



## City of Lone Tree Planning Commission Agenda Tuesday, July 26, 2016

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**Meeting Location:** City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

**Meeting Procedure:** The Lone Tree Planning Commission and staff will meet in a public Study Session at 5:30 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Jennifer Drybread, [jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com) if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Jennifer Drybread, Senior Planner, at [jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com), or 303-708-1818.

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### 5:30 p.m. Study Session Agenda

1. Administrative Matters

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### 6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment (For Items NOT appearing on the agenda)
4. Minutes of the July 12, 2016 Planning Commission meeting
5. Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3A (Lone Tree Self Storage). Site Improvement Plan for an 80,200 square-foot, two-story building, with 605 storage units, on 2.8 acres. Project SP16-33.
6. Adjournment

**MINUTES OF THE**  
Lone Tree Planning Commission Meeting  
July 12, 2016

**Lone Tree Civic Center**

**1. Attendance**

In attendance were:

- Dave Kirchner, Chair
- Andrew Dodgen, Vice Chair
- Rhonda Carlson, Planning Commissioner
- Daryl Heskin, Planning Commissioner
- Kevin Spencer, Planning Commissioner
- Herb Steele, Planning Commissioner

Absent was:

- Richard Rodriguez, Planning Commissioner

In attendance from staff were:

- Kelly First, Community Development Director
- John Cotten, Public Works Director
- Jennifer Drybread, Senior Planner
- Hans Friedel, Planner III

**2. Opening of Meeting / Roll Call**

Chair Kirchner called the meeting to order at 6:30 pm.

**3. Conflict of Interest Inquiry**

There were none stated.

**4. Public Comment (For Items NOT appearing on the agenda)**

Larry Subervi, 8278 Bighorn Court, expressed concern about traffic that would be generated by proposed apartments at the Treo site in the Entertainment District.

Martin Duffy, 8262 Bighorn Court, expressed concern about transparency with the Treo Apartment proposal, and wanted stakeholder involvement in the process.

Susan Duffy, 8262 Bighorn Court, expressed concern about the impact of apartments on the capacity of the Douglas County schools in Lone Tree.

Chair Kirchner, closed the period for public comment.

**5. Minutes of the June 14, 2016 Planning Commission meeting**

Commissioner Steele moved to approve the minutes, Commissioner Spencer seconded, and the minutes were approved by a vote of 6 to 0.

**6. Park Meadows Filing 1, 3rd Amendment (The Yard). Site Improvement Plan (SIP) for a 7 building, mixed use (restaurant/retail) center on 14.12 acres, Project SP16-22**

Ms. Drybread presented the application.

The application included four variance requests:

1. Variance to off-street parking standards, 52 space parking shortfall
2. Setback variances from Yosemite Street
3. Setback variance from the northeast property line
4. Future buildings to be heard by the staff or Planning Commission only

Staff recommends that the Planning Commission recommend approval of the SIP and variance requests to City Council subject to the following conditions:

1. Park Meadows Drive access be in a location supported by Public Works.
2. Planning Commission review only of the future pad sites, if architectural standards are approved by City Council.
3. Final approval by Public Works.

Jeff Vogel, with Vogel and Associates, representing the property seller, Furniture Row LLC, spoke regarding a landlocked outparcel. This outparcel would now be included in the assemblage of parcels in the sale to Alberta. He also stated that the Yard would be a great addition to the community.

Bryan McFarland, Alberta Development Partners, introduced the development team and provided an overview of the project. He stated that Alberta was a local company, had developed the Streets of Southglenn and Southlands, and he emphasized the quality of their other projects.

Kristoffer Kenton, Galloway and Company, provided an overview of the intent behind the project. The project has unique challenges including the challenging layout of the property and limited access. They tried several different layouts and found that a grouping of buildings would contribute to a sense of place. One of their goals was that people would linger longer.

They organized the project according to mood concepts. These were restaurants, a central plaza (e.g. yard), uniqueness, architectural character (rusted Cor-Ten, reclaimed barn wood, interesting textures, variations from the beige stucco palette that characterizes Lone Tree), and authentic twists (contrasted materials, super graphics, metal panels, food trailers), branding (signage, wayfinding, etc.). The four core materials are board-formed concrete, Cor-Ten metal, corrugated metal, and timbers. The big idea being to create visual interest. One of their other goals was how to take an undesirable area to linger, i.e., the corner of South Yosemite Street and C-470, and defend that space against traffic noise. This drove their concept of clustering buildings around a

central yard. It would also be heavily landscaped. Their concept includes branched, ornamental light fixtures.

Some of the buildings feature upper-level patio spaces taking advantage of views. He stated that they could accommodate a detached sidewalk along Yosemite; however, this led to their decision to seek a variance to the minimum setback. Other buildings include rolling doors to activate the relationship between inside and the plaza space.

They attempted to have 360-degree architecture, so though there was not a backside to buildings, The rear of the buildings are treated with the same care and concern as the front and/or sides. The screening walls would include Gabion blocks – which are rocks inside of cages – to provide a rustic look.

The addition of the extra outparcel will not alter the site plan.

Mr. Kenton presented the materials. Grey concrete masonry units (CMU) and exterior insulation and finishing system (EIFS) would be in passive places to provide a contrasting background to the more colorful elements.

Commissioner Heskin inquired whether there was a hierarchy of materials from the most protected part to the least. Mr. Kenton stated that there really was not – that they wanted tactile, high quality materials carried throughout the project front to back.

Commissioner Heskin asked whether the metal panels were flat or corrugated. Mr. Kenton respond that it would be a variety including standing seam, flat, and corrugated, that they would be fastened mechanically – some visible, some concealed.

Commissioner Heskin asked about the barn wood colors. Mr. Kenton responded it ranged from shades of browns and greys.

Commissioner Heskin sought clarification of screening wall materials, stating that in some cases the notes showed the same material as being both Gabion Cages and some being patterned, composite wood material. The applicant responded that the plans might be mislabeled.

Commissioner Heskin stated that though there were a lot of materials, he thought that they had done a good job of bringing the different materials together in a coherent project. Mr. Kenton responded that there are common threads, which are the four primary materials. Seventy-five percent of the buildings are made of these four materials. Everything else is used everywhere else, where durability is more important, etc.

Commissioner Heskin had specific comments on two buildings, A and B, stating that they had a preponderance of barn wood on the endcaps.

Mr. Kenton stated that they were treating many of the storefronts like mall storefronts with inherent flexibility; those would be core and shells. Other buildings would have prebuilt store fronts. This would allow tenants to inflect their own character on the design to make it feel more authentic.

Commissioner Heskin inquired about quality control over architecture on storefronts. Mr. Kenton stated that they would treat internal spaces like mall storefront to address different delivery dates. There would be temporary enclosures for vacant spaces - until tenants came in. Exterior perimeter will all be in on day one. Mr. Kenton stated that there would be an architectural control committee.

Commissioner Heskin inquired about the type of rocks in the Gabion Blocks. Mr. Kenton responded that they have yet to define this.

Commissioner Heskin inquired about the bridge materials. Mr. Kenton responded that there would be a concrete base with rusted metal railings.

Commissioner Heskin wanted to go on record that he wanted the buildings on pads H, I, and J to still come before the Planning Commission.

He congratulated Mr. Kenton on the project, stating it was well-thought through.

Commissioner Carlson noted that Mr. Kenton showed a cyclist on one of their slides; however, the bridge did not show bicycles. She stated that due to Lone Tree being a bike friendly city and the proximity to the Willow Creek Trail, that the bridge include bike facilities. She recommended making a bike connection from The Yard to the Willow Creek Trail a condition of approval. Mr. Kenton stated that though this wasn't shown well on the bridge rendering, that there would be a shared-path, eight-foot-wide connection to the trail. Commissioner Carlson offered that perhaps striping could separate bicycles and pedestrians.

Mr. Cotten stated that they want to have more discussion with the developer regarding the issue of trail connections.

Mr. Kenton responded that these would be illustrated more clearly for Council.

Commissioner Carlson congratulated Mr. Kenton on the architecture. She did express concern over how the barn wood would hold up to Colorado's climate. Mr. Kenton stated that the kiln drying process acclimated and stabilized the barn wood to our climate. She asked who would maintain the barn wood, Mr. Kenton replied that the owner would.

She asked if water could be included as a feature – it would not. Mr. Kenton elaborated that water features were problematic as they collect trash and they have to be shut down much of the year.

She liked the Southglenn project and had confidence that this would be of the same quality.

Commissioner Steele stated that at first, he thought it was a warehouse project, but as he's seen the new renderings, he feels better about the architecture.

Commissioner Steele reiterated that water would be a desirable feature. He stated that the water feature at the Vistas is one of the most attractive and desirable elements. He recognized that it was turned off at some points during the year.

He liked the cluster of buildings concept; however, was concerned about the pedestrian traffic pattern from the parking north into the yard itself. He was concerned that people walking, if distracted, would potentially conflict with traffic moving along the driveway to and from Yosemite Street. Perhaps some kind of material differentiation, demarcated crosswalk, pavers, etc., would help with this. There may also be cars stopping to drop people off.

Commissioner Steele asked whether the rusted Cor-Ten would be perforated; Mr. Kenton stated that it would not be perforated.

Commissioner Steele expressed concern that due to the temperature variations, sun, etc., here that different materials expand and contract at different rates. Mr. Kenton stated that they take this into account when adhering or mechanically fastening elements to buildings.

Commissioner Steele inquired whether the aforementioned outparcel was within the 100-year flood plain. Lincoln Thomas, the project's engineer brought plans and stated that the parcel was not within the flood plain. The floodplain is in Willow Creek open space, owned by the City.

Commissioner Steele asked about phasing for buildings H, I, and J. Mr. Kenton stated that the parking would be finished first, and that these lots would be platted as separate lots, and would be built later. There could be separate ownership. The rest of the project, seven buildings, would be under Alberta Development.

Commissioner Steele sought additional reassurance regarding the tree lawns along South Yosemite Street and Park Meadows Drive. Mr. Kenton stated that the detached sidewalk along South Yosemite Street would be eight feet-wide each, and that they would be six feet-wide each along Park Meadows Drive.

Commissioner Steele inquired about the screening walls, whether the Trex was similar to residential deck applications. Mr. Kenton stated that Trex is the manufacturer and the actual material used in this application would be more durable than that used in residential applications.

Commissioner Steele inquired about the retaining walls along Willow Creek, and Mr. Thomas stated that these would be mechanically stabilized earth (MSE) walls. He stated that it was blocks and would lend a natural color palette.

Commissioner Steele asked about screening of roof-top equipment, the color, etc. Mr. Kenton responded that one challenge was that C-470 was 30-40 feet higher than their project. They would be screened from South Yosemite Street and Park Meadows Drive, but not entirely from C-470.

Commissioner Dodgen stated he thought it was a great project. He inquired about Tract 1B, if it would be left in its original state. One of the development team members responded that it would be graded to help make up for grade elsewhere; however, it would be restored with native landscape.

Commissioner Dodgen inquired about the discrepancy in the original parking study and what was required now due to the increase in square footage. Mr. Kenton responded

that they felt they were providing adequate parking as their revised (not preliminary) parking plan including shared parking, multi-modal trips, parking demand studies by the Urban Land Institute, etc. They had worked in a three percent parking buffer with their plan.

Commissioner Dodgen inquired whether there was employee parking. Mr. Kenton responded that this was included into the overall parking analysis.

Commissioner Dodgen asked about the storm water system and issues. Mr. Cotten responded that these issues were resolved. Commissioner Dodgen inquired if storm water would flow directly to Willow Creek. Mr. Cotten stated that they would have detention and water quality treatment for storm water runoff generated on their site, but that offsite flows would be directed into Willow Creek. Commissioner Dodgen inquired about mosquitos. Mr. Cotten further stated that mosquitos bred in shallow water, not underground water.

Commissioner Dodgen inquired about the 20-foot retaining wall; whether it was staggered or not. Mr. Kenton stated that it was, and that this is called battering. Mr. Cotten interjected that the wall was tipped back, but not technically battered – as this would include stair-stepped spaces in the receding slope of the wall. There would be no tiered walls with landscaping with this project, though landscaping would be along the top of the wall.

Commissioner Dodgen felt that there was a gap in the landscaping between building F and C-470. Mr. Kenton responded that there was no room for landscaping. Mr. Cotten responded that a lot of the edge along the C-470 ramp was in the CDOT right-of-way (ROW) and therefore would remain native grass.

Commissioner Dodgen asked about the conditional letter of map revision (CLOMR) and Mr. Cotten stated that it was in process now. The developer responded that this was in process.

Commissioner Dodgen inquired about whether future pads would come to the Planning Commission. Ms. Drybread responded that the applicant had requested staff (administrative) or Planning Commission approval; staff recommended projects be required to come before Planning Commission for approval.

Commissioner Dodgen stated that he did not see the relationship between the development and Willow Creek in terms of patios, etc. Mr. Kenton stated that this was due to the limited access. Commissioner inquired why pads H, I, and J could not be more oriented towards Willow Creek. Mr. Kenton stated that the pad sites provide opportunity to orient their spaces to the drainage.

Commissioner Dodgen asked if the east-west drive aisle could be shifted to the north, so that the future buildings on pads H, I, and J could be located next to the open space. Lincoln Thomas, with the development team, responded that due to grade and utilities, they had the utilities where the drive aisle was currently shown to be located. If the buildings and drive aisle were shifted, they would lose this efficiency - due to topography, and traffic flow would be interrupted.

Commissioner Dodgen inquired if it was their intent to eventually sell off ground leases, Mr. McFarland responded that they might as they are a for-profit organization.

Commissioner Spencer complimented Mr. Kenton on a wonderful design with a variety of materials.

Commissioner Spencer reiterated the importance of screening the rooftop mechanical elements.

Commissioner Spencer asked if they could now achieve another row of parking since they have the out parcel. Mr. Kenton stated that moving the buildings would add walls, not provide much parking gain.

Commissioner Spencer asked about safety on the retaining wall, as kids like to hang out on these. Mr. Kenton stated that due to the landscaped separation, there was no code requirement to include a railing. Mr. Kenton stated that they may consider this.

Commissioner Spencer supported earlier requests by the commissioners to have buildings H, I, and J come before the Planning Commission for approval.

Commissioner Spencer inquired about the longevity of barn wood over a 10 to 15 year timespan. He inquired about the patchwork effect as faded wood being replaced piecemeal by newer reclaimed pieces over time. Mr. Kenton stated that due to reclaimed barn wood being a relatively new material, they were not sure what its lifespan was over 50 to 100 years; however, their research indicated that it held up reasonable well compared to other materials. The varied, patchwork appearance was part of the desired rustic effect. Commissioner Spencer recommended that they use it sparingly on the end caps of buildings A and B, as there were unknowns in its longevity – echoing Commission Heskin's earlier comments.

Commissioner Spencer inquired about traffic-calming measures regarding cars traveling along the drive aisle to and from Yosemite Street. Mr. Kenton responded that there could be some design solutions including tactile paving solutions, yield to pedestrian signs, etc.

Commissioner Spencer expressed concern about traffic at the intersection of Park Meadows Drive and South Yosemite Street. He requested that the City pay close attention to this.

Chair Kirchner asked if they could get more relief on Building C, backing to Yosemite, second building from the corner of South Yosemite Street and the C-470 off-ramp. He stated that it looked institutional. Mr. Kenton responded that he wouldn't disagree with this assessment if the building were analyzed in isolation; however, in the context of the surrounding buildings and, considering the ten-foot gabion block wall and landscaping, that it would look good. He stated that there were buildings with activated spaces adjacent to it. He stated that looking at the whole thing in composition showed variation.

Chair Kirchner further stated that the trees wouldn't reach maturity for many years, so the effect would remain unfinished for years.

Chair Kirchner stated that normally with site improvement plans (SIPs) they also show the roof-top units and mechanical screening. He stated that it would be helpful if this was shown on the site plan and renderings.

Chair Kirchner inquired about how close the buildings would be to the C-470 ROW when CDOT completed their widening work. Mr. Cotten responded that the widening would happen further back – it was a design-build – so no changes would occur near the intersection.

Chair Kirchner inquired about the dotted line on the plan along the northern edge of the parking lot and noted that most of the parking lot would be within four-to-five feet of the property line. Mr. Kenton confirmed that. Due to the request for all of the variances, Chair Kirchner had concerns for the reduction in setbacks along the northern portion of the property.

He stated that as the Building C straddles the boundary of two zone districts, it is impacted by two different setbacks. This was the reason for one of the variance requests. Mr. Kenton stated that only 15% of the footprint was in C3. Chair Kirchner stated that in that case, the 10-foot variance for 15% of the building was acceptable to him.

Chair Kirchner recommended that before this case get to City Council, a lot more information on the bridge should be included – both functional and aesthetic.

Chair Kirchner asked which of the four predominant materials was the most dominant. Commission Heskin responded that it was in a table in the SIP.

Chair Kirchner stated that he would like buildings on pads H, I, and J to come to the Planning Commission, if the Design Standards are approved by City Council.

Chair Kirchner asked about who would manage the ratio of breakfast restaurant users to lunch/dinner restaurant users as this was an assumption in their requested parking reduction. Mr. McFarland responded that they did not want to be under-parked as they would have acute problems. About 50% of the future tenants were committed and he didn't have the breakdown; however, he could follow up after the meeting. Chair Kirchner recognized that restaurants fail at a high rate, and expressed concern that the mix of morning, daytime, and evening restaurants would need managing to preserve the underlying assumptions in shared parking.

Chair Kirchner made comments regarding a raised center divider on Yosemite Street to prevent people from cutting over from the northbound lanes. Mr. Cotten stated that the center median in Yosemite is a Park Meadows Metro District project that will probably happen in the next 2-3 years, depending on Board decisions.

Chair Kirchner asked Mr. Cotten how the City would enforce people from making a left-hand turn onto Park Meadows Drive from their right in/right out intersection on Yosemite Street. Mr. Cotten responded that they will sign it, and the police will enforce it as best they can, but that people will still do it. Chair Kirchner expressed concerns about the traffic loads at the intersection of Park Meadows Drive and South Yosemite Street.

Commissioner Steele expressed concern that Pad I was a good configuration for a drive-through restaurant. The development team said that was not their intention and they would not support a drive-through restaurant on this project.

Commissioner Dodgen inquired about how far traffic might back up on Yosemite if cars were queuing up waiting for pedestrians crossing within the project. The traffic study consultant stated that the average p.m. peak hour inbound would be about 100 cars per hour – or 1 to 2 cars a minute.

Commissioner Heskin expressed concern about metal panels extending into walkways. Mr. Kenton stated that there would be trim and curved edges to keep people from getting cut on sharp edges.

Commissioner Heskin inquired about walkways adjacent to retaining walls and whether these would need railings. Mr. Kenton stated that these were site walls, not retaining walls.

Commissioner Heskin complimented the applicant on the public art component, and asked whether they would partner with the Lone Tree Arts Commission. He urged them to not have anything that would fade over time. The applicant had not worked out the details.

Commissioner Heskin inquired about the species of reclaimed barn wood. The applicant stated that this is based upon availability.

Commissioner Carlson asked about any news on which specific tenants were being considered. Mr. McFarland stated that as they were actively negotiating leases, they could not say at this time.

Chair Kirchner opened the agenda item to public comment.

Robin Kimmerman, 8282 Bighorn Court, asked that the traffic study take into account the traffic all the way up Yosemite to Lincoln.

Chair Kirchner closed the agenda item to public comment.

Chair Kirchner summarized the Planning Commission's comments.

- Overall, they were comfortable with building materials.
- Request for pedestrian and bike traffic interface with the trail.
- Screening of roof-top mechanical.
- Concerns on adequate parking.
- Preference that buildings on pads H, I, and J are subject to Planning Commission approval.

Commissioner Dodgen moved to recommend approval of the project and variance requests with the following conditions:

1. Park Meadows Drive access be in a location supported by Public Works
2. Planning Commission review only of the future pad sites, if architectural standards are approved by City Council.
3. Final approval by Public Works.

Commissioner Steele seconded, and Commissioner Carlson asked to amend the motion to include a condition requiring a Willow Creek trail connection for bicycles, between The Yard and Park Meadows Drive.

Commissioner Spencer seconded the amendment,

The amendment passed 6 to 0.

The motion passed 6 to 0.

## **7. Adjournment**

There being no further business, Chair Kirchner asked for a motion to adjourn. Commissioner Steele made the motion to adjourn and Commissioner Dodgen seconded, and the meeting was adjourned at 8:41 p.m.

These minutes have been reviewed and confirmed by

\_\_\_\_\_ (name), on \_\_\_\_\_(date)



**CITY OF LONE TREE  
STAFF REPORT**

**TO:** City of Lone Tree Planning Commission

**FROM:** Jennifer Drybread, Senior Planner  
Kelly First, Community Development Director

**DATE:** July 20, 2016

**FOR:** July 26, 2016 Planning Commission Meeting

**SUBJECT:** Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3A  
Lone Tree Self Storage SIP, Project SP16-33

Owner:  
Gene Gregory, Manager  
Lone Tree Storage, LLC  
367 Sandy Hollow Trail  
Franktown, CO 80116

Representative:  
Craig Northam  
CVL Consultants of Colorado, Inc.  
10333 E. Dry Creek Rd, Suite 240  
Englewood, CO 80112

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**Planning Commission Meeting Date:**  
**City Council Meeting Date:**

**July 26, 2016**  
**August 16, 2016**

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**A. REQUEST**

Approval of a Site Improvement Plan (SIP) for an 80,200 square-foot, two-story building, with 605 storage units, on 2.8 acres.

Approval of a variance to allow a five-foot building setback reduction from the south property line.

