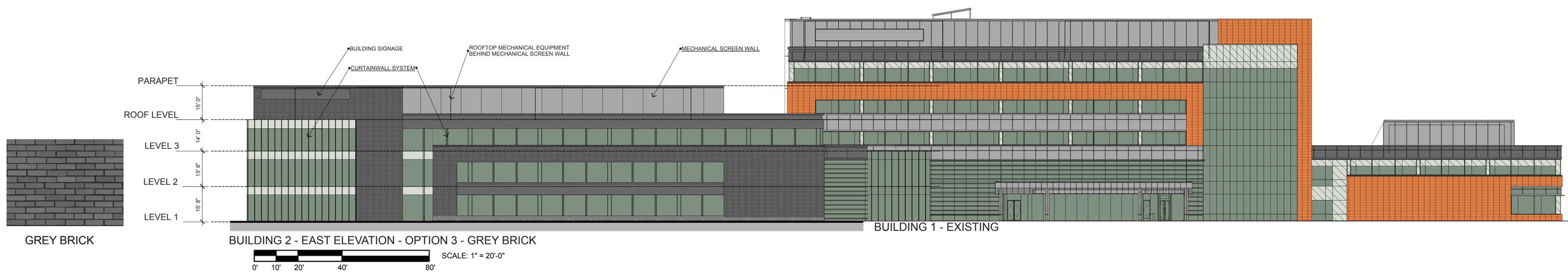
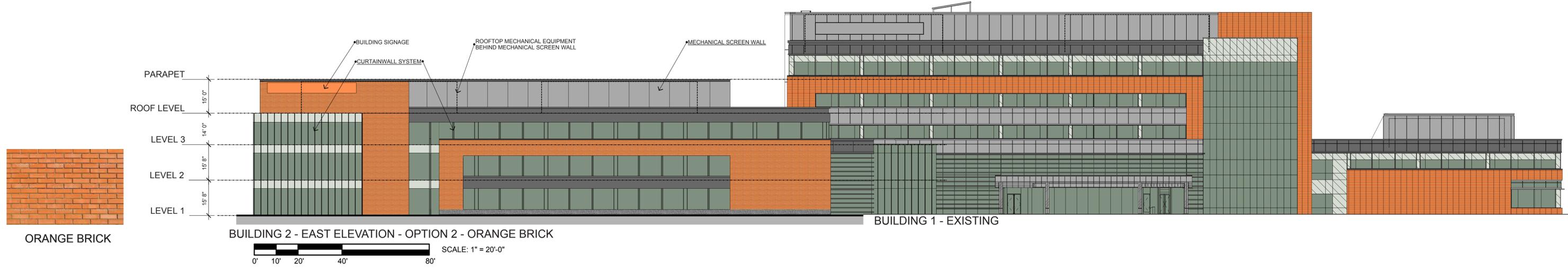
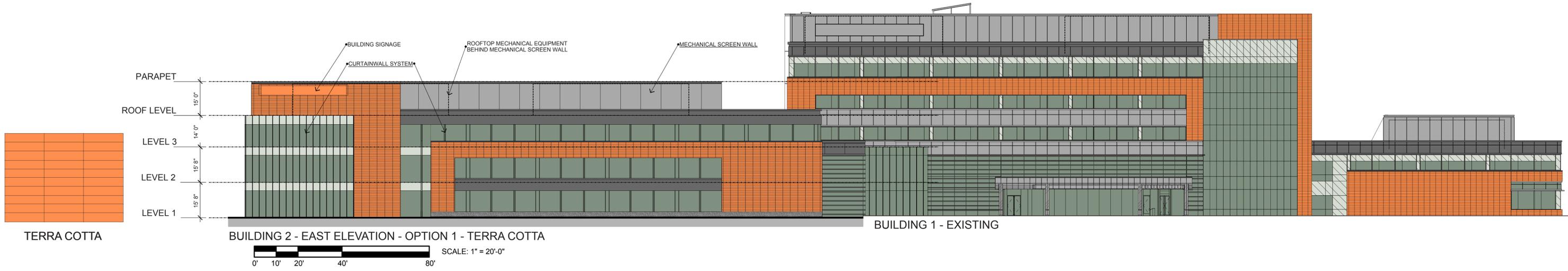
1 SITE PLAN - BUILDING THREE  
1" = 30'

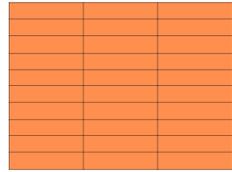


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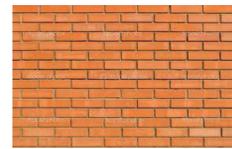
JULY 16, 2014

