



Lone Tree City Council Agenda

Tuesday, April 15, 2014

Meeting Location: City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway.

Meeting Procedure: The Lone Tree City Council and staff will meet in a public Study Session at 4:30 p.m. At 6:00 p.m. and following the meeting, if necessary, the Council Meeting will adjourn and convene in Executive Session. If an Executive Session is not necessary, Council will recess for dinner. The Regular Session will be convened at 7:00 p.m. Study Sessions and Regular Sessions are open to the public, Executive Sessions are not. Comments from the public are welcome at these occasions: 1. Public Comment (brief comments on items not scheduled for a public hearing) 2. Public Hearings. Contact the City Clerk if special arrangements are needed to attend (at least 24 hours in advance).

4:30 pm Study Session Agenda

1. Kevin Spencer Community Residency Report
 2. Kaiser Permanente Grant Update
 3. Resolution 14-10, SUPPORTING A CHARTER AMENDMENT TO REQUIRE A MAJORITY VOTE FOR THE ELECTION OF MAYOR AND PROVIDING FOR RUNOFF ELECTIONS FOR MAYOR
-

6:00pm Executive Session Agenda

1. Roll Call
 2. Executive Session
-

7:00pm Regular Session Agenda

3. Opening of Regular Meeting/Pledge of Allegiance
 4. Amendments to the Agenda and Adoption of the Agenda
 5. Conflict of Interest Inquiry
 6. Public Comment
 7. Announcements
 8. Consent Agenda
 - a. Minutes of the April 1, 2014 Regular Meeting
 - b. Claims for the Period of March 24 – April 14, 2014
 - c. Treasurer's Report for February, 2014
 9. Community Development
 - a. Charles Schwab SIP 2nd Amendment #SP14-11R
 - b. Resolution 14-08, ADOPTING A PLAN FOR THE AREA WITHIN THREE MILES OF THE CITY BOUNDARY #MI14-20
 10. Administrative Matters
 - a. Resolution 14-09, APPOINTING A MEMBER TO THE YOUTH COMMISSION
 - b. Resolution 14-10, SUPPORTING A CHARTER AMENDMENT TO REQUIRE A MAJORITY VOTE FOR THE ELECTION OF MAYOR AND PROVIDING FOR RUNOFF ELECTIONS FOR MAYOR
 - c. Resolution 14-11, DESIGNATING LONE TREE ARTS CENTER AS THE SUCCESSOR ENTITY TO THE LONE TREE ARTS COMMISSION FOR FUNDS TO SUPPORT CULTURAL PROGRAMS
 11. Council Comments
 12. Adjournment
-

**MINUTES OF A REGULAR MEETING
OF THE COUNCIL OF THE
CITY OF LONE TREE
HELD
April 1, 2014**

A regular meeting of the Council of the City of Lone Tree was held on Tuesday, April 1, 2014, at 6:00 p.m., at the Lone Tree City Council Chambers located at 8527 Lone Tree Parkway, Lone Tree, Colorado 80124.

Attendance

In attendance were:

James D. Gunning, Mayor
Jacqueline Millet, Mayor Pro Tem
Harold Anderson, Council Member
Kim Monson, Council Member
Susan Squyer, Council Member

Also in attendance were:

Seth Hoffman, City Manager
Jennifer Pettinger, City Clerk
Steve Hebert, Deputy City Manager
Chief Jeffery Streeter, Lone Tree Police Department
Kristin Baumgartner, Finance Director
Kelly First, Community Development Director
Lisa Rigsby Peterson, Lone Tree Arts Center Director
Neil Rutledge, Assistant City Attorney, White, Bear and Ankele, P.C.
John Cotten, Public Works Director, TST, Inc.

Call to Order

Mayor Gunning called the meeting to order at 6:02 p.m., and observed that a quorum was present.

Executive Session

Mayor Gunning announced City Council intends to convene in Executive Session. Neil Rutledge, Assistant City Attorney, stated the Executive Session would be for the purpose of receiving legal advice on specific legal questions under C.R.S. Section 24-6-402(4)(b) regarding quasi-judicial actions by the City Council. Council Member Anderson moved, seconded by Council Member Squyer, for City Council to recess and convene in Executive Session for the reasons stated. The motion passed unanimously.

Council adjourned to an Executive Session at 6:02 p.m.

The Executive Session was adjourned at 6:19 p.m.

Mayor Gunning reconvened the meeting in Regular Session at 7:01 p.m., following a short recess.

Pledge of Allegiance

Mayor Gunning led those assembled in reciting the Pledge of Allegiance.

Amendments to the Agenda

There were no amendments to the agenda.

Conflict of Interest

There was no conflict of interest.

Announcements

Patrick Britti, Youth Commissioner, gave Council an update on the Youth Commission.

Public Comment

Doug MacGregor, thanked Council and Staff for the great job they are doing.

Announcements cont.

Mayor Gunning announced upcoming events.

Presentations

There were no presentations.

Consent Agenda

Mayor Gunning noted the following items on the Consent Agenda, which consisted of:

- § *Minutes of the March 18, 2014 Regular Meeting*
- § *Claims for the period of March 10-24, 2014*

Council Member Squyer moved, Mayor Pro Tem Millet seconded, to approve the Consent Agenda. The motion passed unanimously.

Community Development

RidgeGate Lincoln Commons Commercial/Mixed Use Sub-Area Plan #SA14-03R and RidgeGate Section 15 Filing No. 21 Subdivision Replat #SB13-43R

Kelly First, Community Development Director, introduced both items. Keith Simon, RidgeGate Development Director, also gave a presentation on the two items.

Council Member Monson moved, Council Member Squyer seconded, to approve RidgeGate Lincoln Commons Commercial/Mixed Use Sub-Area Plan #SA14-03R. The motion passed unanimously.

Mayor Pro Tem Millet moved, Council Member Anderson seconded, to approve RidgeGate Section 15 Filing No. 21 Subdivision Replat #SB13-43R, subject to the three conditions as noted in the staff report. The motion passed unanimously.

Public Works

Approval of Aggregate Industrial-WCE, Inc. Contract for the 2014 Asphalt Overlay Contract

John Cotten, Public Works Director, introduced the item.

Council Member Monson moved, Council Member Squyer seconded, to approve the contract with Aggregate Industrial-WCE, Inc. in the amount of \$789,292.25 for the 2014 Asphalt Overlay Program and authorize the Public Works Director to execute the contract documents. The motion passed unanimously.

Administrative Matters

Public Hearing: Hotel and Restaurant Liquor License Application for Cita Corp, LLC d/b/a Lyfe Kitchen (8505 Park Meadows Drive, Suite 2184A)

Mayor Gunning opened the public hearing at 7:32 p.m.

Jennifer Pettinger, City Clerk, introduced the item and introduced DJ Mitchell, III, applicant, and Carol Johnson, petitioner. Ms. Johnson answered questions from Council.

Mayor Gunning opened the public hearing at 7:37 p.m.

Mr. Britti asked the location of the restaurant.

The public hearing was closed at 7:38 p.m.

Council Member Anderson moved, Mayor Pro Tem Millet seconded, to approve a

new Hotel and Restaurant Liquor License for Cita Corp, LLC d/b/a Lyfe Kitchen at 8505 Park Meadows Drive, Suite 2184A. The motion passed unanimously.

Public Hearing: Ordinance 14-03, AMENDING THE MUNICIPAL CODE TO MODIFY THE DISTANCE RESTRICTION ON APPLICATIONS FOR CERTAIN NEW LIQUOR LICENSES, PURSUANT TO THE COLORADO LIQUOR CODE (Second Reading)

Mayor Gunning opened the public hearing at 7:40 p.m.

Neil Rutledge, Assistant City Attorney introduced the item.

Mayor Gunning opened the public hearing for comment at 7:40 p.m.

There was no public comment.

The public hearing was closed at 7:41 p.m.

Council Member Anderson moved, Council Member Monson seconded, to approve **Ordinance 14-03, AMENDING THE MUNICIPAL CODE TO MODIFY THE DISTANCE RESTRICTION ON APPLICATIONS FOR CERTAIN NEW LIQUOR LICENSES, PURSUANT TO THE COLORADO LIQUOR CODE** on Second Reading. The motion passed unanimously.

Approval of Commissioners' Choice Selection – Rita Derjue

Lisa Rigsby Peterson, Lone Tree Arts Center Director, introduced the item.

Mayor Pro Tem Millet moved, Council Member Squyer seconded, to approve the Lone Tree Arts Commission's recommendation to exhibit Rita Derjue for the Commissioners' Choice Program at Lone Tree Arts Center. The motion passed unanimously.

Resolution 14-06, APPOINTING A MEMBER TO THE PLANNING COMMISSION (Kline)

Council Member Anderson introduced the item. Council Member Squyer asked about Mr. Kline's term expiration and suggested it be amended to concur with Mr. Sauder's term expiration and Resolution 14-07 be amended the same.

Council Member Squyer moved, Council Member Monson seconded, to approve **Resolution 14-06, APPOINTING A MEMBER TO THE PLANNING COMMISSION (Kline)** as amended with Mr. Kline's term expiring on October 31, 2016. The motion passed unanimously.

Resolution 14-07, A RESOLUTION EXTENDING THE TERM FOR CITY COMMISSION, BOARD AND COMMITTEE MEMBERS

Neil Rutledge, Assistant City Attorney introduced the item.

Mayor Pro Tem Millet moved, Council Member Squyer seconded, to approve **Resolution 14-07, A RESOLUTION EXTENDING THE TERM FOR CITY COMMISSION, BOARD AND COMMITTEE MEMBERS** as amended with Mr. Kline's current term expiration as 10/31/2016. The motion passed unanimously.

Adjournment

There being no further business, Mayor Gunning adjourned the meeting at 7:56 p.m.

Respectfully submitted,

Jennifer Pettinger, CMC, City Clerk



CITY OF LONE TREE
FINAL STAFF REPORT

TO: Mayor Gunning and City Council
FROM: Kelly First, Community Development Director
DATE: April 2, 2014
SUBJECT: RidgeGate Lincoln Commons Commercial/Mixed-Use Sub-Area Plan
(Amendment to RidgeGate Retail District West Sub-Area Plan)
Project File #SA14-03R

Owner:

Lincoln Commons South, Inc.
1041 Third Avenue, 2nd Fl.
New York, NY 10065

Representative:

Coventry Development
Darryl Jones/Keith Simon
10270 Commonwealth St., Ste B
Lone Tree, CO, 80124

Planning Commission Meeting Date:
City Council Meeting Date:

February 25, 2014
April 1, 2014

A. CITY COUNCIL ACTION:

The City Council unanimously approved the application, with no conditions.

END



CITY OF LONE TREE
FINAL STAFF REPORT

TO: Mayor Gunning and City Council
FROM: Kelly First, Community Development Director
DATE: April 2, 2014
SUBJECT: RidgeGate Section 15 Filing No. No. 21
Subdivision Replat #SB13-43R

Owner:
Lincoln Commons South, Inc.
Rampart Range Metropolitan District No 1
RidgeGate Investments, Inc.

Representative:
Keith Simon
10270 Commonwealth Street
Lone Tree, CO 80124

City Council Meeting Date: April 1, 2014

B. COUNCIL ACTION:

The City Council unanimously approved the application, subject to the following conditions:

1. Final approval by the City of Lone Tree Public Works Department.
2. Prior to recordation of this plat, the proposed amendment to the applicable Sub-Area Plan (Lincoln Commons C/M-U Sub-Area Plan, Project # SA14-03R) shall be approved. (This has been satisfied. Council approved the Sub-Area Plan on April 1, 2014).
3. Prior to final approval, a note shall be added to the plat document indicating that prior to approval of a Certificate of Occupancy for any development within Filing 21 west of Belvedere Lane, the intersection of Arts Center Drive with Commons Street shall be constructed to be in alignment with the main drive entrance to the property to the west.

END

**FINDINGS AND REPORT TO STATE LICENSING AUTHORITY BY THE
CITY COUNCIL OF LONE TREE ACTING AS THE
LOCAL LICENSING AUTHORITY ON THE APPLICATION FOR A
HOTEL & RESTAURANT LIQUOR LICENSE**

Cita Corp, LLC d/b/a Lyfe Kitchen

A public hearing was held by the City Council of Lone Tree, State of Colorado, acting as Local Licensing Authority at approximately 7:00 p.m. on Tuesday, April 1, 2014 at 8527 Lone Tree Parkway, Lone Tree, Colorado, on the application of Cita Corp, LLC d/b/a Lyfe Kitchen, 8505 Park Meadows Drive, Suite 2184A, Lone Tree, Colorado 80124.

At said hearing, the following Members of the Council were present:

Mayor James D. Gunning
Mayor Pro Tem Jackie Millet
Council Member Harold Anderson
Council Member Kim Monson
Council Member Susan Squyer

Also present were:

Seth Hoffman, City Manager
Jennifer Pettinger, City Clerk
DJ Mitchell, III, Applicant
Carol Johnson, Petitioner

The Honorable Mayor James D. Gunning presided. The hearing was duly convened to consider the Application and conduct a public hearing thereon.

City Clerk, Jennifer Pettinger noted that the City Council was in receipt of a packet of information which contained copies of: the license application, franchise agreement, red-lined drawing of the premises, lease agreement, individual history records, articles of incorporation, Secretary of State's Certificate of Good Standing, Lone Tree business license application, affidavit of posting, affidavit of publication and petition submittal. She noted staff has reviewed all the documents and directed the information be made a part of the record.

City Clerk, Jennifer Pettinger gave a brief presentation concerning the application and provided evidence of posting to the Council. Ms. Pettinger introduced DJ Mitchell, III, Applicant and Carol Johnson, Petitioner. Carol Johnson answered questions about the petition.

The petitions supporting the application were reviewed and found to be in accordance with and in conformity with the City of Lone Tree Liquor and Fermented Malt Beverage Regulations and were accepted into evidence by the Authority.

Mayor Gunning opened the hearing for public testimony. No one came forward.

Following a brief discussion by the City Council, the hearing was closed to public testimony.

The City Council, acting as the Local Licensing Authority, having fully considered the application and testimony submitted by the Applicant, and the other evidence adduced at the hearing, NOW FINDS as follows:

Cita Corp, LLC d/b/a Lyfe Kitchen

Findings and Report to the State

1. The public hearing held with respect to said Application on Tuesday, April 1, 2014, was duly convened and the Council has jurisdiction to consider the Application as the Local Licensing Authority.
2. Applicant seeks approval of an application for a Hotel & Restaurant Liquor License at 8505 Park Meadows Drive, Suite 2184A, Lone Tree, Colorado 80124. The Application was submitted on a form prescribed by the State Licensing Authority pursuant to statute, and said application appears to be complete in all material respects. The required fees accompanied the application.
3. The Council has reviewed the Individual History Records of the owners and the managers. Council finds that the Applicant has satisfied the requirements of the Colorado Liquor Code and Regulations with respect to character, record, and reputation.
4. The Applicant has evidenced possession of the subject property through a lease agreement that will expire on January 31, 2024.
5. The premise was posted in accordance with the law, for a period of not less than ten consecutive days prior to the date of said public hearing on the application, and published notice was accomplished by publication in a newspaper of general circulation in Douglas County.
6. Petitions containing 154 valid signatures in favor of and 0 valid signatures in opposition to the issuance of the license were presented to and considered by the Council.
7. No one appeared in opposition.

The City Council, acting as the Local Licensing Authority, having considered and weighed the foregoing, as well as the facts and evidence adduced by the Council's investigation, expressions of opinion as to the needs and desires of the inhabitants of the neighborhood contained in the aforementioned Petitions and all other facts, data and testimony, NOW FINDS

that the Applicant has demonstrated, with respect to the application, that the needs and desires of the neighborhood are not adequately being served at this time.

Accordingly, the City Council hereby affirms its approval of the application of **Cita Corp, LLC d/b/a Lyfe Kitchen**, 8505 Park Meadows Drive, Suite 2184A, Lone Tree, Colorado 80124.

The City Council hereby authorizes and directs the Liquor Licensing Administrator to submit the necessary report and approved application to the State Licensing Authority in accordance with the law.

BY ORDER OF THE CITY COUNCIL OF THE CITY OF LONE TREE, COLORADO, acting as Local Licensing Authority.

CITY OF LONE TREE:

By: _____/s/_____
Jennifer Pettinger
Liquor License Administrator

Date: April 1, 2014



CITY OF LONE TREE
STAFF REPORT

Project Summary

Date: April 15, 2014 City Council Meeting

Project Name: Charles Schwab Office Campus SIP, 2nd amendment (Phase 2)
RidgeGate Section 15, Filing 19, Lot 1

Location: South of Lincoln Avenue, west of Park Meadows Boulevard and
north of Sky Ridge Avenue.

Project Type / #: SIP amendment / #SP14-11R

Staff Contact: Kelly First, Community Development Director

Meeting Type: Public Meeting

Summary of Request:

Amendment of the Charles Schwab SIP for Phase 2 development including the Third Office Building, a second parking garage, and enclosed pedestrian bridge and a small guard house.

Planning Commission Recommendation:

Approval by 6-1 vote.

Suggested Action: Approval, subject to conditions listed in this staff report.



CITY OF LONE TREE
STAFF REPORT

TO: Mayor Gunning and City Council
FROM: Kelly First, Community Development Director
DATE: April 8, 2014
FOR: April 15, 2014 City Council Meeting
SUBJECT: Charles Schwab Office Campus SIP, 2nd amendment (Phase 2)
RidgeGate Section 15 Filing 19, Lot 1
#SP14-11R

Owner:
Charles Schwab Co., Inc.
211 Main Street
San Francisco, CA 94105
Lone Tree, CO 80124
415-667-4712

Representative:
Kelly Dunn, Fentress Architects
421 Broadway
Denver, CO 80203
303-282-6088

Planning Commission Meeting Date: March 25, 2014
City Council Meeting Date: April 15, 2014

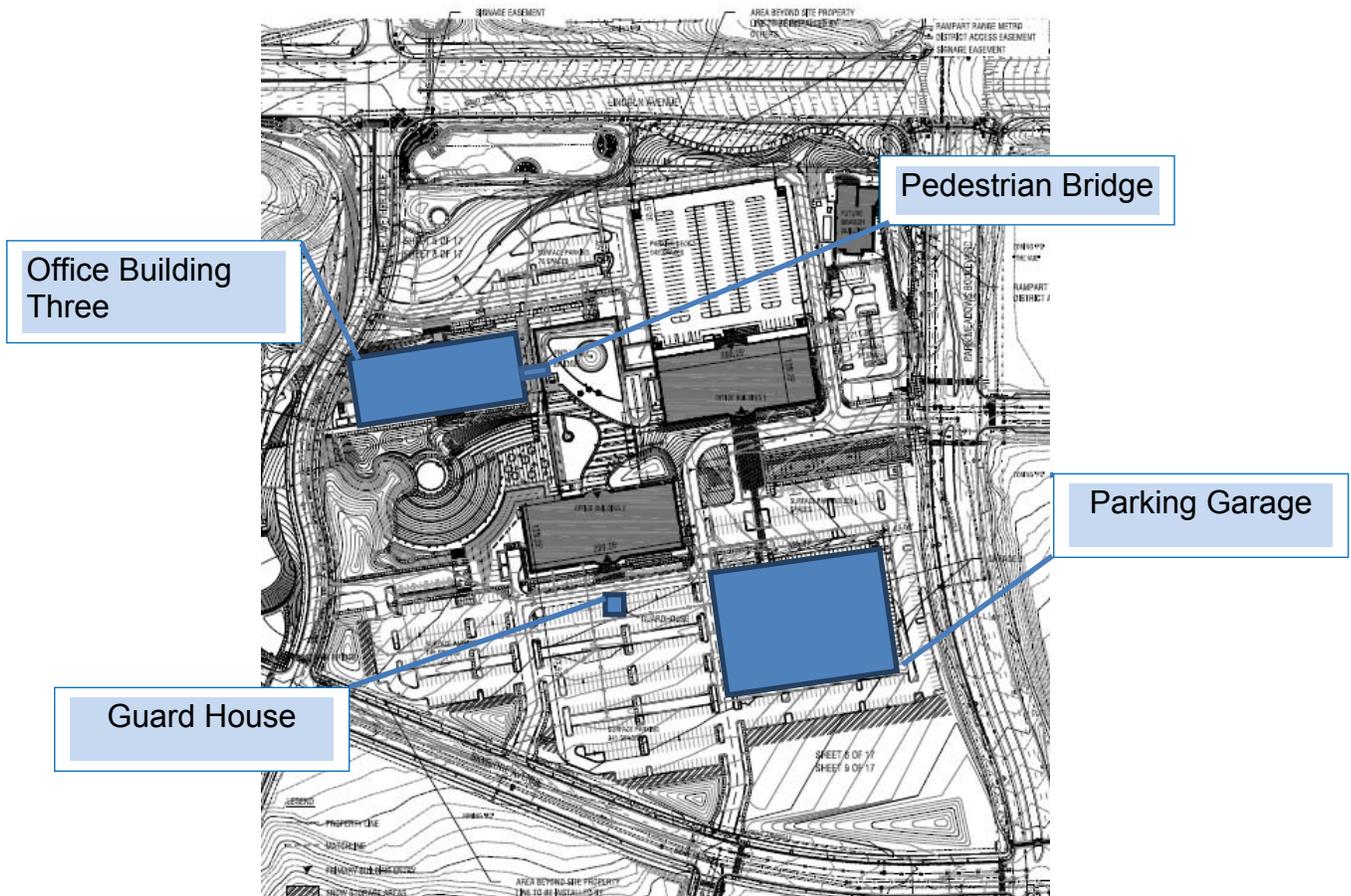
A. REQUEST:

Approval of a Site Improvement Plan (SIP) amendment for Phase 2 of the Charles Schwab Office Campus located on 32 acres in RidgeGate. This application involves a third, 187,500 square-foot office building, a second parking garage that will house 1,233 vehicles, an enclosed pedestrian bridge connecting the third office building to the amenities building, and a small guard house.