**B. STAFF FINDINGS AND RECOMMENDATION**

Staff finds that the application is in conformance with the City's Comprehensive Plan, Zoning Code and SIP requirements of the Westbrook Sports and Entertainment District P.D., with the 5-foot setback variance on the south side of the project as recommended by staff.

Staff recommends the Planning Commission recommend approval of the SIP, including the 5-foot building setback variance to the City Council, with the following conditions:

1. Prior to the City Council meeting, the SIP shall be revised to state that security fencing shall be black powder coated.
2. The SIP is subject to final approval by the Public Works Department who shall approve the final plat for technical requirements.

**C. LOCATION**



**D. ZONING**

The property is within Planning Area 7-A of the Westbrook Entertainment and Sports District Planned Development, which allows warehousing as a permitted use. The Planned Development (PD) calls for a 75-foot building setback along the south side for two-story buildings. The applicant is proposing to reduce the building setback to 70-feet along approximately 45% of the building (and will maintain a 75-foot or greater setback on the remaining 55% of the building on the south side). The zoning for the property allows for up to a 50 percent reduction in setbacks when “effective screening is achieved through landscaping, berming, and topographic alterations as determined by the City during the Site Plan Review Process.” The applicant has designed largely evergreen trees of various sizes per the approved PD zoning on the south buffer area, and at the request of many of the adjoining property owners in Heritage Hills (such consultation is also a requirement of the PD zoning). See attachment from the Landscape Architect for the property with more information on the PD landscape requirements and how the applicant has addressed these standards. Given the relatively minor setback distance variation, and extensive screening designed in consultation with the adjacent property owners, staff is supportive of the variance request.

**E. SITE CHARACTERISTICS**

The property is relatively flat, sloping down to the east toward the drainage corridor. The site is generally 6-15 feet lower than the adjacent residential properties. The grade slopes down from the common fence line across the landscaped buffer, to the edge of the drive aisle. The site has been graded for development and reseeded with grass.

**F. SERVICE PROVIDERS**

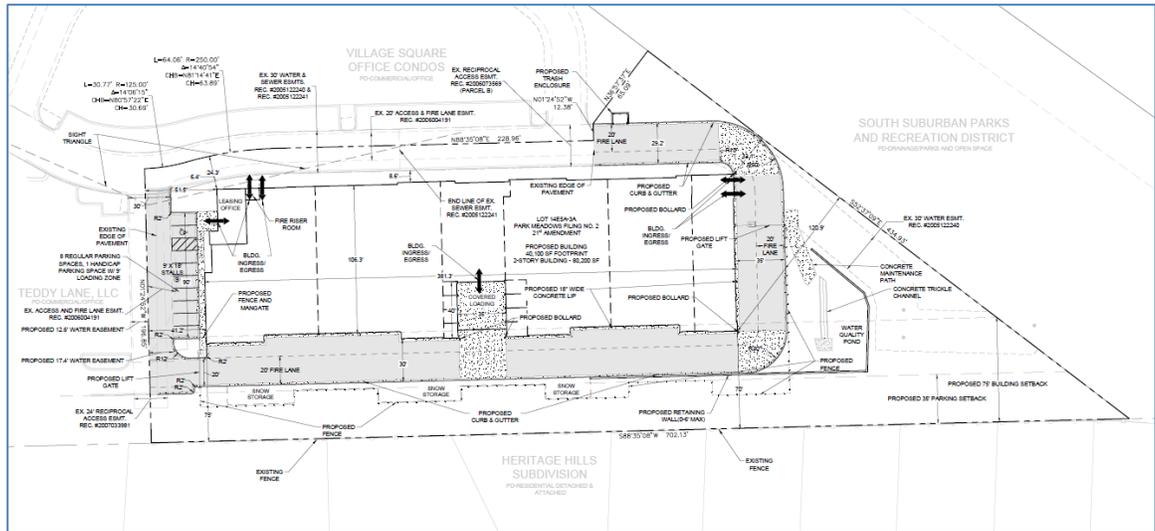
Service	Provider
Water	Southgate Water District
Sanitation	Southgate Sanitation District
Police	Lone Tree Police
Fire	South Metro Fire Rescue Authority

**G. DESCRIPTION**

**Access**

The site is accessed off a private drive via Teddy Lane.

**Site Plan**



**Building orientation.** The building length runs east/west. The office is located on the northwest corner. Storage unit lessees will access the units from the south (either for the units along the south, or through the 40-foot covered loading area inset into the building). Residents in Heritage Hills who attended a community meeting with the applicant on this proposal on June 28<sup>th</sup> (see attached meeting notes) asked if the units and loading area could be oriented to the north. The applicant stated that they had looked into that initially, but initial comments from

the Public Works Department indicated concern for vehicles backing into or out of units and encroaching into the driveway. He also stated that flipping the building and moving it south, would force the building to be closer to the property line and then it would not meet setbacks, creating more visual impacts to Heritage Hills residents. Moreover, orienting the doors and loading area north with gated security, would require either a much narrower building, or would require that the building be shifted south, in which case the project would not comply with required fire district standards, as confirmed by Jeff Sceili, from South Metro Fire Rescue at a meeting with staff on July 13th.

South Elevation



*Fencing.* A landscaped buffer is located to the south of the drive aisle, with an articulated metal fence designed to accommodate snow storage. Initially, the applicant's plan was to forego security fencing on the project's south border next to the resident's fencing, and to instead use the residents fence as their south fencing, connecting to it on the east and west ends. Based on that initial plan, the applicant volunteered to contribute \$2,000 to each adjoining property owner, to help pay for fence reconstruction, as some residents stated that their fences are not in good shape. However, that arrangement was later deemed to be unacceptable to the applicant due to insurance reasons and the offer to contribute funds to reconstruct residential fencing was rescinded. Security fencing is proposed as black, aluminum picket fence. Staff is recommending that such fence be powder coated as a condition of approval.

*A water quality pond* has been repositioned on the west side of the building to be outside the Southgate water easement.

*A 20-foot fire lane*, located on the south of the building, provides fire access. This lane will be signed so that the tenants do not park in the fire lane. Tenants will be also be directed to parallel park next to the building on the south side to load and unload, in conformance with the approved zoning. The site manager will enforce this.

*Security.* A key-coded lift gate is proposed on the south and east side of the building for security purposes. The building will be open from 8:00 am to 8:00 pm, seven days a week, as provided in a general note on the SIP sheet 1. Security cameras are also located in and around the building and will be monitored by the on-site building manager for compliance.

*The trash enclosure* is proposed north of the building, away from Heritage Hills residents, to mitigate noise impacts on the residents.

### **Building Design**

The building is 381-feet long, and approximately 110-feet wide. Staff worked with the applicant to minimize the horizontal massing of the building, particularly on the north side, with the addition of upright stucco panels for verticality and shadowing, the addition of glazing, and the addition of upright junipers. On all sides, the applicant has articulated the building, to provide for more visual interest.



North Elevation

Building materials are a combination of architectural metal panels, integrally colored CMU, stucco panels, and glazing. Colors are generally earth toned and grey in color, in keeping with the City’s Design Guidelines, and adjoining land uses (see attachment).

### **Landscaping and Irrigation**

Landscaping complies with the standards of the PD. It is comprised of plant materials that do well in this climate, with the use of junipers for year-round interest. Drip irrigation is used predominantly throughout, and native seeded areas will have temporary irrigation until established.

The applicant proposes extensive landscaping along the south side of the property in keeping with the approved PD, and in consultation with many of the adjacent owners at an on-site meeting on July 13, 2016. One adjacent Heritage Hills property owner has opted for no trees along their north border as they did not want their view of the City and mountains obstructed. The remaining residents attending the on-site meeting opted for evergreen trees (as opposed to deciduous) as they did not want leaves blowing in their yards and they wanted year-round screening. Trees range in height between 8-feet and 14-feet tall at the time of planting. The property slopes up to the south property line adjacent to homes in Heritage Hills, providing existing berming.

### **Snow Storage**

Snow storage is proposed on the south side of the drive aisle on the south side of the building.

### **Lighting**

Lighting complies with the zoning. Building lighting consists of downcast sconces (see sheet 12). The applicant has included in the general notes on sheet 1 that all building site lighting shall be extinguished from 8:00 pm to 8:00 am each night. All other project lighting must be turned off to security level within one hour after the end of business until one hour prior to business. All interior lights on the

south side of the building shall be extinguished at the close of business each day. All signage lighting shall be lit only during allowed hours of operation.

**H. REFERRALS**

Referral comments are attached. The applicants is addressing referral comments, as can be seen from their attached response letter.

**I. ATTACHMENTS**

- Development Application
- Letter of Authorization
- Narrative/Statement of Design Intent
- Referral Comments
- Applicant's referral responses
- Meeting notes from Heritage Hills community meeting on June 28, 2016
- PA 7 Design Standards from the Westbrook Sports & Entertainment District PD
- Landscape Architect's response to Design Standards
- SIP
- Renderings
- Building materials and colors

**END**



# Development Application

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

CITY OF LONE TREE

303.708.1818 | [www.cityoflonetree.com](http://www.cityoflonetree.com)

<b>Project Description</b>	Lone Tree Self Storage - A 2-story, single building self storage facility
----------------------------	---

Instructions	For Office Use Only
<ul style="list-style-type: none"> <li>✓ All applications must be typed or legibly printed</li> <li>✓ All applicable sections must be completed</li> <li>✓ All required attachments must be included</li> <li>✓ This application does not cover Engineering, Building, and/or Public Works submittal requirements and fees</li> </ul>	Project Name <i>Lone Tree Self Storage</i> Job # <i>SP16-33</i> Date <i>5/29/16</i> Planning Fee <i>\$3,200</i> Check # <i>1002</i>

Application Type	Location
<input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Rezoning <input type="checkbox"/> Final Plat <input checked="" type="checkbox"/> Site Improvement Plan (SIP) <input type="checkbox"/> Re-Plat <input type="checkbox"/> SIP Amendment <input type="checkbox"/> Lot Line Adj. <input type="checkbox"/> Other	Address    9368 Teddy Lane Approximate Location    East of Yosemite St. and south of Kimmer Dr. State Parcel ID, 2231-033-07-039    Acreage 2.827

Zoning	Legal Description
Current Zoning or PD Name    PD-Planned Development Proposed Zoning if Rezoning    N/A	Subdivision Name    Park Meadows Filing # 2, 21st Amend Block # N/A    Lot # 14E5A-3

Utility Providers
Fire District    South Metro Fire Rescue    Water Southgate Wat. & Sew. District    Electricity *Xcel Energy Metro District    N/A                                      Sewer Southgate Wat. & Sew. District    Gas    Xcel Energy

Property Owner of Record	Applicant if Different than Owner
Owner Name    Gene Gregory, Manager Company    Lone Tree Storage, LLC Address    367 Sandy Hollow Trail, Franktown, CO 80116 Phone    303.803.6362 Email    genegreg11@gmail.com	Name    Craig Northam Company    CVL Consultants of Colorado, Inc. Address    10333 E. Dry Creek Road, Suite 240 Englewood, CO 80112 Phone    720.482.9526 Email    cnortham@cvaldenver.com
Owner Signature <i>Gene Gregory</i> Date <i>4/26/16</i>	Applicant Signature <i>Craig Northam</i> Date <i>4/26/16</i>

# Letter of Authorization

Regarding Development Applications for Land Use Entitlements

City of Lone Tree  
9220 Kimmer Drive #100  
Lone Tree, CO 80124

RE: Property Address: 9368 Teddy Lane  
Assessor's Parcel Number (SPN): 2231-033-07-039

To Whom It May Concern:

I/We, the owner(s) of the above described real property, authorize Craig Northam  
of CVL Consultants of Colorado, Inc. to act as an agent on my/our behalf for the purpose of  
creating, filing and/or managing an application for Lone Tree Self Storage - Site Improvement Plan (SIP)  
(type of development or permit application).

The undersigned hereby certifies to being the fee owner(s) or legally authorized representative of the fee owner(s) of the real property described above.

Lone Tree Storage, LLC, Gene Gregory, Manager Eugene Gregory  
(Print Name of Owner)

Eugene Gregory  
(Signature of Owner or Authorized Representative)

State of Colorado  
County of DOUGLAS

The foregoing instrument was acknowledged before me this 27<sup>th</sup> day of April, 2018  
by Eugene Gregory.

Erica Herrington  
(Notary's official signature)

04/30/2018  
(Commission expiration date)

ERICA HERRINGTON  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID: 20054047942  
MY COMMISSION EXPIRES APRIL 30, 2018

NOTARY SEAL



CITY OF LONE TREE

# Site Improvement Plan Project Narrative & Statement of Design Intent Template

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

303.708.1818 | [www.cityoflonetree.com](http://www.cityoflonetree.com)

**Project Name** \_\_\_Lone Tree Self Storage\_\_\_\_\_

**Project #** \_\_\_8.13.0278801\_\_\_\_\_

**Project Location** \_\_\_9368 Teddy Lane\_\_\_\_\_

**Date** \_\_\_April 29, 2016\_\_\_\_\_

## Project Narrative

[ARTICLE XXVII - Site Improvement Plan \(SIP\) Project Narrative](#). The SIP process is intended to provide for development that enhances the quality of life in the City by promoting high-quality design and a strong economy, and by fostering a sustainable and healthy community. The SIP process is required to ensure the development will be in conformance with the [Comprehensive Plan](#), the [Design Guidelines](#), applicable chapters of this [Code](#) and applicable Planned Developments and Sub-Area Plans.

Using this form or a separate page(s), the applicant shall provide a written narrative describing their project. Use the following outline (Sec. 16-27-60) as a guide when formulating your narrative – please disregard sections that do not apply to your project:

### 1. General information.

- a. **Provide the subdivision name, filing number, planning area number when located in a Planned Development, lot and block number or street address and section, township and range if not in a subdivision, and name of project.**

Lone Tree Self Storage – 9368 Teddy Lane, Lone Tree, CO  
Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3  
Section 3, Township 6 South, Range 67 West

- b. **Indicate zoning of the site and the zoning and current uses of adjacent land.**

The site and surrounding development is zoned as PD – Planned Development

### 2. Development impacts. Describe overall impacts of the proposed development on adjacent lands and methods for mitigating those impacts.

The project site is an infill parcel to an existing development at the end of a private cul-de-sac. It is relatively isolated topographically and abuts an existing drainage channel. All developed runoff generated on the site remains on-site until it outfalls directly into the drainage channel. Several connections to existing utilities along the private drive along the north edge of the site will be made, but no mains will be installed except along the shared access on the western edge of the parcel. The site will be used for a self-storage facility, so traffic will be irregular and relatively infrequent compared to the surrounding development. A residential

subdivision bounds the site to the south, but is 10-15' above the project site and is completely fenced off. The development team intends to provide significant landscaping screening from the building and the existing residential development to the south.

Eight standard parking spaces and one handicap space has been provided. This parking meets all required parking requirements for this use

There are 605 storage units designed in the building. Current self storage standards suggest that this will generate up to 4 customer trips per hour to the facility. Over 95% of the storage units are at the interior building. These units are accessed by the customers through the covered loading. The customers will park in the covered loading area and enter the building through automatic sliding doors to access their rented unit. This virtually eliminates noise and light pollution coming from the covered loading area.

The storage units are rented to customers for the storage of their personal property. The units will not be used to occupy in any way to operate any kind of business in. Customers will not be allowed to occupy the units for any reason, for example to be used as "man caves". There is an on-site manager during business hours and customers will be monitored while on site. The manager will monitor the customers in person and by video surveillance. If there is any suspicious customer activity the manager will investigate.

Public Outreach: The applicant hosted a neighborhood meeting to introduce the project to interested neighbors and to get feedback on the general design. The landscape architect and the building architect met with individual neighbors that are adjacent to the southern property line to address specific locations and types of landscape materials that are proposed and make any changes as wanted by each specific neighbor.

**3. Compliance with Intent and Approval Standards. Describe how the development complies with the Intent (Section 16-27-10) and Approval Standards (Subsection 16-27-90(a)) of this Article.**

The project usage and design has been developed utilizing all applicable standards and requirements noted above.

**4. Development phasing. Describe the proposed development schedule and phases of development for all proposed construction.**

No phasing of the project is anticipated. Total construction time will take approximately 8-12 months.

**5. Other project data.**

**a. Total number of employees on maximum shift when known (for parking purposes).**

A maximum shift of 1 employee is anticipated for this site.

**b. Square footage of building.**

The building has a footprint of 40,100 SF with 2 stories for a total of 80,200 SF. It will have a total of 605 storage units.

**c. Lot area.**

2.827 acres

**d. Anticipated opening date.**

Spring/Summer 2017

- 6. Sustainability. Highlight ways in which the project furthers the City's environmental goals regarding sustainability. This may include a general description of the project location relative to other uses, public transit and trails; ease of travel to key destinations on foot or bicycle; water conservation and water quality measures; site layout; green building practices; or operational aspects of the use such as waste reduction, recycling or commuter trip reduction programs.**

The building is designed using LEED design principles and materials. Recycled building materials comprise of the majority of the building and a highly efficient exterior skin combined with HVAC systems are in line with LEED standards. Waste reduction and recycling during the construction of the building is a common practice with all of the team's projects. The major recycled materials in the project include site paving, concrete, and all of the steel used in the building walls, doors, floors, structure and roof.

- 7. Variances if applicable. For those SIPs for which a variance from the standards in this Chapter, the Design Guidelines or Sub-Area Plans is requested, the narrative shall also explain the need for the variance. (Public notice may be required, see Section 16-26-60).**

The southern edge of the building is staggered into the existing easement in some cases by five feet in order to articulate the building footprint along its southern edge. This was requested by planning staff to soften the south elevation of the building. Ample landscaping along the southern side of the building has been provided as required to allow this variance.

## **Statement of Design Intent**

Please describe how the project meets the intent of the [City of Lone Tree Design Guidelines](#), including the city's Core Design Principles (p. 11). If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well.

Please use the outline below as a guide in formulating your response. You may also use this opportunity describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

- 1. Overall Design Concept. Briefly describe the use and overall concept for the project as a whole.**

The design concept is a state of the art self-storage facility. The design incorporates rich materials that are aesthetic and highly efficient in energy terms. The architecture provides a strong identity for the project and contributes to the architectural uniqueness seen throughout Lone Tree. The building addresses the approach to the building from Teddy Lane and plays down the impact to the residential development to the south by decreasing the height of the building (it is a proposed 29'-8" maximum building height on the south side of the building where the allowed height is 35-feet) and the use of horizontal lines to create human scale. The building is held far away from the southern property line, and combined with landscaping it creates a soft low impact buffer between the building and the residences. The north and west edges of the

building address and activate the street front by setting close to the property line and the use of strong materials. The east side of the building is held very far from the property line and provides a smooth transition to the open space.

**2. Context and Site. Describe how the project relates functionally and visually to the context of the surrounding area. Consider issues of form and character, the natural environment, vehicular and pedestrian access and circulation, etc.**

The building addresses Teddy Lane as a commercial building with a strong identity of the user by the architecture and the location of the building. There is no sea of parking in front of the building, which is often perceived negatively with new development. This allows a strong pedestrian connection to the building entrance as well as a visual tie as vehicles approach it from Teddy Lane. The site circulation and open space is used on the south and east sides to set the building away from the neighboring properties and create a buffer. Customer parking on the south side of the building that is back-in perpendicular to the building will not be allowed. There is a fire lane that prohibits cars and trucks from parking in that manner because a car or truck would be in the fire lane- this lane will be marked on the paving and it will be posted. The property manager will insure that this type of parking will not be allowed. The only parking along the south side of the building will be parallel to the building.

**3. Public Realm. Describe how the project contributes to an inviting, safe and functional public realm. Consider public spaces, street/sidewalk – level experience, lighting, landscaping, and signage.**

As described earlier, the project addresses Teddy Lane and provides identity and an inviting approach to pedestrians and vehicles. The impact is lessened with the shared access drive to the west and the circulation enables safe pedestrian and automotive circulation.

**4. Architectural Design. Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high-quality design. Consider building form and composition, façade composition and articulation, and materials, colors, and lighting.**

The building encompasses storefront, architectural metal panels, and masonry for the building materials and an architecture which provides an identity for the users. The construction is very unique to self-storage. It is a bearing wall system based on a 10-foot grid and the building design reflects that technology and the structural system. The main office is the focal point of the building from Teddy Lane and it transitions in plan and building form to the self-storage which it houses. Breaking planes in 2-dimensions, variation of materials and color provide a sensitive approach to breaking up the mass of the building combined with a lower building height which is unique to this type of construction. The overall building architecture will contribute to the commercial area where it is located. Exterior lighting on the building will be minimal and used primarily for life safety.

## **Applicant/Preparer Contact Information**

Name: Craig Northam

Business: CVL Consultants of Colorado, Inc.

Address: 10333 E. Dry Creek Road, Suite 240, Englewood, CO 80112

Phone: 720.482.9526

Email: cnortham@cvldenver.com

### **Owner Contact Information if Different from Applicant**

Name: Gene Gregory, Manager

Business: Lone Tree Storage, LLC

Address: 367 Sandy Hollow Trail, Franktown, CO 80116

Phone: 303.803.6362

Email: genegreg11@gmail.com



CITY OF LONE TREE  
Community Development Department

# REFERRAL REQUEST

Today's date: June 16, 2016

<p><b>Project Name and File Number:</b> Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3, #SP16-33</p> <p><b>Project Type:</b> Site Improvement Plan</p> <p><b>Comments Due By:</b> July 6, 2016</p> <p>If you are unable to respond by the due date, please contact the project planner</p>
---

Dear Referral Organization:

Information on the above referenced proposal in the City of Lone Tree is provided for your review and comment. Please submit your response no later than the due date to ensure adequate time to consider comments and enter them into the public record.