14 OF 14

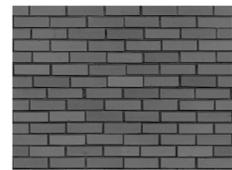




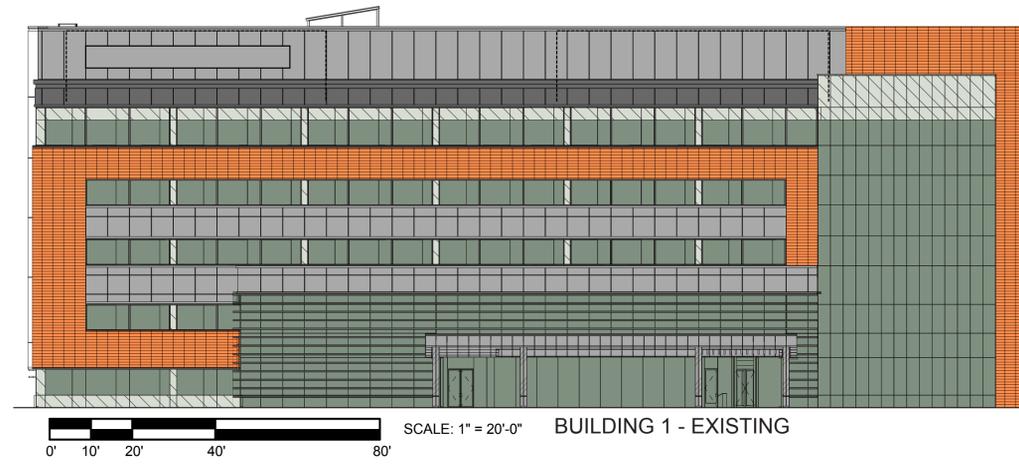
TERRA COTTA



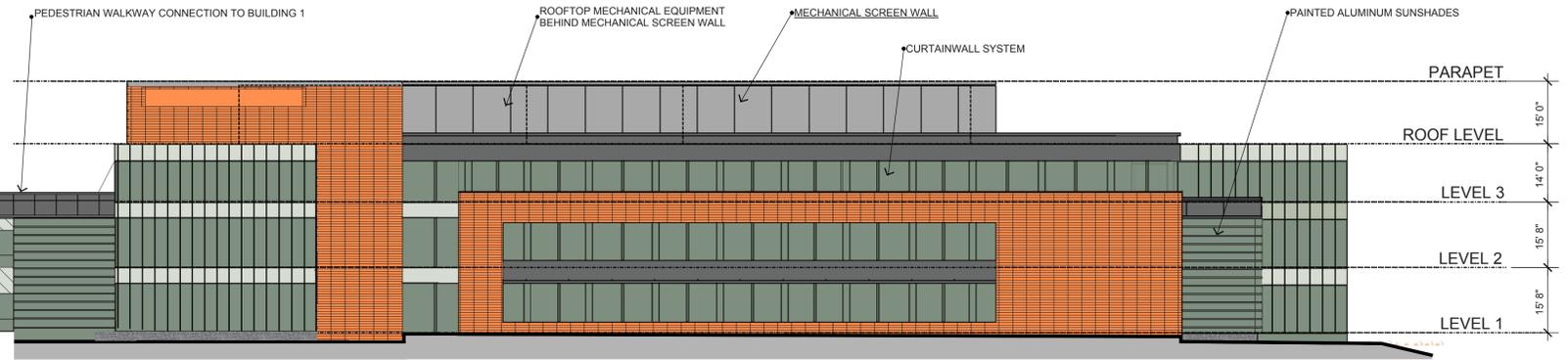
ORANGE BRICK



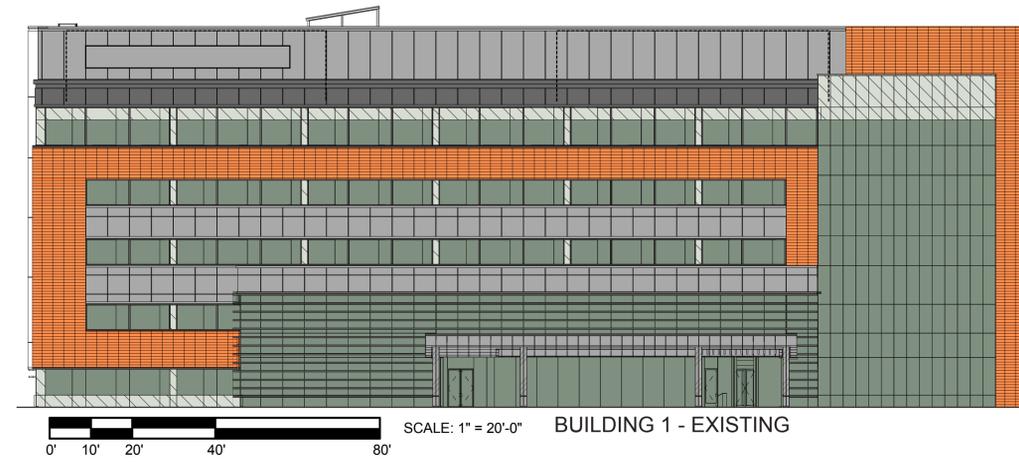
GREY BRICK



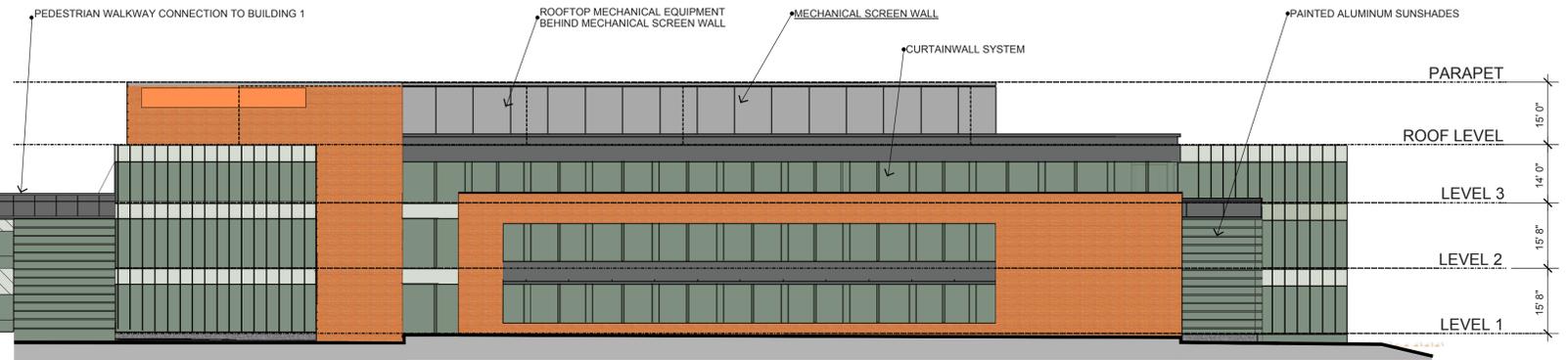