B. LOCATION:

The campus is located south of Lincoln Avenue, west of Park Meadows Boulevard and north of Sky Ridge Avenue. Undeveloped property also owned by the applicant is located south of Sky Ridge Avenue. The extension of Bellwether Lane north to Lincoln Avenue will also be completed with this project and will form the western boundary of the site.

The Willow Creek detention area and the Lincoln Commons commercial area are located beyond Bellwether Lane to the west.



C. SITE CHARACTERISTICS:

The site slopes generally from the south down to the northwest, with over 30 feet of fall from the southeast corner of the site to the northwest corner. The buildings on the campus are designed to step down with the topography from east to west. The site is currently under construction with Phase 1 improvements.

D. SERVICE PROVIDERS:

Water:	Southgate Water District
Sanitation:	Southgate Sanitation District
Police:	Lone Tree Police
Fire:	South Metro Fire Rescue Authority
Special Districts:	Rampart Range Metropolitan District

E. BACKGROUND:

The original SIP was approved by the City Council on March 19, 2013 and serves as the master plan for the campus. The master plan includes the overall site and building layout, parking, landscaping, grading, lighting and utility plan for the campus, as well as building details for Office Buildings One and Two, the amenities center and first parking garage. An amendment to the SIP was approved on June 25, 2013 for the retail branch building located at the southwest corner of Lincoln Avenue and Park Meadows Boulevard.

The Phase 2 improvements associated with this SIP amendment are consistent with the master plan. The guard house and pedestrian building connection were not originally anticipated and are detailed in this amendment.

This parcel is platted as Lot 1, RidgeGate Section 15, and Filing 19, which was approved by the City Council on September 18, 2012. The SIP is consistent with the plat, which established the lot, tracts and right-of-way alignments shown on this SIP. The use of the property is consistent with the RidgeGate PDD zoning.

F. DESCRIPTION:

Zoning.

The project is compliant with RidgeGate Planned Development District (PDD), 4th Amendment Development Plan. The site is within Commercial Mixed Use (C/M-U) Planning Area #2 of that PDD, which allows for a broad range of commercial/office/multi-family and other non-residential uses including office. The proposed building heights are less than that which is permitted by zoning (the office buildings are 5-stories; the PDD permits approximately 12-story buildings in this area). The project is in substantial compliance with the RidgeGate Office District Sub-Area Plan, with the general exception that it does not place buildings along Park Meadows Boulevard and a portion of Sky Ridge Avenue. That issue was evaluated as part of the original SIP and was determined to be an acceptable variation.

Access.

There are five vehicular access points into the site providing for multiple ways to distribute traffic. The main entrance from Park Meadows Boulevard aligns with Chatham Street to the east and will be a full signalized intersection. Two points of access are from Bellwether Lane

and two others from Sky Ridge Avenue. Visitors will primarily use the northernmost entries from Park Meadows Boulevard and Bellwether Lane, while employees will more often use the other points.

Pedestrian access and circulation are provided through an integrated system of trails and sidewalks throughout the site and with links to surrounding sites. The future traffic signal at Park Meadows Boulevard and Chatham will facilitate pedestrian connection between the site and uses to the east including the future Sky Ridge light rail stop. Access to the park and trail system and retail to the west of the site can be accommodated at the intersections of Bellwether Lane and Lincoln Avenue and Bellwether Lane and Sky Ridge Avenue.

Parking.

Parking for the campus will be accommodated by a combination of structured and surface parking. A parking variance was granted in conjunction with the master SIP that allows the campus to park at a much higher ratio than that which the City would typically require for office buildings. The City Zoning Code requires a ratio based on 1 space/300 square feet. However, based on the number of employees expected, a parking ratio of just under 6 spaces/1000 was requested and was approved. This SIP amendment is consistent with the parking approved with the original SIP.

During review of the original master SIP, staff had expressed concern about the extensive use of surface parking associated with Phase 1. At the time, the southeast portion of the site was planned as surface parking in the interim until it would be replaced with a parking garage as part of Phase 2. However, the accelerated timing of Phase 2 has allayed that concern. At full build out of Phases 1 and 2, the total amount of parking on site will be approximately 3,000 spaces. Of that, 2,182 spaces or approximately 73% of the total parking will be provided in the two parking garages. This helps reduce the visual and environmental impacts of surface parking while still meeting the projected parking demands of the campus. Additionally, the owner believes that parking demand may be reduced over time as employees take advantage of the future light rail and adjust driving habits. If that is the case, surface parking could be further reduced by being replaced with potential future building phases on the south side of the site, or absorbed for use by future buildings.

Building Design.

Office Building Three:

The office building size, height, massing and architectural design is replicated on all three buildings of the campus with materials consisting of earth-toned, pre-cast concrete and glass curtain wall systems. Office Building Three is consistent with the design approach that was established and approved with the original SIP. This building will incorporate an enclosed pedestrian bridge at the east end, connecting it at the second floor with the upper level of the amenities building. The design of the bridge is in keeping with the overall architectural character of the buildings.

Parking Garage:

The parking garage will be 5 levels (approximately 30 feet lower than the height of the 5-story office buildings), and will accommodate 1,233 vehicles. Like the first parking garage, materials consist of architectural precast panels. A darker, textured precast will be used at the lower level to serve as a base, and the upper levels will have a smoother buff-colored precast. The primary pedestrian entry into the garage is marked by a vertical circulation tower near the northeast corner of the structure. The height of the tower projects above the main height of the structure, serving as a focal point, and the tower will contain the elevator and stairs will a glass curtainwall.

Given the character of the architecture that has already been approved for the campus, and the context of the garage location as a secondary focus of the campus, staff feels that the design of the garage is appropriate and consistent with the City's Design Guidelines. Landscaping around the perimeter of the structure, combined with landscaping along Park Meadows Boulevard, will help soften the appearance of the garage. The RidgeGate DRC has reviewed and approved the design.

Guard House:

The proposed guard house is positioned central to the campus, just south of Office Building Two and is aligned with the entrance to that building. This small structure incorporates the same materials and colors used elsewhere on the office buildings, including a sandstone base, which is also used for the retail branch building. Staff supports the guardhouse location and design as it appears integrated with the campus and will be constructed with the same level of quality materials as the main buildings. The RidgeGate DRC also approved the design of the guardhouse.

Landscaping.

The landscape associated with Phase 2 is largely consistent with the approved Phase 1 landscaping. A minor refinement has been made along the north side of Office Building Three, with some adjustment from evergreen to deciduous trees, resulting in a net increase of 5 trees in that area. The modified design helps reinforce the formal pedestrian route and entry to the building.

Rows of elm trees are planned along the north and south sides of the parking garage, and oak trees will be planted in the medians on the east and west sides of the garage. A mix of evergreen and deciduous trees along Park Meadows Boulevard will help break up views of the garage from the east. The applicant is coordinating with the Rampart Range Metro District on streetscape plans and how they are integrated with landscaping on site.

Lighting.

All lighting associated with the site is consistent with the master SIP and City requirements. Light poles will be included on the top deck of the parking garage. They are 15' tall poles and will have cutoff, LED fixtures that match the type used elsewhere on the campus. Lighting is detailed on Sheet 14 of the SIP.

Signage.

As part of the original SIP, the applicant sought and received approval by the Planning Commission to allow a fifth freestanding sign for the campus. That request was approved, provided that the office building wall signage would be limited to no more than two signs per office building. A condition of approval has been added to track that requirement specific to Office Building Three.

G. PLANNING COMMISSION RECOMMENDATION:

The following has been taken directly from the minutes of the March 25, 2014 planning Commission meeting:

1.Charles Schwab Office Campus SIP, 2nd amendment (Phase 2)
RidgeGate Section 15 Filing 19, Lot 1, #SP14-11R.

Ms. First introduced the item, describing the nature of the application, the project location and the overall SIP for the campus approved in March 2013. She noted that the amendment includes approval for the design of the third planned office building, a second parking structure, an enclosed pedestrian bridge, and a small guardhouse. She described the referral process and concluded with staff's finding that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code,

the Subdivision Code, the Comprehensive Plan, City Design Guidelines and the RidgeGate Sub-Area Plan. She said that staff recommends the Planning Commission approve the SIP amendment, subject to final approval by the City Public Works Department and subject to the maximum amount of building signage being limited to no more than two wall mounted identification signs per office building, as described in the staff report.

Ms. First introduced Kelly Dunn, with Fentress Architects. Ms. Dunn provided a brief overview of the application and indicated that her client is in agreement with the condition regarding building signage.

Mr. Craig Vickers, with Civitas Inc., provided an overview of the site features of the campus including circulation elements, landscaping design and cross sections that showed the relationship of the grades and the proposed landscaping.

Ms. Dunn then reviewed the proposed building materials and colors, noting that architectural features, materials and colors of Building Three are a continuation of the other two office buildings. She presented images of the proposed parking garage, describing how landscaping will screen the view of the garage. She noted that Schwab is working with the City of Lone Tree on the shuttle program that will provide transportation for employees from the Lincoln Station, and how the company will encourage use of public transportation. She noted that the proposed pedestrian bridge will provide a way for employees of Building Three to access the Amenities Building without going outdoors in inclement weather. She then reviewed the proposed guardhouse location and design. Ms. Dunn also noted that, at the City's request, the southeast corner of the site is being reserved for potential future development, and will not be used for surface parking.

Commissioner Steele inquired about the purpose of the proposed guardhouse. Ms. Dunn indicated that would have full power and be attended at times. It serves as a central point for the roving security personnel on the campus. Commissioner Steele asked if there were other pedestrian bridges planned in the future. Ms. Dunn replied that there is only one bridge needed, as the other two office buildings connect with the amenities building at their basement levels.

Commissioner Mikolajczak commented that he was pleased to see the second phase happening sooner than originally planned and said the campus is a signature piece for Charles Schwab and for Lone Tree. He said he liked the natural appearance of the landscaping design. He said he was initially concerned about the look of the first parking garage but now that it is constructed he feels it blends in quite well. He noted that the

second parking garage won't sit into the topography like the first one, but that views of it from the south may eventually be blocked by development. Ms. Dunn added that there could potentially be development planned south of the second garage, but that nothing was planned at this time.

Commissioner Carlson said she echoed Commissioner Mikolajczak's comments and likes the landscape design. She said the proposal was consistent with what was presented last year and she had no additional comments.

Commissioner Kirchner said he initially questioned the guardhouse but the applicant's explanation of its purpose made sense. He indicated support for the design of the parking garage in terms of how it blends in with the campus. He had initially wondered about the grade change at the pedestrian bridge but felt the applicant had addressed that in the presentation. He indicated he had nothing but a positive reaction to the project.

Commissioner Godden asked for clarification about why the site is so over-parked compared to the City's parking requirement. He said it was not clear what "density of use" means, as referenced in the application materials. Ms. Dunn responded that the amount of parking is based on the number of employees Schwab will have on the campus, which will be between 3200 and 3500 employees. She said that ease of parking is very important for employee retention. She also stated that Schwab intends to incentivize alternative transportation for employees. Commissioner Godden asked whether there are staggered shifts. Ms. Dunn replied that about 85% of employees will arrive between the 7:30am-8:30am peak time, with a few arriving earlier or later. Commissioner Godden said it seems excessive and expensive to build that much parking. He also asked for clarification about references that parking would be reduced over time. Ms. First responded that Schwab believes parking demand may be reduced over time as employees use alternative modes of transportation and travel patterns change. She said it was conceivable that the campus parking could be absorbed for use by future development. The intent was to preserve undeveloped land at the south side of the campus so as not to preclude that possibility in the future. Commissioner Godden said that would be a positive scenario.

Commissioner Sippel said she appreciates the use of native grasses. She said she was also concerned about the extensive amount of parking, almost double the City's parking requirements. She asked if all of the surface parking shown on the plan would be constructed in Phase 2. Ms. Dunn replied that it would. Ms. Dunn pointed out that the light rail extension to the Sky Ridge stop is not in place yet and they are constructing enough parking to meet the needs of the employees.

Commissioner Sippel asked if they knew the percentage of employees who would use light rail. Ms. Dunn said that was unknown at this time. Commissioner Sippel also stated her concern about the large amount of surface parking on site in addition to the parking garages. Commissioner Sippel asked about snow storage. Mr. Vickers pointed out the designated storage locations, primarily at the south end of the site. Commissioner Sippel asked whether the irrigation system would have rain sensors. Mr. Vickers replied affirmatively and said the irrigation system is state-of-the-art in terms of water conservation. Water conservation is a critical part of obtaining LEED gold and platinum status.

Commissioner Sippel expressed concern with the extensive use of one tree species and the tightly spaced rows of elm trees along the parking garage and walkways. Specifically, she noted that good elm tree spacing is shown in the center of sheet 8 of 17 and with the 4 trees on the top left of sheet 9 of 17; whereas the remaining elm trees on sheet 9 of 18 are too tightly spaced for their mature growth (indicated by the overlapping circles). She said the extensive use of the same species of trees and tight spacing can spread disease quickly. Mr. Vickers responded that there is tremendous diversity of plants and trees throughout the site and that the areas where trees are concentrated is intentional to provide uniformity and focal points. Commissioner Sippel noted that CSU is currently conducting a study regarding elm disease in several states including Colorado. Mr. Vickers said they would be using a disease-resistant species. Commissioner Sippel said that while she understands that CSU studies indicated that Prospector Elms, proposed here, were found to be one of the healthier elm species, they should be spaced according to their mature width rather than their initial planting width. Spacing them so closely together would not only require extensive pruning and maintenance, but greatly increases the potential for disease. Any diseased elms would have to be completely removed, including digging up roots, which would be very disruptive to a maturely landscaped campus.

Chair Sauder said he shares concerns regarding parking. He also felt the layout was problematic relative to traffic impacts at I-25 and Lincoln Avenue and that the left turn movement from the I-25 off-ramp at Lincoln onto Park Meadows Boulevard is already a big problem. He said he had strong concerns regarding the amount of additional traffic adding to existing problems at Lincoln and I-25. Commissioner Steele added that it was also a concern considering that emergency vehicles use this route to get to Sky Ridge Hospital. Chairman Sauder said the City should be requiring a thorough analysis of traffic impacts as part of this project. Commissioner Sippel also expressed concern about the traffic impacts and reiterated the previous promise from Charles Schwab at the initial meeting when they said they would tell employees driving to the campus

to use the RidgeGate exit and come north or if exiting at Lincoln, they should use the Bellwether left turn lane.

Chair Sauder also asked about the safety of the pedestrian area on the north side of Building Three. Mr. Vickers clarified that there are no ramps in this area; the site is designed to use the fall in grade to eliminate the need for ramps. Additionally, the pavement would be heated below the surface so that snow and ice would not build up on the north side. Chair Sauder then asked if there would be a guardhouse on the north side of the campus as the current location alone did not seem very central or offer an ability to view the north side of the campus for security purposes. Ms. Dunn replied that there will be security cameras throughout the site.

Commissioner Mikolajczak recalled that Public Works Director John Cotten presented at an earlier meeting and described traffic as an overall issue and not one that was specific to Charles Schwab. Commissioner Mikolajczak said he was glad the issue of traffic was raised at this meeting and feels it must continuously reviewed by the Planning Commission. Commissioner Mikolajczak noted that he recently attended a couple public forums where the Mayor spoke and had commented that traffic was one of the Mayor's top priorities, which Commissioner Mikolajczak feels provides the leadership and support needed to address a complex issue. He then indicated that he recognizes and greatly appreciates when corporations step up to provide sponsorship of community events and services, and that includes Schwab's offer of public use of its amphitheater and being on the team to develop the Park Meadows Drive shuttle.

Commissioner Steele asked about the timeline for construction. Ms. Dunn explained that the retail branch would have a soft opening on May 5th. Buildings One and Two, the amenities building and first garage would begin occupancy in mid-September and be phased in through the end of the year. They expect garage two could be completed by the end of 2014. Building Three could have a spring of 2015 occupancy. She said they are making every effort to get large cranes off the site before it is occupied by a lot of people. Mr. Vickers said that all of the landscaping would be installed with Phase 1 with the exception of the amphitheater area, which will be used as a construction staging area for Building Three.

Commissioner Godden expressed support for the design of the parking garage but said he wants to stay true to his original concerns about the office building architecture. He asked for clarification about whether the architecture of that building was part of this amendment. Ms. First indicated that it was. Commissioner Godden said his concerns were the same as expressed at the meeting for the original SIP, where he said he felt that the architecture barely met the City Design Guidelines. He said staff shared that concern. For a project of this significance, he felt the

architecture should be exemplary and meet the community's expectations, not just the client's. He also reiterated his concern with the form of the site plan, saying the suburban corporate campus layout does not fit into the urban template of RidgeGate.

Commissioner Sippel reiterated her concern regarding the use of so many elm trees along with their close spacing and said if they need to be dug up and replaced it will involve a lot of effort and disruption to the site. There was consensus that this issue would be expressed as a recommendation rather than a condition.

Commissioner Mikolajczak moved to approve the application subject to the following conditions recommended by staff,

1. Final approval by the City of Lone Tree Public Works Department;
2. The maximum amount of office building signage shall be limited to no more than two wall mounted identification signs per office building. It is understood that all signage is subject to administrative sign permit approval;

and the recommendation that the applicant re-evaluate the use of elm trees and the proposed tight spacing of the elms due to the potential for and transfer of disease between trees.

Commissioner Kirchner seconded the motion, which passed with 6 affirmative votes. Commissioner Godden voted no, for reasons stated in the discussion.

H. REFERRALS:

The RidgeGate DRC has approved this project and a letter is included in the packet.

Referral agency comments received to date have indicated no objections to the project or have included general comments of a procedural or technical nature that are not expected to significantly impact the SIP.

A standard condition of approval is recommended to ensure approval by the City's Public Works Department prior to final SIP approval.

I. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, City Design Guidelines and the RidgeGate Sub-Area Plan.

Staff recommends approval of the SIP to City Council, subject to the following conditions:

1. Final approval by the City of Lone Tree Public Works Department.
2. The maximum amount of office building signage shall be limited to no more than two wall mounted identification signs per office building. It is understood that all signage is subject to administrative sign permit approval.