If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

**We have no comments regarding this proposal**

**Please note the following concerns this organization has:**

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**See attached letter for comments regarding this proposal**

**Organization Name:** Raineygate West Village HOA

**Your name:** LINDA LANGBEINER

**Your signature:** Linda Langbeiner **Date:** 6/28/16

This project may be subject to public meetings. Please check the City's web site ([www.cityoflonetree.com](http://www.cityoflonetree.com)) for posted agendas or contact this office. Thank you for your consideration.

Jennifer Drybread

Senior Planner

## **PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:**

City of Lone Tree Community Development Dept.  
9220 Kimmer Drive Suite 100  
Lone Tree, CO 80124  
Ph: 303-708-1818  
Fx: 303-225-4949  
[jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com)

9222 Teddy Lane  
Lone Tree, Colorado 80124



Ph: 303-662-8112  
Fax: 303-792-9489  
www.cityoflonetree.com

# CITY OF LONE TREE

Department of Public Works

July 6, 2016

City of Lone Tree  
Jenifer Drybread, Senior Planner  
9220 Kimmer, Suite 100  
Lone Tree, CO 80124

Re: SP16-33  
Lone Tree Self Storage  
Project No. 061-440

Dear Jennifer:

I have reviewed the SIP referral dated June 16, 2016, for the above referenced Project.

The package submitted and reviewed consists of the following documents:

- Site Improvement Plan, 12 Sheets, dated 6/6/16, by CVL Consultants.  
(A separate Project Narrative was not provided).

Related information for this Project provided directly by the Project Engineer to our office:

- Civil Construction Documents (CD's), 11 Sheets, dated 5/3/16, by CVL Consultants.
- Grading, Erosion & Sediment Control (GESC) Plans, 7 Sheets, dated 4/29/16, by CVL Consultants.
- GESC Report, dated 6/17/16, dated 4/29/16, by CVL Consultants.
- Phase III Drainage Report, dated April 2016, by CVL Consultants.

We have the following comments:

## General

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (copy attached) is \$3,000.00. The fee must be paid prior to resubmittal/approval of the SIP or related Civil Documents. Review and comment on the SIP, GESC Plans, GESC Report and Drainage Report are covered under this review SIP base fee. This fee covers the initial review, and one resubmittal review of the documents. Subsequent resubmittal reviews (if required) are charged at 50% of the standard review fee, per resubmittal, for the specific document(s).
2. Review of the Civil Construction documents (CDs) is not covered under the standard SIP Review Fee. An additional fee (\$1,600) is required for the Civil CDs review (see attached fee schedule). This fee will need to be paid prior to or with the resubmittal of the Civil CD's (see subsequent comments). The CDs review fee covers the initial review, and one resubmittal review. Subsequent resubmittal reviews (if required) are charged at 50% of the initial review fee.
3. An initial set of engineering documents (CD's, GESC Report, GESC Plans, and Drainage Report) was submitted directly to our office by the Engineer. Review of those documents was postponed until submittal of the SIP. Subsequently, upon starting review of the Civil CD's, we noted significant

differences in the site grading between the SIP and the Civil CD's. Upon phone discussion with the Project Engineer, we were advised that the SIP reflected the newer updated site grading. Accordingly, review of the Civil CD's is being postponed until submittal of updated CD's by the Engineer. We will review the GESC Plans, GESC Report, Drainage Report and Civil CD's separate from this SIP Referral, and will coordinate directly with the Engineer to provide and resolve our review comments on those documents.

4. A Site Improvement Plan Improvements Agreement (SIPIA) and/or ROW/Construction Permit will not be needed for the proposed Project.
5. A Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. No site work may begin prior to issuance of the GESC Permit.
6. Since this site exceeds 1-Acre of disturbed area, a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE) also is required.
7. Only those sheets within the documents for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents (including the Civil Engineering submittals). The applicant's professional(s) should verify that the item(s) are addressed throughout all related Project documents consistently, as applicable.
8. Only comments pertaining to the SIP submittal are included herein. Comments on the other engineering documents (GESC Plans/Report, Drainage Report, and Civil CD's) will be provided separately to the Project Engineer.

#### **Sight Improvement Plan**

Sheet 3 – Grading Plan: The cross slope of 8.8% on the eastern drive around the building is quite steep, and may create some difficulty in this area, especially during icy winter conditions. We understand there are site constraints that have resulted in this proposed grade, but would recommend a maximum cross grade of approximately 5% for the parking/drive lane.

Other than the above item, we have no additional comments at this time.

#### **CONCLUSION**

The general concept of the proposed Lone Tree Self Storage (SP16-33) development appears acceptable to Engineering/Public Works. We have no objection to recommendation of SIP approval contingent upon appropriate resolution of the issues noted in the above comments and final Engineering/Public Works approval of the various engineering documents/plans.

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,



Gregory A. Weeks, PE, LEED ® AP  
City Engineer



# CITY OF LONE TREE

## Public Works Department

9222 Teddy Lane  
Lone Tree, CO 80124  
(303) 662-8112 Fax: (303) 792-9489

June 28, 2016

Jennifer Drybread  
City of Lone Tree Community Development Dept.  
9220 Kimmer Drive, Suite 100  
Lone Tree, CO 80124

Via: e-mail

Re: Park Meadows Filing No. 2, 21st Amendment, Lot 14E5A-3A (SP16-33)  
TTG Proj. No. 061-440

Dear Ms. Drybread,

On behalf of the City of Lone Tree, I have completed my review of the Land Survey issues relating to the SIP referenced above and have the following comments for the applicant (note: any references to Articles and Sections refer to the City of Lone Tree Zoning Regulations):

### Sheet 1

- 1) Please correct the Lot designation in the title on ALL sheets to: "-3A" [Article XXVII, Section 16-27-70 (a)(1)b ]
- 2) In the Legal Description, please complete the Reception No.'s in the 2nd line of Parcel A and the last line of Parcel B where "squares" exist instead of the last number of the Reception No. (**Note:** This also seems to be an issue in various places in the Site Data Chart as well.) Please correct where necessary.
- 3) Please add the note required in Article XXVII, Section 16-27-70 (b)(1) re: "The property herein is subject to ....Lone Tree Zoning Code, ..."

### Sheet 2

- 4) The Easterly line of the Lot has a different dimension shown than that shown on the 21st Amendment recorded plat and the Lot Line Adjustment Certificate.
- 5) There are numerous "squares" existing within many labels instead of the appropriate text or symbol. Please correct where necessary.

- 6) There are numerous easements shown on the 21st Amendment plat and Lot Line Adjustment Certificate that are not shown on the Site Plan (i.e. 30' Water, 30' Sanitary Sewer, 10' PSCO easements, etc.) that were labeled as: "Vacate By Separate Document ... " and the: "30' W.E. To Be Dedicated By Separate Document" which is not in the same location as designated on the plat. Please provide copies of documents where these easements were vacated or dedicated, since many of them run thru the middle of the proposed development. [Article XXVII, Section 16-27-70 (c)(5) ]
- 7) Please show, or better define, the limits of the Existing "20' Emergency Access and Fire Lane Easement" along the West line of the Lot and label as such in all labels of that easement. [Article XXVII, Section 16-27-70 (c)(5) ]
- 8) The Reciprocal Access Easement referenced as Parcel B in the Legal Description on Sheet is not shown or labeled. Please add to the drawing. [Article XXVII, Section 16-27-70 (c)(5) ]
- 9) Varying the line-type and width of the different easements would help clarify the limits of each different easement.

Feel free to call me with any questions or comments at 303-662-8112.

Respectfully,



Michael C. Cregger, P.L.S.  
TTG Engineers, Inc.

cc: Greg Weeks, P.E. – Engineering Dept.



CITY OF LONE TREE  
Community Development Department

# REFERRAL REQUEST

Today's date: June 16, 2016

**Project Name and File Number:** Park Meadows Filing 2, 21<sup>st</sup>  
Amendment, Lot 14E5A-3, #SP16-33

**Project Type:** Site Improvement Plan

**Comments Due By:** July 6, 2016

If you are unable to respond by the due date, please contact the project planner

Dear Referral Organization:

Information on the above referenced proposal in the City of Lone Tree is provided for your review and comment. Please submit your response no later than the due date to ensure adequate time to consider comments and enter them into the public record.

If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

**We have no comments regarding this proposal**

**Please note the following concerns this organization has:**

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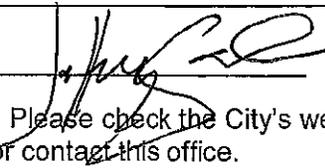
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**See attached letter for comments regarding this proposal**

**Organization Name:** South Metro Fire Rescue

**Your name:** Jeff Sceili

**Your signature:**  **Date:** 6/21/16

This project may be subject to public meetings. Please check the City's web site ([www.cityoflonetree.com](http://www.cityoflonetree.com)) for posted agendas or contact this office. Thank you for your consideration.

Jennifer Drybread

Senior Planner

**PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:**

City of Lone Tree Community Development Dept.  
9220 Kimmer Drive Suite 100  
Lone Tree, CO 80124  
Ph: 303-708-1818  
Fx: 303-225-4949  
[jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com)



CITY OF LONE TREE  
Community Development Department

# REFERRAL REQUEST

Today's date: June 16, 2016

<p><b>Project Name and File Number:</b> Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3, #SP16-33</p> <p><b>Project Type:</b> Site Improvement Plan</p> <p><b>Comments Due By:</b> July 6, 2016</p> <p>If you are unable to respond by the due date, please contact the project planner</p>
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Dear Referral Organization:

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If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

We have no comments regarding this proposal

Please note the following concerns this organization has:

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See attached letter for comments regarding this proposal

Organization Name: Park Meadows Metropolitan District

Your name: Bob Blodgett

Your signature: [Signature] Date: 6.20.16

This project may be subject to public meetings. Please check the City's web site ([www.cityoflonetree.com](http://www.cityoflonetree.com)) for posted agendas or contact this office. Thank you for your consideration.

Jennifer Drybread

Senior Planner

### PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:

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Ph: 303-708-1818  
Fx: 303-225-4949  
[jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com)



CITY OF LONE TREE  
Community Development Department

# REFERRAL REQUEST

Today's date: June 16, 2016

**Project Name and File Number:** Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3, #SP16-33

**Project Type:** Site Improvement Plan

**Comments Due By:** July 6, 2016  
If you are unable to respond by the due date, please contact the project planner

Dear Referral Organization:

Information on the above referenced proposal in the City of Lone Tree is provided for your review and comment. Please submit your response no later than the due date to ensure adequate time to consider comments and enter them into the public record.

If you have difficulty viewing or understanding any of the information or have questions, please contact me at 303-708-1818. Printed materials and extra sets of materials are available upon request. Plans may also be viewed at the City offices from 8am-5pm.

We have no comments regarding this proposal

Please note the following concerns this organization has:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

See attached letter for comments regarding this proposal

**Organization Name:** Douglas County Comm. Dev.

**Your name:** Matt Jakubowski

**Your signature:** *Matthew A. Jakubowski* **Date:** 6-28-16

This project may be subject to public meetings. Please check the City's web site ([www.cityoflonetree.com](http://www.cityoflonetree.com)) for posted agendas or contact this office. Thank you for your consideration.

Jennifer Drybread

Senior Planner

**PLEASE RETURN THIS PAGE AND ANY COMMENTS TO:**

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9220 Kimmer Drive Suite 100  
Lone Tree, CO 80124  
Ph: 303-708-1818  
Fx: 303-225-4949  
[jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com)





July 5, 2016

Delivered via email: [jennifer.drybread@cityoflonetree.com](mailto:jennifer.drybread@cityoflonetree.com)

Ms. Jennifer Drybread  
Community Development Department  
City of Lone Tree  
9220 Kimmer Drive, #100  
Lone Tree, CO 80124

**RE: Referral for Case No. SP16-33 Lone Tree Self Storage  
Park Meadows Filing No. 2, 21<sup>st</sup> Amendment, Lot 14E5A-3  
9368 Teddy Lane, Lone Tree, CO  
SPN: 2231-033-07-039**

Dear Ms. Drybread,

Thank you for providing Southgate Water & Sanitation Districts (Southgate) the opportunity to comment on the subject referral, which was received on June 15, 2016. The subject property is within the boundaries of Southgate and is serviceable through Southgate. Service connections to Southgate's water distribution and wastewater collection systems may be made only after proper application to Southgate and are subject to the following conditions. Southgate comments are as follows:

1. Proposed water and sewer infrastructure design was not reviewed with this submittal – water and sewer main extensions, fire hydrants, and water and sewer service plans, with applicable fees, must be submitted to Southgate directly for review and approval prior to construction. The design and construction of water and wastewater systems or facilities shall be in strict accordance with Southgate's Rules & Regulations and Specifications. Information on the review process and submittal requirements can be found on Southgate's website: [www.southgatedistricts.org](http://www.southgatedistricts.org)
2. Extensions to Southgate's systems, and any existing mains, are required to be located in a minimum of 30' public right-of-way (ROW) or easement without encumbrances and encroachments and minimum required clearances from other utilities, edges of ROW/easement, flow-lines, etc.
  - a. The drawings show a proposed water quality pond, emergency spillway, and trees in Southgate's existing water easement – these proposed changes/encroachments to Southgate's existing easement are not acceptable, remove these proposed improvements from Southgate's easement.
  - b. Encroachments are not permitted. Encroachments include structures, buildings, fences, walls, retaining walls, parking, curb & gutter

crossings, trees, woody plants, nursery stock, planters, islands, medians, posts, signs, etc.

- c. All easements must be drivable with Southgate equipment, including a combination jet/vacuum truck, without traversing encroachments, such as curb and gutter, walkways, landscaping, etc.
    - i. The drawings show proposed regrading of Southgate's existing easement for a water quality pond – regrading Southgate's existing easement as part of a proposed water quality pond is not acceptable.
  - d. Unimproved easements must be graded for driving purposes and may be landscaped with sod, bark or gravel. Trees, shrubs and woody plants are not permitted.
  - e. Improved easements shall be a paved (no pavers) roadway with a minimum paving width of 29' flow-line to flow-line or 26' flow-line to flow-line with an attached walk.
3. The cost of providing services to the property, including, and not limited to, System Connection Charges, system extension projects, potential system impact studies, potential system impact fees, and potential system improvements, will be borne by the property owner.
  4. The legal ability to provide service continues to exist at the time of connection and has not been limited, restricted or suspended by the action of a governmental entity, agency or other regulatory body which would diminish Southgate's capability to provide such service.
  5. Contact Southgate's Engineering Staff as soon as possible to discuss the project and establish project-specific requirements.

You may contact me at [cbaca@southgatedistricts.org](mailto:cbaca@southgatedistricts.org) or (303) 713-7746 with questions.

Sincerely,



Christina Baca, PE  
Engineering Manager  
Southgate Water & Sanitation Districts

cc: David Irish, Southgate Water & Sanitation Districts;  
File



**South Suburban**  
PARKS AND RECREATION

July 5, 2016

Jennifer Drybread  
City of Lone Tree  
9220 Kimmer Dr. #100  
Lone Tree, CO 80124

Re: Park Meadows, Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3, #SP16-33

Dear Ms. Drybread,

South Suburban Park and Recreation District reviewed the referral documents for the proposed development at the Park Meadows, Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3, #SP16-33 and have the following comments.

- It appears that at least one storm drain outfall will be piped across District owned property and eventually drain to a tributary of Willow Creek located north of the proposed development. The District requires easements for any storm drain or other infrastructure. All easements are granted by the South Suburban Board of Directors at a public meeting. Attached are the easement requirements.

Thank you for the opportunity to comment on this referral.

Sincerely,

Brett Collins  
Director of Planning and Development

Cc  
Rob Hanna, Executive Director  
Andy Jennings, Director of Parks  
Shawn Wissel, Grounds, Trails and Natural Open Space Manager

Administrative Office  
6631 S. University Blvd.  
Centennial, CO 80121-2913

phone 303.798.5131  
fax 303.798.3030  
ssprd.org

**Board of Directors**  
John K. Ostermiller, Chair

Scott A. LaBrash  
Pamela M. Eller  
Michael T. Anderson  
James A. Taylor

**Executive Director**  
Rob Hanna



**South Suburban  
PARKS AND RECREATION**

Administrative Office  
6631 S. University Blvd.  
Centennial, CO 80121-2913

phone 303.798.5131  
fax 303.798.3030  
ssprd.org

## Disclosure Statement

The staff of South Suburban Park and Recreation District (hereinafter referred to as the "District") receives many requests from various companies and public entities to review and comments on proposals, engineering studies and other technical and non-technical documentation and information relating to easement or right-of-way applications. This shall serve to advise you that, while the staff of the District is willing to cooperate in this regard to the extent possible, the staff has no authority to approve or disapprove an easement or right-of-way and cooperation by the staff shall by no means be construed to be as indicative of an approval of your application. An easement or right-of-way can be granted only by a majority vote of the Board of Directors of the District in a public meeting.

**Board of Directors**  
John K. Ostermiller, Chair  
  
Susan M. Rosser  
Pamela M. Eller  
Michael T. Anderson  
Scott A. LaBrash

**Executive Director**  
Rob Hanna

Furthermore, this shall serve to advise you that in the event the Board of Directors of the District approves your request for an easement or right-of-way, the Board, in its sole discretion, shall determine the purchase price for the grant of such easement or right-of-way. Said determination may include, but not be limited to, the following factors:

- (a) Market value of the property;
- (b) The value of the detriment to the retained District property;
- (c) Staff and engineering costs incurred by the District in reviewing the nature of the request (You may be asked to pay engineering costs incurred in review or development of the plan whether or the easement is granted or not, but will be advised in advance by the District of such requirement.);
- (d) Attorneys' fees and costs incurred by the District related to the request and documentation of the easement or right-of-way.

The undersigned has read and understands the foregoing and hereby acknowledges receipt of this Disclosure Statement.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Company or Public Entity

\_\_\_\_\_  
Name and Title



## **District Policies & Procedures**

### **Granting Easements**

**Adopted September 1985, revised July 2000 and January 2004**

On occasion, utilities, special districts, developers, individuals, and other parties submit requests to the District for easements, under, upon, and above the real property owned, leased, or used by the District. The following guidelines shall be used by the Board in deciding whether the easement request should be granted.

1. No easement shall be granted except by action of the Board in public meeting. The Board may grant or refuse an easement request with or without explanation.
2. Easements granted may be temporary/revocable or permanent.
3. Any easement granted shall be granted for a price which is the sum of the market value of the property, the value of detriment to retained District property (less the value of any benefit to said property), staff and engineering costs incurred by the District in reviewing the easement request and engineering details, and attorney fees and costs incurred by the District related to the request and easement documentation. The minimum charge for an easement shall be \$1,500 plus the value of the land across which the easement lies.
4. The Board may determine that the benefit to the District or the taxpayers of the District would be best served by a waiver of all or part of the consideration otherwise charged for an easement and upon making such findings may waive all or a part of such consideration.
5. In making a determination on as to whether or not to grant an easement and in determining value, the Board may among other considerations consider the following factors:
  - A. Whether the requesting party is:
    - 1) a governmental entity;
    - 2) a private governed utility;
    - 3) a private entity.
  - B. Whether the area under, upon, or over which the easement is requested is:
    - 1) an undeveloped area, never to be developed;
    - 2) an undeveloped area, held primarily for future development;
    - 3) developed area, minimal usage;
    - 4) developed area, heavy usage;
    - 5) developed area, year round usage.

- C. Whether use of the easement by the requesting party would:
  - 1) Be less or more beneficial to the District and its taxpayers than the District use which is to be interrupted or interfered with;
  - 2) Terminate, restrict or require a change in the use of the property by the District;
  - 3) Require maintenance and repairs which would interfere with the use of the property by the District.
- D. Whether the granting of the easement will adversely affect District functions or programs directly or indirectly related to the easement property.
- E. Whether the granting of the easement is in the best interest of the District and its taxpayers and participants.
- F. Whether there is a viable alternative route for the easement on adjacent private property.
- G. Whether a party can be named and identified who shall be responsible for maintaining the utility, underground pipe, etc., involved in the easement now and in the future.
- H. All easements granted shall be subject to the District's standard covenants, at least to the extent they apply. (See appendix for Easement Covenants.)

Staff is authorized to grant approval for temporary construction and access easements which have no permanent impact on the site.

The statement of considerations herein does not restrict or prevent the Board from considering other factors which may be relevant. The foregoing factors are merely guidelines which are not to be construed to require the Board to make findings when granting or denying easements, or when determining the value (easement fee to be assessed).

Att: District covenants

Ck 2012may /ds

## SOUTH SUBURBAN PARK AND RECREATION DISTRICT EASEMENT COVENANTS

THE EASEMENT GRANTEE AND USER COVENANTS AND AGREES TO THE FOLLOWING STANDARD SET OF EASEMENT COVENANTS:

1. Vehicles allowed on the easement property will only be those reasonably necessary and/or appropriate for the work to be performed. No private vehicle parking will be allowed. Upon completion of the project, all damage will be repaired.

2. Subject to the terms of the agreement to which this Exhibit is attached, all natural materials and soil as well as existing improvements such as concrete, asphalt or crusher fine trailways will be returned to their original condition after completion of the project. Plant materials and improvements to trailways shall be replaced on an assessed dollar value, as determined by South Suburban Park and Recreation District. Plant material and trail surface replacements will be installed according to South Suburban's standard specifications. Plant materials will include, but are not limited to, proper storage and installation of the natural materials so as to maximize the chance for survival. Surface replacements will be coordinated with District staff in regard to location, grading and materials used. Any such installations shall be guaranteed for a minimal period of one year after installation.

