



City of Lone Tree Planning Commission Agenda Tuesday, February 23, 2016

Meeting Location:
Meeting Procedure:

City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

The Lone Tree Planning Commission and staff will meet in a public Study Session at 6:00 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Jennifer Drybread, jennifer.drybread@cityoflonetree.com if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Jennifer Drybread, Senior Planner, at jennifer.drybread@cityoflonetree.com, or 303-708-1818.

5:30 p.m. Study Session Agenda

1. Administrative Matters
-

6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment (For Items NOT appearing on the agenda)
4. Minutes of the January 26, 2016 Planning Commission meeting
5. RidgeGate Section 15, Filing 5, Second Amendment, Lot 1-F1, Quadrant Building, Project SP15-99R. This mixed-use office and retail building is generally located in Lincoln Commons, to the west of Sprouts.
6. Promenade Park presentation by Rampart Range Metro District. For information only.
7. RidgeGate Section 15, Filing 19, Lot 3 (Urban Villas), Preliminary Plan Subdivision, Project SB15-98R. This project proposes 18 lots for single-family detached homes. It is located in RidgeGate, between Sky Ridge Avenue and RidgeGate Parkway, west of Bellwether Lane.
8. Adjournment

MINUTES OF THE
Lone Tree Planning Commission Meeting
January 26, 2016

Lone Tree Civic Center

1. Attendance

In attendance were:

- Dave Kirchner, Chair
- Andrew Dodgen, Vice Chair
- Rhonda Carlson, Planning Commissioner
- Daryl Heskin, Planning Commissioner
- Richard Rodriguez, Planning Commissioner
- Kevin Spencer, Planning Commissioner
- Herb Steele, Planning Commissioner

In attendance from staff were:

- Kelly First, Community Development Director
- Jennifer Drybread, Senior Planner
- Hans Friedel, Planner III
- Julius Zsako, Zoning Enforcement Coordinator
- Rose Lynch, Emergency Preparedness Coordinator

2. Opening of Meeting / Roll Call

Chair Kirchner called the meeting to order at 6:30 p.m.

3. Conflict of Interest Inquiry

There were none stated.

4. Public Comment (For Items NOT appearing on the agenda)

There was no public comment for items not on the agenda.

5. Minutes of the January 12, 2016 Planning Commission meeting

Commissioner Steele moved to approve the minutes of the January 12, 2016 Planning Commission meeting, Commissioner Carlson seconded, and the minutes were approved unanimously.

6. Annual RidgeGate Overview and Development Update - Coventry Development Corp. This is an informational item only.

Ms. First introduced Darryl Jones and Keith Simon with Coventry Development, to discuss the RidgeGate Planned Development. She emphasized the collaborative nature of the partnership between the City and RidgeGate.

Mr. Keith Simon, Executive Vice President for Coventry Development RidgeGate, provided an overview of the RidgeGate Planned Development, its inception, history, objectives, and vision. He talked about RidgeGate's vision being achieved through a balanced mix of uses, interconnected streets with detached sidewalks, high-quality development, integrated open space and trail system, compact vitality, and transit (RTD Light Rail). The transportation network offers choices for their residents.

By 2019, there is anticipated to be about 2,280 residential units or about 5,000 people in the West Village. There is expected to be 8,000 jobs, 12 restaurants, 500,000-square-foot of retail, 3 hotels, 5 parks, and 10+ miles of trails by 2019. The trail system connects with regional trails.

Mr. Darryl Jones, Development Manager for Coventry, provided an overview of the historic Schweiger Ranch. The landowner donated 38 acres to establish the Schweiger Ranch 501c3. They have secured four grants to improve and preserve the site. The early grants were for stabilizing the old agricultural structures. They have partnered with the state and various local entities including Lone Tree and Douglas County to help fund and renovate the property. A master plan was created in 2005 for the site, with an intent that this would be an active, educational amenity for the City. The original family lived at the property until 1972.

Mr. Simon continued by providing an overview of future development coming to RidgeGate for the 2016-2018 timeframe, including the RTD Light Rail Extension, Schwab I-25 Building, Ovation Apartments/Retail, Lone Tree Arts Center District (Morningstar Senior Housing, Lone Tree Library, Lincoln Commons Rows, Office Project), Lincoln Commons District (Starbucks Coffee, Retail/Office Building), RidgeGate Commons (Sierra Grill, Marriott TownePlace Suites), Sky Ridge Station TOD (Fein Apartments, Embassy Suites Hotel), Integrated ENT, a presently confidential corporate office, and single family residential (Montecito, the Retreat, and Bellwether Lane Urban Estates).

He also talked about the upcoming extension of Sky Ridge Avenue across I-25 and accompanying rail, and pedestrian crossing. He envisions complementary, not competitive medical centers of excellence around the Sky Ridge Medical Center site. There are not many sites left for development on the west side.

Mr. Simon then talked about future development on the east side. He explained that they like to wait for an employment center user as a catalytic project for development. While the east side has a long-term planning horizon (e.g., future residential east of the City Center), Keith Simon did say that Coventry will start building the infrastructure in 2017, and larger buildings as early as 2018.

Over 330 acres will be within ½ mile of a transit station – which is about as far as people will walk from a transit stop. He felt a new precedent has been set for local-match funding, \$25,000,000 cash and free land, to secure the \$92,000,000 from the Federal Transportation Authority (FTA) to make the southeast extension possible.

He talked about the goals on the east side being similar to the west side; noting that it is four times bigger than the West Village at four square miles, stating that it will probably take near 40 to 50 years to build out. He stated that because of the long-range horizon, it requires flexibility in the planned development document. Some of these goals were a

balance of uses and commitments to open space. He also stated that the East Village will have affordable housing included in its planning framework.

He stated that they were working to future-proof the East Village community; however, it is difficult to predict. He stated that they do not want to be at the “bleeding edge” of technology. He mentioned the Panasonic development near Denver International Airport, and an openness to partner with a corporate sponsor for smart-city technology.

He mentioned that they had engaged two, top-notch consulting firms to develop new sub-area plans for the east side. Sub-area plans would provide guidance to Planning Commissioners and City Council in evaluating new developments and would be in addition to RidgeGate’s private design standards and guidelines. They would be organized and written like mini-comprehensive plans and there would be separate sub-area plans for the City Center and RidgeGate Station TOD areas, as well as residential and retail, and commercial uses. His goal is that they will be very descriptive in terms of guiding the quality and character of the east side, but not prescriptive.

Chair Kirchner and the other Commissioners thanked Mr. Simon and Mr. Jones for their thoughtful presentation and its visuals.

Commissioner Steele inquired about the acreage on the West Village – it is approximately 640 square acres or one square mile. Commissioner Steele further inquired as to the population impacts of the east side. Mr. Simon expected about 8,000 to 10,000 residential units on the east side, including as many as 30,000 jobs. This could translate to approximately 20,000 additional residents.

Commissioner Steele expressed concern over possible unnecessary parking on the east side, taking into consideration expected transportation technologies and trends such as self-driving cars, driverless pods, car-shares, etc. Mr. Simon talked about simple things as designing parking garages with level, rather than sloped, floors so they could be adapted into different uses in the future.

Commissioner Dodgen thanked Mr. Simon and Mr. Jones for their presentations and inquired whether there had been any discussions about adjusting the flight paths of airplanes at Centennial Airport so they do not fly right over the RidgeGate City Center. Mr. Simon said they will coordinate with Centennial Airport regarding noise and height issues. He mentioned there will be height restrictions for aviation in the City Center-- which will be more restrictive than the current zoning.

Commissioner Spencer inquired whether a study that Mr. Simon mentioned about properties commanding a 25% premium in RidgeGate compared to outside RidgeGate applied to multifamily and commercial properties. Mr. Simon responded it only applied to for-sale residential properties.

Commissioner Rodriguez inquired if the end-of-line garage would replace the Lincoln Station garage. Staff responded that there no plans that it would.

Commissioner Rodriguez stated that his experience was that TOD areas really needed to be within ¼ mile of the transit station to be successful, effective, and walkable. He furthered inquired whether the consultants selected for the sub-area plans had prior TOD experience – Mr. Simon responded that they did.

Administrative Matter:

Staff inquired about starting the administrative update/staff portion of the meetings earlier at 5:30 p.m. as opposed to 6:00 p.m. to allow more time for discussion and administrative updates. There was a consensus among the Commissioners that this was acceptable.

7. Adjournment

There being no further business, Chair Kirchner asked for a motion to adjourn. Commissioner Dodgen made the motion to adjourn and Commissioner Steele seconded. The motion was approved unanimously. The meeting was adjourned at 8:15 p.m.

These minutes have been reviewed and confirmed by

_____ (name), on _____(date)



CITY OF LONE TREE
STAFF REPORT

TO: City of Lone Tree Planning Commission

FOR: February 23, 2016 Planning Commission Meeting

FROM: Kelly First, Community Development Director
Hans Friedel, Planner III

DATE: February 5, 2016

RE: RidgeGate Section 15, Filing 5, Second Amendment, Lot 1-F1, Lincoln District East SIP 13th Amendment, a part of Phase II at Lincoln Commons – Quadrant Building, Project SP15-99R

Owner:
TKG Lincoln Commons, LLC
Quadrant Properties
981 Southpark Drive
Littleton, CO 80120
303.800.0921

Representative:
David Goode
DPGA
558 Castle Pines Pkwy, Unit B4-174
Castle Pines, CO 80108
303.246.4943

Planning Commission Meeting Date:	February 23, 2016
City Council Meeting Date:	NA

A. REQUEST:

Approval of a Site Improvement Plan (SIP) amendment for a two-story, 20,000-square-foot, mixed-use building designed for space above flexible retail and restaurant tenant space, on a 1.01 acre extent-of-work area in the master-planned, Lincoln District East portion of the Lincoln Commons development.

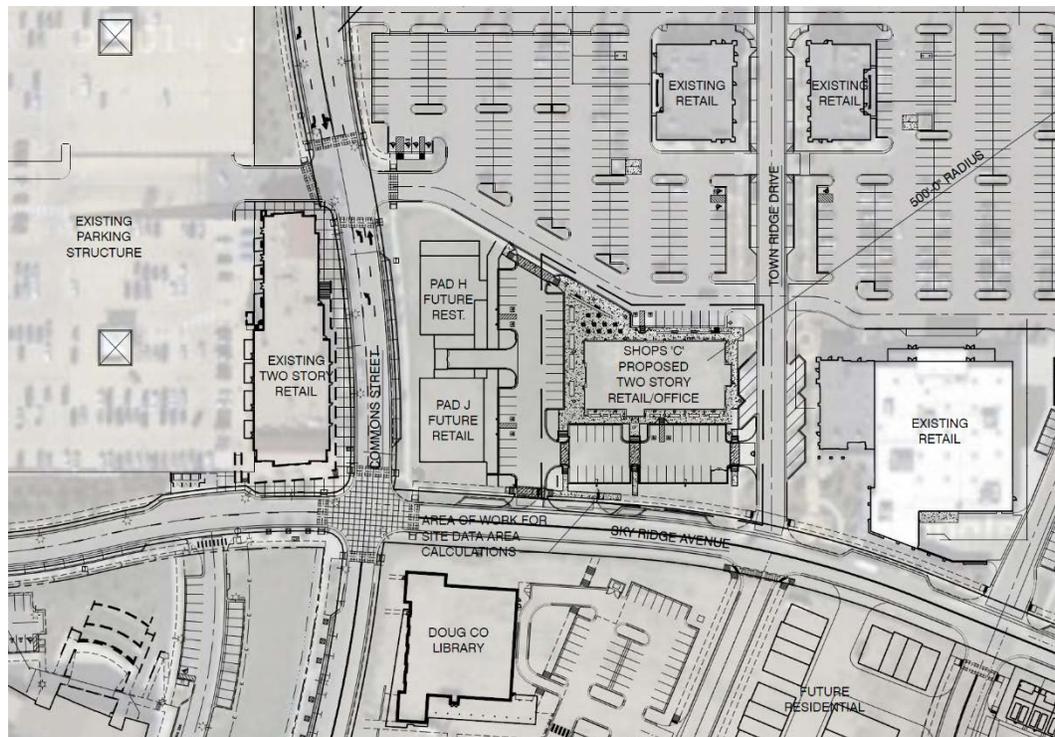
This plan amendment pertains to approval of the mixed-use building. Consideration is given to the building elevations and on-site landscaping. As per the process approved as part of the master SIP for Lincoln District East, the application will be heard by the Planning Commission only.

B. LOCATION:

The property is located within Lincoln Commons. This proposed building is generally located northeast of the intersection of Commons Street and Sky Ridge Avenue. Surrounding land uses are as follows:

West: Undeveloped pad sites
East: Multi-tenant retail in Lincoln Commons
North: Parking lot
South: Future Lone Tree Library

Surrounding Uses



C. BACKGROUND:

The property is within the Commercial/Mixed-Use (C/MU) Planning Area #1 of the RidgeGate Planned Development. Consumer retail, eating places, and office are permitted uses in this Planning Area. Development is guided by the RidgeGate Lincoln Commons C/MU Sub-Area Plan.

A master Site Improvement Plan (SIP) and specific standards and design guidelines were approved by City Council for Lincoln Commons in 2008. Subsequently, an SIP for the development of the northeast quadrant of Lincoln Commons, Lincoln District East, was approved by the City Council in 2009. These approved plans establish the overall circulation, parking and site improvement elements, and stipulate that the review and

approval of pad sites like this are the purview of the Planning Commission, with the exception that a decision for denial by the Planning Commission may be appealed to the City Council. Three other pad sites in Lincoln District East (dental office, bank, and restaurant) were subsequently reviewed and approved by the Planning Commission.

The master Lincoln Commons SIP and the Lincoln District East SIP provide that the submittal consist of building elevations, vicinity map, and material sample board. Since landscaping has increased with this application over what was approved on the master SIP, plans for landscaping have been included in this application for review and approval.

D. SITE CHARACTERISTICS:

The property has been graded for development.

E. SERVICE PROVIDERS:

Water:	Southgate Water District
Sanitation:	Southgate Sanitation District
Police:	Lone Tree Police
Fire:	South Metro Fire Rescue Authority
Metro District:	Rampart Range Metropolitan District

F. DESCRIPTION:

Site Plan

Demarcated pedestrian crosswalks have been shown at the driveways and mid-parking lot. The site also features a concrete plaza area along the northwest elevation with site furnishings. The Lincoln Commons Commercial/Mixed-Use Sub-Area Plan, among other things, contains prescriptive standards for building materials, building plane articulation, landscaping, and site design. This building is substantially in conformance with those standards. Of note is that the sub-area plan establishes a minimum 17-foot average depth from curb to building for users 12,000 square feet or greater, and a minimum 12-foot average depth from curb to building for users under 12,000 square feet. Although the total square footage of the building is 20,000 square feet, it is a two-story configuration and its footprint is closer to 10,000 square feet. For that reason, staff feels that the 12-foot distance standard should apply, which this project meets. In other ways, the building exemplifies elements of the sub-area plan such as creating a concrete pedestrian plaza space and featuring public art, which the plan states should be “provided and integrated with the site design.”

Building Elevations

The building elevations proposed are similar in character and form to those approved by the City in 2009 for Lincoln District East. The north elevation is the “front” for the retail/restaurant uses, and the south elevation the front of the office uses and service

side for the ground floor retail/restaurant. The building also features a space for public art mural on the west façade. The specific nature of the art has not yet been determined, and is proposed for administrative approval, with input from the Lone Tree Arts Commission. The use of brick, masonry, tile and stucco are in conformance with the sample board approved with the master SIP, and have been applied to other retail buildings in Lincoln District East.

The mix of materials and colors break up the linear building façade in conformance with the approved design standards and guidelines. The building design includes a distinctive base, middle, and top, including raised roof parapets, and attention to all building sides. These elements enhance the building design and tie this building architecturally to the rest of the center.

South Elevation



West Elevation with Proposed Mural Location



Access

The property is accessed via a right-in, right-out at Town Ridge Drive, Commons Street, and Sky Ridge Avenue.

Parking

Parking is generally in conformance with the master SIP for Lincoln District East. When Lincoln District East was master planned, assumptions were made regarding the mix of uses at build out. Existing and proposed parking is adequate for this building and its proposed uses according to our standards.

This anticipated mix of uses in Lincoln District East has changed somewhat over what was originally shown on the Master SIP, as development has occurred. This is normal and not unexpected. However, it will be incumbent upon the developer to analyze the relationship of total number of parking spaces required compared with what is available in the entire Lincoln District East center concurrent with any future development submittals – excluding this project and the proposed Starbucks coffee shop, which were required to conduct smaller, more localized parking studies. The results of this larger parking study for Lincoln District East may impact the development potential of certain future uses in the center if there is not adequate shared parking available.

Landscaping

The site features deciduous trees, evergreen trees, shrubs, and ornamental grasses – with deciduous trees screening the trash enclosure from view of Sky Ridge Avenue on the south side. Also, planter boxes provide screening of the north elevation ground floor service entrances. The plaza and front walkway is scored and colored concrete.

Lighting and Site Amenities

Pedestrian lights, building lighting, bike racks, benches and trash receptacles are provided per City requirements and are consistent with the approved master SIP and those used elsewhere in Lincoln District East.

Signage

The signs on the buildings are for illustrative purposes only. Sign permits will need to be secured separately through the Community Development Department.

G. REFERRALS

Although referrals are not required by the master SIP, the project was reviewed by Public Works and made available for public review through the City's e-notification subscription service. Comments, including the applicant's response, are included in the packet. Final approval of the SIP from the Public Works Department is still required as a

condition of final approval. The architecture was significantly enhanced through the RidgeGate Design Review (DRC) process.

H. STAFF FINDINGS AND RECOMMENDATION:

Therefore, staff finds that the application is in conformance with the Comprehensive Plan, SIP requirements of the Lone Tree Zoning Code, and substantially in conformance with the Lincoln Commons Commercial/Mixed-Use Sub-Area Plan.

Staff recommends the Planning Commission approve the SIP amendment:

1. Subject to final approval by the City Public Works Department.
2. Subject to final artwork on the west elevation being approved administratively with consultation from the Lone Tree Arts Commission.

I. Attachments:

Development Application
Letter of Authorization
Narrative
DRC Minutes
DRC Approval Letter
Referral Comments
Applicant's Response to Referral Comments
SIP
Renderings

END



Development Application

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

CITY OF LONE TREE

303.708.1818 | www.cityoflonetree.com

Project Description	Development of a new 20,000 square foot, two story mixed use commercial building in the Lincoln Commons East development.
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Instructions	For Office Use Only
<ul style="list-style-type: none"> ✓ All applications must be typed or legibly printed ✓ All applicable sections must be completed ✓ All required attachments must be included ✓ This application does not cover Engineering, Building, and/or Public Works submittal requirements and fees 	Project Name <i>Quadrant Building</i> Job # <i>SP15-99R</i> Date <i>1/25/16</i> Planning Fee <i>\$1000</i> Check # <i>000251</i>

Application Type	Location
<input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Rezoning <input type="checkbox"/> Final Plat <input type="checkbox"/> Site Improvement Plan (SIP) <input type="checkbox"/> Re-Plat <input checked="" type="checkbox"/> SIP Amendment <input type="checkbox"/> Lot Line Adj. <input type="checkbox"/> Other	Address <i>9992 Commons Street</i> Approximate Location <i>NE quadrant of Commons Street and Sky Ridge Avenue</i> State Parcel ID <i>223115204025</i> Acreage <i>14.92</i>

Zoning	Legal Description
Current Zoning or PD Name <i>PD - RidgeGate</i> Proposed Zoning if Rezoning <i>n/a</i>	Subdivision Name Filing # <i>15</i> Block # Lot # <i>1-F1</i>

Utility Providers
Fire District <i>South Metro</i> Water <i>Southgate</i> Electricity <i>Xcel</i> Metro District <i>RidgeGate</i> Sewer <i>Southgate</i> Gas <i>Xcel</i>

Property Owner of Record	Applicant if Different than Owner
Owner Name <i>TKG Lincoln Commons, LLC</i> Company <i>Quadrant Properties</i> Address <i>981 Southpark Drive</i> <i>Littleton, CO 80120</i> Phone <i>303.800.0921</i> Email <i>bturner@quadprop.com</i>	Owner Name <i>David Goode</i> Company <i>DPGA</i> Address <i>558 Castle Pines Pkwy., Unit B4-174</i> <i>Castle Pines, CO 80108</i> Phone <i>303.246.4943</i> Email <i>davidsgoode@gmail.com</i>
Owner Signature _____ Date _____	Applicant Signature <i>[Signature]</i> Date <i>12.10.2015</i>

Letter of Authorization

Regarding Development Applications for Land Use Entitlements

City of Lone Tree
9220 Kimmer Drive #100
Lone Tree, CO 80124

RE: Property Address: 9992 Commons Street

Assessor's Parcel Number (SPN): 223115204025

To Whom It May Concern:

I/We, the owner(s) of the above described real property, authorize David Goode
of David P Goode Architecture to act as an agent on my/our behalf for the purpose of
creating, filing and/or managing an application for Lincoln Commons East - SIP Amendment
(type of development or permit application).

The undersigned hereby certifies to being the fee owner(s) or legally authorized representative of the fee owner(s) of the real property described above.

TKG Lincoln Commons, LLC
(Print Name of Owner)

R. Otto Mahy
(Signature of Owner or Authorized Representative)
R. OTTO MAHY, MANAGER

State of ~~Colorado~~ Missouri
County of Boone

The foregoing instrument was acknowledged before me this 14th day of December, 20 15
by R. Otto Mahy, Manager of TKG Lincoln Commons, LLC

Gina M. Kenney
(Notary's official signature)

10-24-16
(Commission expiration date)

NOTARY SEAL





CITY OF LONE TREE

Site Improvement Plan Project Narrative & Statement of Design Intent Template

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

303.708.1818 | www.cityoflonetree.com

Project Name	Lincoln Commons East – Building C	Project #	SP15-99R
Project Location	9992 Commons Street	Date	12.10.2015

Project Narrative

[ARTICLE XXVII - Site Improvement Plan \(SIP\) Project Narrative](#). The SIP process is intended to provide for development that enhances the quality of life in the City by promoting high-quality design and a strong economy, and by fostering a sustainable and healthy community. The SIP process is required to ensure the development will be in conformance with the [Comprehensive Plan](#), the [Design Guidelines](#), applicable chapters of this [Code](#) and applicable Planned Developments and Sub-Area Plans.

Using this form or a separate page(s), the applicant shall provide a written narrative describing their project. Use the following outline (Sec. 16-27-60) as a guide when formulating your narrative – please disregard sections that do not apply to your project:

1. General information.

- a. **Provide the subdivision name, filing number, planning area number when located in a Planned Development, lot and block number or street address and section, township and range if not in a subdivision, and name of project.**

RidgeGate PD – Section 15, Filing 5, 2nd Amendment, , Lot 1-F1

- b. **Indicate zoning of the site and the zoning and current uses of adjacent land.**

The subject property and surrounding land is zoned PD as part of the RidgeGate Planned Development.

2. Development impacts. Describe overall impacts of the proposed development on adjacent lands and methods for mitigating those impacts.

The proposed development is consistent with the over all planned development intent. The site is currently approved for a larger retail building with a serviceloading area in the back. The proposed use of a two-story mixed-use building will promote interaction with the surrounding development by having a “front door” on each of the primary facades.

3. Compliance with Intent and Approval Standards. Describe how the development complies with the Intent (Section 16-27-10) and Approval Standards (Subsection 16-27-90(a)) of this Article.

The project will provide additional density to the urban planning area of RidgeGate and bring with it a variety of uses within the building. This diversity provides a more sustainable mix of business types and long term economic success.

The proposed layout and design has been approved by the RidgeGate DRC and fits within the overall planned development for the proposed uses. The project is an extension of and is in harmony with the surrounding buildings and site designs. Parking areas, pedestrian connections and landscaping design will be consistent with the established standards.

4. Development phasing. Describe the proposed development schedule and phases of development for all proposed construction.

The project will begin construction in the spring of 2016 from completion in late 2016. The future pads to the west will be developed at a later time and will be left rough graded and seeded for native grasses.

5. Other project data.

a. Total number of employees on maximum shift when known (for parking purposes).

Unknown at this time.

b. Square footage of building.

Approximately 20,000 square feet (2-story, 10,000 SF floor plate)

c. Lot area.

Overall lot 1-F1 is 14.92 acres

d. Anticipated opening date.

Fall 2016

6. Sustainability. Highlight ways in which the project furthers the City's environmental goals regarding sustainability. This may include a general description of the project location relative to other uses, public transit and trails; ease of travel to key destinations on foot or bicycle; water conservation and water quality measures; site layout; green building practices; or operational aspects of the use such as waste reduction, recycling or commuter trip reduction programs.

As a mixed-use project, the proposed development will encourage visitors to arrive at the site and remain. Pedestrian connections to the surrounding development allows for easy access between site, further enhancing the urban planning concept. Connections to the regional trail system will be maintained to provide direct access for visitors throughout the RidgeGate area, promoting more pedestrian and bicycle traffic, and fewer automobiles.

7. Variances if applicable. For those SIPs for which a variance from the standards in this Chapter, the Design Guidelines or Sub-Area Plans is requested, the narrative shall also explain the need for the variance. (Public notice may be required, see Section 16-26-60).

No variance requests are proposed for this application.

Statement of Design Intent

Please describe how the project meets the intent of the [City of Lone Tree Design Guidelines](#), including the city's Core Design Principles (p. 11). If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well.

Please use the outline below as a guide in formulating your response. You may also use this opportunity describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

1. Overall Design Concept. Briefly describe the use and overall concept for the project as a whole.

Development of a 20,000 square foot, two-story mixed use building with for-lease space, available to retailers and restaurants on the first floor, and office tenants on the second floor. The proposed new development is part of the master-planned RidgeGate development. Overall, RidgeGate includes and promotes a mix of uses, which allow visitors to arrive at the site and remain. The proposed project further enhances the density of mixed uses within the development boundaries.

2. Context and Site. Describe how the project relates functionally and visually to the context of the surrounding area. Consider issues of form and character, the natural environment, vehicular and pedestrian access and circulation, etc.

The proposed project conforms with the approved and existing adjacent uses and properties, and as a result, provides minimal development impact to the surrounding properties. Overall, the proposed square footage (including Pad H and J) is approximately equal to the already approved Site Improvement Plan square footage for this area of Lincoln Commons East.

3. Public Realm. Describe how the project contributes to an inviting, safe and functional public realm. Consider public spaces, street/sidewalk – level experience, lighting, landscaping, and signage.

The development will continue the extensive pedestrian connection system throughout the Lincoln Commons East (LCE) area. The building's north façade will include ground level retail entrances, and the south façade will include the office entry for access to the second floor. The overall building design incorporates pedestrian scale materials such as brick and concrete masonry. Site lighting and landscaping will be consistent with the LCE development; site furniture and plaza spaces will encourage visitors to remain on site.

Development signs will include wall and site signage in accordance with Lincoln Commons and RidgeGate standards. Proposed sign sizes and locations are undetermined at this time, and future tenant signage will be submitted for review.

4. Architectural Design. Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high-quality design. Consider building form and composition, façade composition and articulation, and materials, colors, and lighting.

Building architecture is intended to complement surrounding properties by use of similar materials and forms. Materials proposed include brick, stucco, and metals. The building scale has been reduced by the use of undulating wall planes, varieties of materials, and differing wall height and roof forms. Colors of finish materials will generally consist of earth tones and will be neutral to comply with the LCE design guidelines.

Applicant/Preparer Contact Information

Name: *David Goode*

Business: *DPGA*

Address: *558 Castle Pines Pkwy., Unit B4-174
Castle Pines, CO 80108*

Phone: *303.246.4943*

Email: *davidpgoode@gmail.com*

Owner Contact Information if Different from Applicant

Name:

Business:

Address:

Phone:

Email:

**RidgeGate
Commercial Design Review Committee
Quadrant Properties
Lincoln Commons – NE Corner of Commons & Sky Ridge
September 30, 2015**

In attendance for the Design Review Committee:

Marc Applebaum, Applebaum Architects
Al Colussy, gkk Works
Craig Karn, Consilium Design
Dick Marshall, landscape architect
Keith Simon, RidgeGate/Coventry

In attendance for the City of Lone Tree:

Hans Friedel

In attendance for Quadrant:

Bob Turner, Quadrant Properties
David Goode, DPGA

Applicant Presentation:

The applicant gave an overview of the proposed project in Lincoln Commons. The site is located east of Commons Street, west of Town Ridge Drive, north of Sky Ridge Avenue and south of the Runner's Roost/Qdoba retail building. The building will be at 20,000 square foot two story building with ground floor retail and second story office. Retail entrances face north and the office use entrance is on the south, which is also the back side of the retail uses. Office parking and retail loading is on the south side of the building. Retail tenants will include a restaurant on the west endcap with patio seating at the northwest corner of the building. Landscape, hardscape and furniture details will match the existing. Tenant utility meters will be located on the south side of the building with a steel mesh landscape screen covered with vines. Trash enclosure is located in the southeast corner near Sky Ridge Avenue. Additional utility meters will be located on the east side of the building and screened with landscape materials. Architecture elements include a glass tower office entry with wing shaped roof, stucco, brick and stone materials with sign bands

DRC Discussion:

The following items were discussed:

1. Pedestrian connections between the building and 1) future pad sites, 2) office entry to Sky Ridge Avenue and 3) from the library.
2. Moving the building footprint to the east and moving the parking stalls along the west side of the building to the northwest (angle in). This will activate the street level on the east side with Town Ridge Drive and allow the restaurant patio to curve around the west side to maximize views. Consider moving the building footprint and parking lot on the south side of the building toward Sky Ridge Ave to add room for wider sidewalk (14'-16') on the north side of the building. Increase the width of the sidewalk in front of the retail shops on the north due to snow/ice conditions.

3. Provide a context plan at next submittal to better understand how the building relates to the Arts Center, Library and other retail buildings in the shopping center. Including photos of other existing buildings in the immediate area to help inform the correct/appropriate architectural design for this building.
4. Analyze the grade along the shops and how to make it more urban while being aware of the ADA requirements and possibly reduce the size of the plaza at the west end of the building.
5. Consider signage guidelines
6. Other site and landscape plan comments:
 - a. Make the landscaping on the south side along Sky Ridge consistent with the Library landscaping.
 - b. Delete the right in/right out from the south parking lot to Town Ridge.
 - c. Increase the size of the turn radius on the northwest to 5 feet and all corner radii from 2' to 5'.
 - d. Work with the City of Lone Tree regarding parking counts.
 - e. Confirm depth of parking stalls
7. Create personality for the office elevation. Ideas included cantilever over rear tenant space with a different architectural façade, increasing vertical elements (columns, wrapping retail around corner and material transitions). The office feels secondary to the retail. Reconsider use of glass for the glass tower, possibly move entrance or add a feature to the southwest corner and add balconies on the south side.
8. Moving the east stair tower to the south wrapping it around the building and “doing more with it”. Adding more store front at the northeast corner.
9. Additional architectural comments:
 - a. Screen roof mechanical equipment

Provide at the next submittal:

1. Site and Context Urban Design Plan evaluating relationship to immediately adjacent properties. Consider submitting a 3D sketch up model.
2. Grading Plan
3. Building Floor Plans
4. Building Elevations – all 4 sides
5. Building and Site Sections
6. Landscape Plan
7. Lighting and Signage Plan

The meeting ended at 4:00pm. The applicant was approved to the Schematic Design phase of the Design Review process.

**RidgeGate
Commercial Design Review Committee
Quadrant Properties
Lincoln Commons – NE Corner of Commons & Sky Ridge
November 5, 2015**

In attendance for the Design Review Committee:

Marc Applebaum, Applebaum Architects
Dick Marshall, landscape architect
Keith Simon, RidgeGate/Coventry

In attendance for the City of Lone Tree:

Hans Friedel

In attendance for Quadrant:

Bob Turner, Quadrant Properties
David Goode, DPGA

Applicant Presentation:

The applicant gave an overview of the modifications per the previous design review meeting. The building footprint was moved five feet to the east and increased the amount of masonry at the southwest corner. Added a parapet and wainscot to the east side stair column and added a balcony to the second floor office space on the south side of the building.