END

City of Lone Tree

Department of Community Development
9220 Kimmer Drive Suite 100
Lone Tree, CO 80124
Ph: 303-708-1818 Fax 303-225-4949

DEVELOPMENT APPLICATION FORM

◆ OFFICE USE ONLY ◆

PROJECT NAME: Schwab Lone Tree

PROJECT FILE # SP14-112

REQUEST: Site Improvement Plan (SIP) Revision 2
Major Amdt to SP12-592

SITE LOCATION: Lincoln Ave and Park Meadows Blvd

(Nearest Intersections)

DATE SUBMITTED: 3 March 2014

OWNER:

Name: Charles Schwab Co., Inc.
Address: 211 Main Street
San Francisco, CA
Phone: 415-667-4703 FAX:

FEES: \$1000 - PD
(Engineering fees are not included)

AUTHORIZED REPRESENTATIVE:

Name: Fentress Architects Fax: 303-722-5080
Address: 421 Broadway, Denver, CO 80203 Email: dunn@fentressarchitects.com
Phone: 303-282-6088 Business/Project Name: Schwab Denver Service Center

LEGAL DESCRIPTION (site address): 9800 Schwab Way, Lone Tree, CO 80124

PROJECT INFORMATION:

Subdivision Name: RidgeGate Section 15 Filing #: 19 Lot # (if 1 Block #:
Planning Area # (if PD) appropriate):

PRESENT ZONING: CM-U (When rezoning) - PROPOSED ZONING N/A

GROSS ACREAGE: 32 acres # of units (residential)

Unit type:

FIRE DISTRICT: South Metro METRO DIST: Rampart Range

WATER: SouthGate ELEC: Xcel

SEWER: SouthGate GAS: Xcel

Further submissions pursuant to this application may include any and all development proposals, submissions, applications and procedures that may be made or initiated under the City of Lone Tree Charter, ordinances, rules, regulations, guidelines or policies including, without limitation, those for any of the following: (i) annexation; (ii) zoning or re-zoning, including any development plan for zoning within the Planned Development (PD) District; (iii) preliminary PD or PUD site plan, or related design guidelines or development standards; (iv) final PD or PUD site plan; (v) Site Improvement Plan; (vi) any master or general development plan, sub-area plan, site plan or similar development plan, however denominated, which may be provided for under any PD development plan or any other zoning; (vii) Sketch Plan, Preliminary Plat or Final Plat; or (viii) any amendment made to any of the foregoing, as applied for or as approved. *To the best of my knowledge, the information contained on this application is true and accurate.*

APPLICANT SIGNATURE: Catherine Dunn Date: 3 March 2014

APPLICANT'S NAME (PRINTED): Catherine Dunn

Project Narrative: Charles Schwab Colorado Campus

Lincoln Avenue, Lone Tree, Colorado
20140006 | Fentress Architects | 18 March 2014

Charles Schwab Co., Inc. sees great potential for business in the Colorado market. Their existing building leases are expiring, and they wish to make a greater commitment to the Colorado market by building a campus. As a result of this decision, Schwab hired several architects to perform exhaustive studies of potential sites in the south metro area. Subsequently, Schwab selected the RidgeGate site for the new facility.

General Information

The new campus is being developed by Charles Schwab Co., Inc. out of their headquarters at 215 Main Street, San Francisco, California. The following team that has been selected to design and document the campus and the buildings for Schwab:

- Architect: Fentress Architects, 421 Broadway, Denver, Colorado 80203
- Landscape Architect: Civitas, Inc., 1200 Bannock Street, Denver, Colorado 80204
- Civil Engineer: Martin/Martin, 12,499 W Colfax Avenue, Lakewood, CO 80215

Legal Description

Lot 1, RidgeGate-Section 15 Filing No. 19, located in the north half of Section 15, Township 6 South, Range 67 West of the 6th Principal Meridian, City of Lone Tree, County of Douglas, State of Colorado.

Zoning

The site that Schwab has selected for the campus is located within the RidgeGate Planned Development District, and subsequently, under the Sub-Area Plan, presented by Coventry Development and approved by the City of Lone Tree. Existing adjacent uses include multifamily residential uses to the east, institutional to the southeast, commercial uses west of Willow Creek Open Space, and single family residential north of Lincoln Avenue. RidgeGate is envisioned to be a "city in the landscape," and this campus will provide a focal point in the district.

Development Impacts

The Schwab Campus will be integrated into the RidgeGate Planned Development District. The campus design is based on optimizing the "Colorado Lifestyle" for employees and clients. This principle creates a pedestrian campus that expresses the values, reputation, and culture of the Schwab organization. The campus itself is designed to create a beautiful and strong identity within the community.

The buildings have been located for solar orientation and to optimize the views to Mount Evans, Indian Peaks, Longs Peak, and the downtown Denver skyline from within the site and within the buildings. In addition to maximizing views, this strategy also nestles the buildings into the existing site topography, and allows use of the buildings to step down in elevation as one

move from east to west. The northern parking garage will be built into the existing topography and trees are strategically placed along the Lincoln Avenue edge to minimize view impacts of the parking garage while traveling toward the east along Lincoln Avenue, and the southern parking garage will be integrated into the landscape and concealed from Park Meadows Boulevard by the streetscape berms.

Close attention has been given to how employees, visitors, and residents surrounding the campus will move into and through the campus to retail areas to the west and north. The pedestrian system developed for the site links directly to adjacent amenities including future light rail, daycare, restaurants, and the park/open space system of the City of Lone Tree. The perimeter landscape expresses the character of the Colorado foothills prairie, visually linking the campus to the mesas and foothills beyond and includes a wide trail system that promotes a healthy lifestyle by supporting lunchtime walks. These same values are found in the RidgeGate Master Planning documents. To this end, the campus will fit seamlessly within the larger mixed use community.

Carefully planned arrival and departure sequences are designed to distribute vehicular traffic and lessen impacts of traffic on neighboring uses. The site has two driveways exiting onto Bellwether, and exiting two onto SkyRidge. The main driveway exiting onto Park Meadows will be signalized at the time of the campus occupancy. The Bellwether-Lincoln and Park Meadows-Lincoln intersections are also signalized.

The highly organized plan is designed to allow for future expansion beyond Phase 1 and 2 to occur without disruption of the previously constructed areas. These future phases might be developed along the south edge of the site, creating a more urban edge along Sky Ridge Avenue and strengthening the connection between the future light rail stop and Willow Creek Open Space.

Compliance with Intent and Approved Standards

The Schwab campus design embraces and aligns with the City's desire to promote quality design that strengthens the economy and promotes a healthy and sustainable community. The campus will provide a substantial job base within an emerging residential and commercial mixed use community and will attract new residents who wish to relocate closer to their jobs.

The site design supports a healthy lifestyle and contributes to a healthy community by prioritizing access to local and regional pedestrian and bicycle connections. In addition, site access is designed to tie into the existing and future neighborhood street network to provide continuity of the pedestrian sidewalk network. The site is also designed to provide strong connectivity to the future light rail station. The primary site entry from Park Meadows Boulevard includes a tree lined, pedestrian scale promenade that connects the core of the campus to bus routes along Park Meadows and to the future light rail stop east of the campus. Until the SkyRidge light rail station opens, the Schwab campus will be served by a shuttle that will give employees a ride to the Lincoln light rail station. The southern edge of the campus along Sky Ridge Boulevard is designed as an extension of Willow Creek Open space and will include a multi-use path connecting the regional trail system to Park Meadows Boulevard and the future light rail stop.

The City of Lone Tree's Comprehensive Plan vision statement "Ensure a lasting, quality environment for the evolving Lone Tree Community" is one of the reasons the site was chosen for this new Schwab campus. When studying options for the new campus location, Schwab considered several sites in the south metro area. Selection of the RidgeGate site was based upon the vitality of the community, the ease of access to the campus by car, rail, bicycle and foot, and the adjacent amenities.

Project Scope

In 2013, the RidgeGate Design Review Board and the City of Lone Tree Schwab approved the Master Plan for the campus, and construction started on Phase 1 of the campus, which consists of:

- Two Office Buildings – approximately 187,500 square feet of office space, 5-stories, precast structure and skin and curtainwall windows. The office buildings are targeting LEED Gold Certification.
- The Amenities Center – approximately 75,000 square feet, consisting of a large cafeteria and training center, as well as central services for the entire campus. The Amenities Center is also targeting LEED Gold Certification.
- The Retail Branch – approximately 17,000 square feet, consisting of offices and conference and seminar rooms in which Schwab customers are able to get one-on-one help to make decisions about their money. The retail Branch is targeting LEED Platinum Certification.
- One Parking Garage – parking 949 cars on four levels.

The next stage of the build-out of the campus adds a third office building and a second garage as Phase 2 of the campus development, and Schwab has now authorized their design team to move forward with those buildings. The new construction will consist of:

- A Third Office Building – approximately 187,500 square feet, located on the west side of the campus as shown on the approved Master Plan. The building will be identical to the first two buildings in size, height, and materials. We understand that no approval process is required for this building.
- A Bridge – running between Office Building Three and the Amenities Center, the bridge provides an enclosed link between the buildings, allowing the employees to move through the campus in a protected manner when there is inclement weather.
- A Second Parking Garage – parking 1,233 cars in five levels, and located as shown on the approved Master Plan. The design of this garage will be precast spandrels that carry through the aesthetic vocabulary created by the other campus buildings. We understand that Schwab is entitled to build this building, and the approval process will consist only of review of the design of the building.
- A Small Guard House – the guard house will be approximately 45 square feet and will be located to the south of Schwab Way and aligned with the entrance to Office Building 2. This small structure will be designed to continue the aesthetic vocabulary of the Retail Branch, with a base of Colorado Buff sandstone, a ribbon of windows for 360 degree visibility, and a membrane roof with aluminum fascia. This is a new building, not previously shown on the Master Plan, and we understand that it will require approval for its location and design.

Development Phasing

The Schwab campus is approximately 32 acres and is being developed in two phases. The first phase consists of the retail branch, two office buildings, the Amenities Center, and one parking garage. These two office buildings will accommodate the current Colorado staff of about 2,100 people. Schwab intends to officially relocate their address upon opening the Branch on May 5, 2014. The balance of the Schwab RidgeGate campus is planned for occupancy beginning in September 2014.

The second phase, which is the subject for this SIP consists of Office Building 3 and Parking Garage 2. Additionally, the project will have a bridge that connects Office Building 3 to the Amenities Center, and a Guard House that is central to the campus.

The site has been carefully designed in a manner that fulfills the clients desire to create a cohesive campus core while preserving the periphery of the site for potential future build-out in a more urban form.

Sustainability

Schwab is acutely aware of their responsibility to the community and to their employees to create a sustainably designed campus. One of the reasons they chose to build their new facility in RidgeGate is the opportunities offered for public transportation and engagement in the community. The Office Buildings and the Amenities center are currently targeting LEED Gold Certification and the Retail Branch is Targeting LEED Platinum Certification. Among the ways that Schwab is implementing sustainability in the campus are:

- Schwab plans to encourage the use of public transportation by implementation of a coupon incentive system for employee use of the light rail. Initially, they will provide a shuttle service to the Lincoln rail station, and when the Sky Ridge station is built, their employees will use that station.
- Schwab will support the use of electric vehicles and ride-sharing by providing preferred parking.
- Schwab will be providing secure bicycle storage, locker rooms, and showers for employees to support the use of the regional bicycle path network.
- With these measures implemented, Schwab will continue to assess the parking needs garage in anticipation that incentives for alternate transportation modes will result in a decreased need for parking.
- The Schwab campus will be designed with a significant area of native plant materials in order to reduce usage of irrigation water.
- Water-saving plumbing fixtures will be used throughout the campus.
- Schwab has a strong recycling program. In their existing facility, their waste hauler (Alpine Waste Management, who also handles their recycle materials) reports that many months, the facility recycles as much as 60% of their waste. This is over and above the shred service required to handle sensitive documents, which are also recycled. Alpine accepts comingled recycling, so paper, glass, plastics, and, metals are included in the recycling program.
- In the café, Schwab will be implementing a composting program. This program, also provided by Alpine, accepts all vegetable and animal products, as well as tissue paper, for composting. Compost material will be removed from the site daily. As a result of the waste-handling by recycling and composting, Schwab expects to significantly reduce the materials that go into the landfill.

Variances

As a part of this SIP, Schwab is requesting a variance from the city of Lone Tree parking regulations. The campus will be very dense, as several areas contain call center employees. Although Schwab encourages use of public transportation, they must accommodate employees that drive to work, and thus, the campus has parking that far exceeds the Lone Tree required parking ratios.

Statement of Design Intent: Charles Schwab Colorado Campus

Lincoln Avenue, Lone Tree, Colorado
20140006 | Fentress Architects | 18 March 2014

Overall Design Concept

Briefly describe the use and overall concept for the project as a whole.

The Schwab campus design embraces and aligns with the City's desire to promote quality design that strengthens the economy and promotes a healthy and sustainable community. The campus will provide a substantial job base within an emerging residential and commercial mixed use community and will attract new residents who wish to relocate closer to their jobs. The City of Lone Tree's Comprehensive Plan vision statement "Ensure a lasting, quality environment for the evolving Lone Tree Community" is one of the reasons the site was chosen for this new Schwab campus. Selection of the RidgeGate site was based upon the vitality of the community, the ease of access to the campus by car, rail, bicycle and foot, and the adjacent amenities.

The campus is designed to relate to the characteristics of the surrounding environment, taking advantage of the landscape, views, and amenities that surround the campus. Nested into the existing topography, the complex creates outdoor spaces that encourage gathering, including dining terraces and an events garden. The refined central areas give way to native landscape, blending into the nearby Willow Creek green belt and supporting passage into those natural areas. Buildings are oriented to maximize views and solar exposure, and their envelopes recall the native colors and textures found in the natural context.

The highly organized plan is designed to allow for future expansion beyond Phase 1 and 2 to occur without disruption of the previously constructed areas. These future phases might be developed along the south edge of the site, creating a more urban edge along Sky Ridge Avenue and strengthening the connection between the future light rail stop and Willow Creek Open Space.

Context and Site

Describe how the project relates functionally and visually to the context of the surrounding area (consider issues of form and character; the natural environment; vehicular and pedestrian access and circulation systems, etc.).

The Schwab Campus will be integrated into the RidgeGate Planned Development District. The campus design is based on optimizing the "Colorado Lifestyle" for employees and clients. This principle creates a pedestrian campus that expresses the values, reputation, and culture of the Schwab organization. The campus itself is designed to create a beautiful and strong identity within the community.

Materials throughout the campus have selected to recall the colors and textures present in the Colorado landscape. Buildings are designed to recall the color of Colorado Buff sandstone, and simple powerful forms rest quietly in the landscape. The envelope of the Amenities Center and Parking Garage 1 express the stratification found in the earth forms in the area.

Landscape, particularly at the perimeter of the site, draws on the native plants and grasses that require little water, and enhance the environment year-round.

Public Realm

*Describe how the project **contributes to an inviting, safe and functional public realm** (consider public spaces, street/sidewalk – level experience, lighting, landscaping and signage).*

The site design supports a healthy lifestyle and contributes to a healthy community by prioritizing access to local and regional pedestrian and bicycle connections. In addition, site access is designed to tie into the existing and future neighborhood street network to provide continuity of the pedestrian sidewalk network. The site is also designed to provide strong connectivity to the future light rail station. The primary site entry from Park Meadows Boulevard includes a tree lined, pedestrian scale promenade that connects the core of the campus to bus routes along Park Meadows and to the future light rail stop east of the campus. Until the SkyRidge light rail station opens, the Schwab campus will be served by a shuttle that will give employees a ride to the Lincoln light rail station. The southern edge of the campus along Sky Ridge Boulevard is designed as an extension of Willow Creek Open space and will include a multi-use path connecting the regional trail system to Park Meadows Boulevard and the future light rail stop.

Close attention has been given to how employees, visitors, and residents surrounding the campus will move into and through the campus to retail areas to the west and north. The sustainably lit pedestrian system developed for the site links directly to adjacent amenities including future light rail, daycare, restaurants, and the park/open space system of the City of Lone Tree. The perimeter landscape expresses the character of the Colorado foothills prairie, visually linking the campus to the mesas and foothills beyond and includes a wide trail system that promotes a healthy lifestyle by supporting lunchtime walks. To this end, the campus will fit seamlessly within the larger mixed use community.

Architectural Design

*Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a **unified, functional and high quality design** (consider building form and composition, façade composition and articulation, materials and colors and lighting).*

The Schwab Lone Tree Campus is designed to seamlessly integrate into the Colorado landscape that surrounds it. Materials and textures, throughout the campus, have been chosen for compatibility with the surrounding landscape and architecture. The architectural design herein will address the buildings that are proposed to be a part of Phase 2.

Office Building 3

The core of the campus consists of three office buildings that match in scale, color, and architectural expression. The function of the office buildings requires a large, 37,500 square foot, floor plate, however, the façade of the buildings is broken down to be human-scale, with 30 foot bays expressed in the facade. Buildings have a base, middle, and top, expressed in the precast envelop material. The base of the building is developed into fifteen foot modules, further breaking down the scale at pedestrian level. In addition, the base of the office buildings is a textured precast in a dark color that further reinforces and anchors the building base. As one moves up along the building facade, the precast expression, recessed to break up the façade, becomes a smoother, lighter precast that recalls the colors of Colorado Buff sandstone. The expression of the columns and reveals along the top of the building provide a cornice. These buildings have no back, and as such, the buildings apply the design vocabulary on all sides.

Windows in the building are outfitted with insulated clear glass, and a low-e coating provides heat reduction that contributes to the building's sustainable design goals. The curtainwall is recessed within each structural bay, and it indicates floor levels with accent bands. Vertically, a five foot module allows flexibility in interior layout and scale reduction on the building

Building entries can be identified from a distance by the gently curved curtainwall barrel at the center of the building. The "Charles Schwab" sign is integrated into a chocolate-colored metal band that forms the top of the barrel. At the base, canopies that are appropriate in height and scale to their specific users anchor the base of the barrel, reducing the scale and providing cover from the weather.

The penthouses for the building mechanical equipment are centered on the roofs, and due to the height of the parapets, are, for the most part, concealed. Major mechanical equipment is enclosed with metal panels that recall the color of the precast.

A connector bridge will also be a part of the Office 3 construction. This Bridge will provide an enclosed connection from Office 3, second floor, to the Amenities Center, where the campus cafeteria and training center are located. The Bridge is about 1,200 square feet. The enclosure of the Bridge will be curtainwall that matches the curtainwall of the Office Buildings.

Parking Garage 2

Parking Garage 2, located to the south of Office 1 and east of Office 2, will be five levels and will house 1,233 cars. Like parking garage 1, it will be a precast structure and skin, however, its relationship to the office buildings has resulted in a different precast expression. Parking Garage 2 will, like of offices, have a base textured precast in a dark color anchoring the structure, and like the office building, the upper part of the garage will have the smoother buff-colored precast. The expression of the columns and reveals will continue on this building as well, creating a cap to the structure.

The primary pedestrian entry to the garage will be the vertical circulation tower near the northeast corner of the building. This tower will contain elevator and stairs. The tower will continue the architectural expression begun in the office and in the body of the garage, but will additional height, will serve as a focal point. Recalling the office entry, the entry area will have curtainwall. The glass will be clear with a low-e coating and floors level will be expressed in the mullion patterns.

Guard House

The Guard House will be central to the campus and give the Schwab security staff a touchdown space with a view of the major vehicular circulation through the campus. The guard house will be approximately 80 square feet and will be located to the south of Schwab Way and aligned with the entrance to Office Building 2. This small structure will be designed to continue the aesthetic vocabulary of the Retail Branch, with a base of Colorado Buff sandstone, a ribbon of windows for 360 degree visibility, and a membrane roof with aluminum fascia. This is a new building, not previously shown on the Master Plan, and we understand that it will require approval for its location and design.