3. The surface layer of ground will be scraped 2 inches deep and stockpiled for replacement as top soil before soil preparation.

4. Backfilled trenches shall be compacted to 90% Standard Proctor Density. Physical tamping will be done between 8-inch layers (maximum) of backfill.

5. After replacing the stored top soil, the trenched and backfilled surface will be scarified.

6. Excess material will be removed from the site.

7. The disturbed area shall be reseeded as per specifications of the District.

8. The easement will be maintained in a clean and sanitary condition and the improvements thereon in good repair at all times.

9. The contemplated improvements are to be completed in a reasonable period of time, and in accordance to a pre-approved schedule.

10. Access onto property shall be according to an approved plan and as much as possible be confined to the shortest feasible route from the nearest street, as pre-approved by the District.

11. All work concerning utilities and services (gas, telephone, water, sewer, cable television, and so forth) will be coordinated with the respective companies.

12. The District reserves the right to demand and approve specifications regarding construction in advance of said construction. Such approval in no way creates responsibility in the District for oversight or compliance of the specifications with Colorado law.

13. Grantee, within its legal ability to do so under the Constitution of the State of Colorado and without in any way or manner intending to waive or waiving the defenses or limitations on damages provided for under and pursuant to the Colorado Governmental Immunity Act (Sec. 24-10-101, et. Seq. C.R.S.), (should said laws be applicable), the Colorado Constitution, or under the laws of the United States, the State of Colorado, or \_\_\_\_\_, (the applicable county or municipality), shall indemnify and save harmless the District, its officers and employees, against any and all claims, damages, actions or causes of action and expenses to which it or they may be subjected by reason of any work done or omission made by Grantee, its agents, officers, or employees, in connection with the construction, replacement, maintenance or repair of said improvements.

r04jan



June 30, 2016

Jennifer Drybread  
City of Lone Tree Planning Division  
9220 Kimmer Drive  
Lone Tree, CO 80124

RE: SP16-33, Lone Tree Self Storage, 9368 Teddy Lane  
TCHD Case No. 3963

Dear Ms. Drybread:

Thank you for the opportunity to review and comment on the site plan for a self-storage facility at Yosemite Street and Kimmer Drive. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comments.

#### **Vector Control**

##### *Storage*

Items stored on the floor, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, in addition to keeping the facility as clean as possible, TCHD recommends that the applicant create a plan for regular pest control.

##### *Water Quality Pond*

The site plan shows a water quality pond at the east end of the property. To reduce the potential for human exposures to West Nile and other mosquito-borne viruses, we recommend that mosquito control plans be developed for any stormwater facilities that are designed to hold water for 72 hours or longer. For ponds designed to drain within 72 hours, we do not initially recommend mosquito control plans. However, if a pond fails to operate as designed, resulting in mosquito breeding conditions or mosquito complaints, Tri-County Health Department will recommend that the operator implement a mosquito control plan to remedy the situation. A guidance document is attached.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "K Boyer", with a horizontal line extending to the right.

Kathy Boyer, REHS  
Environmental Health Specialist II

CC: Sheila Lynch, Keith Homersham, TCHD

**Tri-County Health Department  
Guidance for Preparation of  
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.

2. Funding mechanism

A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.

3. Activities that will be undertaken to prevent mosquito breeding conditions

This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be

coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

- Design review – Qualified personnel review construction plans and conduct field investigation to ensure construction per specifications of UDFCD Volume 3 and County criteria.

- Operation and maintenance activities:

This should identify who will conduct these activities (e.g., staff or contractor), and a schedule or trigger point for doing each task. Again, the UDFCD's Vol. 3 contains minimum operation and maintenance activities. If staff are to be used, this section should note if they will need training and how they will receive it.

- Regular inspections:

Facilities that are found to retain water should be inspected regularly to ensure that no mosquito larvae are present. Facilities should be inspected once a week beginning in April and continuing through September.

- Larvacide program:

Even if inspections do not reveal larvae, a larvaciding program should be established as a preventive measure at the same time that the inspection program begins (generally May) and continue through September. Some mosquitoes lay their eggs in mud, and when rain falls later, they can hatch and present a problem. Larvacide should be applied at the recommended rate and frequency specified by the product manufacturer. Mosquito control products can be found by doing a search on the internet.

Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

For Technical Assistance - Contact Monte Deatrich, Tri-County Health Department's mosquito control specialist, if you have any questions about any elements of the mosquito control program. Mr. Deatrich is in Tri-County's Commerce City office; he can be reached by phone at (303) 439-5902, or by e-mail at [mdeatrich@tchd.org](mailto:mdeatrich@tchd.org).

**Project Name:** Park Meadows Filing 2, 21st Amendment, Lot 14E5A-3

**Project Number:** SP16-33

**Jurisdiction:** City of Lone Tree

**Date Received:** 2016-06-15 00:00:00

**Due Date:** 2016-07-06 00:00:00

**Addressing Comments:**

This is lot 14E5A-3A per a Lot Line Adjustment recorded at Reception #2007028522.

**Engineering Comments:**

No Comments

**Planner Comments:**

No Comments



July 18, 2016

Ms. Jennifer Drybread  
City of Lone Tree  
Community Development Department  
9220 Kimmer Drive, Suite 100  
Lone Tree, CO 80124

RE: Parker Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3A (Lone Tree Self Storage)  
SIP Referral Comments

Dear Jennifer:

The Lone Tree Self Storage design team has considered the assorted referral comments provided during June, 2016 for the Park Meadows Filing 2, 21<sup>st</sup> Amendment, Lot 14E5A-3 (Lone Tree Self Storage) - Site Improvement Plan set. Our responses are reflected below:

HOA Meeting Comments:

- Revise note #4 to take out reference to light poles, since there will be none. Please note that all building lighting, with the exception of security lighting will be extinguished between 8:00 pm and 8:00 am per your comments to residents last night.

**RESPONSE: This has been corrected on the attached revised set.**

- Please note #6 to state that your hours of operation are limited to 8:00 am to 8:00 pm, Monday through Sunday, per your comments to the residents last night.

**RESPONSE: This has been corrected on the attached revised set.**

- Please add a new note that states that any signage lighting shall be lit only during allowed hours of operation:

**RESPONSE: This has been added to the attached revised set.**

Lone Tree Public Works-Michael Cregger:  
Sheet 1

- Please correct the Lot designation in the title on ALL sheets to: "-3A".

**RESPONSE: This has been corrected on the attached revised set.**

- In the Legal Description, please complete the Reception No.'s in the 2<sup>nd</sup> line of Parcel A and the last line of Parcel B where "squares" exist instead of the last number of the Reception No. (Note: This also seems to be an issue in various places in the Site Data Chart as well.) Please correct where necessary.

**RESPONSE: This has been corrected on the attached revised set.**

- Please add the note required in Article XXVII, Section 16-27-70 (b)(1) re: "The property herein is subject to ...Lone Tree Zoning Code..."

**RESPONSE: This has been added to the attached revised set.**

## Sheet 2

- The Easterly line of the Lot has a different dimension shown than that shown on the 21<sup>st</sup> Amendment recorded plat and the Lot Line Adjustment Certificate.

**RESPONSE: This has been corrected on the attached revised set.**

- There are numerous "squares" existing within many labels instead of the appropriate text or symbol. Please correct where necessary.

**RESPONSE: This has been corrected on the attached revised set.**

- There are numerous easements shown on the 21<sup>st</sup> Amendment plat and Lot Line Adjustment Certificate that are not shown on the Site Plan (i.e. 30' Water, 30' Sanitary Sewer, 10' PSCO easements, etc.) that were labeled as: "Vacate By Separate Document..." and the: "30' W.E. To Be Dedicated By Separate Document" which is not in the same location as designated on the plat. Please provide copies of documents where these easements were vacated or dedicated, since many of them run thru the middle of the proposed development.

**RESPONSE: This has been included with the attached revised set.**

- Please show, or better define, the limits of the Existing "20" Emergency Access and Fire Lane Easement" along the West line of the Lot and label as such in all labels of that easement.

**RESPONSE: This has been shown on the attached revised set.**

- The Reciprocal Access Easement referenced as Parcel B in the Legal Description on Sheet is not shown or labeled. Please add to the drawing.

**RESPONSE: This has been added on the attached revised set.**

- Varying the line-type and width of the different easements would help clarify the limits of each different easement.

**RESPONSE: These easements have been clarified as requested on the attached revised set.**

### Lone Tree Public Works-Greg Weeks

- Sheet 3 – Grading Plan: The cross slope of 8.8% on the eastern drive around the building is quite steep, and may create some difficulty in this area, especially during icy winter conditions. We understand there are site constraints that have resulted in this proposed grade, but would recommend a maximum cross grade of approximately 5% for the parking/drive lane.

**RESPONSE: As discussed with Greg Weeks, the site constraints regarding the Southgate Water & Sanitation District water easement, the 10' of drop west to east of the property with multiple steps in the building already, and a 2' drop at the east side storage units have been taken to mitigate this problem. No other solution is viable.**

### Tri-County Health Dept.

- Recommend that the applicant create a plan for regular pest control.

**RESPONSE: The applicant will incorporate a regular pest control service into its regular maintenance.**

- Recommend that the operator implement a mosquito control plan for pond if it drains in 72 or more hours.

**RESPONSE: This pond is a Water Quality Pond which drains in 40 hours, so a plan is unnecessary.**

### Douglas County Community Development

- This is lot 14E5A-3A per a Lot Line Adjustment recorded at Reception #2007028522.

**RESPONSE: This has been corrected on the attached revised set.**

### South Metro Fire Rescue

- No Comments

**RESPONSE: Acknowledged.**

### Southgate Water & Sanitation District

- Proposed water and sewer infrastructure design was not reviewed with this submittal-water and sewer main extensions, fire hydrants, and water and sewer service plans, with applicable fees, must be submitted to Southgate directly for review and approval prior to construction. The design and construction of water and wastewater systems or facilities shall be in strict accordance with Southgate's Rules & Regulations and Specifications.

**RESPONSE: A water plan set has been Conditionally Approved by Southgate, and will be submitted into Denver Water for their review this week.**

- Extensions to Southgate’s systems, and any existing mains, are required to be located in a minimum of 30’ public right-of-way (ROW) or easement without encumbrances and encroachments and minimum required clearances from other utilities, edges of ROW/easement, flow-lines, etc.

**RESPONSE: Acknowledged.**

- a. The drawings show a proposed water quality pond, emergency spillway, and trees in Southgate’s existing water easement – these proposed changes/encroachments to Southgate’s existing easement are not acceptable, remove these proposed improvements from Southgate’s easement.

**RESPONSE: The water quality pond was never in the easement and still is not encroaching. The spillway has been removed. Only shrubs and grasses are proposed by the landscape plan in the easement.**

- b. Encroachments are not permitted. Encroachments include structures, buildings, fences, walls, retaining walls, parking, curb & gutter crossings, trees, woody plants, nursery stock, planters, islands, medians, posts, signs, etc.

**RESPONSE: No improvements noted above are proposed within the easement other than a specially designed curb and gutter along the outer radius of the drive lane at the northeast corner of the site. This special design was discussed with Southgate staff and approved.**

- c. All easements must be drivable with Southgate equipment, including a combination jet/vacuum truck, without traversing encroachments, such as curb and gutter, walkways, landscaping, etc.
  1. The drawings show proposed regrading of Southgate’s existing easement for a water quality pond – regrading Southgate’s existing easement as part of a proposed water quality pond is not acceptable.

**RESPONSE: The pond has been regraded to minimize impact to the accessibility of the existing water easement.**

- d. Unimproved easements must be graded for driving purposes and may be landscaped with sod, bark or gravel. Trees, shrubs and woody plants are not permitted.

**RESPONSE: We are unsure the purpose of this comment. The only grading along the existing water easement is in the northeast corner of the site previously discussed above. The design has been prepared that minimizes grading impacts to this easement.**

- e. Improved easements shall be a paved (no pavers) roadway with a minimum paving width of 29’ flow-line to flow-line or 26’ flow-line to flow-line with an attached walk.

**RESPONSE: This has been reflected on the attached revised plans.**

- The cost of providing services to the property, including, and not limited to, System Connection Charges, system extension projects, potential system impact studies, potential system impact fees, and potential system improvements, will be borne by the property owner.

**RESPONSE: Acknowledged.**

- The legal ability to provide service continues to exist at the time of connection and has not been limited, restricted or suspended by the action of a governmental entity, agency or other regulatory body which would diminish Southgate's capability to provide such service.

**RESPONSE: Acknowledged.**

South Suburban Parks and Recreation

- It appears that at least one storm drain outfall will be piped across District owned property and eventually drain to a tributary of Willow Creek located north of the proposed development. The District requires easements for any storm drain or other infrastructure. All easements are granted by the South Suburban Board of Directors at a public meeting. Attached are the easement requirements.

**RESPONSE: An easement will be prepared and processed through the District as requested shortly.**

If you have any questions, please don't hesitate to call.

Sincerely,  
**CVL Consultants of Colorado, Inc.**



Craig Northam, PE  
*Senior Project Manager*

## Meeting on Lone Tree Self Storage with Heritage Hills Residents

June 28, 2016

Location, Heritage Hills Club House

*Meeting Notes*

Project owner, Gene Gregory, and the project architect, Tom Seibert, attended a meeting attended by approximately 15 Heritage Hills residents and board members to discuss their concept and to answer questions.

Mr. Seibert provided an overview of the project:

- 600 storage units.
- 28-foot tall building (9 or 10-feet lower than unoccupied office building to the west).
- Expected to generate 4 trips/hour once the storage units are all full.
- Hours of operation are 8 am – 8 pm.
- Security will be tight, with the gate computer code corresponding with each assigned unit. If one code is entered at the gate, and another code entered in a unit, it will trigger an alarm. They will be able to monitor the frequency and length of visits, to ensure there are no businesses operating out of the units. There will also be security cameras inside and outside.
- Due to the lower elevation of the building, compared to the homes in Heritage Hills adjacent to the development, the car lights into the facility will not shine into these residences.
- Lighting will consist of building-mounted, full cut-off, wall pack units. There will be no parking lot lights.
- They do not make it attractive for people to stay. They set their heating controls to 62 degrees in the winter time and 80 degrees in the summer time.
- They hope to begin construction in September and open by the latest in June 2017.

One resident inquired how much of a grade change would result on the property when developed. Mr. Seibert stated that the land was relatively flat (though it does slope down slightly from west to east), and that there would not be significant grading. The drainage will also be the same, with the exception that they will be constructing a water quality detention facility on the east side of the property to catch sediment.

Mr. Seibert offered to meet with adjoining residents to see where they would like the trees to be placed. One resident stated they did not want trees to block their views; another resident wanted trees to buffer the use. Mr. Seibert asked residents to provide him their emails so he could set up a meeting with them and their architect. He also agreed to stake the boundaries of the building.

One resident asked about signage. Mr. Seibert stated that they may have a monument sign, and a building mounted sign on their west elevation. He offered to have the lights on the building mounted sign turn off after the close of business hours.

There was some discussion about building orientation, and why the garage doors on the ground level on the south elevation could not be located on the north elevation, along with the loading dock. Mr. Seibert explained that the City (he thought it was Public Works), did not want people backing into or out of such units on the driveway. Moreover, the building is setback 70-feet from the south property line per the Zoning [which actually requires a 75-foot setback], so if they flipped the building it would force the building to be closer to the property line, creating more visual impacts, and making it inconsistent with zoning.

Another resident asked if the loading area could be shifted to the north side, or through the office, or at least an additional loading area created on the north side to minimize the noise impacts to adjoining residents. Mr. Gregory and Mr. Seibert explained that it's not consistent with industry standards to have two loading areas. Additionally, the loading area is located in the secure area, and locating it on the north side would result in cars backing out onto the area driveway. Moreover, relocating the loading area on the west side by the office would require patrons to move their storage across the full length of the building, a big inconvenience to them, and may hurt the marketability of their project.

The residents asked about the fencing on the south side. Mr. Seibert explained that their fence would connect to the resident's fence on the east and west side. Residents explained that many of their wood fences are in bad shape. Mr. Gregory stated that they would be willing to put posts behind their fences to shore them up. One resident asked if they would be willing to construct a brick wall on their south property line. Other HOA residents responded that by their covenants, the residents would still need to maintain their wood fencing along this exterior boundary.

When asked about how noisy the garage doors would be on the units on the south side, Mr. Seibert explained that the bottom of the doors have a rubber seal that will minimize noise. He also said that people will come at different times of day. Mr. Gregory stated that patrons would also visit the site in the winter when people would not be on their back patios, or during the day, when many residents would not be home.

One resident asked where the trash enclosure would be located. It is located on the north side of the project, away from the Heritage Hills homes.

One resident asked whether their patrons would be queuing up at the loading dock, and the concern for car exhaust. Mr. Gregory stated that he had not seen more than two cars at a time at the loading dock, and that the dock can accommodate 3 cars or trucks at a time.

One resident expressed appreciation for the applicant coming to speak to them. The meeting, which began at 7:00 pm, concluded at 8:15 pm.

# Proposed Design Standards

## For Park Meadows Filing 2, 21<sup>st</sup> Amendment, Amending Planning Area 7 and creating a new Planning Area known as Planning Area 7A, as part of the Westbrook Entertainment & Sports District PD, 3<sup>rd</sup> Amendment

### Building Massing and Scale:

Buildings shall be reduced from a maximum height of 55', to a maximum of 36' in either a one or two story condition. Buildings may be constructed in three configurations:

- (a) A one story configuration;
- (b) A standard two story configuration; and
- (c) A two story building in a walk-out configuration, as demonstrated in Exhibit "A", with the two story face of the buildings facing North.

Varying planes and architectural details shall be incorporated into the building design to break up massing and to provide visual interest. Specific architectural details shall be as applied by the City in accordance with the existing City architectural guidelines at the time of SIP submittal.



Exhibit A

### Landscaping:

Landscaping in the setback area between the South Property Line and the Parking Setback Line (the "Buffer Area") shall include a variety of plant materials that will provide visual interest during all seasons. Landscaping should consist of a variety of trees, shrubs, groundcovers, annual and perennial flowering species, turf grasses, mulches, and automatic irrigation. All plant materials shall meet or exceed minimum

standards as outlined by the Colorado Nursery Act Regulations. Plants will be installed according to specifications of the Associated Landscape Contractors of Colorado. Plant materials shall also conform to Uniform Nursery Standards, current edition.

*Increased Minimum Plant Material Quantities.*

Minimum landscape requirements shall be increased from the current standards to the following. Landscaping shall include a total number of trees and shrubs equal to two trees per 25 linear feet of Buffer Area.

Landscaping shall include a combination of dryland grasses, trees, and shrubs, and at least 70 percent of the required trees shall be evergreen species. Like tree species may be grouped with spacing not less than 20 feet on center for small deciduous trees; 30 feet on center for large deciduous tree species; and 12 feet on center for evergreen trees. The maximum distance between groups may not exceed 35 feet on center. Planting a single row of trees the full length of the Buffer Area is discouraged. Trees should be grouped together and staggered so they do not appear in a straight line. The applicant will meet with interested homeowners at the time of the Site Improvement Plan preparation to receive input on specific tree and other landscape planting locations.

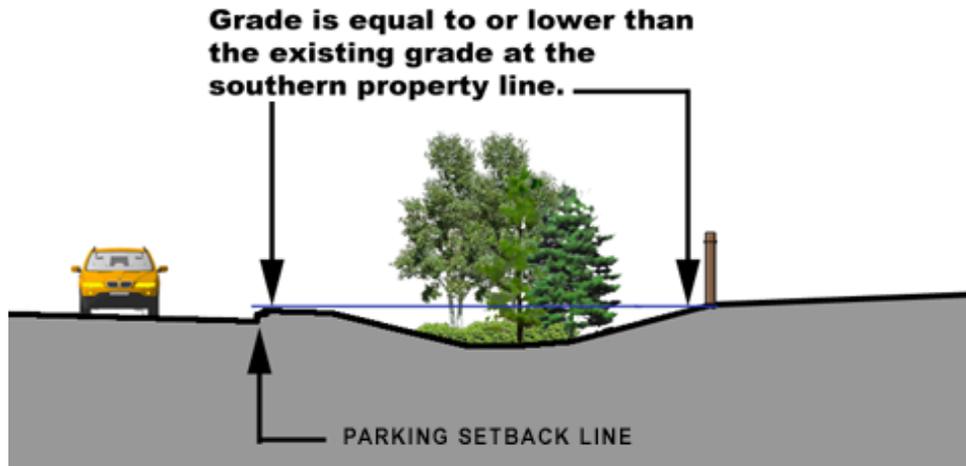
*Increased Minimum Plant Material Sizes.*

1. Shade trees – 3-inch caliper minimum.
2. Ornamental trees – 2-inch caliper minimum (for single stem varieties).
3. Clump forms, i.e., multi-stemmed, are acceptable and shall be six to eight feet in height at time of installation.
4. Evergreen trees – eight feet high minimum, with 35% of the total being 8' – 35% being 10' – 15% - 12', and 15% being 14'.
5. All shrubs – five-gallon container minimum.
6. Groundcover and annuals as approved.
7. Ornamental grasses and perennials – one-gallon container minimum or as approved.
8. Tree caliper shall be measured six inches above ground level for all trees up to three inches in caliper and 12 inches above ground level for larger sizes.