DRC Comments:

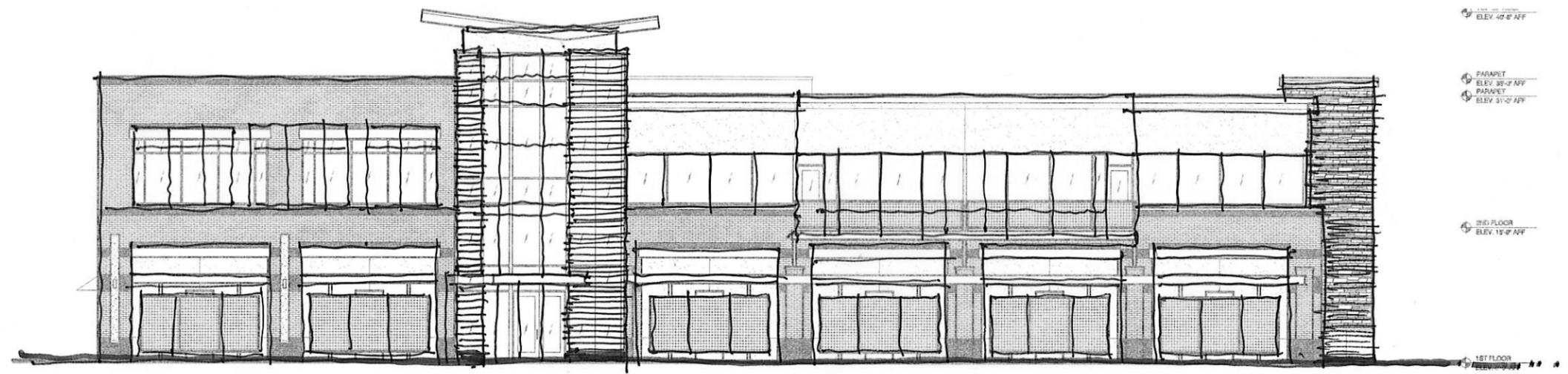
1. Consider alternatives to the green screen on the south elevation, such as a solid masonry wall or a combination of a wall and screen.
2. Wrap the steel trellis detail around the southwest corner.
3. Consider eliminating the tile wall detail on the west side at the southwest corner.
4. Consider increasing brick up the office entry tower, leaving only glass in the middle and at the top. Consider illuminating the top.
5. Delete the roof detail of the office entry tower.
6. Extend the added brick details/patterning on the southwest side of the building over 1 bay east of the office entry.
7. Lighten up the east stair element and simplify it as well as the rest of the building and use a fewer number of exterior materials.
8. On the retail north elevation, increase the “green” detail by one bay and pop the detail out rather than recessing it.
9. Screen mechanical equipment on the roof.
10. On the east side of the building, eliminate the planting beds that abut the building and make them hardscape.
11. Delete the triangular planting bed in the northwest plaza area.
12. Add planters along the angular section of northwest plaza area.
13. Increase the size of the tree grates or eliminate.
14. Consider tall planting materials along the west edge of the plaza area.
15. Add hardscape cross walks on the south side of the building.
16. Delete the plaza area details in the next phase. Just present that area as “future plaza”.

Provide at the next submittal:

1. All site items under review should be developed to greater detail.
2. Architectural details for Design Development review should provide specific details in the revised drawings.
3. Perspective rendering and/or 3D computer model and/or photo simulation of site and area context.
4. Building materials schedule including a sample board.

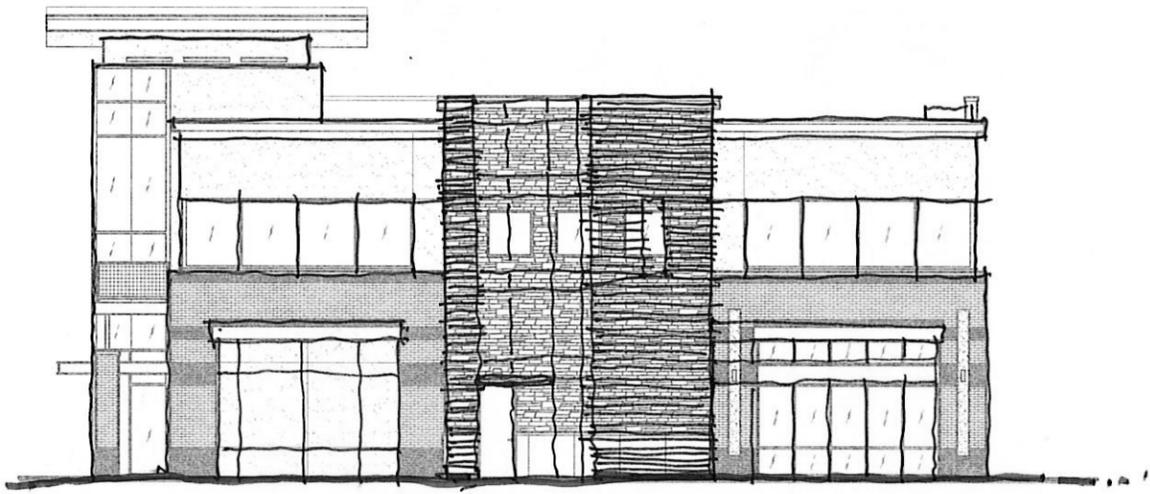
The meeting ended at 4:15pm. The applicant was approved to the Design Development phase of the Design Review process. The next review can be done administratively/electronically.

Job No.: 15.021.00
 Date: 10.14.2015
 Produced By: DPG
 Reviewed By: DPG
 Revisions:

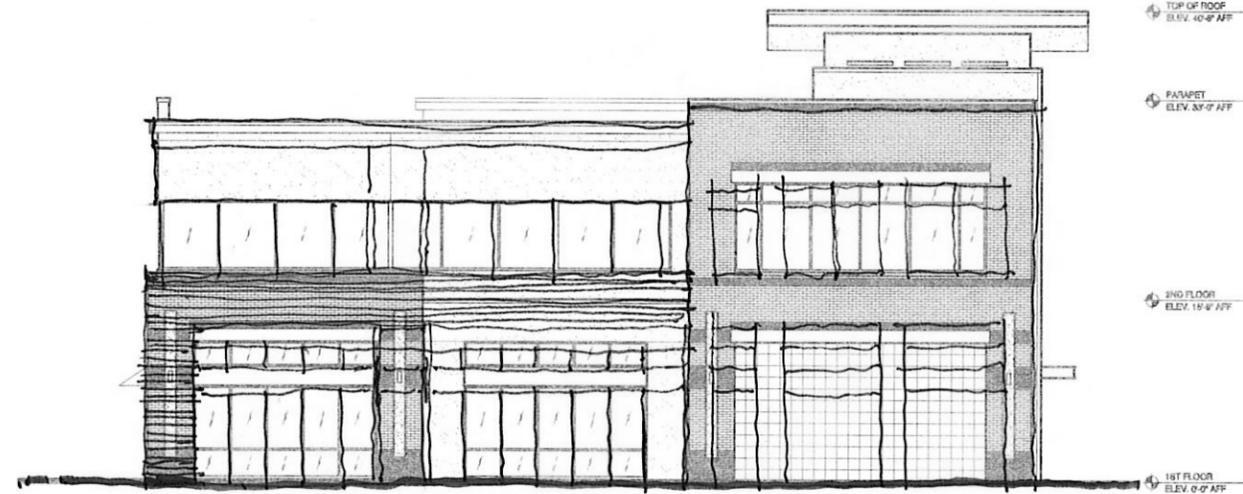


4 REAR (SOUTH) ELEVATION
 SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 40'-0" AFF
 PARAPET
ELEV. 38'-0" AFF
 PARAPET
ELEV. 31'-0" AFF
 2ND FLOOR
ELEV. 15'-0" AFF
 1ST FLOOR
ELEV. 0'-0" AFF



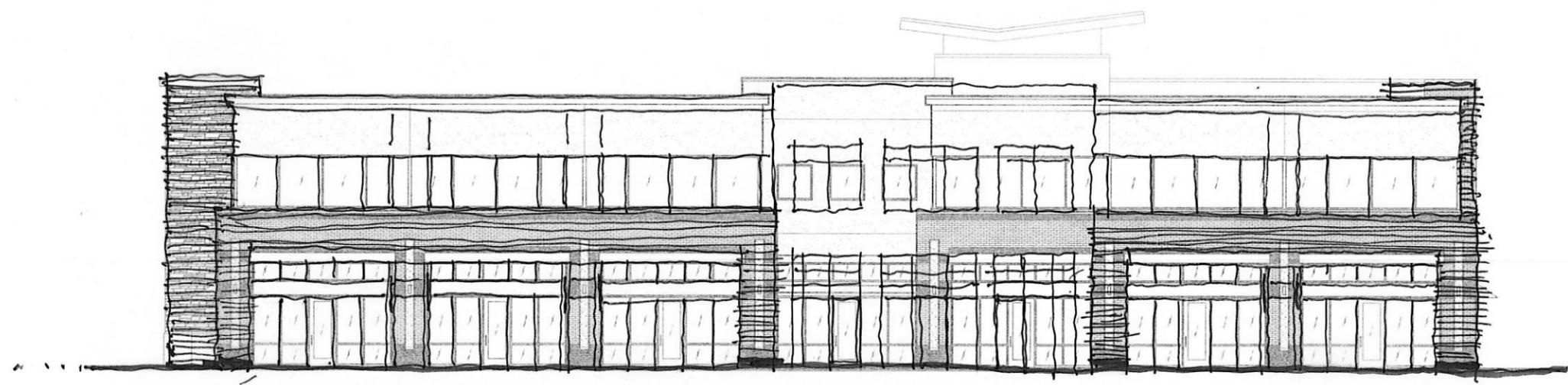
2 SIDE (EAST) ELEVATION
 SCALE: 1/8" = 1'-0"



3 SIDE (WEST) ELEVATION
 SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 40'-0" AFF
 PARAPET
ELEV. 38'-0" AFF
 2ND FLOOR
ELEV. 15'-0" AFF
 1ST FLOOR
ELEV. 0'-0" AFF

10/15/2015
 PROBERT DPC



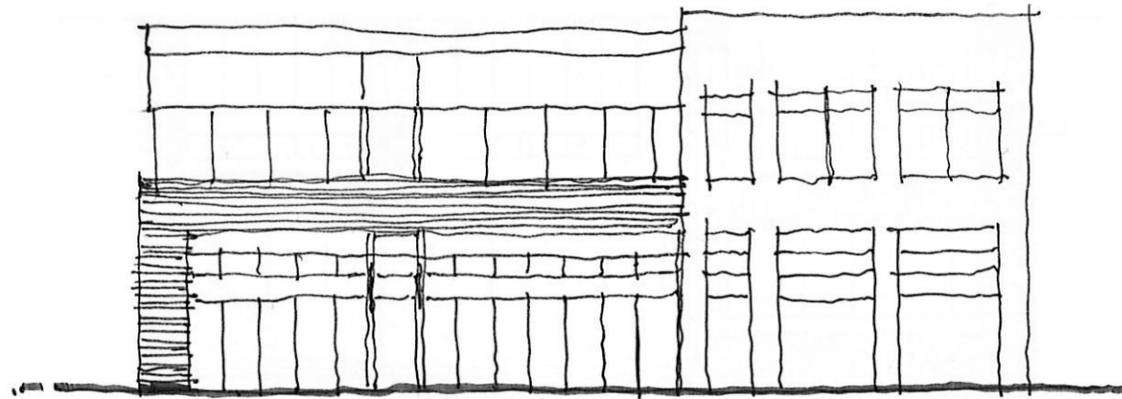
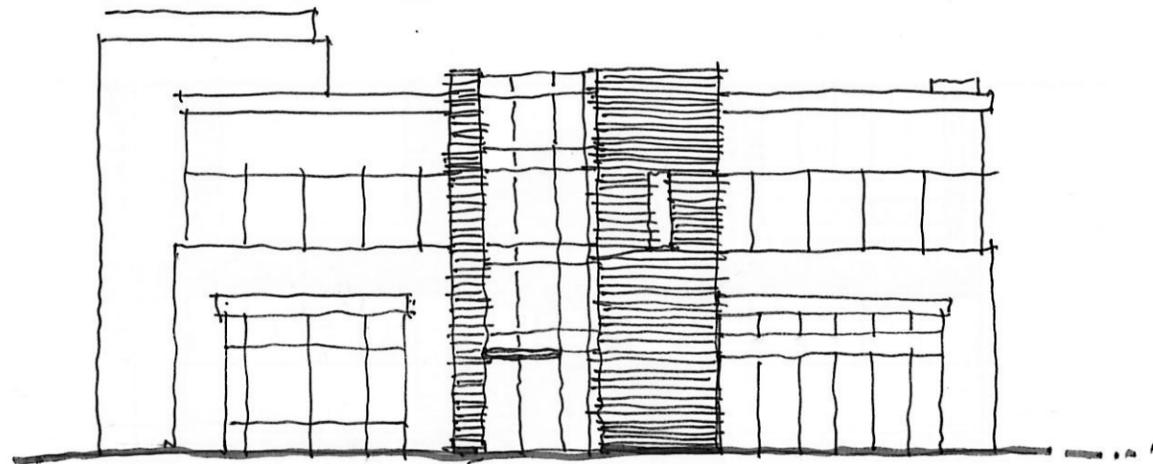
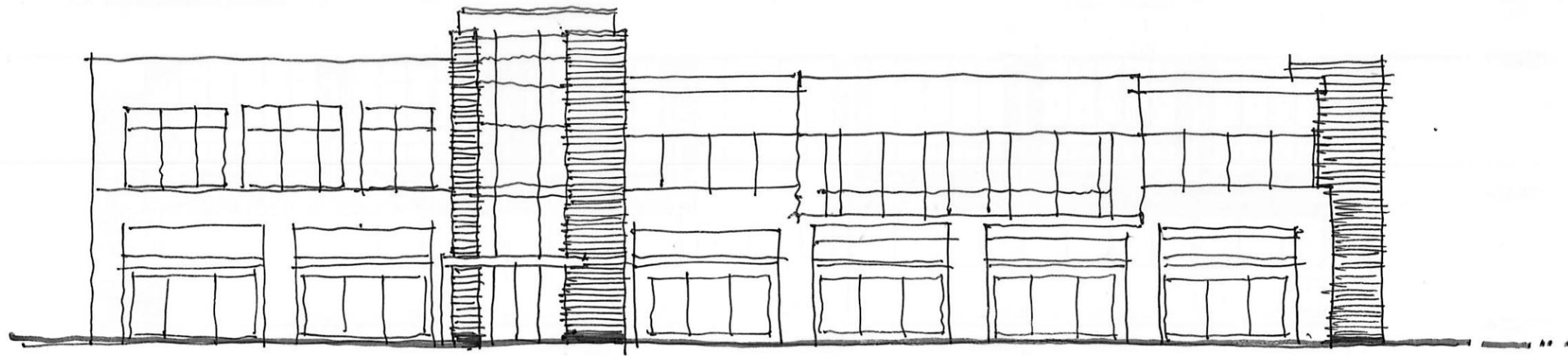
1 FRONT (NORTH) ELEVATION

TOP OF ROOF
ELEV. 40'-0" AFF
 PARAPET
ELEV. 38'-0" AFF
 PARAPET
ELEV. 31'-0" AFF
 2ND FLOOR
ELEV. 15'-0" AFF
 1ST FLOOR
ELEV. 0'-0" AFF

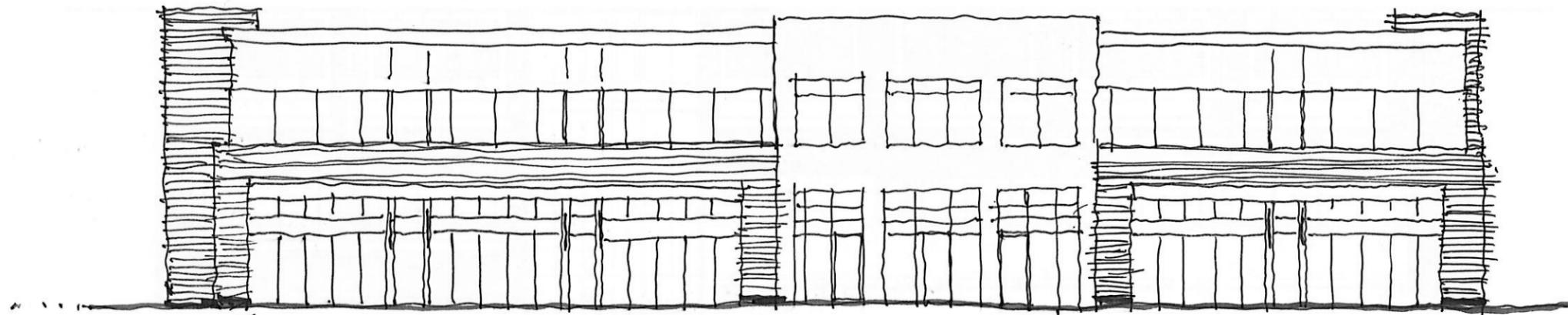
SCHEMATIC DESIGN
 for:

BUILDING C

LINCOLN COMMONS - PHASE III
 LONE TREE, COLORADO

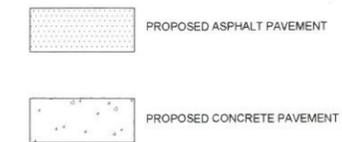


11/05/2015
RPOEGATE D.C.



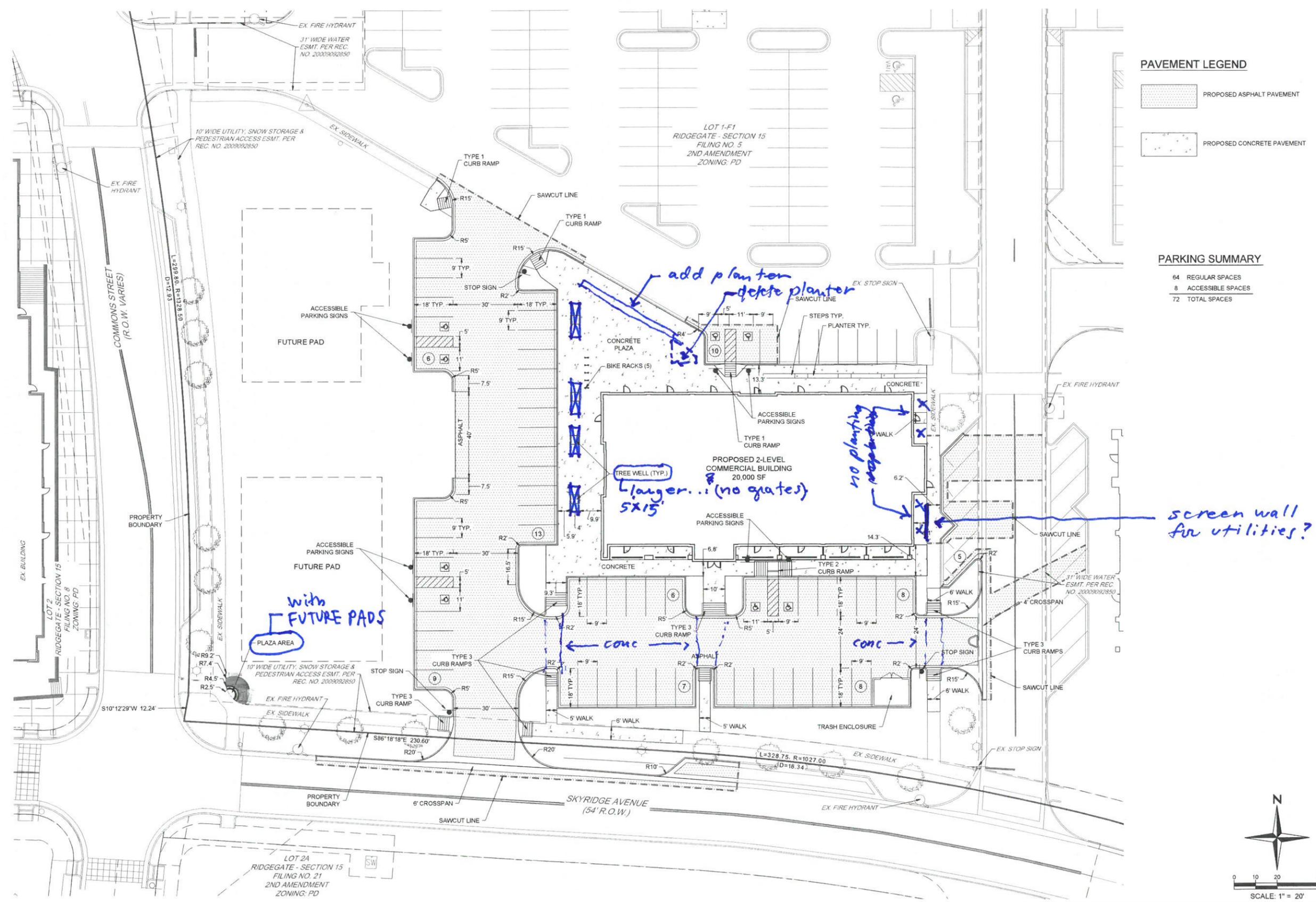
RIDGEGATE SECTION 15, FILING #5, 2ND AMENDMENT, LOT 1-F1
 LINCOLN DISTRICT EAST, A PART OF PHASE II AT LINCOLN COMMONS (#SP08-03R)
 SITE IMPROVEMENT PLAN

PAVEMENT LEGEND



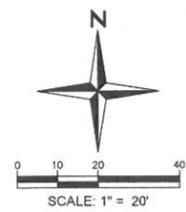
PARKING SUMMARY

64	REGULAR SPACES
8	ACCESSIBLE SPACES
72	TOTAL SPACES



DATE	NO.	NOTES
09/22/2015	1	Ridgeway DRC Schematic Submittal
10/28/2015	2	Ridgeway DRC Design Development Submittal

SITE PLAN
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO





December 8, 2015

Bob Turner
Quadrant Properties
981 SouthPark Drive
Littleton, CO 80120

RE: RidgeGate Lincoln District East – Quadrant Properties Building

Dear Mr. Turner:

Both the RidgeGate DRC and city of Lone Tree staff has reviewed the revised submit and offer the following comments for consideration and revisions to address the RidgeGate commercial design standards and comments from City staff.

General

Provide a materials board depicting the materials intended to be used on the building

Architecture

DRC

- Revise drawings to show all rooftop mechanical screening. All equipment, vents, etc., must be screened, and this should be shown on the SIP submittal.
- Please provide or clarify that the base material at the north elevation façade is both compatible to the building, and also which is durable. (i.e. precast or stone base)
- Revised plans need to indicate the proposed trash location/ screening

City of Lone Tree

- The north elevation (retail/restaurant front-side) could use more variation in its plane (e.g. depth, offset, etc.). Some suggestions were an enhanced awning at the central entryway feature, or perhaps recessing that feature more.
- The tile-looking, stone element on the west elevation, though similar materials are used elsewhere in RidgeGate Commons, does feel out of place. Perhaps this could be a potential location for a mural? If it is artwork only – no text, not advertising a

Bob Turner
RidgeGate – Lincoln Commons East (Quadrant Properties)
December 8, 20015
Page 2

business, etc., it could be approved as part of the SIP package. From our code: Sec. 16-29-30. - Signs allowed without a sign permit - Architectural features, building decorations and works of art which are integral to the design of a building; applied as an artistic accent; and which in no way identify a business, business activity or product are not considered signage and are exempt from these sign regulations. Such features of a building may be subject to approval of a Site Improvement Plan.

Site Plan

Landscape/site plan drawings should be submitted that respond to our last review.

The plans of reference are approved by the RidgeGate DRC SUBJECT TO satisfactorily addressing the comments provided above prior to or concurrent with your SIP submittal to the City of Lone Tree. Please contact the RidgeGate DRC should you have any questions or comments regarding this correspondence.

Regards,


Darryl Jones
RidgeGate DRC Administrator

CC: David Goode



RECEIVED JAN 25 2016

CITY OF LONE TREE
Community Development Department

REFERRAL REQUEST

Today's date: October 1, 2014

Project Name and File Number:	RidgeGate Sec. 15, Fil 5 2 nd Amdt, Lot 1-F1
Project Type:	SIP Application for 20,000 square-foot, mixed-use, office building
Comments Due By:	February 15, 2016 SP15-99R
If you are unable to respond by the due date, please contact the project planner	

Dear Referral Organization:

Information on the above referenced proposal in the City of Lone Tree is provided for your review and comment. Please submit your response no later than the due date to ensure adequate time to consider comments and enter them into the public record.

If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

We have no comments regarding this proposal

Please note the following concerns this organization has:

See attached letter for comments regarding this proposal

Organization Name: Public Works/Engineering

Your name: GREGORY WEEKS

Your signature: *Greg Weeks* Date: **JAN 27 2016**

This project may be subject to public meetings. Please check the City's web site (www.cityoflonetree.com) for posted agendas or contact this office. Thank you for your consideration.

Hans Friedel

Planner III

PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:

City of Lone Tree Community Development Dept.
9220 Kimmer Drive Suite 100
Lone Tree, CO 80124
Ph: 303-708-1818
Fx: 303-225-4949
hans.friedel@cityoflonetree.com

9222 Teddy Lane
Lone Tree, Colorado 80124



Ph: 303-662-8112
Fax: 303-792-9489
www.cityoflonetree.com

CITY OF LONE TREE

Department of Public Works

January 27, 2016

City of Lone Tree
Hans Friedel
9220 Kimmer, Suite 100
Lone Tree, CO 80124

Re: SB15-99R (Quadrant)
RidgeGate Sec 15, Fil. 5, 2nd Amd, Lot 1-F1
Project No. 061-430

Dear Hans:

We have reviewed the SIP referral for the above referenced Project.

The SIP package submitted and reviewed consists of the following documents:

- Site Improvement Plan (13 sheets), dated 1/15/16, by David P Goode Architecture.

As a separate action, either concurrent with, or following SIP consideration, the following engineering documents will be required to be submitted for City Engineering review, comments and approvals. Once submitted, we will work directly with the applicant's civil engineer, on achieving final engineering approval(s) on these documents.

- Civil Construction Plans (CD's).
- Grading, Erosion and Sedimentation Control (GESC) Plans.
- Grading, Erosion and Sedimentation Control (GESC) Report.
- Drainage Conformance Letter/Report.

Our comments are provided below:

GENERAL COMMENTS

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (attached - re: SIP) is \$3,000.00. The fee (check made out to "The City of Lone Tree") should be submitted to my attention at Public Works with, or prior to, resubmittal of the documents in response to the following comments. Review and comment on the SIP, GESC Plans, GESC Report and Drainage Letter/Report are covered under this SIP review base fee. A separate additional fee (amount to be determined upon submittal) will be required for the Civil CD's review.
2. A Site Improvement Plan Improvements Agreement (SIPIA) will not be required for the proposed Project.
3. A Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans / GESC Report and at least recommendation of SIP approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.

4. If the disturbed area associated with this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
5. Only those sheets within the documents for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents. The applicant's professional(s) should verify that the item(s) are addressed throughout the related Project documents consistently, as applicable.

SPECIFIC COMMENTS

Site Improvement Plan

Sheet 1 – Cover Sheet:

1. The areas of the site breakdown (e.g. Bldg. Footprint + Parking/Paving+ etc. = 30.907 sf) does not total up to equal the total gross area of the site (44,097 sf).
2. The Parking data summaries do not appear to be consistent and/or to meet requirements:
 - a. Site Data suggests 100 spaces required and >100 spaces provided.
 - b. Parking Demand listing indicates 116 spaces required.
 - c. Shared Parking Analysis seems to indicate 100 spaces (peak) requirement.
 - d. Parking Summary on Sheet 3 – Site Layout Plan indicates 72 space provided.

We recommend the above items be addressed to the satisfaction of City Planning Staff, and that perhaps appropriate note(s) to clarify the above items should be added to the SIP document.

Sheet 3 – Site Layout Plan

3. The location of the proposed ADA Ramp at the south center area of the proposed commercial building appears to be in conflict with the immediately adjacent proposed planter area and building column. I believe a minimum 5-foot clear path/landing area at the top of the ramp is required – and that the landscape area and building column, and/or ADA Ramp location, may need to be adjusted accordingly.

(NOTE: We do NOT review for ADA compliance – and the above comment is offered for reference only. The development's professionals should insure that ADA requirements are appropriately addressed/met.).

4. It should be noted that the existing sidewalks across the west (Commons Street) side and the south (Sky Ridge Avenue) side of the Project site are located on the Project site, outside of the associated street ROW's. Accordingly, these sidewalks, and their maintenance, are the responsibility of the Property Owner, and not the City. An appropriate note acknowledging this condition should be added to both the Cover Sheet and Sheet 3 of this SIP submittal.
5. A raised median island is located in the throat of the S.E. corner driveway access to the site off of Town Ridge Drive. Originally, during pre-Site Plan submittal meetings on this development, we had recommended that this SE drive be limited to a right-in/right-out access due to its proximity to Sky Ridge Avenue. However, based on review of the Site Plan, it appears there is approximately 75-feet between the south edge of this drive the north flowline of Sky Ridge Avenue (the equivalent of nearly 4 passenger vehicle stacking). Accordingly, we would not object to elimination of the RI/RO restriction and associated raised pork-chop island in the driveway throat.

Sheet 4 – Grading Plan

6. The Type 13 STIN-1 inlet in the parking lot south of the proposed building is shown with a rim elevation equal to the 5948 contour located approximately 3.5 feet outside the inlet, creating an approximate 7-foot diameter flat area that will not drain well. The inlet rim elevation should be adjusted down appropriately (e.g. to approx. 5947.83 +/-).

Sheet 5 – Utility Plan

7. The Lone Tree adopted Douglas County *Storm Drainage Design and Technical Criterial Manual* standards for storm system design should be followed. While the design indicated in the Utility Plan appears generally acceptable, the Standard's recommended 0.1' drop in inverts through manholes, and the minimum 5' diameter storm manholes, have not been met. Other design evaluation comments may also be made once the Drainage Letter/Report and site Civil Construction Plans are submitted.
8. While we have no specific objection to the proposed roof drain line to the east (from the NE corner of the building), we do question whether it might not more appropriate to direct the roof drain connection(s) to the south or west, and to connect the line(s) to one or more of the proposed structures in the new storm line in the site parking lot. Doing so would eliminate the need for: 1) The additional "street cut" in existing Town Ridge Drive; and, 2) One of the two proposed "water main lowerings" in Town Ridge Drive.

Sheets 6 – 9 (Landscape Related Sheets):

9. I do not review and respond to Landscaping related issues, other than in a broad general sense or as pertains to potential conflict between the landscaping and other engineering related issues. There does not appear to be any such conflicts. Accordingly, I have no comments on these sheets at this time.

Sheets 10 – 13 (Site Furnishings, Site Photometrics, Exterior Elevations):

No comments on these sheets at this time.

CONCLUSION

The concept of the proposed Quadrant Development and associated site development presented in SIP SP15-99R appears to be in general conformance with the previously presented overall master development plans for the RidgeGate Lincoln District East area, and is acceptable to Engineering/Public Works. We have no objection to recommendation of SIP approval contingent upon appropriate resolution of the issues noted in the above comments and final Engineering/Public Works approval of the various engineering documents/plans.