SCALE: 1" = 20'-0" BUILDING 1 - EXISTING



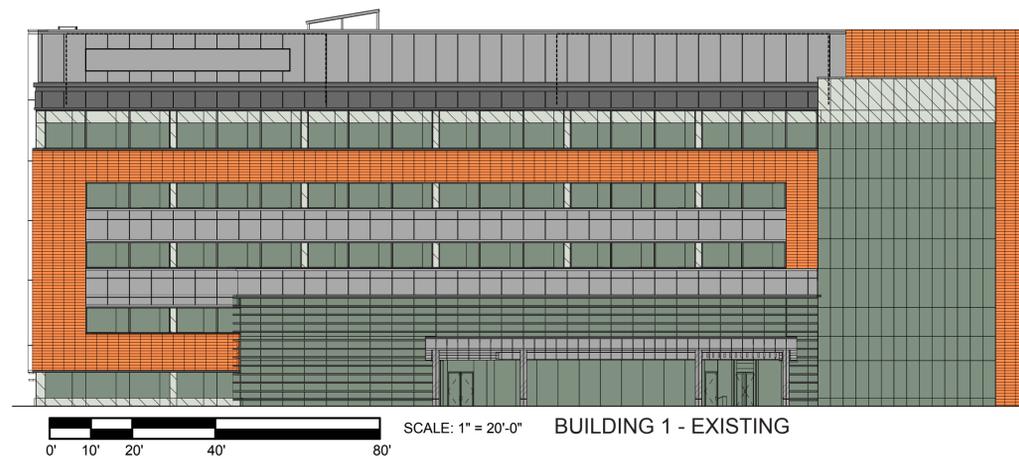
BUILDING 3 - EAST ELEVATION - OPTION 1 - TERRA COTTA



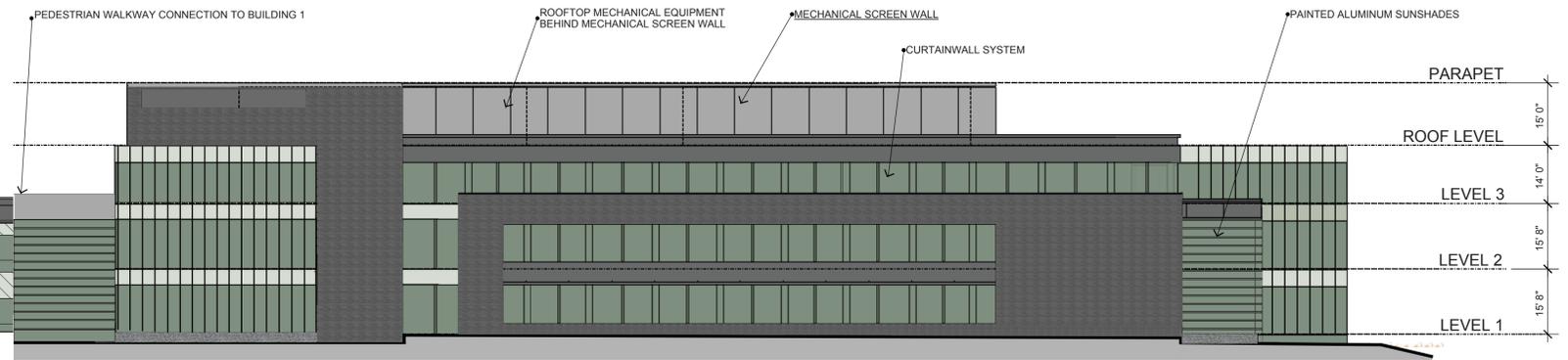
SCALE: 1" = 20'-0" BUILDING 1 - EXISTING