**Grading:**

Existing grade may be modified to accommodate development in keeping with these Design Standards. The maximum final grade (the “Maximum Parking Setback Grade”) at the back of curb of the drive aisle or parking lot located at the Parking Setback Line (as such term is defined in Section (a) of the “South Property Line Building and Parking Setbacks” section below) may be no higher than the existing grade at the shared property line between the Village Square Parcel and the residences to the South (the “South Property Line”). The grading plan of any SIP submitted under these Design Standards will be subject to city review and approval for compliance with the Maximum Parking Setback Grade. The City may require that pre and post construction grade cross sections,

similar to those set forth in Exhibit “B”, and any other information as necessary to evaluate any grade changes along the South Property Line be submitted with any SIP.



**Exhibit B**

**South Property Line Building and Parking Setbacks:**

In the event that any SIP submitted for approval complies with these Design Standards, which are more restrictive than the current requirements,

- (a) If the proposed building is a one story building, the building setback line (the “Building Setback Line”) shall be 70’ and the parking setback line, or the distance between the South Property Line and the back of the curb of the drive aisle (the “Parking Setback Line”) shall be 25’ from the South Property Line;
- (b) If the proposed building is a two story building with a walk-out configuration, with the two story side facing North, as set forth in Exhibit “A”, the Building Setback Line shall be 75 feet and the Parking Setback Line shall be 35’ from the South Property Line;
- (c) If the proposed building is a traditional two story building, the Building Setback Line shall be 75 feet and the Parking Setback Line shall be 35’ from the South Property Line.

**Lighting:**

Any parking lot poles along the south property line shall be timed to go off no later than 8:00 pm each night. All other project lighting must be turned off to security level within one hour after the end of business until one hour prior to business, per City regulations.

**Garbage Collection:**

Hours of trash collection and deliveries shall be limited to 7am-7pm weekdays and 8 am – 6pm weekends and holidays.

**Parking:**

Pull in parking on the south side of the proposed building(s) will be required to face to the north, away from the existing residences to the south. Thirty percent (30%) of the total parking spaces for the site (which, for all purposes hereunder, includes all buildings located on the original seven (7) acre site) may be compact parking spaces. Compact parking spaces shall be given credit towards the parking requirement for the site. Parallel parking will be permitted on site, provided that no parallel parking will be permitted along the South Property Line.

**Tim Dunn, landscape architect for Lone Tree Self Storage, has responded how he has met the following landscape requirements of the Westbrook Sports and Entertainment District Planned Development (excerpt below), with some modifications in consultation with adjoining landowners (see below in red).**

*“Increased Minimum Plant Material Quantities.*

Minimum landscape requirements shall be increased from the current standards to the following. Landscaping shall include a total number of trees and shrubs equal to two trees per 25 linear feet of Buffer Area.

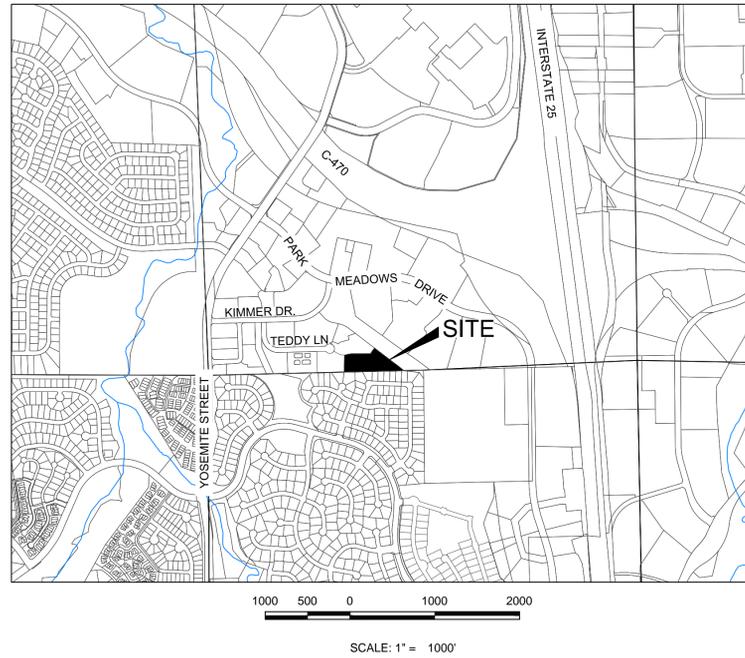
Landscaping shall include a combination of dryland grasses, trees, and shrubs, and at least 70 percent of the required trees shall be evergreen species. Like tree species may be grouped with spacing not less than 20 feet on center for small deciduous trees; 30 feet on center for large deciduous tree species; and 12 feet on center for evergreen trees. The maximum distance between groups may not exceed 35 feet on center. Planting a single row of trees the full length of the Buffer Area is discouraged. Trees should be grouped together and staggered so they do not appear in a straight line. The applicant will meet with interested homeowners at the time of the Site Improvement Plan preparation to receive input on specific tree and other landscape planting locations.

*Increased Minimum Plant Material Sizes.*

1. Shade trees – 3-inch caliper minimum.
2. Ornamental trees – 2-inch caliper minimum (for single stem varieties).
3. Clump forms, i.e., multi-stemmed, are acceptable and shall be six to eight feet in height at time of installation.
4. Evergreen trees – eight feet high minimum, with 35% of the total being 8’ – 35% being 10’ – 15% - 12’, and 15% being 14’.
5. All shrubs – five-gallon container minimum.
6. Groundcover and annuals as approved.
7. Ornamental grasses and perennials – one-gallon container minimum or as approved.
8. Tree caliper shall be measured six inches above ground level for all trees up to three inches in caliper and 12 inches above ground level for larger sizes.”

Current planting requirements of 2 trees per 25 lineal feet equal 25 trees. The revised landscape plan shows 43 tree tightly space together and 12 large evergreen shrubs for a total of 45 evergreens. Deciduous trees as required by the design guidelines were removed due to concerns from adjoining property owners. The height standards of 8’, 10’, 12’ and 14’ have been met. The architect, architect and case planner met on-site with the adjoining neighbors to the south. The neighbors were in consensus about removing the deciduous trees previously shown on the landscape plan and replacing them with evergreen trees. Some trees were completely removed due to adjoining neighbors’ concerns about views be blocked.

# VICINITY MAP



**LEGAL DESCRIPTION:**

PARCEL A:  
 LOT 14E5A-3A,  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT RECORDED JANUARY 13, 2006 UNDER RECEPTION NO. 2006004191,  
 AND ACCORDING TO THE LOT LINE ADJUSTMENT CERTIFICATE RECORDED APRIL 10, 2007 UNDER RECEPTION NO.  
 2007028522, COUNTY OF DOUGLAS, STATE OF COLORADO.

PARCEL B:  
 A RECIPROCAL, PERPETUAL, NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR PEDESTRIAN AND VEHICULAR  
 ACCESS, AS MORE SPECIFICALLY DESCRIBED IN ACCESS EASEMENT AGREEMENT RECORDED AUGUST 28, 2006 UNDER  
 RECEPTION NO. 2006073569, COUNTY OF DOUGLAS, STATE OF COLORADO.

**NOTES:**

- SIP IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE OWNED BY LONE TREE, EXCEPT THAT THE MAINTENANCE OF CURB, GUTTER, SIDEWALK, CROSSPANS, AND PAVEMENT WITHIN THE ACCESS TO THE SITE SHALL REMAIN WITH THE DEVELOPER/OWNER.
- NO BUILDING PERMIT WILL BE GRANTED FOR THIS SIP UNTIL A GRADING PERMIT HAS BEEN ISSUED.
- ANY WALL, TIERED WALL OR MONUMENT OVER FOUR FEET IN HEIGHT REQUIRES A PERMIT FROM THE LONE TREE BUILDING DIVISION PRIOR TO CONSTRUCTION. DETAILED PLANS FOR ANY WALL OVER FOUR (4) FEET IN HEIGHT WILL BE SUBMITTED TO THE LONE TREE BUILDING DIVISION PRIOR TO THE ISSUANCE OF THE REQUIRED BUILDING PERMIT.
- BUILDING SITE LIGHTING (INCLUDING INTERIOR LIGHTS) SHALL BE EXTINGUISHED FROM 8:00 PM TO 8:00 AM EACH NIGHT. ALL OTHER PROJECT LIGHTING MUST BE TURNED OFF TO SECURITY LEVEL WITHIN ONE HOUR AFTER THE END OF BUSINESS UNTIL ONE HOUR PRIOR TO BUSINESS.
- HOURS OF TRASH COLLECTION AND DELIVERIES SHALL BE LIMITED TO 7AM-7PM WEEKDAYS AND 8AM-6PM WEEKENDS AND HOLIDAYS.
- HOURS OF OPERATION ARE 8AM-8PM MONDAY THROUGH SUNDAY. ALL INTERIOR LIGHTS ON THE SOUTH SIDE OF THE BUILDING SHALL BE EXTINGUISHED AT THE CLOSE OF BUSINESS EACH DAY.
- THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.
- ALL SIGNAGE LIGHTING SHALL BE LIT ONLY DURING ALLOWED HOURS OF OPERATION.

**BASIS OF BEARINGS**  
 THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3  
 BEING MONUMENTED AS SHOWN HEREON HAVING A BEARING OF  
 SOUTH 88°35'08" WEST.

**BENCH MARK**  
 SITE BENCHMARK IS A 1" PLASTIC CAP LS# 22564, FOUND AT THE  
 NORTHEAST CORNER OF "TRACT D" HERITAGE HILLS FILING NO. 1-J  
 AND RECORDED AT REC. NO. 2003118028. ELEVATION IS 5940.84 FEET  
 (NAVD 88) BASED UPON GPS RTK METHODS AND LOCATION ON  
 12/15/2009 FROM DOUGLAS COUNTY CONTROL MONUMENT 2100020.

## LONE TREE SELF STORAGE

PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
 PLANNING AREA 7A  
 2.827 ACRES  
 SIP #16-33

SITE DATA CHART		
ITEM	SQ. FT.	% OF GROSS SITE
GROSS SITE AREA	125,888	100
BUILDING FOOTPRINT	40,100 (UPPER) 40,100 (LOWER)	31.9
PARKING/ROADS (Including planted interior parking islands)	26,248	20.9
HARDSCAPE TOTAL	66,346	52.8
LANDSCAPED AREA (excluding roads and parking)	4,246	3.3
NATURAL AREA	55,296	43.9
LANDSCAPE TOTAL (includes 30% of natural area)	20,835	16.6
ITEM	DESCRIPTION	
BUILDING SIZE: 1 & 2 STORIES	80,200 SQ. FT. TOTAL	
MAXIMUM BUILDING HEIGHT	2 STORY - 26' ABOVE HIGHEST FINISHED FLOOR ELEVATION	
STORAGE UNITS PROVIDED	611	
NUMBER OF EMPLOYEES	1	
PARKING: REQUIRED	1 SPACE/100 UNITS + 1 SPACE/EMPLOYEE = 8 SPACES	
PARKING: PROVIDED	8 REGULAR SPACES AND 1 HANDICAP SPACE	

**PROJECT TEAM**

OWNER/APPLICANT

LONE TREE SELF STORAGE  
 C/O GREGORY CONSTRUCTION  
 367 SANDY HOLLOW TRAIL  
 FRANKTOWN, COLORADO 80116  
 ATTN: GENE GREGORY  
 (303) 803-6362

CIVIL ENGINEER

CVL CONSULTANTS OF COLORADO, INC.  
 10333 E. DRY CREEK ROAD, SUITE 240  
 ENGLEWOOD, CO 80112  
 ATTN: CRAIG NORTHAM, P.E.  
 (720) 482-9526

PLANNER/ARCHITECT

SY-BAZZ ARCHITECTURE  
 1615 CALIFORNIA STREET, SUITE 210  
 DENVER, CO 80202  
 ATTN: TOM SEIBERT  
 (303) 300-2998

LANDSCAPE ARCHITECT

TIM DUNN DESIGN  
 6948 DAVENTRY PLACE  
 CASTLE PINES, CO 80108  
 ATTN: TIM DUNN  
 (720) 350-2411

ELECTRICAL ENGINEER

EE, LLC  
 ATTN: LOREN PRIEST  
 (303) 748-1189

APPROVAL CERTIFICATE

THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON \_\_\_\_\_.

BY: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: COMMUNITY DEVELOPMENT DIRECTOR  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: CITY ENGINEER  
 DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 TITLE: MAYOR  
 DATE: \_\_\_\_\_

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

\_\_\_\_\_  
 (NAME OF OWNER)

\_\_\_\_\_  
 (SIGNATURE OF OWNER)

\_\_\_\_\_  
 (PRINTED NAME & TITLE)

STATE OF: \_\_\_\_\_ )SS.  
 )

COUNTY OF: \_\_\_\_\_ )

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_, 2016, BY WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: \_\_\_\_\_

\_\_\_\_\_  
 NOTARY PUBLIC

APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.

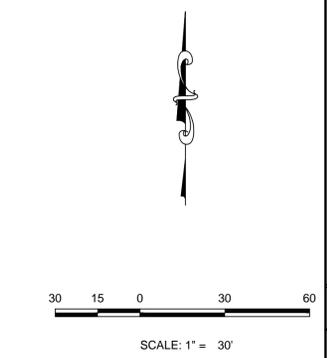
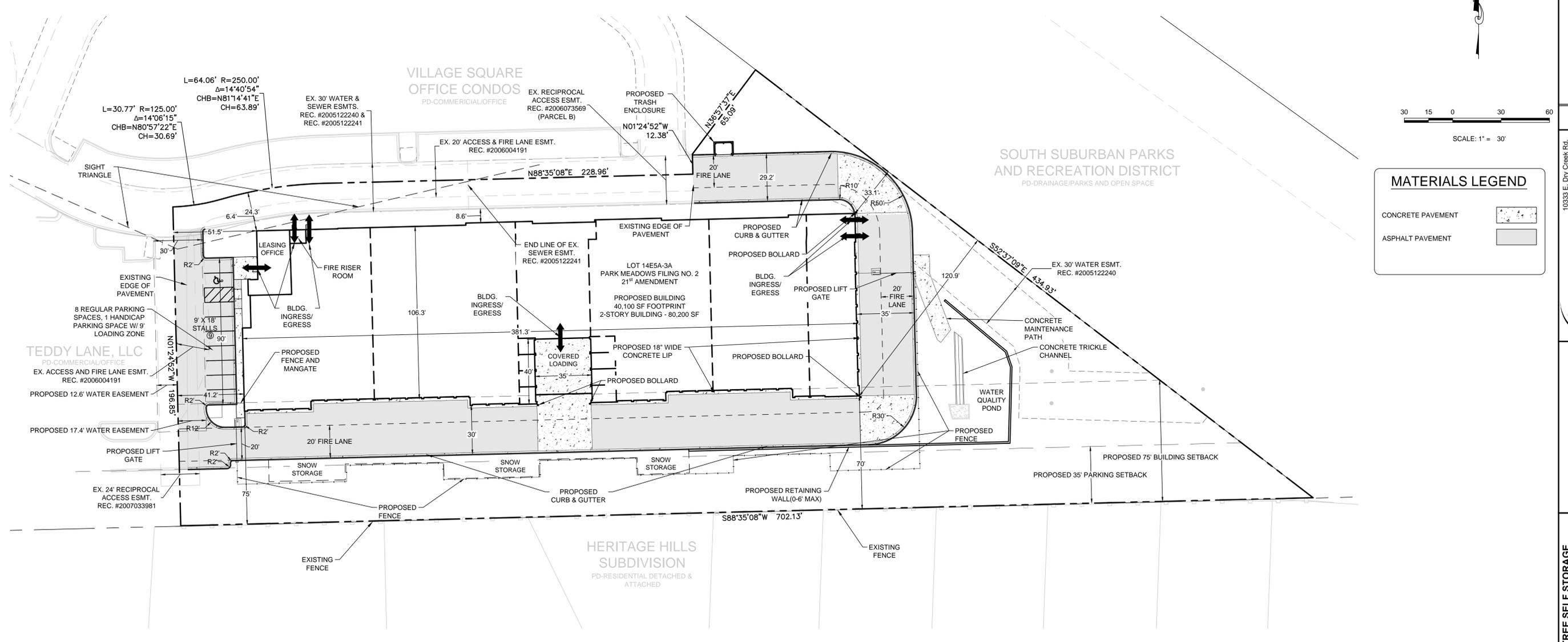
STANDARD CONDITIONS OF APPROVAL  
 (PER CITY OF LONE TREE MUNICIPLE CODE SECTION 16-27-70(b)(1):

(1) GENERAL:  
 THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY BE ADDRESSED IN AN APPROVAL DEVELOPMENT PLAN OR SUB-ARREA PLAN.

SHEET INDEX	
1 OF 12	COVER SHEET
2 OF 12	SITE PLAN
3 OF 12	GRADING PLAN
4 OF 12	SITE LANDSCAPE PLAN
5 OF 12	LANDSCAPE DETAILS
6 OF 12	IRRIGATION PLAN
7 OF 12	IRRIGATION DETAILS
8 OF 12	IRRIGATION DETAILS
9 OF 12	ARCHITECTURAL ELEVATIONS
10 OF 12	ARCHITECTURAL SITE SECTIONS
11 OF 12	PHOTOMETRIC SITE PLAN
12 OF 12	LIGHTING DETAILS

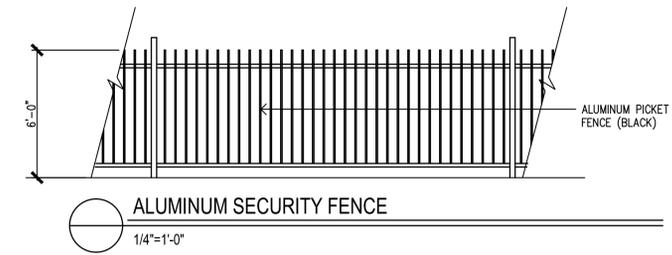
DRAWN BY: PJR	SCALE: AS SHOWN	CHECKED BY: CN	FILE NO: 8-13.0278801	DATE: JULY 14, 2016	SHEET NUMBER <b>1</b>	LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN COVER SHEET	LONE TREE SELF STORAGE C/O GREGORY CONSTRUCTION 367 SANDY HOLLOW TRAIL FRANKTOWN, COLORADO 80116	CVL CONSULTANTS	10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546	Revisions	Appr.	Date
										No.		

**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
 PLANNING AREA 7A  
 2.827 ACRES  
 SIP #16-33



**MATERIALS LEGEND**

CONCRETE PAVEMENT	
ASPHALT PAVEMENT	



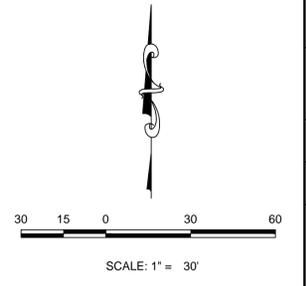
**BASIS OF BEARINGS**  
 THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3 BEING MONUMENTED AS SHOWN HEREON HAVING A BEARING OF SOUTH 88°35'08" WEST.

**BENCH MARK**  
 SITE BENCHMARK IS A 1" PLASTIC CAP LS# 22564, FOUND AT THE NORTHEAST CORNER OF "TRACT D" HERITAGE HILLS FILING NO. 1-J AND RECORDED AT REC. NO. 2003118028. ELEVATION IS 5940.84 FEET (NAVD 88) BASED UPON GPS RTK METHODS AND LOCATION ON 12/15/2009 FROM DOUGLAS COUNTY CONTROL MONUMENT 2100020.