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,



Gregory A. Weeks, PE, LEED ® AP
City Engineer



**CITY OF
LONE TREE**

Public Works Department

Project # 061-430 (SP15-99R)
Project: Quadrant Bldg
Owner: TKG Lincoln Commons, LLC

ENGINEERING REVIEW FEE SCHEDULE

DESCRIPTION	ENGR FEE	QUANTITY	SUB-TOTAL
ZONING APPLICATION	\$6,500.00	<5 acres	
- includes required plans and reports	\$9,900.00	≥ 5 ac. and <25 ac.	
	\$13,300.00	≥ 25 acres	
SKETCH PLAN	\$2,500.00	<5 acres	
- includes required plans and reports	\$5,000.00	≥ 5 ac. and <25 ac.	
	\$7,500.00	≥ 25 acres	
PRELIMINARY PLAN	\$2,500.00	<5 acres	
- includes required plans and reports	\$5,000.00	≥ 5 ac. and <25 ac.	
	\$7,500.00	≥ 25 acres	
FINAL PLAT	\$5,000.00	<5 acres	
- includes required plans and reports	\$5,800.00	≥ 5 ac. and <25 ac.	
	\$7,500.00	≥ 25 acres	
MINOR DEVELOPMENT PLAT	\$5,000.00	<5 acres	
- includes required plans and reports	\$5,800.00	≥ 5 ac. and <25 ac.	
	\$7,500.00	≥ 25 acres	
REPLAT (Administrative Lot Line Adjustment or Vacation) +	\$500.00		
REPLAT (Non - Administrative Lot Line Adjustment or Vacation) +	\$1,000.00		
CONDOMINIUM MAP	\$500 + \$15/unit		\$0.00
SITE IMPROVEMENT PLAN	\$3,000.00	<5 acres	\$3,000.00
(and Major Revisions to Site Improvement Plan)	\$5,500.00	≥ 5 ac. and <25 ac.	
- includes required plans and reports	\$9,500.00	≥ 25 acres	
SITE IMPROVEMENT PLAN ++	\$1,500.00		
"Pad Site" (Part of a Larger Approved SIP)			
SITE IMPROVEMENT PLAN - Minor Revision	\$400.00		
SITE IMPROVEMENT PLAN - Minor Modification	\$200.00		
USE BY SPECIAL REVIEW +++	\$3,000.00	<5 acres	
- includes required plans and reports	\$5,500.00	≥ 5 ac. and <25 ac.	
	\$9,500.00	≥ 25 acres	
PD Amendment (Major)	\$500.00		
SERVICE PLAN (Special District)	\$640.00		
RIGHT-OF-WAY (R.O.W.) DEDICATION (Public)	\$200.00		
R.O.W. VACATION	\$2,400.00		
MINOR ADJUSTMENT TO EXISTING R.O.W.	\$200.00		
DEDICATION OF DRAINAGE EASEMENT	\$200.00		
VACATION of Access or Drainage Easements	\$1,000.00		
VACATION of Other Easements	\$400.00		
(May be used for Access or Drainage Easements if part of a larger project)			
SB 35 EXEMPTION	\$1,200.00		
LOCATION & EXTENT	\$1,000.00		
PLANNED DEVELOPMENT (Zoning)	\$400.00		
Administrative Amendment			
CONSTRUCTION PLAN REVIEWS			
STREET / STORM PLANS	\$1,600.00	<5 acres	
	\$2,000.00	≥ 5 ac. and <25 ac.	
	\$2,400.00	≥ 25 acres	
GRADING, EROSION & SEDIMENT CONTROL (GESC) PLANS (1)	\$250 + \$25(X)		\$0.00
LOW IMPACT GESC PLANS	\$250.00		
DISTRICT ROADWAY PLANS (2)	\$700 + \$60√Y		\$0.00
DISTRICT STORM SEWER PLANS (2)	\$700 + \$75√Y		\$0.00
REGIONAL DETENTION POND PLANS (1)	\$500 + \$40√X		\$0.00
REGIONAL WATER QUALITY FACILITY PLANS	\$400.00		

ENGINEERING REVIEW FEE SCHEDULE

<i>DESCRIPTION</i>	<i>ENGR FEE</i>	<i>QUANTITY</i>	<i>SUB-TOTAL</i>
UTILITY PLANS Gas, Electric, Telephone, Cable TV (For submittals greater than 1000 LF)	\$450.00		
TRAFFIC SIGNAL PLANS (Per Intersection)	\$800.00		
SIGNAGE AND STRIPING PLANS (if not a part of an overall construction plan set)	\$200 per sheet		\$0.00
R.O.W. LANDSCAPE PLANS (2)	\$350 + \$60√ Y		\$0.00
<i>OTHER REVIEW SERVICES</i>			
PHASE I DRAINAGE REPORT	\$336.00	<5 acres	
	\$560.00	≥ 5 ac. and <25 ac.	
	\$672.00	≥ 25 acres	
PHASE II or PHASE III DRAINAGE REPORT	\$672.00	<5 acres	
	\$1,120.00	≥ 5 ac. and <25 ac.	
	\$1,344.00	≥ 25 acres	
DRAINAGE CONFORMANCE LETTER	\$100.00		
FLOODPLAIN MODIFICATION STUDY - Minor	\$800.00		
FLOODPLAIN MODIFICATION STUDY - Major	\$1,600.00		
FLOODPLAIN DEVELOPMENT PERMIT	\$100.00		
PAVEMENT DESIGN REPORT	\$250.00		
ACCESS PERMIT	\$75.00		
TRAFFIC IMPACT STUDY FOR:			
Rezoning, Sketch Plan or Preliminary Plan	\$2,000.00		
Updated Report to Original for Sketch or Preliminary	\$1,000.00		
Final Plat / Minor Development Plat	\$500.00		
Site Improvement Plan	\$500.00		
Use by Special Review	\$1,500.00		
SIGNAL WARRANT STUDY (Per Intersection)	\$200.00		
VARIANCE REQUEST	\$200.00		
NOTICE OF CHANGE TO APPROVED PLAN - Minor Revision	\$200.00		
NOTICE OF CHANGE TO APPROVED PLAN - Major Revision	\$500.00		
ALTERNATE ROADWAY STANDARDS FOR PUBLIC ROADS	\$2,500.00		
Revision to Alternative Roadway Standards (Public Roads)	\$500.00		
ROADWAY STANDARDS FOR PRIVATE ROADS	\$2,500.00		
Revision to Private Roadway Standards	\$250.00		
LICENSE AGREEMENT	\$250.00		
INTERGOVERNMENTAL AGREEMENT (Special District)	\$1,000.00		
MODIFICATION to Standard Improvements Agreements	\$500.00		
MINIMUM ENGINEERING REVIEW FEE	\$300.00		
Other:			
		TOTAL	\$3,000.00

Notes:

+ See Article VII, Section 17-7-30(b) for clarification / applicability.

++ A "Pad Site" is part of a larger approved Site Improvement Plan (SIP). The following items must exist (or be approved) to qualify as a "Pad Site": (1) Detention/water quality, access, parking (generally), grading (generally) and utilities all provided for through the larger SIP; (2) No revisions are required to the overall drainage patterns, detention, water quality, etc.; (3) The consulting engineer for the Project is required to submit a letter (minimum) certifying that the drainage and access for the "Pad Site" are in substantial compliance with the Larger SIP Drainage Report and Traffic Report (if applicable).

+++ The City of Lone Tree reserves the right to send referrals to outside agencies from which expert technical assistance may be requested. Fees may be assessed by referral agencies for their outside review, and those fees shall be assessed to and paid by the applicant.

1. X denotes area in acres
2. Y denotes longitudinal distance in hundreds of feet

The fees listed above are for the initial submittal. All third resubmittals are charged 50% of the initial submittal fee. Resubmittals following a "conditional approval" require no fee.

DATE PAID: _____

CASH CHECK # _____

From: [Rick Solomon](#)
To: [Hans Friedel](#)
Cc: corpoffice@pcms.net
Subject: SP15-99R
Date: Monday, January 25, 2016 5:56:20 PM

Thank you for the opportunity to offer comments on behalf of our HOA constituents:

The site plan & proposed building siting disrespects the urban form created along Town Ridge Drive to the north, an emerging pedestrian oriented commercial main street.

The building should be rotated 90° clockwise, so that all storefronts face Town Ridge Drive, the public street.

Parking should be shifted & centralized to the west side of the site, and thus remove the need for an additional mid-block curb cut on Town Ridge Drive. This parking lot and sometimes service delivery-loading area, awkwardly services the back side of the building only. Whereby shared parking is encouraged throughout Ridgeway, additional diagonal parking should be provided along Town Ridge Drive to match the east side of the street.

The mural does not add but detract from the building. In lieu, consider additional landscaping or situate such artistic expressions horizontally into the private sidewalk so it is not imposed into the public's face.

Rick Solomon

Terra Ridge HOA

From: [Linda Langewisch](#)
To: [Hans Friedel](#)
Subject: FW: Development Referral SP15-99R: New Development Projects
Date: Tuesday, February 02, 2016 1:14:39 PM

Good Afternoon:

The RidgeGate West Village Board of Directors does not have any comments regarding the commercial project listed in the subject line.

Would you also include my email when mailing referrals to the RidgeGate West Village Board?

Thank you,

Linda Langewisch, CAM, CMCA

Community Manager

MSI, LLC

6892 So. Yosemite Court Suite 2.101

Centennial, Co 80112

720.974.4273

Fax 303.751.7396

LLangewisch@msiho.com



February 15, 2016

Mr. Hans Friedel
City of Lone Tree - Community Development
9220 Kimmer Dr., Suite 100
Lone Tree, CO 80124

REGARDING Lincoln Commons East - Lot 1 – Lone Tree, Colorado
THE PROJECT DPGA Project No. 15.021.00

Dear Mr. Friedel:

Thank you for forwarding the Public Works comments to the SIP submittal for the Lincoln Commons project at RidgeGate by Mr. Greg Weeks. We have updated the plans and offer the following responses below:

General Comments

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (attached - re: SIP) is \$3,000.00. The fee (check made out to "The City of Lone Tree") should be submitted to my attention at Public Works with, or prior to, resubmittal of the documents in response to the following comments. Review and comment on the SIP, GESC Plans, GESC Report and Drainage Letter/Report are covered under this SIP review base fee. A separate additional fee (amount to be determined upon submittal) will be required for the Civil CD's review.
 - ***Partial fees have been paid, and any remaining fee amounts will be paid prior to final mylar submittal of this SIP.***
2. A Site Improvement Plan Improvements Agreement (SIPIA) will not be required for the proposed Project.
 - ***Acknowledged.***
3. A Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans I GESC Report and at least recommendation of SIP approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.
 - ***Acknowledged.***
4. If the disturbed area associated with this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
 - ***Acknowledged.***
5. Only those sheets within the documents for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents. The applicant's professional(s) should verify that the item(s) are addressed throughout the related Project documents consistently, as applicable.
 - ***Acknowledged.***

Sheet 1: Cover Sheet

1. The areas of the site breakdown (e.g. Bldg. Footprint+ Parking/Paving+ etc.= 30,907 sf) does not total up to equal the total gross area of the site (44,097 sf).
 - ***The areas of the site have been clarified and updated to total to 100%.***
2. The Parking data summaries do not appear to be consistent and/or to meet requirements:
 - a. Site Data suggests 100 spaces required and > 100 spaces provided.
 - b. Parking Demand listing indicates 116 spaces required.
 - c. Shared Parking Analysis seems to indicate 100 spaces (peak) requirement.
 - d. Parking Summary on Sheet 3 - Site Layout Plan indicates 72 space provided
 - ***The parking required for the mixed use building is 100-spaces as shown in the Shared Parking Analysis" on the cover sheet. The proposal includes 72 spaces immediately adjacent to the building, and additional parking is provided by the surplus of spaces in the field to the north. The current approved SIP indicates all parking for buildings in this area would be provided to the north, and our proposal includes additional parking closer to the building.***

Sheet 2: Overall Site Plan

No comments.

Sheet 3: Site Layout Plan

3. The location of the proposed ADA Ramp at the south center area of the proposed commercial building appears to be in conflict with the immediately adjacent proposed planter area and building column. I believe a minimum 5-foot clear path/landing area at the top of the ramp is required- and that the landscape area and building column, and/or ADA Ramp location, may need to be adjusted accordingly. (NOTE: We do NOT review for ADA compliance- and the above comment is offered for reference only. The development's professionals should insure that ADA requirements are appropriately addressed/met.).
 - ***The ADA ramp has been changed to a "type 2" ramp to provide proper circulation adjacent to the building.***
4. It should be noted that the existing sidewalks across the west (Commons Street) side and the south (Sky Ridge Avenue) side of the Project site are located on the Project site, outside of the associated street ROW's. Accordingly, these sidewalks, and their maintenance, are the responsibility of the Property Owner, and not the City. An appropriate note acknowledging this condition should be added to both the Cover Sheet and Sheet 3 of this SIP submittal.
 - ***The applicant acknowledges that maintenance is the responsibility of the owner and a note has been added to the plan as requested.***
5. A raised median island is located in the throat of the S.E. corner driveway access to the site off of Town Ridge Drive. Originally, during pre-Site Plan submittal meetings on this development, we had recommended that this SE drive be limited to a right-in/right-out access due to its proximity to Sky Ridge Avenue. However, based on review of the Site Plan, it appears there is approximately 75-feet between the south edge of this drive the north flow line of Sky Ridge Avenue (the equivalent of nearly 4 passenger vehicle stacking). Accordingly, we would not object to elimination of the RI/RO restriction and associated raised pork-chop island in the driveway throat.
 - ***As suggested, the median has been removed.***

Sheet 4: Grading Plan

6. The Type 13 STIN-1 inlet in the parking lot south of the proposed building is shown with a rim elevation equal to the 5948 contour located approximately 3.5 feet outside the inlet, creating an approximate 7-foot diameter flat area that will not drain well. The inlet rim elevation should be adjusted down appropriately (e.g. to approx. 5947.83 +/-).
 - o ***The Inlet rim elevation has been revised to 5947.83 to provide positive drainage to the inlet.***

Sheet 5: Utility Plan

7. The Lone Tree adopted Douglas County Storm Drainage Design and Technical Criteria/ Manual standards for storm system design should be followed. While the design indicated in the Utility Plan appears generally acceptable, the Standard's recommended 0.1' drop in inverts through manholes, and the minimum 5' diameter storm manholes, have not been met. Other design evaluation comments may also be made once the Drainage Letter/Report and site Civil Construction Plans are submitted.
 - o ***Due to the shallow depth of the storm sewer connection point, we are not able to provide a 0.1' drop at every manholes and still maintain adequate cover over the upstream pipe. Therefore, we will be requesting a waiver from this requirement of the Storm Drainage Design and Technical Criteria Manual in the Drainage Report.***
8. While we have no specific objection to the proposed roof drain line to the east (from the NE corner of the building), we do question whether it might not more appropriate to direct the roof drain connection(s) to the south or west, and to connect the line(s) to one or more of the proposed structures in the new storm line in the site parking lot. Doing so would eliminate the need for: 1) The additional "street cut" in existing Town Ridge Drive; and, 2) One of the two proposed "water main lowerings" in Town Ridge Drive.
 - o ***The roof drain tie-ins to the storm drain have been reconfigured.***

Sheets 6 through 13: Landscape, Irrigation, Lighting and Elevations

No comments

* * *

Thank you for your time and consideration of our proposal. Should you have any questions or comments, please do not hesitate to contact me.

Respectfully,

DAVID P GOODE ARCHITECTURE



David P Goode, Architect
Owner / Principal
Colorado Lic. 400636

Cc: Mr. Bob Turner, Quadrant Properties



DAVID P GOODE ARCHITECTURE



February 15, 2016

Mr. Hans Friedel
City of Lone Tree - Community Development
9220 Kimmer Dr., Suite 100
Lone Tree, CO 80124

REGARDING Lincoln Commons East - Lot 1 – Lone Tree, Colorado
THE PROJECT DPGA Project No. 15.021.00

Dear Mr. Friedel:

Thank you for forwarding the Terra Ridge HOA comments to the SIP submittal for the Lincoln Commons project at RidgeGate by Mr. Rick Solomon. As you are aware, we have spent a great deal of time working with the RidgeGate Design Review Committee and the City to arrive at the layout proposed. Specifically addressing Mr. Solomon's comments:

- The orientation of the proposed building matches that of the approved SIP layout for the large box retail and shops space. For the retail users on the first floor, it is critical to their success that they face to the north and the bulk of the shopping center for exposure to traffic both on- and off-site.
- The parking field north of the building has been designed to serve retail in this area, as shown in the approved SIP. The introduction of parking immediately adjacent to the building, specifically to the south between the building and Sky Ridge Ave. serves the office tenants. By including the parking on the south, office tenants and visitors have convenient access to the office entry doors and lobby. Furthermore, the office tenants will not need to compete for parking spaces with the retail tenants.
- The mural proposed on the building provides an opportunity for the Lone Tree Arts Commission to promote the Arts Center beyond just signage in the surrounding area. Public art enhances a sense of pride and neighborhood in the community, especially when the community takes part in the selection or creation of the art.

Thank you for your time and consideration of our proposal. Should you have any questions or comments, please do not hesitate to contact me.

Respectfully,

DAVID P GOODE ARCHITECTURE

David P Goode, Architect
Owner / Principal
Colorado Lic. 400636

Cc: Mr. Bob Turner, Quadrant Properties

RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R

LEGAL DESCRIPTION

LOT 1-F1
 RIDGEGATE SECTION 15, FILING NO. 5 2nd AMENDMENT, AS AMENDED BY VACATION
 APPROVAL CERTIFICATE RECORDED DECEMBER 7, 2010 AT RECEPTION NO. 2010086479
 COUNTY OF DOUGLAS
 STATE OF COLORADO

OWNER

TKG LINCOLN COMMONS, LLC
 QUADRANT PROPERTIES
 981 SOUTHPARK DRIVE
 LITTLETON, COLORADO
 T: 303.800.0921
 E: bturner@quadprop.com

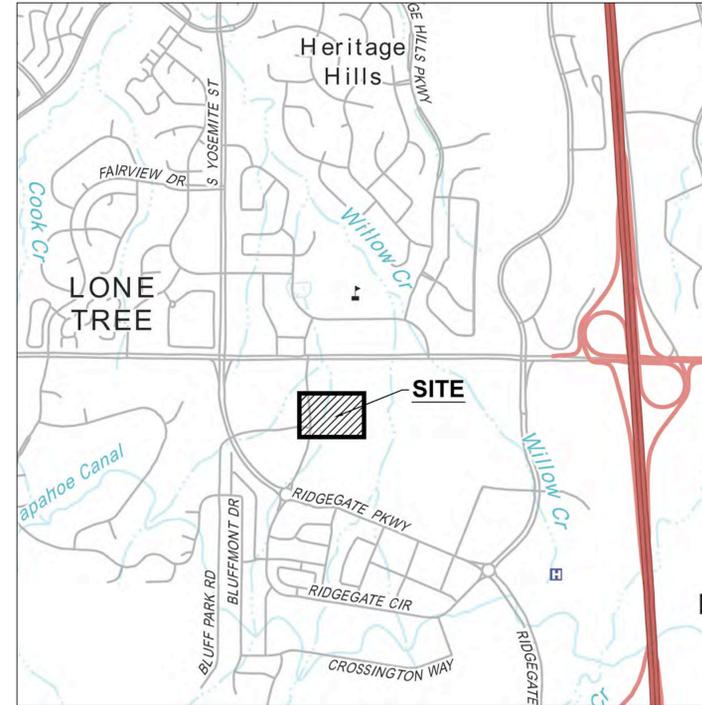
CONSULTANT FIRMS

ARCHITECT: DAVID GOODE
 DAVID P GOODE ARCHITECTURE
 558 CASTLE PINES PARKWAY
 UNIT B4-174
 CASTLE PINES, COLORADO 80108
 T: 303.246.4943
 E: davidpgoode@gmail.com

CIVIL ENGINEER: MARK CEVAAL
 REDLAND
 8000 SOUTH LINCOLN STREET
 SUITE 206
 LITTLETON, COLORADO 80122
 T: 720.283.6783
 E: mcevaal@redland.com

LANDSCAPE ARCHITECT: SANDI GIBSON
 OUTSIDE LA
 2623 BURGESS CREEK ROAD
 STEAMBOAT SPRINGS, COLORADO 80487
 T: 303.517.9256
 E: osla@me.com

ELECTRICAL ENGINEER: BRENT PAPESH
 HUTCHISON PAPESH ENGINEERING
 13986 WEST BOWLES AVENUE
 SUITE 102
 LITTLETON, COLORADO 80127
 T: 303.973.9779
 E: brent@hutchengineering.com



VICINITY MAP
 1" = 2000'



SITE DATA

ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	55,345	100%
BUILDING FOOTPRINT	10,723	19%
PARKING/ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS)	25,739	47%
LANDSCAPE AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS, TRAILS AND WALKS)	7,261	13%
PAVED SIDEWALKS AND PATIOS	11,622	21%
NATURAL AREAS (NOT INCLUDED IN THE REQUIRED LANDSCAPE AREA)	0	0%
MAXIMUM BUILDING HEIGHT		45'-0"
TOTAL FLOOR AREA		20,000
AUTOMOBILE PARKING REQUIRED	100 (SEE SHARED PARKING ANALYSIS BELOW)	
AUTOMOBILE PARKING PROVIDED	>100 (SEE NOTE 4 BELOW)	
BICYCLE PARKING REQUIRED	3 SPACES	
BICYCLE PARKING PROVIDED	> 3 SPACES	

SITE DATA NOTES

- THE EXTENT OF WORK SHOWN DOES NOT INCLUDE THE ENTIRE LOT 1-F1 AREA. REFER TO SHEET 2 FOR THE EXTENT OF WORK AND THE LIMITS OF THE SITE DATA CALCULATED ABOVE.
- LOT 1-F1 IS APPROXIMATELY 649,832 SF OR 14.92 ACRES.
- LANDSCAPING FOR THE OVERALL LINCOLN COMMONS DISTRICT EXCEEDS THE MINIMUM REQUIRED LANDSCAPE AREA OF 15%.
- PROVIDED PARKING FOR THE SHOPS 'C' BUILDING INCLUDES (72) NEW SPACES AS SHOWN AROUND THE BUILDING AND EXISTING PARKING SPACES IN THE PARKING FIELD IMMEDIATELY TO THE NORTH OF THE BUILDING.

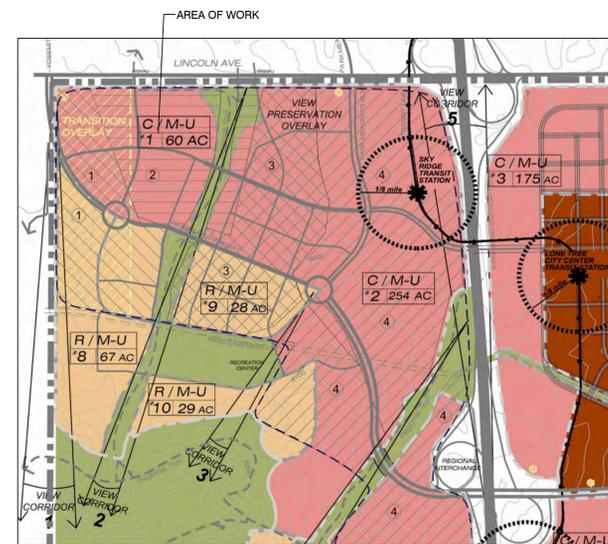
PARKING DEMAND

2-STORY BUILDING (SHOPS C)

RESTAURANT	4,000 SF 1 sp / 100 sf	40 spaces
RESTAURANT OUTDOOR SEATING	1,000 SF 0.5 sp / 100 sf	5 spaces
RESTAURANT EMPLOYEE PARKING	10 employees 1 sp / each	10 spaces
SHOPS	7,000 SF 1 sp / 250 sf	28 spaces
OFFICE	10,000 SF 1 sp / 330 sf	33 spaces

SHARED PARKING ANALYSIS

LAND USE CLASSIFICATION (parking required based on use)	WEEKDAYS			WEEKENDS		
	1:00 am - 7:00 am	7:00 am - 6:00 pm	6:00 pm - 1:00 am	1:00 am - 7:00 am	7:00 am - 6:00 pm	6:00 pm - 1:00 am
RESTAURANT (55 spaces)	11	39	55	17	42	55
RETAIL SHOPS (28 spaces)	0	28	33	0	28	17
OFFICE (33 spaces)	2	33	2	0	5	0
TOTAL	13	100	90	17	75	72



RIDGEGATE PD AREA

1" = 1000'



OWNER APPROVAL

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

NAME OF OWNER _____

SIGNATURE OF OWNER _____

PRINTED NAME AND TITLE _____

STATE OF COLORADO)
 COUNTY OF DOUGLAS)SS

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, AD. 20__ BY _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENT F THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.

APPROVAL CERTIFICATE

THIS SITE IMPROVEMENT PLAN (SIP) HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS AS APPROVED BY THE CITY ON _____

BY: _____ DATE: _____
 TITLE: COMMUNITY DEVELOPMENT DIRECTOR

BY: _____ DATE: _____
 TITLE: CITY ENGINEER

BY: _____ DATE: _____
 TITLE: MAYOR

THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.

SHEET INDEX

- SHEET 1 - COVER SHEET
- SHEET 2 - OVERALL SITE PLAN
- SHEET 2 - SITE LAYOUT PLAN
- SHEET 4 - GRADING PLAN
- SHEET 5 - UTILITY PLAN
- SHEET 6 - LANDSCAPE PLAN
- SHEET 7 - LANDSCAPE DETAILS
- SHEET 8 - IRRIGATION PLAN
- SHEET 9 - IRRIGATION DETAILS
- SHEET 10 - SITE FURNISHINGS DETAILS
- SHEET 11 - SITE LIGHTING PLAN
- SHEET 12 - SITE LIGHTING DETAILS
- SHEET 13 - BUILDING ELEVATIONS



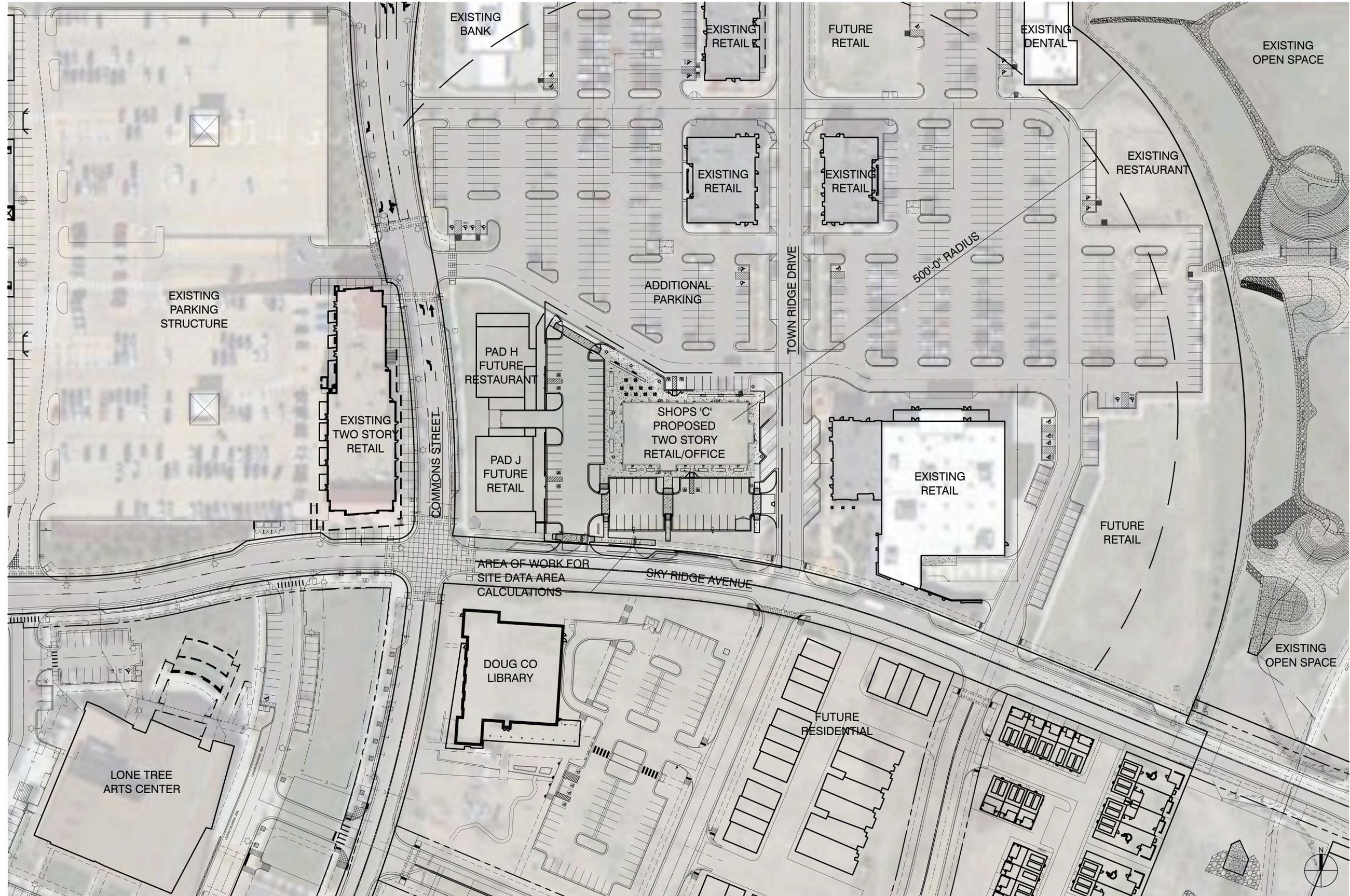
981 Southpark Drive
 Littleton, Colorado 80120
 303.709.5106

DATE	NO.	NOTES	DFG	DFG	DFG	DFG	DFG
09/22/2015	1	RidgeGate DRC Schematic Submittal					
10/29/2015	1	RidgeGate DRC Design Development Submittal					
12/10/2015	1	1st SIP Submittal					
01/15/2016	2	2nd SIP Submittal					

COVER SHEET
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

SHEET

RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R



QUADRANT
 PROPERTIES

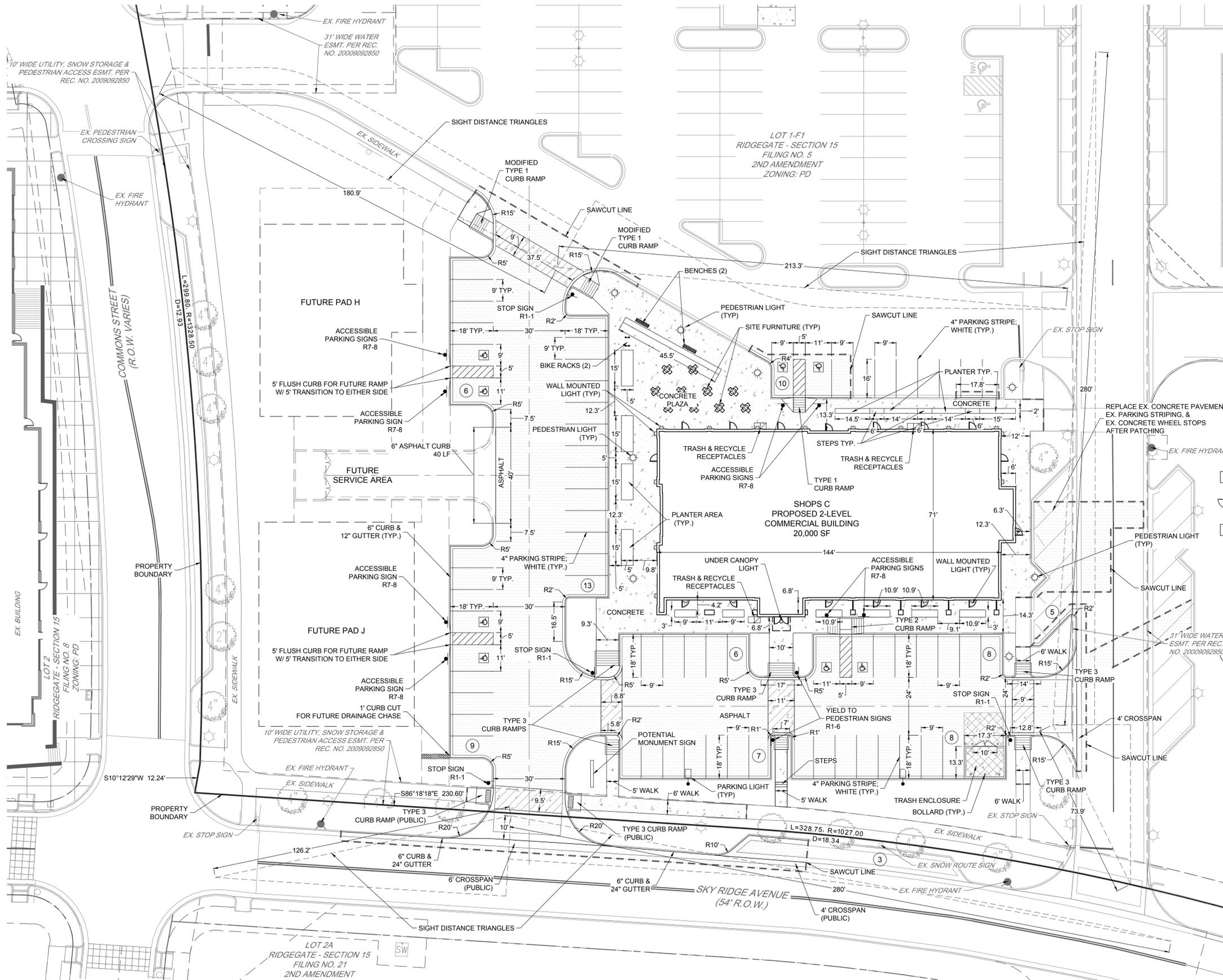
861 Southpark Drive
 Littleton, Colorado 80120
 303.709.5106

DRAWN	DFG
CHECKED	DFG
APPROVED	DFG
PROJECT NO.	15,021.00
HORIZ. SCALE	As Noted
VERT. SCALE	As Noted

DATE	NO.	NOTES
09.22.2015	1	RidgeGate DRC Schematic Submittal
10.29.2015	1	RidgeGate DRC Design Development Submittal
12.10.2015	1	1st SIP Submittal
01.15.2016	2	2nd SIP Submittal

SITE CONTEXT PLAN
 LINCOLN DISTRICT EAST
 CITY of LONE TREE
 DOUGLAS COUNTY, COLORADO

RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R



- ### EXISTING LEGEND
- EXISTING CURB AND GUTTER
 - EXISTING PROPERTY LINE
 - EXISTING R.O.W. LINE
 - EXISTING EASEMENT LINE
 - EXISTING FIRE HYDRANT
 - EXISTING LANDSCAPE LIGHT
 - EXISTING LIGHT POLE
 - EXISTING METAL POST
 - EXISTING SIGN
 - EXISTING TREE DECIDUOUS
 - EXISTING TREE CONIFEROUS

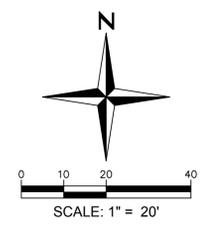
- ### PROPOSED LEGEND
- PROPOSED CURB AND GUTTER
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED SAWCUT LINE
 - SIGHT DISTANCE TRIANGLES
 - FUTURE IMPROVEMENTS
 - PROPOSED PARKING LOT LIGHT POLE
 - PROPOSED PEDESTRIAN LIGHT
 - PROPOSED UNDER CANOPY LIGHT
 - PROPOSED WALL MOUNTED LIGHT
 - PROPOSED TRASH AND RECYCLE RECEPTACLES
 - PROPOSED SITE FURNITURE
 - PROPOSED BENCH
 - PROPOSED REGULATORY SIGN

- ### PAVEMENT LEGEND
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE CROSSWALK WITH SCORED CONCRETE

PARKING SUMMARY

64	REGULAR SPACES
8	ACCESSIBLE SPACES
72	TOTAL SPACES

- ### NOTES
- SUB-AREA PLAN PLAZA/PARK IMPROVEMENTS TO BE PROVIDED WITH FUTURE SUBMITTAL.