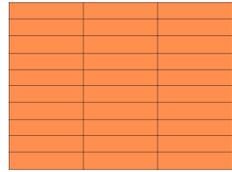
BUILDING 3 - EAST ELEVATION - OPTION 2 - ORANGE BRICK



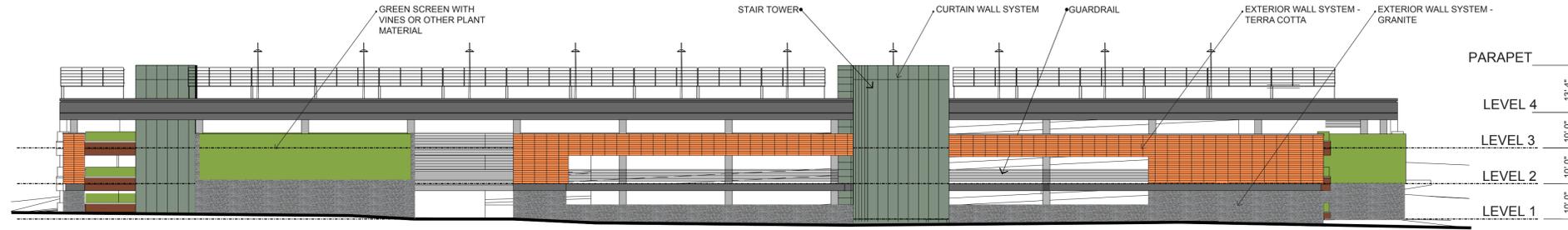
SCALE: 1" = 20'-0" BUILDING 1 - EXISTING



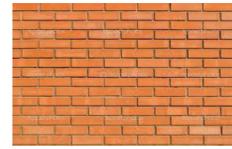
BUILDING 3 - EAST ELEVATION - OPTION 3 - GREY BRICK



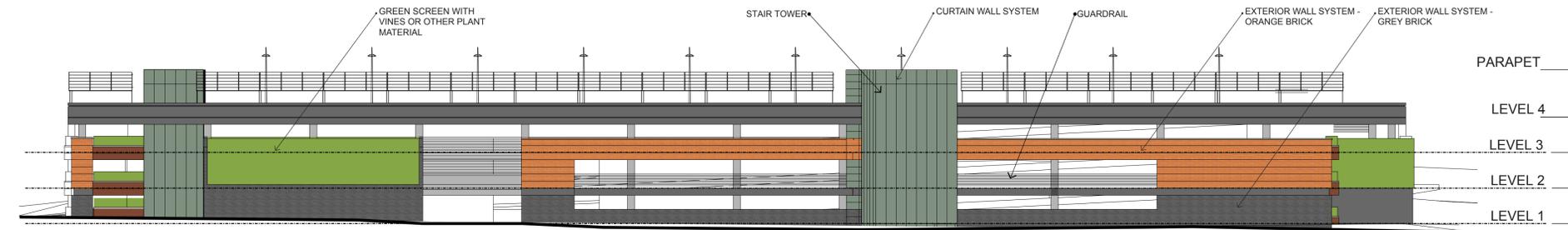
TERRA COTTA



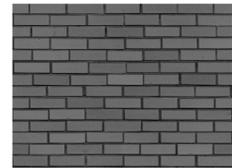
PARKING GARAGE 2 - NORTH ELEVATION - OPTION 1 - TERRA COTTA



