



City of Lone Tree Planning Commission Agenda Tuesday, August 23, 2016

Meeting Location: City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway

Meeting Procedure: The Lone Tree Planning Commission and staff will meet in a public Study Session at 5:30 p.m. in the lower level of the Civic Center. The Regular Meeting will be convened at 6:30 p.m. in the City Council meeting room. Contact Jennifer Drybread, jennifer.drybread@cityoflonetree.com if special arrangements are needed to attend (at least 24 hours in advance). Comments from the public are welcome during the Public Comment portion of the meeting (brief comments on items not appearing on the regular meeting agenda). Those persons requesting to comment on an agenda item will be called upon by the Chair. If you have any questions please contact Jennifer Drybread, Senior Planner, at jennifer.drybread@cityoflonetree.com, or 303-708-1818.

5:30 p.m. Study Session Agenda

1. Administrative Matters

6:30 p.m. Regular Meeting Agenda

1. Opening of Meeting / Roll Call
2. Conflict of Interest Inquiry
3. Public Comment (For Items NOT appearing on the agenda)
4. Minutes of the July 26, 2016 Planning Commission meeting
5. RidgeGate Section 15, Filing 18, Lot 4-A (Sierra Grill Restaurant). Minor Amendment to the Site Improvement Plan affecting building architecture and building materials. Project SP16-54R, amending SP15-72R.
6. Adjournment

MINUTES OF THE
Lone Tree Planning Commission Meeting
July 26, 2016

Lone Tree Civic Center

1. Attendance.

In attendance were:

- Dave Kirchner, Chair
- Andrew Dodgen, Vice Chair
- Daryl Heskin, Planning Commissioner
- Richard Rodriguez, Planning Commissioner
- Herb Steele, Planning Commissioner

Absent were:

- Kevin Spencer, Planning Commissioner
- Rhonda Carlson, Planning Commissioner

In attendance from staff were:

- Kelly First, Community Development Director
- Jennifer Drybread, Senior Planner
- Hans Friedel, Planner III

2. Opening of Meeting / Roll Call.

Commissioner Kirchner called the meeting to order at 6:30 p.m.

3. Conflict of Interest Inquiry.

There were none.

4. Public Comment (For Items NOT appearing on the agenda).

Chair Kirchner read the following from a prepared statement regarding proposed apartments at the Treo restaurant site:

At the July 12, 2016 Planning Commission meeting, during Public Comment on non-agenda items, a number of concerned City residents raised questions regarding the proposed redevelopment of the Treo site on Yosemite. There was a comment about transparency and not informing the public. The issue apparently was raised by an article published in a

local publication that erroneously stated that “the city expects it to be approved and construction will begin soon.” Having not seen the article nor knowing what had transpired, I made no comment in reply at that time. Subsequent to the public meeting, the City’s Planning Department supplied me with a copy of the article and stated categorically that what was stated by the author in the article was not what they had told the author. I printed copies of the agenda and approved minutes for the May 24, 2016 Planning Commission meeting (which were both published on the City’s website) and met with those concerned citizens on July 15. Since there was no application for the project currently submitted to the City, I was allowed to discuss the matter with them privately. After showing them the printouts from the City website, explaining the pre-application process for a “Use by Special Review” and letting them know the article was erroneous, they were satisfied that all information had been available to the public and that nothing had been approved or was set to begin construction.

No members of the audience asked to speak.

5. Minutes of the July 12, 2016 Planning Commission meeting.

Commissioner Steele moved to approve the minutes of the July 12, 2016 Planning Commission meeting, Commissioner Rodriguez seconded, and the minutes were approved 5 – 0.

6. Park Meadows Filing 2, 21st Amendment, Lot 14E5A-3A (Lone Tree Self Storage). Site Improvement Plan for an 80,200 square-foot, two-story building, with 605 storage units, on 2.8 acres. Project SP16-33.

Chair Kirchner recessed the meeting to await the applicant and owner, who were late. The meeting was called to order at 6:40 p.m.

Ms. Drybread introduced and provided an overview for the application, a request for a recommendation of approval of a Site Improvement Plan (SIP) for an 80,200 square-foot, two-story building, with 605 storage units, on 2.8 acres and approval of a variance to allow a five-foot building setback reduction from the south property line.

She stated that the applicant held a neighborhood meeting on June 28th with Heritage Hills’ residents and HOA representation to discuss the project. The development team’s landscape architect met in the field with residents of adjoining properties on July 13th to seek their input on the precise placement of landscaping along the south property line. The residents had indicated a desire to have more evergreen trees as opposed to deciduous trees.

Staff found that the application was in conformance with the City's Comprehensive Plan, Zoning Code and SIP requirements of the Westbrook Sports and Entertainment District P.D., with the 5-foot setback variance on the south side of the project as recommended by staff.

Staff recommended that the Planning Commission recommend approval of the SIP, including the 5-foot building setback variance to the City Council, with the following conditions:

1. Prior to the City Council meeting, the SIP shall be revised to state that security fencing shall be black powder coated.
2. The SIP is subject to final approval by the Public Works Department who shall approve the SIP for technical requirements.
3. The SIP notes on sheet 1 shall be revised to include: "The site manager shall enforce parallel parking only along the south side of the building next to the storage units."

She introduced Mr. Tom Seibert, Principal at Sy-Bazz Architecture, LLC, the project architect and developer's representative.

Mr. Seibert provided an overview of the project. He thanked Ms. Drybread for her presentation and began his with an overview of site circulation. Circulation would be counterclockwise, with customer parking off the private drive along the western elevation of the building. He stressed that security was important. Customers would enter through a lift gate along the southwest corner of the site. Each customer would have a unique passcode that would be monitored by management. There would be sliding doors on the south elevation and a central loading area in the center of the south elevation. Access to all the units with the exception of thirty with exterior sliding doors would be via internal corridors. Customers would exit through a gate via passcode along the eastern elevation.

Mr. Seibert added that self-storage warehouses are very good, clean, quiet, and conscientious neighbors. He discussed the neighborhood meeting, and relayed that most of the abutting homeowners had wanted a heavy landscaped screen between their residential properties and the building. There is a six-foot grade change between the rears of the abutting homeowners' yards on the westernmost portion of the site transitioning to a fifteen-foot grade change on the eastern portion – the self-storage being lower than the homes.

He mentioned that they used terra cotta colored materials, concrete masonry, and split-faced CMU on the elevations. He mentioned that the building featured articulation for different shadow lines, texture, and relief. The intent was to bring human scale to a long façade and introduce a palette of rich materials. There is a

collage of different colors and sizes of metal panels on the elevations. The overhead doors extend about ten feet above the finished floor.

He also mentioned that the neighbors expressed concerns about the second-floor, storefront windows – could people view into their backyards – the answer was no. The windows were spandrel glass.

Commissioner Rodriguez expressed concern with easements and the water quality pond. Craig North, the civil engineer, stated that they were working with Southgate Water and Sanitation District to alleviate any concerns regarding grading, the spillway, etc.

Commissioner Rodriguez asked for clarification on the applicant's statement that "95 percent of customers would use the covered loading" in the center. Mr. Seibert responded that twenty of the 640 units had roll-up doors. The rest would be entered internally. The percentage was based on a mathematical calculation.

Commissioner Dodgen inquired if the circulation pattern was one way – could people enter on the east gate. Mr. Seibert responded that the only way to enter was the west gate.

Commissioner Dodgen further inquired about where cars would park. Mr. Seibert stated that it was their intent to not have cars back up perpendicular to the building – they would parallel park along the south elevation and there would be signage and oversight to ensure that. This was for two reasons, not to block the fire lane and not to shine lights in the backyards of adjoining residential properties.

Commissioner Dodgen inquired about customer/traffic volume. Mr. Seibert responded that the average customer took 20 minutes to load/unload, and they expected about 4 cars per hour.

Commissioner Dodgen inquired about signage so that people would not drive through the medical office condos to complete a loop and egress back down Teddy Lane. He inquired from staff whether this project had been sent on referral to the medical office condos to the east – staff indicated it had not.

Commissioner Dodgen inquired if there would be access to the site after the proposed 8 a.m. to 8 p.m. hours. Mr. Seibert responded there would not be.

Commissioner Dodgen inquired about the 8.8 percent grade at the east side of the site and potential issues with vehicles getting up it if there was ice. Mr. North responded that they had taken steps such as stepping the building, etc., to make up some of the grade changes. Mr. Dodgen inquired if it would be the manager's responsibility to make sure that ice was removed. His concern was that people coming through the gate would have to stop and then might have trouble going

up the grade if it was icy. Mr. Gene Gregory, one of the project owners, responded that they would have security cameras and the manager could see ice and salt it.

Commissioner Dodgen inquired about the 72-hour drainage of the on-site detention to make sure that it drains in the appropriate amount of time to prevent the proliferation of mosquitos. He asked if management would be trained on maintaining the pond. Mr. Gregory expressed ownership's intent to retain ownership of their properties for 20 years, and that they have crews that would inspect and maintain the property after the storms. The pond would be cleaned out once a year. This was a five-million-dollar project, and due to pride of ownership, they had an incentive to maintain it.

Commissioner Dodgen inquired about the trees' rate of growth. Mr. Gregory responded that trees grow at different rates; however, the building was ten feet under the height limit prescribed in the planning area.

Commissioner Dodgen inquired about rooftop mechanical units. Mr. Seibert and Mr. Gregory indicated that they would be screened.

Commissioner Heskin sought clarity regarding the statement made in the statement of design intent regarding the substantial use of recycled materials. Mr. Seibert stated that all of the metal and steel, concrete and CMU, were recycled materials. He also stated that these types of buildings use so much recycled materials, and the AC/Heating kept so low, that they easily qualify for LEED certification.

Commissioner Heskin expressed concern for the metal panels on the building elevations. Mr. Seibert stated that they were architectural metal, three-inch panels, aluminum wrapped around insulation, and were mechanically fastened to the building. Their lengths ranged between two and eighteen feet. They met all 2012 energy codes – which is one of the strictest codes to date – 30 percent higher than the 2009 energy codes.

Commissioner Heskin asked about the differentiation in the metal panels. Mr. Seibert responded that everything from the CMU up consisted of varied metal panels, ranging in size from one foot to two feet vertically and varying in color palette. Mr. Seibert responded that it was for a collage-like effect. Commissioner Heskin struggled with the use of varying metal panels as it was unusual, and he was concerned that it would have a patchwork effect. Mr. Seibert responded that the renderings were an abstraction as they would look different in natural light. Commissioner Heskin stated that it was a leap of faith for the Planning Commission without more information to help visualize the effect.

Commissioner Heskin inquired about the retaining wall around the south and east end of the building. Mr. North replied that it would be concrete.

Commissioner Heskin inquired about the use of spandrel glass. Mr. Seibert responded that everything on the second floor would be spandrel glass – a dark, smoke-tinted glass.

Commissioner Heskin inquired about the cross slopes – had there been thought of using a different, textured surface to provide more traction in inclement weather conditions. He was worried about cars sliding back from the gate on ice. Mr. North responded that it was in an easement and they needed a hard surface; further, expressing concern about the detrimental impact of weathering on a rough/textured surface. There was a discussion about the grading. Mr. North stated that the constraints of the site were such that it was difficult to make up the grading.

Commissioner Heskin summarized that he was concerned about the appearance of the building which he had a hard time visualizing and the slopes of the driveways. Mr. North responded that vigorous maintenance would be their strategy to keeping it safe.

Commissioner Steele inquired if the architect had photos of existing projects they had already built – they had fifteen other self-storage warehouses. Mr. Seibert responded that they would work on acquiring photos prior to the project going to Council.

Commissioner Steele inquired about the overhead garage doors on the south elevation. The renderings showed 30 however the applicant stated there would be 20. This was misstated – 30 was the correct number.

Commissioner Steele inquired about the size of the different units small to large. Mr. Seibert responded that they range from 5-foot by 5-foot to 10-foot by 30-foot. The whole building is set up on a ten-foot grid. Commissioner Steele inquired whether cars could be stored at the site – they don't allow cars to be stored, Mr. Seibert replied.

Commissioner Steele inquired about controls within the trash enclosure regarding disposal of belongings in units. Mr. Seibert responded that the dumpster was a standard size; however, the manager would have to operationally control this.

Mr. Gregory responded that the dumpster was intended for staff, not the tenants. They have cameras on all corners of the building and the dumpster would be locked. The dumpsters are for trash that is generated from the office. The dumpster is too small for furniture, very large items, etc. The manager's job is to monitor the property, not just remain in the office. If somebody dumps trash, they know.

Commissioner Steele inquired about controls regarding what is stored. They

have lease agreements prohibiting flammable chemicals and other dangerous goods.

Commissioner Steele inquired about rodent controls. Mr. Gregory responded that they don't have much in the way of food storage – so there is not much of a problem with rodents, though they have rodent traps. He stated that ants are a bigger problem than mice; and they have periodic exterminators.

Commissioner Steele inquired about the manager's hours. Mr. Gregory stated that they would be 8 a.m. - 8 p.m., and that there would be two to three employees. Their security camera system operates 24 hours per day and records for one week.

Mr. Gregory added that this was a fully sprinkled building and they are monitored through South Metro. There is not a lot to burn other than the contents of storage units as the building is metal and concrete.

Commissioner Steele inquired about the reflectivity of the roofing material. Mr. Seibert responded that it would be a matte-finished, standing seam, metal roof. It would not be reflective.

Commissioner Steele recommended that it would be helpful to superimpose the building on a photo simulation from the perspective of the neighbors' backyards, to help the Council and others visualize what this project would look like from their yards.

Chair Kirchner furthered that they wanted more of the building, less of the sky, on the renders and elevations. This would help the building be better visualized.

Chair Kirchner also asked that the screening for rooftop units be better rendered on the elevations – increase the scale, etc. It was too inconspicuous on the rendering to tell it was there.

Chair Kirchner concurred with Commissioner Steele that having photographs of existing projects with the same or similar materials would be helpful – including the powder-coated fencing. This would especially help with the Council meeting.

Chair Kirchner inquired of Mr. North's response to the first Southgate comment – conditional approval based upon on the project being approved by Denver Water. They inquired of Ms. Drybread if this should be a condition. Ms. Drybread responded that it was part of the building permit sign off – it didn't need to be a recommended condition.

Chair Kirchner urged the applicant to include, in the Council's packet, color renderings for all four sides of the building, instead of only three.

Chair Kirchner thanked the applicant for having the landscape architect work with the residents cooperatively.

Commissioner Rodriguez inquired about snow removal. Mr. Gregory responded that this would be a third-party company. They would also be subject to the aforementioned operating hours.

Commissioner Rodriguez inquired about the disposal of storage contents for customers who do not honor their leases. Would auctions happen on site? Mr. Gregory stated that they will wait until there are about five customers who have defaulted on their lease before they obtain a judgement to try and collect, then auction off contents. Mr. Gregory stated that there is about a 6% to 7% lease default rate per year, so they may have the contents of 35 units per year up for auction. Many times the contents are junk. People would not be allowed to enter the site with their cars for auctions.

Commissioner Dodgen inquired about adding a photo simulation perspective from the second floor of the homes.

Commissioner Dodgen followed up about potential auctions - would nine parking spots be enough for the auctions. Mr. Gregory stated that they post the items online and this eliminates a lot of the auction traffic as people can browse virtually. Many people who quit paying just have junk. Commissioner Dodgen inquired whether people would take parking from the office condos – Mr. Seibert stated it wasn't what you see on TV with big auctions. It is low key and does not generate crowds.

Commissioner Dodgen inquired if any of the roll-up doors would be exterior to the gate – no, they would all be interior the gate. Mr. Gregory responded that they could do a heavier broom finish on the sloped portions of the drive aisle. They don't want a car sliding on ice and hitting their building. Mr. Gregory further stated that they don't heat or cool these buildings to a level that would be comfortable, so HVAC is not running all the time generating noise.

Commissioner Dodgen is concerned about the grade issues with U-Haul trucks – especially empty ones. Mr. Gregory stated that they have a maintenance contract with their contractor, and that operationally the drive would have to be salted and plowed during and after winter weather events.

Chair Kirchner opened the agenda item to public comment at 7:50 p.m.

Michael Perales, 9373 East Aspen Hill Place, expressed if the mechanical units on the roof would be visible He was also concerned about security issues in the space between the security fence and their backyard fence. It would be easy for

people to hide in the landscaped area. He proposed extending the security fence to their backyard fence to form a perimeter.

Ms. Kathleen Fitzgerald, 9493 Aspen Hill Circle, asked for photo simulations from along the perimeter with the houses as the grade change differed from east to west. There would be no background checks of applicants. She was concerned about the security fence – and asked that it be 8 feet tall instead of 6 feet tall so people could not hop it.

Mr. Pat Fitzgerald, 9493 Aspen Hill Circle, expressed concern that all of the traffic, overhead doors, the main dock, etc., faced their houses. One of the things they had discussed with the applicant was flipping the building so that the garage doors would face to the north. He stated that they were told that South Metro Fire had precluded this; but they wanted to see this in writing. He thanked the applicant for keeping it two stories. They had concerns regarding the reflective nature of the metal siding – would it reflect towards their house. They would prefer a more natural material. He was concerned about having only one employee. He also stated that having operation hours of 8 a.m. to 8 p.m. was ok; however, what would prevent the owner/operator from changing this. He was concerned about increased traffic on Sundays.

Pam Ladnier, 9335 East Aspen Hill Lane, Heritage Hills HOA President, thanked the applicant for the public meetings, and wanted to discuss the lighting. She did not want the lighting to shine into homes.

Lisa Herz, 9523 Aspen Hill Circle, stated that there is another building to the west that has an even shorter rear setback; if they can get fire trucks back there, why not this one. She supported the other resident's concerns about security and lighting. She stated that it was deceiving that the topography would hide the building due to the resident's elevated position when they can see the office condos, and other things, through the existing fence.

Chair Kirchner closed the agenda item for public comment at 7:59 p.m.

Commissioner Steele stated that he was comfortable with what was being included in the packet regarding lighting. He noted that though it gets dark at 4:30 p.m. in the winter, he felt the lighting was adequately addressed. He also stated that he felt that it was nearly physically impossible to flip the building, and supported the use for the site, if the building could be optimized for adjoining owners.

Commissioner Dodgen inquired if there was any reason to not have the security fence connect to the neighbor's fence – they will do this. There will be a locked gate for landscapers and this fence would form a complete perimeter. The applicant did not mind going to eight-feet in height for the fence. He was concerned that the City's code might preclude this and require a variance. Ms.

First responded that the height limit was for fences in residential uses; there was no variance issue. The applicant agreed to an eight-foot tall fence. The fence would be six feet high along the road and eight feet on the sides. Mr. Gregory stated that the hours of operation were a condition of use and in the Planned Development.

Mr. Gregory addressed the five-foot variance – this was to accommodate Planning Division’s request for building articulation.

Commissioner Dodgen moved to recommend approval of the SIP, including the 5-foot building setback variance to the City Council, with the following conditions:

1. Prior to the City Council meeting, the SIP shall be revised to state that security fencing shall be black powder coated.
2. The SIP is subject to final approval by the Public Works Department who shall approve the SIP for technical requirements.
3. The SIP notes on sheet 1 shall be revised to include: “The site manager shall enforce parallel parking only along the south side of the building next to the storage units.”

Commissioner Steele seconded.

Commissioner Rodriguez introduced a friendly amendment to add the condition of making the security fence eight feet where it extends up the sides to create a perimeter.

The friendly amendment and motion passed 5 to 0.

7. Adjournment.

There being no further business, Chair Kirchner asked for a motion to adjourn. Commissioner Dodgen made the motion to adjourn and Commissioner Steele seconded and the motion was approved 5-0. The meeting was adjourned at 8:08 p.m.

These minutes have been reviewed and confirmed by

_____ (name), on _____ (date)



CITY OF LONE TREE

STAFF REPORT

TO: City of Lone Tree Planning Commission

FROM: Hans Friedel, Planner III
Kelly First, Community Development Director

DATE: August 10, 2016

FOR: August 23, 2016 Planning Commission Meeting

SUBJECT: Site Improvement Plan (SIP) Minor Amendment for Sierra Grill Restaurant
RidgeGate Section 15, Filing 18, Lot 4-A, SP16-54R, amending SP15-72R.

Owner
Sierra Holdings LLC
PO Box 637
Sedalia, CO 80135
310.804.7515
mark@brinkerhoff.com

Representative
Kevin Stephenson
Boss Architecture
2546 15th Street,
Denver, CO 80211
303.377.6322
kevin@bossarch.com

Planning Commission Meeting Date:
City Council Meeting Date:

August 23, 2016
N/A

A. Summary:

This application is for proposed revisions to the previously approved Site Improvement Plan (SIP) for the Sierra Grill restaurant in RidgeGate Commons. It is being processed as a Minor Amendment to the approved SIP with Planning Commission action.

B. Suggested Motion or Recommended Action:

The Planning Commission will be the acting body for this project. The suggested motion is as follows:

- I move to approve SP16-54R, amending the approved site improvement plan SP15-72R for RidgeGate Section 15, Filing 18, Lot 4-A, Sierra Grill.

C. Location:

The site is located in a master-planned commercial area called RidgeGate Commons, located generally west of I-25 and south of RidgeGate Parkway in the RidgeGate Planned Development. The address is 10680 Cabela Drive.

D. Background:

Sierra Grill is a single-story, 8,445 square-foot, restaurant with a courtyard and exterior deck, under construction on a 1.923 acre parcel in RidgeGate. The Planning Commission recommended approval at their October 13, 2015 Planning Commission meeting, and the City Council unanimously approved the Site Improvement Plan subject to final City of Lone Tree Public Works approval on November 3, 2015. The Planning Commission minutes are included in this report.

E. SIP Minor Amendment with Planning Commission Action

[Section 16-27-110 – SIP amendments](#) – of the City of Lone Tree Zoning Code establishes the criteria whereby proposed revisions to previously approved SIPs can be processed as minor amendments requiring staff or Planning Commission approval, or as major amendments requiring City Council approval. It was determined that the architectural character and quality of the materials as described in this application and submittal documents constituted a minor amendment with Planning Commission approval

F. Request:

The applicant is requesting the following exterior revisions to the approved SIP:

- Steel windows are being substituted for the previously approved dark bronze aluminum storefront system at all exterior window locations, except at the area beneath the high / A-frame roof form, which will remain as dark bronze storefront.
- Steel windows will be added on top of the exterior courtyard walls on the east half of the courtyard.
- The 7-foot high wall that wraps the west half of the courtyard, will be lowered to 3 feet high. Tall landscape features (evergreen trees, and espalier trees) will remain around the West half of the courtyard to filter views in and out of the courtyard, and limit views from the adjacent housing development.
- The exit gate from the courtyard to the adjacent sidewalk and parking lot, has been moved from the southwest corner of the courtyard to a more central location on the south wall.
- The low roof element that covers the entry walkway and portions of the courtyard has been modified to have exposed steel structure, and a low slope Corten corrugated metal roof, in lieu of a flat ethylene propylene diene monomer (M-class) rubber (EPDM) roof (black in color), and wood soffits.
- Over the east half of the courtyard, a new low slope Corten corrugated roof has been added to provide better shelter for dining in inclement weather. This half of the courtyard will still remain open air; however, the roof will help protect guests from wind and rain events.

- Rustic brick is being substituted for the previously approved limestone for the exterior courtyard walls and chimney elements.
- Flat panel Corten steel siding is being substituted for the previously approved tongue and groove cedar siding at the exterior deck guardrail, and a small wall surface at the northwest corner of the building.
- The courtyard ground surface will be changed from loose crusher fines, to integrally colored concrete.

Staff supports the proposed changes as the materials are consistent with the City of [Lone Tree Design Guidelines](#) and the overall architectural concept remains substantially unchanged.

G. Referrals:

The project was sent on referral including an additional review by the RidgeGate Design Review Committee (DRC).

H. Minutes of the October 13, 2015 Planning Commission Meeting:

The Planning Commission meeting was attended by roughly 30 residents of the Montecito Community, and they were invited to speak about the Sierra Grill agenda item – none did. During the following Tract GG hearing, Mr. Kevin Spencer of the Montecito HOA spoke in favor of the restaurant during his comments on the future residential subdivision. The following has been taken directly from the minutes of the Planning Commission meeting held on October 13, 2015:

Mr. Friedel introduced the agenda item and stated staff’s finding that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, and the RidgeGate Office District Subarea Plan. Staff

recommends that the Planning Commission recommend approval to the City Council of Site Improvement Plan SP15-72R subject to final approval by City Public Works Department and the related lot line adjustment (SB15-75R) being approved by City staff and recorded.

Darryl Jones of Coventry Development, on behalf of RidgeGate, stated that the restaurant helped fulfill the vision of RidgeGate for a mix of uses including up-scale restaurants. He stated that the site plan was well thought out. The RidgeGate Design Review Committee (DRC) has reviewed and approved the project. He was very excited about architecture; stating that it was interesting, creative, and consistent with City's Design Guidelines and RidgeGate's expectations; and that it would be a great amenity. He hoped that they would recommend approval.

The applicant – William Brinkerhoff, owner of La Loma in the Highlands neighborhood of Denver, stated that he was associated with that restaurant for 35 years. Mark Brinkerhoff is his son and partner. He recalled how the restaurant business is hard with over ninety percent failing to succeed. He told how successful restaurants are built on the three tenants of quality food, good service, and ambience. Originally, Coventry was not interested in selling the site, but after they shared their vision and learned more about RidgeGate's vision, the sale was conducted. This restaurant would be something akin to Cherry Creek Grill with a wood fire grill concept but built around food, service, and ambience and more upscale to accommodate the clientele in the area. Ingredients would all be from scratch. The purveyors would be hand-selected. Cocktails would be handcrafted and the menu would feature fine wines. It would be upscale yet accessible. They pride themselves on quality service. They were excited and pleased to be here. He said the design captured elements of agriculture and the mountains.

Kevin Stephenson, of Boss Architecture, the project architect, indicated his happiness to be part of this project and said it is the most exciting project they were currently working on. He showed images of similar architectural spaces to convey quality and character. He described the project as upscale, casual, original, and unique. He showed additional

images to convey spaces and materials, both indoor and outdoor. He said that natural daylight was included throughout to create vibrant spaces including courtyard spaces for outdoor dining. Stone walls were designed to create intimacy and to help buffer the noise. He said Sierra Grill would fill a void and demand for a quality dining experience in this area.

Mr. Stephenson discussed the placement of the building on the site and prominence of the building offered by its location at the crest of the hill. The scale of the building was described as low and intimate; and provided a transition to residential scale to the west. He described the connections and pathways around the site and how lighting provided for safety. He discussed the landscape concept as thoughtful and elaborate, with a native feel around the edges, blended with the existing landscape treatment. Interior areas incorporated olfactory and sensory plant materials. Mr. Stephenson said they were intentionally blocking views of the parking area with landscaping. He described the organization of the internal spaces of the restaurant. He discussed the service area and circulation. He then reviewed photo simulations from various vantage points in some detail. He emphasized that there was 360-degree architecture. All service functions were located interior to the building.

Mr. Stephenson discussed the materials proposed including limestone and timber for an old world feel; cementitious/natural stucco for a marbled character; Core-ten weathering, corrugated steel - perforated in some areas, for the roof; stained cedar for soffits (more visible from interior); pre-finished metal flashing in dark bronze; and some exposed concrete for a refined way of expressing wood texture into a concrete mold. Mechanical screening will also be done in the Core-ten material, which is matte finish. A natural, timeless palette that is easy to maintain is proposed.

Commissioner Dodgen thanked the applicant for choosing Lone Tree. He asked if pedestrian signs would be necessary for connection to the hotel. Mr. Friedel responded that it had not been discussed as part of the process, although signs could be added if it was a concern. Commissioner Dodgen asked about sufficiency of parking for patrons

and employees. Mr. Friedel indicated that parking met the City's minimum off-street parking standards and described the required ratios. Mr. Stephenson added that they believed it was adequate and met Cabela's requirement that projects in the area all self-park, although some people would likely park across the drive. Commissioner Dodgen's main concern was regarding overflow parking and the ability to cross safely as a pedestrian. Mr. Stephenson said various iterations took place during the DRC process relative to reducing conflicts between the service area and pedestrians, so the circulation issue had been thought out.

Commissioner Dodgen asked how many service vehicles could fit at any one time in the access drive. Mr. Stephenson said it was designed to accommodate a 27-foot delivery truck. They will coordinate with service providers to address deliveries and avoid conflicts. Two large vehicles could be accommodated. Commissioner Dodgen asked that delivery noise be taken into account so it did not disturb Montecito residents. Mr. Stephenson responded that restaurant delivery trucks were at a much smaller scale than Cabela's. Commissioner Dodgen asked if landscaping along the west would be sufficient to screen headlights from residents to the west. Mr. Stephenson responded that it would, once established. The density and plant types had been specifically selected to mitigate that concern. Commissioner Dodgen asked about the lighting of the building that might be seen from Montecito. Mr. Stephenson responded that it was intended to be like the glow of a lantern; a more dimly lit project. There will be soft, ambient, focused lighting with twinkling effect. Commissioner Dodgen asked about whether loud, live music would be provided. Mr. Stephenson said there were no specific plans but ambient music will be played; walls help buffer sound and they will comply with City requirements.