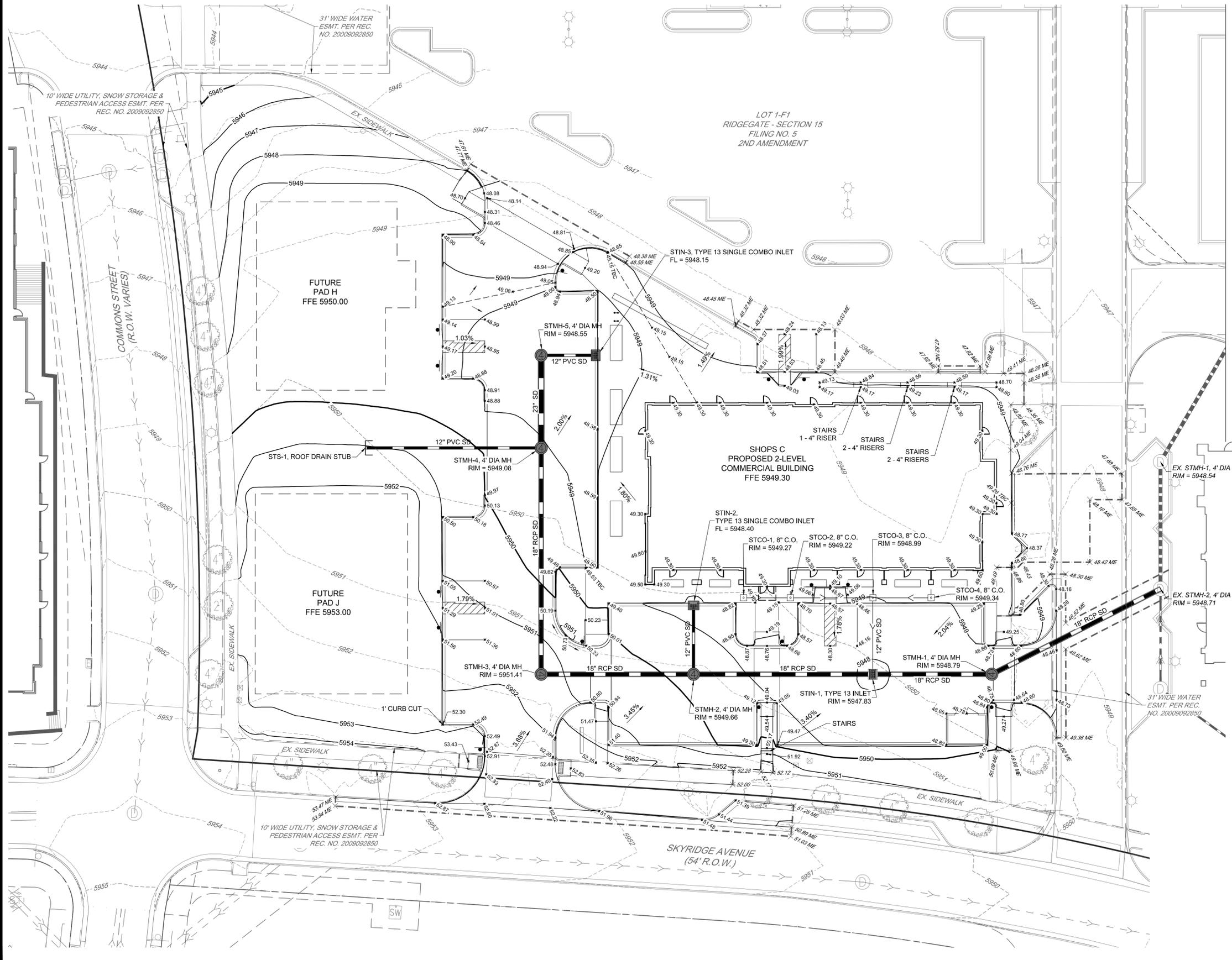
981 Southpark Drive
 Littleton, Colorado 80120
 303.709.5106

DATE	NO.	NOTES
08/22/2015	1	Ridgegate DRC Schematic Submittal
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12/10/2015	1	1st SIP Submittal
01/15/2016	2	2nd SIP Submittal
02/15/2016	3	3rd SIP Submittal

DATE	NO.	NOTES
08/22/2015	1	Ridgegate DRC Schematic Submittal
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12/10/2015	1	1st SIP Submittal
01/15/2016	2	2nd SIP Submittal
02/15/2016	3	3rd SIP Submittal

SITE LAYOUT PLAN
 LINCOLN DISTRICT EAST
 CITY of LONE TREE
 DOUGLAS COUNTY, COLORADO

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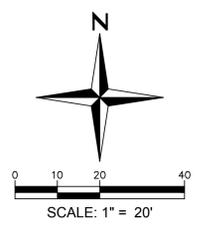
- EXISTING LEGEND**
- - - 5955 - - - EXISTING MAJOR CONTOUR
 - - - 5954 - - - EXISTING MINOR CONTOUR
 - ⊕ EXISTING STORM SEWER
- PROPOSED LEGEND**
- PROPOSED STORM SEWER
 - ↘ 2.0% PROPOSED SLOPE ARROW
 - × 8.55 PROPOSED SPOT ELEVATION
 - 5950 — PROPOSED MAJOR CONTOUR
 - 5951 — PROPOSED MINOR CONTOUR



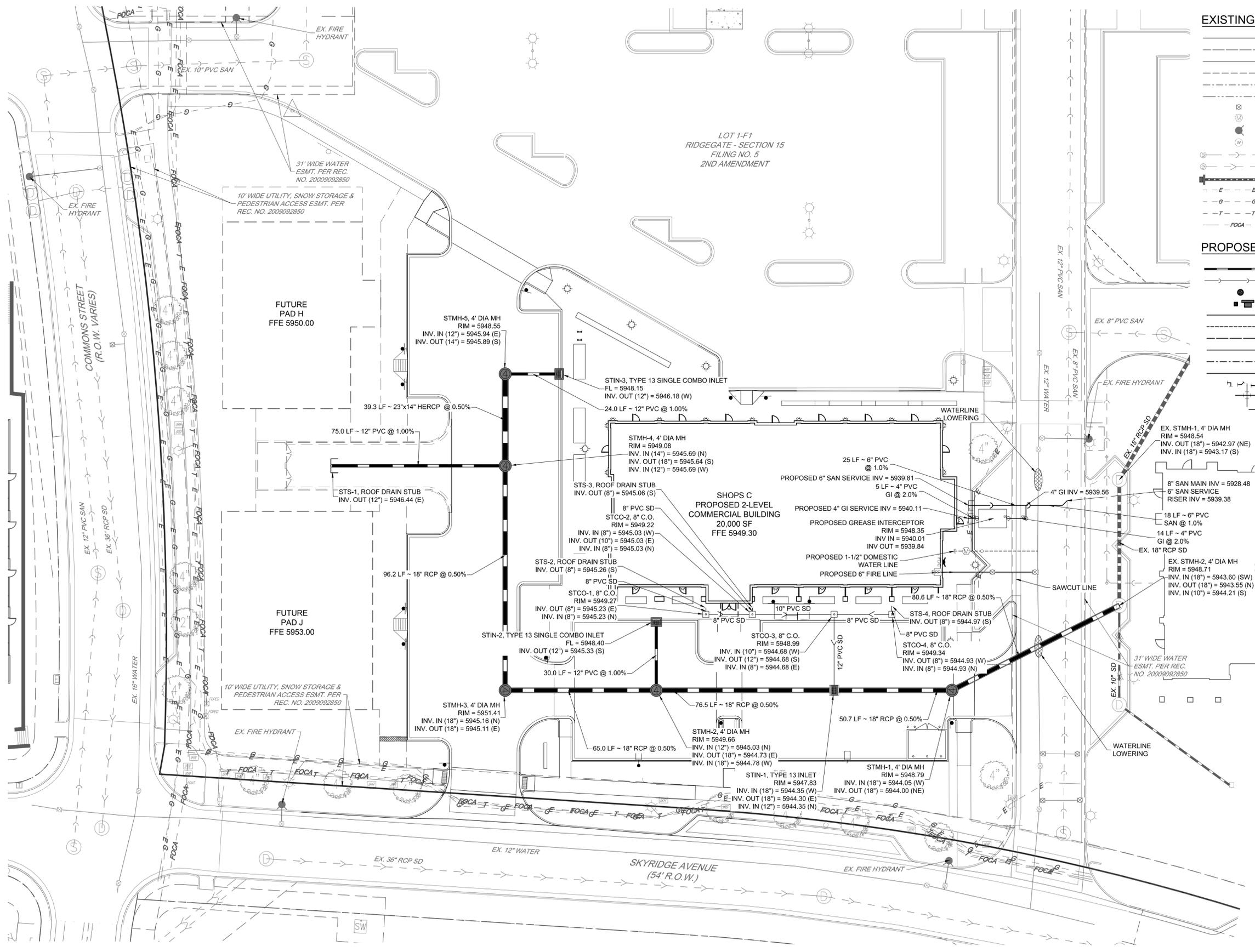
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10/20/2015	1	1st SIP Submittal	APPROVED	MDC
01/15/2016	2	2nd SIP Submittal		
02/15/2016	3	3rd SIP Submittal		
			HORIZ. SCALE	1" = 20'
			VERT. SCALE	N/A

DATE	NO.	NOTES
09/22/2015	1	Ridgegate DRG Schematic Submittal
10/20/2015	1	1st SIP Submittal
01/15/2016	2	2nd SIP Submittal
02/15/2016	3	3rd SIP Submittal

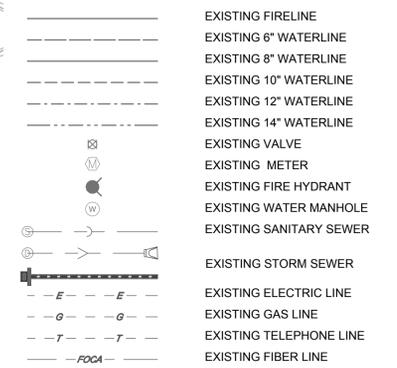
GRADING PLAN
LINCOLN DISTRICT EAST
 CITY of LONE TREE
 DOUGLAS COUNTY, COLORADO



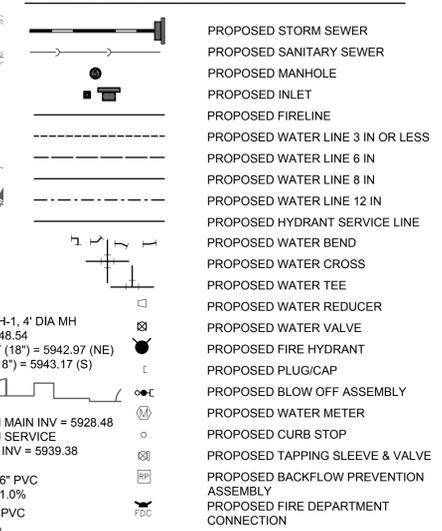
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EXISTING LEGEND



PROPOSED LEGEND

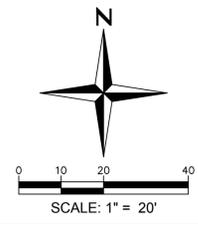


DATE	NO.	NOTES
08/22/2015	1	Ridgegate DRG Schematic Submittal
10/20/2015	1	Ridgegate DRG Design Development Submittal
12/10/2015	1	1st SIF Submittal
01/15/2016	2	2nd SIF Submittal
02/15/2016	3	3rd SIF Submittal

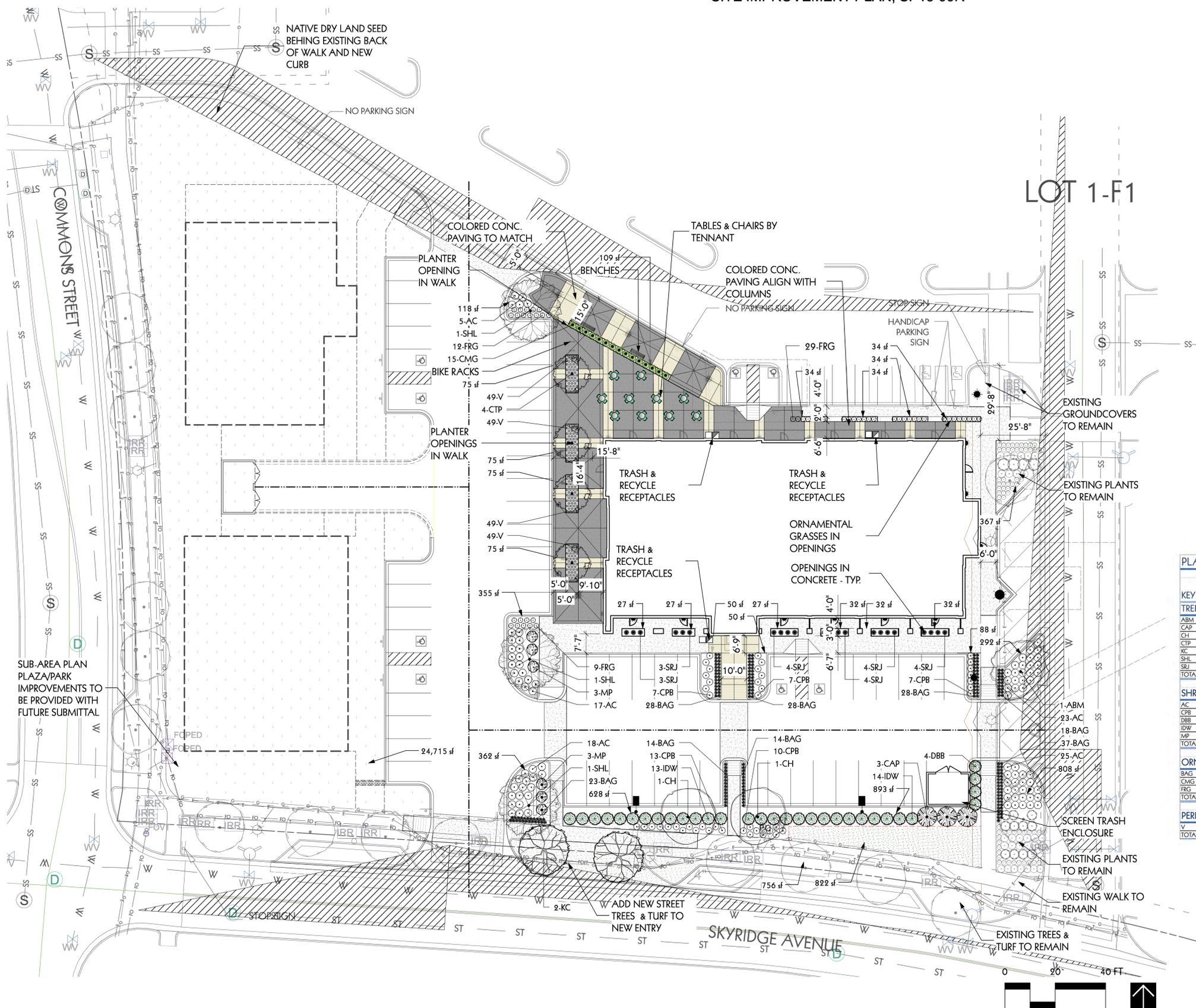
DATE	NO.	NOTES	DRAWN	CHECKED	APPROVED
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					15018
					1" = 20'
					VERT. SCALE
					N/A

DATE	NO.	NOTES
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02/15/2016	3	3rd SIF Submittal

UTILITY PLAN
 LINCOLN DISTRICT EAST
 CITY of LONE TREE
 DOUGLAS COUNTY, COLORADO



RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
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 SITE IMPROVEMENT PLAN, SP15-99R



LEGEND:

- EXISTING TREES TO REMAIN
- PROPOSED TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED ORNAMENTAL GRASSES
- PROPOSED PERENNIALS
- PROPOSED VINES
- COLORED & SCORED PLAZA
- SOD
- DRYLAND SEED
- 6' WESTPORT BENCH BY SITESCAPES
- WESTMORE DOME TOP TRASH & RECYCLE TOP RECEPTACLES BY SITESCAPES
- BIKE RACKS 125-20 BY DUMOR
- TABLES & CHAIRS BY TENNANTS

PLANT LIST 12/10/15

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	O.C.
TREES:					
ABM	1	Acer x freemanii 'Autumn Blaze Maple'	Autumn Blaze Maple	3" cal.	as shown
CAP	3	Pinus rigida 'Arnold Sentinel'	Columnar Austrian Pine	8" ht.	as shown
CH	1	Celtis occidentalis	Common Hackberry	3" cal.	as shown
CTP	4	Pinus caleyana	Chanticleer Pear	2" cal.	as shown
KC	2	Symoncladus droicae	Kentucky Coffeetree	3" cal.	as shown
SHL	3	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	3" cal.	as shown
SRJ	2	Juniperus scopulorum 'Skyrocket'	Juniperus scopulorum 'Skyrocket'	6" ht.	as shown
TOTAL:	37				
SHRUBS:					
AC	88	Ribes alpinum	Alpine Currant	5 gal.	3' o.c.
CPB	44	Berberis thunbergii 'Crimson Pygmy' ('Atropurpurea Nana')	Crimson Pygmy Dwarf Japanese Barberry	5 gal.	3' o.c.
DBB	4	Euconymus alata 'Compacta'	Dwarf Winged Burning Bush	5 gal.	5' o.c.
IDW	27	Cornus sericea 'Isanti'	Isanti Red-Osier Dogwood	5 gal.	5' o.c.
MP	6	Pinus mugo	Mugo Pine	5 gal.	4' o.c.
TOTAL:	169				
ORNAMENTAL GRASSES:					
BAG	190	Haloctenochloa serotens/riens	Blue Avena Grass	1 gal.	15" o.c.
CMG	15	Composit Maiden Grass	Miscanthus sinensis 'Aristocrat'	1 gal.	3' o.c.
FRG	50	Calamagrostis x acutiflora 'Karl Foerster'	Foerster Feather Reed Grass	1 gal.	2' o.c.
TOTAL:	255				
PERENNIALS/GROUNDCOVERS:					
V	196	Vinca minor 'Bowles' (V. m. 'La Grèce')	Bowles' Common Periwinkle	4" pots	12" o.c.
TOTAL:	196				

outside la
 landscape architecture +
 urban design +
 planning
 bozler / everlove group
 303.517.2656
 F. 970.367.5180
 info@outside.com

QUADRANT PROPERTIES
 981 Southpark Drive
 Littleton, Colorado 80120
 303.709.5106

DATE	NO.	NOTES
09/22/2015	1	RidgeGate DRC Schematic Submittal
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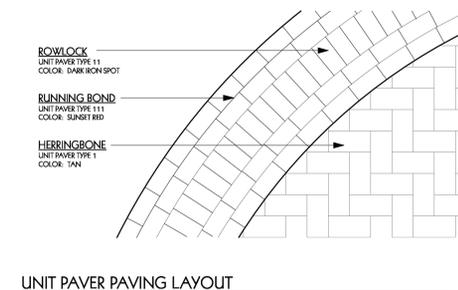
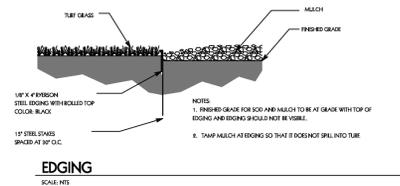
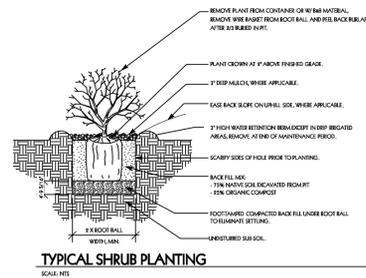
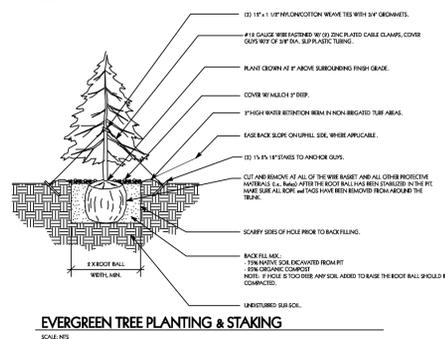
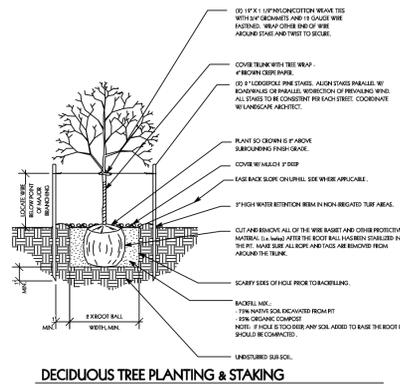
LANDSCAPE PLAN
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

SHEET 6

RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
Planning Area C/M-U #1
Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
SITE IMPROVEMENT PLAN, SP15-99R

PLANTING NOTES:

1. THE CONTRACTOR SHALL SUPPLY ALL PLANTS, SEED, MULCHES, ETC. IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON DRAWINGS. SHOULD ANY DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLANTING SCHEDULES AND THOSE SHOWN ON THE THE DRAWINGS, THE DRAWINGS SHALL TAKE PRECEDENCE.
2. THE CONTRACTOR, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
3. LANDSCAPE CONTRACTOR MUST EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND NOTIFY LANDSCAPE ARCHITECT IN WRITING OF UNSATISFACTORY CONDITIONS, IF ANY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGES TO SAID UTILITIES. CONTACT UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987) PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT ENTRY.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE OF ANY PROBLEM IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
7. PROVIDE POSITIVE GRADES AWAY FROM BUILDINGS AND TOWARD LAWN DRAINS AND CATCH BASINS. SLOPE AWAY FROM BUILDINGS AT A MINIMUM OF 2% OR AS PER SOILS REPORT.
8. ALL IRRIGATED SEED AND TURF AREAS SHALL RECEIVE A MIN. 4" DEPTH OF SPECIFIED TOPSOIL, TOPSOIL AMENDMENT & FERTILIZER. ALL TOPSOIL AND TOPSOIL AMENDMENTS SHALL BE CERTIFIED WEED/SEED FREE/ SPOIL AMENDMENTS SHALL INCLUDE A MIN. 4 CUBIC YARDS OF COMPOST (40% O.D.B) PER 1000 S.F. OF SEED/TURF AREA. RE: SPECS.
9. ALL SHRUB AND TREE PITS SHALL BE BACKFILLED WITH SPECIFIED SOIL MIXTURE.
10. ROOTBALLS TO BE FREE OF PERNICIOUS WEEDS, SIZED ON PLANT LIST SHALL BE CONSIDERED MINIMUM SIZES.
11. ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL CONTROLLERS FOR THESE SYSTEMS SHALL BE CONNECTED TO AUTOMATIC SHUTOFF RAIN SENSORS. NO IRRIGATION SHALL BE ALLOWED WITHIN 5'-0" OF BUILDING FACE OR AS PER SOILS REPORT.
12. ALL AREAS DISTURBED DURING CONSTRUCTIVE SHALL BE RE-VEGETATED WITH SPECIFIED NATIVE SEED MIX PRIOR TO CONSTRUCTION COMPLETION.
13. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING INSTALLATION. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
14. STEEL EDGING SHALL BE PROVIDED TO SEPARATE GRASS AND PLANTING BED AREAS.
15. PROTECT ALL VEGETATION NOT NOTED AS BEING REMOVED DURING DEMOLITION. THE CONTRACTOR IS TO COORDINATE IDENTIFICATION OF ALL REMOVALS WITH ALBERTA DEVELOPMENT PARTNERS PRIOR TO REMOVAL.
16. ALL TREES, SHRUBS AND OTHER PLANT MATERIALS ARE TO BE APPROVED BY THE OWNER'S REP PRIOR TO DELIVERY AND AGAIN AFTER DELIVERY TO SITE. ANY PLANT NOT MEETING APPROVAL MAY BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE. RE: SPECS
17. ALL PLANT MATERIAL AND BED LOCATIONS ARE TO BE STAKED BY THE CONTRACTOR FOR REVIEW BY OWNER'S REP. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED. PRE-DIGGING OF PLANT PITS IS NOT ALLOWED. ALL TREE PITS ARE TO BE DUG AFTER TREE IS PLACED AT THE FINAL LOCATION TO ALLOW FOR PROPER TREE PIT DEPTH.
18. ORGANIC WOOD MULCH TO BE INSTALLED AND MAINTAINED TO A DEPT OF FOUR (4) INCHES. EVERGREEN TREE MULCH RING TO EXTEND TO TREE DRIPLINE IN TURF AREAS.
19. ALL PLANT MATERIALS TO MEET REQUIREMENTS OF ALL CONTRACT DOCUMENTS, OR BE SUBJECT TO REJECTION.
20. THE CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BUY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED A THE CONTRACTOR'S EXPENSE.