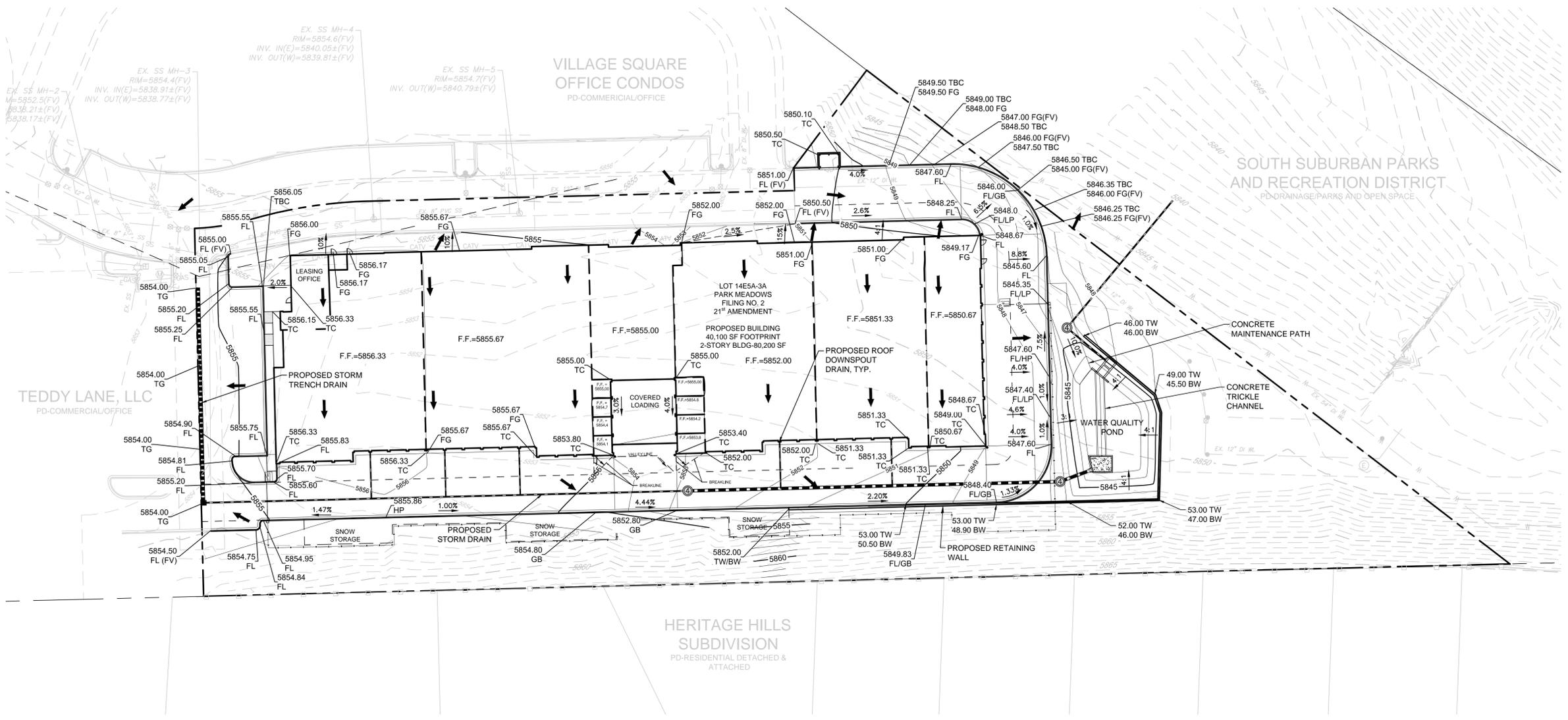
SHEET NUMBER	<b>2</b>	
	DATE: JULY 14, 2016	FILE NO: 8.13.0278801
DRAWN BY: PJR	SCALE: AS SHOWN	LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN SITE PLAN
CHECKED BY: CN		
10338 E. Dry Creek Rd. Suite 240 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9546		 LONE TREE SELF STORAGE C/O GREGORY CONSTRUCTION 387 SANDY HOLLOW TRAIL FRANKTOWN, COLORADO 80116
Revisions No. _____ Date _____ Init. _____ Appr. _____ Date _____		

LEGEND	
- 5350 -	EXISTING MAJOR CONTOUR
- 5354 -	EXISTING MINOR CONTOUR
- 5355 -	PROPOSED MAJOR CONTOUR
- 5351 -	PROPOSED MINOR CONTOUR
- 5953.0	PROPOSED SPOT ELEVATION
- 5953.0	EXISTING SPOT ELEVATION
FG	FINISHED GRADE
EG	EXISTING GRADE
LP	LOW POINT
HP	HIGH POINT
INV	INVERT
TW	TOP OF WALL
BW	BOTTOM OF WALL
TOB	TOP OF BERM
TBC	TOP BACK OF CURB
TC	TOP OF CONCRETE
TG	TOP OF GRATE
GB	GRADE BREAK
EC	EDGE OF CONCRETE
-	PROPOSED RETAINING WALL

**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
 PLANNING AREA 7A  
 2.827 ACRES  
 SIP #16-33



\* ALL SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS NOTED OTHERWISE.



No.	Revisions	Date	Appr.	Date

10338 E. Dry Creek Rd.  
 Suite 240  
 Englewood, CO 80150  
 Tel: (720) 482-9526  
 Fax: (720) 482-9546



**LONE TREE SELF STORAGE**  
 C/O GREGORY CONSTRUCTION  
 387 SANDY HOLLOW TRAIL  
 FRANKTOWN, COLORADO 80116

**LONE TREE SELF STORAGE**  
**LONE TREE, COLORADO**  
**SITE IMPROVEMENT PLAN**  
**GRADING PLAN**

DRAWN BY: PJR  
 CHECKED BY: CN  
 DATE: JULY 14, 2016  
 SCALE: AS SHOWN  
 FILE NO: 8.13.0278801

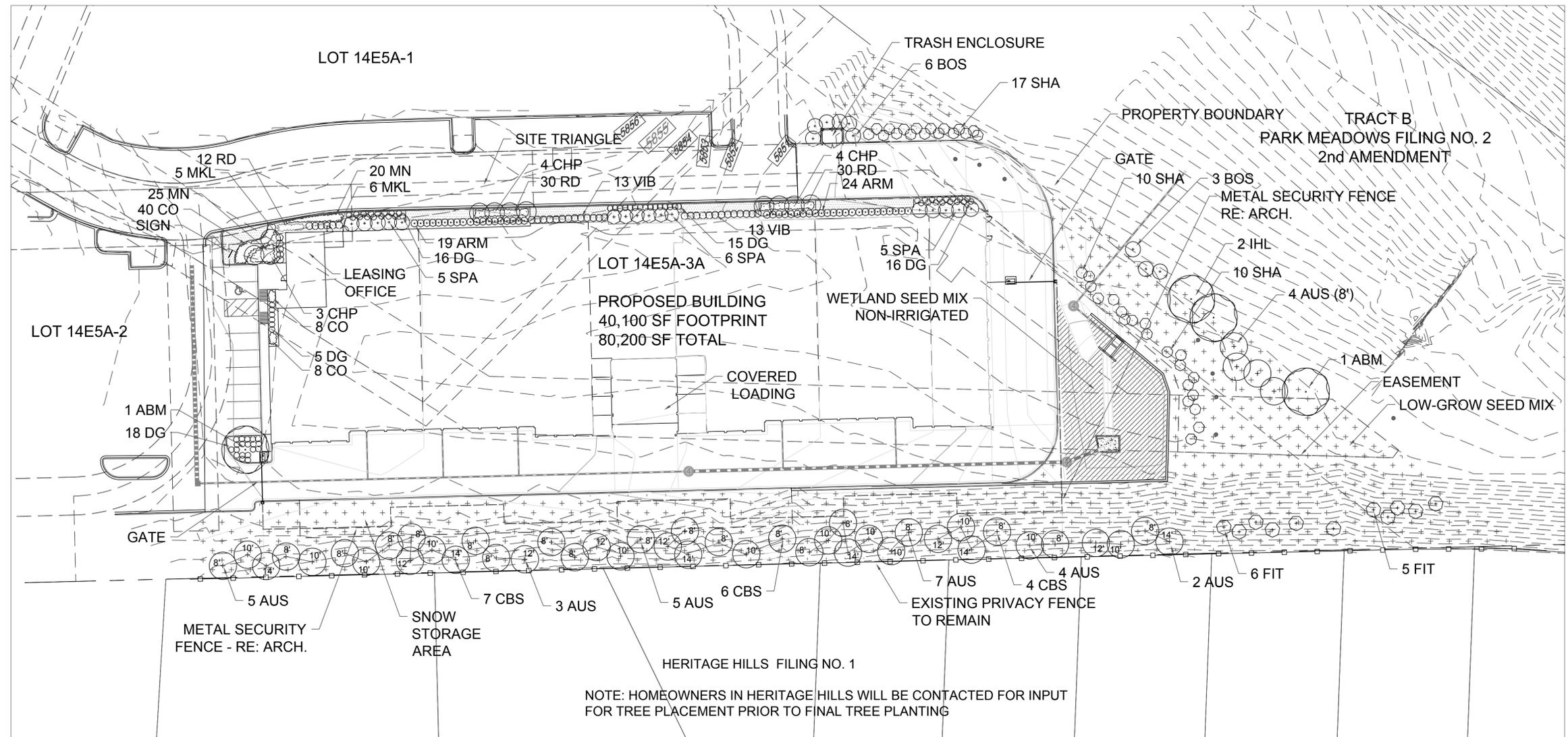
SHEET NUMBER **3**

NOTES:  
 1. GRADES SHALL NOT EXCEED 3:1 IN SLOPE.  
 2. COORDINATE WITH THE LONE TREE BUILDING DEPARTMENT REGARDING BUILDING PERMITS FOR THE PROPOSED RETAINING WALLS.

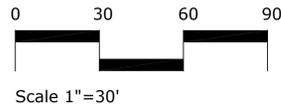
**BASIS OF BEARINGS**  
 THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 3 BEING MONUMENTED AS SHOWN HEREON HAVING A BEARING OF SOUTH 88°35'08" WEST.

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**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
 PLANNING AREA 7A  
 2.827 ACRES  
 SIP #16-33



NOTE: HOMEOWNERS IN HERITAGE HILLS WILL BE CONTACTED FOR INPUT FOR TREE PLACEMENT PRIOR TO FINAL TREE PLANTING



# SITE LANDSCAPE PLAN

- Landscape Legend**
- 3" Cal. Deciduous Trees
  - 8'-14' Evergreen Trees
  - 2" Cal. Ornamental Trees
  - 5 Gal. Deciduous Shrubs
  - 5 Gal. Evergreen Shrubs
  - 1 Gal. Ornamental Grasses
  - 1 Gal. Perennials
  - 90 / 10 Fescue Bluegrass Sod
  - Pawnee Buttes Seed Mix  
PBSI Low Grow Mix  
Application Rate: 5 lbs. / 1000 sf
  - Pawnee Buttes Wetland Seed Mix  
PBSI Wetland Mix  
Application Rate: 2 lbs. / 1000 sf



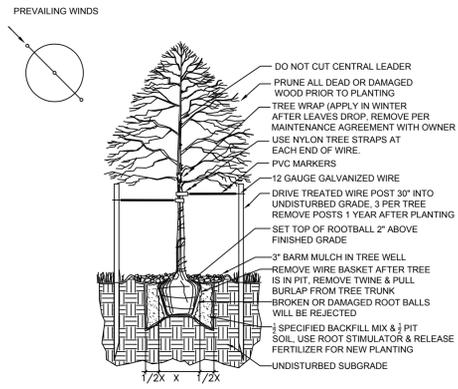
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SHEET NUMBER <b>4 of 12</b>	DRAWN BY:	SCALE:	AS SHOWN	DATE:	JULY 14, 2016
	CHECKED BY:	FILE NO.:	8.13.0278801		
LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN		10333 E. Dry Creek Rd. Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546			
LONE TREE SELF STORAGE C/O GREGORY CONSTRUCTION 3000 W. COLLEGE BLVD. FRANKTOWN, COLORADO 80116		Revisions			
		No.	Date	Appr.	Date

**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
 PLANNING AREA 7A  
 2.827 ACRES  
 SIP #16-33

**Plant Schedule**

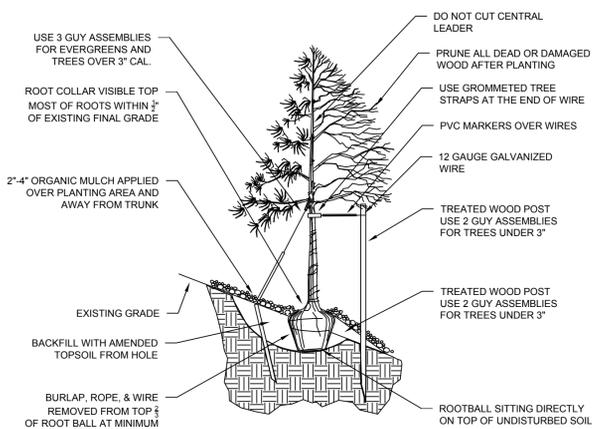
QUAN.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>DECIDUOUS CANOPY TREE</b>					
2	ABM	AUTUMN BLAZE MAPLE	<i>Acer freemanii</i> 'Autumn Blaze'	3" CAL.	B&B
2	SMH	SHADE MASTER HONEYLOCUST	<i>Gleditsia triacanthos inermis</i> 'shademaster'	3" CAL.	B&B
<b>EVERGREEN TREE</b>					
12	AUS	AUSTRIAN PINE	<i>Pinus nigra</i>	8'	B&B
8	AUS	AUSTRIAN PINE	<i>Pinus nigra</i>	10'	B&B
3	AUS	AUSTRIAN PINE	<i>Pinus nigra</i>	12'	B&B
3	AUS	AUSTRIAN PINE	<i>Pinus nigra</i>	14'	B&B
16	SPA	SPARTAN JUNIPER	<i>Juniperus chinensis</i> 'Spartan'	8'	B&B
7	CBS	COLORADO BLUE SPUCE	<i>Picea pungens</i>	8'	B&B
4	CBS	COLORADO BLUE SPUCE	<i>Picea pungens</i>	10'	B&B
3	CBS	COLORADO BLUE SPRUCE	<i>Picea pungens</i>	12'	B&B
3	CBS	COLORADO BLUE SPRUCE	<i>Picea pungens</i>	14'	B&B
9	BOS	BOSNIAN PINE	<i>Pinus heldreichii</i>	8'	B&B
<b>DECIDUOUS ORNAMENTAL TREE</b>					
11	CHP	CHANTICLEER PEAR	<i>Pyrus calleryana</i> 'Cleveland Select'	2" CAL.	B&B
<b>EVERGREEN SHRUB</b>					
43	AMJ	ARMSTRONG JUNIPER	<i>Juniperus chinensis</i> 'armstrong'	5 GAL.	CONTAINER
11	FIT	PFITZER JUNIPER	<i>Juniperus x media</i> 'Pfitzeriana'	5 GAL.	CONTAINER
<b>DECIDUOUS SHRUB</b>					
34	MKL	MISS KIM LILAC	<i>Syringa patula</i> 'Miss Kim'	5 GAL.	CONTAINER
26	SHA	SHADBLow SERVICEBERRY	<i>Amelanchier canadensis</i>	5 GAL.	CONTAINER
	VIB	NANNYBERRY VIBURNUM	<i>Viburnum lentago</i>	5 GAL.	CONTAINER
<b>PERENNIALS / GRASSES</b>					
45	RD	RED DAYLILY	<i>Hemerocallis</i> 'Cherry Cheeks'	1 GAL.	CONTAINER
56	MN	MAY NIGHT SALVIA	<i>Salvia sylvestris</i> x 'Mainacht'	1 GAL.	CONTAINER
70	CO	COREOPSIS	<i>Coreopsis</i> "Baby Sun Dwarf"	1 GAL.	CONTAINER
	DG	DWARF MAIDEN GRASS	<i>Miscanthus sinensis</i> 'Adagio'	1 GAL.	CONTAINER



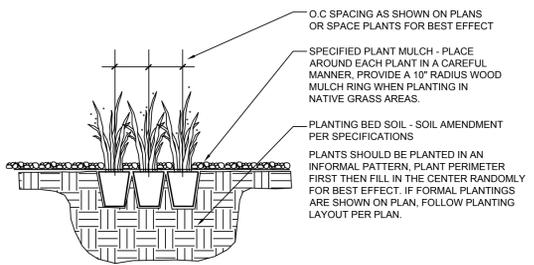
**1**  
L.2  
**Deciduous Tree Planting Detail**



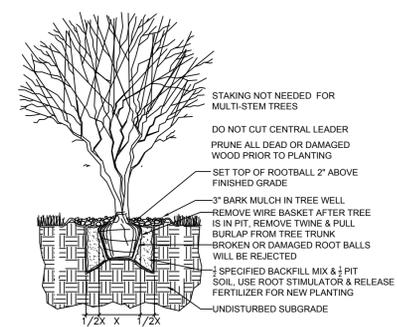
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L.2  
**Evergreen Tree Planting Detail**



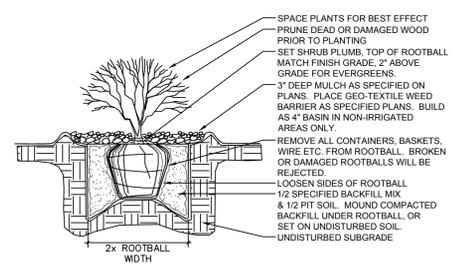
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L.2  
**Tree Planting Detail - Steep Slopes**



**5**  
L.2  
**Perennial/Grass Planting Detail**



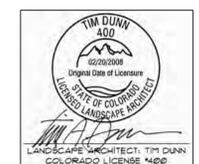
**1**  
L.2  
**Multi-Stem Deciduous Tree Planting Detail**



**3**  
L.2  
**Shrub Planting Detail**

**Landscape Notes**

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE OWNER, SUCCESSORS, AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLANS ON FILE WITH THE CITY PLANNING DEPARTMENT. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLANS PRIOR TO THE ISSUANCE FOR THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL VERIFY (CALL FOR UTILITY LOCATES) LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.
- CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/ OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL PREPARATION AT A RATE OF (4) FOUR CUBIC YARDS PER 1,000 SQUARE FEET. PRIOR TO LANDSCAPE INSTALLATION A SOILS TEST SHALL BE PERFORMED TO DETERMINE THE SPECIFICS OF THE SOIL AMENDMENT FOR TURF AREAS.
- STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TURF AREAS. EDGER SHALL BE GALVANIZED STEEL, ROLLED TOP EDGE, AND INTERLOCKING. EDGER IS NOT NECESSARY ADJACENTLY-PARALLEL TO CURBS, WALLS, AND WALKS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" SHREDDED CEDAR MULCH. APPLY A PRE-EMERGENT HERBICIDE IN BED AREAS.
- ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
- ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/ OR THE CITY/ COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
- THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, OWNER, OR CITY/ COUNTY.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 4'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH SHREDDED CEDAR MULCH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO LANDSCAPE FABRIC OR EDGER IS NECESSARY FOR TREE RINGS.
- ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM. NATIVE SEED AREAS TO BE IRRIGATED UNTIL ESTABLISHED.
- ALL SPRAY IRRIGATION HEADS SHALL BE A MINIMUM OF 5' FROM BUILDING. ALL DRIP EMITTERS SHALL BE A MINIMUM OF 3' FROM BUILDINGS. A WEATHER BASE CONTROLLER FOR IRRIGATION WILL BE USED.



10333 E. Dry Creek Rd.  
 Englewood, CO 80112  
 Tel: (720) 482-9526  
 Fax: (720) 482-9546

**LONE TREE SELF STORAGE**  
 C/O GREGORY CONSTRUCTION  
 1500 W. WASHINGTON ST.  
 FRANKTOWN, COLORADO 80116

**LONE TREE SELF STORAGE**  
**LONE TREE, COLORADO**  
**SITE IMPROVEMENT PLAN**

SCALE: AS SHOWN  
 FILE NO: 8.13.0278801

DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: JULY 14, 2016

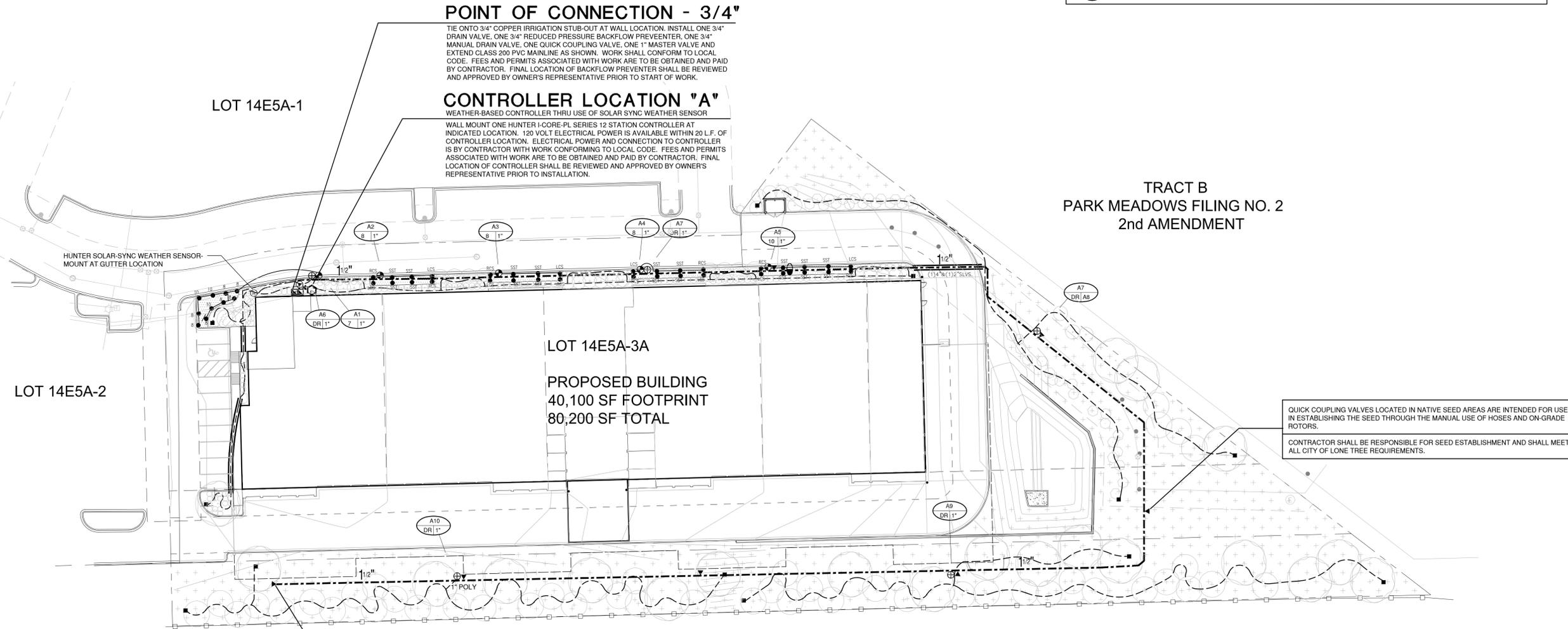
SHEET NUMBER: 5 of 12

Revisions: [Table with columns for No., Date, Init., Appr.]