Commissioner Kirchner asked about the proposed interior storage of dumpsters and whether this was their practice at other locations. Mr. Stephenson said it was unique to this site and was a result of DRC comments. It has been done in other places. The room would be kept cool and met health standards. Commissioner Kirchner asked about the selection of ponderosa pines and said they don't grow well as a screening

tree. He asked if they considered Austrian pine or blue spruce instead. Mr. Stephenson said the intent is to provide a more native feel as the project transitions outward with the rest of the site. Ponderosa pines are not intended as a screening tree in this location. Commissioner Kirchner received clarification from the applicant about the materials and placement of Core-ten. He asked about the implication of snow loads and pushing the snow downward to the retaining wall area, particularly in a heavy snow event. Mr. Stephenson described the pitch and ledge of the roof area and the opportunity to contain/stop the snow. The intent was that it will run off into the landscaping. Commissioner Kirchner asked about the height of the high point and whether it falls within the height restriction; it does.

Commissioner Steele conveyed his pleasure to have an upscale restaurant; the Planning Commission had been asking for this for a long time. He complimented the applicant on the sustainable aspects of the project. He asked if the Core-ten was similar to the screen material used for the library. Jennifer Drybread responded it was similar, although the library application was darker and she did not think it would develop a patina as it weathers over time. Commissioner Steele asked what the color is at installation. It is silver and will start to show color within the first month. It will patina quickly. They have used it in a number of ways on other buildings. It is an alloy designed to rust and self-seal; it will not have to be re-finished or painted. The material is often used in bridges. Commissioner Steele reiterated the earlier comment about pedestrian crossings and the need for signage and lighting to ensure safety, particularly at night. Mr. Stephenson said they looked at the issue from a lighting standpoint and added three-foot high bollards at a regular spacing to improve the experience.

Commissioner Steele asked about valet parking. Mr. Stephenson noted the drop-off area had been designed in consultation with the Fire District. Mr. Brinkerhoff added that it was not the intent to have valet but in the future they may reevaluate that. Commissioner Steele asked about the square footage, including the deck and courtyard relative to the seating count. Mr. Stephenson said there were 142 dining seats; 54 bar seats; and, 12 seats in a small deck; and 132 in the courtyard. Commissioner Steele

asked about lighting on the slope of the roof and whether it would create an impact on residential areas. Mr. Stephenson described the purpose of the architectural lighting was to create a glow. It was a dark area and the roof lighting will wash the roof to provide visibility. It was not high intensity lighting. Commissioner Steele asked about details of the signage. The applicant reviewed sign concepts and the backdrop of the entryway sign.

Commissioner Carlson appreciated having a nice place to go to dinner.

Commissioner Mikolajczak commended the applicant on the La Loma restaurant and quality of dining experience. He was excited that this was not a chain. He asked about the two styles of metal materials and Mr. Stephenson clarified that one was solid and one was perforated to account for the open air structure and create visual transparency. It also provided a dual-function to screen some equipment while still allowing equipment to breathe. Commissioner Mikolajczak asked about the view from Montecito and whether they could see the mechanical equipment. The applicant responded that they studied it and it would not be visible. Commissioner Mikolajczak asked why they chose the color for the roof, rather than green, although he was not necessarily suggesting green. Mr. Stephenson responded that the Cor-ten added a richness and natural quality to the color palette. Commissioner Mikolajczak asked about the decision to create the roof the way they did. Mr. Stephenson said it served several functions but created drama and visual interest both interior and exterior. It afforded the patrons many different experiences within the juxtaposition of the spaces.

Commissioner Mikolajczak asked whether the trees, at maturity, would provide the desired effect and view of the building. Mr. Stephenson said it was the intent to create privacy and intimacy through landscaping and some trees were intended to be 40 feet high; at some point the roof will peak out behind the trees over time. Commissioner Mikolajczak hoped one would continue to see the beauty of the building over time. He appreciated the internal design of the trash and other design features of the site that make it unique and iconic.

Chair Sippel agreed with other commissioners that a nice restaurant in Lone Tree south of Lincoln Avenue is a much needed amenity, especially for the Lone Tree Arts Center. She also commented on ponderosa pines and urged them to reconsider because they generally drop their lower branches as they grow and that often makes the look odd (with a long trunk and branches on only the top half of the tree). She commented that Bristlecone pines were very slow growing, so as long as they were not intended to screen, they should be acceptable. The applicant acknowledged the statement and the intent for variety and mounding effect. She encouraged the applicant to ensure that trees be maintained. Mr. Brinkerhoff said they could entertain other suggestions, but wanted to have some visibility. Chair Sippel thought Austrian Pines would be a good substitute.

Commissioner Steele asked about the cooking methods and odors that would be emitted. Mr. Brinkerhoff said they have a wood fired grill at their current restaurant and said it is not noticeable, nor intended to be noticeable from the exterior.

Commissioner Dodgen again advocated for pedestrian crossing signs, proper lighting and exit signage from the parking lot to enhance pedestrian safety. Commissioner Steele urged the applicant to work with staff on that issue – to enhance pedestrian safety. Chair Sippel invited public comment and none was requested.

Commissioner Kirchner moved to recommend approval of SP15-72R subject to staff recommended conditions, Commissioner Mikolajczak seconded, and the motion passed unanimously.

I. Finding:

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, and the RidgeGate PDD.

J. Attachments:

Development application

Letter of authorization

DRC approval letter

Project narrative

Plans for proposed revisions to SIP

Original approved SIP

Referral responses

END



Development Application

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

CITY OF LONE TREE 303.708.1818 | www.cityoflonetree.com

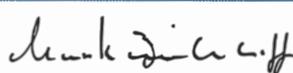
Project Description	Sierra Grill
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Instructions	For Office Use Only
<ul style="list-style-type: none"> ✓ All applications must be typed or legibly printed ✓ All applicable sections must be completed ✓ All required attachments must be included ✓ This application does not cover Engineering, Building, and/or Public Works submittal requirements and fees 	Project Name Sierra Grill SIP Minor Amdt Job # SP16-54R Date 8/2/2016 Planning Fee \$500 Check # 77635

Application Type	Location
<input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Rezoning <input type="checkbox"/> Final Plat <input type="checkbox"/> Site Improvement Plan (SIP) <input type="checkbox"/> Re-Plat <input checked="" type="checkbox"/> SIP Amendment <input type="checkbox"/> Lot Line Adj. <input type="checkbox"/> Other	Address 10680 Cabela Drive Approximate Location City of Lone Tree State Parcel ID 2231-154-10-004 Acreage 1.758

Zoning	Legal Description
Current Zoning or PD Name Ridgegate Lincoln Commons Commercial Mixed-use Proposed Zoning if Rezoning	Subdivision Name Ridgegate Section 15 use sub-area plan Filing # 18 Block # Lot # 4-A

Utility Providers
Fire District South Metro Fire Water Southgate Water Electricity Xcel Metro District Rampart Range Sewer and Sanitation Gas Xcel

Property Owner of Record	Applicant if Different than Owner
Owner Name Mark Brinkerhoff Company Sierra Holdings LLC Address 8001 South Interport Blvd. #260 Phone 310.804.7515 Email mark@brinkerhoff.com	Name Kevin Stephenson Company BOSS.architecture Address 2546 15th Street Denver 80211 Phone 303.377.6322 Email keyin@bossarch.com
Owner Signature  Date 8/1/16	Applicant Signature  Date 8/01/16

Letter of Authorization

Regarding Development Applications for Land Use Entitlements

City of Lone Tree
9220 Kimmer Drive #100
Lone Tree, CO 80124

RE: Property Address: 10680 Cabela Drive, Lone Tree, CO 80124

Assessor's Parcel Number (SPN): 2231-154-10-004

To Whom It May Concern:

I/We, the owner(s) of the above described real property, authorize Kevin Stephenson & Chris Davis
of BOSS.architecture, LLC to act as an agent on my/our behalf for the purpose of
creating, filing and/or managing an application for Site Improvement Plan
(type of development or permit application).

The undersigned hereby certifies to being the fee owner(s) or legally authorized representative of the fee owner(s) of the real property described above.

Mark Brinkerhoff
(Print Name of Owner)

[Signature]
(Signature of Owner or Authorized Representative)

State of Colorado
County of Arapahoe

The foregoing instrument was acknowledged before me this 29 day of July, 20 16
by Mark Brinkerhoff.

[Signature]
(Notary's official signature)

04/17/2018
(Commission expiration date)

NOTARY SEAL

SAMI STORNELLI
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID # 20144016473
MY COMMISSION EXPIRES APRIL 17, 2018



August 1, 2016

Mark Brinkerhoff
Brinkerhoff Hospitality, Inc.
8001 S. Interport Boulevard, #260
Englewood, CO 80112

RE: RidgeGate Design Review Committee – Sierra Grill

Dear Mark:

The RidgeGate Commercial Design Review Committee (DRC) has reviewed the Sierra Holdings design modification submittal for the Sierra Grill restaurant in Lone Tree. The DRC supports the project design modifications with the condition that an onsite materials mock up is completed and available for review by the DRC.

This correspondence serves as formal approval of the design changes by the RidgeGate Commercial Design Review Committee.

Please note that approval by the DRC does not indicate or confirm in any way that the project meets all of the requirements and/or restrictions under applicable City/County regulations or recorded covenants or restrictions that may affect your property. It is your responsibility to ensure that the project complies with all such requirements and restrictions.

Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

Elizabeth Matthews
DRC Administrator

cc: Kelly First, City of Lone Tree
File

SIERRA GRILL RESTAURANT

SIP Narrative

The applicant shall provide a written narrative describing their project.

Please use the following outline (Sec. 16-27-60) as a guide when formulating your response:

Proposed revisions to exterior materials palette and design – 08/01/2106

1. General information.

- a. Provide the name and address of the landowner, the developer or representative, and the person preparing the site plan, if different than the owner.

Landowner : Sierra Holdings, LLC

Representative, architect,
(and entity preparing SIP submittal) : Kevin Stephenson and Chris Davis
BOSS.architecture, LLC
2546 15th Street
Denver, CO 80211

- b. Provide the following :

subdivision name	Ridgegate
filing number	18
planning area number	C/M-U no. 2
lot and block number	Lot 4A, Section 15, Filing no. 18
street address	10680 Cabela Drive, Lone Tree, CO 80124
name of project	Sierra Grill Restaurant

- c. Indicate zoning of the site, zoning of adjacent land, and current uses of adjacent land.
- | |
|---|
| Commercial Mixed - Use |
| Commercial Mixed - Use |
| Cabela's (Retail) and Marriott Townplace Suites (Hotel) |

2. Development impacts.

Describe overall impacts of the proposed development on adjacent lands, and methods for mitigating those impacts.

In addition to this project having an overall positive impact, and becoming a great amenity to its adjacent properties, projects, and neighbors, the development of this site also comes with a few challenges :

- . A large portion of the site will be developed as a parking lot, (for the required parking component). However, the extensive and well-composed landscape design will help to screen both views from the adjacent residences to the parking lot, as well as veil headlights from cars parked within the lot.
- . Additionally, (to blur the edges and boundaries of this site), several trees and plants will be added to the surrounding RRMD property, (with the District's approval).
- . A modest, simple, and sensitive lighting scheme has been proposed, so as to minimize the visual impact to the adjacent residential properties, including low-level lighting along the pedestrian pathway between Sierra Grill's property, and the new adjacent Marriott hotel.

3. Compliance with Intent and Approval Standards.
Describe how the development complies with the Intent (Section 16-27-10), and Approval Standards (Subsection 16-27-90(a)) of this Article.

Great effort has been taken to understand, implement, and exceed the expectations articulated in Section 16-27-10, specific to creating a project type (and executing a high level of design) that enhances the quality of life, and sustainably fosters a strong economy and healthy community. (Please see the Statement of Design Intent below).

The project has been successful in receiving SD and DD approval from the Ridgeway Design Review Committee (DRC).

The project team is excited and optimistic to move forward with the SIP, Planning Commission, City Council, and Building Department review processes.

4. Development phasing.
Describe the proposed development schedule, and phases of development for all proposed construction.

The project is currently in the process of SIP review. Upon receiving and addressing any staff comments, and the 21 day referral period, we will proceed with both the Planning Commission and City Council hearings for their respective considerations and approval.

Design production will be underway simultaneously, so that upon receipt of approval from the City Council the project team (Owners, Architects, and Contractors) will be ready to submit to the Building Department, for a building permit. Upon receipt of a building permit, our GC is estimating a construction duration of 10 months, (in one (1) single phase).

5. Other project data.

- a. Total number of employees on maximum shift when known (for parking purposes).

27

- b. Square footage of building.

8,445 SF	(building)
4,100 SF	(courtyard)
690 SF	(exterior deck)

- c. Lot area.

1.758 acres

- d. Anticipated opening date.

September 2016

6. Sustainability.

Highlight ways in which the project furthers the City's environmental goals regarding sustainability. This may include a general description of the project location relative to other uses, public transit, and trails; ease of travel to key destinations on foot or bicycle; water conservation and water quality measures; site layout; green building practices; or operational aspects of the use such as waste reduction, recycling or commuter trip reduction programs.

Sierra Grill Restaurant will be implementing the following practices regarding sustainability :

- . The exterior palate is composed almost entirely of natural materials, (resulting in a low maintenance, sustainable building).
- . Natural daylight is being captured and utilized to minimize interior lighting loads, and improve upon the quality of interior space, (for the well being of staff and guests).
- . Solar shading elements and deep roof overhangs will temper the unwanted solar gain.
- . Low water consumption trees and plants are being planted throughout the site.
- . RTI fry oil recycling lines and tanks are being installed on kitchen appliances, (resulting in a cleaner and more efficient oil recycling program).
- . Energy efficient LED lighting is being specified for the project.
- . Commercial grade energy smart machines and appliances will be used, where possible.
- . Dual flush toilets will be specified for the public and staff restrooms.
- . Recycling and composting will be implemented.
- . Recyclable materials will be used throughout the kitchen and bar, (such as floor mats).
- . The menu and beverage program will have a strong local and organic focus.

7. Variances if applicable.

For those SIPs for which a variance from the standards in this Chapter, the Design Guidelines or Sub-Area Plans is requested, the narrative shall also explain the need for the variance. (Public notice may be required, see Section 16-26-60).

No variances are being requested, however, there is a lot line adjustment currently in process for the property line between lot 4A and the adjacent Rampart Range Metro District property, (whereas, RRMD is conveying a portion of their property to lot 4A). The Case Number for the Lot line Adjustment is SP15-75R.

Additionally, we are requesting approval of building signage at the entry canopy, where said signage is proposed to project above the entry canopy edge. (The expressed purpose for this specific signage location is to identify and celebrate the building's main entry).

City of Lone Tree Design Guidelines

Statement of Design Intent

Using this form, or a separate page, please describe how the project meets the intent of the City of Lone Tree Design Guidelines, including the City's Core Design Principles. (If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well).

Please use the outline below as a guide in formulating your response. You may also use this opportunity to describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

Sierra Grill Restaurant will showcase William and Mark Brinkerhoff's vision for an upscale (yet casual) dining concept, that features captivating and comfortable space, exceptional cuisine, fresh ingredients, and fine wine and beverages, in a way that is original and unique.

The project design is context and site specific, and of a timeless character. It incorporates elements of simplicity and sustainability through a natural use of materials, and a clean, modern - agrarian aesthetic.

It also considers the entire site holistically, capitalizing gracefully on its opportunities. Beginning with the approach onto the lot, the arrival sequence for both the vehicle and the pedestrian is dynamic. Including a unique, intelligent, and sensitive entry into (and through) the *restaurant*. The entry procession is intentionally intimate, setting the tone for the rest of the experience.

The project addresses frontage to the street, solar exposure throughout the day (and across the year), views, and privacy issues, by incorporating exterior courtyards / patios / gardens / terraces (both covered and uncovered), that establish a real connection to the site, and a strong dialogue with interior spaces throughout.

Sierra Grill is composed of a single level, and into zones, to allow for privacy and separation between public / private functions. The design encourages indoor / outdoor living and eating, and blurs the distinction between the two. Natural daylight will be manipulated and maximized to create vibrant space. The *restaurant* is efficient, composed of a smart program, with well-crafted vignettes that include warm, wonderful space everywhere.

There will be a variety of comfortable dining experiences, including an open-air outdoor eating space that notably and tangibly increase the depth of the interior *restaurant*.

The design of the kitchen is functional and efficient, for both cooking and presentation.

The wine and tequila program is featured in a unique fashion, central to dining.

Walls are cleanly and thoughtfully articulated for the display of art throughout.

Fireplaces are incorporated into the primary dining space.

Bathrooms are well designed, and will add to the overall experience.

Order is being given to the land by introducing new trees, plantings, gardens, site walls, a modest yet beautiful water feature, and a fire element .. all drawing out the depth and beauty of this property, making it a truly incredible site.

Additional key components to the success of the design include the careful *prioritization* and selection of the materials palate and interior finishes, the crafting of clean and simple space, and the relationship of the structure to its site.

We have inventively explored the use of space, and *infused it* with a magnetic energy. It connects the dots between context, community, history, geography, food, ingredient, pedestrian, architecture, and design, resulting in an unforgettable experience.

Lastly, we believe that this project whole heartedly embodies the City of Lone Tree's Design Guidelines and embraces the following Core Design Principles :

- **Context and Local Character :**
The architectural vernacular is very contextual and agrarian in nature, and relating, yet recessive in scale to its partnering properties, Cabela's and Marriott.
- **Economic Vitality :**
This building will be built to last.
It is a flagship project, that will hopefully set the bar for new development in the area, and continue to feed and employ many people for years to come.
- **Human scale :**
The building will be warm and inviting, and of a pedestrian scale.
It will be accessible via vehicle, and an infrastructure of bike paths and sidewalks connected to the adjacent properties.
- **Design Excellence :**
The project team and Ridgeway DRC are excited about this as a project and a piece of architecture. We are hopeful that it will be an example of quality architecture for the community to appreciate.
- **Safety and Security :**
The project will be accessible, well connected, and well lit to its surrounding properties, promoting comfortable and safe access for everyone.
- **Sustainability :**
As referenced above, this project will be implementing sustainable practices (in the construction and daily operation), wherever possible.
- **Sense of Place :**
Sierra Grill Restaurant will be a destination location, with a sense of identity (both internally and externally), and a variety of spatial experiences that will draw customers back time and again.

Overall Design Concept:

Briefly describe the use and overall concept for the project as a whole.

Sierra Grill Restaurant conveys a language and identity that personifies a focused, simple, and fresh environment, (with personality), bringing into alignment the inspirational quality of the building's surroundings with this exciting new piece of architecture.

The primary goal for this project is to foster a sense of community, and create a place of gathering. This restaurant will become a destination, as well as a key component in exposing a new breadth of clientele to the Ridgeway experience.

Context and Site:

Describe how the project relates functionally and visually to the context of the surrounding area (consider issues of form and character; the natural environment; vehicular and pedestrian access and circulation systems, etc.).

Public Realm

Describe how the project contributes to an inviting, safe and functional public realm (consider public spaces, street/sidewalk – level experience, lighting, landscaping and signage).

Architectural Design

Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high quality design (consider building form and composition, façade composition and articulation, materials and colors and lighting).

Proposed revisions to exterior materials palette and design – 08/01/2106

Sierra Grill Restaurant is located on the crest of the hill at the northern edge of its lot. This dynamic position allows for the building to be visible, and to visually ‘bookend’ the greater site, (with Cabela’s). It also creates an exciting perspective from inside the building.

Contextually, the architecture is composed of a natural palette of materials, and takes inspiration from the roof forms and exposed structure of Cabela’s.

The brick, stucco, and metal material palette are very durable, and will age beautifully. The flat panel Corten steel siding is used sparingly, and will be allowed to rust naturally, giving it a warm natural color, and a lasting aesthetic. (see additional notes below)

The scale of this building is intentionally low and intimate, so as to respectfully buffer the property from adjacent residences.

There are strong connections to the adjacent properties, in the form of well lit and landscaped pedestrian sidewalks.

The landscape is thoughtful and elaborate. It creates edges and entries, it blocks views to and from the parking lot, and it extends beyond the borders of the property, to blur and blend the site’s edges.

Sierra Grill will hopefully fill a large void in the Ridgeway community, by providing great food and drink, in an exceptional piece of architecture, on an amazing site.

Additional proposed changes are as follows:

. Steel windows are being substituted for the dark bronze aluminum storefront system at all exterior window locations, except at the area beneath the ‘high’ / ‘A-frame’ roof form, which will remain as dark bronze storefront. The steel windows are a higher end product and will give a more sophisticated appearance than storefront windows.

. Steel windows will be added on top of the exterior courtyard walls on the east half of the courtyard, to provide a wind break, and a more interesting appearance for diners.

. The 7’-0” high brick wall that wraps the west half of the courtyard, will be lowered to 3’-0” high, to give patrons a better view of the surrounding landscape. High landscape features (evergreen trees, and espalier trees) will remain around the West half of the courtyard to filter views in and out of the courtyard, and limit views from the adjacent housing development.

. The exit gate from the courtyard to the adjacent sidewalk and parking lot, has been moved from the Southwest corner of the courtyard to a more central location on the South wall. By moving the exit gate, we can eliminate extra guardrails and retaining walls at the Southwest corner, and provide a more central location for patrons to exit the courtyard in an emergency event.

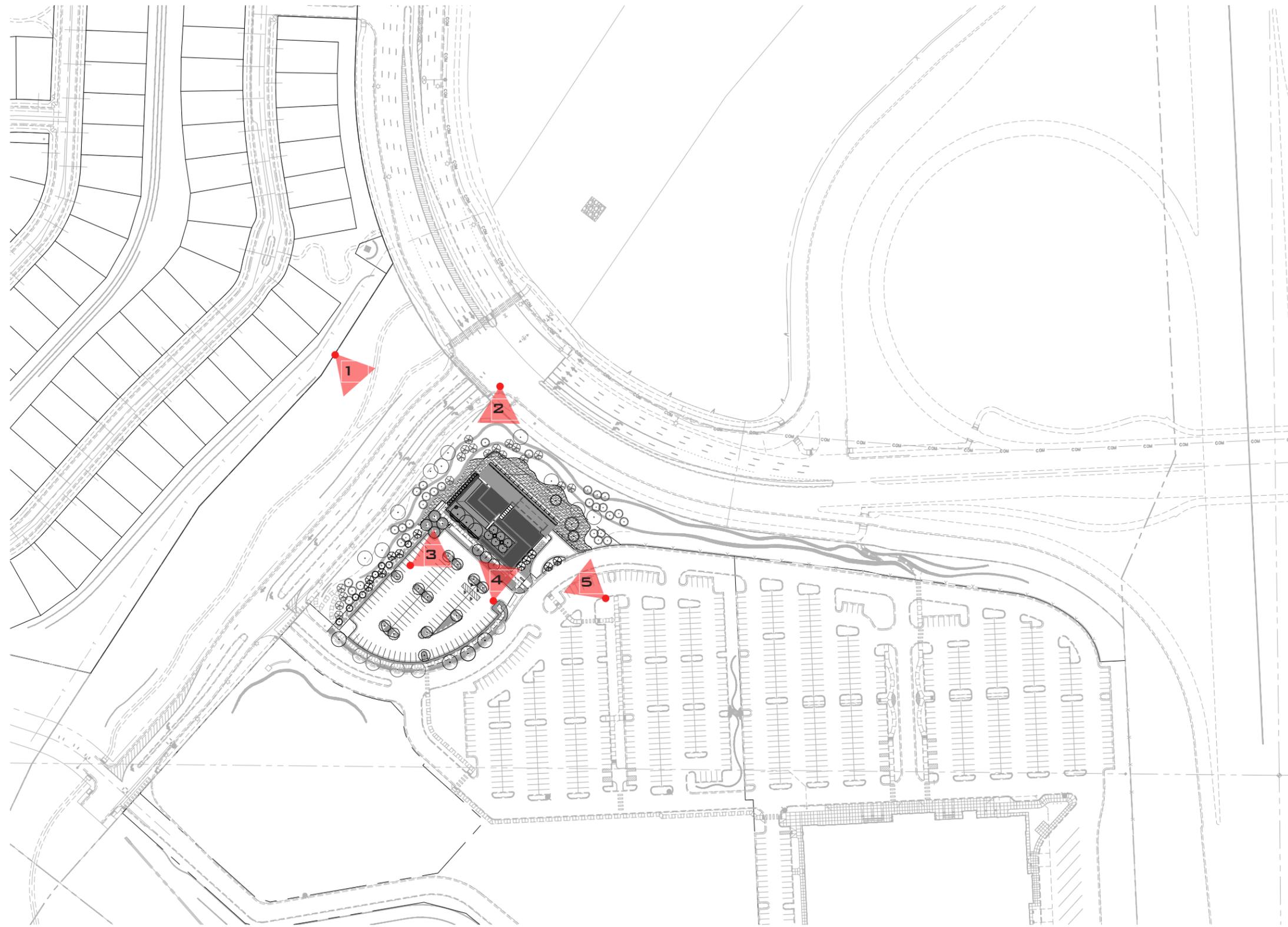
. The low roof element that covers the entry walkway and portions of the courtyard have been modified to have exposed steel structure, and a low slope Corten corrugated metal roof, in lieu of a flat EPDM roof (black in color), and wood soffits.

. Over the East half of the courtyard, a new low slope Corten corrugated roof has been added to provide better shelter for dining in inclement weather. This half of the courtyard will still remain open air, but with better roof cover, should help protect guests from wind and rain events.

. Rustic brick is being substituted for limestone at all locations (exterior courtyard walls and chimney elements). The warmth of this reddish brown brick better aligns with the Owner's vision for Sierra Grill, and will be a lasting and timeless material. The same brick will be incorporated into the interior design of the restaurant, making it a rich experience for guests.

. Flat panel Corten steel siding is being substituted for tongue a groove cedar siding at the exterior deck guardrail, and a small wall surface at the Northwest corner of the building. This siding will stand the test of time, retain its inherent beauty, and limit the need for extensive ongoing maintenance.

. The courtyard ground surface will be changed from loose crusher fines, to integrally colored concrete.



1   **SITE PLAN**
 TRUE PLAN N.T.S.