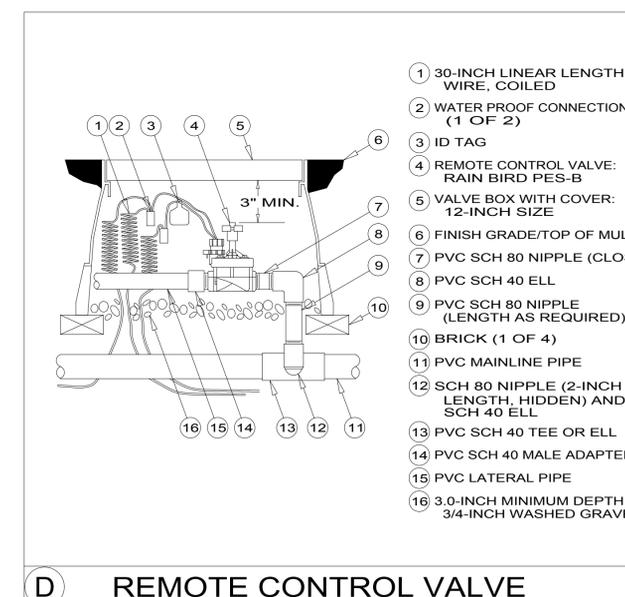
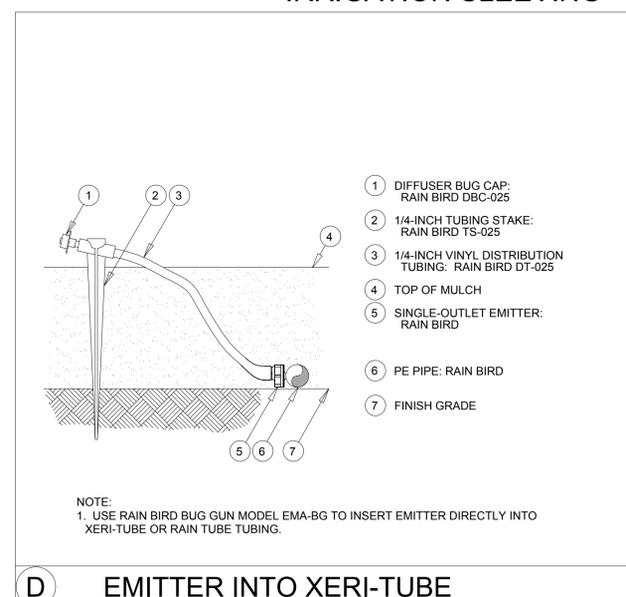
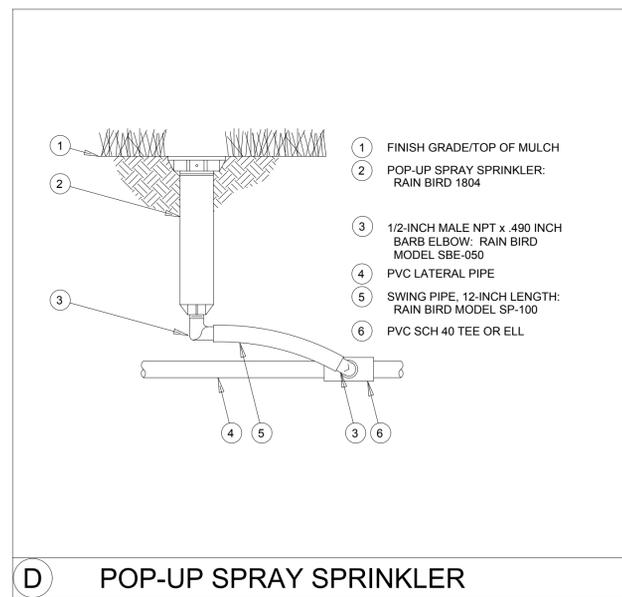
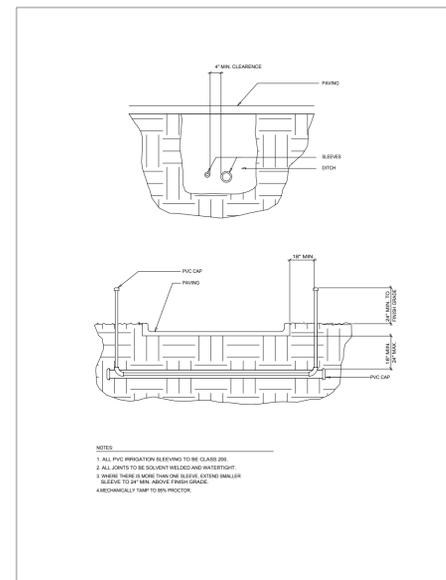
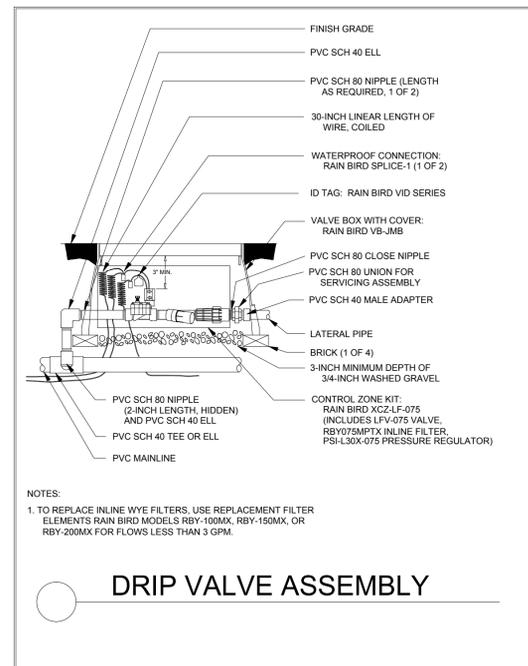
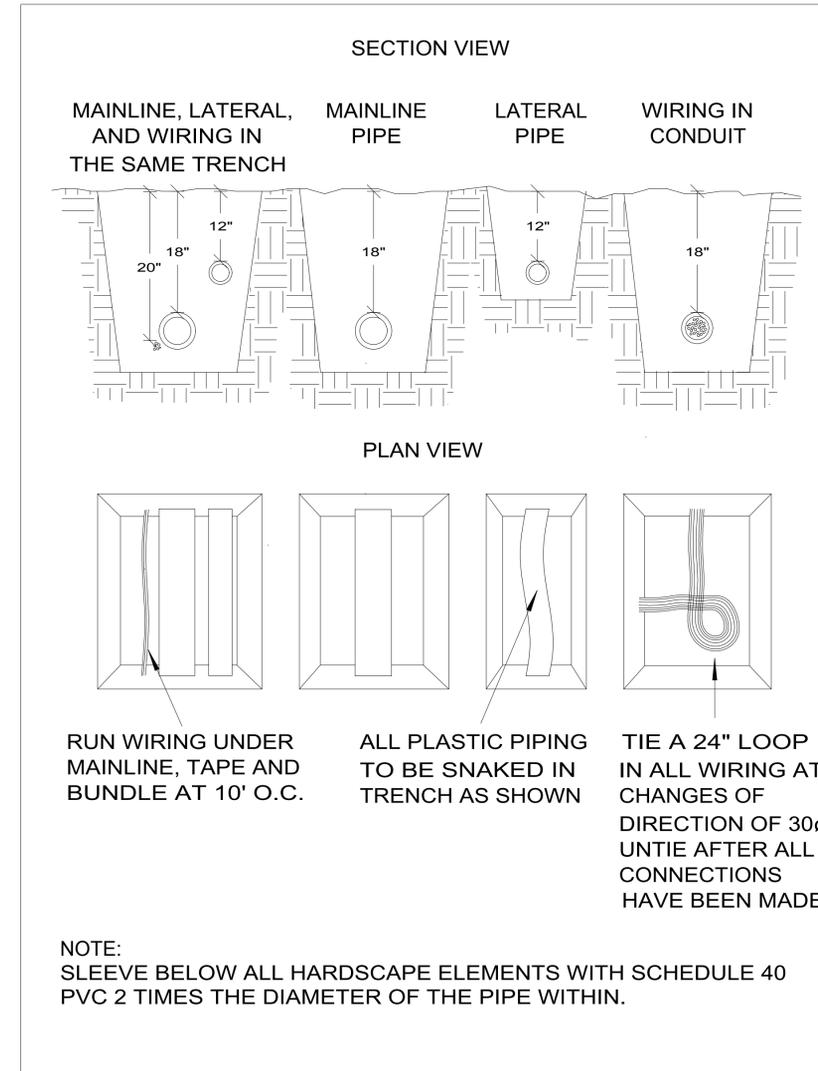
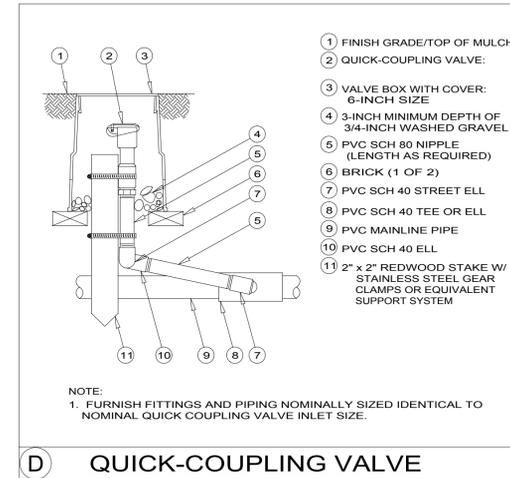
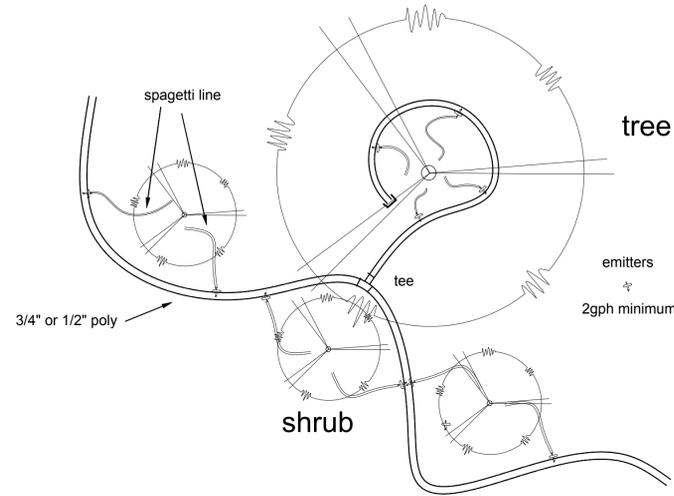


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LANDSCAPE NOTES & DETAILS
LINCOLN DISTRICT EAST
CITY OF LONE TREE
DOUGLAS COUNTY, COLORADO

SHEET

RidgeGate Section 15, Filing #21, Lot 1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R



PIPE & WIRE TRENCHING

IRRIGATION PLAN BY
WATER ENGINEERING, INC
 17897 W. 53RD DR.
 GOLDEN, COLORADO 80403
 (303) 618-6307
 CONTACT: TOM CARROLL
 carrollemail@aol.com



DATE	NO.	NOTES	DRAWN	TC
09.22.2015	1	RidgeGate DRC Schematic Submittal	CHECKED	NS
10.29.2015	1	RidgeGate DRC Design Development Submittal	APPROVED	TC
12.10.2015	1	1st SIP Submittal		
01.15.2016	2	2nd SIP Submittal		
			HORIZ. SCALE	1"=20'
			VERT. SCALE	NA

IRRIGATION DETAILS
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

IRRIGATION PLAN
 BY
WATER ENGINEERING, INC
 17897 W. 53RD DR.
 GOLDEN, COLORADO 80403
 303-618-6307 FAX 303-474-3100
 CARROLLEMAIL@AOL.COM

RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
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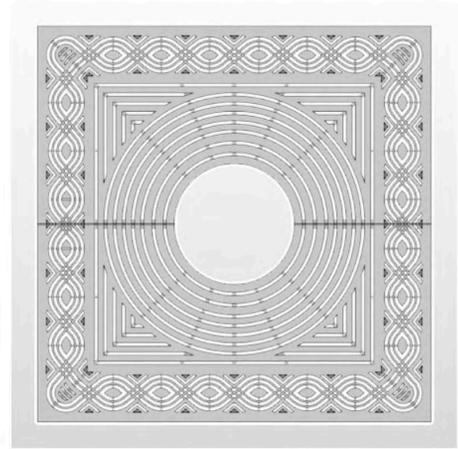


DRAWN	DPG
CHECKED	DPG
APPROVED	DPG
PROJECT NO.	15.021.00
HORIZ. SCALE	As Noted
VERT. SCALE	As Noted

DATE	NO.	NOTES
09.22.2015	1	RidgeGate DRC Schematic Submittal
10.25.2015	1	RidgeGate DRC Design Development Submittal
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01.15.2016	2	2nd SIP Submittal

SITE FURNISHINGS
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

SHEET



TREE GRATE

MANUF: URBAN ACCESSORIES
 MODEL: CHINOOK 2000
 SIZE: 5'-0" SQUARE
 COLOR: CAST IRON GREY



BIKE RACK

MANUF: DUMOR
 MODEL: 125-20
 SIZE: 38" LENGTH
 COLOR: SLATE



BENCH

MANUF: SITESCAPES
 MODEL: WESTPORT
 SIZE: 6'-0" LENGTH
 COLOR: SLATE



RECYCLE RECEPTACLE

MANUF: SITESCAPES
 MODEL: WESTPORT - RECYCLE TOP
 SIZE: 35 GALLON
 COLOR: SLATE



WASTE RECEPTACLE

MANUF: SITESCAPES
 MODEL: WESTPORT - DOME TOP
 SIZE: 35 GALLON
 COLOR: SLATE

RidgeGate Section 15, Filing #21, Lot 1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R

HUTCHINSON-PAPESH
 ENGINEERING CORPORATION
 CONSULTING ELECTRICAL ENGINEERS
 13986 W. BOWLES AVE., STE 102
 LITTLETON, COLORADO 80127
 V. 303.978.9779 F.303.978.9759



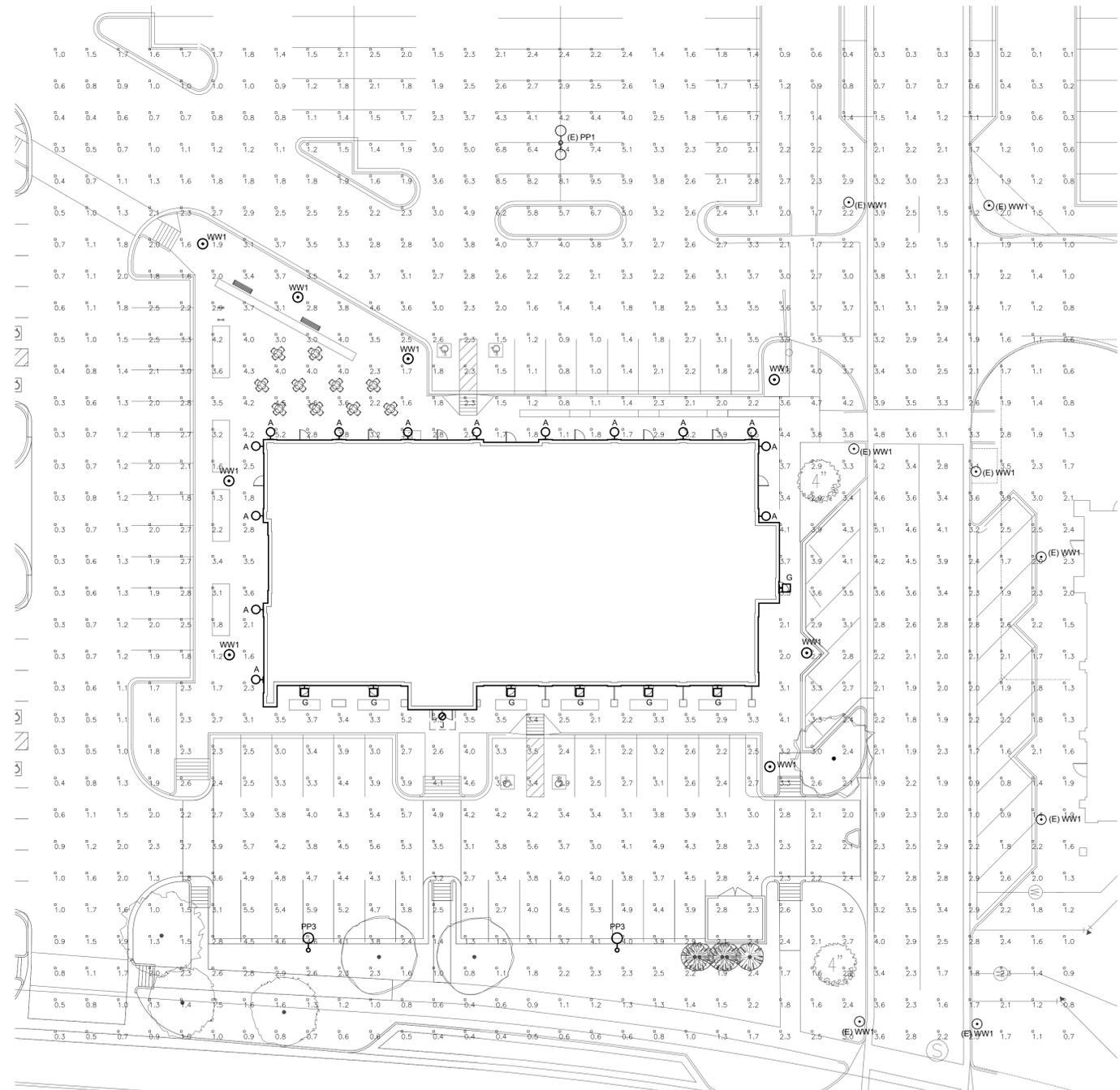
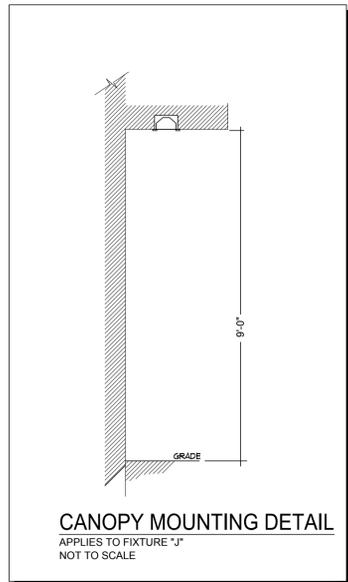
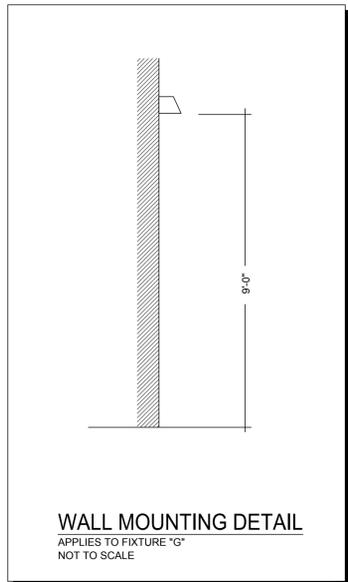
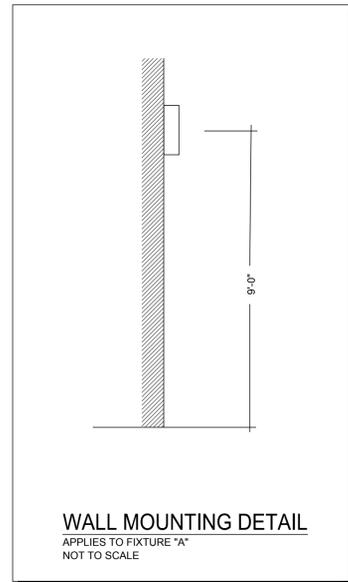
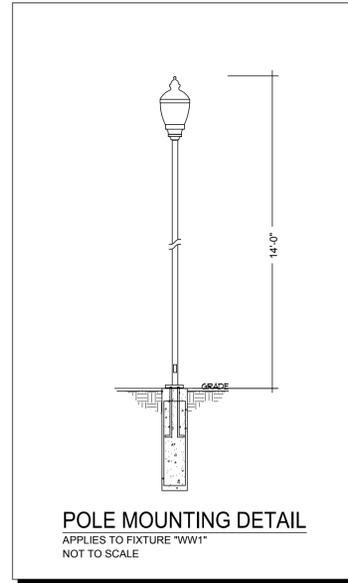
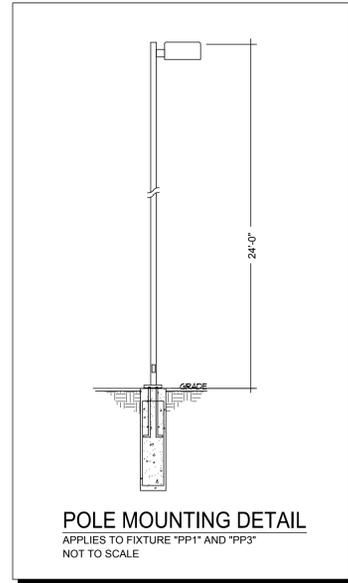
QUADRANT PROPERTIES
 981 Southpark Drive
 Littleton, Colorado 80120
 303.709.5106

DRAWN	JHFE	NOTED	N/A
CHECKED	BAP	HORIZ. SCALE	
APPROVED	BAP	VERT. SCALE	
PROJECT NO.			

DATE	NO.	NOTES
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SITE PHOTOMETRIC PLAN
LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

SHEET



SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

Label	Arrangement	Lumens	LLF	Description
PP1	BACK-BACK	22000	1.000	McGRAW EDISON CIM-AM-250-MP-X-3S-X-X (TWIN HEAD)
PP2	SINGLE	22000	1.000	McGRAW EDISON CIM-AM-250-MP-X-3S-X-X (SINGLE HEAD)
PP3	SINGLE	22000	1.000	McGRAW EDISON CIM-AM-250-MP-X-4S-X-X (SINGLE)
G	SINGLE	3200	1.000	PHILIPS GARDCO 101-MT-42TRF
WW1	SINGLE	12500	1.000	PHILIPS HADCO R52-H-D-H-X-1-X-T-R-D-150H
A	SINGLE	1352	1.000	PHILIPS FORECAST F8507-68
J	SINGLE	1825	1.000	LITHONIA L8FN-Z26DTT-F802AZ-CGL-MVOLT-EL

Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING	3.06	5.8	0.9	3.40	6.44

RidgeGate Section 15, Filing #21, Lot 1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R



DAVID P. GOODE ARCHITECTURE
 559 Castle Pines Pkwy, Unit B4-174, Castle Pines, CO 80108
 303.246.4943
 www.davidgoode.com

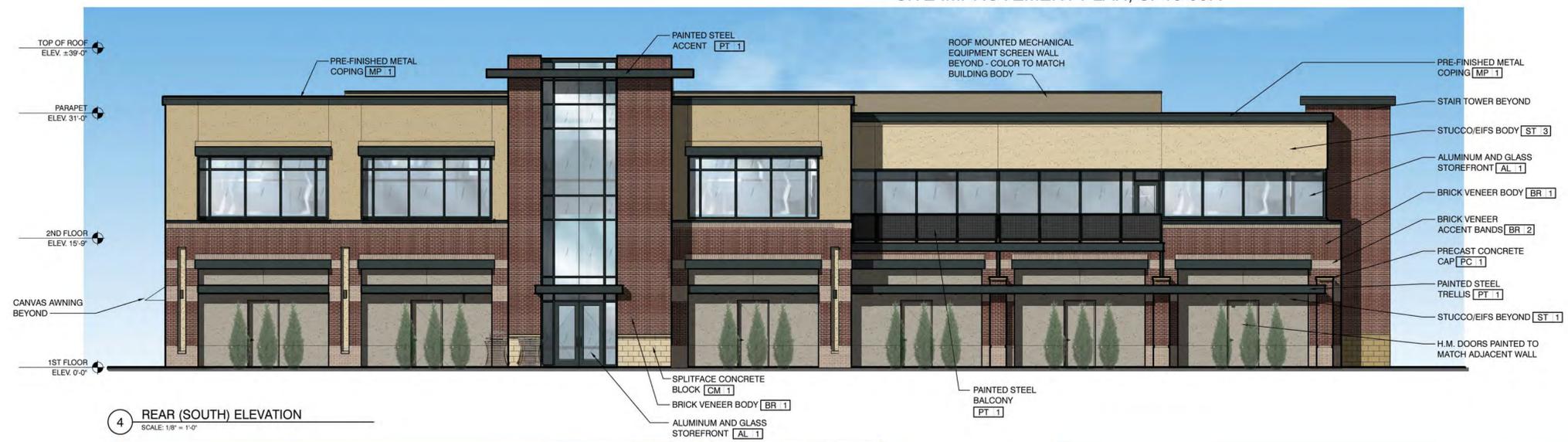
981 Southpark Drive
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 303.709.5106

DATE	NO.	DESCRIPTION	BY	DATE	NO.	DESCRIPTION	BY
09/22/2015	1	RidgeGate DRG Schematic Submittal					
10/29/2015	1	RidgeGate DRG Design Development Submittal					
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01/15/2016	2	2nd SIP Submittal					

DATE	NO.	DESCRIPTION	BY	DATE	NO.	DESCRIPTION	BY

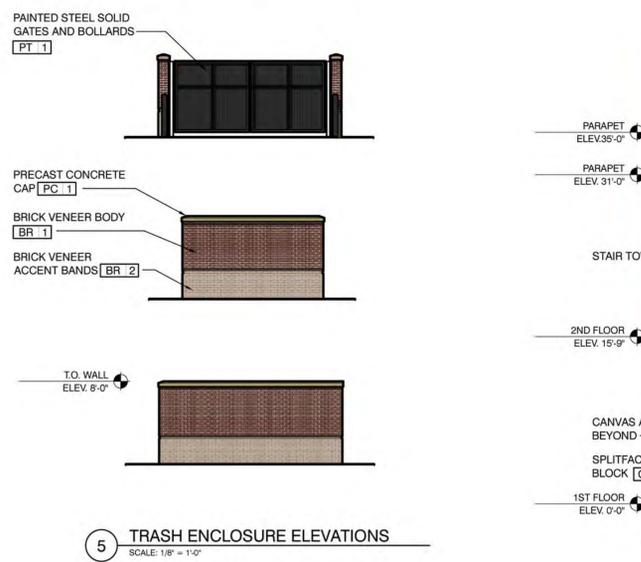
EXTERIOR ELEVATIONS
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

SHEET



LEGEND

[PT 1]	PAINT, BENJAMIN MOORE, PM-9 "BLACK"
[MP 1]	METAL PANEL, UNI-CLAD, "CHARCOAL GRAY"
[AL 1]	ALUMINUM, EFCO, "GUNBARREL"
[BR 1]	BRICK, ROBINSON BRICK, "COOPERSTOWN"
[BR 2]	BRICK, ROBINSON BRICK, "COLISEUM"
[ST 1]	STUCCO, MATCH BENJAMIN MOORE, HC-105 "ROCKPORT GRAY"
[ST 2]	STUCCO, MATCH BENJAMIN MOORE, 2144-30 "ROSEMARY SPRIG"
[ST 3]	STUCCO, MATCH BENJAMIN MOORE, HC-24 "PITTSFIELD BUFF"
[ST 4]	STUCCO, MATCH BENJAMIN MOORE, 2110-30 "SADDLE SOAP"
[CM 1]	CMU, ROBINSON BLOCK, "EMERALD" GROUND FACE
[SV 1]	STONE, ELDORADO STONE, RUSTIC LEDGE, "SAWTOOTH"
[PC 1]	PRECAST CONCRETE, DAVIS COLOR, 5447 "PALOMINO"
[T 1]	QUARTZITE TILE, CAPCO, "CANYON GOLD"
[AN 1]	CANVAS AWNING, SUNBRELLA, 4608 "BLACK"



RIDGEGATE SECTION 15 FILING NO. 5, 2ND AMENDMENT, LOT 1-F1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R



DAVID P. GOODE ARCHITECTURE
 555 Castle Pines Pkwy, Unit B4-174, Castle Pines, CO 80108
 303.246.6943 www.davidpgoode.com

QUADRANT
 PROPERTIES
 861 Southpark Drive
 Littleton, Colorado 80120
 303.709.5106

DATE	NO.	NOTES	DRAWN	DFG
09/22/2015	1	RidgeGate DRG Schematic Submittal	DFG	DFG
10/29/2015	1	RidgeGate DRG Design Development Submittal	DFG	DFG
12/10/2015	1	1st SIP Submittal	APPROVED	DFG
01/15/2016	2	2nd SIP Submittal	PROJECT NO.	15,021.00
			HORIZ. SCALE	As Noted
			VERT. SCALE	As Noted

3D BUILDING MODEL
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO

RidgeGate Section 15, Filing #21, Lot 1
 Planning Area C/M-U #1
 Lincoln District East, 11th Amendment, A Part of Phase II at Lincoln Commons (SP08-03R)
 SITE IMPROVEMENT PLAN, SP15-99R



QUADRANT PROPERTIES
 981 Southpark Drive
 Littleton, Colorado 80120
 303.709.5105

DATE	NO.	NOTES	DRAWN	CHECKED	APPROVED	PROJECT NO.	HORIZ. SCALE	VERT. SCALE
09/22/2015	1	RidgeGate DPC Schematic Submittal						
10/22/2015	1	RidgeGate DPC Design Development Submittal						
12/10/2015	1	1st SIP Submittal				15.021.00		
01/16/2016	2	2nd SIP Submittal						

EXTERIOR ELEVATIONS
 LINCOLN DISTRICT EAST
 CITY OF LONE TREE
 DOUGLAS COUNTY, COLORADO



4 REAR (SOUTH) ELEVATION
 SCALE: 1/8" = 1'-0"

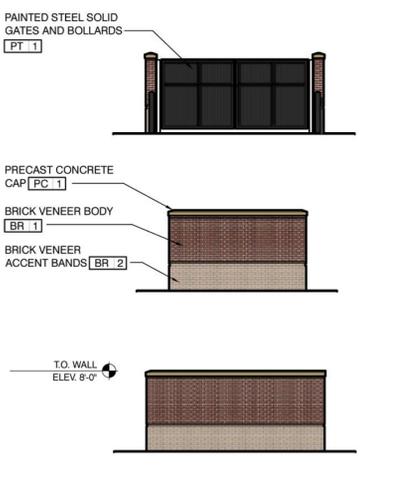
- LEGEND**
- [PT 1] PAINT, BENJAMIN MOORE, PM-9 "BLACK"
 - [MP 1] METAL PANEL, UNI-CLAD, "CHARCOAL GRAY"
 - [AL 1] ALUMINUM, EFCO, "GUNBARREL"
 - [BR 1] BRICK, ROBINSON BRICK, "COOPERSTOWN"
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 - [T 1] QUARTZITE TILE, CAPCO, "CANYON GOLD"
 - [AN 1] CANVAS AWNING, SUNBRELLA, 4608 "BLACK"



2 SIDE (EAST) ELEVATION
 SCALE: 1/8" = 1'-0"



3 SIDE (WEST) ELEVATION
 SCALE: 1/8" = 1'-0"



5 TRASH ENCLOSURE ELEVATIONS
 SCALE: 1/8" = 1'-0"



1 FRONT (NORTH) ELEVATION
 SCALE: 1/8" = 1'-0"



CITY OF LONE TREE
STAFF REPORT

TO: Lone Tree Planning Commission

FROM: Kelly First, Community Development Director

DATE: February 11, 2016

FOR: February 23, 2016 Informational Item

SUBJECT: RidgeGate Sec. 15 Filing 21 Park and Open Space (aka
“Promenade Park”)

Summary

Attached for your information is a concept plan proposed by the Rampart Range Metro District for a park located between Sky Ridge Avenue and RidgeGate Parkway at the eastern end of Arts Center Drive. Townhomes by New Town (now “Thrive”) Builders are under construction to the east, as well as to the north and south of the promenade portion of the plan. A preliminary plan for single-family detached homes located to the east of the site is in process with the City.

The improvements in this area will complete the final segment of the Willow Creek Corridor, as well as the pedestrian promenade that extends from Arts Center Drive, across Bellwether Lane to the Park.

Parks in this corridor, including Lincoln Commons Park to the north and Belvedere Park to the south have been processed administratively, using the City-approved Master Plan for RidgeGate Parks, Trails and Open Space as a guide. Plans will be referred to key agencies, HOA’s and the Lone Tree Arts Commission and Recreation Advisory Committee.

Staff and the applicant invite Planning Commission and Council feedback on the proposal. More information is included in the attached project narrative and concept plan information.

Project Narrative – SIP

Filing 21 Park and Open Space

Promenade Park

1. General Information

Owner/Developer:

Rampart Range Metropolitan District NO.1

8390 E. Crescent Parkway, Suite 500

Greenwood Village, CO 80111

Site Plan Prepared By:

Consilium Design

7353 S.Alton Way STE. A135

Centennial, CO 80112

Location:

RidgeGate Filing 21 Park and Open Space between Sky Ridge Avenue and RidgeGate Parkway

Zoning:

Park and open space with residential adjacent

2. Development Impact

Describe overall impacts of the proposed development on adjacent lands, and methods for mitigating those impacts.

New Town single family townhomes are adjacent to Promenade Park and Art Center Drive. We are confident all the impacts of the park will be positive ones to the surrounding community. Promenade Park will provide perennial gardens, greenspaces, a large plaza with shade structures and seating, educational boardwalk and play areas. Promenade Park will create an important trail connection between Art Center Drive and Willow Creek Trail. The site proposed a few challenges to try to mitigate:

- Steep grade changes created the need for retaining walls in order to create flat surfaces for structures and amenities.
- Willow Creek runs through the park site and in order to protect the floodplain and water quality we propose to keep the area surrounding the creek and trail as native landscape.
- Art Center Drive terminates at the start of the park so in order to maintain continuity plant selections from Art Center Drive streetscape were continued into the promenade.

3. Compliance with Intent and Approval Standards

Describe how the development complies with the Intent (Section 16-27-10), and Approval Standards (Subsection 16-27-90(a)) of this Article.

In response to Section 16-27-10, while designing Promenade Park we put much effort toward creating a park that enhances quality of life and fosters a strong economy and healthy community. Promenade Park intends to enhance quality of life by providing a high quality site amenities and promote health and vitality by creating outdoor spaces for recreational activity. To foster a strong economy we intend to improve connectivity to surrounding amenities. We limited disturbance to native areas along the Willow Creek Drainage Corridor to address sustainability. You can find a more detailed description of efforts in our Statement of Design Intent.

4. Development Phasing

Describe the proposed development schedule, and phases of development for all proposed construction.

The project is currently in the final phases of design development. Upon approval of the administrative SIP we will submit construction documents with an intention to begin construction of the park in spring 2016. The project will be completed in (1) single phase of construction.

5. Other Project Data

Lot Area – 4.4 Acres

6. Sustainability

Highlight ways in which the project furthers the City's environmental goals regarding sustainability. This may include a general description of the project location relative to other uses, public transit, and trails; ease of travel to key destinations on foot or bicycle; water conservation and water quality measures; site layout; green building practices; or operational aspects of the use such as waste reduction, recycling or commuter trip reduction programs.