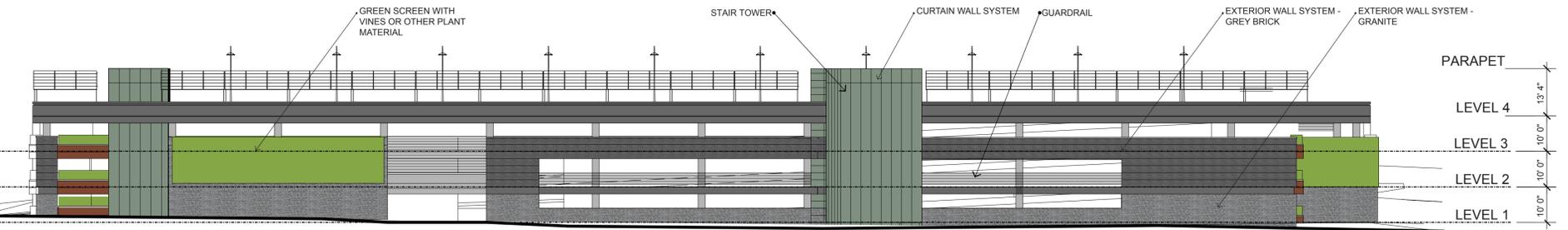
ORANGE BRICK



PARKING GARAGE 2 - NORTH ELEVATION - OPTION 2 - ORANGE BRICK

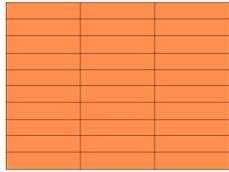


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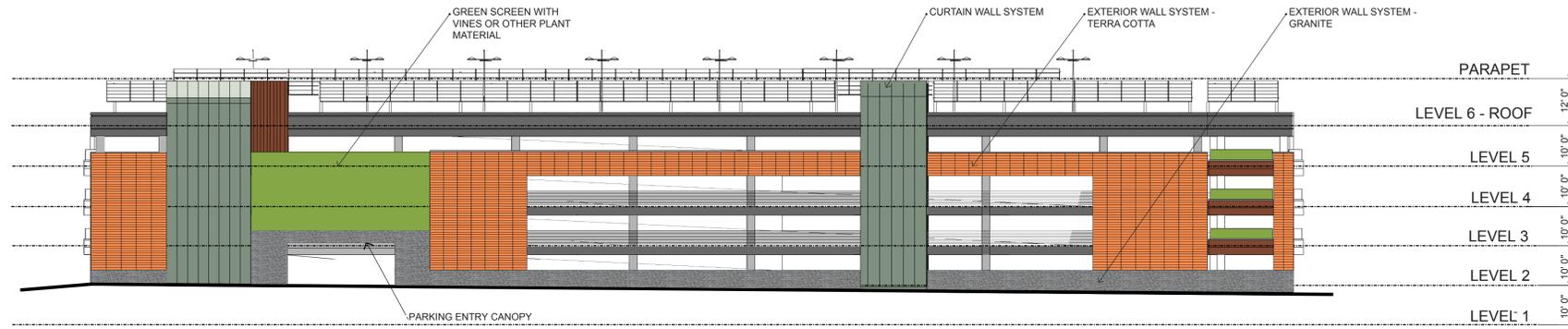


PARKING GARAGE 2 - NORTH ELEVATION - OPTION 3 - GREY BRICK

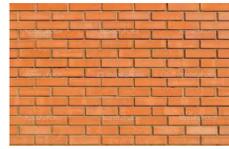




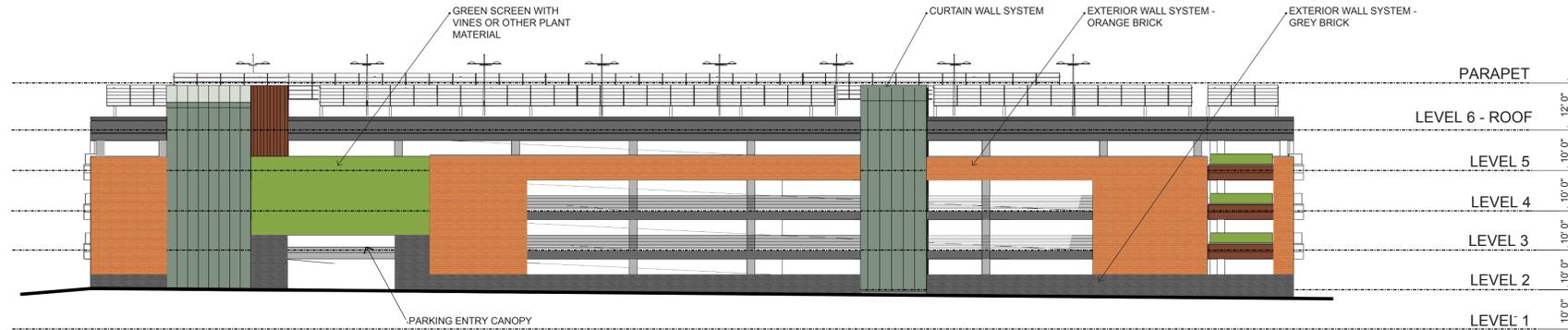
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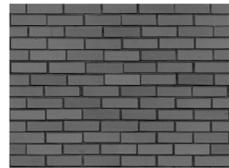
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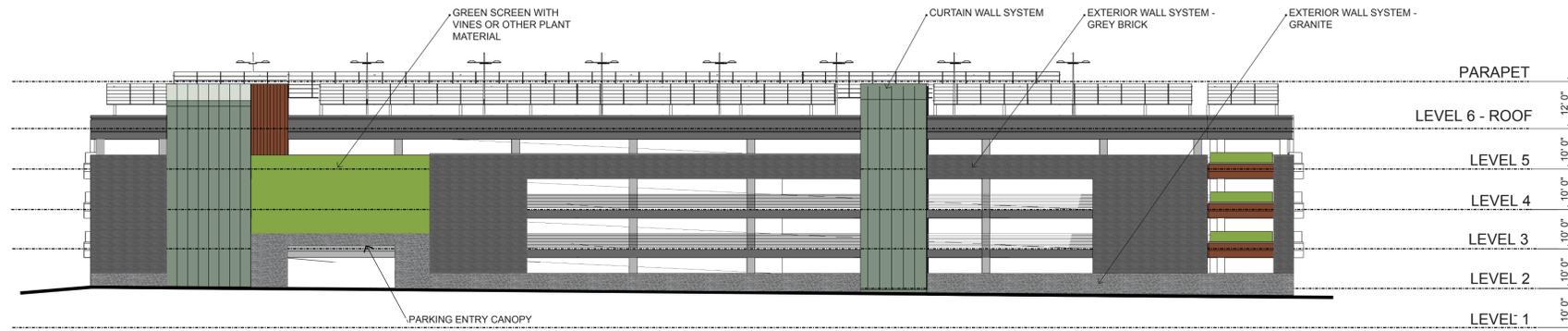
ORANGE BRICK