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





INSPIRATION IMAGES 'FLORA FARMS'

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 1 FROM NEIGHBORHOOD
PREVIOUS DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 1 FROM NEIGHBORHOOD
CURRENT DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 2 FROM DOWNHILL
PREVIOUS DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 2 FROM DOWNHILL
CURRENT DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 3 FROM PARKING LOT
PREVIOUS DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 3 FROM PARKING LOT
CURRENT DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 4 FROM DROP-OFF
PREVIOUS DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 4 FROM DROP-OFF
CURRENT DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16





VIEW 5 FROM CABELAS PARKING LOT DRIVE
PREVIOUS DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16



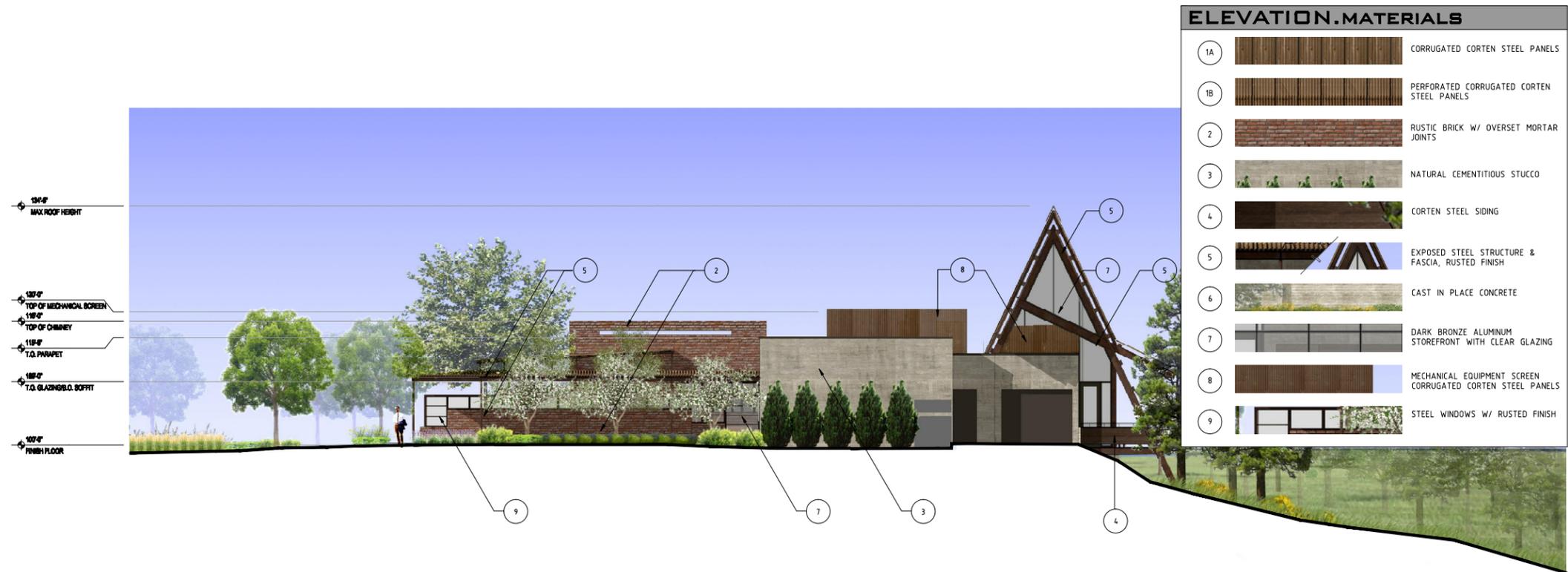


VIEW 5 FROM CABELAS PARKING LOT DRIVE
CURRENT DESIGN

SIERRA GRILL RIDGEGATE COMMONS LONE TREE, COLORADO

SITE IMPROVEMENT PLAN AMENDMENT 08.01.16

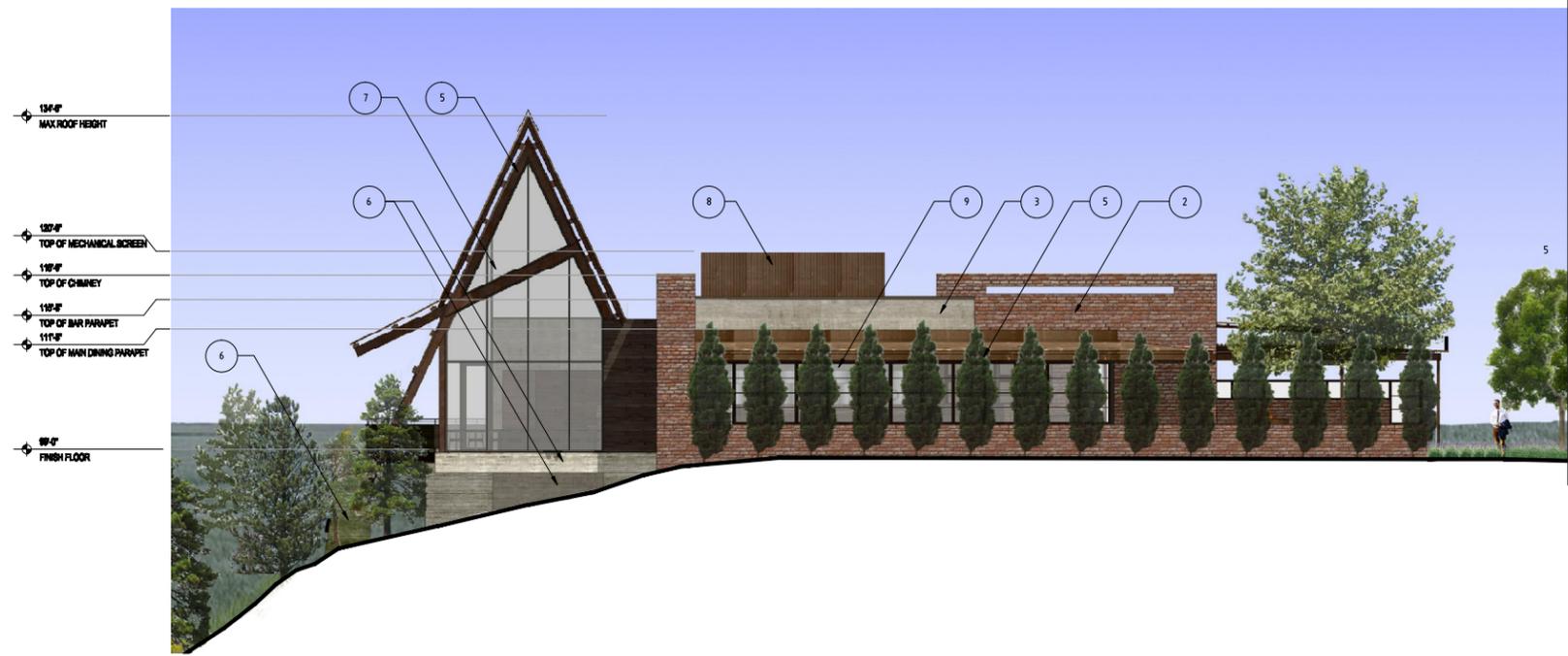




2 EAST ELEVATION

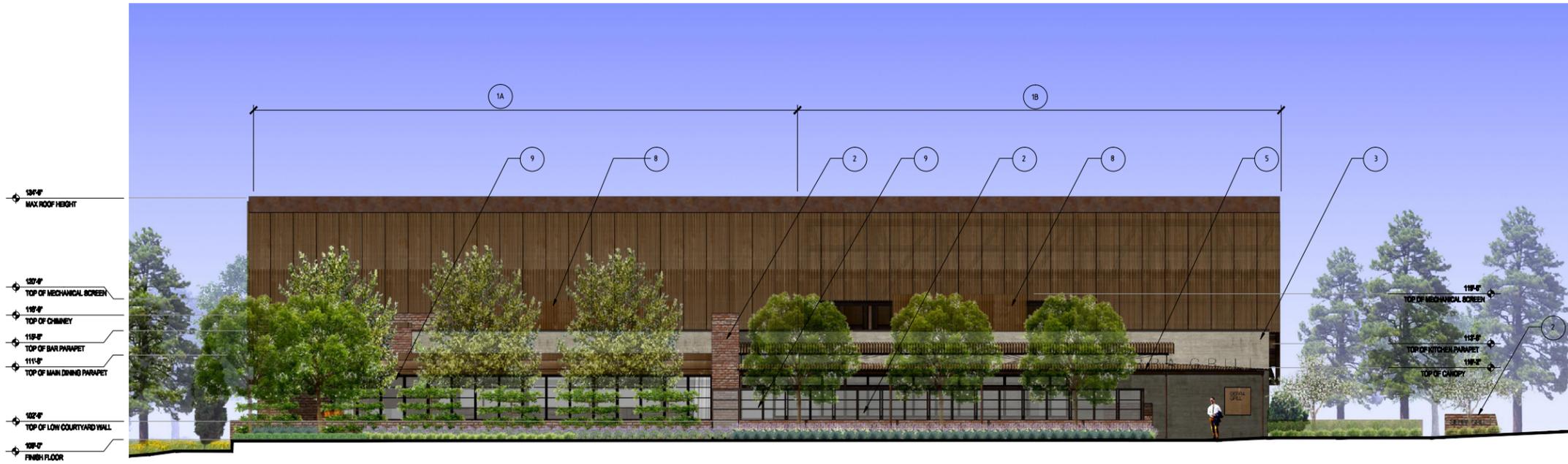


1 NORTH ELEVATION



ELEVATION . MATERIALS		
1A		CORRUGATED CORTEN STEEL PANELS
1B		PERFORATED CORRUGATED CORTEN STEEL PANELS
2		RUSTIC BRICK W/ OVERSET MORTAR JOINTS
3		NATURAL CEMENTITIOUS STUCCO
4		CORTEN STEEL SIDING
5		EXPOSED STEEL STRUCTURE & FASCIA, RUSTED FINISH
6		CAST IN PLACE CONCRETE
7		DARK BRONZE ALUMINUM STOREFRONT WITH CLEAR GLAZING
8		MECHANICAL EQUIPMENT SCREEN CORRUGATED CORTEN STEEL PANELS
9		STEEL WINDOWS W/ RUSTED FINISH

4 WEST ELEVATION



3 SOUTH ELEVATION

**RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
1.758 ACRES SIP #SP15-72R**

PLANT MATERIALS SCHEDULE

QUAN.	SYM.	LATIN NAME	COMMON NAME	SIZE	SPACING	NOTES
DECIDUOUS TREES						
9	HWM	ACER TATARICUM 'GARANN'	HOT WINGS MAPLE	2.5" CAL.	SEE PLAN	B&B
3	LPT	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	4" CAL.	SEE PLAN	B&B
8	BOA	QUERCUS MACROCARPA	BUR OAK	2.5" CAL.	SEE PLAN	B&B
4	ROA	QUERCUS RUBRA	NORTHERN RED OAK	2.5" CAL.	SEE PLAN	B&B
ORNAMENTAL TREES						
5	TCC	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN	8" CLUMP	SEE PLAN	B&B
5	SPR	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	SEE PLAN	B&B
8	AES	MALUS SP. 'ESPALIER'	APPLE HORIZONTAL CORDON ESPALIER	2.5" CAL.	SEE PLAN	B&B, SPECIMEN
NOTE: ESPALIER TO BE ESTATE GRADE SPECIMEN TREES. PROVIDE DESCRIPTION AND PHOTOS FOR APPROVAL PRIOR TO PROCUREMENT. TREES SHOULD BE MINIMUM 3-TIER HORIZONTAL CORDON OR SUBSTITUTE BY APPROVAL. VERIFY WITH GROWER AND LANDSCAPE ARCHITECT REQUIREMENTS FOR SUPPORT. IF SUPPORT IS REQUIRED PROVIDE EYEBOLT AND WIRE SYSTEM BASED ON EXISTING TREE STRUCTURE. EYEBOLTS TO BE 3/8" WITH FINISHED EYE LOCATIONS AT 6" OFF WALL SURFACE. EYEBOLTS TO BE LOCATED AT TRUNK AND EACH END OF HORIZONTAL BRANCHING. PROVIDE EXPANSION ANCHORS FOR MOUNTING TO STONE WALL. WIRES TO BE 12GA GALVANIZED STEEL TENSIONED BETWEEN EYEBOLTS. ATTACH BRANCHES TO WIRE AS NEEDED WITH 1/2" BROWN NURSERY TAPE OR OTHER APPROVED NON-GIRDLING PLANT TIE MATERIAL.						
EVERGREEN TREES						
16	ASE	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN PINE	8' HT.	SEE PLAN	B&B
3	PON	PINUS PONDEROSA	PONDEROSA PINE	6' HT.	SEE PLAN	B&B
1	PON	PINUS PONDEROSA	PONDEROSA PINE	10' HT.	SEE PLAN	B&B
8	FOX	PINUS ARISTATA	BRISTLECONE PINE	6.5' HT.	SEE PLAN	B&B
EVERGREEN SHRUBS						
89	ACJ	JUNIPERUS COMMUNIS 'MONDAP'	ALPINE CARPET JUNIPER	#5 CONT.	3' O.C.	
10	BCG	PINUS LEUCODERMIS 'COMPACT GEM'	BOSNIAN COMPACT GEM PINE	#20 CONT.	4.5' O.C.	
40	MMO	PINUS MUGO 'MOPS'	MOPS MUGO PINE	#5 CONT.	3' O.C.	
DECIDUOUS SHRUBS						
40	RAB	CHRYSOTHANMUS NAUSEOSUS	RABBITBRUSH	#5 CONT.	SEE PLAN	
50	HTT	LONICERA SYRINGANTHA WOLFII	TINY TRUMPETS HONEYSUCKLE	#5 CONT.	4' O.C.	
42	PBS	PRUNUS BESSEYI 'PAWNEE BUTTES'	CREEPING WESTERN SANDCHERRY	#5 CONT.	3' O.C.	
12	GLS	RHUS AROMATICA 'GROW-LOW'	GROW-LOW SUMAC	#5 CONT.	3' O.C.	
27	TLS	RHUS TRILOBATA	THREE LEAF SUMAC	#5 CONT.	SEE PLAN	
149	LMS	SPIREA X BUMALDA 'LIMEMOUND'	LIMEMOUND SPIREA	#5 CONT.	2.5' O.C.	
73	WSC	PRUNUS BESSEYI	WESTERN SANDCHERRY	#5 CONT.	4' O.C.	
ORNAMENTAL GRASSES						
126	BBA	BOUTELOUA GRACILIS 'BLONDE AMBTION'	BLONDE AMBITION BLUE GRAMA	#1 CONT.	36' O.C.	
121	FRG	CALAMAGROSIS ACUTIFLORA 'KARL FORESTER'	FEATHER REED GRASS	#5 CONT.	2' O.C.	
92	AVG	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#5 CONT.	36' O.C.	
24	MMG	MISCANTHUS SINENIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	#5 CONT.	42' O.C.	
92	HFB	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 CONT.	18' O.C.	
227	LBG	SCHYZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	#2 CONT.	18' O.C.	
PERENNIALS						
113	ELH	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	#1 CONT.	18" O.C.	
108	ELJ	LAVANDULA ANGUSTIFOLIA 'JEAN DAVIS'	JEAN DAVIS ENGLISH LAVENDER	#1 CONT.	24" O.C.	
73	ELR	LAVANDULA ANGUSTIFOLIA 'ROYAL VELVET'	ROYAL VELVET ENGLISH LAVENDER	#1 CONT.	24" O.C.	
30	PCF	RATIBIDA COLUMNIFERA 'RED'	PRAIRIE CONEFLOWER	#1 CONT.	24" O.C.	
28	SMN	SALVIA SYLVESTRIS X 'MAINACHT'	MAY NIGHT SALVIA	#1 CONT.	24" O.C.	
VINES						
48	ENI	HEDERA HELIX	ENGLISH IVY	#1 CONT.	18" O.C.	

PLANTING AREAS
SHRUB, ORNAMENTAL GRASS AND PERENNIAL BEDS (14,576 SF)

NATIVE SEED AREAS
NON-IRRIGATED: ARKANSAS VALLEY 'FOOTHILLS MIX' (11,593 SF)
NOTE: PROVIDE TEMPORARY IRRIGATION ON NON-IRRIGATED SEED FOR TWO YEAR ESTABLISHMENT PERIOD.

GENERAL NOTES:

- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING, SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR WITHIN (3) THREE FEET OF PROPOSED FOOTINGS, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FULL ON-SITE INVESTIGATIONS AS NEEDED IN ORDER TO GAIN A FULL UNDERSTANDING OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO INSPECT THE SITE PRIOR TO CONSTRUCTION SHALL NOT BE CAUSE FOR REQUESTING ADDITIONAL MONIES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- APPROVAL OF PLAN IS NOT A SUBSTITUTE FOR THE REQUIRED TREE PLANTING PERMIT. PERMITS ARE VALID FOR 30 DAYS. CALL OR EMAIL THE FORESTRY OFFICE TO REQUEST A PLANTING PERMIT PRIOR TO PLANTING. REFER TO PROJECT NUMBER AND ADDRESS.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE/SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND THE OWNER'S REP. IMMEDIATELY OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

LANDSCAPE NOTES:

- ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
- PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
- ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
- NOTIFY LANDSCAPE ARCHITECT IN ORDER TO TAG TREES AT THE NURSERY MINIMUM EARLY SPRING PRIOR TO INSTALLATION. SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR GENERATING AN IRRIGATION PLAN FOR REVIEW AND AN AS BUILT PLAN AS REQUIRED.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
- TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
- WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
 - NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
 - ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
- FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED CEDAR NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.
- DECORATIVE ROCK: LOCAL RIVER ROCK, SIZES AS NOTED. COLOR TO MATCH EXISTING ON SITE. SUBMIT SAMPLES FOR APPROVAL.

SOIL CONDITIONER:

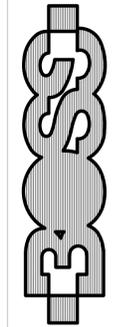
- COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:
 - ORGANIC MATTER: 25% MINIMUM.
 - SALT CONTENT: 5.0 MMHOS/CM MAXIMUM.
 - PH: 8.5 MAXIMUM.
 - CARBON TO NITROGEN RATIO OF 10:1 TO 20:1.
 - PARTICLE SIZE NO PARTICLE SMALLER THAN SILT OR CLAY SIZE, OR LARGER THAN 1/2" DIAMETER
- APPLICATION RATE SHALL BE 4 CUBIC YARDS PER 1000 SQUARE FEET INCORPORATED TO A DEPTH OF AT LEAST FOUR TO SIX INCHES. ACCEPTABLE PRODUCT: CLASS I COMPOST, SUCH AS ECOGRO OR BIO-COMP, AS PROVIDED BY A1 ORGANICS, EATON, CO, OR APPROVED EQUAL.
- FINISH GRADE TO BE BELOW THE EDGE OF PAVEMENT PRIOR TO SODDING OR PLANTING:
 - SEED/SODDED AREAS: ALLOW 1 INCH FOR SOD.
 - PLANTED AREAS: ALLOW 3 INCHES FOR MULCH



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three sixty design



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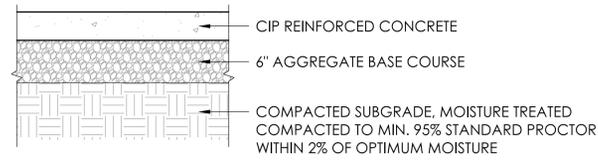
OWNERS:
BRINKERHOFF HOSPITALITY, INC.
LOCATION:
10680 CABELA DRIVE
LONE TREE, CO. 80124

ISSUE DATE:
08/2015 (SITE IMPROVEMENT PLAN)

REVISIONS		
NUMBER	DESCRIPTION	DATE
2	PLANNING COMMISSION COMMENTS	10/22/15
3	SITE PLAN CD REFINEMENTS	01/28/16
4	MINOR AMMENDMENT	08/01/16

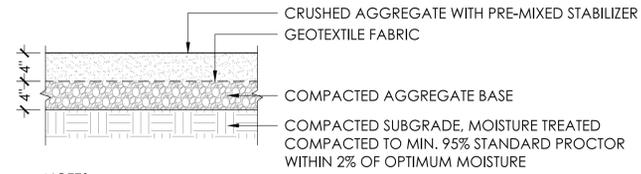
DRAWING TITLE:
PLANT LIST AND NOTES
DRAWING NUMBER:
05 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



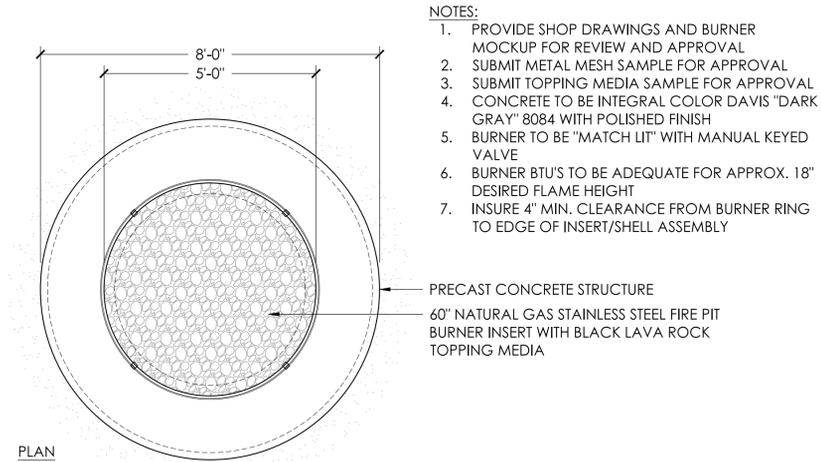
- NOTES:
1. TYPICAL PEDESTRIAN CONCRETE PAVING DEPTH TO BE 4" MIN.
 2. CROSSWALK PAVING DEPTH TO BE 6 1/2" MIN.
 3. VERIFY CONCRETE PAVING DESIGN REQUIREMENTS WITH CITY OF LONE TREE DEPARTMENT OF PUBLIC WORKS.
 4. STANDARD CONCRETE PAVING TO HAVE MEDIUM BROOM FINISH AND SAW CUT JOINTS.
 5. SPECIALTY CONCRETE PAVING TO HAVE ALTERNATING SANDSCAPE AND EXPOSED AGGREGATE FINISHES PER PLAN WITH SAW-CUT JOINTS.
 6. PROVIDE MOCKUPS FOR APPROVAL PRIOR TO CONSTRUCTION.

1 CONCRETE PAVING
 SCALE: 1"=1'-0"

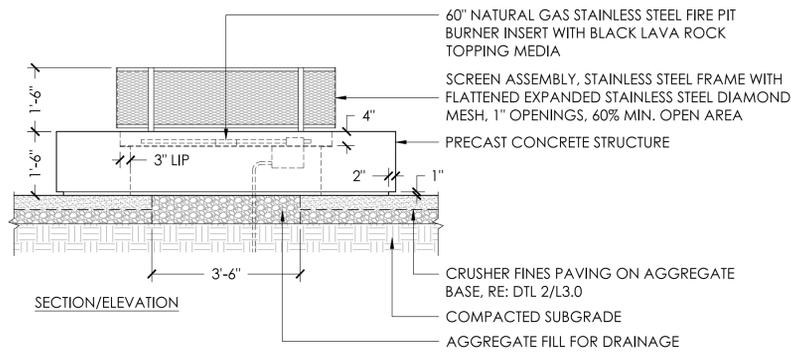


- NOTES:
1. STABILIZER FOR STABILIZED AGGREGATE SURFACES BY STABILIZER SOLUTIONS OR APPROVED EQUAL, FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 2. CRUSHED AGGREGATE TO BE 3/8"-1/2" CRUSHED AGGREGATE SCREENINGS. PROVIDE SAMPLES OF EACH OF THE FOLLOWING MIXES:
 - 2.1. 70% GREY/30% BUFF
 - 2.2. 60% GREY/40% BUFF
 3. CONTRACTOR TO SUBMIT MATERIAL SAMPLE PRIOR TO ORDERING OR DELIVERING ON SITE.
 4. SLOPE SURFACE TO DRAIN 2% MIN.

2 CRUSHER FINES PAVING ON AGGREGATE BASE
 SCALE: 1"=1'-0"



- NOTES:
1. PROVIDE SHOP DRAWINGS AND BURNER MOCKUP FOR REVIEW AND APPROVAL
 2. SUBMIT METAL MESH SAMPLE FOR APPROVAL
 3. SUBMIT TOPPING MEDIA SAMPLE FOR APPROVAL
 4. CONCRETE TO BE INTEGRAL COLOR DAVIS "DARK GRAY" 8084 WITH POLISHED FINISH
 5. BURNER TO BE "MATCH LIT" WITH MANUAL KEYED VALVE
 6. BURNER BTU'S TO BE ADEQUATE FOR APPROX. 18" DESIRED FLAME HEIGHT
 7. INSURE 4" MIN. CLEARANCE FROM BURNER RING TO EDGE OF INSERT/SHELL ASSEMBLY



3 FIRE PIT
 SCALE: 1/2"=1'-0"



three sixty design



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 BRINKERHOFF HOSPITALITY, INC.

LOCATION:
 10680 CABELA DRIVE
 LONE TREE, CO. 80124

ISSUE DATE:
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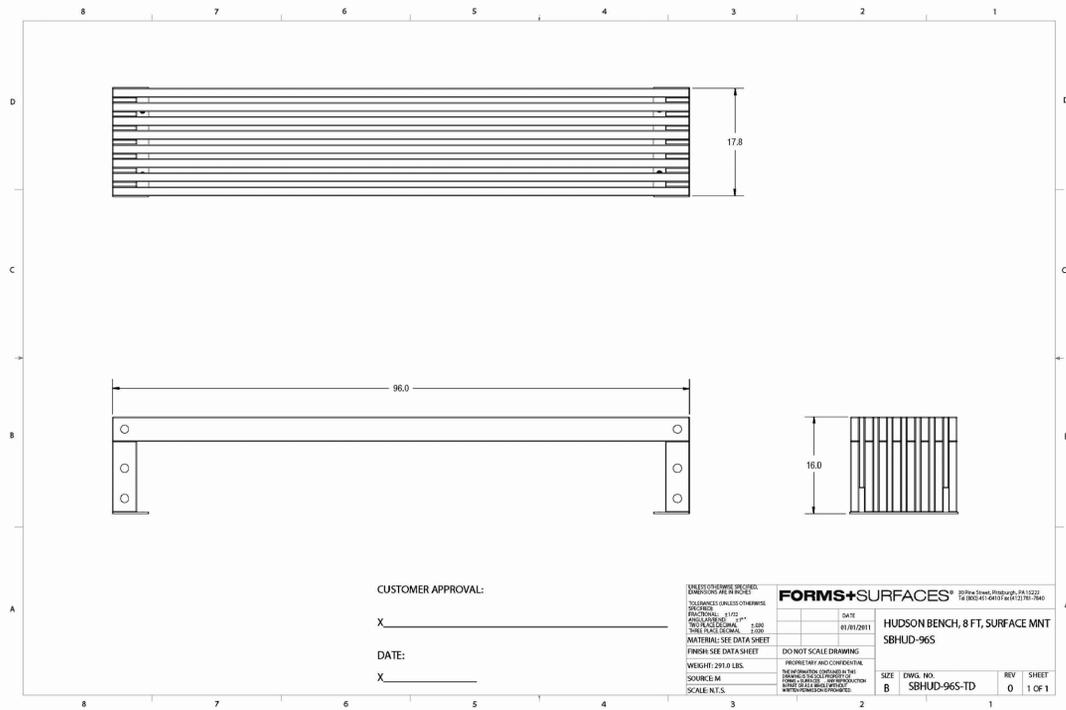
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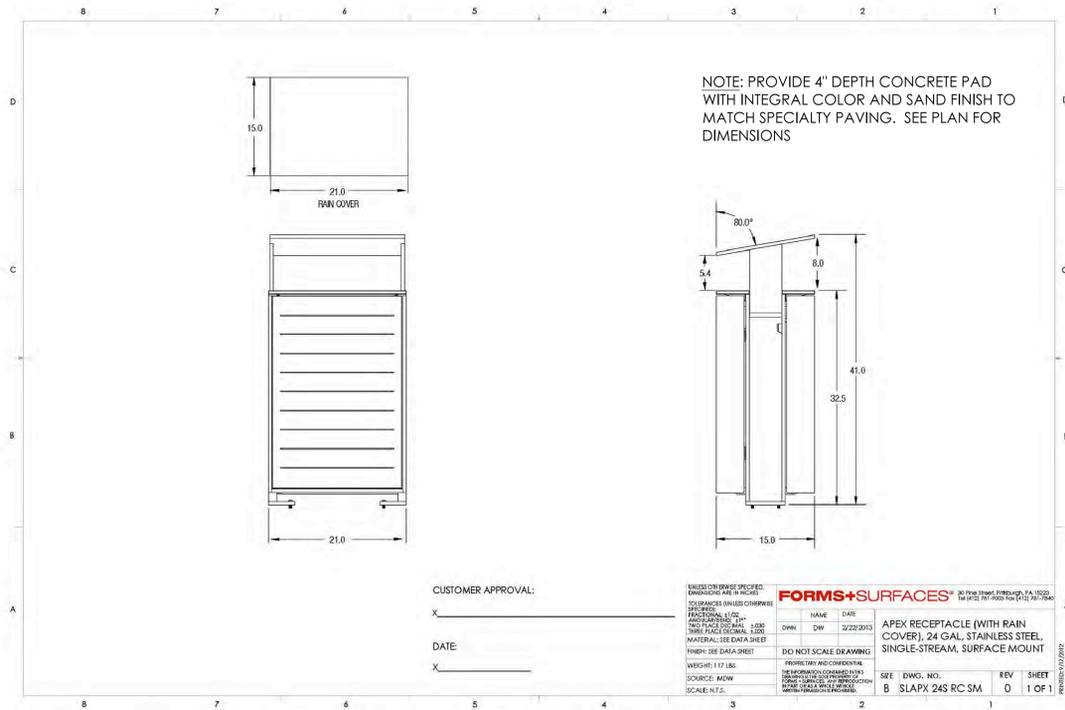
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DRAWING TITLE:
 LANDSCAPE
 DETAILS
 DRAWING NUMBER:
 06 OF 18

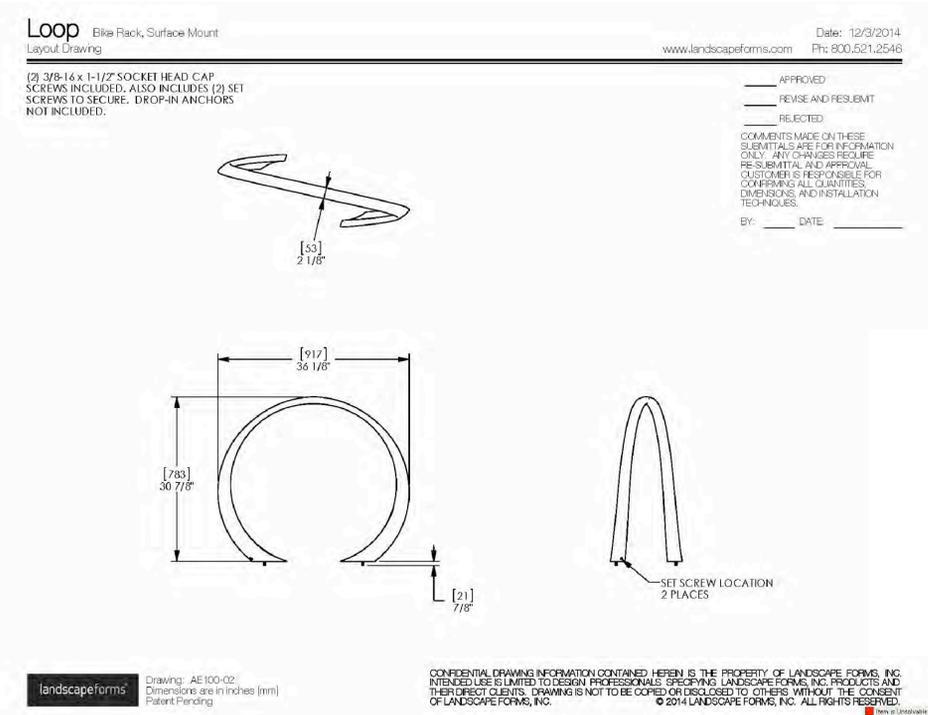
RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



1 BENCH
 SCALE: N.T.S.



2 TRASH RECEPTACLE
 SCALE: N.T.S.



3 BIKE RACK
 SCALE: N.T.S.



NOTE: GUARDRAIL TO BE STEEL BACKED LOG RAIL TO MATCH EXISTING. REFERENCE FHWA STANDARDS 617-80, 617-81, 617-82.