Promenade Park will be implementing the following site features to address sustainability:

- Hydrozone planting groups and a wide variety of native plants with low water requirements
- Recycled materials for benches and picnic tables
- Preservation of floodplain around Willow Creek
- Permeable paving
- LED Lighting will be used for light fixtures
- Trail connectivity improvements to encourage alternative modes of transportation

Statement of Design Intent

Project Name: Promenade Park

Location: Open Space located between Sky Ridge Avenue and RidgeGate Parkway

Please find this description to serve as our **Statement of Design Intent:**

Consilium Design is working with Coventry Development to design a park located between Sky Ridge Avenue and RidgeGate Parkway at the eastern end of Art Center Drive in Lone Tree, Colorado. The park is within the Willow Creek Drainage Corridor and has a pedestrian trail passing through the site. The trail connects the park to Belvedere Park to the south and Lincoln Commons Park to the north. Adjacent to Promenade Park will be modern attached single family townhomes with ultra-energy efficient features.

The proposed park site is "Park #2" in the RidgeGate Park Master Plan and was originally intended to be an 'Urban Park'. As the RidgeGate area developed, the aesthetic for the urban park outlined in the master plan has evolved from the initial character and vision. The initial urban park design included a large event plaza with extreme changes to the natural topography of the site and which ultimately had negative repercussions to the Willow Creek Drainage Corridor which is a protected wetland. Not only does the scale of the initial design concept not fit with the current surrounding neighborhood character, economically it is costly to create such a massive urban pavilion space. Equally important are the ecological impacts. The urban park design impacted a large portion of the Willow Creek Drainage Corridor by filling in the creek to create space needed to build the large pavilion space. This would have detrimental impacts on the native drainage corridor and the ecosystem that it supports. Overall, the need for a second draft design was apparent to Coventry as the masterplan of RidgeGate evolved into what it is today. Consilium Design has created an updated park plan that compliments the current development and contributes features to the overall RidgeGate West Village Parks, Open Space and Trails Master Plan.

The Lone Tree Arts Center was a primary influence in developing the theme and character of the park. The importance of art as a catalyst for bringing community together is a perfect fit for this park. A park

focused around art translates into a venue for **display** (sculpture in the park), **performance** (spaces to hold performances), **events** (space for events- chalk art festival, film in the park, taste of Lone Tree, etc.), and **park as art** (perennial garden, custom design park elements).

The connection and influence of the Lone Tree Arts Center begins with Arts Center Drive. The streetscape along the Drive includes rich perennial beds, gathering/garden room spaces, and iconic site features. As Arts Center Drive terminates at the entry to the park, the streetscape vocabulary continues into a pedestrian promenade with large four season perennial beds, seating areas, and opportunities for sculpture.

The promenade leads to a large plaza area with custom wood and stone shelters and picnic tables. Different from surrounding parks, the benches, picnic tables and receptacles planned for the Park have a contemporary feel to complement the architecture of the eco-friendly townhomes adjacent to the park. The plaza will also contain unique mounted seating to overlook Willow Creek. The plaza elements are located along the edges of the plaza to keep views open to the Arts Center and to Sky Ridge Medical Center and to provide open space to erect temporary tents for events. The plaza offers additional opportunities to display sculpture.

Adjacent to the main plaza to the north is a small play area for children with play elements that differ from traditional plastic play structures found in adjacent parks. These play elements have an artistic sculpture-like form and are made out of alternative materials like metal with bright colored accents. It was an important goal to have the play fixtures accommodate a range of age groups and encourage agility, balance and discovery. Adjacent to the main plaza to the south is an informal amphitheater/ gathering area that rises up from the plaza to the upper park area. This informal amphitheater consist of stairs, seat walls and turf panels.

The park includes two active turf areas at the north and south ends of the park to provide a place for active play for all age groups. These turf fields are intended to provide for spontaneous community active play such as ball sports, crossfit, yoga, tai chi, catch with dogs, etc. as well as three picnic areas. The turf areas are bordered to the west by a wide linear pedestrian walk that connects to Sky Ridge Avenue and Ridgeway Parkway with seating areas along it and planting beds to the east.

The plaza and turf areas have great views looking down on the Willow Creek native area and pedestrian boardwalk trail. A Rosetta Stone™ retaining walls with planting beds terrace down the slope from the upper park areas to the Willow Creek native area and the regional multi-use pathway that connect to

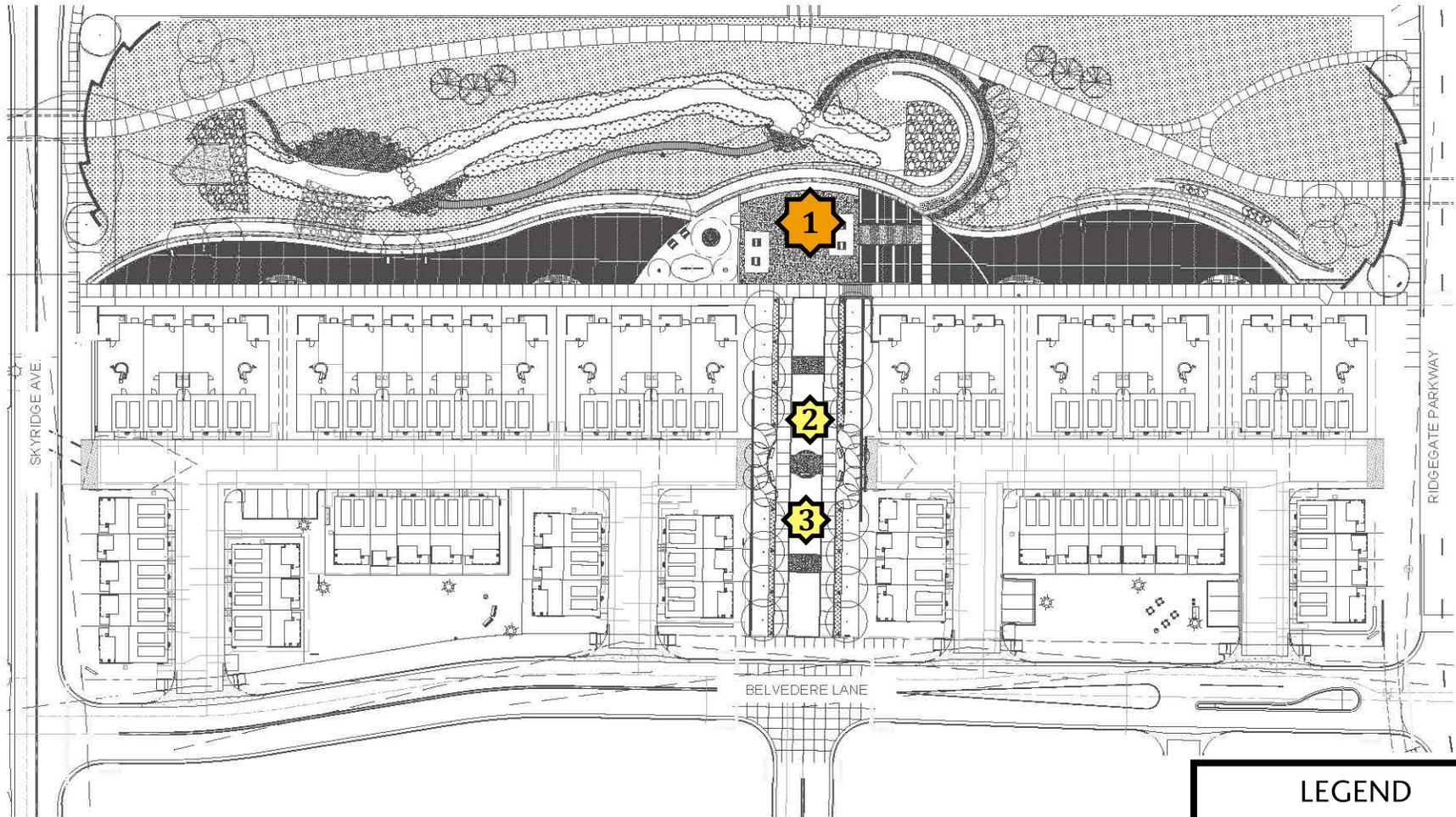
Belvedere Park and North Commons Park. A six foot wide boardwalk along Willow Creek is an educational adventure with two interpretive signs and two outdoor musical instruments for discovery play. The music instruments tie into the Art Center concept as they are interactive art for all age groups. Wayfinding and entry signage will tie in with Belvedere Park signage to create a common theme throughout RidgeGate.

The plant palette is majority drought tolerant plants near our native region and moderate and low water perennials and shrubs in the promenade perennial garden. The highest water consuming region is limited in application and only where found to be appropriate like in turf fields. It was an important initiative to put the plants in hydrozones linking plants with similar water needs near each other so we can incorporate an efficient and effective irrigation system into the park.



PROMENADE PARK

SCULPTURE MASTER PLAN



LEGEND

-  Primary Sculpture
-  Secondary Sculpture



CITY OF LONE TREE
STAFF REPORT

TO: City of Lone Tree Planning Commission

FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

DATE: February 17, 2016

FOR: February 23, 2016 Planning Commission Meeting

SUBJECT: RidgeGate Section 15, Filing 19 (Urban Villas)
Preliminary Plan
Project File SB15-98R

Owner:
RidgeGate Investments, Inc.
Darryl Jones
10270 Commonwealth Street, #B
Lone Tree, CO 80124

Representative:
Caisson Investments, Inc.
Jeffrey Willis
10630 E. Bethany Drive, Suite B
Aurora, CO 80014

Planning Commission Meeting Date:
City Council Meeting Date:

February 23, 2016
March 15, 2016

A. REQUEST:

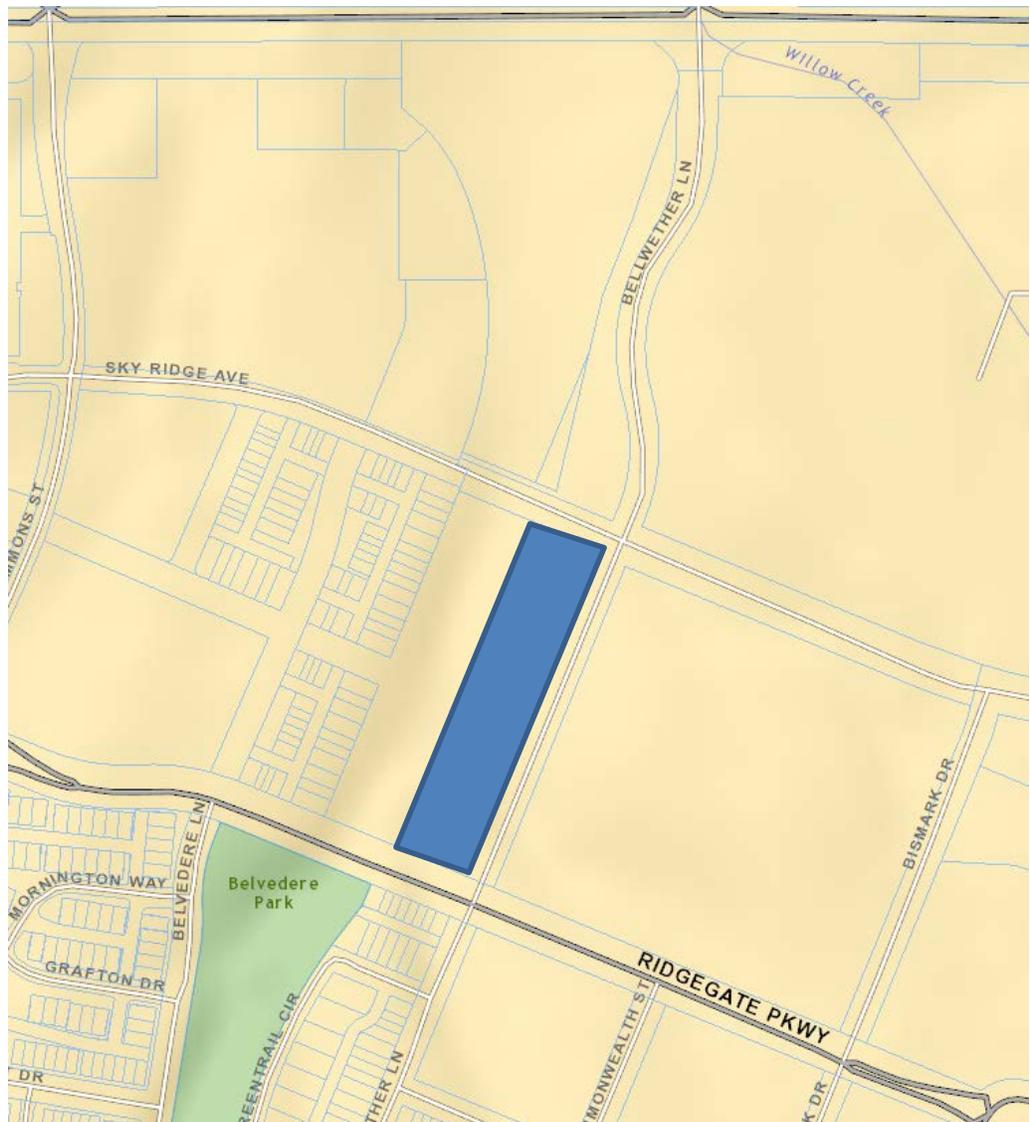
Preliminary Plan approval of 18 residential lots for single-family detached homes and 2 tracts on 3.01 acres.

B. LOCATION:

The site is located in RidgeGate, south of Sky Ridge Avenue; north of RidgeGate Parkway, west of Bellwether Lane (and vacant land owned by Charles Schwab), and east of Willow Creek (being planned currently for development of a park).

Area Zoning and Land Use

Direction	Zoning	Land Use
North	RidgeGate PD	Commercial mixed-use planning area, undeveloped
South	RidgeGate PD	Residential mixed-use planning area, townhomes
East	RidgeGate PD	Commercial mixed-use planning area undeveloped (owned by Charles Schwab)
West	RidgeGate PD	Open space planning area, Willow Creek (site of future park)



C. BACKGROUND:

The purpose of a Preliminary Plan is to examine the feasibility of a project in keeping with the City's Comprehensive Plan, Zoning Code, Subdivision Code, City development standards, and in this case, the RidgeGate Residential West Village Sub-area Plan. This process is also intended to identify any potential issues that may need to be addressed prior to Final Plat approval.

Applications for Final Plat (the next step in the review process) will be forwarded onto the City Manager for consideration and final action, if it is determined to be consistent with the approved Preliminary Plan. If not determined consistent, it will be scheduled for final consideration and action by the City Council.

This project does not require a Site Improvement Plan, as all homes are proposed as single-family detached products. Conceptual home elevations and landscape plans will be shared with the Planning Commission and City Council for information only.

Single-family detached projects in RidgeGate are subject to review by the RidgeGate Design Review Committee (DRC). That committee works closely with the applicant to review detailed aspects of the project that go beyond the typical review for single-family residential plats (i.e., landscaping, building elevations, lighting, etc.). Staff has also been involved at the DRC level to ensure coordination and resolution of key issues. The applicant has made a number of changes to the project in response to DRC and staff comments, particularly with regard to home design, site layout, and landscaping. The minutes of the DRC meetings are attached. Staff supports the progress that has been made through that process, particularly with regard to the quality and character of the project.

The project will be developed and built by Berkeley Homes in partnership with Harvard Communities. This is the same builder/developer team that developed ParkSide and NorthSky in RidgeGate (also single-family detached development).

D. SITE CHARACTERISTICS

The site has been used to stockpile fill dirt (dirt that will be hauled away prior to development), and consists largely of dirt and some native grasses. Elevation contours range from approximately 5,980 feet to 5,960 feet above sea level, with the site generally higher along the southern portion and sloping down towards the northern perimeter.

SERVICE PROVIDERS:

Water:	Southgate Water District
Sanitation:	Southgate Sanitation District
Police:	Lone Tree Police
Fire:	South Metro Fire Rescue Authority
Metro District:	Rampart Range Metropolitan District

E. DESCRIPTION:

Conceptual design overview. The Preliminary Plan proposes 18 residential lots on 3.0 acres at a gross density of 6 dwelling units per acre. With the exception of the lots on the north and south of the project, the lot sizes are 41-feet wide by 110-feet deep, with 3-story building plans that provide for garages on the first floor level. Buildings will be sited to provide a defined edge for the adjoining future park in Willow Creek, consistent with the Sub-Area Plan, and pedestrian access is provided to the future park at the center of development. Snow storage will be accommodated on the linear landscaped area between the motor court and Bellwether Lane in an area that does not conflict with pedestrian walkways and building entrances.

Conceptual renderings are provided in the packet that show general building design and site/landscaping enhancements. These are provided for information only, and are not part of the Preliminary Plan approval by the Planning Commission or City Council for single-family detached projects.

Compliance with Zoning. The site is zoned Planned Development (PD) under the RidgeGate 4th Amendment Development Plan. The site is within a Commercial Mixed Use (C/M-U) Planning Area 2 of that PD, which allows for residential development. The PD establishes a 70-foot tall, 5-story building height maximum; proposed here are 3-story homes that are compliant with that standard. This site is also adjacent to a View Corridor depicted on the PD, with provisions that call for surface parking to be located next to this area and adjacent buildings to be “stepped.” As proposed, parking is located within garages and within the motor court between the homes and Bellwether Lane. This is a logical location for parking given the site layout, and allows homes to take advantage of public spaces and distant views. Moreover, development has been designed to be stepped back primarily through the use of stepped retaining walls and stepped architecture on the rear.

The RidgeGate Residential West Village Sub-area Plan calls for increased densities when located within a one-quarter mile radius of neighborhood parks, employment centers and other activity nodes to “concentrate

pedestrian activity and increased vitality of these areas.” While this area is planned for single-family detached development, these, relatively narrow lots, provide a higher level of compact development in this area, when compared to larger lots in many traditional single-family detached neighborhoods.

Compliance with the Comprehensive Plan. The City’s Plan encourages compact, mixed-use, pedestrian-friendly development. This small development area is located in an area that includes a major office campus, residential and commercial development. The site affords pedestrian access to the future park in Willow Creek, via trails and streets to nearby commercial development in Lincoln Commons, and to the Arts Center and future Lone Tree Library nearby. Facilities and services will be efficiently serve this project by virtue of its proximity to recreational amenities, health care, fire, police, and transportation.

Access and parking. Vehicular access points are provided via two access drives off Bellwether Lane. Minimum parking requirements for single-family uses are satisfied. The minimum standard is 2 spaces per dwelling, and this plan provides for two-car garages, plus parking will be accommodated along the motor court and Bellwether Lane.

Parks and recreation. The project is located immediately east of Willow Creek. This segment of the creek is currently being designed for park uses. Trails in this park will allow residents to not only access the bluffs, but will also provide access across the future pedestrian bridge over Lincoln Avenue to a network of trails throughout the City and Metro Area.

Local park land dedication requirements for this project will be satisfied via cash-in-lieu in the amount of \$16,388. These funds will be required prior to the first building permit being issued in this development. Such will be made a condition of approval of this Preliminary Plan and the Final Plat for this development.

Fences and walls. Four-foot tall fencing is proposed in the front yard to create a private patio and also in the rear yards along the property line. Fencing next to retaining walls came up as a question by Planning Commissioner Heskin. Fencing is not required by the International Building Code (IBC) above retaining walls, unless they are located next to a walkway. In speaking with Lone Tree’s Chief Building Official, Matt Archer, a 4-foot fence, though not required, is recommended in this case. There are examples of where such fencing exists in the rear yard adjacent to retaining walls in Montecito.

The retaining walls will be constructed and landscaped by the developer. It has not been determined at this point if the Metro District or the HOA will maintain the retaining walls.

Water and sewer service. Staff received a letter from Southgate Water and Sanitation District stating the project site is within the District boundaries and is eligible for service.

School District. School dedication requirements have been met for the entire RidgeGate project, as confirmed by the School District.

F. REFERRALS:

The application was sent out on referral to Homeowner Associations (HOAs) in the City and referral agencies. The RidgeGate West Village HOA responded with no comment. Comments from the service providers indicated no major issues.

A letter was received from Planning Commissioner Heskin with a number of questions and concerns. His letter is included in this packet, along with the applicant's response. With regard to questions directed to Staff in Commission Heskin's letter with respect to fencing along retaining walls and precedent for such walls/fencing in RidgeGate, the staff response is found in the above section of this report on walls and fences.

Public Works has a number of minor issues that will need to be addressed in the Final Plat stage of the process. This will be added as a condition of approval.

G. STAFF FINDINGS AND RECOMMENDATION

Staff finds that the application:

- Is in conformance with the Lone Tree Comprehensive Plan, and the City's Zoning Code and the Subdivision Code regulations for the Preliminary Plan stage of review.
- Complies with the City's Comprehensive Plan and the RidgeGate Residential West Village Sub-Area Plan standards.

Staff recommends approval of the Preliminary Plan conditioned on:

- Final approval by the Lone Tree Public Works Department

- A cash-in-lieu of local parks in the amount of \$16,388, required prior to the issuance of the first residential building permit for this development.

H. ATTACHMENTS:

1. Development Application
2. Letter of Authorization
3. Narrative
4. RidgeGate Design Review Committee Minutes
5. Referral Comments Including Applicant Responses
6. Preliminary Plan
7. Conceptual graphics

END



Development Application

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

303.708.1818 | www.cityoflonetree.com

CITY OF LONE TREE

Project Description	SINGLE-FAMILY DETACHED DEVELOPMENT AT RIDGEGATE FILING 19, LOT 3
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Instructions	For Office Use Only
<ul style="list-style-type: none"> ✓ All applications must be typed or legibly printed ✓ All applicable sections must be completed ✓ All required attachments must be included ✓ This application does not cover Engineering, Building, and/or Public Works submittal requirements and fees 	Project Name <i>Ridge Gate Sec 15, Flg 19, Lot 3 (Urban Villas)</i> Job # <i>SB15-98R</i> Date <i>12/4/15</i> Planning Fee <i>\$1,000</i> Check # <i>6062</i>

Application Type	Location
<input checked="" type="checkbox"/> Preliminary Plan <input type="checkbox"/> Rezoning <input type="checkbox"/> Final Plat <input type="checkbox"/> Site Improvement Plan (SIP) <input type="checkbox"/> Re-Plat <input type="checkbox"/> SIP Amendment <input type="checkbox"/> Lot Line Adj. <input type="checkbox"/> Other	Address RIDGEGATE FILING 19, LOT 3, LONE TREE, CO Approximate Location State Parcel ID 2231-152-18-003 Acreage 3.01 AC

Zoning	Legal Description
Current Zoning or PD Name RIDGEGATE	Subdivision Name RIDGEGATE
Proposed Zoning if Rezoning	Filing # 19 Block # 15 Lot # 3-A

Utility Providers	
Fire District SOUTH METRO	Water SOUTHGATE WATER AND SANITATION Electricity XCEL
Metro District RIDGEGATE	Sewer SOUTHGATE WATER AND SANITATION Gas XCEL

Property Owner of Record	Applicant if Different than Owner
Owner Name DARRYL JONES (VICE PRESIDENT/ DEVELOPMENT MANAGER) Company RIDGEGATE INVESTMENTS, INC. C/O COVENTRY DEVELOPMENT CORPORATION Address 10270 COMMONWEALTH STREET SUITE B, LONE TREE, CO 80124 Phone 720-279-2581	Owner Name JEFFREY D. WILLIS (PRESIDENT) Company CAISSON INVESTMENTS, INC. DBA BERKELEY HOMES Address 10630 EAST BETHANY DRIVE SUITE B, AURORA, CO 80014 Phone 303-756-8500 Email JWILLIS@LIVEBERKELEY.COM
Owner Signature  Date <i>12-3-15</i>	Applicant Signature  Date <i>12/4/15</i>

Letter of Authorization

Regarding Development Applications for Land Use Entitlements
(Form must be Filled Out if the Applicant is not the Property Owner)

City of Lone Tree
9220 Kimmer Drive #100
Lone Tree, CO 80124

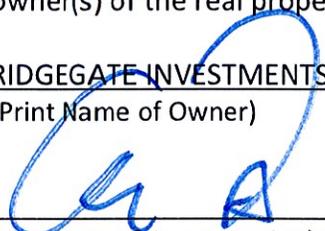
RE: Property Address: FILING 19, LOT 3, RIDGEGATE, LONE TREE, CO

To Whom It May Concern:

I/We, the owner(s) of the above described real property, authorize JEFFREY D. WILLIS AS PRESIDENT OF CAISSON INVESTMENTS, INC. DBA BERKELEY HOMES to act as an agent on my/our behalf for the purpose of creating, filing and/or managing an application for SINGLE-FAMILY DETACHED DEVELOPMENT (type of development or permit application).

The undersigned hereby certifies to being the fee owner(s) or legally authorized representative of the fee owner(s) of the real property described above.

RIDGEGATE INVESTMENTS, INC., A DELAWARE CORPORATION
(Print Name of Owner)



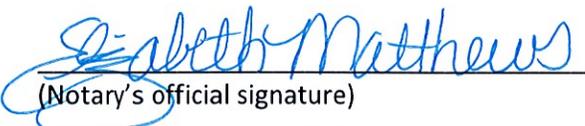
(Signature of Owner or Authorized Representative)

State of Colorado

County of Douglas

The foregoing instrument was acknowledged before me this 3rd day of December, 2015

by Keith D. Simon



(Notary's official signature)

5-12-2016

(Commission expiration date)

NOTARY SEAL

ELIZABETH MATTHEWS
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20004014222
COMMISSION EXPIRES 05/12/2016



February 12, 2016

**Development Proposal Narrative
RidgeGate Filing 19, Lot 3-A, Lone Tree, Colorado**

Berkeley Homes in partnership with Harvard Communities proposes the development of the 3.01 acre Lot 3-A parcel for an exciting new neighborhood at RidgeGate. The site is adjacent to the Schwab campus to the east and the Belvedere Park extension to the west with close proximity to the retail/restaurant district of RidgeGate.

The “villas” will be a great addition to the RidgeGate community. The concept consists of eighteen (18) single-family detached homes featuring sophisticated, three-story architecture with a modern feel and outdoor living areas off the back. Each home will have a minimum 2-car garage. The architecture acknowledges some of the scale and detail of the commercial buildings in the area.

The site plan provides a richly detailed private court while maximizing views and access to the park and trails. The site is in the Planned Development District View Preservation Overlay Zones 2 and 3. Zone 2 has a 70’ average height limitation (5 story) and Zone 3 has a 145’ average height limitation (11 story). In considering the view corridor, this development is well below the height limitation; and the west side/rear of the development is designed to “step away” from, not obstruct, and preserve the view corridor. This is achieved through “stepped” retaining walls, minimum setbacks for the building structure, and “stepped” architecture on the rear, all of which create an appealing transition with the adjacent open space. The homes are projected to be between 2,900 and 3,200 square feet with pricing anticipated in the \$700,000 to \$800,000s.

Development is anticipated to begin summer 2016. This site is vacant land and has been used as a location to place fill dirt. The site is open with a mixed vegetative cover of native grasses. It is anticipated that development will have no effect on cultural, archaeological and historical resources; and will not impact important wildlife habitat areas.

**RidgeGate
Residential Design Review Committee
Harvard Communities
Lot 3, Filing 19 - PreSubmittal
September 15, 2015**

In attendance for the Design Review Committee:

Jon Hindlemann, Hindlemann Architecture
Craig Karn, Consilium Design
Steve Lane, Kephart Architects
Keith Simon, RidgeGate
Kevin Yoshida, The Abo Group

In attendance for Harvard/Berkeley:

John Keith, Harvard Communities
Chase Turner, Berkeley Homes
Jeff Willis, Berkeley Homes
Scott Sudik, Godden Sudik Architects
Alex Jewett, Godden Sudik Architects

Applicant Presentation:

The applicant introduced the new project in RidgeGate. The neighborhood is Lot 3 of Filing 19. It is a small, 3 acre, rectangular piece of land between the New Town & Lincoln Commons Park project to the west, Charles Schwab's future development on the east, RidgeGate Pkwy to the south and Sky Ridge Ave to the north. 18 3-story, single family detached homes are planned ranging from 2,500 square feet to 3,000 square feet. Lot sizes will be approximately 4,700 square feet (41 feet by 115 feet). Current architectural concept is San Francisco, row home style with front loaded garages oriented to the east. Garages are 8-10 feet back. There are six elevation options (three floor plans and two elevations each) in the current concept with commercial detailing to help transition between the residential neighborhood and the Schwab and Lincoln Commons commercial areas. Low pitched roofs are planned to give a flat roof effect. Entries into the units will be varied. Main floor will be above the garage and current ideas include an elevator option for those looking for an alternative to stairs.

DRC Discussion:

There was discussion regarding the 30 foot private drive court and sidewalk in front of the homes. The DRC asked if the internal site sidewalk was necessary and to consider narrowing the court or creating a flush sidewalk to allow for more front of lot use by the residents. The DRC asked the applicant to consider the possibility of side yard zero lot lines and opportunities to increase use of side yards. Architectural discussion included varying roof forms, the continuity of materials around all three sides, break points for materials and side elevation conditions. Steve Lane suggested a 2/3 to 1/3 material usage.

The meeting ended at 4:30pm. The applicant was approved to the Schematic Design phase of the Design Review process.

**RidgeGate
Residential Design Review Committee
Harvard Communities
Lot 3, Filing 19 – Schematic Design
December 14, 2015**

In attendance for the Design Review Committee:

Jon Hindlemann, Hindlemann Architecture
Steve Lane, Kephart Architects
Dick Marshall, landscape architect
Keith Simon, RidgeGate

In attendance for Harvard/Berkeley:

John Keith, Harvard Communities
Rich Laws, Berkeley Homes
Chase Turner, Berkeley Homes
Jeff Willis, Berkeley Homes
Alex Jewett, Godden Sudik Architects
John Prestwich, PCS Group

In attendance for the City of Lone Tree:

Jennifer Drybread

Applicant Presentation:

The Design Review Committee reviewed changes made by the applicant since the PreSubmittal meeting in September. Modifications include:

1. Added hardscape pavers to the streets
2. Added a sidewalk connecting the site to Bellwether
3. Locations for mail kiosk and art
4. Added monuments at the two entries
5. Fenced the courtyards with a cross use easement.
6. Added pedestrian lighting
7. Deleted fencing along street side berm
8. Straightened and tiered the rear/park side retaining wall

DRC Comments:

Site Plan/Landscape Plan

- Courtyard fencing needs more attention. Consider corner masonry posts (1 to anchor the gate and 1 to anchor the column) or beefier steel. Pickets protruding above the top rail is not encouraged.
- Study adding the Allura product to the top railing of fence.
- Consider a strong hedge row to screen cars rather than the berm.
- Provide detailed landscape plans at next meeting.
- Confirm snow storage locations.
- Vary tree species in the builder areas of the landscape plan.

- Coordinate landscape plans with Rampart Range Metro District. Also, coordinate with RRMD regarding extending the park side retaining walls into District property.
- Provide street scene elevation of rear of homes from park view.
- Provide wall material details. Consider matching the wall material to the ashlar sandstone being used in the park.

Architecture

- Finalize and provide garage door details.
- Provide a materials and sample board at next meeting
- Provide window details
- Pre-design optional deck stairs for DRC review and approval
- Consider using simplicity corners
- Consider ways to punch through the wall mass side elevations
- Determine and study which elevations will require enhanced sides and provide details.

Plan 1:

- Pull the stone masonry up or change the width of the wood band
- The DRC prefers the flat roof
- Scale of the eave fascia feels minimal as compared to the other plans.
- Continue the masonry along the blank walls of the entry stairs
- Recess window or create shadow lines on the garage elevation
- The supporting deck columns are not symmetrical. Consider using masonry or making both columns of the same material.
- Add masonry to the bump out of side elevation

The meeting ended at 12:15pm. The applicant was approved to the Design Development phase of the Design Review process.