PARKING GARAGE 3 - SOUTH ELEVATION - OPTION 2 - ORANGE BRICK

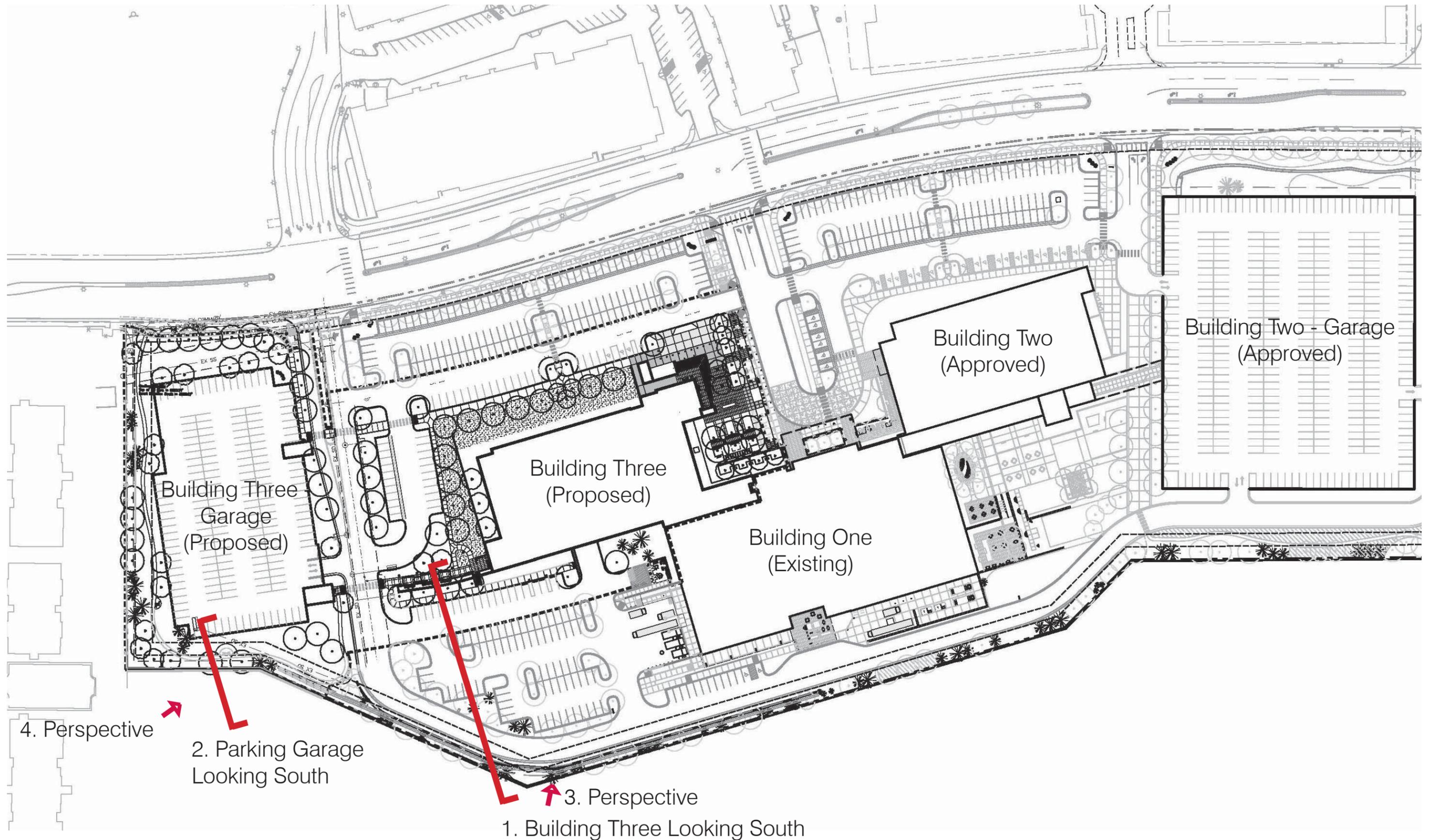