C:\USER\TIM DUNN\DESIGN\DESKTOP\TIM DUNN DESIGN\PROJECT\SICV - LONE TREE SELF STORAGE\PLANS\PLAN 3.DWG - TIM DUNN DESIGN, 7/14/16

**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
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Irrigation Equipment and Materials Schedule					
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
●	RAIN BIRD	PROS-06-PRS30-CV W/ SPEC'D. NOZZ.	POP-UP SPRAY HEAD	1	
● SST	RAIN BIRD	PROS-06-PRS30-CV W/ SS-530 NOZZ.	POP-UP SPRAY HEAD	1	
● LCS	RAIN BIRD	PROS-06-PRS30-CV W/ LCS-515 NOZZ.	POP-UP SPRAY HEAD	1	
● RCS	RAIN BIRD	PROS-06-PRS30-CV W/ RCS-515 NOZZ.	POP-UP SPRAY HEAD	1	
▼	RAIN BIRD	3RC	QUICK COUPLING VALVE	3	
⊖	HUNTER	ICV-G SERIES	ELECTRIC CONTROL VALVE	2	
⊖	HUNTER	I-CORE-PL SERIES	ELECTRIC CONTROL VALVE	8	
⊖		LINE SIZE	GATE VALVE	4	
⊖	FEBCO	860 - 3/4"	BACKFLOW PREVENTER	14	
⊖	BUCKNER/SUPERIOR	3200 SERIES - 1" DIA.	MASTER VALVE	5	
⊖	RAIN BIRD	XCZ-100-PRB-COM	DRIP VALVE ASSEMBLY	13	
⊖	HUNTER	WSS-SEN	WIRELESS WEATHER SENSOR	9	SOLAR-SYNC
⊖		LINE SIZE	DRIP LINE BLOW-OUT STUB	12	
⊖		CLASS 200 SOLVENT WELD	PVC SLEEVING		
⊖		80 PSIN SF - 1" DIA. UNLESS NOTED OTHERWISE	POLYETHYLENE LATERAL	7	
⊖		CLASS 200 SOLVENT WELD	PVC MAINLINE	6 & 7	
⊖	CENTENNIAL	3/4" I.D.	POLY DRIP TUBING	10 & 11	



**POINT OF CONNECTION - 3/4"**  
 TIE ONTO 3/4" COPPER IRRIGATION STUB-OUT AT WALL LOCATION. INSTALL ONE 3/4" DRAIN VALVE, ONE 3/4" REDUCED PRESSURE BACKFLOW PREVENTER, ONE 3/4" MANUAL DRAIN VALVE, ONE QUICK COUPLING VALVE, ONE 1" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

**CONTROLLER LOCATION "A"**  
 WEATHER-BASED CONTROLLER THRU USE OF SOLAR SYNC WEATHER SENSOR  
 WALL MOUNT ONE HUNTER I-CORE-PL SERIES 12 STATION CONTROLLER AT INDICATED LOCATION. 120 VOLT ELECTRICAL POWER IS AVAILABLE WITHIN 20 L.F. OF CONTROLLER LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

QUICK COUPLING VALVES LOCATED IN NATIVE SEED AREAS ARE INTENDED FOR USE IN ESTABLISHING THE SEED THROUGH THE MANUAL USE OF HOSES AND ON-GRADE ROTORS.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR SEED ESTABLISHMENT AND SHALL MEET ALL CITY OF LONE TREE REQUIREMENTS.

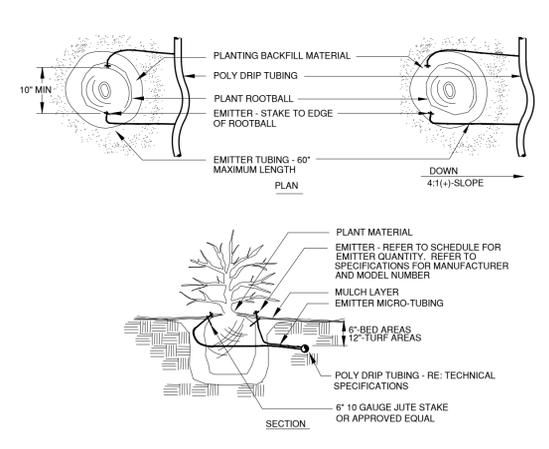
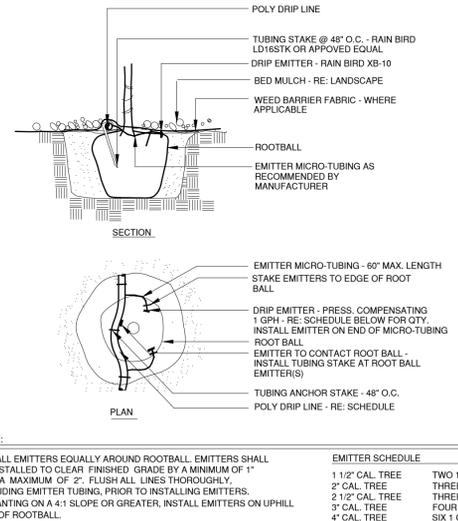
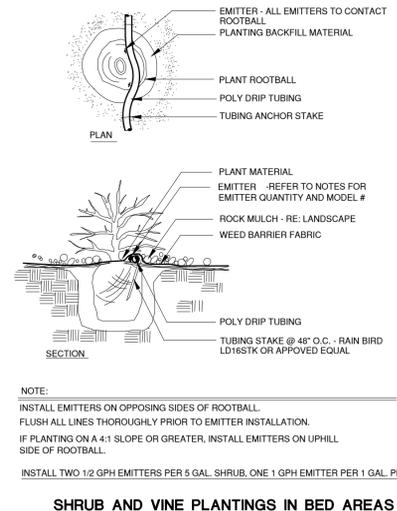
EXTEND THREE SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER "A" TO INDICATED LOCATION. STUB WIRES IN VALVE BOX CONTAINING QUICK COUPLING VALVE.

No.	Revisions	Date
	Appr.	Date
<p align="center"><b>IRRI GATION DESIGN</b>                  7114 W. JEFFERSON AVENUE, SUITE 201                  LAKEWOOD, COLORADO 80235                  FAX: 303.989.5814</p>		
<p align="center"><b>LONE TREE SELF STORAGE</b>                  COLORADO CONSTRUCTION                  905 S. WASHINGTON AVENUE                  FRANKTOWN, COLORADO 80116</p>		
<p align="center"><b>LONE TREE SELF STORAGE</b>                  LONE TREE, COLORADO                  SITE IMPROVEMENT PLAN</p>		
SCALE:	AS SHOWN	FILE NO. 8.13.0278801
DRAWN BY: DCZ	CHECKED BY: DCZ	DATE: JULY 14, 2016
SHEET NUMBER	6 of 12	

North  
  
 Scale 1" = 30'  
**IRRIGATION PLAN**



**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
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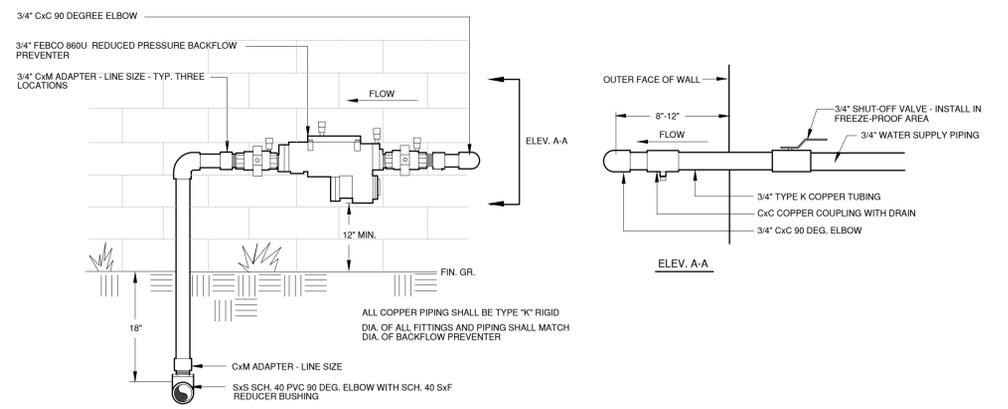
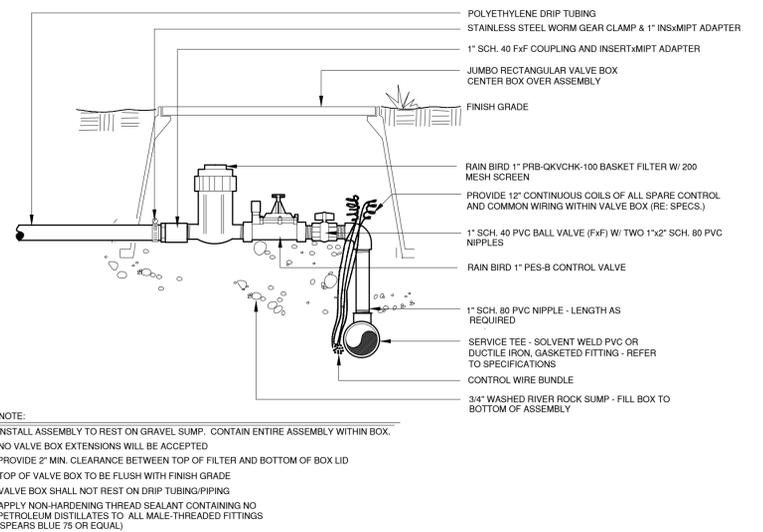
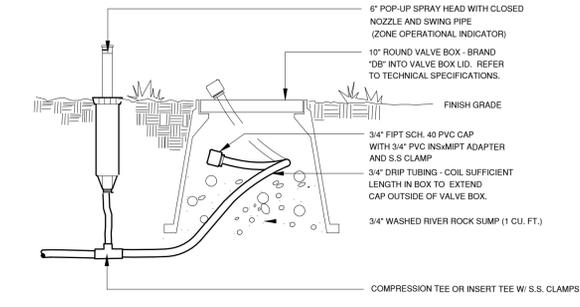


PLANT SIZE	EMITTER FLOW RATE	EMITTER QTY. AT NATIVE SEED LOCATIONS
1 GALLON MATERIAL	0.5 GPH	ONE EACH
5 GALLON MATERIAL	0.5 GPH	TWO EACH
1 1/2" CALIPER TREE	1.0 GPH	FOUR EACH
2" CALIPER TREE	1.0 GPH	SIX EACH
2 1/2" CALIPER TREE	1.0 GPH	EIGHT EACH
3" CALIPER TREE	1.0 GPH	TEN EACH
3 1/2" CALIPER TREE	2.0 GPH	ELEVEN EACH
4" CALIPER TREE	2.0 GPH	TWELVE EACH
6 FT. CONIFEROUS TREE	1.0 GPH	SIX EACH
8 FT. CONIFEROUS TREE	1.0 GPH	NINE EACH
10 FT. CONIFEROUS TREE	2.0 GPH	TWELVE EACH
12 FT. CONIFEROUS TREE	2.0 GPH	FOURTEEN EACH
14 FT. CONIFEROUS TREE	2.0 GPH	FOURTEEN EACH

**DRIP EMITTER - PLANTING BEDS**

**TREE PLANTINGS IN BED AREAS**

**DRIP EMITTER - NATIVE SEED AREAS**



**DRIP LINE BLOW-OUT STUB**

**DRIP VALVE ASSEMBLY**

**BACKFLOW PREVENTER**

C:\DWG\ONE TREE SELF STORAGE\IRRIGATION 4-27-16\DWG.DAVID, 7/14/16

DRAWN BY: DCZ	CHECKED BY: DCZ	DATE: JULY 14, 2016	SCALE: AS SHOWN	FILE NO: 8.13.0278801	No.	Revisions	Date	Appr.	Date

**LONE TREE SELF STORAGE**  
 LONE TREE, COLORADO  
 SITE IMPROVEMENT PLAN

**IRRIGATION DESIGN**  
 9655 S. GARY LANE SUITE 201  
 LAKENWOOD, COLORADO 80525  
 VOICE: 303.986.2175  
 FAX: 303.986.5814

12

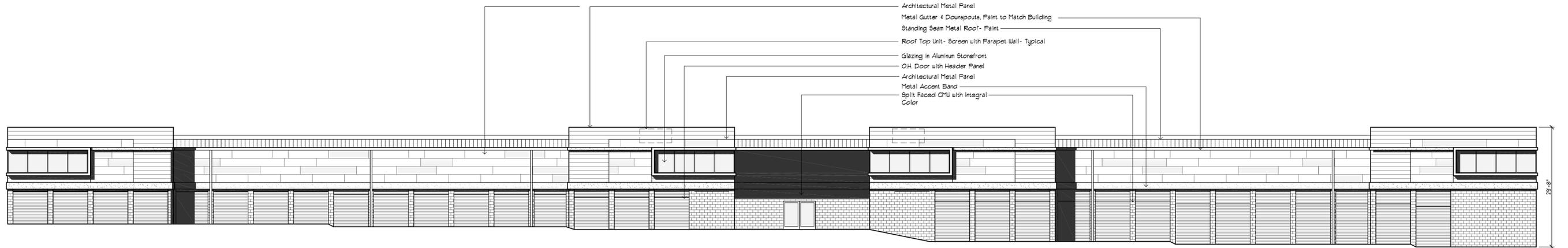
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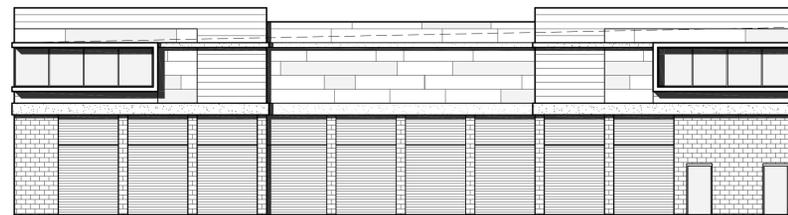
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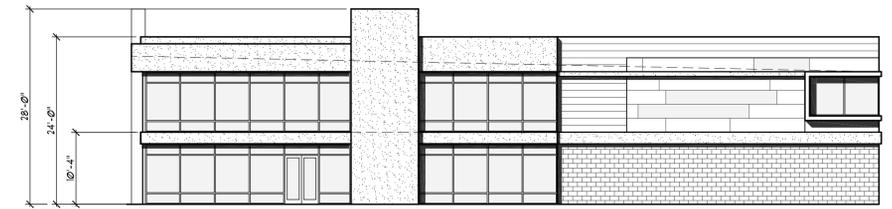
**LONE TREE SELF STORAGE**  
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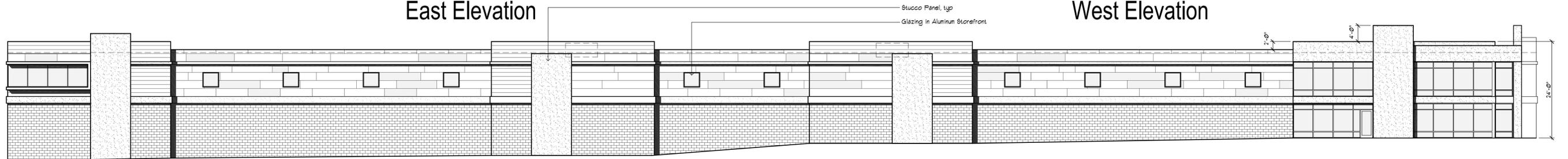
South Elevation



East Elevation



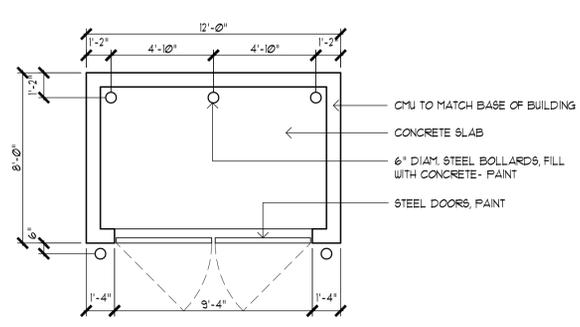
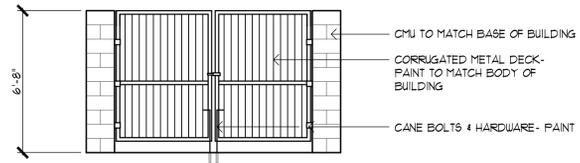
West Elevation



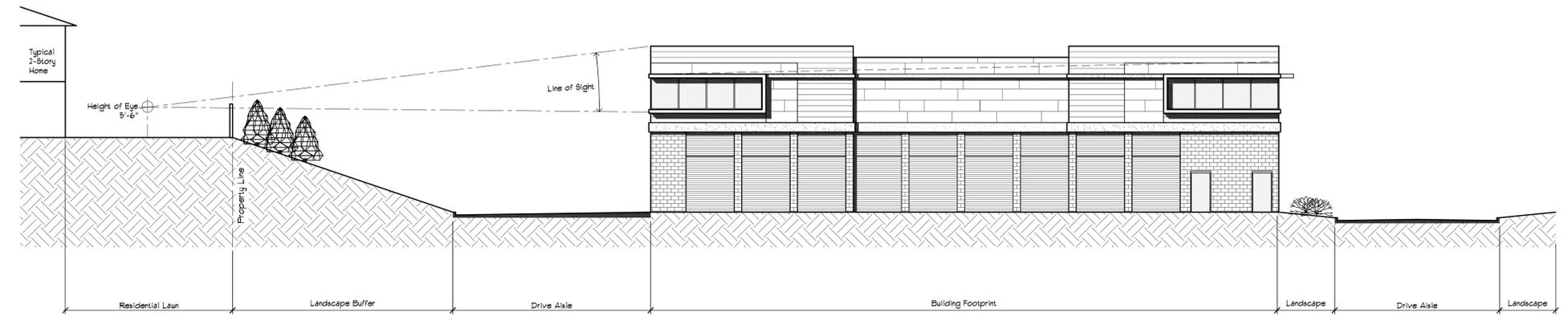
North Elevation

SHEET NUMBER ARCHITECTURAL ELEVATIONS <b>A0.01</b> SHEET 9 of 12	DRAWN BY:	SCALE:	FILE NO: <b>8.13.0278601</b>	DATE: JULY 14, 2016	No.	Revisions	Date	Appr.	Date
	CHECKED BY:	AS SHOWN							
LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN			10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546			LONE TREE SELF STORAGE C/O GREGORY CONSTRUCTION 367 SANDY HOLLOW TRAIL FRANKTOWN, COLORADO 80116			

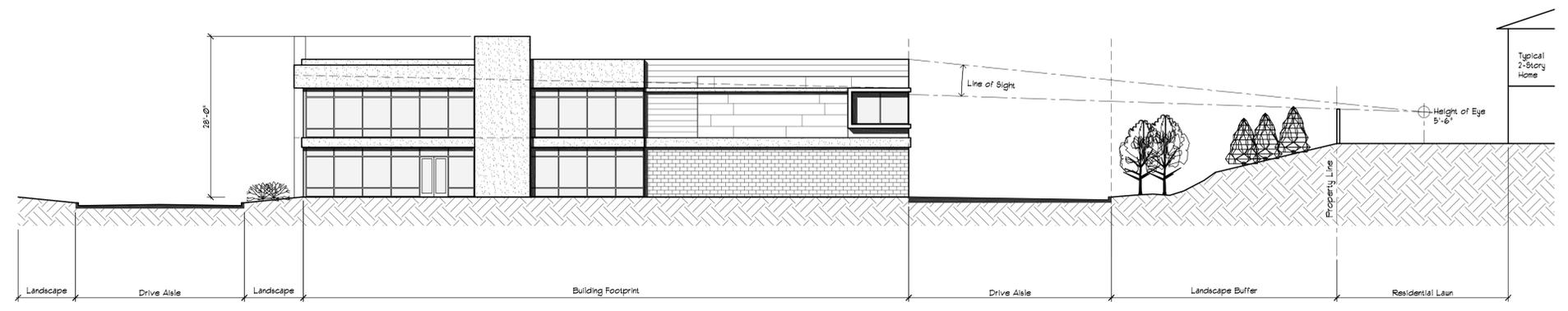
**LONE TREE SELF STORAGE**  
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TRASH ENCLOSURE PLAN & ELEVATION