4 GUARDRAIL
 SCALE: N.T.S.



three sixty design



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LOCATION:
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ISSUE DATE:
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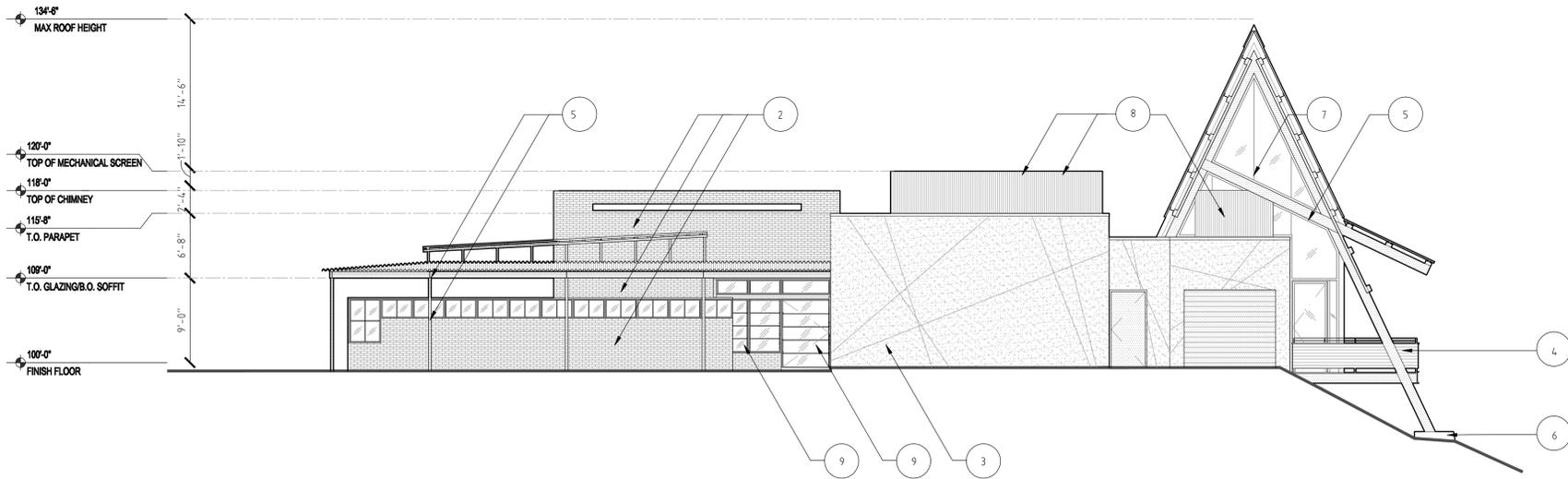
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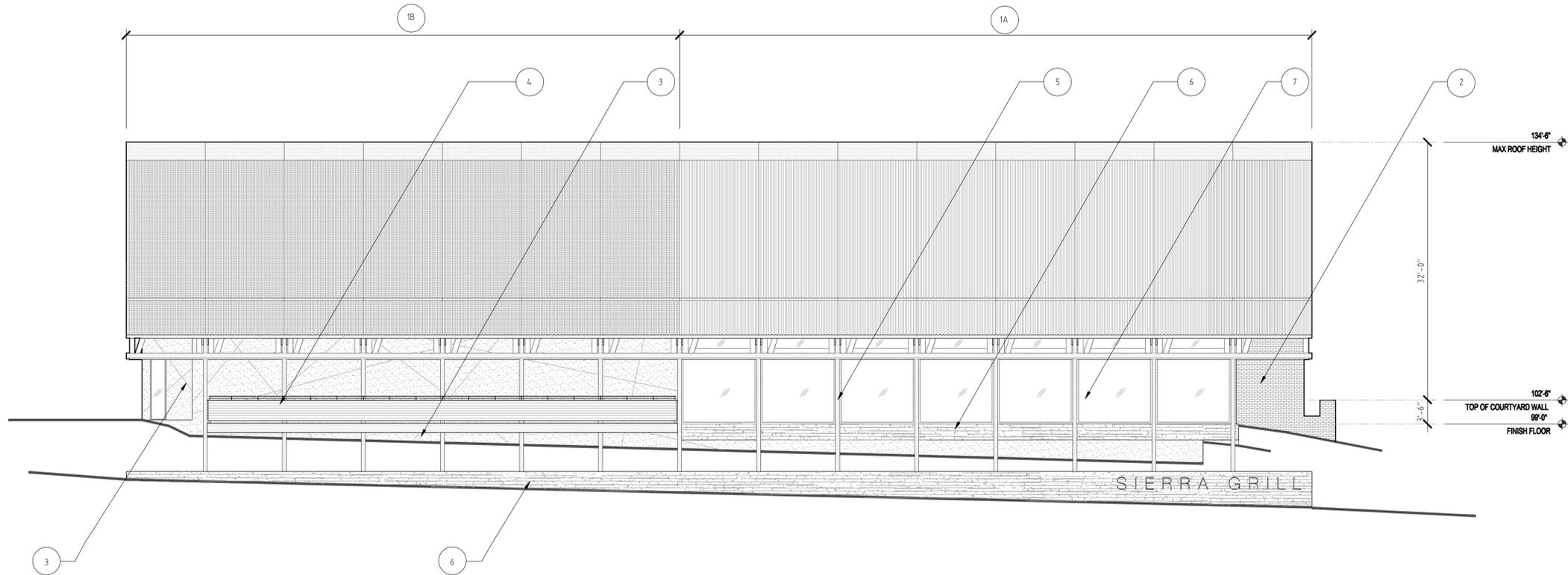
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LANDSCAPE DETAILS
 DRAWING NUMBER:
07 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



ELEVATION MATERIALS		
1A		CORRUGATED CORTEN STEEL PANELS
1B		PERFORATED CORTEN STEEL PANELS
2		RUSTIN BRICK W/ OVERSET MORTAR
3		NATURAL CEMENTITIOUS STUCCO
4		CORTEN STEEL SIDING
5		EXPOSED STEEL STRUCTURE & FASCIA, RUSTED FINISH
6		CAST IN PLACE CONCRETE
7		DARK BRONZE ALUMINUM STOREFRONT WITH CLEAR GLAZING
8		MECHANICAL EQUIPMENT SCREEN CORRUGATED CORTEN STEEL PANELS
9		STEEL WINDOWS W/ RUSTED FINISH

2 EAST ELEVATION
 1 : 1/8"



1 NORTH ELEVATION
 1 : 1/8"



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OWNER:
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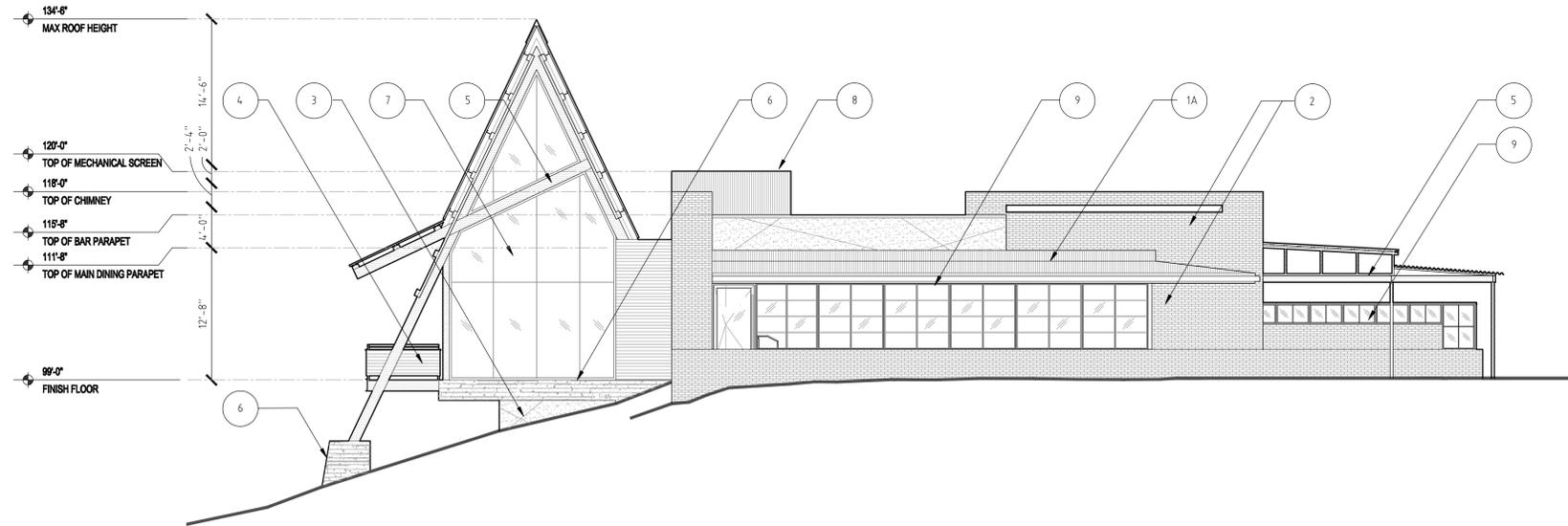
ISSUE DATE:
 08 | 2015 (SITE IMPROVEMENT PLAN)

REVISIONS		
NUMBER	DESCRIPTION	DATE
02	PLANNING COMMISSION COMMENTS	10/22/15
03	MINOR AMMENDMENT	08/01/16

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DRAWING TITLE:
EXTERIOR ELEVATIONS
 DRAWING NUMBER:
16 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



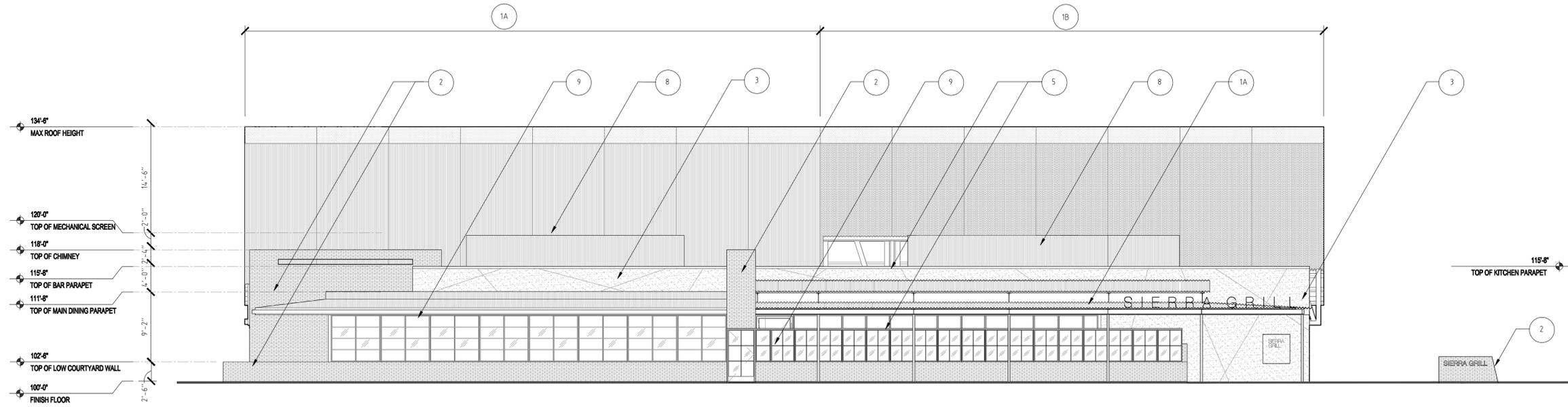
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8		MECHANICAL EQUIPMENT SCREEN CORRUGATED CORTEN STEEL PANELS
9		STEEL WINDOWS W/ RUSTED FINISH

4 WEST ELEVATION
 1 : 1/8"

OWNER:
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3 SOUTH ELEVATION
 1 : 1/8"

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RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R

APPROVAL CERTIFICATE

THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON _____

BY: _____

NAME: _____
 TITLE: COMMUNITY DEVELOPMENT DIRECTOR

DATE: _____

BY: _____

NAME: _____
 TITLE: CITY ENGINEER

DATE: _____

BY: _____

NAME: _____
 TITLE: MAYOR

DATE: _____

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURE OF THE OWNER(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

 (NAME OF OWNER)

 (SIGNATURE OF OWNER)

 (PRINTED NAME & TITLE)

STATE OF: _____)
) SS.

COUNTY OF: _____

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 2016, BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

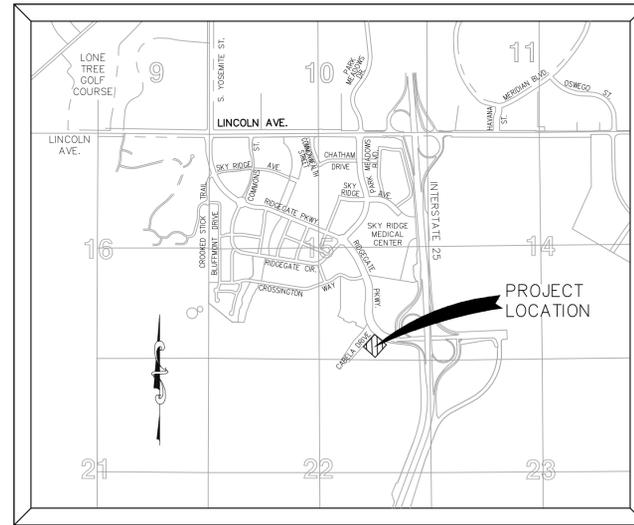
MY COMMISSION EXPIRES: _____

 NOTARY PUBLIC

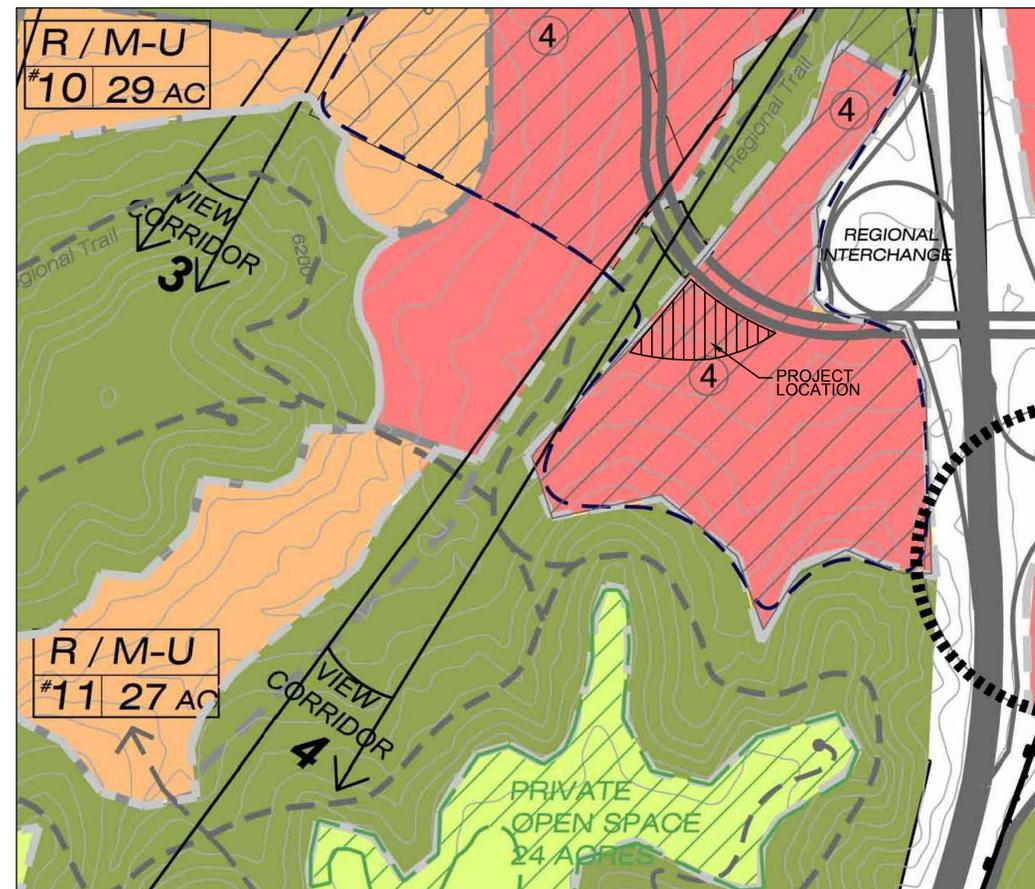
APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.

STANDARD CONDITIONS OF APPROVAL
 (PER CITY OF LONE TREE MUNICIPAL CODE SECTION 16-27-70(1)(1):

(1) GENERAL:
 THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVAL DEVELOPMENT PLAN OR SUB-AREA PLAN.



VICINITY MAP
 SCALE: 1" = 2000'



RIDGEGATE PLANNED DEVELOPMENT 4TH AMENDMENT
 1"=1000'

PROJECT DIRECTORY

OWNER/DEVELOPER
 SIERRA HOLDINGS, LLC
 8001 SOUTH INTERPORT BLVD. SUITE #260
 ENGLEWOOD, CO 80112
 WILLIAM BRINKERHOFF
 MARK BRINKERHOFF
 P: 310-804-7515

ARCHITECT
 BOSS ARCHITECTURE
 2546 15TH STREET
 DENVER, CO 80211
 KEVIN STEPHENSON
 CHRIS DAVIS
 P: 303-377-6322

CIVIL ENGINEER
 MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD.
 GREENWOOD VILLAGE, CO 80111
 SCOTT ZIMMERMANN
 P: 303-751-0741

LANDSCAPE ARCHITECT
 THREE SIXTY DESIGN
 1553 PLATTE STREET, SUITE #303
 DENVER, CO 80202
 COURTNEY MCRICKARD
 P: 720-360-0080

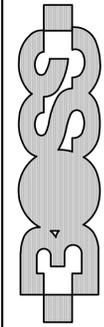
IRRIGATION CONSULTANT
 AVOCET IRRIGATION DESIGN
 7114 WEST JEFFERSON AVENUE, SUITE #201
 LAKEWOOD, CO 80235
 DAVID ZICKERMAN
 P: 303-986-2175

LIGHTING CONSULTANT
 ARTENLUZ
 AV. VALLARTA 1540-108
 COL. AMERICANA
 GUADALAJARA, JALISCO
 44140 MEXICO
 JAVIER TEN
 P: 52-33-3616-0630

SURVEYOR
 MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD.
 GREENWOOD VILLAGE, CO 80111
 KEN OUELLETTE
 P: 303-751-0741

SHEET INDEX

- 01 OF 18: COVER SHEET
- 02 OF 18: OVERALL SITE PLAN
- 03 OF 18: SITE PLAN
- 04 OF 18: LANDSCAPE PLAN
- 05 OF 18: PLANT LIST AND NOTES
- 06 OF 18: LANDSCAPE DETAILS
- 07 OF 18: LANDSCAPE DETAILS
- 08 OF 18: LANDSCAPE DETAILS
- 09 OF 18: IRRIGATION PLAN
- 10 OF 18: IRRIGATION DETAILS
- 11 OF 18: IRRIGATION DETAILS
- 12 OF 18: IRRIGATION DETAILS
- 13 OF 18: GRADING PLAN
- 14 OF 18: UTILITY PLAN
- 15 OF 18: PHOTOMETRIC PLAN
- 16 OF 18: EXTERIOR ELEVATIONS
- 17 OF 18: EXTERIOR ELEVATIONS
- 18 OF 18: EXTERIOR SIGNAGE



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 KEVIN.STEPHENSON
 BOSS ARCHITECTURE, LLC

OWNERS:
 BRINKERHOFF HOSPITALITY, INC.

LOCATION:
 10674 CABELA DRIVE
 LONE TREE, CO. 80124

ISSUE DATE:
 08/2015 (SITE IMPROVEMENT PLAN)

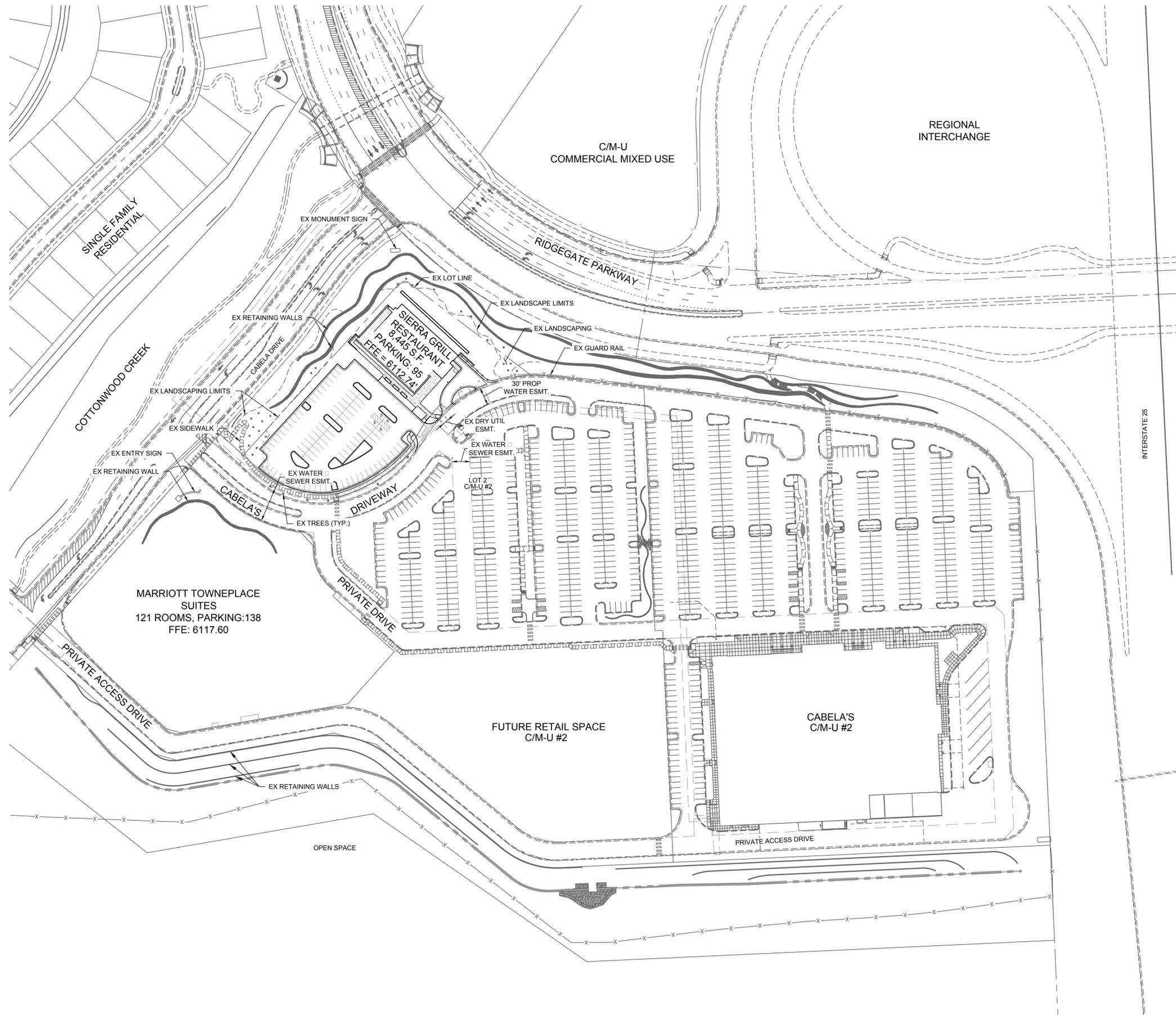
REVISIONS		
NUMBER	DESCRIPTION	DATE

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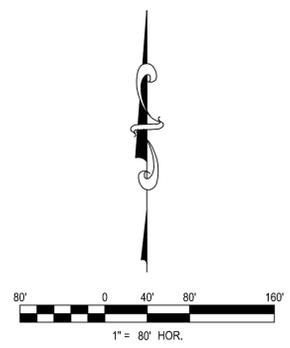
DRAWING TITLE:
 COVER SHEET

DRAWING NUMBER:
 01 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



- LEGEND:**
- - - - - EXISTING LOT LINE
 - — — — PROPOSED LOT LINE ADJUSTMENT
 - EXISTING TREE
 - ⊕ EXISTING SIGN
 - — — — EXISTING GUARD RAIL
 - ▨ EXISTING RETAINING WALL
 - - - - - EXISTING LIMITS OF LANDSCAPING



MERRICK & COMPANY
 ENGINEERS ARCHITECTS PLANNERS
 10674 CABELA DRIVE
 LONE TREE, CO. 80124

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 •KEVIN STEPHENSON
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 LOCATION:
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 LONE TREE, CO. 80124

ISSUE DATE:
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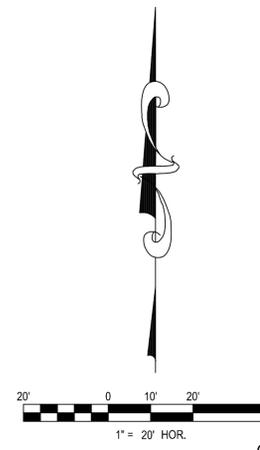
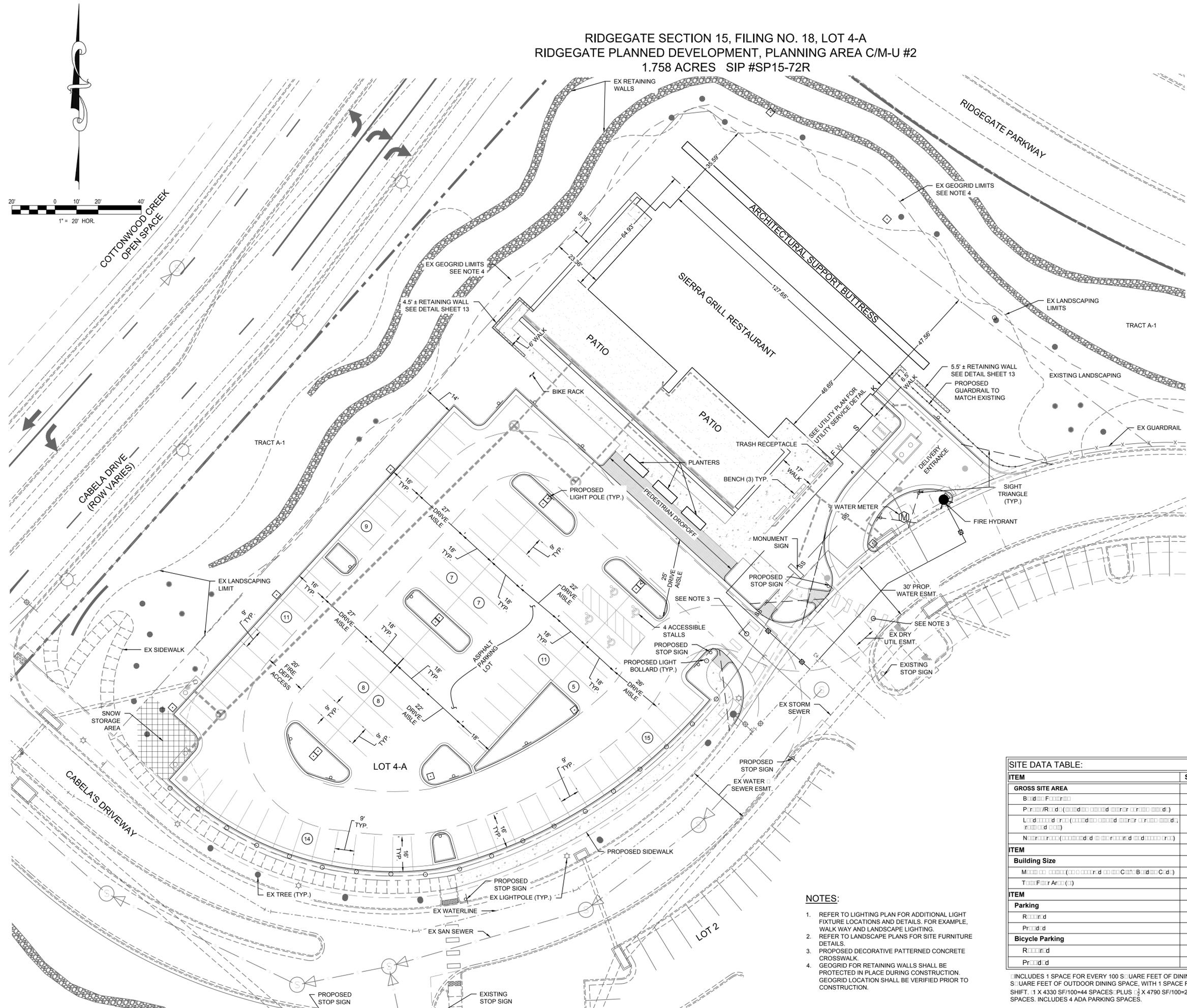
REVISIONS		
NUMBER	DESCRIPTION	DATE
01	ENGINEERING COMMENTS	10/05/15
02	PLANNING COMMISSION COMMENTS	10/22/15

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DRAWING TITLE:
OVERALL SITE PLAN

DRAWING NUMBER:
02 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



LEGEND:

- 8" WATER LINE
- ⊕ WATER METER
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ① NUMBER OF PARKING STALLS
- CURB / GUTTER
- EXISTING LOT LINE
- PROPOSED LOT LINE ADJUSTMENT
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING TREE
- EXISTING SIDEWALK
- ⊕ PROPOSED LIGHT POLE
- ⊕ PROPOSED LIGHT BOLLARD
- EXISTING LIMITS OF LANDSCAPING
- ⊕ PROPOSED SIGN
- ⊕ EXISTING SIGN
- EXISTING RETAINING WALL
- ⊕ PROPOSED GUARDRAIL

BOSS

CHRISTOPHER.DAVIS
 KEVIN STEPHENSON

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OWNERS: BRINKERHOFF HOSPITALITY, INC.
 LOCATION: 10674 CABELA DRIVE, LONE TREE, CO. 80124

ISSUE DATE: 08/2015 (SITE IMPROVEMENT PLAN)

REVISIONS		
NUMBER	DESCRIPTION	DATE
01	ENGINEERING COMMENTS	10/05/15
02	PLANNING COMMISSION COMMENTS	10/22/15
03	SITE PLAN CD REFINEMENTS	01/28/16
04	PLANNING COMMENTS	02/12/16

SITE DATA TABLE:		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	76,578 SF / 1.758 AC	100%
Building Footprint	8,445 SF	11%
Paved/Road (including driveway)	39,269 SF	51%
Landscaped Area (including driveway)	20,156 SF	26%
Not Specified	0 SF	0%
Height / Square Footage		
Building Size		
Maximum Height (including roof)	35'-0"	
Total Floor Area (T.F.A.)	8,445	
Space Required		
Parking		
Required	95	
Provided	95	
Bicycle Parking		
Required	2 (2% OF PARKING)	
Provided	2	

INCLUDES 1 SPACE FOR EVERY 100 SQUARE FEET OF DINING SPACE, PLUS 1/2 SPACE FOR EVERY 100 SQUARE FEET OF OUTDOOR DINING SPACE, WITH 1 SPACE FOR EACH STAFF MEMBER DURING PEAK SHIFT. 1 X 4330 SF/100=44 SPACES. PLUS 1/2 X 4790 SF/100=24 SPACES. PLUS 27 STAFF=27 SPACES. INCLUDES 4 ADA PARKING SPACES.