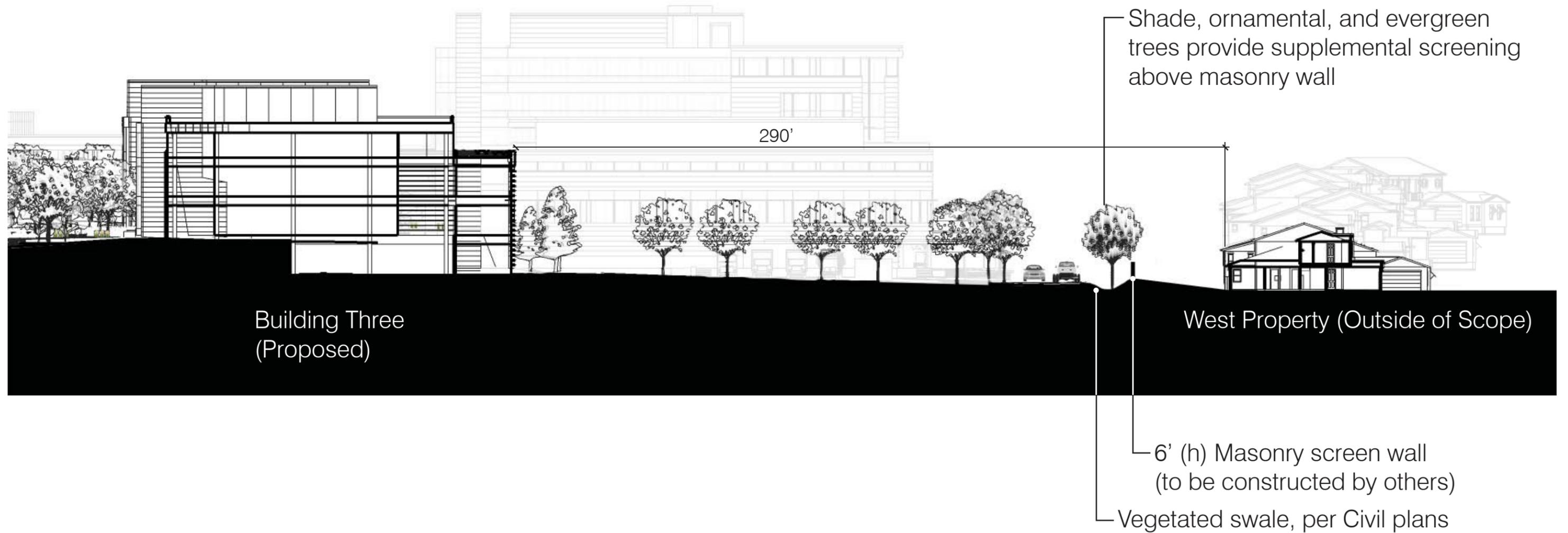
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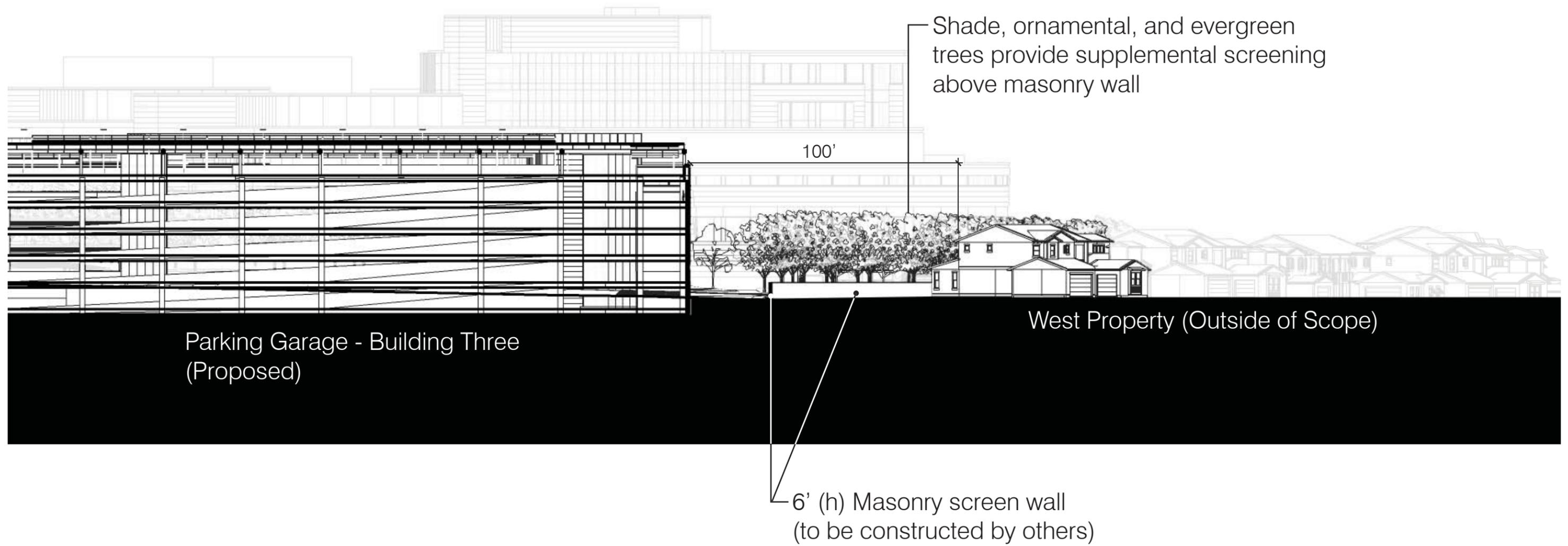