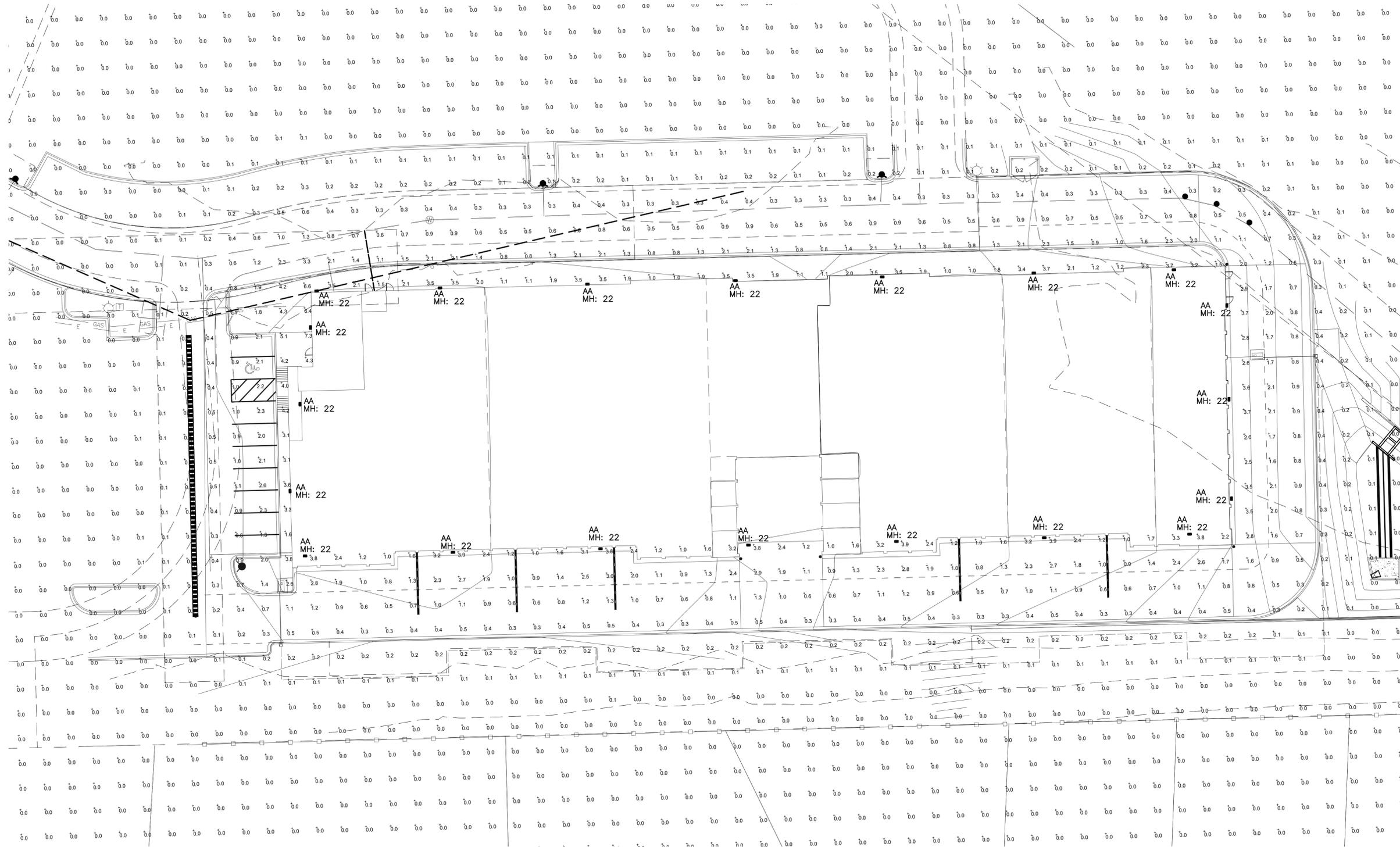
South-North Site Section



North-South Site Section

SHEET NUMBER ARCHITECTURAL SITE SECTIONS <b>A0.02</b> SHEET 10 of 12	DRAWN BY: AS SHOWN	CHECKED BY:	DATE: JULY 14, 2016	SCALE: AS SHOWN	FILE NO: 8-13-0278601	LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN	LONE TREE SELF STORAGE C/O GREGORY CONSTRUCTION 367 SANDY HOLLOW TRAIL FRANKTOWN, COLORADO 80116	10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546	Revisions	No.	Date	Appr.	Date

**LONE TREE SELF STORAGE**  
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1 PHOTOMETRIC SITE PLAN

C:\EE\LLC\0851181107 - LONE TREE SELF STORAGE - PHOTOMETRIC PLAN.DWG, STAN, 7/14/16

No.	Revisions	Date	Appr.	Date

EXCELLENCE IN ENGINEERING 12005 Antelope Trail Parker, Colorado 80138 303-748-1189 info@eparker.com	

LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN	SCALE: AS SHOWN SB DRAWN BY:
FILE NO: 8.13.0278801 DATE: JULY 14, 2016	CHECKED BY: LRP LRP

**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILING NO. 2, 21ST AMENDMENT, LOT 14E5A-3A  
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**LED WALL SCONCE (PWM)**



**US & Int'l. patents pending**  
**ENERGY SAVING CONTROL OPTIONS** - DIM - 0-10 volt dimming enabled with controls by others.  
**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.  
**LEDS** - Available with select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.  
**DISTRIBUTION/PERFORMANCE** - Type S (Standard Symmetrical). Exceptional uniformity creates bright environment at lower light levels.  
**HOUSING** - One-piece die-cast aluminum housing is smoothly contoured rectangular shape. Mounting hardware is stainless steel or electro-zinc plated steel. Housing and optical unit are sealed with extruded silicone gasket; supply conductors with molded EPDM bushing.  
**OPTICAL UNIT** - Clear tempered optical-grade flat glass lens sealed to the aluminum optic housing creates an IP65 rated unit. Pressure stabilizing breather allows super-light protection while preventing cycling from building up internal pressures and vacuums that can stress optical unit seals.  
**WALL MOUNTING** - Galvanized-steel universal wall mounting plate easily mounts directly to 4" octagonal or square junction box. EPDM gasket is supplied to be installed between mounting plate and junction box, sealing junction box from entrance of water. Universal plate permits fixture to be mounted in uplighting (indoor only) or downlighting position.  
**POLE MOUNTING** - XPMa (for square) or XPMAR (for round) allows mounting to poles in single and D180 configurations. Use with 3" reduced drilling pattern.  
**ELECTRICAL** - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input) or 347-480VAC.  
**DRIVER** - Available in Low Wattage (LW) and High Output (HO) drive currents (Drive currents are factory programmed). Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver can be easily accessed and removed. Optional 0-10V dimming available with controls by others.  
**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)  
**FINISH** - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.  
**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.  
**PHOTOMETRICS** - Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.  
**SHIPPING WEIGHT (in carton)** - 27 lbs./12.2Kg  
**LISTING** - UL listed to ANSI/UL1598, UL8750 and other U.S. and international safety standards. Suitable for wet locations in downlight position. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at [www.designlights.org](http://www.designlights.org).  
 This product, or selected versions of this product, meet the standards listed below. Please consult fixture for your specific requirements.

LIGHT OUTPUT - PWM		
Distribution/Lumens (Nominal)		
	Type S	Watts
Cool White	LW	1400
	HO	5200
Neutral White	LW	1300
	HO	4900

LED Chips are frequently updated therefore values may increase.

ARRA, RoHS, FCC, IP65, DLC, CE, ENEC

Project Name \_\_\_\_\_ Fixture Type **AA** 10/21/15  
 Catalog # \_\_\_\_\_ © 2015 LSI INDUSTRIES INC.

**LED WALL SCONCE (PWM)**

**LUMINAIRE ORDERING INFORMATION**

TYPICAL ORDER EXAMPLE: **PWM S LED HO CW UE WHT PCI 120**

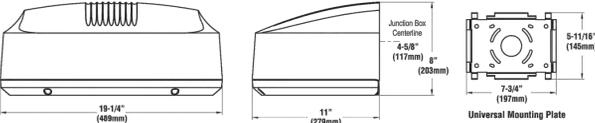
Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
PWM - LED Wall Sconce	S - Standard Symmetrical	LED	LW - Low Watt HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277) 120'	BLK - Black BRZ - Bronze GFT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	Wireless Control System <sup>1,2</sup> (blank) - None P2M - Pushless Control System P2M+ - Heat-Sensitive Pushless Control System G2M - Gold Control System G2M+ - Heat-Sensitive Gold Control System DIM - 0-10 volt dimming (required for enable fixture) Stand-Alone Control (blank) - None DIM - 0-10 volt dimming (from external signal)	Sensor: PCI100 - 120V Button-Type Photocell PCI208 - 208V Button-Type Photocell PCI340 - 340V Button-Type Photocell PCI277 - 277V Button-Type Photocell PCI347 - 347V Button-Type Photocell Options: XPMa - Pole Mounting Adaptor w/ Fixture Back Plate for Use with Square Pole* XPMAR - Pole Mounting Adaptor w/ Fixture Back Plate for Use with 4" O.D. Round Pole* XPMAR5 - Pole Mounting Adaptor w/ Fixture Back Plate for Use with 5" O.D. Round Pole*

**ACCESSORY ORDERING INFORMATION<sup>3</sup>** (Accessories are field installed)

Description	Order Number	Description	Order Number
PWM Polycarbonate Shield	244657	DFK208_240 - Double Fasting	DFK208_240P
PWM SW BLK - Surface Wiring Box (Available in black only)	366915BLK	DFK480 - Double Fasting	DFK480P
FK120 - Single Fasting	FK120P	FK347 - Single Fasting	FK347P
FK277 - Single Fasting	FK277P		

**FOOTNOTES:**  
 1- On Low Watt (LW) drive current, 120V only is DLC qualified. Specify 120 in place of UE. 4- Designed with 3" reduced drilling pattern. For S or D180 mounting configuration only.  
 2- For wireless controls information and accessories, see Controls section. 5- Fasting to be installed in a compatible junction box supplied by contractor.  
 3- Requires a SwitchManager and override switch.

**DIMENSIONS**



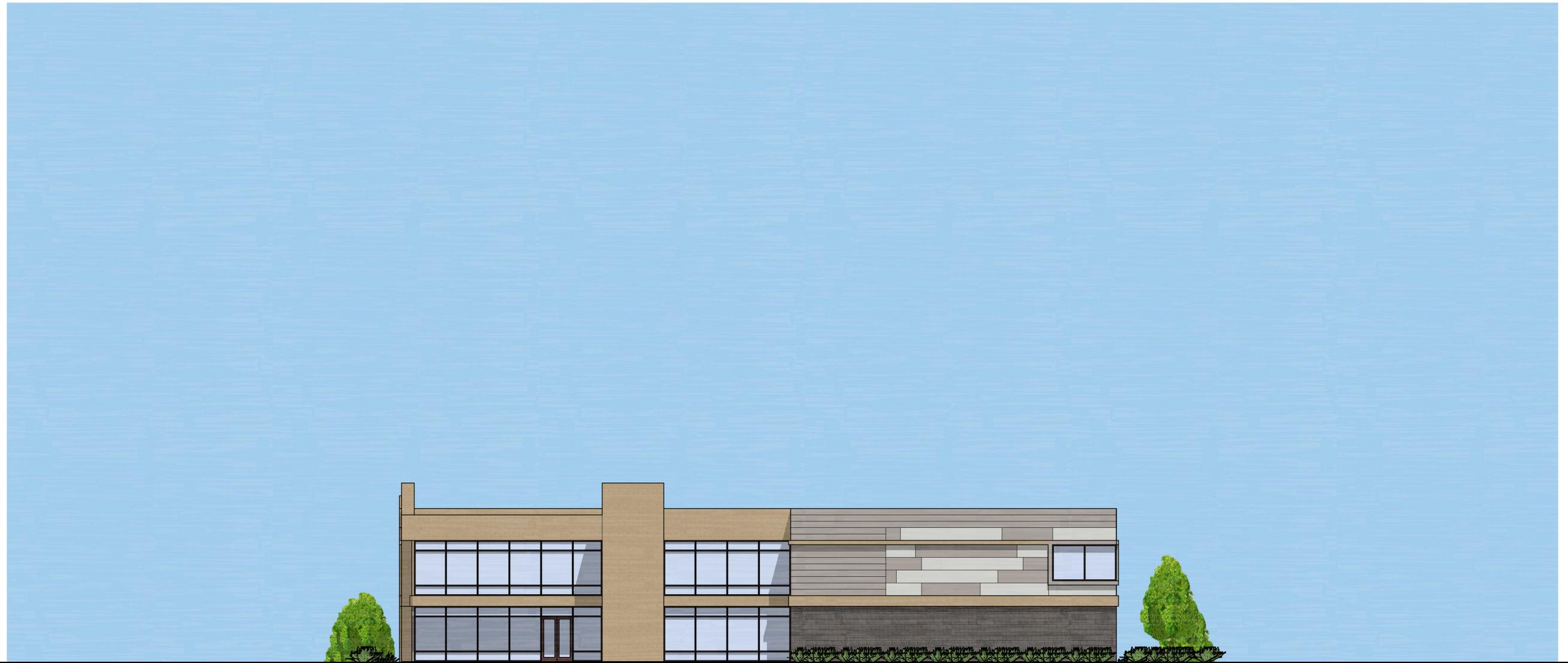
18-1/4" (468mm)  
 11" (279mm)  
 Junction Box Centerline 4-5/8" (117mm)  
 2-3/4" (69mm)  
 5-11/16" (145mm)  
 Universal Mounting Plate

Project Name \_\_\_\_\_ Fixture Type **AA** 10/21/15  
 Catalog # \_\_\_\_\_ © 2015 LSI INDUSTRIES INC.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF	Description	Lum. Watts
☐	21	AA	SINGLE	N.A.	5184	1.000	PWM-S-LED-HO-CW-UE	55.6

C:\EE.LLC\0851161107 - LONE TREE SELF STORAGE\_PHOTO\METRIC PLAN.DWG, STAN, 7/14/16

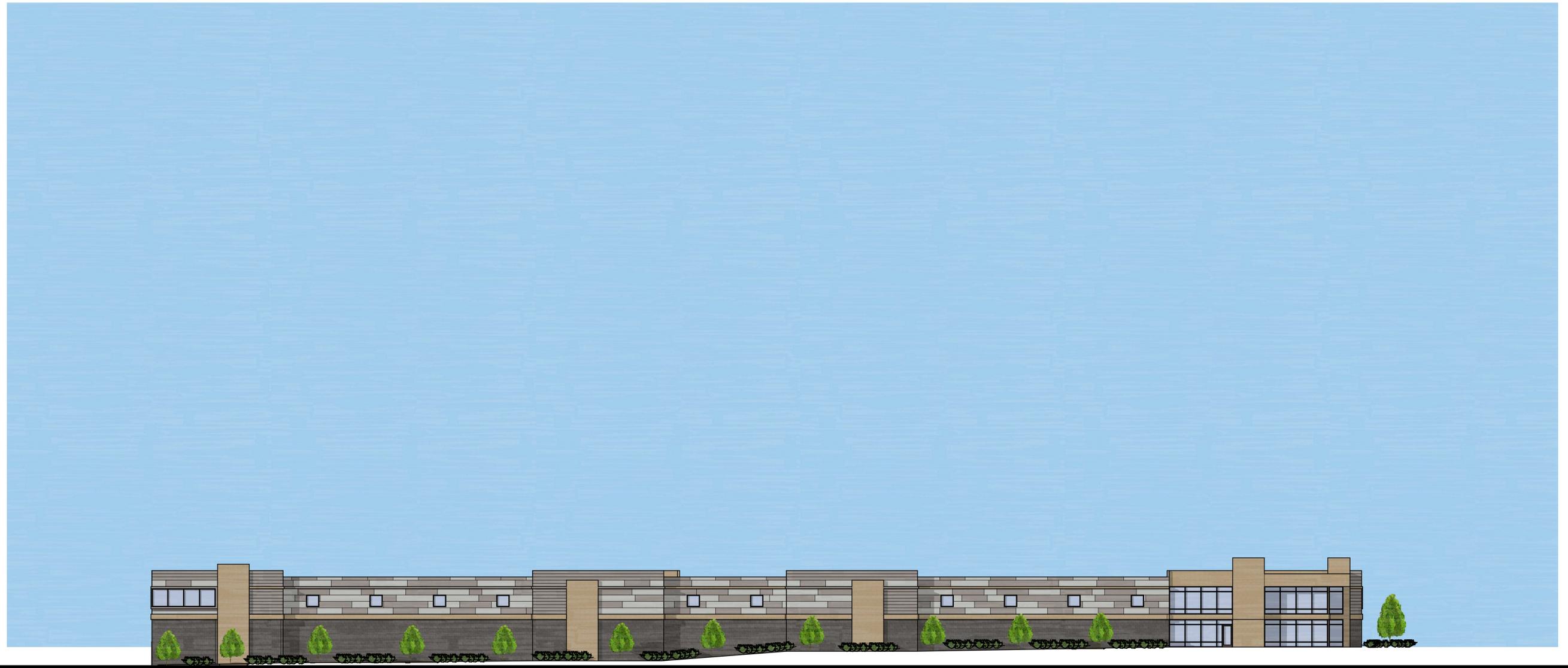
No.	Revisions	Date	Appr.	Date
<b>ECELLIGENCE IN ENGINEERING</b> 12005 Antelope Trail Parker, Colorado 80138 303-748-1189 info@eeparker.com				
				
<b>LONE TREE SELF STORAGE</b> C/O GREGORY CONSTRUCTION 387 SANDY HOLLOW TRAIL FRANKTOWN, COLORADO 80116				
<b>LONE TREE SELF STORAGE</b> LONE TREE, COLORADO SITE IMPROVEMENT PLAN				
SCALE:	AS SHOWN	FILE NO:	8.13.0278801	
DRAWN BY:	SB	CHECKED BY:	LRP	DATE:
				JULY 14, 2016
SHEET NUMBER	<b>12</b>			



<b>A</b>	<b>:: WEST ELEVATION</b>
001	<i>1/8" = 1'</i>



<b>A</b>	<b>:: SOUTH ELEVATION</b>
002	<i>1/16" = 1'</i>



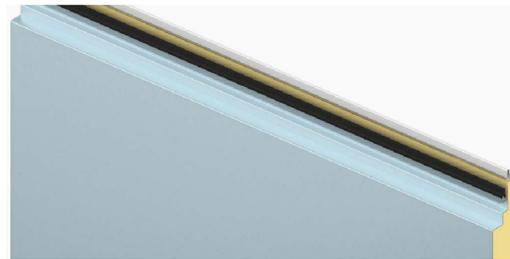
**A** :: NORTH ELEVATION

003  $1/16" = 1'$

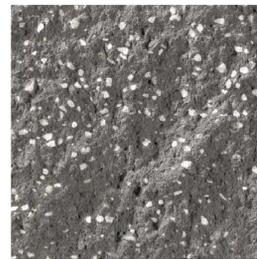
**LONE TREE SELF STORAGE**  
 PARK MEADOWS FILLING NO. 22, 21ST AMENDMENT, LOT 14 & 3A  
 WESTBROOK SPORTS AND ENTERTAINMENT DISTRICT PLANNED DEVELOPMENT  
 PLANNING AREA 7A  
 2.827 ACRES  
 SIP #16-33



Metal Panel Colors



Metal Panel Profile



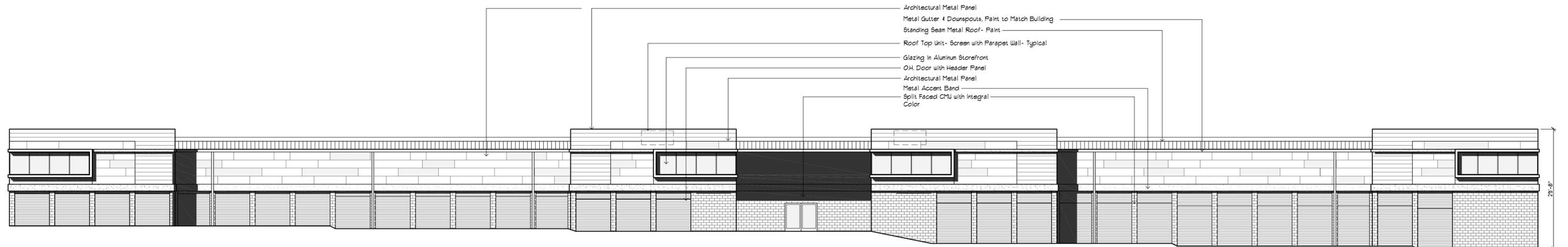
Split Face CMU



Stucco

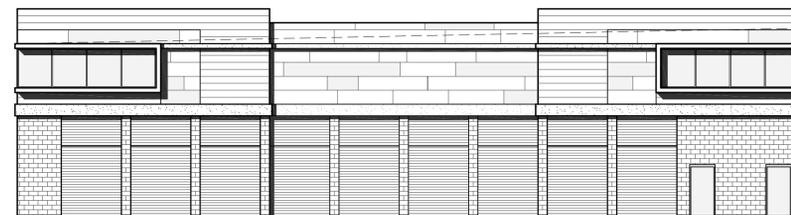


Storefront

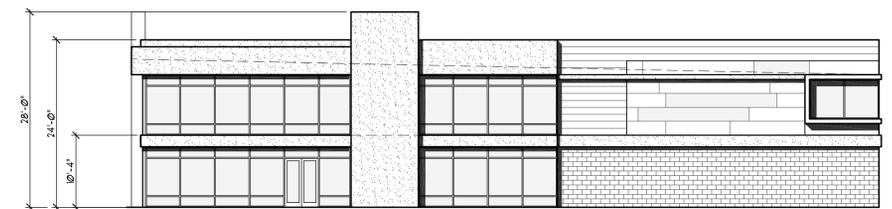


- Architectural Metal Panel
- Metal Gutter & Downspouts, Paint to Match Building
- Standing Seam Metal Roof- Paint
- Roof Top Unit- Screen with Parapet Wall- Typical
- Glazing in Aluminum Storefront
- O.H. Door with Header Panel
- Architectural Metal Panel
- Metal Accent Band
- Split Faced CMU with Integral Color

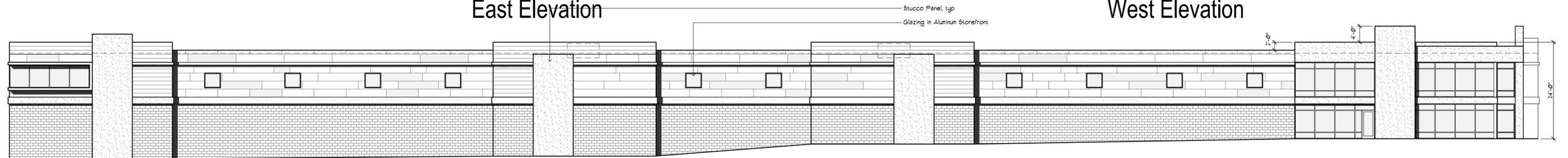
South Elevation



East Elevation



West Elevation



North Elevation

- Stucco Panel, typ
- Glazing in Aluminum Storefront

SHEET NUMBER ARCHITECTURAL ELEVATIONS <b>A0.01</b> SHEET 9 of 12	DRAWN BY:	SCALE:	LONE TREE SELF STORAGE LONE TREE, COLORADO SITE IMPROVEMENT PLAN	10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546	Date
	CHECKED BY:	AS SHOWN			
	DATE:	FILE NO:	C/O GREGORY CONSTRUCTION 367 SANDY HOLLOW TRAIL FRANKTOWN, COLORADO 80116	Revisions	Date
	JULY 14, 2016	8-13-0278601			