- NOTES:**
- REFER TO LIGHTING PLAN FOR ADDITIONAL LIGHT FIXTURE LOCATIONS AND DETAILS. FOR EXAMPLE, WALK WAY AND LANDSCAPE LIGHTING.
 - REFER TO LANDSCAPE PLANS FOR SITE FURNITURE DETAILS.
 - PROPOSED DECORATIVE PATTERNED CONCRETE CROSSWALK.
 - GEOGRID FOR RETAINING WALLS SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION. GEOGRID LOCATION SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

SIERRA.GRILL

BOSS ARCHITECTURE

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DRAWING TITLE: **SITE PLAN**

DRAWING NUMBER: **03 OF 18**

MATERIALS LEGEND

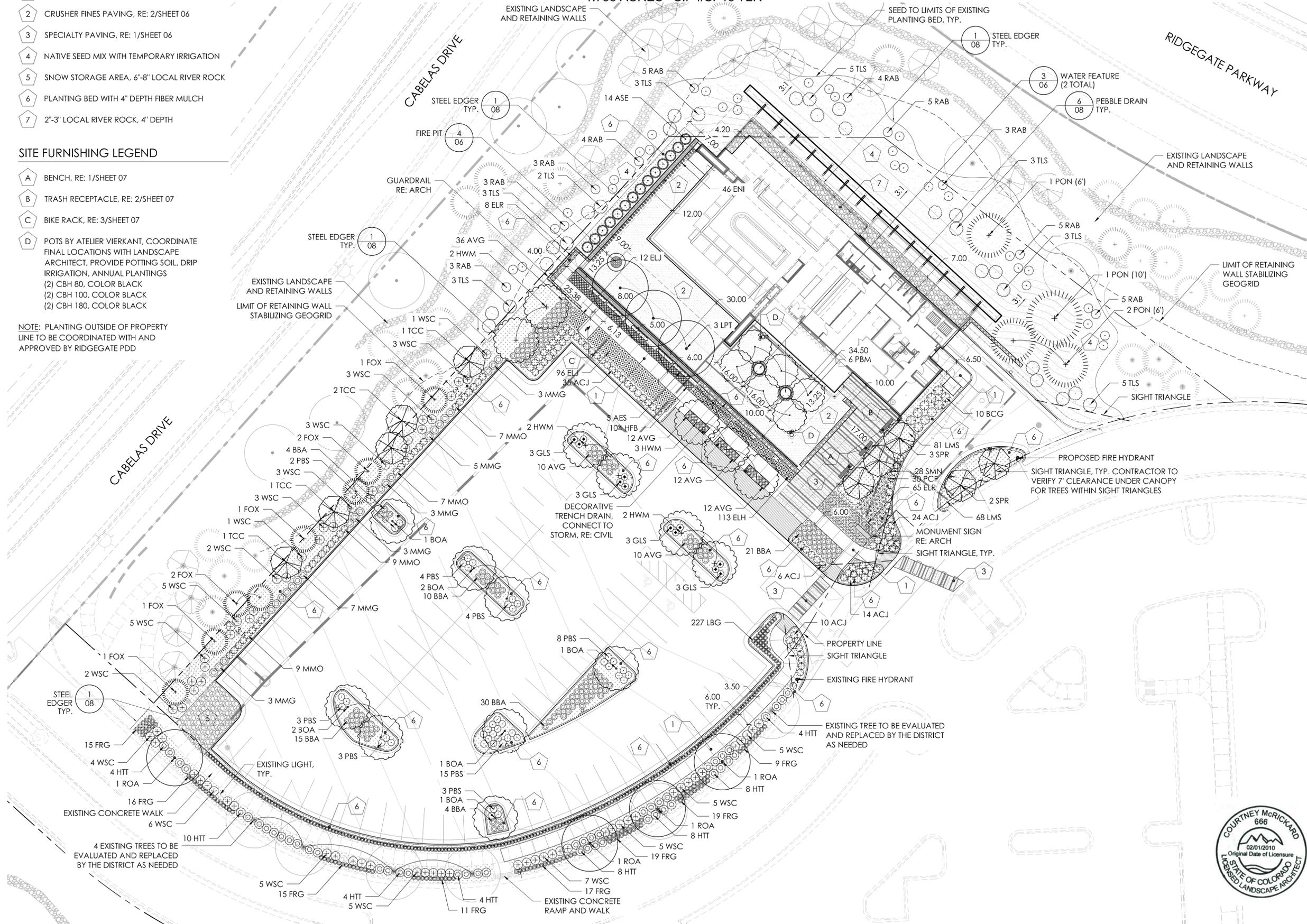
- 1 CONCRETE PAVING, RE: 1/SHEET 06
- 2 CRUSHER FINES PAVING, RE: 2/SHEET 06
- 3 SPECIALTY PAVING, RE: 1/SHEET 06
- 4 NATIVE SEED MIX WITH TEMPORARY IRRIGATION
- 5 SNOW STORAGE AREA, 6"-8" LOCAL RIVER ROCK
- 6 PLANTING BED WITH 4" DEPTH FIBER MULCH
- 7 2"-3" LOCAL RIVER ROCK, 4' DEPTH

SITE FURNISHING LEGEND

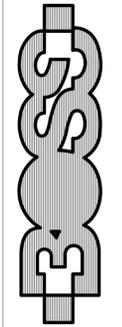
- A BENCH, RE: 1/SHEET 07
- B TRASH RECEPTACLE, RE: 2/SHEET 07
- C BIKE RACK, RE: 3/SHEET 07
- D POTS BY ATELIER VIERKANT, COORDINATE FINAL LOCATIONS WITH LANDSCAPE ARCHITECT, PROVIDE POTTING SOIL, DRIP IRRIGATION, ANNUAL PLANTINGS
(2) CBH 80, COLOR BLACK
(2) CBH 100, COLOR BLACK
(2) CBH 180, COLOR BLACK

NOTE: PLANTING OUTSIDE OF PROPERTY LINE TO BE COORDINATED WITH AND APPROVED BY RIDGEGATE PDD

**RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
1.758 ACRES SIP #SP15-72R**



1 LANDSCAPE PLAN
SCALE: 1"=20'-0"



three sixty design



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KEVIN STEPHENSON
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1593 PLATTE ST., #303
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OWNERS:
BRINKERHOFF HOSPITALITY, INC.
LOCATION:
10680 CABELA DRIVE
LONE TREE, CO. 80124

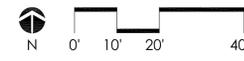
ISSUE DATE:
03 | 2015 (SITE IMPROVEMENT PLAN)

REVISIONS		
NUMBER	DESCRIPTION	DATE
2	PLANNING COMMISSION COMMENTS	10/22/15
3	SITE PLAN CD REFINEMENTS	01/28/16



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DRAWING TITLE:
LANDSCAPE PLAN
DRAWING NUMBER:
04 OF 18



**RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
1.758 ACRES SIP #SP15-72R**

PLANT MATERIALS SCHEDULE

QUAN.	SYM.	LATIN NAME	COMMON NAME	SIZE	SPACING	NOTES
DECIDUOUS TREES						
6	PBM	ACER GRISEUM	PAPERBARK MAPLE	2.5" CAL.	SEE PLAN	B&B
9	HWM	ACER TATARICUM 'GARANN'	HOT WINGS MAPLE	2.5" CAL.	SEE PLAN	B&B
3	LPT	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	4" CAL.	SEE PLAN	B&B
8	BOA	QUERCUS MACROCARPA	BUR OAK	2.5" CAL.	SEE PLAN	B&B
4	ROA	QUERCUS RUBRA	NORTHERN RED OAK	2.5" CAL.	SEE PLAN	B&B
ORNAMENTAL TREES						
5	TCC	CRATAEGUS CRUS-GALLI 'NERMIS'	THORNLESS COCKSPUR HAWTHORN	8' CLUMP	SEE PLAN	B&B
5	SPR	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	SEE PLAN	B&B
5	AES	MALUS SP. 'ESPALIER'	APPLE HORIZONTAL CORDON ESPALIER	2.5" CAL.	SEE PLAN	B&B, SPECIMEN
NOTE: ESPALIER TO BE ESTATE GRADE SPECIMEN TREES. PROVIDE DESCRIPTION AND PHOTOS FOR APPROVAL PRIOR TO PROCUREMENT. TREES SHOULD BE MINIMUM 3-TIER HORIZONTAL CORDON OR SUBSTITUTE BY APPROVAL. VERIFY WITH GROWER AND LANDSCAPE ARCHITECT REQUIREMENTS FOR SUPPORT. IF SUPPORT IS REQUIRED PROVIDE EYEBOLT AND WIRE SYSTEM BASED ON EXISTING TREE STRUCTURE. EYEBOLTS TO BE 3/8" WITH FINISHED EYE LOCATIONS AT 6' OFF WALL SURFACE. EYEBOLTS TO BE LOCATED AT TRUNK AND EACH END OF HORIZONTAL BRANCHING. PROVIDE EXPANSION ANCHORS FOR MOUNTING TO STONE WALL. WIRES TO BE 12GA GALVANIZED STEEL TENSIONED BETWEEN EYEBOLTS. ATTACH BRANCHES TO WIRE AS NEEDED WITH 1/2" BROWN NURSERY TAPE OR OTHER APPROVED NON-GIRDLING PLANT TIE MATERIAL.						
EVERGREEN TREES						
14	ASE	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN PINE	8' HT.	SEE PLAN	B&B
3	PON	PINUS PONDEROSA	PONDEROSA PINE	6' HT.	SEE PLAN	B&B
1	PON	PINUS PONDEROSA	PONDEROSA PINE	10' HT.	SEE PLAN	B&B
8	FOX	PINUS ARISTATA	BRISTLECONE PINE	6.5' HT.	SEE PLAN	B&B
EVERGREEN SHRUBS						
89	ACJ	JUNIPERUS COMMUNIS 'MONDAP'	ALPINE CARPET JUNIPER	#5 CONT.	3' O.C.	
10	BCG	PINUS LEUCODERMIS 'COMPACT GEM'	BOSNIAN COMPACT GEM PINE	#20 CONT.	4.5' O.C.	
32	MMO	PINUS MUGO 'MOPS'	MOPS MUGO PINE	#5 CONT.	3' O.C.	
DECIDUOUS SHRUBS						
40	RAB	CHRYSOTHANMUS NAUSEOSUS	RABBITBRUSH	#5 CONT.	SEE PLAN	
50	HTT	LONICERA SYRINGANTHA WOLFII	TINY TRUMPETS HONEYSUCKLE	#5 CONT.	4' O.C.	
42	PBS	PRUNUS BESSEYI 'PAWNEE BUTTES'	CREEPING WESTERN SANDCHERRY	#5 CONT.	3' O.C.	
12	GLS	RHUS AROMATICA 'GROW-LOW'	GROW-LOW SUMAC	#5 CONT.	3' O.C.	
27	TLS	RHUS TRILOBATA	THREE LEAF SUMAC	#5 CONT.	SEE PLAN	
149	LMS	SPIREA X BUMALDA 'LIMEMOUND'	LIMEMOUND SPIREA	#5 CONT.	2.5' O.C.	
73	WSC	PRUNUS BESSEYI	WESTERN SANDCHERRY	#5 CONT.	4' O.C.	
ORNAMENTAL GRASSES						
84	BBA	BOUTELOUA GRACILIS 'BLONDE AMBTION'	BLONDE AMBITION BLUE GRAMA	#1 CONT.	36" O.C.	
121	FRG	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	FEATHER REED GRASS	#5 CONT.	2' O.C.	
92	AVG	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#5 CONT.	36" O.C.	
24	MMG	MISCANTHUS SINENIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	#5 CONT.	42" O.C.	
104	HFB	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 CONT.	18" O.C.	
227	LBG	SCHYZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	#2 CONT.	18" O.C.	
PERENNIALS						
113	ELH	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	#1 CONT.	18" O.C.	
108	ELJ	LAVANDULA ANGUSTIFOLIA 'JEAN DAVIS'	JEAN DAVIS ENGLISH LAVENDER	#1 CONT.	24" O.C.	
73	ELR	LAVANDULA ANGUSTIFOLIA 'ROYAL VELVET'	ROYAL VELVET ENGLISH LAVENDER	#1 CONT.	24" O.C.	
30	PCF	RATIBIDA COLUMNIFERA 'RED'	PRAIRIE CONEFLOWER	#1 CONT.	24" O.C.	
28	SMN	SALVIA SYLVESTRIS X 'MAINACHT'	MAY NIGHT SALVIA	#1 CONT.	24" O.C.	
VINES						
46	ENI	HEDERA HELIX	ENGLISH IVY	#1 CONT.	18" O.C.	

PLANTING AREAS
SHRUB, ORNAMENTAL GRASS AND PERENNIAL BEDS (14,576 SF)

NATIVE SEED AREAS
NON-IRRIGATED: ARKANSAS VALLEY 'FOOTHILLS MIX' (11,593 SF)
NOTE: PROVIDE TEMPORARY IRRIGATION ON NON-IRRIGATED SEED FOR TWO YEAR ESTABLISHMENT PERIOD.

GENERAL NOTES:

- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING, SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR WITHIN (3) THREE FEET OF PROPOSED FOOTINGS, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FULL ON-SITE INVESTIGATIONS AS NEEDED IN ORDER TO GAIN A FULL UNDERSTANDING OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO INSPECT THE SITE PRIOR TO CONSTRUCTION SHALL NOT BE CAUSE FOR REQUESTING ADDITIONAL MONIES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- APPROVAL OF PLAN IS NOT A SUBSTITUTE FOR THE REQUIRED TREE PLANTING PERMIT. PERMITS ARE VALID FOR 30 DAYS. CALL OR EMAIL THE FORESTRY OFFICE TO REQUEST A PLANTING PERMIT PRIOR TO PLANTING, REFER TO PROJECT NUMBER AND ADDRESS.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE/SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND THE OWNER'S REP. IMMEDIATELY OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

LANDSCAPE NOTES:

- ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
- PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED. ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
- NOTIFY LANDSCAPE ARCHITECT IN ORDER TO TAG TREES AT THE NURSERY MINIMUM EARLY SPRING PRIOR TO INSTALLATION. SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR GENERATING AN IRRIGATION PLAN FOR REVIEW AND AN AS BUILT PLAN AS REQUIRED.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS. TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
- WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
- ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
- FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED CEDAR NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.
- DECORATIVE ROCK: LOCAL RIVER ROCK. SIZES AS NOTED. COLOR TO MATCH EXISTING ON SITE. SUBMIT SAMPLES FOR APPROVAL.

SOIL CONDITIONER:

- COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:
 - ORGANIC MATTER: 25% MINIMUM.
 - SALT CONTENT: 5.0 MMHOS/CM MAXIMUM.
 - PH: 8.5 MAXIMUM.
 - CARBON TO NITROGEN RATIO OF 10:1 TO 20:1.
 - PARTICLE SIZE NO PARTICLE SMALLER THAN SILT OR CLAY SIZE, OR LARGER THAN 1/2" DIAMETER
- APPLICATION RATE SHALL BE 4 CUBIC YARDS PER 1000 SQUARE FEET INCORPORATED TO A DEPTH OF AT LEAST FOUR TO SIX INCHES. ACCEPTABLE PRODUCT: CLASS I COMPOST, SUCH AS ECOGRO OR BIO-COMP, AS PROVIDED BY A1 ORGANICS, EATON, CO. OR APPROVED EQUAL.
- FINISH GRADE TO BE BELOW THE EDGE OF PAVEMENT PRIOR TO SODDING OR PLANTING:
 - SEDED/SODDED AREAS: ALLOW 1 INCH FOR SOD.
 - PLANTED AREAS: ALLOW 3 INCHES FOR MULCH



three sixty design



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LOCATION:
10680 CABELA DRIVE
LONE TREE, CO. 80124

ISSUE DATE:
08 | 2015 (SITE IMPROVEMENT PLAN)

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NUMBER	DESCRIPTION	DATE
2	PLANNING COMMISSION COMMENTS	10/22/15
3	SITE PLAN CD REFINEMENTS	01/28/16

SIERRA.GRILL

BOSS ARCHITECTURE

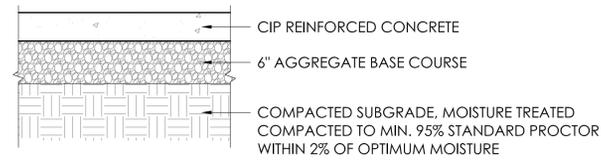
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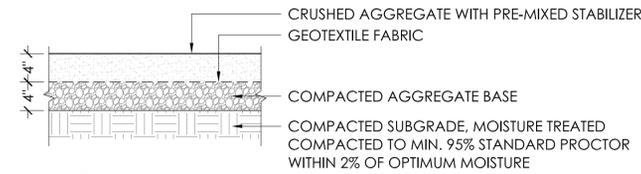
DRAWING TITLE:
PLANT LIST AND NOTES
DRAWING NUMBER:
05 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



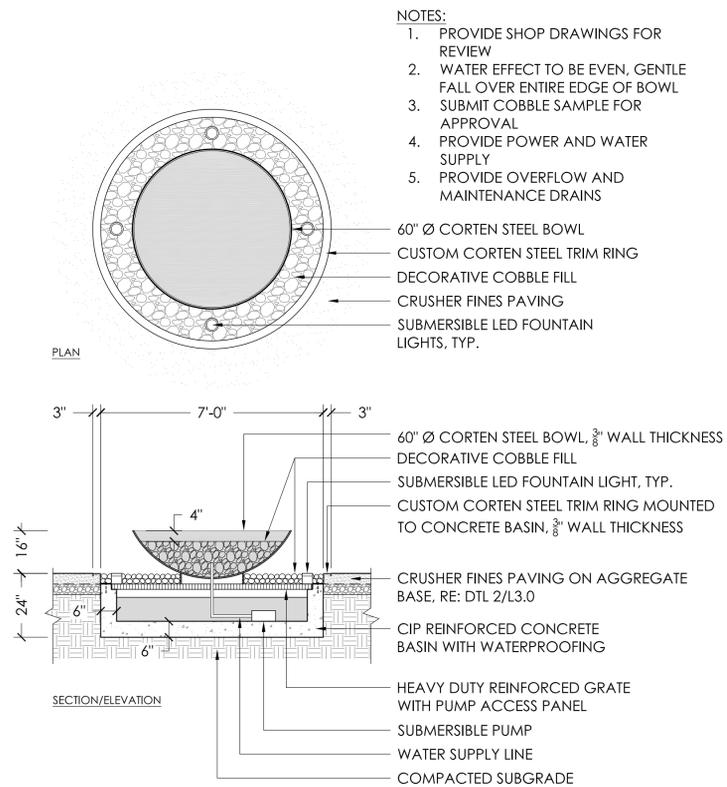
- NOTES:
1. TYPICAL PEDESTRIAN CONCRETE PAVING DEPTH TO BE 4" MIN.
 2. CROSSWALK PAVING DEPTH TO BE 6 1/2" MIN.
 3. VERIFY CONCRETE PAVING DESIGN REQUIREMENTS WITH CITY OF LONE TREE DEPARTMENT OF PUBLIC WORKS.
 4. STANDARD CONCRETE PAVING TO HAVE MEDIUM BROOM FINISH AND SAW CUT JOINTS.
 5. SPECIALTY CONCRETE PAVING TO HAVE ALTERNATING SANDSCAPE AND EXPOSED AGGREGATE FINISHES PER PLAN WITH SAW-CUT JOINTS.
 6. PROVIDE MOCKUPS FOR APPROVAL PRIOR TO CONSTRUCTION.

1 CONCRETE PAVING
 SCALE: 1"=1'-0"

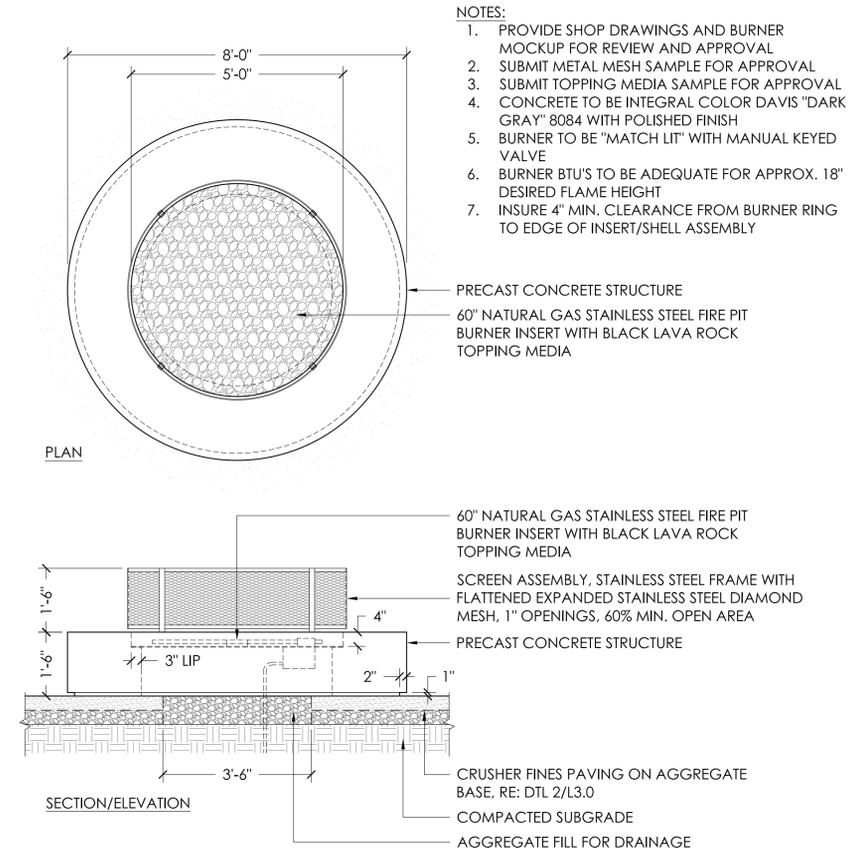


- NOTES:
1. STABILIZER FOR STABILIZED AGGREGATE SURFACES BY STABILIZER SOLUTIONS OR APPROVED EQUAL, FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 2. CRUSHED AGGREGATE TO BE 3/4" CRUSHED AGGREGATE SCREENINGS. PROVIDE SAMPLES OF EACH OF THE FOLLOWING MIXES:
 - 2.1. 70% GREY/30% BUFF
 - 2.2. 60% GREY/40% BUFF
 3. CONTRACTOR TO SUBMIT MATERIAL SAMPLE PRIOR TO ORDERING OR DELIVERING ON SITE.
 4. SLOPE SURFACE TO DRAIN 2% MIN.