PARKING GARAGE 3 - SOUTH ELEVATION - OPTION 3 - GREY BRICK

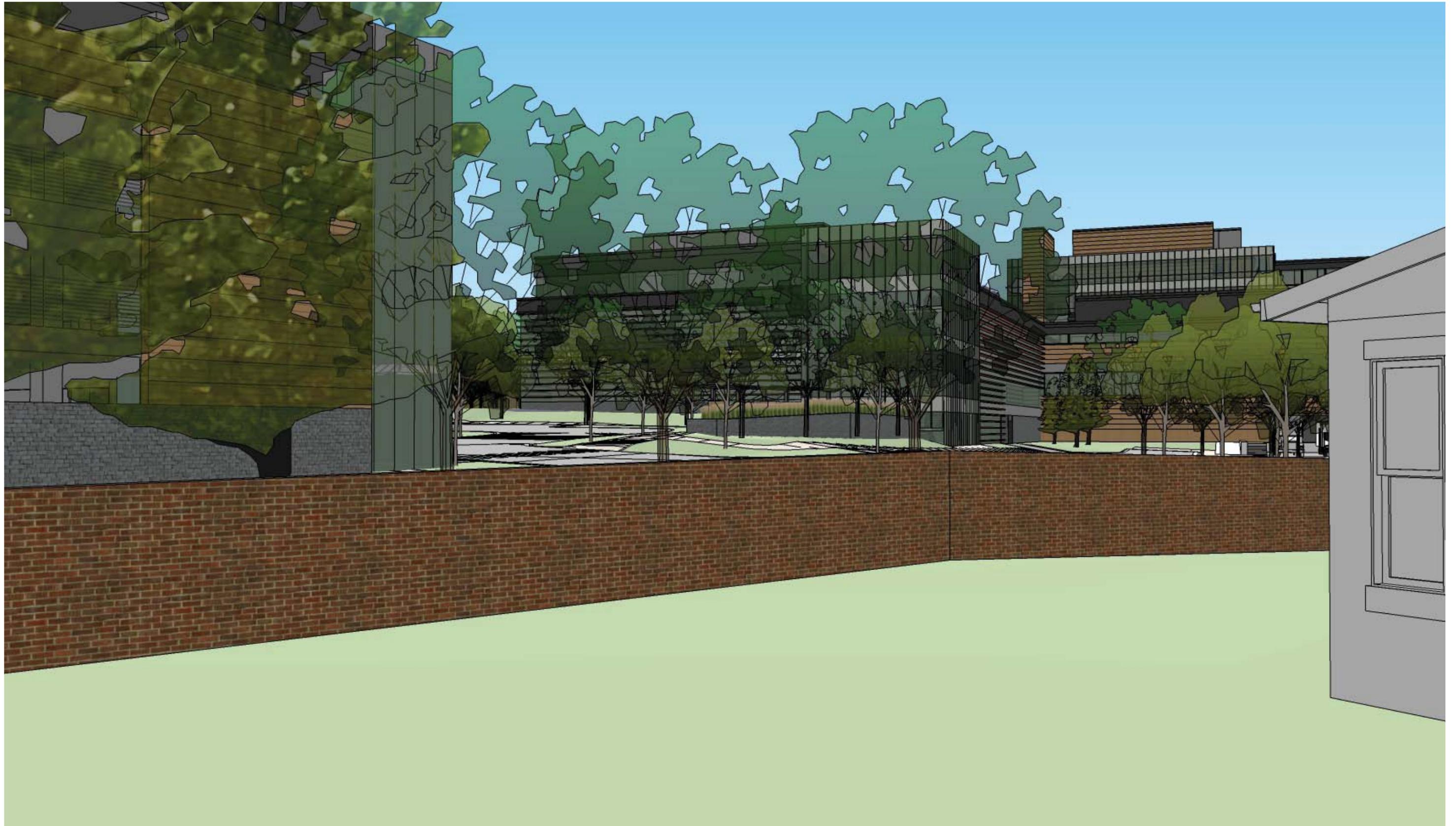














VAICED DECOMANENTE





KAISER PERMANENTE

KAISER PERMANENTE



 KAISER PERMANENTE







Southern Terrace RESTAURANTS