February 19, 2014

Kelly Dunn
Fentress Architects
421 Broadway
Denver, CO 80203

RE: RidgeGate Design Review Committee Office Building 3, Parking Garage 2 and Guard House

Dear Kelly:

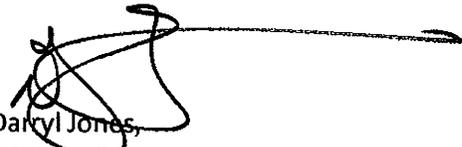
The RidgeGate Commercial Design Review Committee (DRC) has reviewed Charles Schwab's submittal materials for the third office building, second parking structure and guard house. The DRC generally supports the project with the following architectural and landscape comments:

- 1) The exposed aggregate pattern (only – no sanded) is the same as the exposed aggregate pattern on the base of the office building (for parking structure #2).
- 2) Landscape plans to be coordinated with the Rampart Range Metro District landscaping.

This correspondence serves as formal approval of the project by the RidgeGate Commercial Design Review Committee.

Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,



Daryl Jones,
DRC Administrator

cc: Kelly First, City of Lone Tree
File

7 April 2014



fentressarchitects.com

Ms. Kelly First
City of Lone Tree
Community Development Department
9220 Kimmer Drive, Suite 100
Lone Tree, CO 80124

LA 303.722.5000
SJ
DC 421 Broadway
DEN Denver CO 80203

Re: Second Amendment to SIP #SP12-59R Adding Second Parking Garage, SIP #SP14-11R
Schwab Lone Tree Branch – Response to Referral Comments
Fentress Architects Job Number: 20140006.001

Dear Ms. First:

Thank you for your continued facilitation of the City of Lone Tree review of the Schwab Phase 2 Campus Construction. We look forward to working with the City of Lone Tree to complete this SIP Amendment. This letter will serve as the written response to the Referral Comments of our submittal package.

Engineering Comments: City of Lone Tree, Department of Public Works, Greg Weeks:

General:

1. *The Engineering SIP review fee (Major SIP Amendment) normally would be \$9,500 (see attached fee schedule). However, given the specifics of this application, we are requesting a fee of 25% of the standard fee (e.g. \$2,375). This reduced fee will cover the SIP, and reviews for the updated Civil CD's, Drainage Letter, and GESC Plans updates. The fee should be submitted with, or in advance of, resubmittal of the associated engineering documents. The fee should be made payable to "The City of Lone Tree" and submitted to Public Works to my attention.*
 - The fee of \$2,375 has been delivered to the City of Lone Tree.

2. *A Site Improvement Plan Improvements Agreement (SIPIA) previously has been submitted for the overall campus work. An additional, or amended, SIPIA will not be required for the Building NO. 3 and Parking Structure No. 2 development as identified in the current SIP submittal.*
 - Acknowledged.

3. *A Grading, Erosion and Sediment Control (GESC) Permit has been issued for the overall campus project. A modification of the existing permit to encompass the Branch addition will need to occur.*

- The modified GESC was submitted to the Lone Tree Department of Public Works on March 19, 2014. The design team will await any further comments from Public Works.

4. *A State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE) (#COR03K150) has been obtained by Mortenson Construction for the overall campus development. A separate CDHPE permit for the Branch should not be required. However, Mortenson should appropriately update their Permit documentation to incorporate the additional work.*

- Acknowledged.

5. *Comments provided below by individual plan sheet number may also apply to other sheets/locations in the SIP documents. We have referenced a comment to a specific sheet primarily as a reference location. The applicant should verify that the item(s) are addressed throughout the Project documents consistently, as applicable.*

- Acknowledged.

Site Improvement Plan:

Sheet 2 – Composite Plan:

1. *The Phase I and Phase II parking tabulations for Garage I do not match. Clarification regarding how 8 additional parking spaces are being created in the existing Garage may be appropriate.*

- The parking count has been corrected to be consistent on all documents.

Sheet 3 – Phasing Plan:

2. *Drainage associated with the currently proposed "Phase 2" improvements is provided for generally within the current Phase III Drainage report previously approved for the CS Campus, and will be addressed by a Drainage Letter modification to the Report. The additional improvements shown in the "Potential Build-Out" and "Complete the Urban Edge" Phases are not addressed within the current Phase III Drainage Report, and will require more extensive evaluations before those additional phases may proceed.*

- It is understood that as such time as the Future Build-Out along SkyRidge is considered; an update to the Drainage Report will be required.

Sheet 5 – Site Plan-Office Building:

3. *This sheet (and others) has several graphic symbols shown which are not identified with either individual labels or within a drawing Key. This should be addressed for clarity. For example:*
 - *Cross hatched rectangles (2 locations) near north entrance to Amenities Building and at SE corner of drive entrance off of Bellwether;*
 - *Cross hatched circle which appears to be a "Property Corner" identifier (7 locations);*
 - *Solid black circles (4 locations) at southwest corner of Bellwether and Lincoln;*

 - *Graphic issues noted have been corrected and clarified.*

Sheet 6 – Site Plan-Garage 2:

4. *The ADA parking note is not completed.*
 - *The ADA note on this sheet has been completed.*

Sheet 13 – Grading and Utility Plan:

5. *There are two parking Islands in the surface parking at the north-east corner of proposed deck #2 – south side of the parking, which appear to show what may be curb cuts for drainage. One the prior site construction plans, the western one was labeled at having a 12-inch chase, while the eastern (end) one was shown without a curb or curb cut through the island. This current plan does not "Agree" with the prior plans. Appropriate update/labeling of the current plan should be addressed.*
 - *Labeling has been clarified on revised plans.*

SIP Project Narrative:

The following observations regarding the Narrative are offered as informational only. Public Works/Engineering does not formally review nor approve the Project Narrative.

1. *Page 3 – Compliance with Design Guidelines Section: This section appears to have been truncated, and is incomplete.*
 - *This section has been corrected to show the complete text.*

2. *Page 3 – Second bullet and Page 5 – First bullet: These two sections appear not to be in agreement with each other (e.g. 200,000 sf/office building vs. 187,500 sf/building). Also, on the Page 5 description, addition of "each building" (e.g. each the sf identified is "per each building") may assist with clarity.*

- This information has been corrected to consistently show 187,500 sf per building throughout the narrative.
3. Page 4 – *There are two (separate?) footnotes, each with "****" but with no corresponding note(s) tied to the "****". This is somewhat confusing, apparently implying that the separate notes cross-reference the same "missing" notes.*
- This "****" symbol has been removed, as all information is contained within the narrative and no footnote is required.
4. Page 5 – *Fourth bullet "approximately 975 cars" in parking garage #1 and sixth bullet "approximately 1250 cars" in parking garage #2 do not agree with the parking totals indicated on Sheet 2 of the SIP. It may be appropriate to edit for consistency.*
- All sheets have been coordinated to show 949 cars in parking garage 1 and 1233 cars in parking garage 2.

South Metro Fire Rescue Authority, Criss Dickhausen:

South Metro Fire Rescue Authority's Life safety Bureau has reviewed the submittal for the project noted above and approves the submitted plans with the following comments:

1. *Per the 2009 International Fire Code, table B105.1, with a construction type of I-A (Building 3/D); this structure would require a fire flow of 4,750 gallons per minute. A 50% reduction is given for buildings provided with an automatic fire sprinkler system (which this building will provide), so the actual fire flow would be 2,375 gallons per minute. Referencing table C105.1 of the 2009 International Fire Code, **Three (3)** fire hydrants will be required to provide the required fire flow for this building.*
 - The documents have now been revised to show 4 fire hydrants to serve this building: one at the Bellwether driveway, one near the northeast corner of the building, one in the parking area to the east end of the parking row, and one to the south of the building along Bellwether.
2. *The fire sprinkler control room appears to be located in the northwest area of the office building and provided with exterior access. As the building construction drawings have already been submitted to South Metro Fire Rescue Authority for review, the location of the fire sprinkler control room (not exactly in the corner of the structure) indicates that the fire and domestic lines will run under the building to this room which will not be permitted. Either the room needs to be relocated to accommodate the water line entry locations, or the waterlines must enter the structure on the WEST side, directly into the water entry room. Please clarify this issue ASAP.*

- Due to the adjacency of the building Bellwether, the space for running the water line around the northwest corner (to enter on the west side) of the building is limited. Fentress Architects and Martin/Martin civil engineers are exploring the possibility of tapping the water line directly west of the building, in order to enter the building on the west face or relocating the water entry room to the east end of the building and entering directly into that room on that end of the building. If we are unable to do this, we understand that the water entry and fire sprinkler control room will need to be relocated to the northwest corner of the building. It is understood that these lines cannot run under the building to reach the room. As soon as this exploration is concluded, we will provide the results to South Metro Fire Rescue Authority.
3. *The fire department connection shown on the west face of the office building appears to be located in a landscaped area behind a retaining wall. There appears to be a significant grade difference between the street level and where the FDC is shown – logistically, this will not function for emergency response. In addition, hardscaping that will be maintained shall be provided to and around the FDC to provide 3 feet of clearance.*
- The grading in this area is difficult to read, as the existing contours are shown as dotted, and they do, in fact, show a steep grade change, however, the area in which the FDC is located is very flat. The office finish floor is at elevation 5939, and the driveway into the service area is approximately elevation 5938, slightly below the floor level. No retaining wall will be needed or installed in this area. Hardscape, with a minimum of 3 feet of clearance, will be provided around the FDC. This FDC is less than 100 feet from the nearest fire hydrant.
4. *More detailed information is needed regarding the access road on the west side of the proposed office building. Please provide the width of this roadway and provide an AutoTurn simulation showing that our fire apparatus can negotiate this area (adequate turn around distances have been provided).*
- The area in question is the service area for the building and is not intended to accommodate fire apparatus. Emergency response vehicles will enter the site on the roadway to the north of Office Building 3(D), where they can address the north face of the building and easily reach the Fire hydrants. Emergency responders may also reach the building from the west side along Bellwether.

Douglas County Community Development, Matt Jakubowski:

The address shown on the application as "Legal Description (site address), 9800 Schwab Way, does not exist and has not been issued for this site. Since it has not been issued, it should not be used for any purpose since it could cause significant delay in a 911 emergency. Office Building 3 has already been issued 10200 Bellwether Lane. The new Parking Garage will be issued 9880 Schwab Way. There have been discussions about naming the access to Building 3 using a variation of the Schwab Name. For this to occur, the newly named access must physically touch the existing Schwab Way since this is an E911 requirement for street naming, and it must be platted with the name wither through the recordation of a technical plat correction applying the name to the access as it is already shown on

Ms. Kelly First
City of Lone Tree
7 April 2014
Page 6

the recorded plat, or by recording an amendment to the existing plat if the access will be shown differently and with the name included. The name must be approved by this office prior to use on documents. If the access is named, a new address will be issued after the required document is recorded.

- The application, attached, has been corrected to show the addresses approved by Douglas County. Also attached is the approved addressing diagram and the email from Chris Boyd approving these addresses. These address number will be displayed prominently on the buildings to ensure that 911 responders have clarity upon arrival to the site. If Schwab elects to pursue naming a street to the north of Building 3, Fentress Architects will seek approval from Douglas County and Lone Tree, and following this naming; will apply for addressing off of that street through Douglas County.

Agency Comments: Xcel Energy, Donna George:

General:

Public Service Company of Colorado (PSCo) has reviewed the plans for RidgeGate S15 F19 L1 - Charles Schwab SIP Amendment. The property owner/developer/contractor must continue working with Mike Martinez, Designer at 303-716-2033 on site plan design details and Robyn Larm, Right-of-Way Agent at 303-716-2043 for easement issues.

- Charles Schwab and the design team will continue to work with Mike Martinez and Robyn Larm for design and easement issues.

We hope that you find this package fully addresses any concerns expressed by the Referral Agencies and that you will consider the project ready for review by the City Council. If any area requires further clarification or additional information, please contact me as soon as possible at 303-282-6088 or dunn@fentressarchitects.com.

Thank you again for your consideration of this project.

Kind Regards,
Fentress Architects



Catherine ("Kelly") Dunn
Senior Associate

C: Steve Hebert, City of Lone Tree
Wayne Bartlett, Charles Schwab Co., Inc.
Anthony Nemecek, Charles Schwab Co., Inc.

Encl.: Application with Address Correction
Addressing Map approved by Douglas County and corresponding email from Douglas County

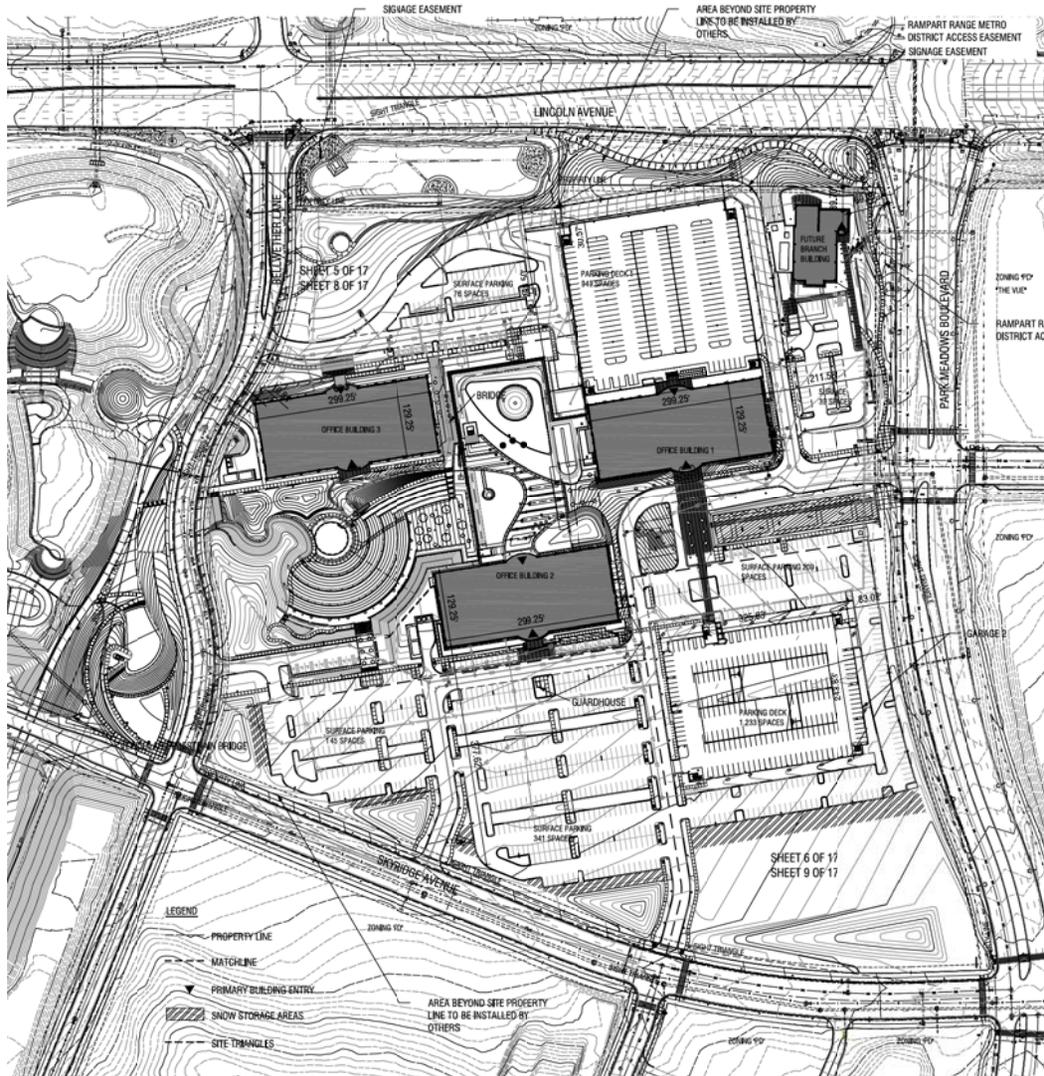
RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R



CHARLES SCHWAB		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
Gross Site Area = 32 acres	1,393,920	100%
Building Footprints (Includes Buildings 1, 2 and 3, and Branch building, does not include 74,000 of amenity building located below plaza)	132,500	9.5%
Parking/Roads (Including planted Interior Islands)	731,225	52%
Hardscape (plazas and walks)	104,140	7.50%
Landscape Area (excluding planted interior parking islands, trails and walks)	426,055	30.5%
Natural Areas (not included in the required landscape (IRIS))	n/a	
Maximum building height (as measured by the City's Building Code)	Office Buildings 62' top of parapet, 99' top of penthouse	
Total floor area (3 office buildings @ 187,500sf each, 70,000 sf of amenities building, 20,000 sf of retail building)	652,500	

Phase 1: Program and Parking		City Parking Req's	Schwab Parking Req's
	Sq. Ft.	Ratio	Ratio
Office Building 1	187,500	1/300 of 625	6/1,000 1,125
Office Building 2	187,500	1/300 of 625	6/1,000 1,125
Branch Building	20,000	1/330 of 60	1/500 40 (see note 1)
Amenities Building	75,000		no parking required this is an incidental use for employees
Total Parking Required		1,310	2,290
Total Parking Provided			2,010

Phase 1: ADA Parking Requirements		20 spaces per 1,000 parking spaces + 1 space / 100 over 1,000 spaces (see note 3)
Total ADA Spaces Required		43
Total ADA Spaces Provided		67 (44 surface spaces, includes 7 van spaces) (23 in Parking Deck 1, includes 4 van spaces)

Phase 1: Bicycle Parking Requirements		2% of Total Parking Requirements (see note 3)
Required	46	
Provided	88	

Phase 2: Program and Parking		City Parking Req's	Schwab Parking Req's
	Sq. Ft.	Ratio	Ratio
Office Building 3	187,500	1/300 of 625	6/1,000 1,125
Total Required		625	1,125
Total Provided in Parking Deck 2			1,233

Phase 2: ADA Parking Requirements		20 ADA spaces / 1,000 parking spaces & 1/100 over 1,000 spaces (see note 3)
Total ADA Spaces Required		22
Total ADA Spaces Provided		25

Phase 2: Bicycle Parking Requirements		2% of Total Parking Requirements (see note 3)
Required	23	
Provided	Satisfied in Parking Deck 1, Phase 1.	

- Notes:
- Branch parking provided per Schwab's industry knowledge.
 - Installing tree island rather than tree rings causes the site to be under parked 14 spaces per Schwab Requirements.
 - All ADA and bicycle parking calculations based upon total parking spaces required by Schwab.
 - Parking Deck 2 will provide all necessary parking required for Building 3 and replace any surface parking lost due to construction of Parking Deck 2. Parking Deck 2 parking total is 1,233, top deck parking is 258.