2 CRUSHER FINES PAVING ON AGGREGATE BASE
 SCALE: 1"=1'-0"



3 WATER FEATURE
 SCALE: 3/8"=1'-0"



4 FIRE PIT
 SCALE: 1/2"=1'-0"



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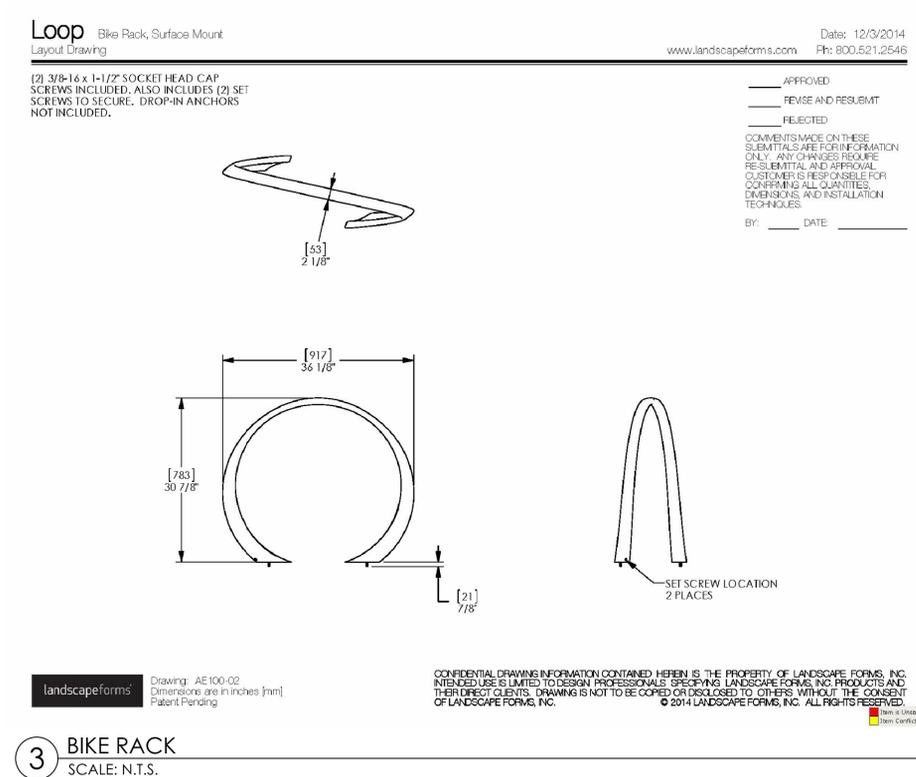
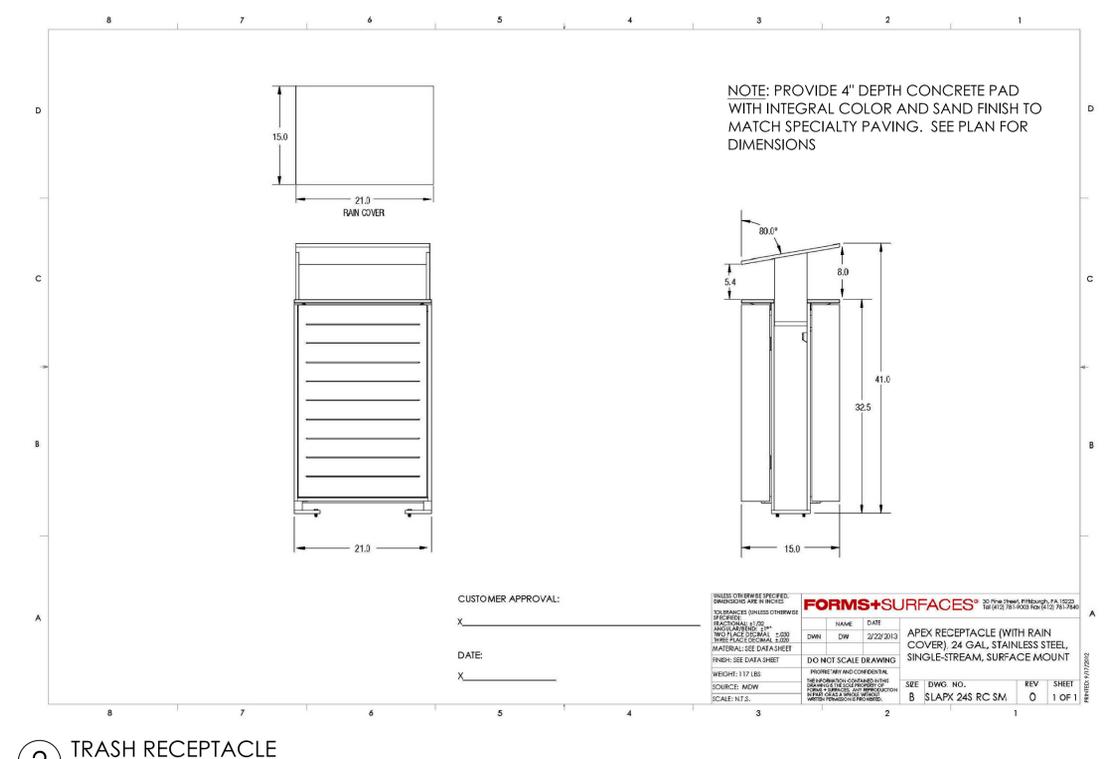
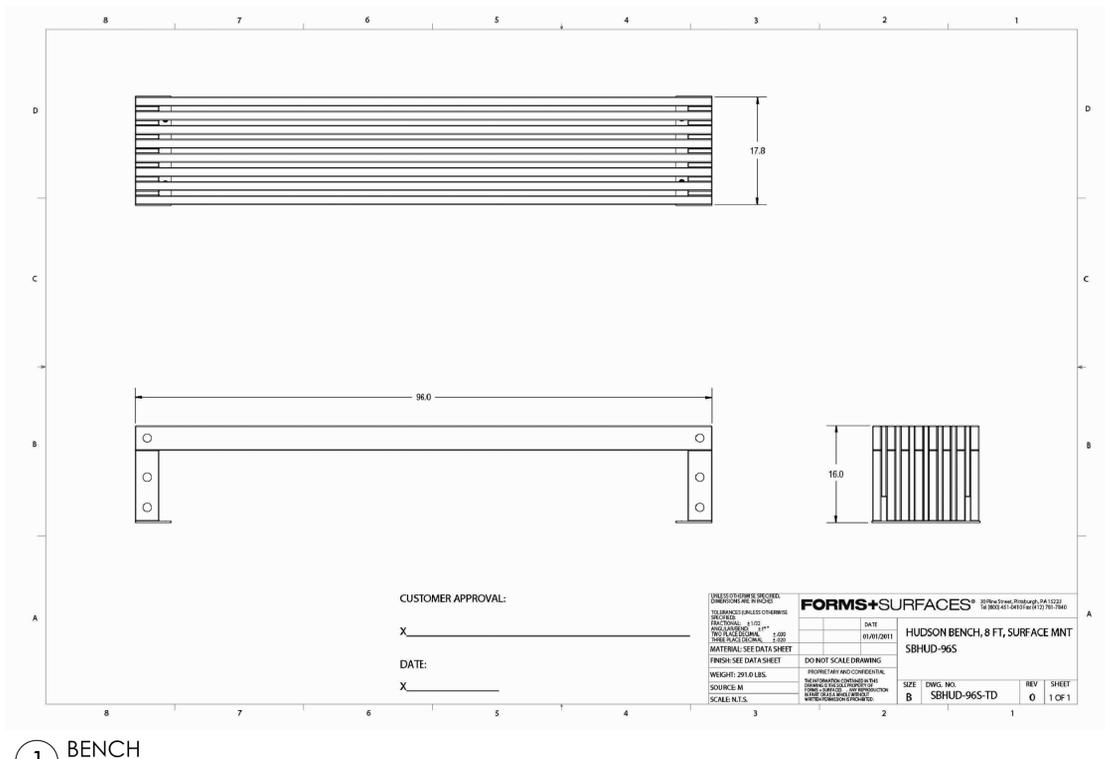
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NUMBER	DESCRIPTION	DATE
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 06 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



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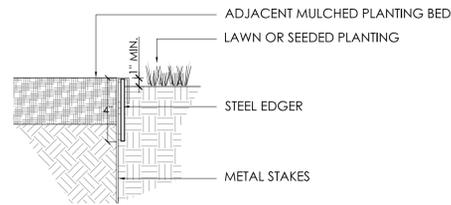
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07 OF 18

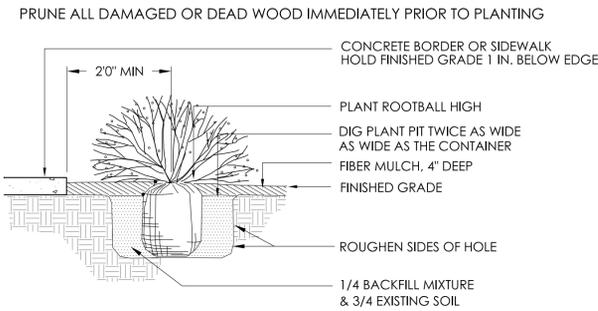
COURTNEY MCRICKARD
 666
 02/01/2010
 Original Date of Licensure
 LICENSED LANDSCAPE ARCHITECT
 STATE OF COLORADO

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
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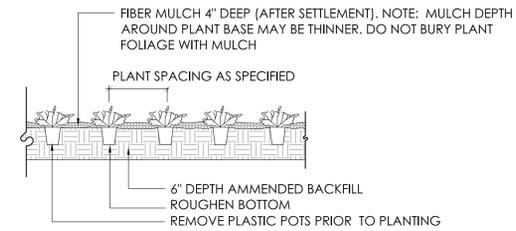


- NOTES:
1. CONTRACTOR TO SUBMIT SAMPLE PRIOR TO ORDERING MATERIAL OR DELIVERING TO SITE.
 2. NO EDGER REQUIRED WHEN PLANTING BED OR MULCHED AREA IS ADJACENT TO PAVEMENT, BORDER, OR WALLS.
 3. SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
 4. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND TOP OF EDGER SHALL BE FLUSH W/ TOP SURFACE OF CONCRETE.
 5. ALL JOINTS TO BE SECURELY STAKED.
 6. CONTRACTOR SHALL CUT TOP EDGE(S) AS NEEDED TO BE PARALLEL WITH GRADE.

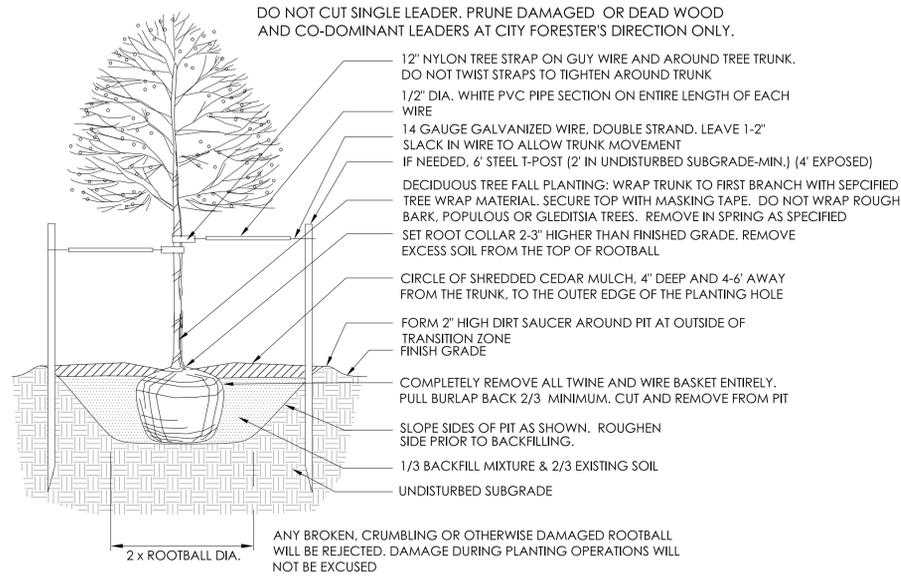
1 STEEL EDGER
 SCALE: N.T.S.



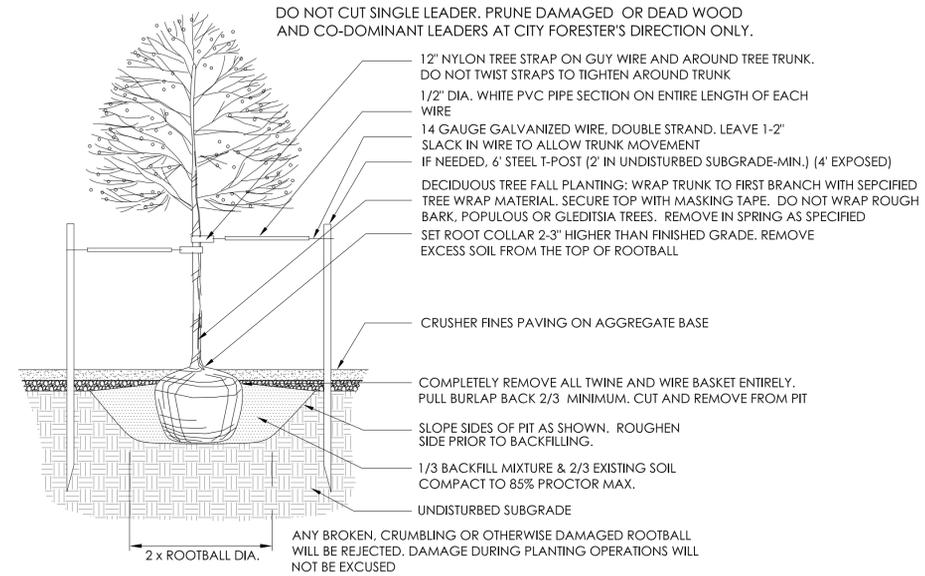
2 SHRUB PLANTING
 SCALE: N.T.S.



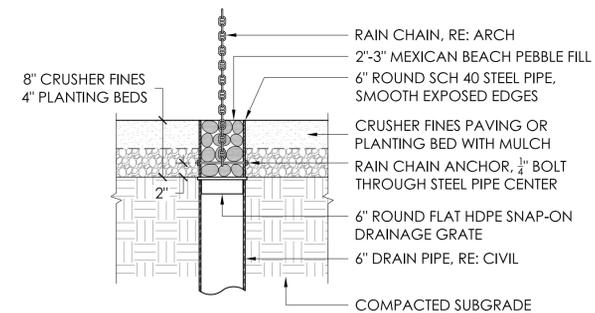
3 PERENNIAL PLANTING
 SCALE: N.T.S.



4 DECIDUOUS TREE PLANTING
 SCALE: N.T.S.



5 DECIDUOUS TREE PLANTING IN CRUSHER FINES
 SCALE: N.T.S.



- NOTES:
1. DRAINS TO BE CENTERED ON RAIN CHAINS, CHAINS TO REMAIN PRECISELY VERTICAL, LOCATIONS RE: ARCH

6 PEBBLE DRAIN
 SCALE: 1" = 1'-0"



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 LANDSCAPE
 DETAILS
 DRAWING NUMBER:
 08 OF 18

Irrigation Construction Notes

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY THREE SIXTY DESIGN.
- REFER TO TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS FOR INSTALLATION PROCEDURES.
- CONTRACTOR SHALL FIELD VERIFY PRESSURE AT BACKFLOW PREVENTER LOCATION FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCES FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS. EACH SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF XXX PSI.

TAP LOCATION NUMBER	REQUIRED PRESSURE
1	xx PSI

- CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF CONCRETE FLOWWORK AND PAVING. ALL SLEEVING IS BY CONTRACTOR UNLESS OTHERWISE NOTED. UNLESS NOTED OTHERWISE ON IRRIGATION PLANS INSTALL SLEEVING BASED ON SLEEVE SIZING GUIDE BELOW:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVE
3/4" - 1" PIPING	1-2" PVC SLEEVE
1-1/2" - 2" PIPING	1-4" PVC SLEEVE
1-25 CONTROL WIRES	1-2" PVC SLEEVE
26-75 CONTROL WIRES	1-3" PVC SLEEVE

NOTE: EACH LENGTH OF SLEEVED PIPE SHOW SHALL BE ROUTED THROUGH SEPARATE SLEEVE. IRRIGATION WIRE BUNDLE SHALL BE ROUTED IN SEPARATE SLEEVE/CONDUIT WITHOUT IRRIGATION PIPING.

- WHERE NOT NOTED ON IRRIGATION PLANS CONTRACTOR TO INSTALL PLASTIC 15 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED GREATER THAN 12 FEET. INSTALL 12 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 10-12 FEET. INSTALL 10 SERIES NOZZLES ON ALL POP-UP SPRAY HEADS SPACED 8-10 FEET. INSTALL 8 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 6 FEET AND LESS.
- REFER TO PLANTING PLAN FOR EXACT TREE LOCATIONS AND QUANTITIES, TREES SHOWN ON IRRIGATION PLANS ARE APPROXIMATE.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION EQUIPMENT, TURF, PLANT MATERIAL OR SITE FEATURES DAMAGED DURING NEW INSTALLATION. REPLACEMENT OR REPAIR OF DAMAGED EQUIPMENT OR MATERIAL SHALL BE DETERMINED BY THE OWNER AND THE CONSULTANT.
- VALVE BOXES SHALL BE LOCATED 36" MINIMUM FROM CENTERLINE OF ALL SWALES, 24" MINIMUM FROM EDGES OF ALL WALKS, CURBS, DRIVES AND OTHER HARD SURFACE AREAS.
- REFER TO IRRIGATION TECHNICAL SPECIFICATIONS FOR PLANTING AND IRRIGATION LAY-OUT REQUIREMENTS, COORDINATION AND PRIORITIES.
- LATERAL PIPING DIAMETERS SHALL INCLUDE 1" AND 1-1/2". 3/4" AND 1 1/4" DIAMETER LATERAL PIPE IS NOT ACCEPTABLE.

**RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
1.758 ACRES SIP #SP15-72R**

Avocet
IRRIGATION DESIGN
7114 N. JEFFERSON AVENUE, SUITE 201
LAKEWOOD, COLORADO 80225
VOICE: 303.966.2175
FAX: 303.969.5814



•CHRISTOPHER.DAVIS
•KEVIN .STEPHENSON

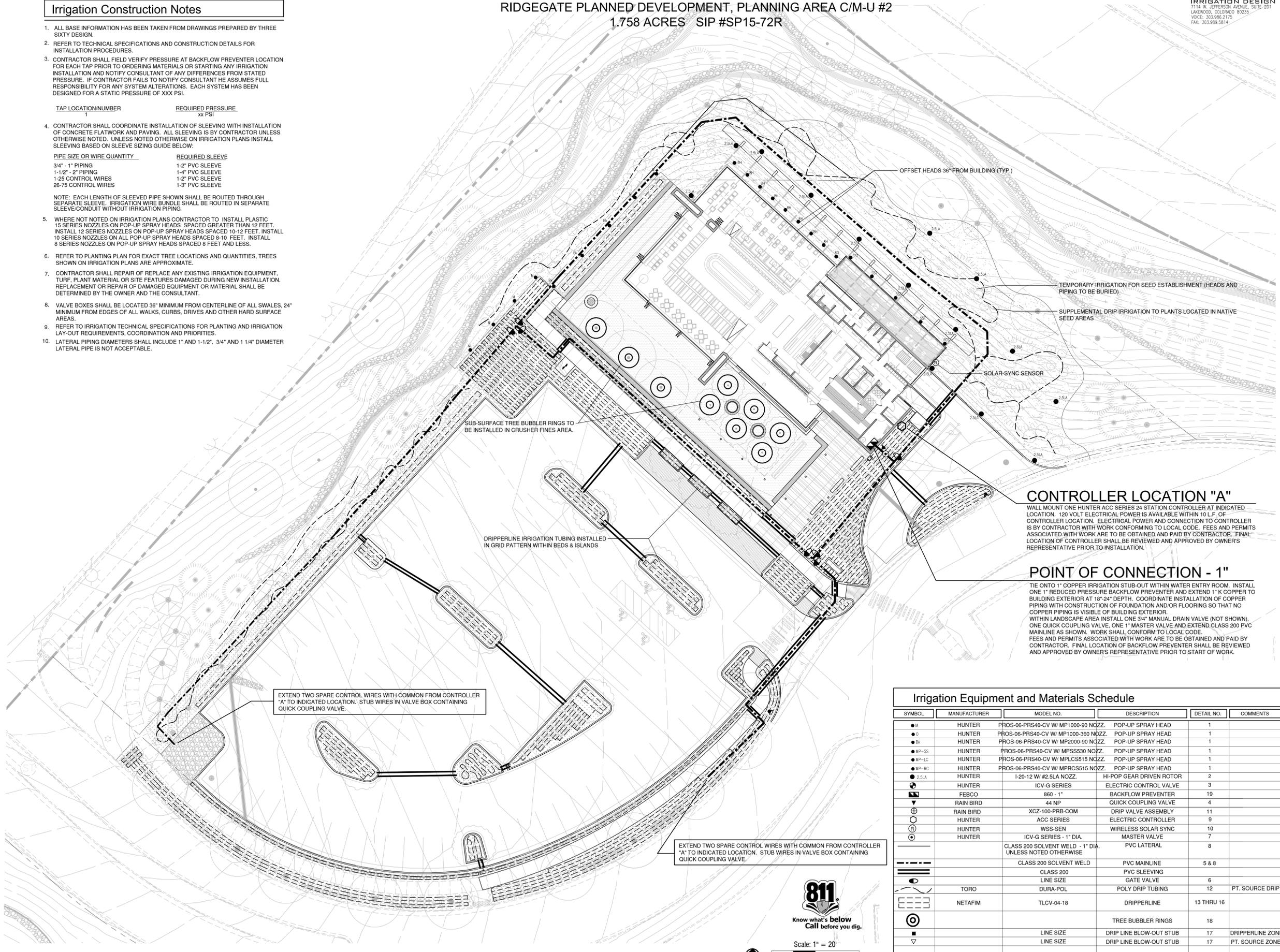


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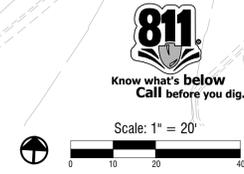
CONTROLLER LOCATION "A"
WALL MOUNT ONE HUNTER ACC SERIES 24 STATION CONTROLLER AT INDICATED LOCATION. 120 VOLT ELECTRICAL POWER IS AVAILABLE WITHIN 10 L.F. OF CONTROLLER LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

POINT OF CONNECTION - 1"
TIE ON TO 1" COPPER IRRIGATION STUB-OUT WITHIN WATER ENTRY ROOM. INSTALL ONE 1" REDUCED PRESSURE BACKFLOW PREVENTER AND EXTEND 1" K COPPER TO BUILDING EXTERIOR AT 18"-24" DEPTH. COORDINATE INSTALLATION OF COPPER PIPING WITH CONSTRUCTION OF FOUNDATION AND/OR FLOORING SO THAT NO COPPER PIPING IS VISIBLE OF BUILDING EXTERIOR.
WITHIN LANDSCAPE AREA INSTALL ONE 3/4" MANUAL DRAIN VALVE (NOT SHOWN), ONE QUICK COUPLING VALVE, ONE 1" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

Irrigation Equipment and Materials Schedule

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
●	HUNTER	PROS-06-PRS40-CV W/ MP1000-90 NOZZ.	POP-UP SPRAY HEAD	1	
●	HUNTER	PROS-06-PRS40-CV W/ MP1000-360 NOZZ.	POP-UP SPRAY HEAD	1	
●	HUNTER	PROS-06-PRS40-CV W/ MP2000-90 NOZZ.	POP-UP SPRAY HEAD	1	
●	HUNTER	PROS-06-PRS40-CV W/ MPSS530 NOZZ.	POP-UP SPRAY HEAD	1	
●	HUNTER	PROS-06-PRS40-CV W/ MPLCS515 NOZZ.	POP-UP SPRAY HEAD	1	
●	HUNTER	PROS-06-PRS40-CV W/ MPRCS515 NOZZ.	POP-UP SPRAY HEAD	1	
●	HUNTER	1-20-12 W/ #2.5LA NOZZ.	HI-POP GEAR DRIVEN ROTOR	2	
●	HUNTER	ICV-G SERIES	ELECTRIC CONTROL VALVE	3	
▽	FEBCO	860 - 1"	BACKFLOW PREVENTER	19	
▽	RAIN BIRD	44 NP	QUICK COUPLING VALVE	4	
⊕	RAIN BIRD	XCZ-100-PRB-COM	DRIP VALVE ASSEMBLY	11	
⊕	HUNTER	ACC SERIES	ELECTRIC CONTROLLER	9	
⊕	HUNTER	WSS-SEN	WIRELESS SOLAR SYNC	10	
⊕	HUNTER	ICV-G SERIES - 1" DIA.	MASTER VALVE	7	
—		CLASS 200 SOLVENT WELD - 1" DIA. UNLESS NOTED OTHERWISE	PVC LATERAL	8	
—		CLASS 200 SOLVENT WELD	PVC MAINLINE	5 & 8	
—		CLASS 200	PVC SLEEVING		
—		LINE SIZE	GATE VALVE	6	
—	TORO	DURA-POL	POLY DRIP TUBING	12	PT. SOURCE DRIP
—	NETAFIM	TLCV-04-18	DRIPPERLINE	13 THRU 16	
⊙			TREE BUBBLER RINGS	18	
—		LINE SIZE	DRIP LINE BLOW-OUT STUB	17	DRIPPERLINE ZONES
—		LINE SIZE	DRIP LINE BLOW-OUT STUB	17	PT. SOURCE ZONES

CONTROLLER & STATION NO.
CONTROL VALVE SIZE

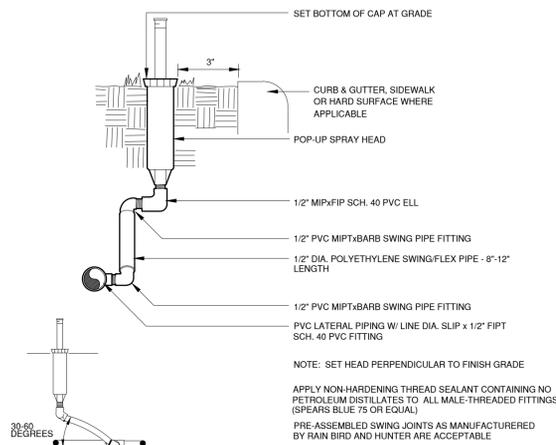


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IRRIGATION PLAN

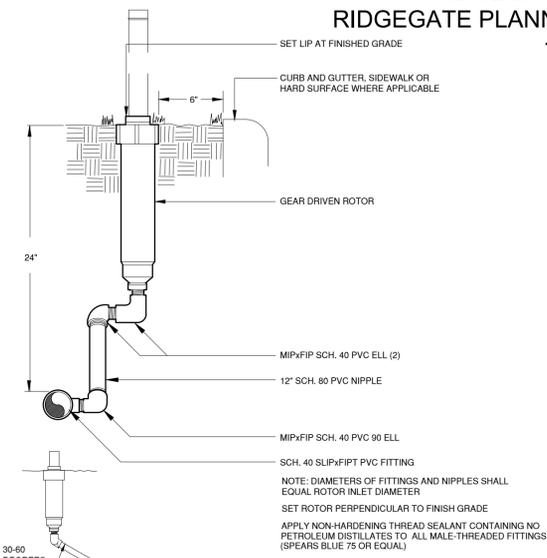
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09 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



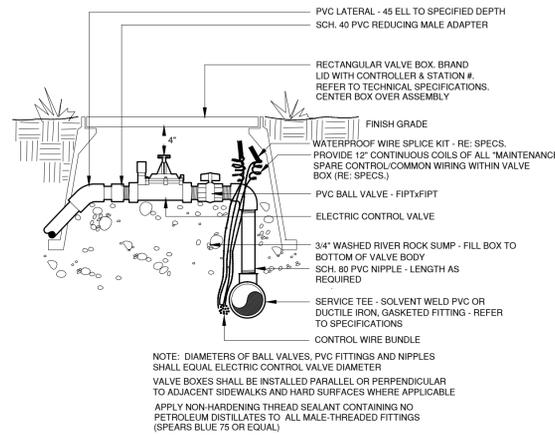
POP-UP SPRAY HEAD

1



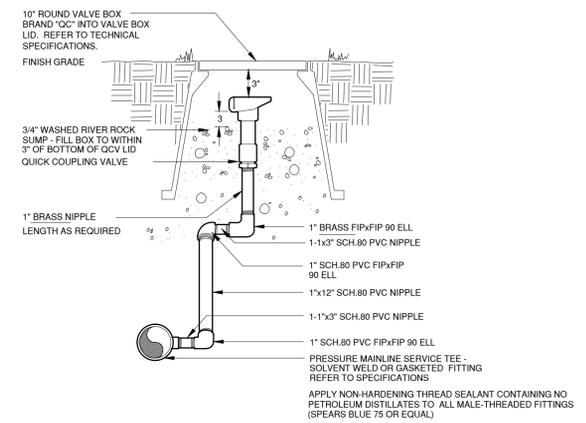
HI-POP GEAR DRIVEN ROTOR

2



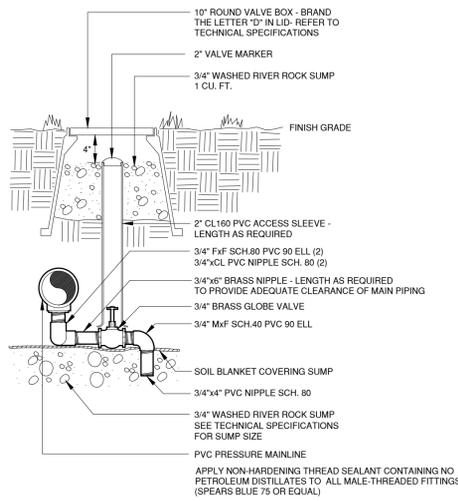
ELECTRIC CONTROL VALVE

3



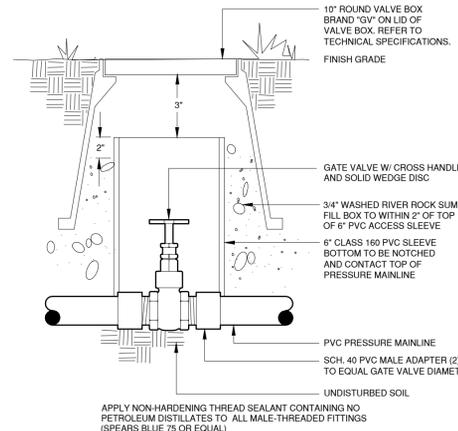
QUICK COUPLING VALVE

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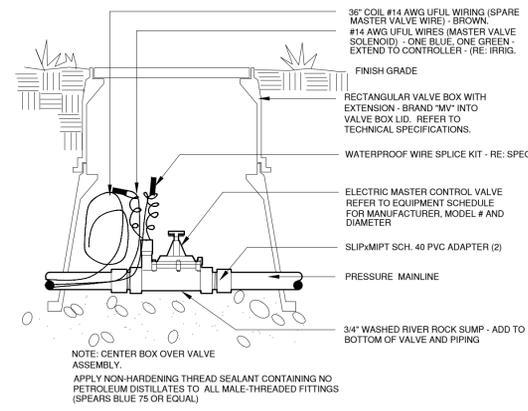
MANUAL DRAIN VALVE

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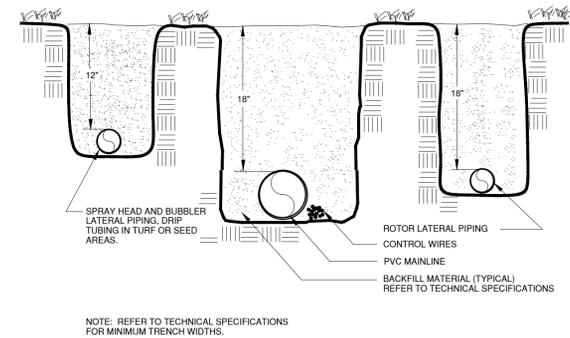
GATE VALVE

6



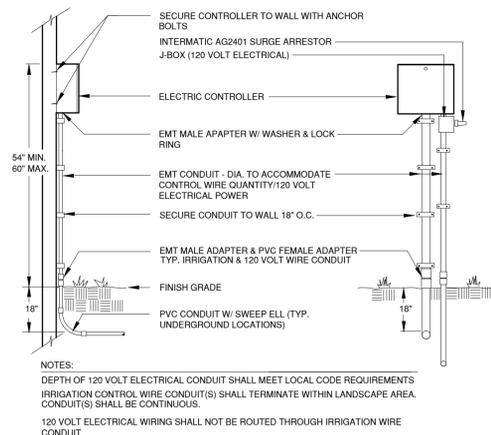
MASTER VALVE

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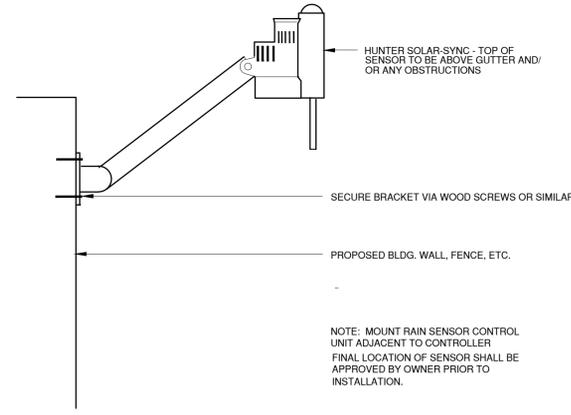
TRENCH