December 1, 2015

John Keith
Harvard Communities
9033 E. Easter Place, Suite 200
Centennial, CO 80112

Rich Laws
Berkeley Homes
10630 East Bethany Drive, Suite B
Aurora, CO 80014

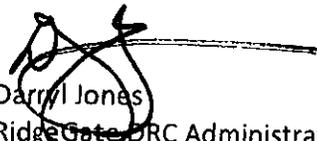
RE: Harvard / Berkeley Filing 19, Lot 3 - RidgeGate

Dear John and Rich:

The RidgeGate DRC has reviewed the Schematic Design (SD) submittal for the proposed project in RidgeGate Filing 19, Lot 3 and approves the site plan layout concept subject to minor additional refinements to the plan. Further review of the site grading, retaining walls, walls and/or fencing, a lighting plan and a developed landscape plan are required with your next submittal in the Design Development (DD) stage. The DRC has not approved the architectural at this stage.

This approval allows your project to be submitted to the City of Lone Tree for review of the preliminary (plat) plan. Please advise the RidgeGate DRC should you have any questions.

Regards,


Darryl Jones
RidgeGate DRC Administrator

Jennifer Drybread

RidgeGate West Village HOA

From: Linda Langewisch <llangewisch@msiho.com>
Sent: Tuesday, February 02, 2016 1:17 PM
To: Jennifer Drybread
Subject: Proposal for Single Family Homes

Good Afternoon:

The HOA Board has no comments for the single family home development proposed by Berkeley Homes.

Thank you,

Linda Langewisch, CAM, CMCA

Community Manager

MSI, LLC

6892 So. Yosemite Court Suite 2.101

Centennial, Co 80112

720.974.4273

Fax 303.751.7396

LLangewisch@msiho.com

✓

Jennifer Drybread

From: Denslow, Denise <Denise.Denslow@claconnect.com>
Sent: Thursday, January 21, 2016 12:16 PM
To: Jennifer Drybread
Subject: RE: [External] City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Rampart Range supports this project and will coordinate infrastructure with Berkeley Homes where necessary.

 CliftonLarsonAllen

Denise D. Denslow, Principal
Outsourcing, CliftonLarsonAllen LLP
Direct 303-265-7910, Mobile 303-903-9760
denise.denslow@CLAconnect.com
Main 303-779-5710 x7910, Fax 303-779-0348
8390 E Crescent Parkway, Suite 500, Greenwood Village, CO 80111
CLAconnect.com



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Wealth Advisors, LLC, an SEC-registered investment advisor.*

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CliftonLarsonAllen LLP

From: Jennifer Drybread [mailto:Jennifer.Drybread@cityoflonetree.com]
Sent: Thursday, January 21, 2016 9:28 AM
Subject: [External] City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Greetings, attached is a referral for your review for RidgeGate, Sec.15, Filing 19, Lot 3 (Urban Villas), Project File SP15-98R. The proposal is a Preliminary Plan application for 18 single-family residential lots on 3 acres. The property is located immediately west of Bellwether Lane, between RidgeGate Parkway and Sky Ridge Avenue, in RidgeGate.



January 25, 2016

Jennifer Drybread
Senior Planner
City of Lone Tree
Lone Tree Community Development Department
9220 Kimmer Drive #100
Lone Tree, CO 80124

Re: RidgeGate Section 15, Filing 19, Lot 3, Preliminary Plan, Project File SP15-98R

Dear Ms. Drybread;

We are in receipt of your request for comments on the above referenced proposal. Thank you for the opportunity to comment on the proposed residential development. On behalf of DCSD, we have no objections to the proposal. All land dedication and capital mitigation requirements have been met with the Master Plan.

Sincerely,

SCO Consulting, LLC

A handwritten signature in cursive script that reads "Steve Ormiston".

Steve Ormiston
Consultant to DCSD

✓
sent to
appl.



SOUTH METRO FIRE RESCUE

LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 www.southmetro.org FAX: 720.989.2130

Jennifer Drybread
City of Lone Tree
9220 Kimmer Dr Suite 100
Lone Tree, CO 80124
303-708-1818

File #/Name: Urban Villas at Ridgeway (Section 15, Filing No. 19 Lot 3)
Project Type: **Site Improvement Plan**

Plan reviewer: Jeff Sceili
Review date: 1/28/2016

Narrative: New detached single family homes, 18 lots.

Code Reference: 2012 International Fire Code, 2012 International Building Code

South Metro Fire Rescue's Life Safety Division has reviewed the above project and has approved the plans.

UNRESOLVED ISSUES:

Add an additional fire hydrant on the north end of parking strip.

Required fire flows are 1000 GPM per fire hydrant due houses being less than 3600 ft²

Fire lane clear space shall be 20' minimum and run the length of the parking area. This appears to be 20 feet, but no dimension or note calls out width.



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3524
donna.l.george@xcelenergy.com

February 10, 2016

City of Lone Tree Community Development Department
9220 Kimmer Drive, #100
Lone Tree, CO 80124

Attn: Jennifer Drybread

Re: RidgeGate S15 F19 L3 - Urban Villas, Case # SB15-98R

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the plans for **RidgeGate S15 F19 L3 - Urban Villas**. The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121** and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center, at 1-800-922-1987** to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



February 10, 2016

Delivered via email: jennifer.drybread@cityoflonetree.com

Ms. Jennifer Drybread
Planning Division
City of Lone Tree
9220 Kimmer Drive
Lone Tree, CO 80124

**RE: Referral for Urban Villas, Lone Tree
Ridgegate, Section 15, Filing 19, Lot 3-A
SPN: 2231-152-18-003**

Dear Ms. Drybread,

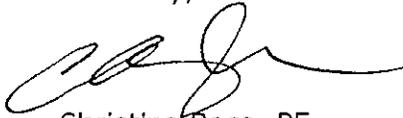
Thank you for providing Southgate Water & Sanitation Districts (Southgate) the opportunity to comment on the subject referral, which was received on January 21, 2015. The subject property is within the boundaries of Southgate and is serviceable through Southgate. Service connections to Southgate's water distribution and wastewater collection systems may be made only after proper application to Southgate and are subject to the following conditions. Southgate comments are as follows:

1. Proposed water and sewer infrastructure design was not reviewed with this submittal – water and sewer main extensions, fire hydrants, and water and sewer service plans, with applicable fees, must be submitted to Southgate directly for review and approval prior to construction. The design and construction of water and wastewater systems or facilities shall be in strict accordance with Southgate's Rules & Regulations and Design & Construction Standards/Specifications. Information on the review process and submittal requirements can be found on Southgate's website: www.southgatedistricts.org
 - a. Southgate expects new service lines, and hydrants if applicable, to connect to existing water and sewer mains located in Bellwether Lane, and that new water and sewer main extensions are not necessary to serve this development.
2. The cost of providing services to the property, including, and not limited to, System Connection Charges, system extension projects, potential system impact studies, potential system impact fees, and potential system improvements, will be borne by the property owner.

3. The legal ability to provide service continues to exist at the time of connection and has not been limited, restricted or suspended by the action of a governmental entity, agency or other regulatory body which would diminish Southgate's capability to provide such service.
4. Contact Southgate's Engineering Staff as soon as possible to discuss the project and establish project-specific requirements.

You may contact me at cbaca@southgatedistricts.org or (303) 713-7746 with questions.

Sincerely,



Christina Baca, PE
Engineering Manager
Southgate Water & Sanitation Districts

cc: David Irish, File



9222 Teddy Lane
Lone Tree, Colorado 80124



Ph: 303-662-8112
Fax: 303-792-9489
www.cityoflonetree.com

CITY OF LONE TREE

Department of Public Works

January 26, 2016

City of Lone Tree
Jennifer Drybread
9220 Kimmer, Suite 100
Lone Tree, CO 80124

Re: SP15-98R (Urban Villas) Preliminary Plan
RidgeGate Sec 15, Fil. 19, Lot 3

Project No. 061-427

Dear Jennifer:

We have reviewed the Preliminary Plan referral for the above referenced Project.

The referral package submitted and reviewed consists of the following documents:

- Preliminary Plan, (4 sheets), dated January 15, 2016, by Calibre Engineering, Inc.
- Preliminary Drainage Report, dated November 2015, by Calibre Engineering, Inc.
- Preliminary Geotechnical Investigation, dated November 10, 2015, by CTL | Thompson, Inc.
- Narrative letter & application.

Our comments are provided below:

General Comments

1. The Public Works/Engineering Preliminary Plan Review fee for this Project, per the adopted standard review fee schedule is \$2,500.00. That payment has already been submitted.
2. This letter addresses engineering review comments. A separate referral review letter addressing any Technical Preliminary Plat comments will be submitted by Mike Cregger.
3. While not required at this time, if and when the Project moves forward and prior to construction initiation, a Subdivision Improvements Agreement (SIA) is anticipated to be required. The SIA standard form is available for reference on the City website. The surety referenced in the SIA would cover all Project improvements to be installed by the developer that are located within the public right-of-ways of Ridgegate Parkway, Bellwether Lane and/or Sky Ridge Avenue. (e.g. curb returns, drive approaches, sidewalk, etc.).
4. Also, while not required at this time, if and when the Project moves forward and prior to construction initiation, a Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans / GESC Report and at least recommendation of Final Plat approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.

5. Since this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
6. Only those sheets/pages within the reviewed documents for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents. The applicant's professional(s) should verify that the item(s) are addressed throughout the related Project documents consistently, as applicable.

Specific Comments

Preliminary Plan Submittal:

Sheet 1 – Title Sheet

1. Streetscape Diversity Requirements – Encroachments Note B, 2nd line: Revise "...eight (8) into..." to "...eight (8) feet into ...".
2. The Typical Private Drive Section shows an attached 4-ft wide sidewalk. As shown on Sheet 2, this walk extends across the full width of the site, and appears to tie into the public sidewalks along Sky Ridge Avenue and Ridgegate Parkway. Typically, minimum width to provide adequate turning movement(s) for ADA accessibility is 5 (foot). We would recommend consideration to make this proposed attached walk 5-foot wide.

Sheets 2 – 4: No additional comments at this time.

Preliminary Drainage Report:

1. Pg. i: Add Owner/Developer's Certification
2. Pg. 1
 - a. The street adjacent to and east of the proposed site is Bellwether Lane, not Heritage Hills Circle. At least three (3) references to the street as Heritage Hills Circle are included on this page.
 - b. Section 1.A - 4th bullet: This information appears to be a carryover from another drainage report, is not applicable to this Project and should be eliminated.
 - c. Section 1.B - 2nd bullet: "... seeding with..." perhaps should be "...seeded with...".
 - d. Section 1.B – 8th bullet: "... area indications ..." perhaps should be "... area indicates...".
3. Pg. 2
 - a. Section II.A – 1st bullet: This bullet references (appropriately) the "*Master Drainage Plan for Ridgegate-Willow Creek Drainage Basin*" for the master planned drainage allowance(s) for the overall site. The "*Phase III Drainage Report for Bellwether Ln. and Sky Ridge Ave.*" (Merrick, January 2013) also should be referenced, for the appropriate design considerations relative to drainage into Bellwether Lane from the site.
 - b. Section II.B – 3rd bullet: Inlet calculations indicate the existing 5 ft. Type R inlet at the west side of Bellwether Lane, just south of Sky Ridge Avenue, does not have adequate interception capacity for the existing Bellwether Lane drainage plus the additional drainage from the on-site Drainage Basins A & B. The Project will need to replace this existing inlet with a 10 ft. Type R inlet. The narrative in

the Report should be updated accordingly. (Currently, Appendix C – Hydraulic Calculations are not provided. Instead, a note is provided in Appendix C stating those calculations will be included in the Final (Phase III) Drainage Report. At that time, the calculations are anticipated to document the need for the upsizing of this existing Type R inlet.)

- c. Section III A: This report is a Preliminary (or Phase II) Drainage Report, not a Phase III Report as stated.
4. Pg. 3 – Section IV.B, 2nd bullet, 2nd line: “This ponds was...” should be “This pond was...”.
5. Pg. 4 – Section VI: The discussion of proposed BMP’s that would be implemented has been omitted. If the intent is that this discussion will be added at the Phase III Drainage Report level, then so state. Otherwise, please add some appropriate discussion at this time.
6. Pg. 4 – Section VIII: “...will be no addition...” perhaps should be “...are no additional...”.
7. Appendix A – Vicinity Map: The Filing 1 (Century Tract GG development) does not exist, has not been approved at this time, and should be removed from the Vicinity Map.

Preliminary Geotechnical Report:

1. The street adjacent to and east of the proposed site is Bellwether Lane, not Heritage Hills Circle. At least three (3) references in this Geotechnical Report (two on Pg. 2 & one on Fig. 1 - Locations of Exploratory Borings) reference the street as Heritage Hills Circle.

CONCLUSION

The general concept of the proposed Urban Villas Development presented in Preliminary Plan SB15-98R appears acceptable to Engineering/Public Works (subject to any separate Technical Plat Referral comments by Mike Cregger). Upon appropriate resolution of the issues noted, we have no objection to recommendation of Preliminary Plan approval.

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,



Gregory A. Weeks, PE, LEED ® AP
City Engineer



CITY OF LONE TREE

Public Works Department

9222 Teddy Lane
Lone Tree, CO 80124
(303) 662-8112 Fax: (303) 792-9489

February 10, 2016

Jennifer Drybread
City of Lone Tree Community Development Dept.
9220 Kimmer Drive, Suite 100
Lone Tree, CO 80124

Via: e-mail

Re: Ridgeway – Section 15, Filing No. 19, Lot 3-A (SB15-98R)
TTG Proj. No. 061-427

Dear Ms. Drybread,

On behalf of the City of Lone Tree, we have completed our review of the Preliminary Plan referenced above and have the following comments for the applicant (note: any references to Articles and Sections refer to the City of Lone Tree Subdivision Regulations).

General

- 1) The borders on the drawings as they currently are drawn are fine, but please note that in preparing the final plat you will have to leave a one (1) inch border along all sides of all sheets. [Article V, Section 17-5-90 (a) (2)]

Sheet 1

- 2) Please correct the Lot number in the title, in the title block at the bottom of each sheet and in any other reference to the original Lot number to: 3-A. (per the recorded Plat Correction Certificate)
- 3) Please correct the acreage of the site in the title to: 3.01. (per the recorded Plat Correction Certificate)
- 4) Please revise the Planning Project Number to: SB15-98R.
- 5) The areas and percentages in the Tract Summary and Development Statistics tables will have to be revised, or confirmed, due to the change in the boundary on Sheets 2, 3 and 4, per the boundary of the Lot, shown in the recorded Plat Correction Certificate.
- 6) Please confirm the information in the Development Standards table as it currently doesn't match the lot information shown on Sheet 2.

Sheet 2

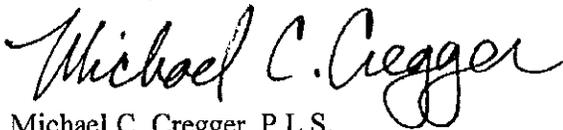
- 7) Please correct the boundary of the site (at the Northwest corner) per the recorded Plat Correction Certificate which will require changing the acreage on Lot 18 and Tract C.
- 8) The acreages of Tracts A and B don't match those shown in the Tract Summary on Sheet 1. Please correct.
- 9) Please add the recording information to the labels of the existing easements, including the storm easement that appears to exist in the Northwest corner of Lot 18, as indicated on the Plat of Filing No. 19. [Article III, Section 17-3-60 (2) e.]

Sheets 3 & 4

- 10) See previous comments regarding Title and titleblock.

Please have the applicant address the above comments and submit a print or .pdf file copy of the Preliminary Plan reflecting the revisions to my attention at the address on page 1 or to mcregger@ttgcorp.com . Feel free to call me with any questions or comments at 303-662-8112.

Respectfully,



Michael C. Cregger, P.L.S.
TTG Engineers, Inc.

Enclosure(s):
Referral Request Form

cc: Greg Weeks, P.E. -- Engineering Dept.

Jennifer Drybread

From: Daryl Heskin <daryl@ccai-colorado.com>
Sent: Friday, January 29, 2016 9:47 AM
To: Jennifer Drybread
Subject: Urban Villas
Attachments: Urban Villas Filing 19 Lot 3 Retaining Wall Questions.pdf

Jennifer,

I am following up on our conversation Tuesday. Please review the attached drawings/questions/comments regarding the buildings; how they may or may not affect the grading and the need for all of the walls shown.

I have one other question. I noticed that the City Council Agenda for next week's meeting includes a TMA Corridor Study Presentation during the Council's study session. May I attend to hear that presentation?

Thanks for your help.

Best regards,

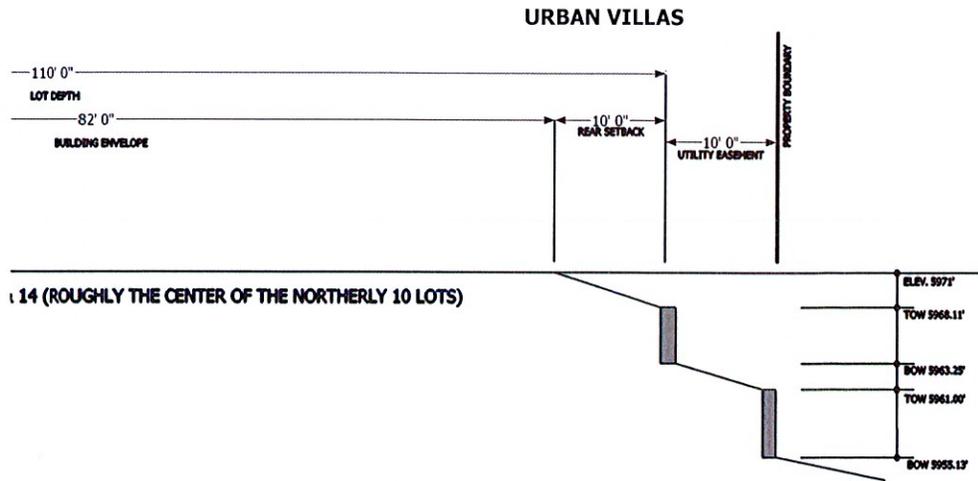


Daryl Heskin
Commercial Construction & Architecture
9605 S. Kingston Court, Suite 180
Englewood, CO 80112

daryl@ccai-colorado.com
www.ccai-colorado.com

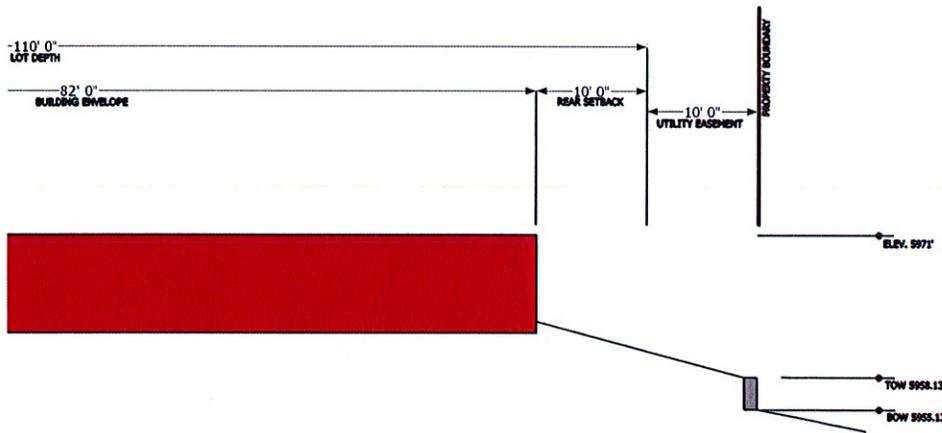


Graphic + comments from Daryl Heskin



The above cross section of the site shows a section between lots 13 & 14 which are in the approximate center of the northerly building. The drawing is to scale and shows the steep grades in the "back yard" and in the utility easement.

The grade 5971' comes from the front of the unit at property line. I had to assume that it is somewhere near the garage/first floor level.



The lower drawing shows same cross section except the lower drawing shows a unit with a lower level reducing the height of the retaining walls.

The Development Proposal Narrative in the 3rd paragraph states:

".....and the west side/rear of the development is designed to "step away" from, not obstruct, and preserve the view corridor. This is achieved through "stepped" retaining walls, minimum setbacks for the building structure and *"stepped" architecture on the rear*, all of which create an appealing transition with the adjacent open space."

Admittedly my cross second section takes the use of the "building as a retaining wall" to an extreme. It is meant only to illustrate my point. I chose a section in the middle of the north building block because grades for the retaining walls were given at the location between lots 13 & 14. The ends of buildings were avoided because they don't always represent a typical condition.

With that said; my comments/questions are:

Are there elements of the building design that create the transition to the outside and what are they? Do they affect the grade of the slope or is there an opportunity to have them effect the grade; thereby reducing the slope and height of the retaining walls:

Are there proposed to be any type of barrier (landscaping or other) on or near the retaining walls?

The IBC doesn't, to my knowledge, cover conditions requiring guard rails except those next to improved surfaces and walk-ways, ramps etc. Are there any other code or local ordinances that do address these situations? The retaining walls here do not exceed 6' which is the cause for some concern but obviously not as concerning as higher walls. I may be over-reacting but in the case of older people or children I do have a concern.

Has there been any precedence set by other projects that have historically addressed this issue?

Jennifer Drybread

From: Chase Turner <cturner@liveberkeley.com>
Sent: Friday, February 05, 2016 12:03 PM
To: Jennifer Drybread
Subject: RE: Urban Villas

Jennifer,

We reviewed the comments from Mr. Heskin and appreciate his feedback.

Essentially, Mr. Heskin observes that if we incorporated walk-out basements in the homes, we could use the foundations to take up a lot of the grade on the site, and thus reduce the height of the retaining walls in the rear. He is correct, however, from the beginning of the development of our concept, we intended to build three-story homes, with slab on grade construction, without walk-out basements.

This building form was chosen for several reasons, including the narrow 40' lots which needed multiple story houses in order to get enough square footage; the 40' wide lots with front-load garages makes it difficult to get adequate square footage on the main floors, necessitating two floors above the ground floor; three-story homes take best advantage of the views to the west; the site requires a lot of costly dirt export, and walk-out homes would add to this already significant export quantity and cost. With this said, we've realized from the beginning that homes with walk-out basements would reduce the height of the walls in the rear, but we consciously chose not to build what would be four-story homes (three plus the walk-out level).

The cross section assumes the foundation of the building is on the rear setback line which will not be the case. The rear of the lot will be flatter than what he is showing (where he shows 5971, it should be more like 5969). The grade change on our plan is about 3' over 82' from front of unit to rear of lot (5971 near front of unit to 5968 at rear lot line).

See our comments (in red) to his questions below:

*Are there elements of the building design that create the transition to the outside and what are they? **The architecture incorporates large outdoor living areas that create the transition to the outside. Do they affect the grade of the slope or is there an opportunity to have them effect the grade; thereby reducing the slope and height of the retaining walls? They do not affect the grade or slope.***

*Are there proposed to be any type of barrier (landscaping or other) on or near the retaining walls? **There will be a fence along the rear lot line and there will be landscaping along the top of the retaining walls.***

*The IBC doesn't, to my knowledge, cover conditions requiring guard rails except those next to improved surfaces and walkways, ramps etc. Are there any other code or local ordinances that do address these situations? **To our knowledge, the Code does not require a fence or rail above the retaining walls or in the back yard, however, our plan includes a 4-foot tall metal fence with vertical rods/pickets.***

*Has there been any precedence set by other projects that have historically addressed this issue? **We believe this question is directed to the planning department, however, there are taller walls at Montecito and RidgeGate Commons.***

Please let me know if you have any questions or if you think we need to further address Mr. Heskin's comments.

Thank you very much,

Chase

Jennifer Drybread

From: Moore, Scott <Scott_Moore@cable.comcast.com>
Sent: Thursday, January 21, 2016 1:04 PM
To: Jennifer Drybread
Subject: RE: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Jennifer – Comcast has no comments at this time. Thanks

From: Jennifer Drybread [mailto:Jennifer.Drybread@cityoflonetree.com]
Sent: Thursday, January 21, 2016 12:44 PM
To: PCMS Corporate Office <corpoffice@pcms.net>; Curt Reimer <curtreimer@qwest.net>; Jeff_giali@trimble.com; Moore, Scott <Scott_Moore@cable.comcast.com>
Subject: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Greetings, attached is a referral for your review for RidgeGate, Sec.15, Filing 19, Lot 3 (Urban Villas), Project File SP15-98R. The proposal is a Preliminary Plan application for 18 single-family residential lots on 3 acres. The property is located immediately west of Bellwether Lane, between RidgeGate Parkway and Sky Ridge Avenue, in RidgeGate.

Please forward any comments to me via email by Wednesday, February 10, 2016.

Please let me know if you have any questions.

Jennifer Drybread
Senior Planner
City of Lone Tree
9220 Kimmer Drive, #100
Lone Tree, CO 80124
www.cityoflonetree.com
720-509-1273
jennifer.drybread@cityoflonetree.com

Jennifer Drybread

From: Rose Lynch
Sent: Tuesday, February 02, 2016 3:42 PM
To: Jennifer Drybread
Subject: RE: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Thank you for letting me review this. I have no comments.

Rose Lynch, CEM
Emergency Preparedness Coordinator
City of Lone Tree & Town of Parker
9220 Kimmer Drive, Suite 120
Lone Tree, Co. 80124
Office: 720.509.1219
Cell: 303.748.5409
www.cityoflonetree.com

From: Jennifer Drybread
Sent: Thursday, January 21, 2016 9:28 AM
Subject: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Greetings, attached is a referral for your review for RidgeGate, Sec.15, Filing 19, Lot 3 (Urban Villas), Project File SP15-98R. The proposal is a Preliminary Plan application for 18 single-family residential lots on 3 acres. The property is located immediately west of Bellwether Lane, between RidgeGate Parkway and Sky Ridge Avenue, in RidgeGate.

Please forward any comments to me via email by Wednesday, February 10, 2016.

Please let me know if you have any questions.

Jennifer Drybread
Senior Planner
City of Lone Tree
9220 Kimmer Drive, #100
Lone Tree, CO 80124
www.cityoflonetree.com
720-509-1273
jennifer.drybread@cityoflonetree.com

Jennifer Drybread

From: Jeremy Hirsch <JHirsch@douglas.co.us>
Sent: Wednesday, February 10, 2016 2:59 PM
To: Jennifer Drybread
Subject: RE: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Jennifer,

Our office has "no comments" regarding his project SB15-98R.

Thank you,
Jeremy

Jeremy Hirsch
GIS Specialist II | Douglas County Assessor
301 Wilcox Street | Castle Rock, CO 80104
303-660-7450 ext. 4228 | 303-479-9751 Fax

From: Marian Woodward
Sent: Thursday, January 21, 2016 10:34 AM
To: Jeremy Hirsch; Brooke Decker
Subject: FW: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Marian A. Woodward
Assessment Administrator
Douglas County Assessor
303.663.6201

From: Jennifer Drybread [mailto:Jennifer.Drybread@cityoflonetree.com]
Sent: Thursday, January 21, 2016 9:28 AM
Subject: City of Lone Tree Referral Ready for Your Review, Urban Villas, SB15-98R

Greetings, attached is a referral for your review for RidgeGate, Sec.15, Filing 19, Lot 3 (Urban Villas), Project File SP15-98R. The proposal is a Preliminary Plan application for 18 single-family residential lots on 3 acres. The property is located immediately west of Bellwether Lane, between RidgeGate Parkway and Sky Ridge Avenue, in RidgeGate.

Please forward any comments to me via email by Wednesday, February 10, 2016.

Please let me know if you have any questions.

Jennifer Drybread
Senior Planner
City of Lone Tree
9220 Kimmer Drive, #100
Lone Tree, CO 80124
www.cityoflonetree.com
720-509-1273

February 12, 2016

Jennifer Drybread
City of Lone Tree
9220 Kimmer Dr. Suite 100
Lone Tree, CO 80124
(303) 708-1818

Ridgegate Section 15, Filing 19, Lot3-A
SB 15-98R (Urban Villas) – Preliminary Plan

Ms. Drybread,

Attached is our second submittal of the Ridgegate Sections 15, Filing 19, Lot 3A – Preliminary Plan. These drawings reflect detailed designs for the public improvements within this filing. Enclosed with this letter are PDF copies of the revised plans, as requested.

If you need any additional materials or have any questions with the provided information, please feel free to contact me at the numbers listed below.

Sincerely,
CALIBRE ENGINEERING, INC.

A handwritten signature in blue ink, appearing to read "Todd A. Johnson", is written over the printed name and title.

Todd A. Johnson, PE
Vice President
Director of Professional Services

9090 South Ridgeline Boulevard, Suite 105
Highlands Ranch, CO 80129
P: 303-339-5409 C: 303-257-7653 or taj@calibre.us.com

The following comments were taken from the comments received via email on February 10, 2016.

Department of Public Works (Gregory Weeks, PE, LEED ® AP)

General Comments:

1. The Public Works/Engineering Preliminary Plan Review fee for this Project, per the adopted standard review fee schedule is \$2,500.00. That payment has already been submitted.
Response: Comment Noted, Thank You.
2. This letter addresses engineering review comments. A separate referral review letter addressing any Technical Preliminary Plat comments will be submitted by Mike Cregger.
Response: Comment Noted, we will review that as well.
3. While not required at this time, if and when the Project moves forward and prior to construction initiation, a Subdivision Improvements Agreement (SIA) is anticipated to be required. The SIA standard form is available for reference on the City website. The surety referenced in the SIA would cover all Project improvements to be installed by the developer that are located within the public right-of-ways of Ridgeway Parkway, Bellwether Lane and/or Sky Ridge Avenue. (e.g. curb returns, drive approaches, sidewalk, etc.).
Response: Comment Noted. One will be provided when appropriate.
4. Also, while not required at this time, if and when the Project moves forward and prior to construction initiation, a Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans / GESC Report and at least recommendation of Final Plat approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.
Response: Comment Noted, permit will be acquired.
5. Since this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
Response: Comment Noted, permit will be acquired.
6. Only those sheets/pages within the reviewed documents for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents. The applicant's professional(s) should verify that the item(s) are addressed throughout the related Project documents consistently, as applicable.
Response: Comment Noted.

Preliminary Plan Submittal:

Sheet 1 - Title Sheet

1. Streetscape Diversity Requirements - Encroachments Note B, 2nd line: Revise "...eight (8) into..."to "...eight (8) feet into ...".
Response: The word "feet" has been added, as requested to note B.

2. The Typical Private Drive Section shows an attached 4-ft wide sidewalk. As shown on Sheet 2, this walk extends across the full width of the site, and appears to tie into the public sidewalks along Sky Ridge Avenue and Ridgeway Parkway. Typically, minimum width to provide adequate turning movement(s) for ADA accessibility is 5 (foot). We would recommend consideration to make this proposed attached walk 5-foot wide.

Response: There is no curb at the drive-side of the walk. Therefore, we believe there is adequate room for turning movements and would like to maintain the patterned walk at 4 feet wide.

Sheets 2 - 4: No additional comments at this time.

Response: Noted.

Preliminary Drainage Report:

1. Pg. 1: Add Owner/Developer's Certification

Response: Updated.

2. Pg. 1

- a. The street adjacent to and east of the proposed site is Bellwether Lane, not Heritage Hills Circle. At least three (3) references to the street as Heritage Hills Circle are included on this page.

Response: Updated.

- b. Section 1.A - 4th bullet: This information appears to be a carryover from another drainage report, is not applicable to this Project and should be eliminated.

Response: Updated.

- c. Section 1.B - 2nd bullet: "... seeding with ..." perhaps should be "...seeded with ...".

Response: Updated.

- d. Section 1.B - 8th bullet: "... area indications ..." perhaps should be "... area indicates ...".

Response: Updated.

3. Pg. 2

- a. Section II.A - 1st bullet: This bullet references (appropriately) the "Master Drainage Plan for Ridgeway-Willow Creek Drainage Basin" for the master planned drainage allowance(s) for the overall site. The "Phase III Drainage Report for Bellwether Ln. and Sky Ridge Ave." (Merrick, January 2013) also should be referenced, for the appropriate design considerations relative to drainage into Bellwether Lane from the site.

Response: Referenced.