Phase 1 (No change): Parking Total		2010
Garage 1		949
Surface		1,061

Phase 1 and 2 total: Parking Total		2,991
Garage 1		949
Garage 2		1,233
Surface		810

SHEET KEY
SCALE: 1" = 100'

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LONE TREE, COLORADO

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2	SP REVIEW	03.07.14
3	SP REVIEW	03.16.14

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DRAWING TITLE
COMPOSITE PLAN

PROJECT #:
SHEET NUMBER

2 of 17

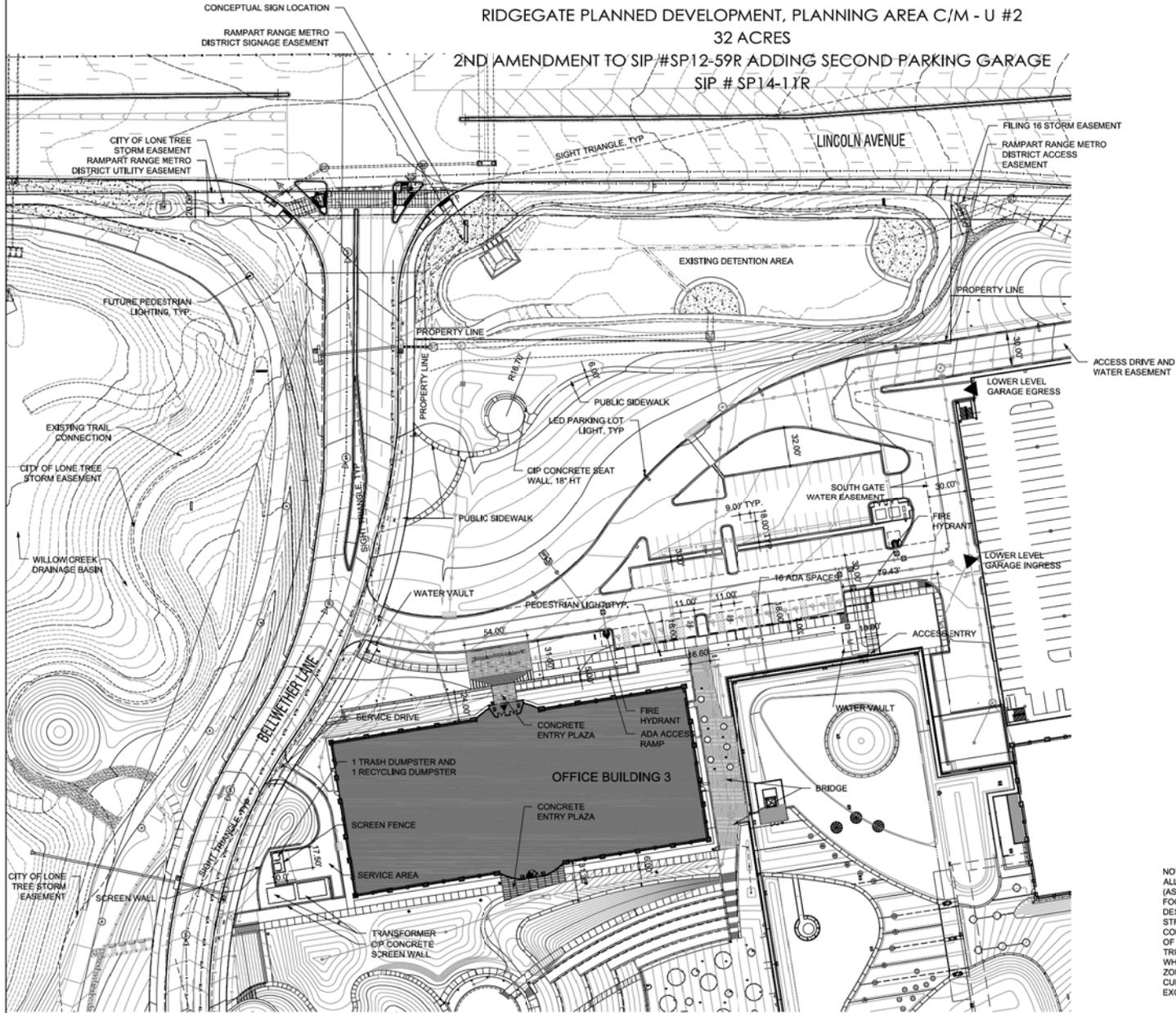
RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

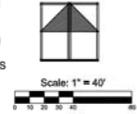
32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R



NOTE:
 ALL RETAINING WALL EXCEEDING 4'-0" IN HEIGHT
 (AS MEASURED FROM THE TOP OF THE WALL
 FOOTER TO TOP OF THE WALL), DETAILED WALL
 DESIGN DOCUMENTS, SIGNED AND SEALED BY A
 STRUCTURAL ENGINEER LICENSED IN
 COLORADO WILL BE PROVIDED AT COMPLETION
 OF CONSTRUCTION DOCUMENTATION. THIS IS
 TRUE FOR TIERED WALLS SYSTEMS AS WELL,
 WHERE THE ADJACENT WALLS ARE WITHIN A 1:1
 ZONE OF INFLUENCE OF EACH OTHER, AND THE
 CUMULATIVE HEIGHT OF SUCH ADJACENT WALLS
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1	SIP REVIEW	02.26.14
2	SIP REVIEW	03.07.14
3	SIP REVIEW	03.16.14
4	SIP REVIEW	03.25.14

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 SITE PLAN-OFFICE
 BUILDING 3

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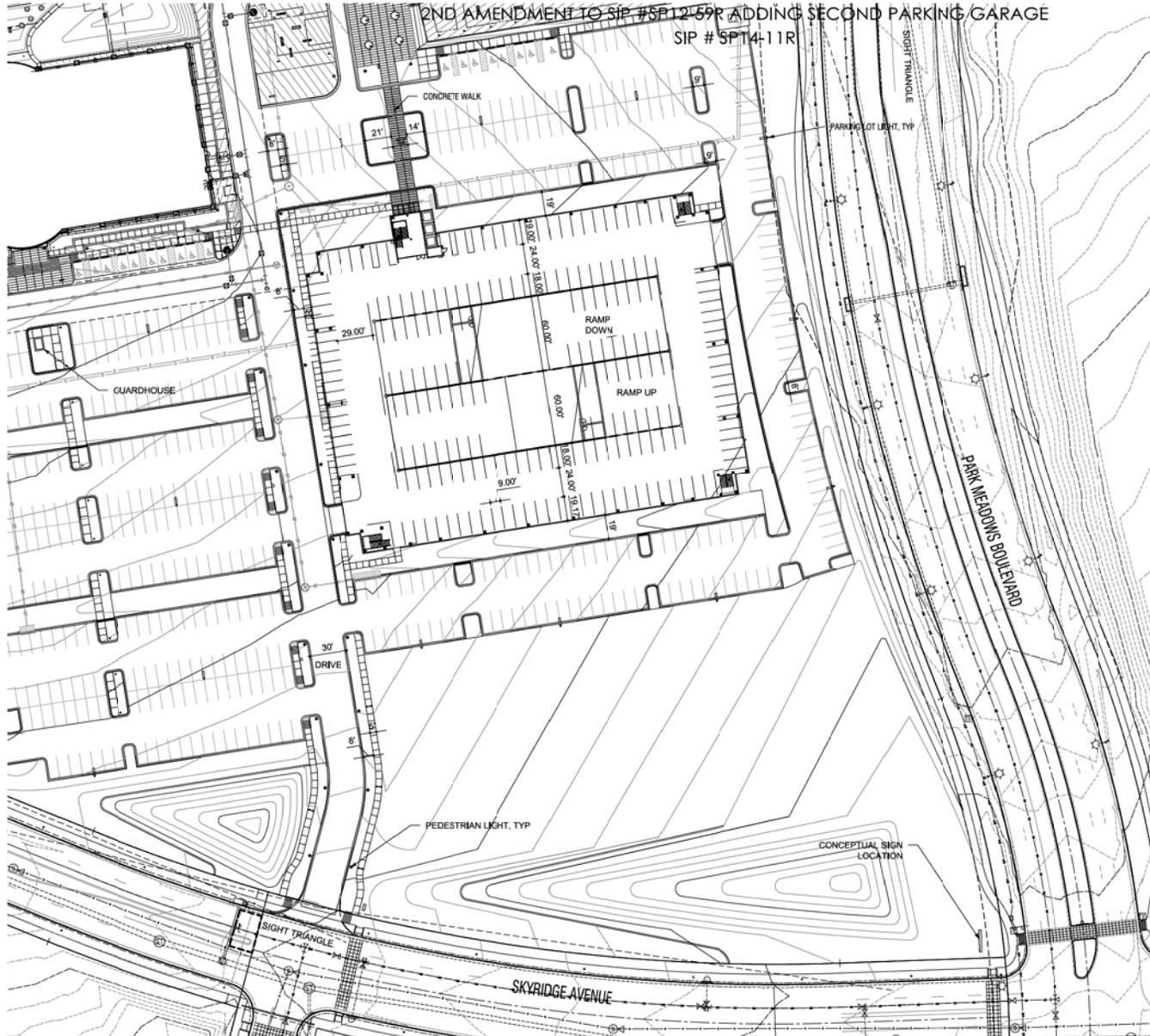
RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

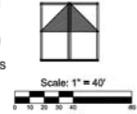
2ND AMENDMENT TO SIP #SPT12-59R ADDING SECOND PARKING GARAGE

SIP # SPT14-11R



PARKING GARAGE 2 INCLUDES 1,233 SPACES,
THAT INCLUDES _____ ADA SPACES;
_____ PER FLOOR.

NOTE:
ALL RETAINING WALL EXCEEDING 4'-0" IN HEIGHT
(AS MEASURED FROM THE TOP OF THE WALL
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1	SIP REVIEW	02.26.14
2	SIP REVIEW 2	03.07.14
3	SIP REVIEW 3	03.16.14
4	SIP REVIEW 4	03.25.14

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SITE PLAN- GARAGE 2

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R

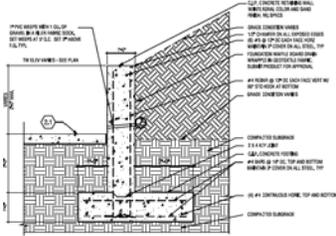
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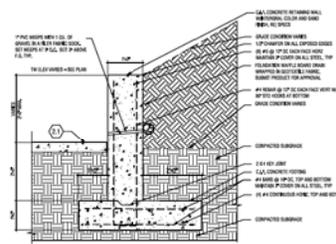
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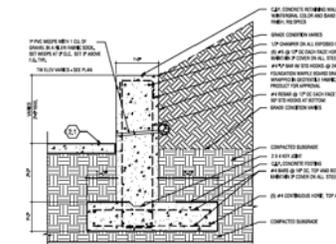
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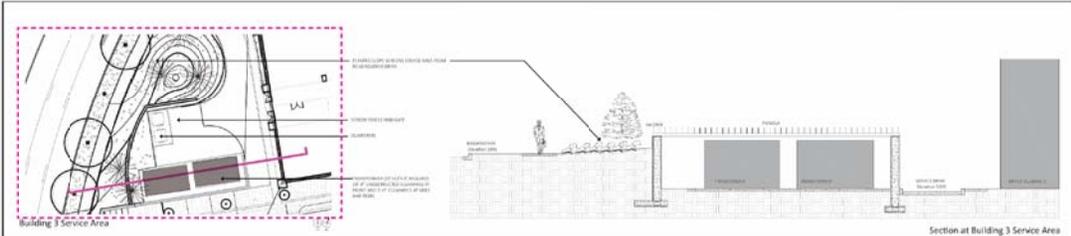
1 1'-0" WIDE WALL NTS



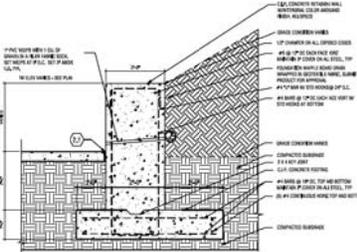
2 1'-3" WIDE WALL NTS



3 1'-6" WIDE WALL NTS



TRASH ENCLOSURES ELEVATIONS



4 2' WIDE WALL NTS

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NO.	ISSUED FOR	DATE
1	SIP REVIEW	02.26.14
2	SIP REVIEW	03.07.14
3	SIP REVIEW	03.16.14
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SITE SECTIONS

PROJECT #:
SHEET NUMBER

7 of 17

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

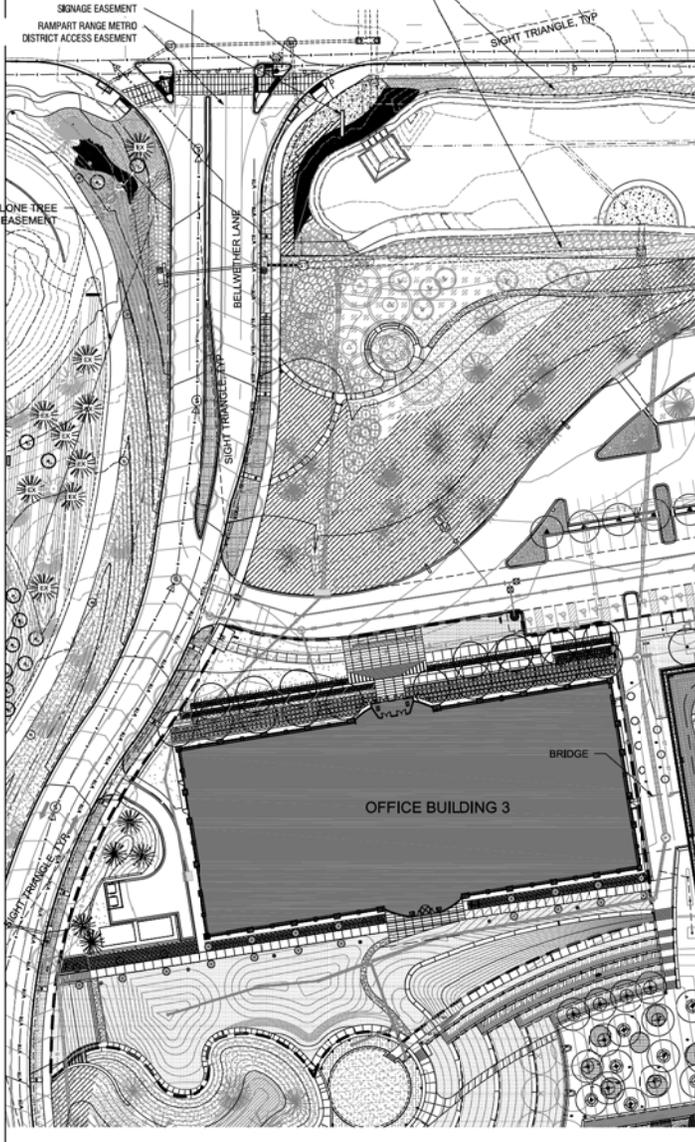
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2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R

NOTE:
ALL WORK SHOWN BEYOND SITE PROPERTY LINES IS FOR INFORMATION PURPOSES ONLY AND IS NOT INCLUDED AS PART OF THIS SIP SUBMITTAL.

ALL WORK BEYOND PROPERTY TO BE COMPLETED BY OTHERS



CHARLES SCHWAB				
TURF GRASSES				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE
	POA	<i>Poa pratensis</i>	Thermal Blue Sod	sod ref: specs

CHARLES SCHWAB				
GRASS SEED MIXES				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE
	MIX 'W' WARM SEASON TALL GRASS	<i>Andropogon gerardii</i> <i>Schizachyrium scoparium</i> <i>Styplactium nutans</i> <i>Panicum virgatum</i>	Big Blue Stem Little Bluestem Indian Grass Switch Grass	seed ref: specs
	MIX 'S' WARM SEASON SHORT GRASS	<i>Bouteloua distachyoides</i> <i>Bouteloua gracilis</i>	Buffalograss Blue Grama	seed ref: specs
	MIX 'C' WARM SEASON MID GRASS	<i>Bouteloua curtipendula</i> <i>Panicum virgatum</i> <i>Schizachyrium scoparium</i> <i>Sporobolus heterolepis</i>	Sidecoats Grama Switch Grass Little Bluestem Prairie Drop Seed	seed ref: specs
	MIX 'D' COLD SEASON MID GRASS MIX	<i>Aegilops diactylocha</i> <i>Elymus canadensis</i> L. <i>Elymus lanceolatus</i> L. <i>Elymus trachyacaulis</i> <i>Paezopogon smitii</i>	Stream Bank Wheat Canada Wild Rye Thick Spike Slender Wheat Western Wheat	seed ref: specs
	MIX 'J'	<i>Panicum virgatum</i>	Switch Grass	seed ref: specs

CHARLES SCHWAB					
ORNAMENTAL GRASSES & PERENNIALS					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	MIX 'G' ORNAMENTAL GRASSES	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama	4" pots *usda ref: DL 13/1800	15" o.c.
	MIX 'H' ORNAMENTAL GRASSES	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama	4" pots *TRIANGULATE	15" o.c.
	MIX 'P' PERENNIALS	<i>Asiatrice 'Wissnessen'</i> <i>Asterias schmidiana</i> <i>Penstemon x mexicanus</i> 'Pikes Peak Purple' <i>Penstemon x mexicanus</i> 'Sunburst Ruby' <i>Veronica spicata</i> 'Tall Blue'	Coronado Red Hyssop Silver Mound Sage Pikes Peak Purple Penstemon Sunburst Ruby Penstemon Blue Spike Speedwell	1 gal 20% ea	12" o.c.
	MIX 'Q' PERENNIALS	<i>Allium allatunense</i> 'Purple Sensation' <i>Iris sibirica</i> 'Pagallo'	Purple Sensation Allium Siberian Iris	1 gal 50% ea	18" o.c.
	MIX 'R' PERENNIALS	<i>Gallium odoratum</i> <i>Vinca minor</i> 'Atropurpurea'	Sweet Woodruff Wine Periwinkle	4" pots	12" o.c. 18" o.c.
	CAA	<i>Calamagrostis acutiflora</i> 'Orenda'	Variegated Feather Reed Grass	4" pots	18" o.c.
	CFR	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal	18" o.c.
	HES	<i>Hilicotraxon sempervirens</i> 'Sapphire'	Sapphire Blue Avena	4" pots	24" o.c.
	HED	<i>Huechella Dayglow Pink</i>	Huechella Dayglow Pink	1 gal	18" o.c.
	PAV	<i>Panicum virgatum</i>	Switch Grass	4" pots *GRID	18" o.c.
	PEA	<i>Panicum alpeccuroides</i> 'Hamer'	Dwarf Fountain Grass	4" pots	12" o.c.
	SCS	<i>Schizachyrium scoparium</i>	Little Bluestem	4" pots	24" o.c.
	THC	<i>Thymus x citriodorus</i> 'Aureus'	Variegated Lemon Thyme	4" pots	12" o.c.

SHRUBS & GROUNDCOVERS					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	BET	<i>Berberis thunbergii</i> 'Grifonea'	Green Hornet Barberry	1 gal	30" o.c.
	CIC	<i>Caryopteris x clandonensis</i> 'First Choice'	First Choice Blue Mist Spirea	2 gal	3' o.c.