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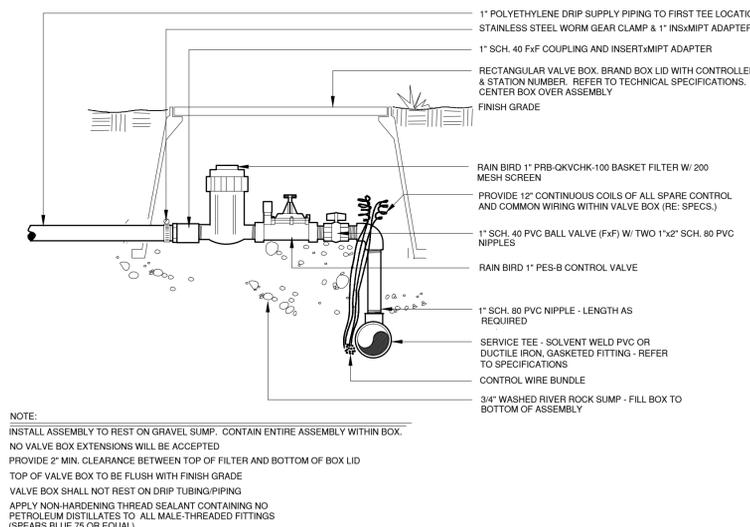
ELECTRIC CONTROLLER

9



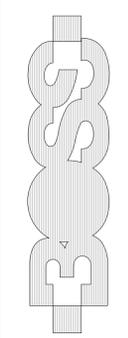
WEATHER SENSOR

10



DRIP VALVE ASSEMBLY

11



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 10 OF 18

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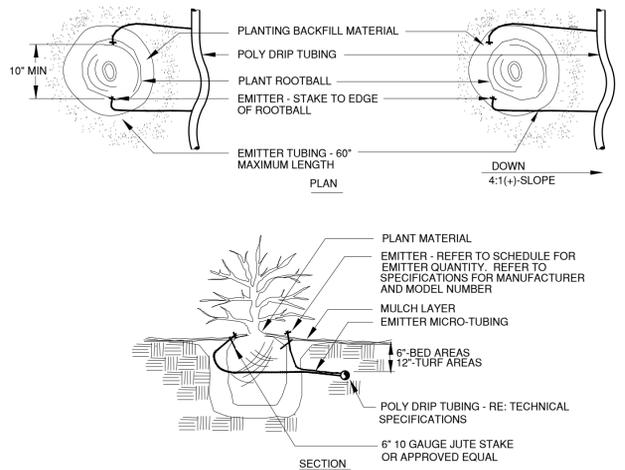
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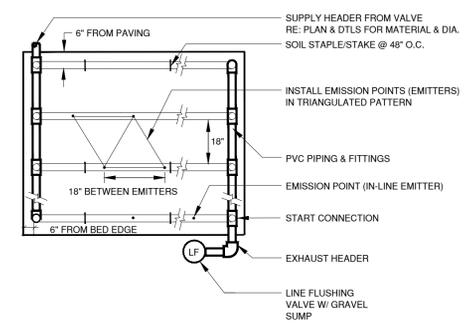
DRAWING TITLE:
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 DETAILS
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 11 OF 18



PLANT SIZE	EMITTER FLOW RATE	EMITTER QTY. AT MULCHED BED LOCATIONS	EMITTER QTY. AT NATIVE SEED LOCATIONS
1 GALLON MATERIAL	0.5 GPH	ONE EACH	ONE EACH
5 GALLON MATERIAL	0.5 GPH	TWO EACH	TWO EACH
1 1/2" CALIPER TREE	1.0 GPH	THREE EACH	FOUR EACH
2" CALIPER TREE	1.0 GPH	FOUR EACH	SIX EACH
2 1/2" CALIPER TREE	1.0 GPH	SIX EACH	EIGHT EACH
3" CALIPER TREE	1.0 GPH	EIGHT EACH	TEN EACH
3 1/2" CALIPER TREE	1.0 GPH	NINE EACH	ELEVEN EACH
4" CALIPER TREE	1.0 GPH	TEN EACH	TWELVE EACH
6 FT. CONIFEROUS TREE	1.0 GPH	FOUR EACH	SIX EACH
8 FT. CONIFEROUS TREE	1.0 GPH	SIX EACH	NINE EACH
10 FT. CONIFEROUS TREE	1.0 GPH	EIGHT EACH	TWELVE EACH
12 FT. CONIFEROUS TREE	1.0 GPH	TEN EACH	FOURTEEN EACH

NOTES:
 INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. THREE OR MORE EMITTERS SHALL BE EQUALLY SPACED AROUND ROOT BALL.
 EMITTERS ARE TO BE INSTALLED TO CLEAR SURFACE BY A MINIMUM OF 1" AND A MAXIMUM OF 2".
 FLUSH ALL LINES THOROUGHLY, INCLUDING EMITTER MICRO-TUBING PRIOR TO EMITTER INSTALLATION.
 IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL BOTH EMITTERS ON UPHILL SIDE OF ROOT BALL.
 EMITTERS SHALL BE SELF-FLUSHING, PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE WITHIN TECHNICAL SPECIFICATIONS.

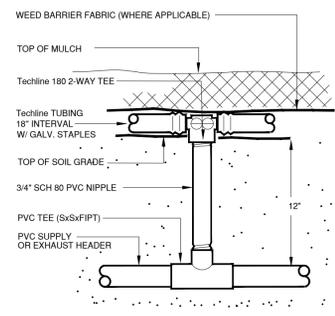
DRIPPERLINE SHALL BE WATER TESTED IN PRESENCE OF OWNER AND IRRIGATION CONSULTANT PRIOR TO BURIAL OF DRIPPERLINE



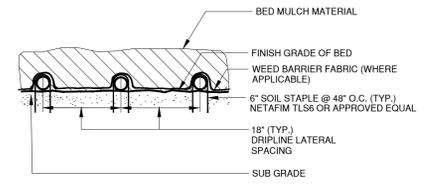
INSTALL TUBING WITH EMITTERS IN TRIANGULATED PATTERN BETWEEN ROWS OF TUBING

DRIP EMITTER (POINT SOURCE) - PLANTS IN NATIVE SEED AREAS 12

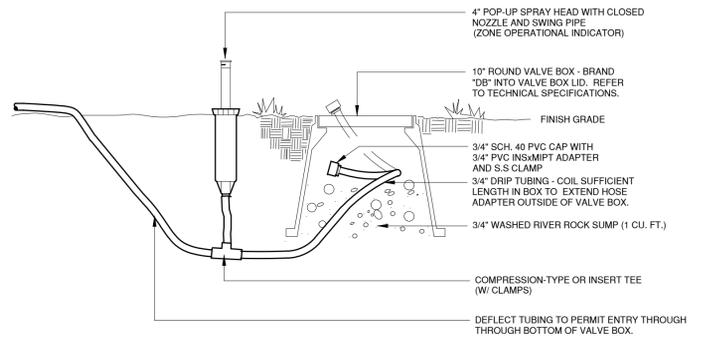
DRIPPERLINE SAMPLE LAY-OUT 13



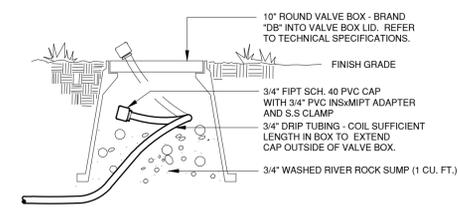
DRIPPERLINE START CONNECTION 14



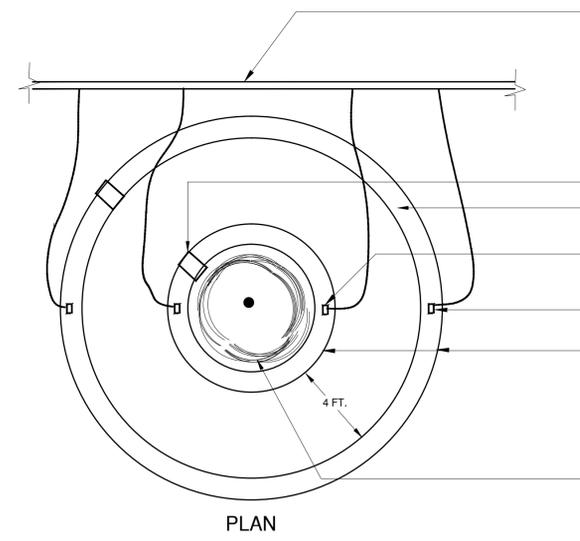
SURFACE DRIPPERLINE 15



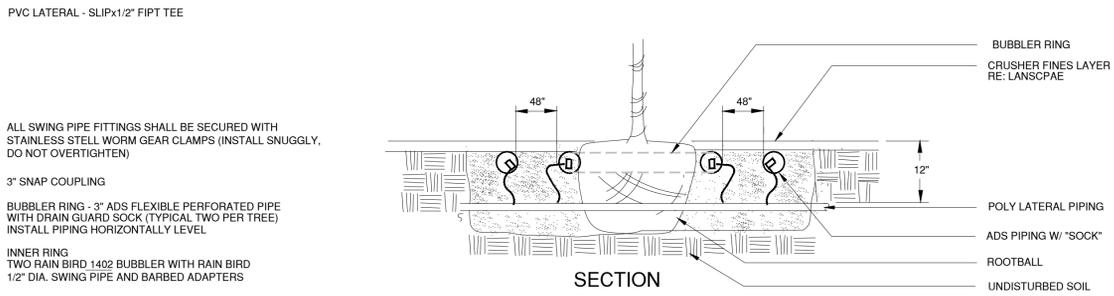
DRIPPERLINE FLUSH-OUT AND OPERATIONAL INDICATOR 16



DRIP LINE BLOW-OUT STUB (NATIVE PLANT LOCATIONS) 17



SUB-SURFACE TREE BUBBLERS 18



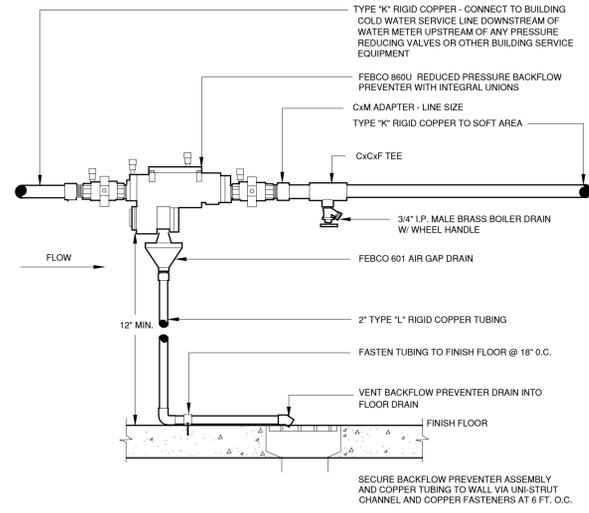
NOTE:
 ALL PERFORATED PIPE SHALL BE INSTALLED LEVEL.
 SECURE ALL ADS COUPLINGS AND BUBBLERS WITH FABRIC-REINFORCED ADHESIVE TAPE

ALL SWING PIPE FITTINGS SHALL BE SECURED WITH STAINLESS STEEL WORM GEAR CLAMPS (INSTALL SNUGGLY, DO NOT OVERTIGHTEN)
 3" SNAP COUPLING
 BUBBLER RING - 3" ADS FLEXIBLE PERFORATED PIPE WITH DRAIN GUARD SOCK (TYPICAL TWO PER TREE) INSTALL PIPING HORIZONTALLY LEVEL
 INNER RING
 TWO RAIN BIRD 1402 BUBBLER WITH RAIN BIRD 1/2" DIA. SWING PIPE AND BARBED ADAPTERS
 OUTER RING
 TWO RAIN BIRD 1408 BUBBLER WITH RAIN BIRD 1/2" DIA. SWING PIPE AND BARBED ADAPTERS
 BUBBLER RING - 3" ADS FLEXIBLE PERFORATED PIPE WITH DRAIN GUARD SOCK
 INNER RING TO CONTACT ROOT BALL
 INSTALL PIPING HORIZONTALLY LEVEL

TREE ROOT BALL

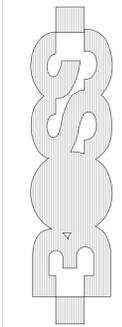
SUB-SURFACE TREE BUBBLERS 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



BACKFLOW PREVENTER

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NUMBER	DESCRIPTION	DATE

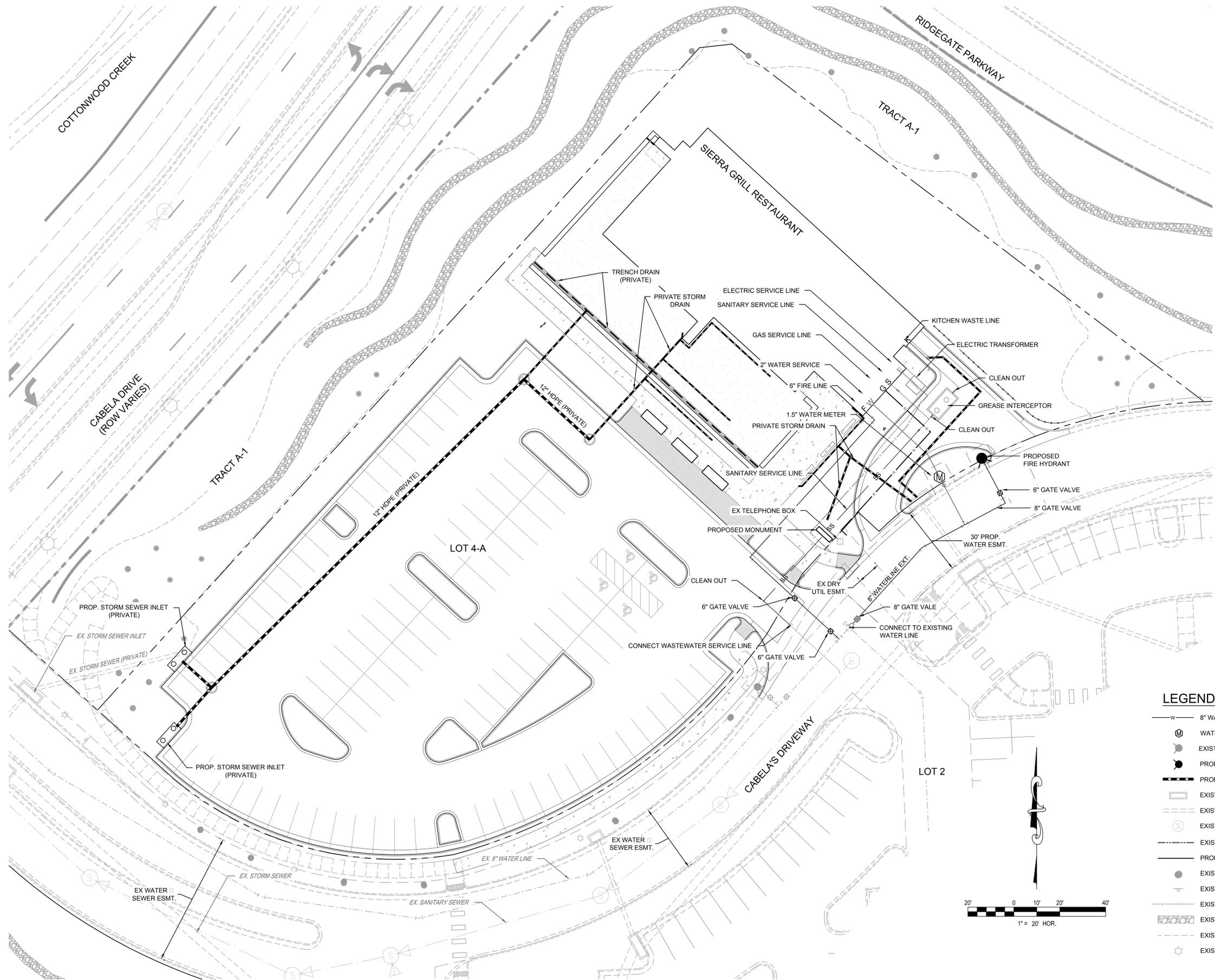
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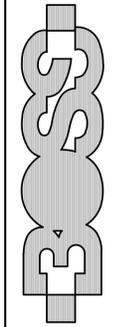
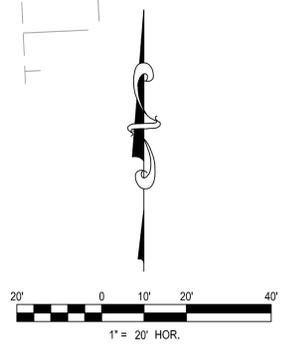
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 IRRIGATION
 DETAILS
 DRAWING NUMBER:
 12 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



LEGEND:

- w— 8" WATER LINE
- ⊕ WATER METER
- ⊙ EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- +— PROPOSED STORM SEWER
- ⊕ EXISTING STORM SEWER INLET
- EXISTING STORM SEWER
- ⊕ EXISTING SANITARY SEWER MANHOLE
- EXISTING LOT LINE
- - - PROPOSED LOT LINE ADJUSTMENT
- EXISTING TREE
- ⊕ EXISTING SIGN
- EXISTING GUARD RAIL
- ⊕ EXISTING RETAINING WALL
- EXISTING LIMITS OF LANDSCAPING
- ⊕ EXISTING LIGHTPOLE



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01	ENGINEERING COMMENTS	10/05/15
02	PLANNING COMMENTS	10/22/15
03	ENGINEERING COMMENTS FOR MYLARS	11/09/15
04	SITE PLAN CD REFINEMENTS	01/28/16

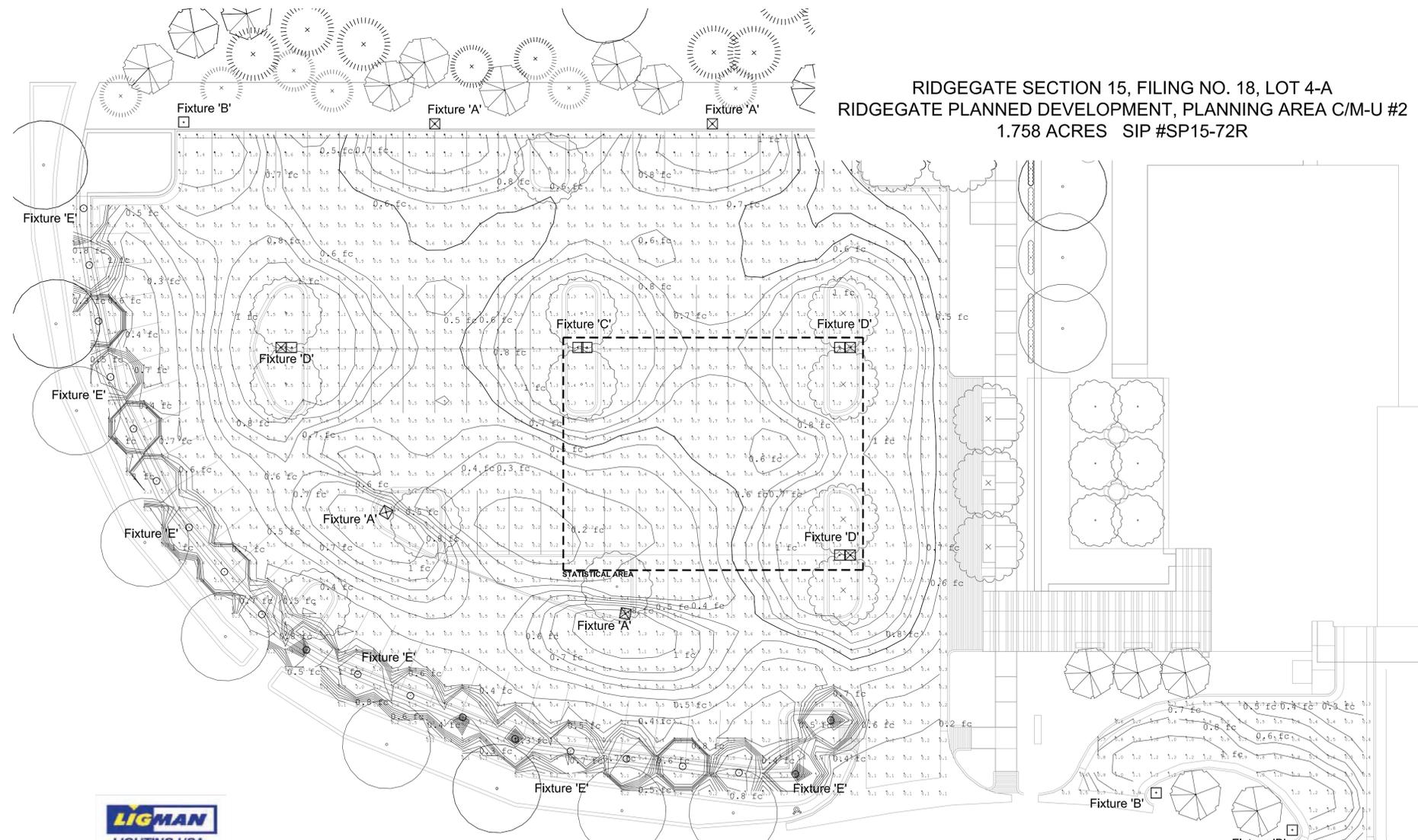
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DRAWING TITLE:
UTILITY PLAN

DRAWING NUMBER:
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RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



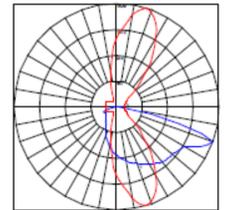
LUMINAIRE PHOTOMETRY DEFINITIONS

Type III Distribution
 Post Top 42W LED

Photometry used:
 Ligman UTR-96111-W40

Filename
 UTR-96111-W40.IES
 Luminaire Lumens
 3220
 Luminaire Efficiency (%)
 N.A.
 Total Light Loss Factor
 0.700
 Luminaire Watts
 41.4
 Arrangement
 SINGLE
 Arm Length
 5

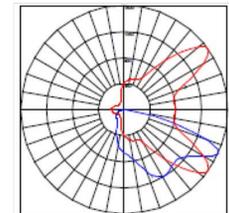
Pole Mounted @ 24'-0"
 Road Classification
 Type III, Medium, N.A.



Type IV Distribution
 Post Top 42W LED

Photometry used:
 Ligman UTR-96121-W40

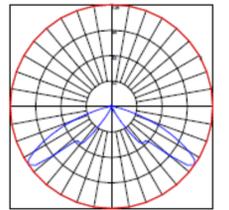
Filename
 UTR-96121-W40.IES
 Luminaire Lumens
 3221
 Luminaire Efficiency (%)
 N.A.
 Total Light Loss Factor
 0.700
 Luminaire Watts
 41.4
 Arrangement
 SINGLE
 Pole Mounted @ 24'-0"
 Road Classification
 Type IV, Short, N.A.



Type V Distribution
 Bollard 20W LED

Photometry used:
 Ligman ULW-10872-W30

Filename
 ULW-10872-W30.IES
 Luminaire Lumens
 903
 Luminaire Efficiency (%)
 N.A.
 Total Light Loss Factor
 0.800
 Luminaire Watts
 20.4
 Arrangement
 SINGLE
 Bollard Height 34.25"
 Road Classification
 Type V, Short, N.A.



CALCULATION SUMMARY

LOADING AREA

Project: Project_1
 2 Pt. Grid
 Coordinates in Feet

Point Spacing L-R 5
 Point Spacing T-B 5
 Grid Orient 0
 Grid Tilt 0
 Meter Type Horizontal

Illuminance (Fc)
 Average 0.72
 Maximum 1.3
 Minimum 0.1
 Avg/Min 7.20
 Max/Min 13.00

PARKING LOT (sidewalk included)

Project: Project_1
 2 Pt. Grid
 Coordinates in Feet

Point Spacing L-R 5
 Point Spacing T-B 5
 Grid Orient 0
 Grid Tilt 0
 Meter Type Horizontal

Illuminance (Fc)
 Average 0.74
 Maximum 2.7
 Minimum 0.1
 Avg/Min 7.40
 Max/Min 27.00

PARKING LOT (Statistical Area)

Project: Project_1
 Illuminance (Fc)

Average = 0.8
 Maximum = 1.9
 Minimum = 0.2
 Avg/Min = 4.1
 Max/Min = 9.5



Fixture 'A'
 UTR-96111
 Triangle single small HP LED streetlight type III

A small size triangle design street light luminaire using high power LEDs. A high quality cut-off design creates broad spread light distribution. Designed for lighting of private roadways, modern street suburbs and city centers. Aluminum frame and body. Stainless steel screws and hardware. Durable silicone rubber gasket and impact resistant toughened glass diffuser with hinged aluminum frame for in-position lamp replacement. The luminaire is treated with a chemical chromatinized protection before powder coating, ensuring high corrosion resistance. Integral control gear. Anodized high purity aluminum reflector.

Physical Data
 Length: 23.6"
 Height: 20.2"
 Weight: 46.0 lbs

Lamp
 47w - 3360lm - White - LED III

LED Color (Please Specify)
 W10 - 3000K
 W40 - 4000K
 W10 - 5000K

Voltage (Please Specify)
 120V
 277V
 Other

Options (Please Specify)
 Color (Please Specify)
 01-Black - RAL 9011
 02-Dark Grey - RAL 7043
 03-White - RAL 9003
 04-Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006
 07-Custom - RAL
 06-Bronze - RAL 6014



Fixture 'C'
 UTR-96123
 Triangle double small HP LED streetlight type IV

A small size triangle design street light luminaire using high power LEDs. A high quality cut-off design creates broad spread light distribution. Designed for lighting of private roadways, modern street suburbs and city centers. Aluminum frame and body. Stainless steel screws and hardware. Durable silicone rubber gasket and impact resistant toughened glass diffuser with hinged aluminum frame for in-position lamp replacement. The luminaire is treated with a chemical chromatinized protection before powder coating, ensuring high corrosion resistance. Integral control gear. Anodized high purity aluminum reflector.

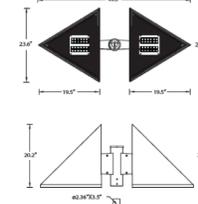
Physical Data
 Length: 49.3"
 Height: 20.2"
 Weight: 74.9 lbs

Lamp
 84w - 6720lm - White - LED III

LED Color (Please Specify)
 W10 - 3000K
 W40 - 4000K
 W10 - 5000K

Voltage (Please Specify)
 120V
 277V
 Other

Options (Please Specify)
 Color (Please Specify)
 01-Black - RAL 9011
 02-Dark Grey - RAL 7043
 03-White - RAL 9003
 04-Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006
 07-Custom - RAL
 06-Bronze - RAL 6014



Fixture 'B'
 UTR-96121
 Triangle single small HP LED streetlight type IV

A small size triangle design street light luminaire using high power LEDs. A high quality cut-off design creates broad spread light distribution. Designed for lighting of private roadways, modern street suburbs and city centers. Aluminum frame and body. Stainless steel screws and hardware. Durable silicone rubber gasket and impact resistant toughened glass diffuser with hinged aluminum frame for in-position lamp replacement. The luminaire is treated with a chemical chromatinized protection before powder coating, ensuring high corrosion resistance. Integral control gear. Anodized high purity aluminum reflector.

Physical Data
 Length: 23.6"
 Height: 20.2"
 Weight: 46.0 lbs

Lamp
 47w - 3360lm - White - LED III

LED Color (Please Specify)
 W10 - 3000K
 W40 - 4000K
 W10 - 5000K

Voltage (Please Specify)
 120V
 277V
 Other

Options (Please Specify)
 Color (Please Specify)
 01-Black - RAL 9011
 02-Dark Grey - RAL 7043
 03-White - RAL 9003
 04-Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006
 07-Custom - RAL
 06-Bronze - RAL 6014

Fixture 'D'
 Custom Triangle double small HP LED streetlight type III + Type IV

A small size triangle design street light luminaire using high power LEDs. A high quality cut-off design creates broad spread light distribution. Designed for lighting of private roadways, modern street suburbs and city centers. Aluminum frame and body. Stainless steel screws and hardware. Durable silicone rubber gasket and impact resistant toughened glass diffuser with hinged aluminum frame for in-position lamp replacement. The luminaire is treated with a chemical chromatinized protection before powder coating, ensuring high corrosion resistance. Integral control gear. Anodized high purity aluminum reflector.

Physical Data
 Length: 49.3"
 Height: 20.2"
 Weight: 74.9 lbs

Lamp
 84w - 6720lm - White - LED III

LED Color (Please Specify)
 W10 - 3000K
 W40 - 4000K
 W10 - 5000K

Voltage (Please Specify)
 120V
 277V
 Other

Options (Please Specify)
 Color (Please Specify)
 01-Black - RAL 9011
 02-Dark Grey - RAL 7043
 03-White - RAL 9003
 04-Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006
 07-Custom - RAL
 06-Bronze - RAL 6014



Fixture 'E'
 ULW-10872
 Lightwave bollard LED

The innovative reflector technology of the Lightwave bollard guarantees a high degree of efficiency. Lightwave has been developed to have excellent controlled downward light eliminating any glare. The Lightwave is available columns in a straight or conical shape design with two different heights. Designed for lighting of entrances and residential areas by providing wide spread illumination on driveways, pathways and squares.