- b. Section 11.B - 3rd bullet: Inlet calculations indicate the existing 5 ft. Type R inlet at the west side of Bellwether Lane, just south of Sky Ridge Avenue, does not have adequate interception capacity for the existing Bellwether Lane drainage plus the additional drainage from the on-site Drainage Basins. A & B. The Project will need to replace this existing inlet with a 10 ft. Type R inlet. The narrative in the Report should be updated accordingly. (Currently, Appendix C -Hydraulic Calculations are not provided. Instead, a note is provided in Appendix C stating those calculations will be included in the Final (Phase III) Drainage Report. At that time, the

calculations are anticipated to document the need for the upsizing of this existing Type R inlet.)

Response: Calculations for this existing inlet has been included in Appendix C. The calculations show that the existing inlet is adequate for existing flows in Bellwether Lane and offsite flows from Filing 19 Basins C and D.

c. Section III A: This report is a Preliminary (or Phase II) Drainage Report, not a Phase III Report as stated.

Response: Text Updated.

4. Pg. 3 – Section IV.B, 2nd bullet, 2nd line: "This ponds was ..." should be "This pond was ...".

Response: Updated.

5. Pg. 4 – Section VI: The discussion of proposed BMP's that would be implemented has been omitted. If the intent is that this discussion will be added at the Phase III Drainage Report level, then so state. Otherwise, please add some appropriate discussion at this time.

Response: Details about BMPs will be included with the storm water management plan.

6. Pg. 4 – Section VIII: "...will be no addition ..." perhaps should be "...are no additional ...".

Response: Updated.

7. Appendix A -Vicinity Map: The Filing 1 (Century Tract GG development) does not exist, has not been approved at this time, and should be removed from the Vicinity Map.

Response: Updated.

Preliminary Geotechnical Report:

1. The street adjacent to and east of the proposed site is Bellwether Lane, not Heritage Hills Circle. At least three (3) references in this Geotechnical Report (two on Pg. 2 & one on Fig. 1 - Locations of Exploratory Borings) reference the street as Heritage Hills Circle.

Response: CTL will revise report.

TGG Engineers, Inc (Michael Cregger)

General

1. The borders on the drawings as they currently are drawn are fine, but please note that in preparing the final plat you will have to leave a one (1) inch border along all sides of all sheets. [Article V, Section 17-5-90 (a) (2)]

Response: Comment Noted. The Plat border will provide the required buffers.

Sheet 1

2. Please correct the Lot number in the title, in the title block at the bottom of each sheet and in any other reference to the original Lot number to: 3-A. (per the recorded Plat Correction Certificate).

Response: Updated.

3. Please correct the acreage of the site in the title to: 3.01. (per the recorded Plat Correction Certificate)

Response: Updated.

4. Please revise the Planning Project Number to: SB15-98R.
Response: The Project Planning Number has been revised as indicated.

5. The areas and percentages in the Tract Summary and Development Statistics tables will have to be revised, or confirmed, due to the change in the boundary on Sheets 2, 3 and 4, per the boundary of the Lot, shown in the recorded Plat Correction Certificate.
Response: Understood, we are reviewing these issues.

6. Please confirm the information in the Development Standards table as it currently doesn't match the lot information shown on Sheet 2.
Response: Understood, we are reviewing these issues.

Sheet 2

7. Please correct the boundary of the site (at the Northwest corner) per the recorded Plat Correction Certificate which will require changing the acreage on Lot 18 and Tract C.
Response: Understood, we are reviewing these issues.

8. The acreages of Tracts A and B don't match those shown in the Tract Summary on Sheet 1 Please correct.
Response: Understood, we are reviewing these issues.

9. Please add the recording information to the labels of the existing easements, including the storm easement that appears to exist in the Northwest corner of Lot 18, as indicated on the Plat of Filing No. 19. [Article III, Section 17-3-60 (2) e.]
Response: Understood, we are reviewing these issues.

Sheets 3 & 4

10. See previous comments regarding Title and title block.
Response: Updated.

South Metro Fire (Jeff Sceili)

1. Add an additional fire hydrant on the north end of parking strip.
Response: A hydrant has been added in the requested location.

2. Required fire flows are 1000 GPM per fire hydrant due houses being less than 3600 ft²
Response: Comment Noted, 1000 GPM will be provided.

3. Fire lane clear space shall be 20' minimum and run the length of the parking area. This appears to be 20 feet, but no dimension or note calls out width.
Response: Dimensions have been added to the plan for clarity.

Southgate Water & Sanitation Districts (Christina Baca, PE)

Southgate comments are as follows:

1. Proposed water and sewer infrastructure design was not reviewed with this submittal - water and sewer main extensions, fire hydrants, and water and sewer service plans, with applicable fees, must be submitted to Southgate directly for review and approval prior to construction . The design and construction of water and wastewater systems or facilities shall be in strict accordance with Southgate's Rules & Regulations and Design & Construction Standards/Specifications. Information on the review process and submittal requirements can be found on Southgate's website: www.southgatedistricts.org

Response: Comment Noted. Direct submittals will be made and facilities will be in accordance to the aforementioned specifications.

a. Southgate expects new service lines, and hydrants if applicable, to connect to existing water and sewer mains located in Bellwether Lane, and that new water and sewer main extensions are not necessary to serve this development.

Response: Agreed.

2. The cost of providing services to the property, including, and not limited to, System Connection Charges, system extension projects, potential system impact studies, potential system impact fees, and potential system improvements, will be borne by the property owner.

Response: Agreed.

3. The legal ability to provide service continues to exist at the time of connection and has not been limited, restricted or suspended by the action of a governmental entity, agency or other regulatory body which would diminish Southgate's capability to provide such service.

Response: Comment Noted.

4. Contact Southgate's Engineering Staff as soon as possible to discuss the project and establish project-specific requirements.

Response: Comment Noted.

RIDGEGATE - SECTION 15, FILING NO. 19, LOT 3-A

A Portion of CMU Planning Area #2 of the Ridgeway Planned Development
 A PART OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 6 SOUTH,
 RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN
 CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 3.01 Acres, 18 Residential Lots and 3 Tracts

SB15-98R

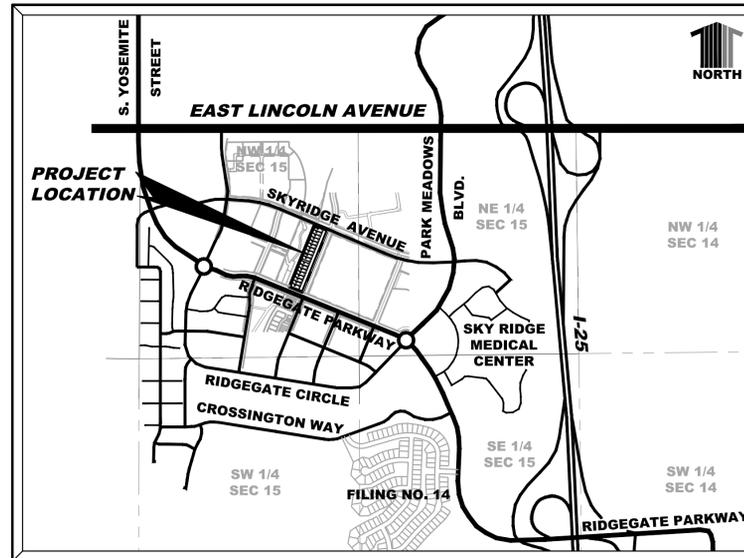
PRELIMINARY PLAN

LEGAL DESCRIPTION:

LOT 3-A, RIDGEWAY - SECTION 15 FILING NO. 19, IN THE CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO, PER PLAT RECORDED OCTOBER 12, 2012 AT RECEPTION NO. 2012077312 IN THE OFFICE OF THE CLERK AND RECORDER OF SAID COUNTY, AS CORRECTED BY THE PLAT CORRECTION CERTIFICATE RECORDED DECEMBER 04, 2012 AT RECEPTION NO. 2012093034 IN SAID OFFICE, SITUATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID CITY, COUNTY AND STATE.

GENERAL NOTES:

- ALL DEFINED UTILITY EASEMENTS ARE FOR THE USE OF GAS, ELECTRIC, TELEPHONE, CABLE TV AND COMMUNICATIONS.
- NO HISTORICAL, ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES ARE LOCATED ON THE SITE.
- THERE ARE NO SIGNIFICANT EXISTING VEGETATION STANDS ON THE SITE.
- AREAS OF 25% OR GREATER SLOPES EXIST ON THE SITE AND HAVE BEEN SHADED ON THE EXISTING SLOPE ANALYSIS AND GEOLOGIC HAZARD AREAS PLAN LOCATED ON SHEET 3. (A SIGNIFICANT PORTION OF THE SITE IS AN EXISTING STOCKPILE)
- UNTIL FINAL ACCEPTANCE BY THE CITY OF THE PROPOSED PUBLIC ROADWAYS, AS SHOWN HEREON, THE OWNERSHIP AND MAINTENANCE RESPONSIBILITY FOR THOSE ROADWAYS REMAINS WITH THE DEVELOPER OR SUCH SUCCESSORS OR ASSIGNS OF THE DEVELOPER, OR OTHERS, THAT ARE ACCEPTABLE TO THE CITY IN WRITING. OWNERSHIP AND MAINTENANCE RESPONSIBILITY, INCLUDING SNOW PLOWING, OF THE PRIVATE ROADWAYS SHALL REMAIN WITH THE DEVELOPER AND/OR HOA.
- TRACTS A AND B ARE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION BY SEPARATE DOCUMENT FOR OWNERSHIP AND MAINTENANCE.
- TRACT C IS TO BE CONVEYED TO THE METRO DISTRICT BY SEPARATE DOCUMENT FOR OWNERSHIP AND MAINTENANCE FOR USE AS PUBLIC OPEN SPACE.
- THE BOUNDARIES SHOWN HEREIN FURTHER REFINE THE PLANNING AREA BOUNDARIES OF THE RIDGEWAY PLANNED DEVELOPMENT, 4TH AMENDMENT, CONSISTENT WITH THE RIDGEWAY RESIDENTIAL DISTRICT WEST SUB-AREA PLAN.
- A GEOTECHNICAL REPORT FOR EACH LOT WITHIN THE DEVELOPMENT, WILL BE SUBMITTED TO THE CITY AT THE TIME OF BUILDING PERMIT APPLICATION.
- RETAINING WALL COLOR AND MATERIAL WILL BE DETERMINED.
- BUILDER/DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION AND HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING TRAILS, OPEN SPACE, LANDSCAPING, REAR-YARD FENCING, WALLS AND AMENITIES WITHIN THE PROPERTY. FUTURE CONNECTIONS TO REGIONAL TRAILS BY OTHERS.
- DRAINAGE IMPROVEMENTS IN TRACTS A AND B ARE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
- WHERE RETAINING WALLS ARE GREATER THAN 4- FEET IN HEIGHT AND/OR WHERE THERE ARE MULTIPLE STEP WALLS WHERE THE SUBSEQUENT WALLS ARE WITHIN A 1:1 ZONE OF INFLUENCE OF EACH OTHER AND THE COMBINED SUM OF SUCH ADJACENT WALL HEIGHTS EXCEEDS 4- FEET, THE WALLS MUST BE DESIGNED BY, AND THE WALL DESIGN SEALED BY, A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO. WALL HEIGHTS AND LOCATIONS ARE SUBJECT TO CHANGE BASED ON FINAL WALL DESIGN BY STRUCTURAL ENGINEER.



VICINITY MAP

SCALE: 1"=1000'

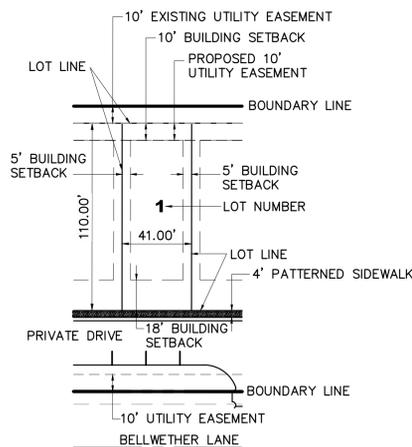
STREETSCAPE DIVERSITY REQUIREMENTS

MINIMUM SETBACKS FROM THE LOT LINE:

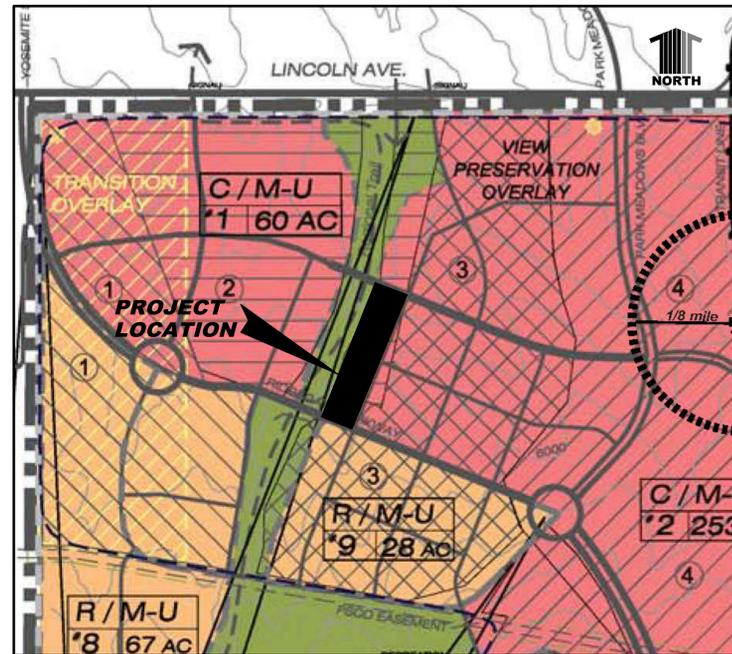
- FRONT SETBACK:
- 18' TO BUILDING
- REAR SETBACK:
- 10' TO BUILDING OR DECK
- SIDE SETBACK:
- 5' TO BUILDING
- SEE TYPICAL LOT DETAIL

ENCROACHMENTS:

- A CANTILEVER, CORNICE, CANOPY, EAVE, BELT COURSE, SILLS, LINTELS, PILASTERS, PEDIMENTS, FIREPLACE, WING WALL OR SIMILAR ARCHITECTURAL FEATURE MAY EXTEND THREE (3) FEET INTO A REQUIRED SETBACK.
- AN UNCOVERED FRONT PORCH AND FRONT PORCH STEPS MAY EXTEND EIGHT (8) FEET INTO A FRONT SETBACK.
- UTILITY DISTRIBUTION LINES AND RELATED EQUIPMENT COMMONLY LOCATED ALONG PROPERTY LINES MAY BE LOCATED WITHIN A REQUIRED SETBACK.



TYPICAL LOT DETAIL



PD VICINITY MAP

SCALE: 1"=500'

TRACT SUMMARY

OUTLOTS/ TRACTS	SQ. FT.	TOTAL ACREAGE	OWNERSHIP & MAINTENANCE	USE		
				ACCESS & UTILITIES	OPEN SPACE	PARK
TRACT A	42,617	0.978	HOA	0.978		
TRACT B	2,060	0.047	HOA		0.047	
TRACT C	7,690	0.177	METRO DISTRICT		0.177	

DEVELOPMENT STANDARDS

SINGLE FAMILY DETACHED	SQ. FT.
TYPICAL LOT SIZE (41' x 103')	4,223
MINIMUM LOT SIZE	4,223
MAXIMUM LOT SIZE	5,615

DEVELOPMENT STATISTICS

LAND USE : AREA CALCULATIONS

LAND USE	AREA	% OF TOTAL	UNITS	DU/ AC
RESIDENTIAL	1,797 AC	59.92%	18	---
PARKS / OPEN SPACE	0,224 AC	7.47%	---	---
INTERNAL ACCESS	0,978 AC	32.61%	---	---
TOTAL	2,999 AC	100.00%	18	6.00

DATE	REVISION DESCRIPTION
JANUARY 15, 2016	SECOND SUBMITTAL PRELIMINARY PLAN
NOVEMBER 25, 2015	FIRST SUBMITTAL PRELIMINARY PLAN

OWNER:

COVENTRY DEVELOPMENT CORPORATION--RIDGEWAY
 10270 COMMONWEALTH STREET
 LONE TREE, CO 80124

APPLICANT:

BERKELEY HOMES
 10630 EAST BETHANY DRIVE
 SUITE B
 AURORA, CO 80014

Calibre
 Calibre Engineering, Inc.
 9090 South Ridgeline Boulevard, Suite 105
 Highlands Ranch, CO 80129 (303) 730-0434
 www.calibre-engineering.com
 Construction Management Civil Engineering Surveying

**RIDGEWAY-SECTION 15, FILING NO. 19, LOT 3-A
 PRELIMINARY PLAN
 TITLE SHEET**

Prepared for
 BERKELEY HOMES

Job Number
 BERKELEY RG F19L3

Date
 FEBRUARY 12, 2016

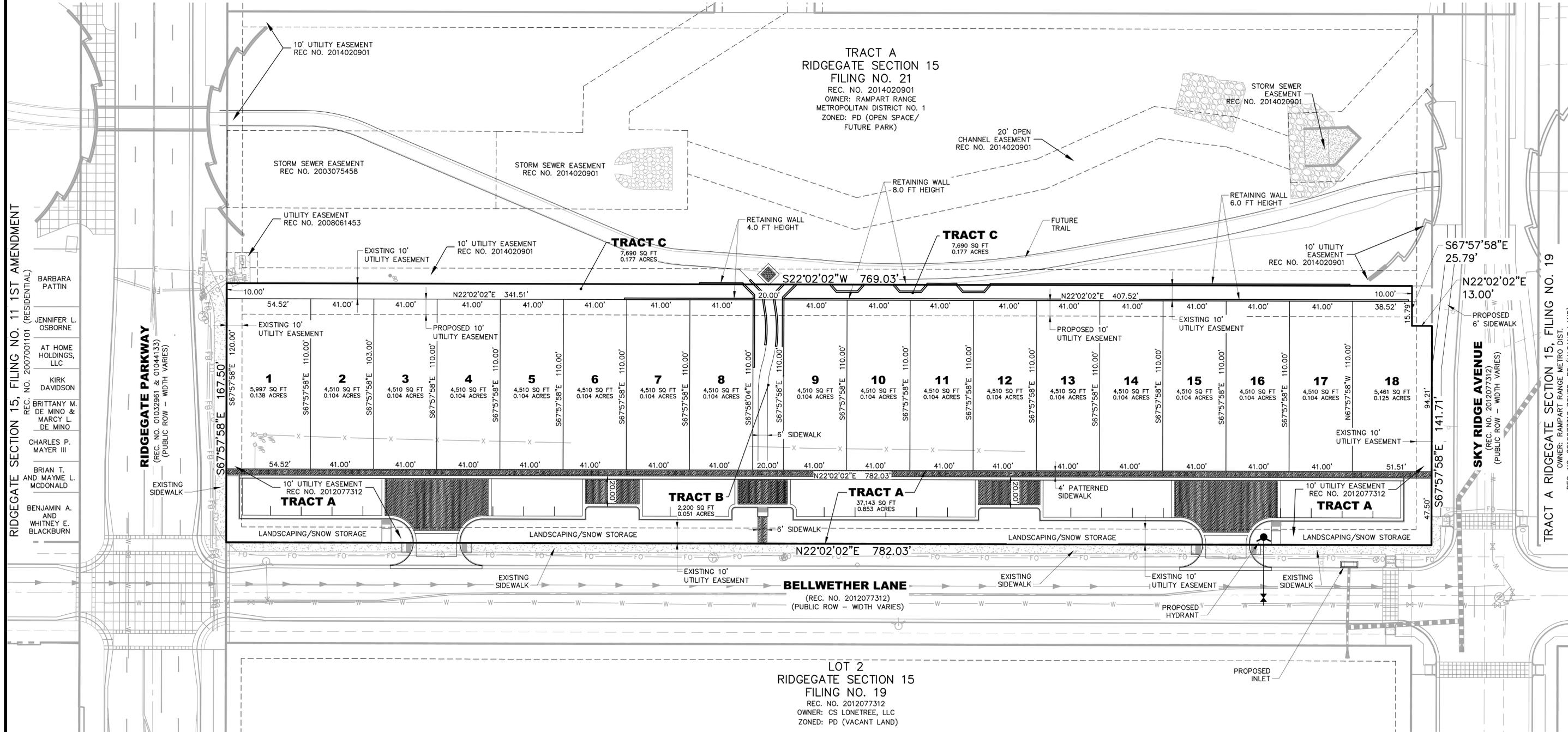
Sheet
 1 of 4

RIDGEGATE - SECTION 15, FILING NO. 19, LOT 3-A

A Portion of CMU Planning Area #2 of the Ridgeway Planned Development
 A PART OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 6 SOUTH,
 RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN
 CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 3.01 Acres, 18 Residential Lots and 3 Tracts

SB15-98R

PRELIMINARY PLAN



RIDGEGATE SECTION 15, FILING NO. 11 1ST AMENDMENT
 REC. NO. 2007001101 (RESIDENTIAL)

- BARBARA PATTIN
- JENNIFER L. OSBORNE
- AT HOME HOLDINGS, LLC
- KIRK DAVIDSON
- BRITTANY M. DE MINO & MARCY L. DE MINO
- CHARLES P. MAYER III
- BRIAN T. AND WAYNE L. MCDONALD
- BENJAMIN A. AND WHITNEY E. BLACKBURN

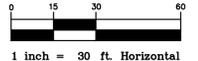
RIDGEGATE PARKWAY
 (REC. NO. 01032961 & 01044133)
 (PUBLIC ROW - WIDTH VARIES)

SKY RIDGE AVENUE
 (REC. NO. 2012077312)
 (PUBLIC ROW - WIDTH VARIES)

TRACT A RIDGEGATE SECTION 15, FILING NO. 19
 OWNER: RAMPART RANGE METRO DIST.
 REC. NO. 2012077312 ZONED: PD (VACANT LAND)

LOT 2
 RIDGEGATE SECTION 15
 FILING NO. 19
 REC. NO. 2012077312
 OWNER: CS LONETREE, LLC
 ZONED: PD (VACANT LAND)

DATE	REVISION DESCRIPTION
JANUARY 15, 2016	SECOND SUBMITTAL PRELIMINARY PLAN
NOVEMBER 25, 2015	FIRST SUBMITTAL PRELIMINARY PLAN



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 Construction Management Civil Engineering Surveying

RIDGEGATE-SECTION 15, FILING NO. 19, LOT 3-A
PRELIMINARY PLAN
SITE PLAN

Prepared for
 BERKELEY HOMES

Job Number
 BERKELEY RG F19L3

Date
 FEBRUARY 12, 2016

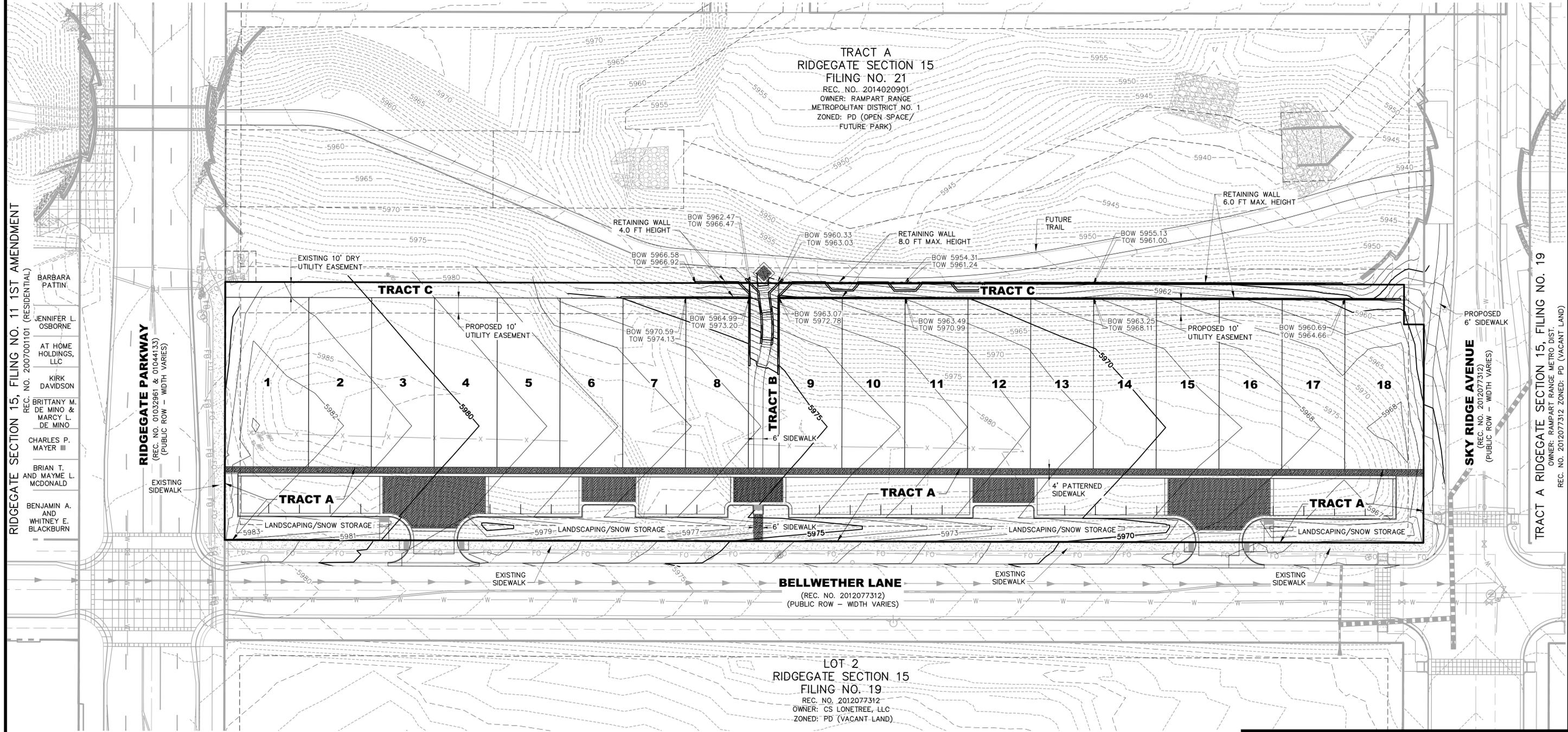
Sheet
 2 of 4

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RIDGEGATE - SECTION 15, FILING NO. 19, LOT 3-A

A Portion of CMU Planning Area #2 of the Ridgeway Planned Development
 A PART OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 6 SOUTH,
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 3.01 Acres, 18 Residential Lots and 3 Tracts

SB15-98R PRELIMINARY PLAN



RIDGEGATE SECTION 15, FILING NO. 11 1ST AMENDMENT
 REC. NO. 200700101 (RESIDENTIAL)

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- JENNIFER L. OSBORNE
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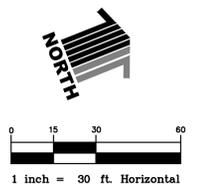
RIDGEGATE PARKWAY
 (REC. NO. 01032961 & 01044133)
 (PUBLIC ROW - WIDTH VARIES)

SKY RIDGE AVENUE
 (REC. NO. 201207312)
 (PUBLIC ROW - WIDTH VARIES)

TRACT A RIDGEGATE SECTION 15, FILING NO. 19
 OWNER: RAMPART RANGE METRO DIST.
 REC. NO. 201207312 ZONED: PD (VACANT LAND)

LOT 2
 RIDGEGATE SECTION 15
 FILING NO. 19
 REC. NO. 201207312
 OWNER: CS LONETREE, LLC
 ZONED: PD (VACANT LAND)

DATE	REVISION DESCRIPTION
JANUARY 15, 2016	SECOND SUBMITTAL PRELIMINARY PLAN
NOVEMBER 25, 2015	FIRST SUBMITTAL PRELIMINARY PLAN



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 Construction Management Civil Engineering Surveying

**RIDGEGATE-SECTION 15, FILING NO. 19, LOT 3-A
 PRELIMINARY PLAN
 GRADING PLAN**

Prepared for
 BERKELEY HOMES

Job Number
 BERKELEY RG F19L3

Date
 FEBRUARY 12, 2016

Sheet
 3 of 4

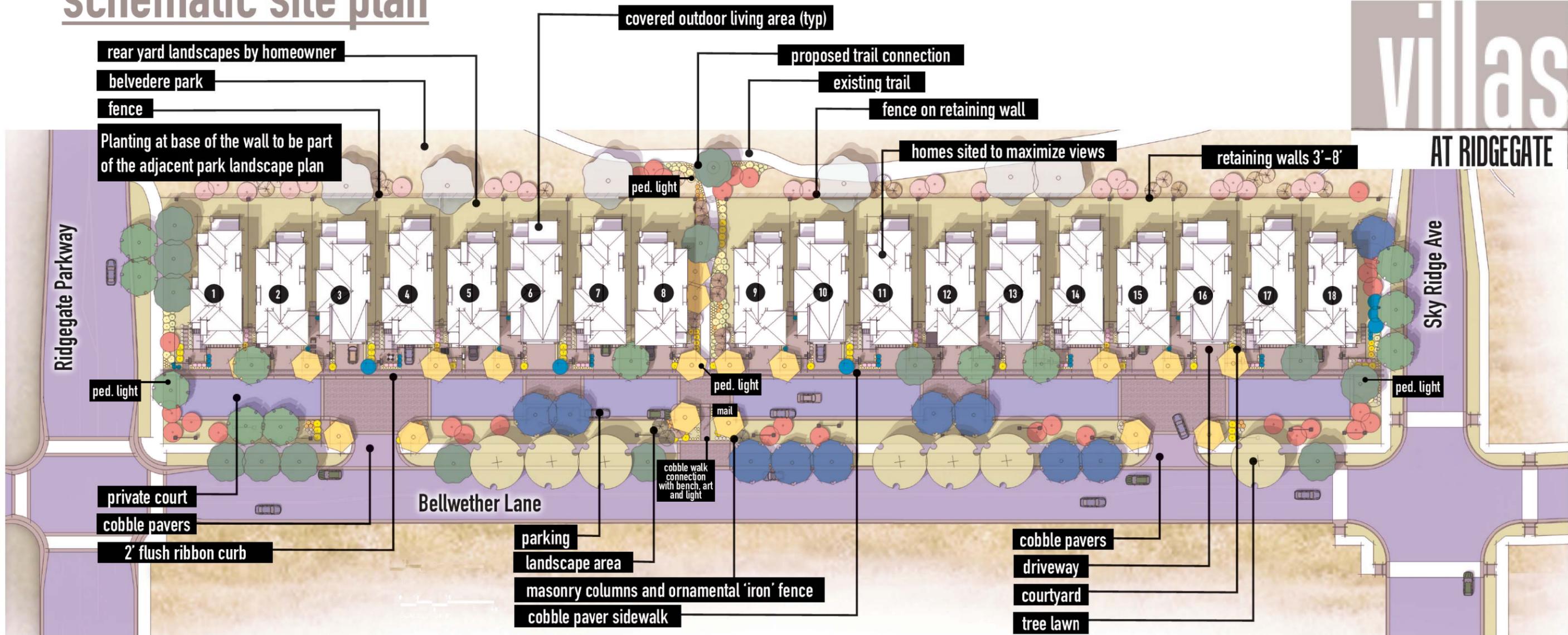
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 PLOTTED BY: Brian Gibbs PLOT DATE:

schematic site plan

villas

2.12.2016

AT RIDGEGATE



schematic site plan



2.12.2016



BERKELEY
HOMES



STREET VIEW PERSPECTIVE FROM RIDGEGATE PARKWAY

*conceptual only, illustration is artistic depiction, subject to change



JANUARY 2016

RIDGEGATE Filing 19 Lot 3
LONE TREE, COLORADO

BERKELEY
HOMES



STREET VIEW PERSPECTIVE FROM SKY RIDGE AVENUE

*conceptual only, illustration is artistic depiction, subject to change



JANUARY 2016

RIDGEGATE Filing 19 Lot 3
LONE TREE, COLORADO



SCALE: NTS