DECIDUOUS TREES					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	ACM	<i>Acer miyabei</i> State Street	State Street Maple	3" b&b	as shown
	CEO	<i>Ulmus wilsoniana</i> 'Prospector'	Prospector Elm	3" b&b	as shown
	PIE	<i>Pinus edulis</i>	Pinon 'ne	6-8" b&b 50% each	as shown
	PIP	<i>Pinus ponderosa</i>	Ponderosa Pine	6-8" 3&0-50% 12-14" 3&0-50%	as shown
	PIB	<i>Pinus sylvestris</i>	Scotch Pine	12-14" b&b	as shown
	PIR	<i>Pinus nigra</i>	Austrian Pine	6-8" b&b 12-14" b&b equal of each	as shown
	PVC	<i>Pyrus calleryana</i> 'Wristocr'	Ardorast Pear	3" b&b	as shown
	QSW	<i>Quercus bicolor</i>	Swain White Oak	3" b&b	as shown
	QUC	<i>Quercus muhlenbergii</i>	Chickadee Oak	3" b&b	as shown
	QUR	<i>Quercus robur</i> 'Fastigata'	English Columnar Oak	3" b&b	as shown

SYMBOL LEGEND

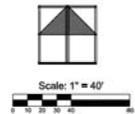
- LIMIT OF WORK LINE
- ▼ PRIMARY BUILDING ENTRY
- SNOW STORAGE AREAS
- SITE TRIANGLES

MATERIALS LEGEND

- 4" CONCRETE
- CP CONC WALL

FURNISHINGS LEGEND

- LETTER RECEPTACLE



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 CIVITAS
 Denver, Colorado 80202 303.571.0003

CS LONE TREE
 LONE TREE, COLORADO

NO.	ISSUED FOR	DATE
1	SIP REVIEW	02.26.14
2	SIP REVIEW	03.07.14
3	SIP REVIEW	03.16.14
4	SIP REVIEW	03.25.14

STAMP

DRAWING TITLE
LANDSCAPE PLAN

PROJECT #

SHEET NUMBER

8 of 17

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

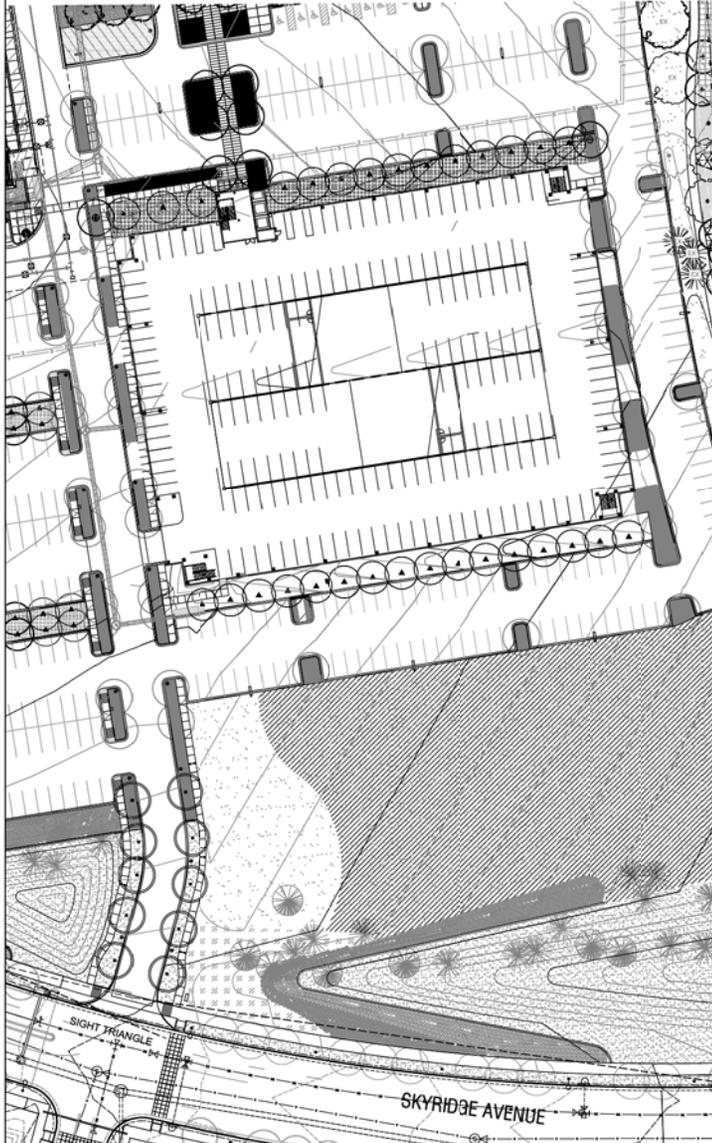
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R

NOTE:
ALL WORK SHOWN BEYOND SITE PROPERTY LINES
IS FOR INFORMATION PURPOSES ONLY AND IS
NOT INCLUDED AS PART OF THIS SP SUBMITTAL.



CHARLES SCHWAB TURF GRASSES					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	
POA	POA	<i>Poa pratensis</i>	Thermal Blue Sod	sod	rec specs

CHARLES SCHWAB GRASS SEED MIXES					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	
MIX 'W'	WARM SEASON TALL GRASS	<i>Andropogon gerardii</i> <i>Schizachyrium scoparium</i> <i>Sorghastrum nutans</i> <i>Panicum virgatum</i>	Big Blue Stem Little Bluestem Indian Grass Switch Grass	seed	rec specs
MIX 'F'	WARM SEASON SHORT GRASS	<i>Bouteloua dactyloides</i> <i>Bouteloua gracilis</i>	Buffalograss Blue Grama	seed	rec specs
MIX 'C'	WARM SEASON MID GRASS	<i>Bouteloua curtipendula</i> <i>Panicum virgatum</i> <i>Schizachyrium scoparium</i> <i>Sporobolus heterolepis</i>	Sideoats Grama Switch Grass Little Bluestem Prairie Drop Seed	seed	rec specs
MIX 'D'	COLD SEASON MID GRASS MIX	<i>Agropyron dasystachyum</i> <i>Elymus canadensis</i> f. <i>Elymus lanceolatus</i> <i>Elymus trachycaulus</i> <i>Pleurocyperum amabilis</i>	Stream Bank Wheat Canada Wild Rye Thick Spike Slender Wheat Western Wheat	seed	rec specs
MIX 'S'		<i>Panicum virgatum</i>	Switch Grass	seed	rec specs

CHARLES SCHWAB ORNAMENTAL GRASSES & PERENNIALS					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
MIX 'E'	ORNAMENTAL GRASSES	<i>Bouteloua gracilis</i> "Blonde Ambition"	Blonde Ambition Blue Grama	4" pots *standard DIL 10 L1200	15" o.c.
MIX 'E'	ORNAMENTAL GRASSES	<i>Bouteloua gracilis</i> "Blonde Ambition"	Blonde Ambition Blue Grama	4" pots *MANICULATE	15" o.c.
MIX 'P'	PERENNIALS	<i>Agastache 'Polestone'</i> <i>Artemisia schmidiana</i> <i>Penstemon x mexicali</i> "Pikes Peak Purple" <i>Penstemon x mexicali</i> "Sunburst Ruby" <i>Veronica spicata</i> "Tall Blue"	Coronado Red Hyssop Silver Mount Sage Pike's Peak Purple Penstemon Sunburst Ruby Penstemon Blue Spike Speedwell	1 gal 20% ea	12" o.c.
MIX 'S'	PERENNIALS	<i>Allium afflatunense</i> "Purple Sensation" <i>Iris sibirica</i> "Pagalloir"	Purple Sensation Allium Siberian Iris	1 gal 50% ea	18" o.c.
MIX 'F'	PERENNIALS	<i>Galium odoratum</i> <i>Vinca minor</i> "Atropurpurea"	Sweet Woodruff Wine Periwinkle	4" pots	12" o.c. 18" o.c.
CAA		<i>Calamagrostis acutiflora</i> "Overstar"	Variegated Feather Reed Grass	4" pots	18" o.c.
CFR		<i>Calamagrostis acutiflora</i> "Karl Foerster"	Karl Foerster Feather Reed Grass	1 gal	18" o.c.
HES		<i>Helictotrichon sempervirens</i> "Sapphire"	Sapphire Blue Avena	4" pots	24" o.c.
HED		<i>Heucheraella Dayglow Pink</i>	Heucheraella Dayglow Pink	1 gal	18" o.c.
PAV		<i>Panicum virgatum</i>	Switch Grass	4" pots *GRID	18" o.c.
PEA		<i>Pennisetum alopecuroides</i> "Yarnell"	Dwarf Fountain Grass	4" pots	12" o.c.
SCS		<i>Schizachyrium scoparium</i>	Little Bluestem	4" pots	24" o.c.
THC		<i>Thymus x citriodorus</i> "Aurus"	Variegated Lemon Thyme	4" pots	12" o.c.

SHRUBS & GROUNDCOVERS					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BET	BET	<i>Berberis thunbergii</i> "Glozam"	Green Hornet Barberry	1 gal	30" o.c.
CAC	CAC	<i>Caryopteris x clandonensis</i> "First Choice"	First Choice Blue Mist Spirea	2 gal	3' o.c.

DECIDUOUS TREES					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ACM	ACM	<i>Acer glabrum</i> "State Street"	State Street Maple	3" b&b	as shown
CEO	CEO	<i>Ulmus wilsoniana</i> "Prospector"	Prospector Elm	3" b&b	as shown
PIE	PIE	<i>Pinus edulis</i>	Pinon Pine	5-8" b&b 50% each	as shown
PIP	PIP	<i>Pinus ponderosa</i>	Ponderosa Pine	5-8" b&b-50% 12-14" b&b-50%	as shown
PIS	PIS	<i>Pinus sylvestris</i>	Scotch Pine	12-14" b&b 50% each	as shown
PIN	PIN	<i>Pinus nigra</i>	Austrian Pine	5-8" b&b 12-14" b&b equal of each	as shown
PYC	PYC	<i>Ficus californiana</i> "Aristocrat"	Aristocrat Pear	3" b&b	as shown
OSW	OSW	<i>Quercus bicolor</i>	Swamp White Oak	3" b&b	as shown
OUC	OUC	<i>Quercus muehlenbergii</i>	Chinkapin Oak	3" b&b	as shown
OUR	OUR	<i>Quercus robur</i> "Fastigiat"	English Columnar Oak	3" b&b	as shown

SYMBOL LEGEND

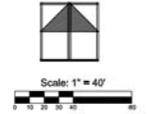
- LIMIT OF WORK LINE
- ▼ PRIMARY BUILDING ENTRY
- SNOW STORAGE AREAS
- SITE TRIANGLES

MATERIALS LEGEND

- 4" CONCRETE
- CIP CONC WALL

FURNISHINGS LEGEND

- LITTER RECEPTACLE



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DESIGN

CONSULTANT

CS LONE TREE

LONE TREE, COLORADO

NO.	ISSUED FOR	DATE
1	SIP REVIEW 1	02.26.14
2	SIP REVIEW 2	03.07.14
3	SIP REVIEW 3	03.16.14
4	SIP REVIEW 4	03.25.14

STAMP

DRAWING TITLE
LANDSCAPE PLAN

PROJECT #

SHEET NUMBER

9 of 17

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

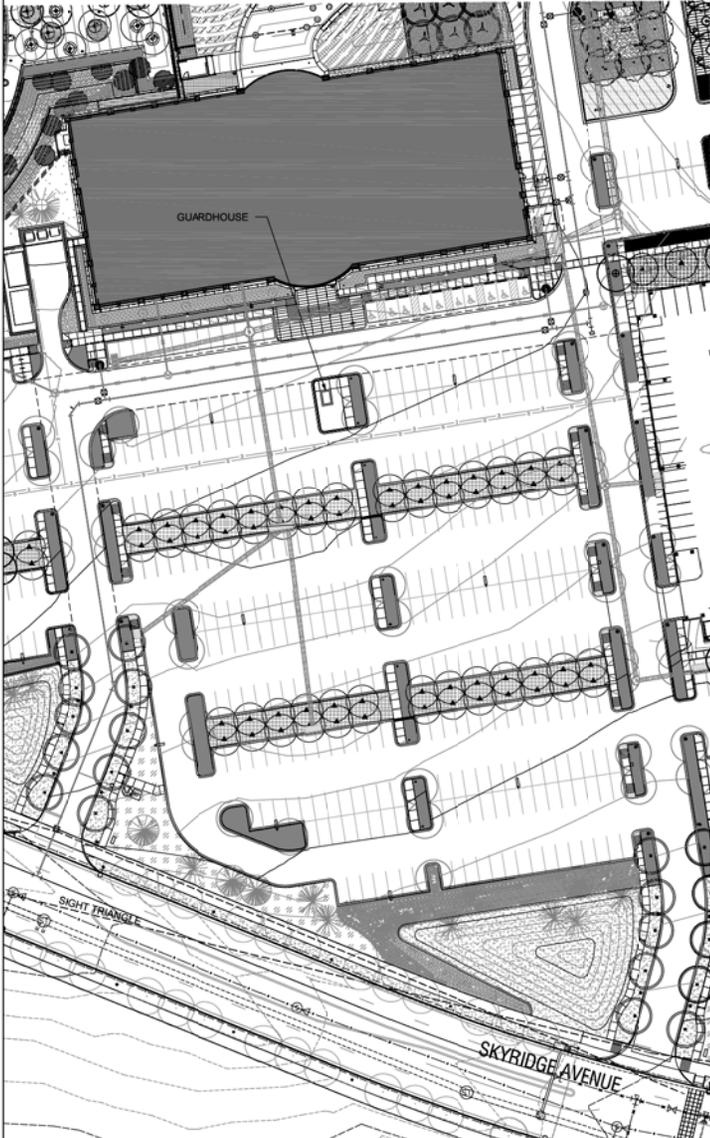
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R

NOTE:
ALL WORK SHOWN BEYOND SITE PROPERTY LINES IS FOR INFORMATION PURPOSES ONLY AND IS NOT INCLUDED AS PART OF THIS SP SUBMITTAL.



CHARLES SCHWAB TURF GRASSES				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE
POA	POA	<i>Poa pratensis</i>	Thermal Blue Sod	sod rec specs

CHARLES SCHWAB GRASS SEED MIXES				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE
MIX 'W'	WARM SEASON TALL GRASS	<i>Andropogon gerardii</i> <i>Schizachyrium scoparium</i> <i>Sorghastrum nutans</i> <i>Panicum virgatum</i>	Big Blue Stem Little Bluestem Indian Grass Switch Grass	seed rec specs
MIX 'F'	WARM SEASON SHORT GRASS	<i>Bouteloua dactyloides</i> <i>Bouteloua gracilis</i>	Buffalograss Blue Grama	seed rec specs
MIX 'C'	WARM SEASON MID GRASS	<i>Bouteloua curtipendula</i> <i>Panicum virgatum</i> <i>Schizachyrium scoparium</i> <i>Sporobolus heterolepis</i>	Sideoats Grama Switch Grass Little Bluestem Prairie Drop Seed	seed rec specs
MIX 'D'	COLD SEASON MID GRASS MIX	<i>Agropyron dasystachyum</i> <i>Elymus canadensis</i> f. <i>Elymus lanceolatus</i> <i>Elymus trachycaulis</i> <i>Phaeopygum amabilis</i>	Stream Bank Wheat Canada Wild Rye Thick Spike Slender Wheat Western Wheat	seed rec specs
MIX 'S'		<i>Panicum virgatum</i>	Switch Grass	seed rec specs

CHARLES SCHWAB ORNAMENTAL GRASSES & PERENNIALS					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
MIX 'E'	ORNAMENTAL GRASSES	<i>Bouteloua gracilis</i> "Blonde Ambition"	Blonde Ambition Blue Grama	4" pots *standard DIL 10 L1200	19" o.c.
MIX 'E'	ORNAMENTAL GRASSES	<i>Bouteloua gracilis</i> "Blonde Ambition"	Blonde Ambition Blue Grama	4" pots *TRIANGULATE	19" o.c.
MIX 'P'	PERENNIALS	<i>Agastache 'Pistolesse'</i> <i>Artemisia schmidtiana</i> <i>Penstemon x mexicali</i> 'Pikes Peak Purple' <i>Penstemon x mexicali</i> 'Sunburst Ruby' <i>Veronica spicata</i> 'Tall Blue'	Coronado Red Hyssop Silver Mound Sage Pike's Peak Purple Penstemon Sunburst Ruby Penstemon Blue Spike Speedwell	1 gal 20% ea	12" o.c.
MIX 'S'	PERENNIALS	<i>Allium afflatunense</i> 'Purple Sensation' <i>Iris sibirica</i> 'Pagallo'	Purple Sensation Allium Siberian Iris	1 gal 50% ea	18" o.c.
MIX 'F'	PERENNIALS	<i>Galium odoratum</i> <i>Vinca minor</i> 'Atropurpurea'	Sweet Woodruff White Periwinkle	4" pots	12" o.c. 18" o.c.
CAA		<i>Calamagrostis acutiflora</i> "Overstar"	Variegated Feather Reed Grass	4" pots	18" o.c.
CFR		<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal	18" o.c.
HES		<i>Helictotrichon sempervirens</i> "Sapphire"	Sapphire Blue Avena	4" pots	24" o.c.
HED		<i>Heucheraella Dayglow Pink</i>	Heucheraella Dayglow Pink	1 gal	18" o.c.
PAV		<i>Panicum virgatum</i>	Switch Grass	4" pots *GRID	18" o.c.
PEA		<i>Pennisetum alopecuroides</i> "Harnett"	Dwarf Fountain Grass	4" pots	12" o.c.
SCS		<i>Schizachyrium scoparium</i>	Little Bluestem	4" pots	24" o.c.
THC		<i>Thymus x citriodorus</i> 'Aureus'	Variegated Lemon Thyme	4" pots	12" o.c.

SHRUBS & GROUNDCOVERS					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
⊕	BET	<i>Berberis thunbergii</i> 'Ghizocant'	Green Hornet Barberry	1 gal	30" o.c.
⊕	CAC	<i>Caryopteris x clandonensis</i> 'First Choice'	First Choice Blue Mist Spirea	2 gal	3' o.c.

DECIDUOUS TREES					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
●	ACM	<i>Acer glabrum</i> 'State Street'	State Street Maple	3" b&b	as shown
▲	CEO	<i>Ulmus wilsoniana</i> "Prospector"	Prospector Elm	3" b&b	as shown
☼	PIE	<i>Pinus edulis</i>	Pinon Pine	6-8" b&b 50% each	as shown
☼	PIP	<i>Pinus ponderosa</i>	Ponderosa Pine	6-8" b&b-50% 12-14" b&b-50%	as shown
☼	PIS	<i>Pinus sylvestris</i>	Scotch Pine	12-14" b&b 50% each	as shown
☼	PIN	<i>Pinus nigra</i>	Austrian Pine	6-8" b&b 12-14" b&b equal of each	as shown
■	PYC	<i>Ficus californiana</i> 'Arctostora'	Arctostora Pear	3" b&b	as shown
⊕	OSW	<i>Quercus bicolor</i>	Swamp White Oak	3" b&b	as shown
⊗	OUC	<i>Quercus muehlenbergii</i>	Chinkapin Oak	3" b&b	as shown
○	OUR	<i>Quercus robur</i> 'Fastigiata'	English Columnar Oak	3" b&b	as shown

SYMBOL LEGEND

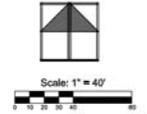
- LIMIT OF WORK LINE
- ▼ PRIMARY BUILDING ENTRY
- ▨ SNOW STORAGE AREAS
- SITE TRIANGLES