Estimated aluminum body and low copper content die-cast aluminum housing. Stainless steel screws. Durable silicone rubber gasket and clear impact resistant UV stabilized polycarbonate lens. Single cable entry. Housing is treated with a chemical chromatinized protection before powder coating, ensuring high corrosion resistance. Integral control gear and anodized high purity aluminum reflector.

Physical Data
 Length: 8.66"
 Height: 34.25"
 Weight: 16.6 lbs

Lamp
 12w - 215lm - White - LED II

LED Color (Please Specify)
 W10 - 3000K
 W40 - 4000K
 W10 - 5000K

Voltage (Please Specify)
 120V
 277V
 Other

Options (Please Specify)
 Color (Please Specify)
 01-Black - RAL 9011
 02-Dark Grey - RAL 7043
 03-White - RAL 9003
 04-Metallic Silver - RAL 9006
 05-Matt Silver - RAL 9006
 07-Custom - RAL
 06-Bronze - RAL 6014

Mounting Accessories
 Ancho Bolt Kit



Artenluz
 Architectural Lighting Design

1400 South Broadway, Suite 100
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 Phone: (303) 733-8888
 Fax: (303) 733-8888
 Email: info@artenluz.com

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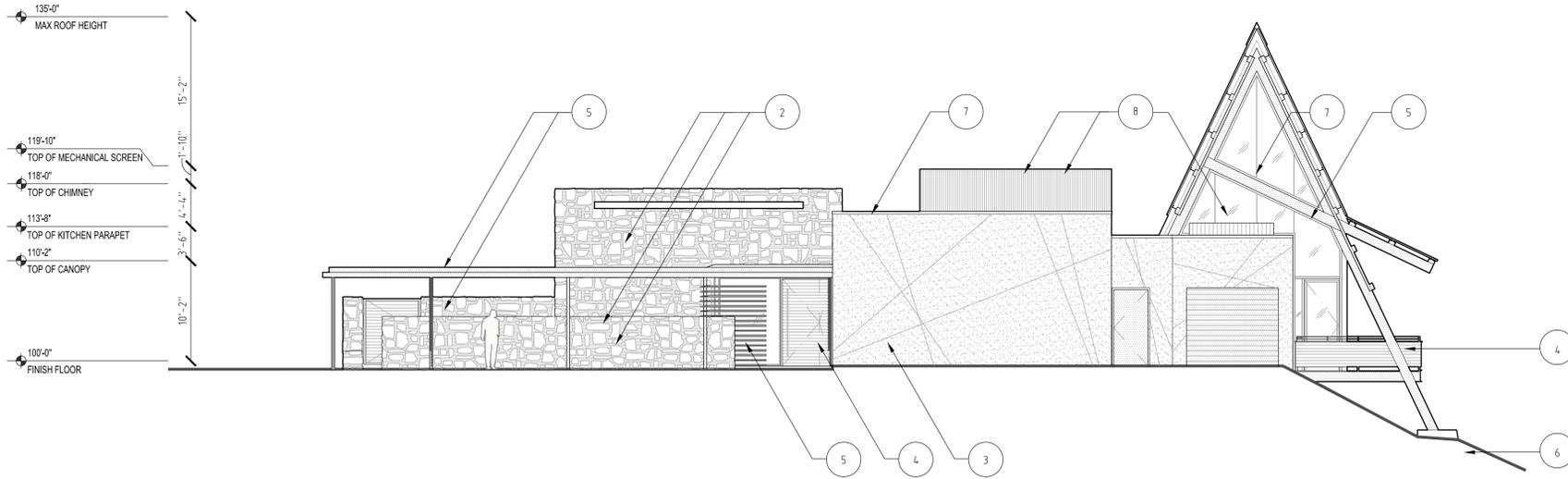
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 PHOTOMETRIC PLAN

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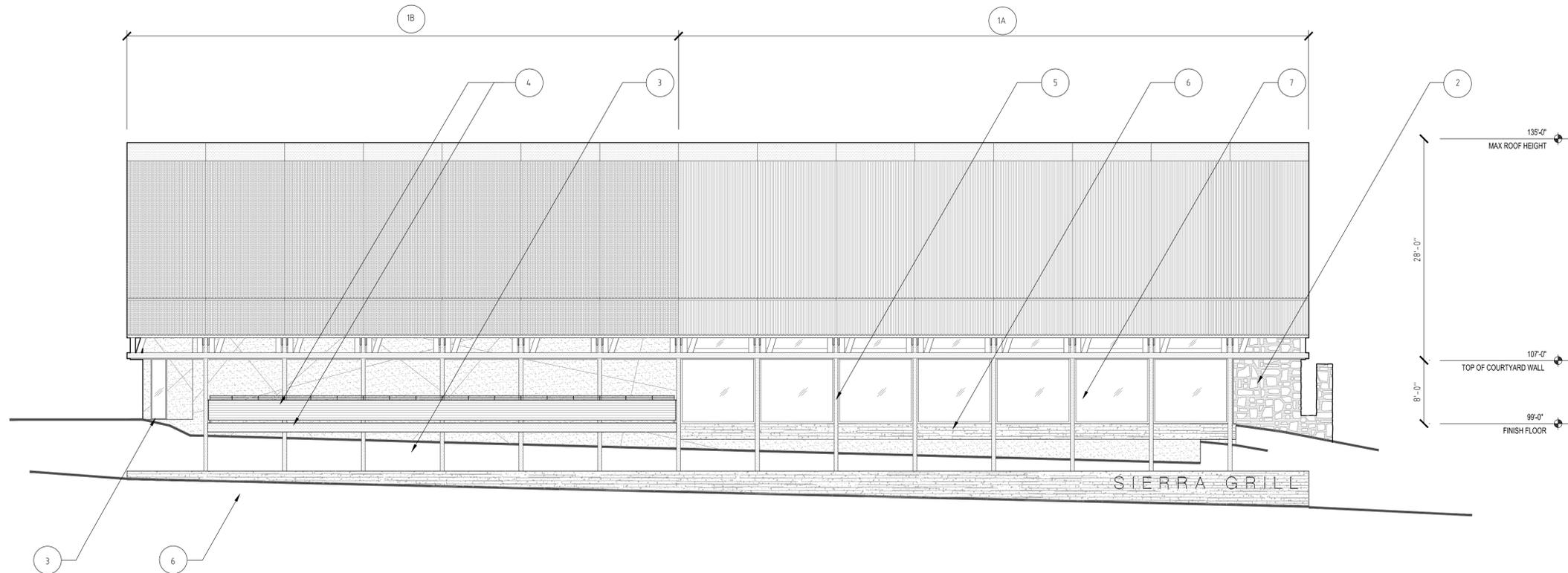
RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R

ELEVATION MATERIALS

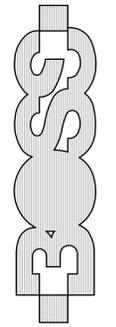
- 1A  CORRUGATED CORTEN STEEL PANELS
- 1B  PERFORATED CORRUGATED CORTEN STEEL PANELS
- 2  BUFF LIMESTONE QUARRY ROCK WITH NATURAL MORTAR OVERGROUT
- 3  NATURAL CEMENTITIOUS STUCCO
- 4  HORIZONTAL T&G CEDAR WOOD SIDING W/ PENETRATING SEALER
- 5  EXPOSED STEEL STRUCTURE & FASCIA, PRIMED & PAINTED
- 6  BOARD-FORMED, C.I.P. INTEGRALLY-COLORED CONCRETE
- 7  DARK BRONZE ALUMINUM STOREFRONT WITH CLEAR GLAZING
- 8  CORRUGATED CORTEN STEEL PANELS MECHANICAL EQUIPMENT SCREEN



2 EAST ELEVATION
 1 : 1/8"



1 NORTH ELEVATION
 1 : 1/8"



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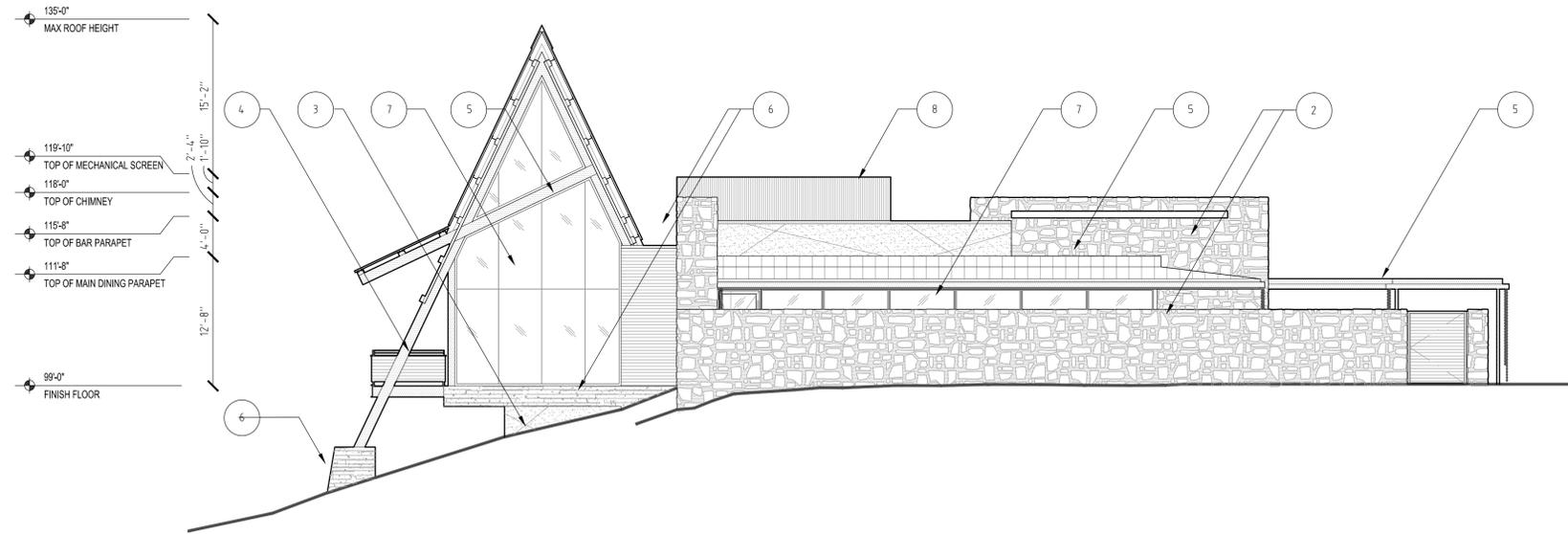
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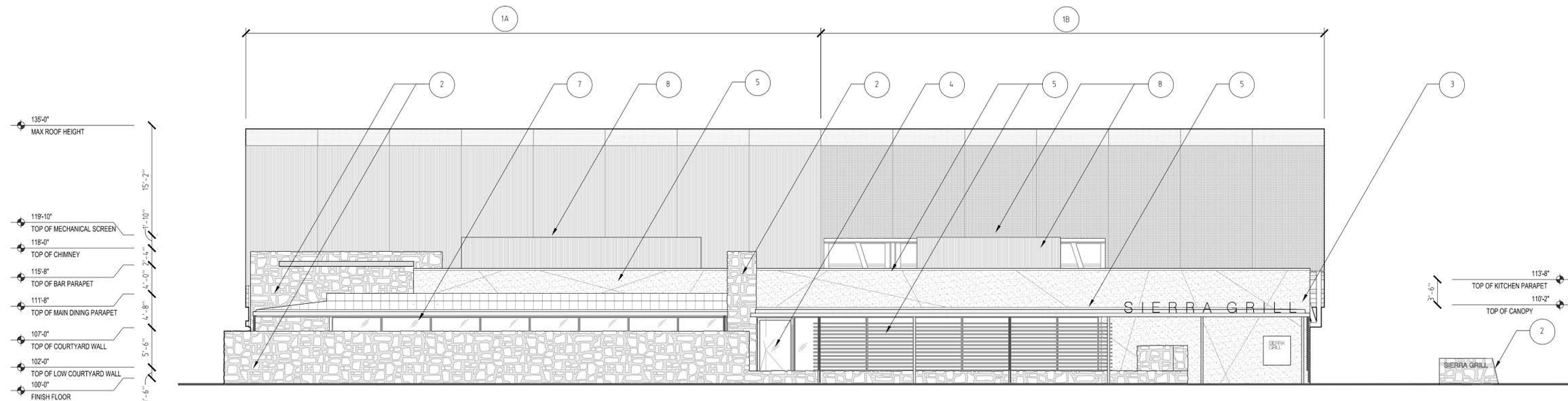
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EXTERIOR ELEVATIONS
 DRAWING NUMBER:
16 OF 18

RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R



ELEVATION MATERIALS		
1A		CORRUGATED CORTEN STEEL PANELS
1B		PERFORATED CORRUGATED CORTEN STEEL PANELS
2		BUFF LIMESTONE QUARRY ROCK WITH NATURAL MORTAR OVERGROUT
3		NATURAL CEMENTITIOUS STUCCO
4		HORIZONTAL T&G CEDAR WOOD SIDING W/ PENETRATING SEALER
5		EXPOSED STEEL STRUCTURE & FASCIA, PRIMED & PAINTED
6		BOARD-FORMED, C.I.P. INTEGRALLY-COLORED CONCRETE
7		DARK BRONZE ALUMINUM STOREFRONT WITH CLEAR GLAZING
8		CORRUGATED CORTEN STEEL PANELS MECHANICAL EQUIPMENT SCREEN

4 WEST ELEVATION
 1 : 1/8"



3 SOUTH ELEVATION
 1 : 1/8"

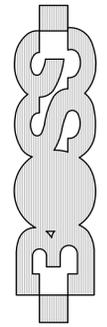
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17 OF 18

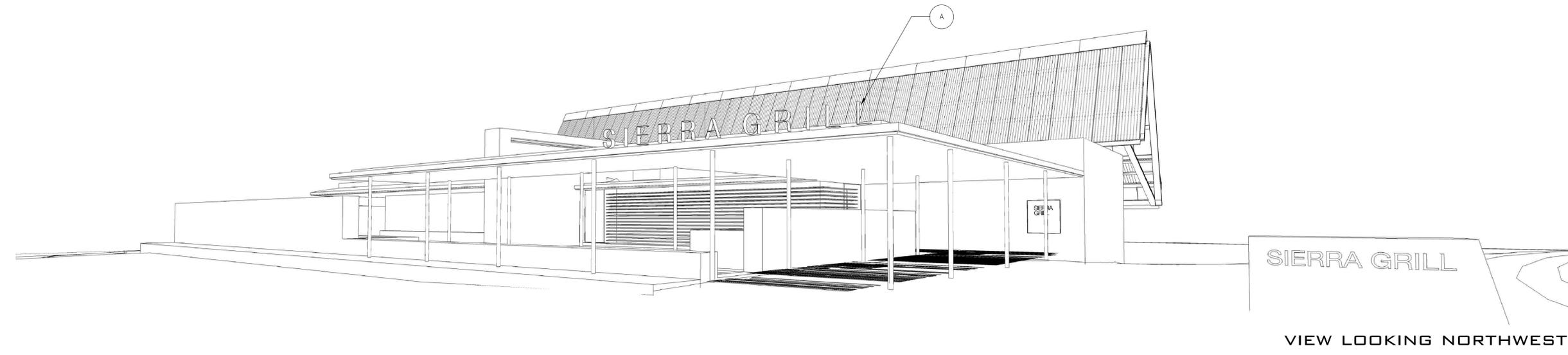


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RIDGEGATE SECTION 15, FILING NO. 18, LOT 4-A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 1.758 ACRES SIP #SP15-72R

SIGNAGE LEGEND

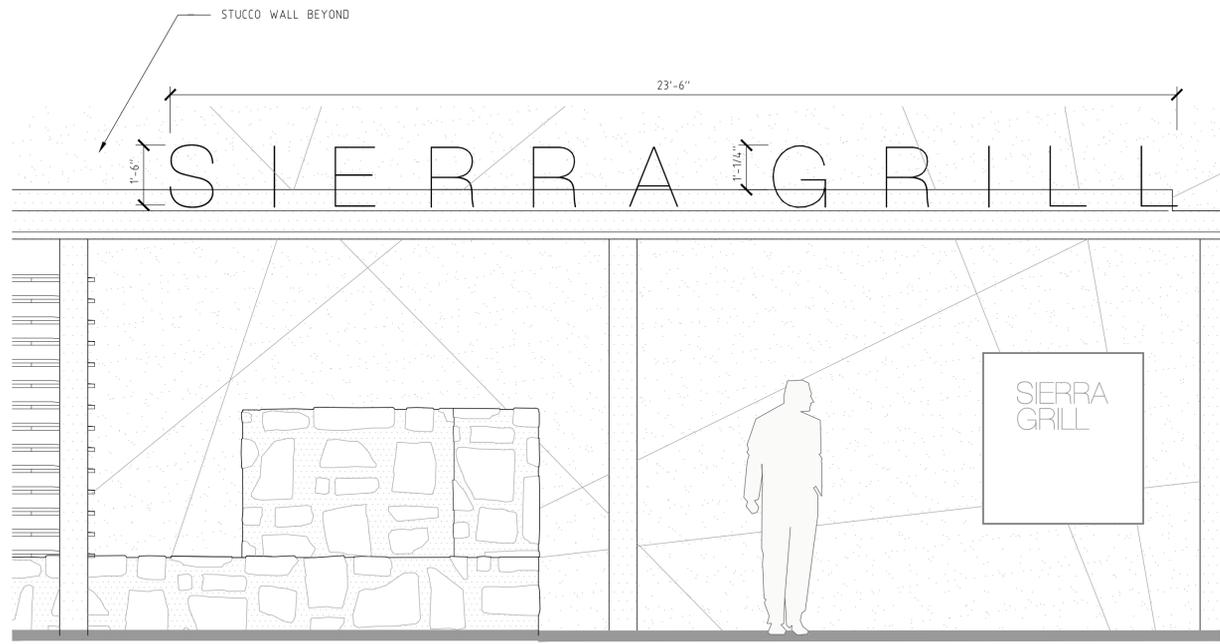
A CANOPY SIGN: 1'-6" HIGH POWDER-COATED ALUMINUM CHANNEL LETTERS WITH ORANGE NEON RECESSED LIGHTS AT CENTER OF EACH LETTER. LETTERS EXTEND 1'-0 1/4" PAST TOP OF LOWER ROOF CANOPY.



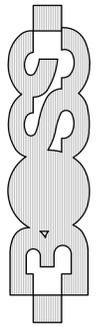
VIEW LOOKING NORTHWEST



VIEW LOOKING NORTH



CANOPY SIGN (N.T.S.)



CHRISTOPHER DAVIS
 KEVIN STEPHENSON

OWNERS:
 BRINKERHOFF HOSPITALITY, INC.
 LOCATION:
 10674 CABELA DRIVE
 LONE TREE, CO. 80124

ISSUE DATE:
 08 | 2015 (SITE IMPROVEMENT PLAN)

REVISIONS		
NUMBER	DESCRIPTION	DATE

SIERRA.GRILL

BODS ARCHITECTURE
 2546 15TH STREET
 DENVER, COLORADO 80211 USA
 303.377.6322 P
 303.377.6326 F
 WWW.BODSARCH.COM

DRAWING TITLE:
EXTERIOR SIGNAGE
 DRAWING NUMBER:
18 OF 18

From: [Olson - DNR, Justin](#)
To: [Hans Friedel](#)
Cc: [Eliza Hunholz - DNR](#); [Suzie Cooper - DNR](#)
Subject: Lone Tree Land Use: RidgeGate Fil 18, Lot 4-A (SP16-54R, amending SP15-72R)
Date: Thursday, August 11, 2016 11:35:53 AM

Mr. Friedel-

Thank you for the opportunity to comment on the referral request for the proposed updates to the RidgeGate Fil 18, Lot 4-A Project under #SP16-54R and amending #SP15-72R for the Sierra Grill Restaurant. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

Upon review of the proposed referral request, Colorado Parks and Wildlife (CPW) has no objections to the updates moving forward as planned for approval.

Please do not hesitate to contact us about ways to continue developing and managing your properties in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact me at [\(303\) 291-7131](tel:3032917131).

Justin Olson
District Wildlife Manager
Littleton District - Area 5



P 303.291.7131 | F 303.291.7114
6060 Broadway, Denver, CO 80216
justin.olson@state.co.us | www.cpw.state.co.us

From: [Moore, Scott](#)
To: [Hans Friedel](#)
Subject: FW: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals
Date: Tuesday, August 02, 2016 1:24:34 PM

Comcast has no comments at this time. Thanks

From: information@cityoflonetree.com [mailto:information@cityoflonetree.com]
Sent: Tuesday, August 02, 2016 12:57 PM
To: Moore, Scott <Scott_Moore@cable.comcast.com>
Subject: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals

There is a City of Lone Tree referral request for your review. Referral comments are due back by August 16, 2016.

This is a referral request for proposed revisions to the exterior materials palette and design of the previously approved site improvement plan (SIP) for the Sierra Grill restaurant: [RidgeGate Fil 18, Lot 4-A, SP16-54R \(amending SP15-72R\)](#). The project location is the southeast corner of RidgeGate Parkway and Cabela Drive. The proposed changes will be processed as a minor amendment to the approved SIP with Planning Commission action. It is scheduled for the August 23, 2016 Planning Commission meeting.

Please forward any comments to hans.friedel@cityoflonetree.com by August 16, 2016.

For more information about other development projects in Lone Tree, please visit the [Development Proposals page](#).

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From: [Dan Avery](#)
To: [Hans Friedel](#)
Subject: Sierra Grill SIP Minor Amdt
Date: Monday, August 08, 2016 2:41:32 PM

Hans,

Thank you for the opportunity to review the site changes. Below please find responses from Douglas County:

Addressing Comments: No Comments

Engineering Comments: No Comments

Planner Comments: No Comments

Dan Avery, AICP | Chief Planner
Douglas County Department of Community Development
Address | 100 Third St., Castle Rock, CO 80104
Direct | 303-814-4332 **Main** | 303-660-7460
Email | davery@douglas.co.us

From: [Matt Archer](#)
To: [Hans Friedel](#)
Subject: FW: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals
Date: Tuesday, August 02, 2016 1:22:48 PM

Hans

Building Div has no comment for the SIP revisions. Once they are approved they will need to resubmit all the plan changes to the building div., noting all the revisions

Thank you

Matt Archer
Chief Building Official
9220 Kimmer Dr, Suite 100
Lone Tree, CO 80124
office – 303.708.1818
www.cityoflonetree.com

From: information@cityoflonetree.com [mailto:information@cityoflonetree.com]
Sent: Tuesday, August 02, 2016 12:57 PM
To: Matt Archer <Matt.Archer@cityoflonetree.com>
Subject: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals

There is a City of Lone Tree referral request for your review. Referral comments are due back by August 16, 2016.

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From: [Denslow, Denise](#)
To: [Hans Friedel](#)
Subject: Sierra Grill
Date: Tuesday, August 02, 2016 1:15:49 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

RRMD supports this project and is working with the property owner on infrastructure coordination.



Denise D. Denslow, Principal

Outsourcing, CliftonLarsonAllen LLP

Direct 303-265-7910, Mobile 303-903-9760

denise.denslow@CLAconnect.com

Main 303-779-5710 x37910, Fax 303-779-0348

8390 E Crescent Parkway, Suite 500, Greenwood Village, CO 80111

CLAconnect.com



WEALTH ADVISORY | OUTSOURCING | AUDIT, TAX, AND CONSULTING



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CliftonLarsonAllen LLP

From: [Linda Langewisch](#)
To: [Hans Friedel](#)
Subject: FW: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals
Date: Monday, August 15, 2016 10:54:00 AM

Good Morning:

The Board of Directors at RidgeGate West Village have no comment to the referral for the Sierra Grill.

Thank you,

Linda Langewisch, CAM, CMCA

Community Manager

MSI, LLC

6892 So. Yosemite Court Suite 2.101

Centennial, Co 80112

720.974.4273

Fax 303.751.7396

LLangewisch@msiho.com

From: information@cityoflonetree.com [mailto:information@cityoflonetree.com]

Sent: Tuesday, August 02, 2016 12:57 PM

To: Linda Langewisch <llangewisch@msiho.com>

Subject: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals

There is a City of Lone Tree referral request for your review. Referral comments are due back by August 16, 2016.

This is a referral request for proposed revisions to the exterior materials palette and design of the previously approved site improvement plan (SIP) for the Sierra Grill restaurant: [RidgeGate Fil 18, Lot 4-A, SP16-54R \(amending SP15-72R\)](#). The project location is the southeast corner of RidgeGate Parkway and Cabela Drive. The proposed changes will be processed as a minor amendment to the approved SIP with Planning Commission action. It is scheduled for the August 23, 2016 Planning Commission meeting.

Please forward any comments to hans.friedel@cityoflonetree.com by August 16, 2016.

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SOUTH METRO FIRE RESCUE

LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 www.southmetro.org FAX: 720.989.2130

August 4, 2016

Hans Friedel
Planner III
City of Lone Tree
9220 Kimmer Lane #100
Lone Tree, CO 80124

Hans,

I am writing to you in regards to SP16-54R Sierra Grill SIP Minor Amendment. I have reviewed the provided documents which consist of materials changes. As no changes to the site, access, or structure have changed I have no comments.

Respectfully,

Jeff Sceili
Plan Reviewer
720-989-2244



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

August 15, 2016

City of Lone Tree Community Development Department
9220 Kimmer Drive, #100
Lone Tree, CO 80124

Attn: Hans Friedel

**Re: RidgeGate Filing No. 18 Lot 4-A – Sierra Grill – 2nd referral
Case # SP16-54R [fka SP15-72R]**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the site improvement plan for **RidgeGate Filing No. 18 Lot 4-A – Sierra Grill** and has **no apparent conflict**.

Please be aware PSCo owns and operates existing natural gas and electric distribution facilities within the subject property. Should the project require any new gas or electric service or modification to existing facilities, the property owner/developer/contractor must contact the **Builder's Call Line** at <https://xcelenergy.force.com/FastApp> (register, application can then be tracked) or 1-800-628-2121 to complete the application process. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center**, at **1-800-922-1987** to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

From: [Brooke Decker](#)
To: [Hans Friedel](#)
Subject: RE: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals
Date: Tuesday, August 16, 2016 10:21:49 AM

Hans –

We have no comments on this project.

Thank you!

*Brooke Decker
GIS Specialist
Douglas County Assessor's Office
303.660.7450 x4284*

From: information@cityoflonetree.com [mailto:information@cityoflonetree.com]
Sent: Tuesday, August 02, 2016 12:57 PM
To: Marian Woodward
Subject: Lone Tree referral request for exterior revisions to Sierra Grill SIP - Comments due back Aug 16: Lone Tree Development Referrals

There is a City of Lone Tree referral request for your review. Referral comments are due back by August 16, 2016.

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Please forward any comments to hans.friedel@cityoflonetree.com by August 16, 2016.

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August 16, 2016

Hans Friedel
City of Lone Tree
9220 Kimmel Drive
Lone Tree, CO 80124

RE: Sierra Grill SIP Minor Amendment, SO16-54R
TCHD Case No. 4025

Dear Mr. Friedel:

Thank you for the opportunity to review and comment on the Minor Amendment to the Site Improvement Plan for a restaurant located at 10680 Cabela Drive. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comment.

Food Service Plan Review

Plans for all new and remodeled retail food establishments must be reviewed by TCHD for compliance with Colorado Retail Food Establishment Rules and Regulations and approved by the Department before the start of construction. The applicant shall submit plans for the proposed food establishment to our Administration Office at 6162 S Willow Drive, Suite 100, Greenwood Village, along with the Plan Review Specification Packet found at <http://www.tchd.org/DocumentCenter/View/2094>. More information can be found at <http://www.tchd.org/246/Restaurants-Grocery>. We recommend a review of the plans by THCD be completed before the City of Lone Tree issues a building permit for the construction. The applicant may call TCHD's Plan Review Hotline, at our Administrative Office at (303) 846-6230, regarding requirements for, and scheduling a plan review. Instructions for opening a retail food establishment can be found on line at TCHD's web site at <http://www.tchd.org/DocumentCenter/View/315>.

Physical Activity

Chronic diseases related to physical inactivity and obesity now rank among the nation's greatest public health risks. Because a growing body of research shows that thoughtful community designs can promote people walking or biking as part of their daily routines, TCHD strongly supports such "active community" designs. TCHD commends the applicant for providing sidewalks to connect the restaurant to other nearby businesses.

Sierra Grill, SP16-54R
TCHD Case # 4025
August 16, 2016
Page 2 of 2

Please feel free to contact me at 720-200-1580 or vrichard@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Vanessa Richardson', with a long horizontal line extending to the right.

Vanessa Richardson

Environmental Health Specialist II

CC: Sheila Lynch, Keith Homersham, TCHD