MATERIALS LEGEND

- ☐ 4" CONCRETE
- ▨ CIP CONC WALL

FURNISHINGS LEGEND

- LITTER RECEPTACLE



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ARCHITECTS

CIVITAS
DENVER, COLORADO 80202

CONSULTANT

CS LONE TREE

LONE TREE, COLORADO

NO.	ISSUED FOR	DATE
1	SIP REVIEW	02.26.14
2	SIP REVIEW	03.07.14
3	SIP REVIEW	03.16.14
4	SIP REVIEW	03.25.14

STAMP

DRAWING TITLE
LANDSCAPE PLAN

PROJECT #:
SHEET NUMBER:
9A of 17

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

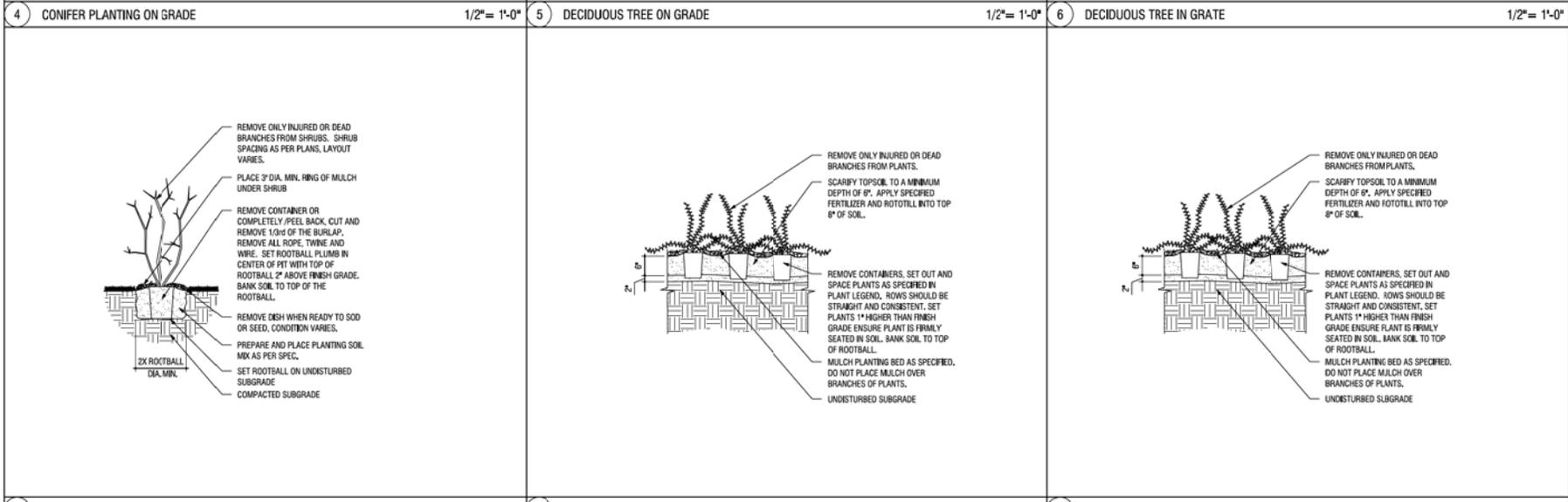
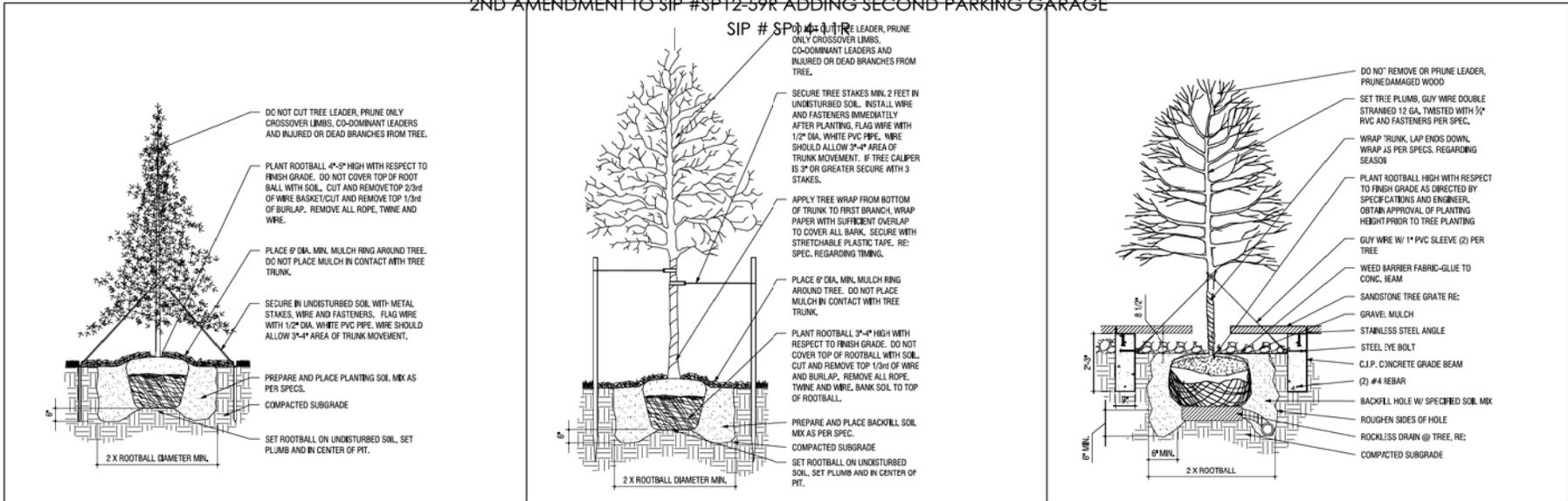
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CIVITAS
Denver, Colorado 80202 303.571.7003

CS LONE TREE

LONE TREE, COLORADO



NO.	ISSUED FOR	DATE
1	SIP REVIEW	02.26.14
2	SIP REVIEW	03.07.14
3	SIP REVIEW	03.18.14
4	SIP REVIEW	03.25.14

STAMP

DRAWING TITLE
LANDSCAPE DETAILS

PROJECT #:
SHEET NUMBER

10 of 17

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R

POINT OF CONNECTION #1 - 2"

THE ONTO 2" IRRIGATION WATER METER AT INDICATED LOCATION. EXTEND 2" K SOFT COPPER AT 54" DEPTH TO STOP & WASTE VALVE LOCATION. INSTALL ONE 2" STOP & WASTE VALVE AND EXTEND 2" K HARD COPPER THROUGH BACKFLOW PREVENTER. INSTALL ONE 2" REDUCED PRESSURE BACKFLOW PREVENTER AND ENCLOSURE. ONE 3/4" MANUAL DRAIN VALVE (NOT SHOWN). ONE 2" FLOW SENSOR, ONE QUICK COUPLING VALVE, ONE 2" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

CONTROLLER LOCATION "A"

PEDESTAL MOUNT ONE RAIN BRID ESP-LXD 50 STATION DECODER-BASED CONTROLLER AT INDICATED LOCATION. EQUIP CONTROLLER WITH RAIN BRID ET-CARTIDGE. 120 VOLT ELECTRICAL POWER IS AVAILABLE WITHIN 30' L.F. OF CONTROLLER LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

OVERHEAD SPRAY IRRIGATION CONSISTING OF POP-UP SPRAY HEADS AND GEAR DRIVEN ROTORS (TYP. ALL TURF AREAS)

OVERHEAD SPRAY IRRIGATION WITH SUPPLEMENTAL DRIP IRRIGATION TO TREES (TYP. ALL NATIVE SEED AREAS)

DRIPPERLINE IRRIGATION FOR ALL PLANT MATERIAL LOCATED IN BOX

CONTROLLER LOCATION "C"

PEDESTAL MOUNT ONE RAIN BRID ESP-LXD 50 STATION DECODER-BASED CONTROLLER AT INDICATED LOCATION. EQUIP CONTROLLER WITH RAIN BRID ET-CARTIDGE. 120 VOLT ELECTRICAL POWER IS AVAILABLE WITHIN 30' L.F. OF CONTROLLER LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

POINT OF CONNECTION #3 - 2"

THE ONTO 2" IRRIGATION WATER METER AT INDICATED LOCATION. EXTEND 2" K SOFT COPPER AT 54" DEPTH TO STOP & WASTE VALVE LOCATION. INSTALL ONE 2" STOP & WASTE VALVE AND EXTEND 2" K HARD COPPER THROUGH BACKFLOW PREVENTER. INSTALL ONE 2" REDUCED PRESSURE BACKFLOW PREVENTER AND ENCLOSURE. ONE 3/4" MANUAL DRAIN VALVE (NOT SHOWN). ONE 2" FLOW SENSOR, ONE QUICK COUPLING VALVE, ONE 2" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

IRRIGATION PLAN

SCALE: 1" = 100'



SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
•	RAIN BRID	1864 64P PPS W/ SPCOZ NOZZ	POP-UP SPRAY HEAD		
•	RAIN BRID	1812 5AM PPS W/NOZZ	16" POP SPRAY HEAD		
•	HUNTER	120-04 W # NOZZ	GEAR DRIVEN ROTOR		
•	HUNTER	120-12 W # NOZZ	HI-ROTOR GEAR DRIVEN ROTOR		
•	RAIN BRID	48 NP	QUICK COUPLING VALVE		
•	RAIN BRID	PEB SERIES	ELECTRIC CONTROL VALVE		
•	RAIN BRID	ESP-LXD SERIES	ELECTRIC CONTROLLER		W/ ET-CARTIDGE
•		LINE SIZE	GATE VALVE		
•	FERCO	855VA - DIA. PER PLAN	BACKFLOW PREVENTER		
•		DIA. PER PLAN	WATER METER		
•	RAIN BRID	XGZ-100 PPS-COM	DRIP VALVE ASSEMBLY		
•		LINE SIZE	DRIP LINE BLOW-OUT STUB		
•	RAIN BRID	WR2-RFC	WIRELESS LAN-FREEZE SENSOR		
•	RAIN BRID	OB SERIES	MASTER VALVE		
•		CLASS 200 SOLVENT WELD	PVC MAINLINE		
•		CLASS 200 SOLVENT WELD - 1" DIA	PVC LATERAL		
•	NETAFIM	TLCV-05-18	POLY DRIPPERLINE		
•		CLASS 200	PVC SLEEVING		
•	RAIN BRID	FSP SERIES	FLOW SENSOR		

CONTROLLER LOCATION "B"

PEDESTAL MOUNT ONE RAIN BRID ESP-LXD 50 STATION DECODER-BASED CONTROLLER AT INDICATED LOCATION. EQUIP CONTROLLER WITH RAIN BRID ET-CARTIDGE. 120 VOLT ELECTRICAL POWER IS AVAILABLE WITHIN 30' L.F. OF CONTROLLER LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

POINT OF CONNECTION #2 - 2"

THE ONTO 2" IRRIGATION WATER METER AT INDICATED LOCATION. EXTEND 2" K SOFT COPPER AT 54" DEPTH TO STOP & WASTE VALVE LOCATION. INSTALL ONE 2" STOP & WASTE VALVE AND EXTEND 2" K HARD COPPER THROUGH BACKFLOW PREVENTER. INSTALL ONE 2" REDUCED PRESSURE BACKFLOW PREVENTER AND ENCLOSURE. ONE 3/4" MANUAL DRAIN VALVE (NOT SHOWN). ONE 2" FLOW SENSOR, ONE QUICK COUPLING VALVE, ONE 2" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

LIMIT LINE OF IRRIGATION SERVICE BY EACH PARAMETER/CONTROLLER LOCATION (TYP)

Irrigation Construction Notes

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY CIVITAS. NO REFER TO TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS FOR INSTALLATION PROCEDURES.
- CONTRACTOR SHALL FIELD VERIFY PRESSURE AT BACKFLOW PREVENTER LOCATION FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DEFICIENCIES FROM SITED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS. EACH SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 300 PSI.

TAP LOCATION NUMBER	REQUIRED PRESSURE (PSI)
1	300

CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF CONCRETE NETWORK AND PAVING. ALL SLEEVING IS BY CONTRACTOR UNLESS OTHERWISE NOTED. UNLESS NOTED OTHERWISE ON IRRIGATION PLAN INSTALL SLEEVING BASED ON SLEEVING GUIDE BELOW:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVE
3/4" - 1 1/4" PIPING	1 1/2" PVC SLEEVE
1 1/2" - 2" PIPING	1 1/2" PVC SLEEVE
2 1/2" - 3" PIPING	1 1/2" PVC SLEEVE
25 CONTROL WIRES	1 1/2" PVC SLEEVE
25 CONTROL WIRES	1 1/2" PVC SLEEVE

NOTE: EACH LENGTH OF SLEEVED PIPE SHOWN SHALL BE ROUTED THROUGH SEPARATE SLEEVE. IRRIGATION WIRE BUNDLES SHALL BE ROUTED IN SEPARATE SLEEVE/CONDUIT WITHOUT IRRIGATION PIPING.

- WHERE NOT NOTED ON IRRIGATION PLANS CONTRACTOR TO INSTALL PLASTIC 1/2" SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED GREATER THAN 2 FEET. INSTALL 1/2" SERIES NOZZLES ON ALL POP-UP SPRAY HEADS SPACED 10 FEET. INSTALL 1/2" SERIES NOZZLES ON ALL POP-UP SPRAY HEADS SPACED 3 FEET AND LESS.
- REFER TO PLANTING PLAN FOR EXACT TREE LOCATIONS AND QUANTITIES. TREES SHOWN ON IRRIGATION PLANS ARE APPROXIMATE.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION EQUIPMENT, TURF, PLANT MATERIAL OR SITE FEATURES DAMAGED DURING NEW INSTALLATION. REPLACEMENT OR REPAIR OF DAMAGED EQUIPMENT OR MATERIAL SHALL BE DETERMINED BY THE OWNER AND THE CONSULTANT.
- VALVE BOXES SHALL BE LOCATED 36" MINIMUM FROM CENTERLINE OF ALL SWALES, 24" MINIMUM FROM CORNERS OF ALL WALLS, CURBS, DRIVE AND OTHER HARD SURFACE AREAS.
- REFER TO IRRIGATION TECHNICAL SPECIFICATIONS FOR PLANTING AND IRRIGATION LAYOUT REQUIREMENTS, COORDINATION AND PRIORITIES.
- LATERAL PIPING DIAMETERS SHALL INCLUDE 1", 1 1/2", 2" AND 2 1/2". 3/4" AND 1 1/4" DIAMETER LATERAL PIPING IS NOT ACCEPTABLE.
- TEMPORARY IRRIGATION (NO MORE THAN ONE SEASON) MAY BE USED TO ESTABLISH NATIVE GRASSES AND NATIVE VEGETATION. ALL OTHER VEGETATION SHALL BE SERVED BY A FUNCTIONING, PERMANENT AUTOMATIC IRRIGATION SYSTEM.
- TO CONSERVE WATER, IRRIGATED TURF SHALL NOT BE ALLOWED ON SLOPES GREATER THAN 3:1. GRASSES OR TREES IRRIGATED ON SLOPES GREATER THAN 3:1 ARE ACCEPTABLE AS IS DROUGHT-TOLERANT GRASSES WITH TEMPORARY IRRIGATION SYSTEMS FOR AREAS WITH SLOPES GREATER THAN 3:1.
- DRIP EMITTERS AND SPRINKLERS SHALL BE PLACED ON SEPARATE VALVES.
- IN LANDSCAPE AREAS LESS THAN 10 FEET WIDE, IRRIGATION SHALL BE LIMITED TO SUB-SURFACE DRIP IRRIGATION, DRIP IRRIGATION (POINT SOURCE) OR MULTI-TRAILLECTORY/NOTATING STRIP NOZZLES.

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NO.	ISSUED FOR	DATE
1	SUPREVIEW	02.26.14
2	SUPREVIEW	03.07.14
3	SUPREVIEW	03.18.14
4	SUPREVIEW	03.25.14

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PROJECT #

SHEET NUMBER

11 of 17



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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M - U #2

32 ACRES

2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE

SIP # SP14-11R



NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR PERMITS	02/28/14	ISSUED FOR PERMITS
2	REVISION	03/07/14	REVISION
3	REVISION	03/07/14	REVISION
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Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
10ft. off road	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A
10ft. off road 1	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A
10ft. off road 2	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A
10ft. off road 3	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A
Garage 2 top	ILLUMINANCE	FC	1.00	2.9	0.0	N/A	N/A
South Property Line	ILLUMINANCE	FC	0.05	0.1	0.0	N/A	N/A
South Property Line 20ft. offset	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A
South Site	ILLUMINANCE	FC	0.54	2.9	0.0	N/A	N/A
South parking lots	ILLUMINANCE	FC	0.96	2.9	0.0	N/A	N/A

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage Top	ILLUMINANCE	FC	1.19	3.0	0.0	N/A	N/A
North Property Line	ILLUMINANCE	FC	0.04	0.9	0.0	N/A	N/A
North Property Line 20ft. offset	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A
North Site	ILLUMINANCE	FC	0.20	2.9	0.0	N/A	N/A

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Denver, CO 80202
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LONE TREE, COLORADO

NO.	ISSUED FOR	DATE
01	ISSUED FOR PERMITS	02/28/14
02	REVISION	03/07/14
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DRAWING TITLE
ELECTRICAL
SITE

PROJECT #

SHEET NUMBER

14 of 16

RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 32 ACRES
 2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE
 SIP #SP14-11R

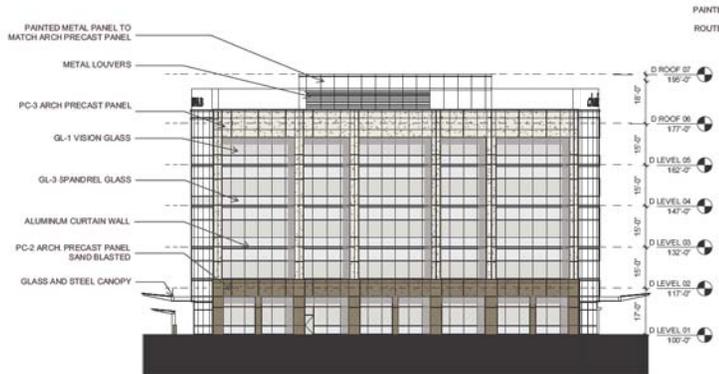
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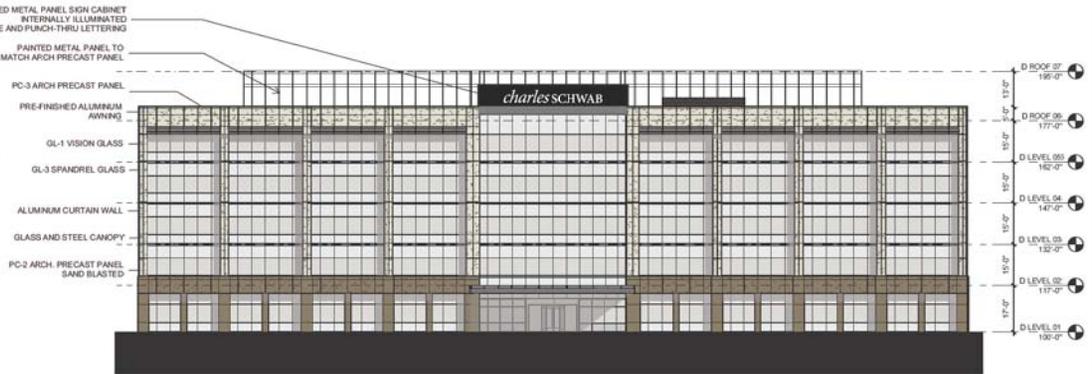
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CS LONE TREE

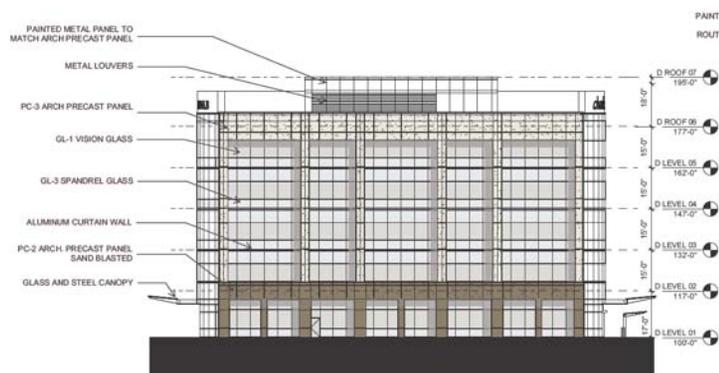
LONE TREE, COLORADO



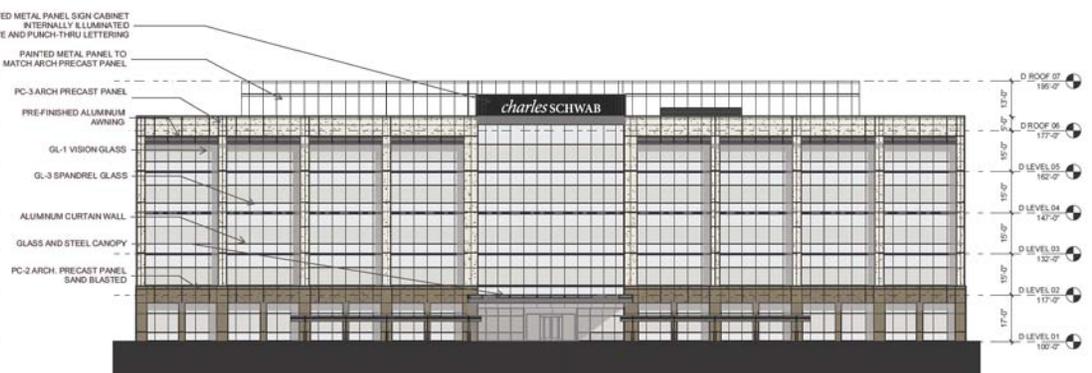
4 EAST ELEVATION
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3 NORTH ELEVATION
 SCALE: 3/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 3/8" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"

NO.	ISSUED FOR	DATE
1	SIP REVIEW	02.28.14
2	SIP REVIEW 2	03.07.14
4	SIP REVIEW 4	03.25.14

STAMP

DRAWING TITLE
 OFFICE BUILDING 3
 ELEVATIONS
 PROJECT #2014036
 SHEET NUMBER

15 of 17

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RIDGEGATE SECTION 15, FILING NO.19, LOT 1

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA C/M-U #2
 32 ACRES
 2ND AMENDMENT TO SIP #SP12-59R ADDING SECOND PARKING GARAGE
 SIP #SP14-11R

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LONE TREE, COLORADO

NO.	ISSUED FOR	DATE
SIP REVIEW		03.26.14
SIP REVIEW 2		03.07.14
SIP REVIEW 4		03.25.14

STAMP

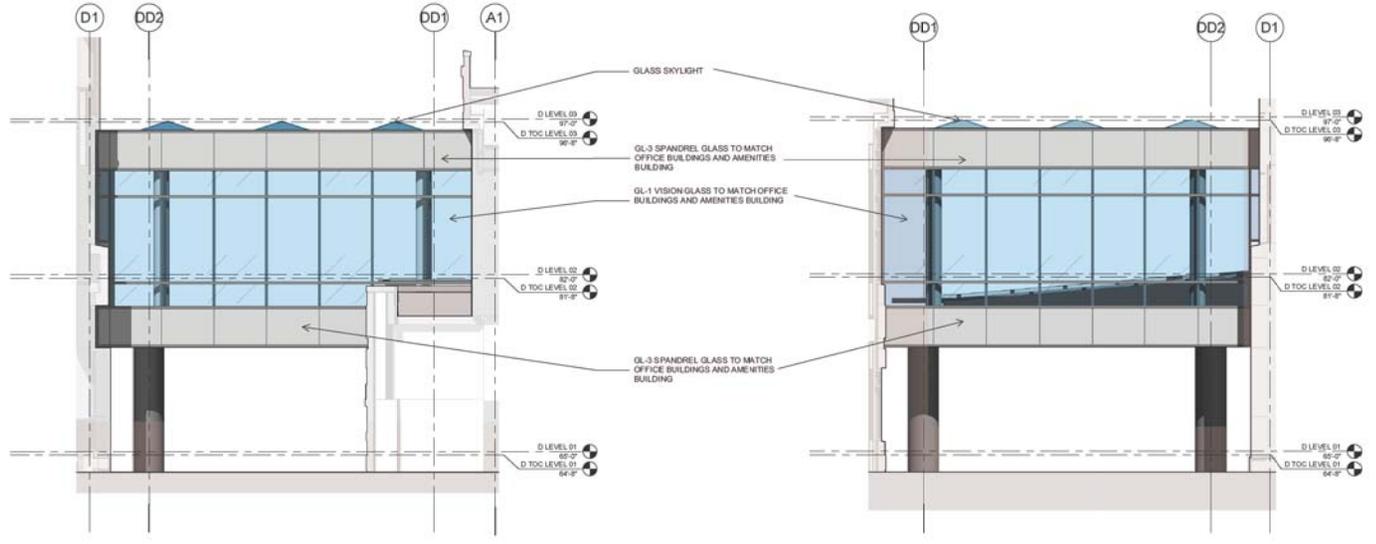
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 BRIDGE & GUARDHOUSE ELEVATIONS

PROJECT # 201400W
 SHEET NUMBER

17 of 17



2 GUARDHOUSE ELEVATIONS
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1 BRIDGE ELEVATIONS
 SCALE: 3/4" = 1'-0"

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Project Summary

Phase 1

Office Building 1: 187,500 sf
Office Building 2: 187,500 sf
Amenities Center: 75,000 sf

Retail Branch: 17,000 sf

Parking Garage 1: 949 cars

Phase 2

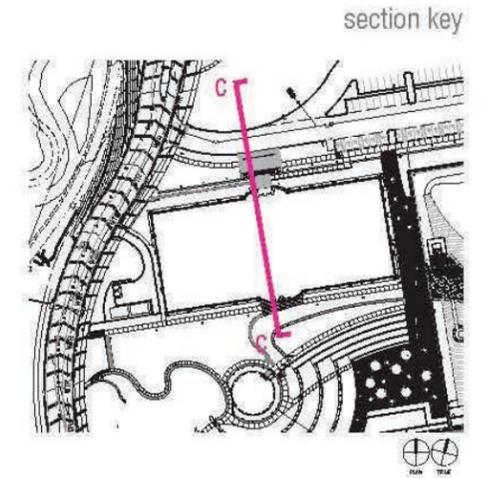
Office Building 3: 187,500 sf
Bridge: 1,200 sf

Guard House: 50 sf

Parking Garage 2: 1,233 cars

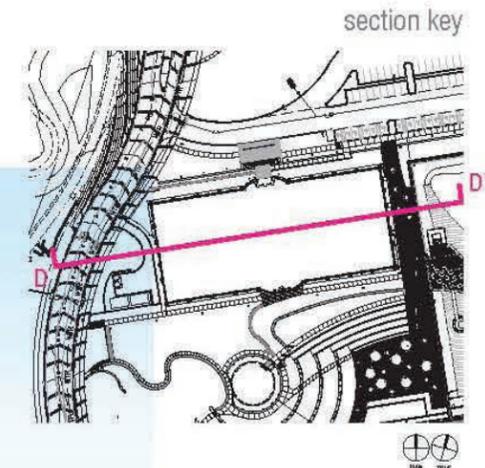
PHASE II

Section C-C' - Office Building 3 looking East

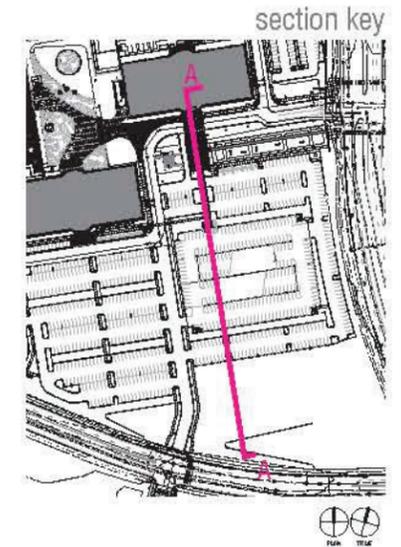


Phase II

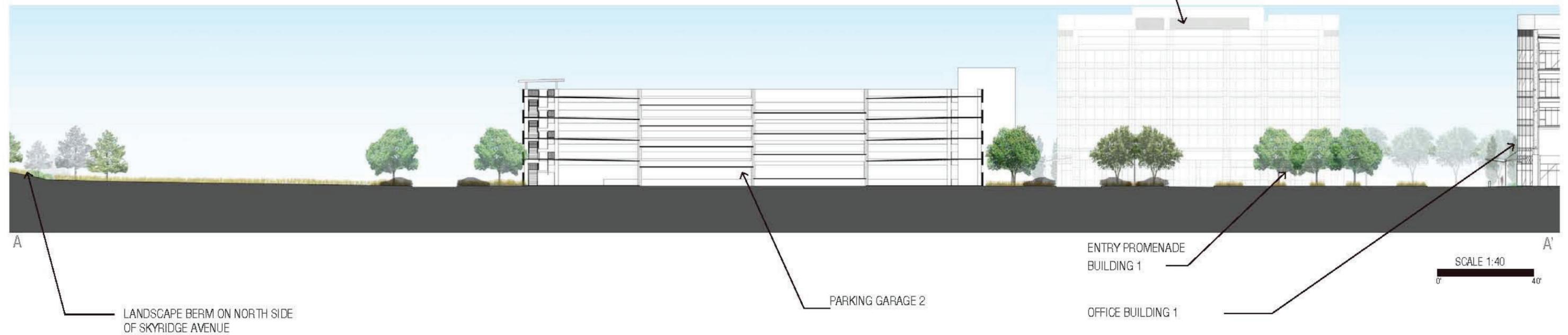
Section D-D' - Office Building 3 looking North



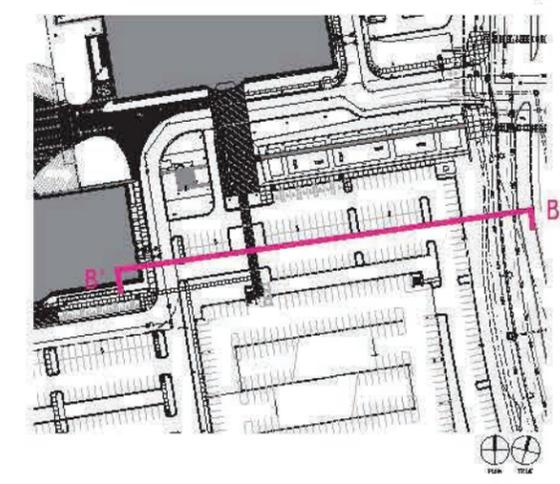
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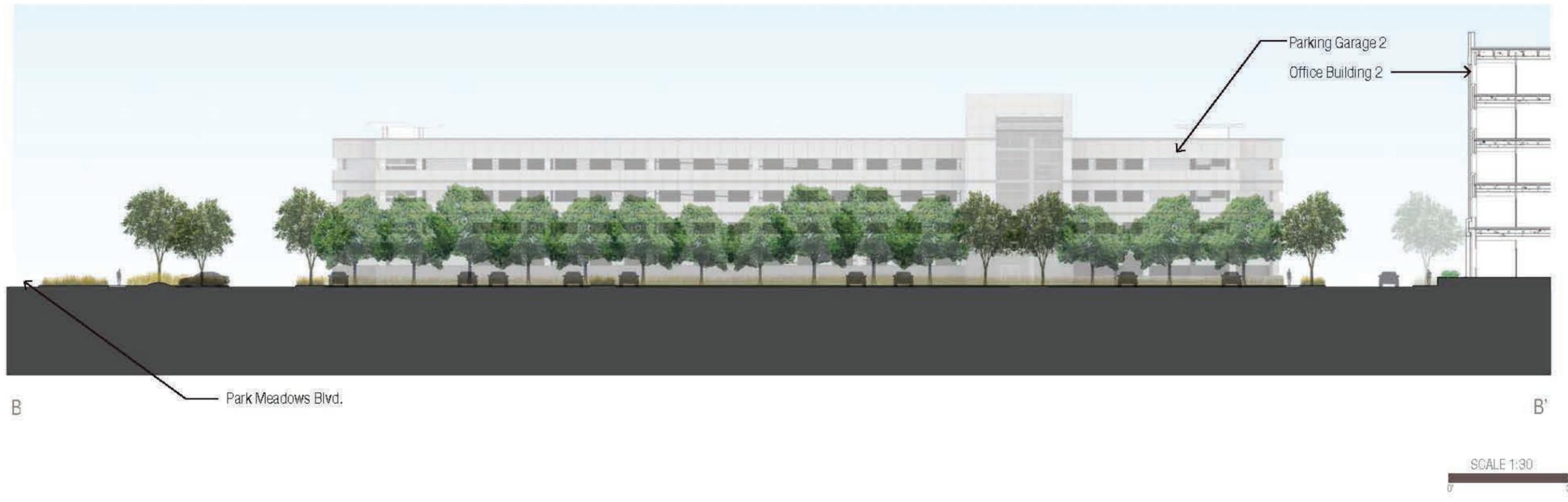
Phase II
Section-Elevation A-A' - Looking West to Parking Garage 2



section key



PHASE II
Elevation B-B' - South to Parking Garage 2



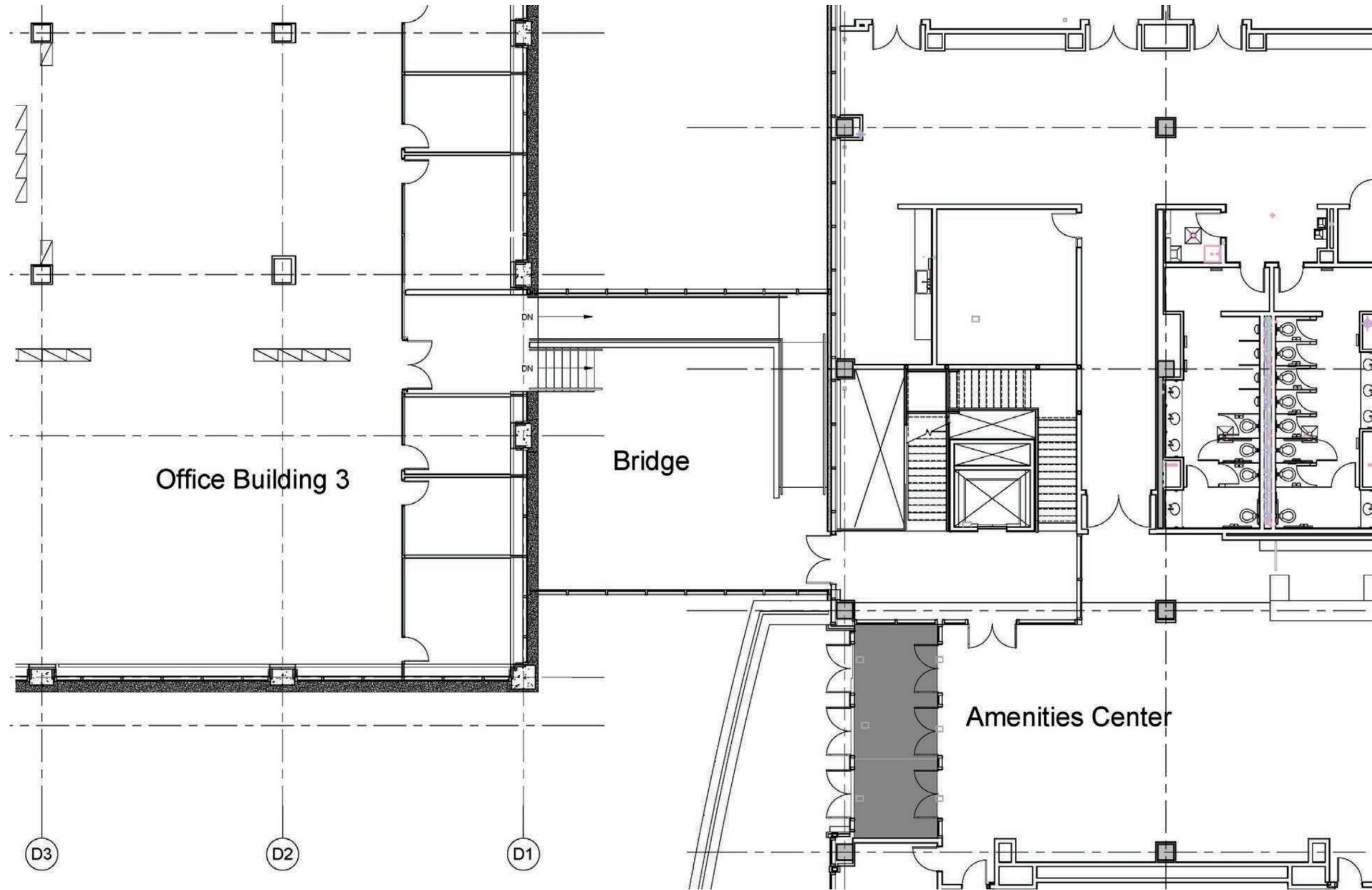














Amenities / Office 3 Bridge

Approximately 30' long x 40' wide

Connects the second floor of Office 3 to the upper level of the Amenities Center

Enclosure of curtainwall to match the remainder of the campus buildings







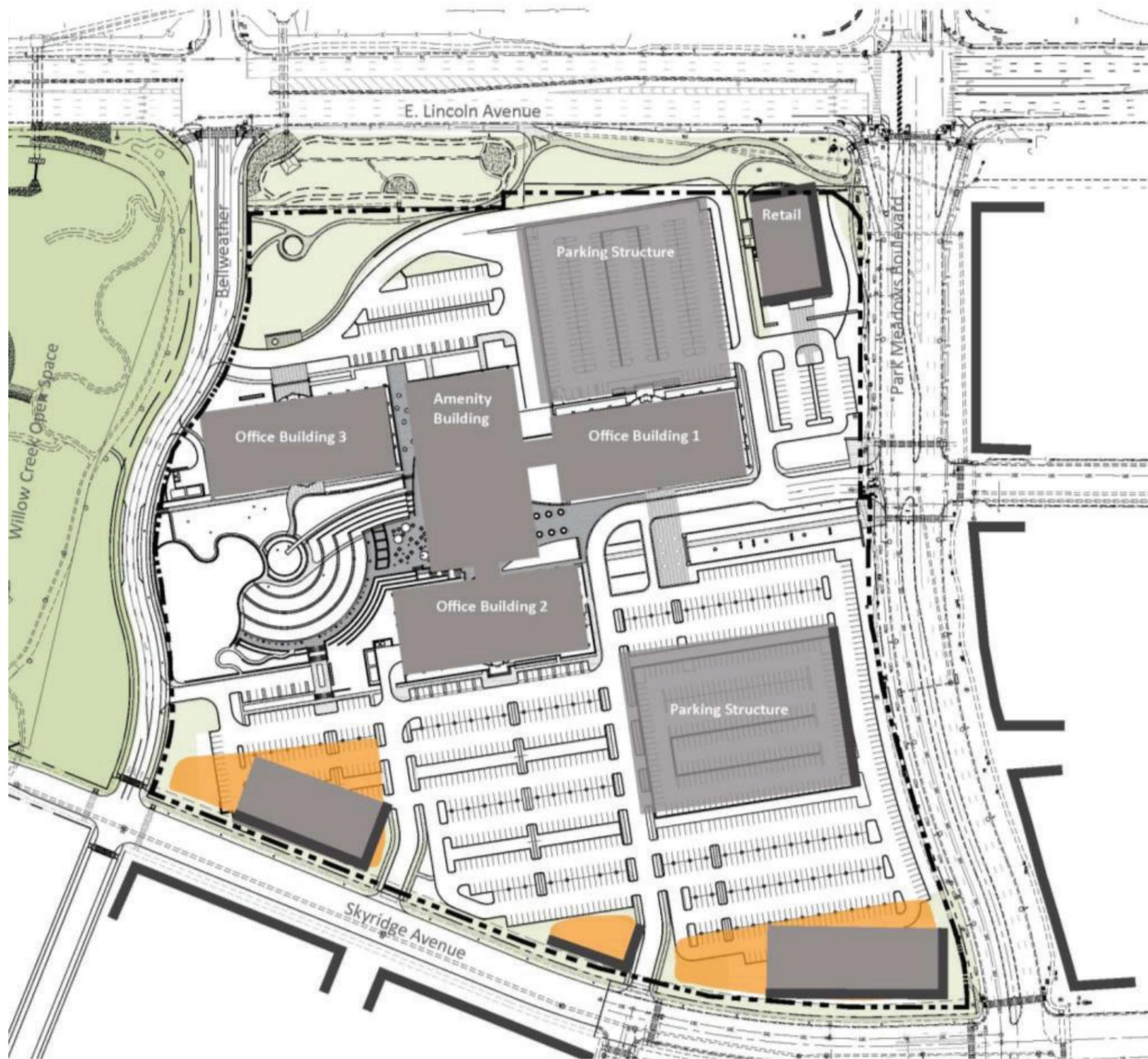
Guard House

Approximately 10' long x 8' wide

Located across Schwab Way from Office Building 2.

Enclosure of curtainwall and Colorado Buff Sandstone with metal panel fascia to match the Branch.





The site is designed in a manner that allows buildings to front Sky Ridge Avenue as it develops over time. The linear open space will transition to a more urban edge, maintaining a strong connection from the regional open space network to the future light rail station.



CITY OF LONE TREE
STAFF REPORT

TO: Mayor Gunning and City Council

**FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner**

DATE: April 9, 2014

FOR: April 15, 2014 City Council Meeting

**SUBJECT: Resolution, 14-08, ADOPTING A PLAN FOR THE AREA WITHIN
THREE MILES OF THE CITY BOUNDARY, #MI-14-20**

Summary

The attached resolution and plan maps have been prepared to meet the requirement of Section 31-12-105(1)(e) of the Colorado Revised Statutes, which mandates all municipalities prepare a three-mile plan prior to the completion of any annexation. Such plans are required to be updated annually.

Cost

There is no cost associated with this resolution.

Suggested Motion or Recommended Action

I move to approve Resolution 14-08, ADOPTING A PLAN FOR THE AREA WITHIN THREE MILES OF THE CITY BOUNDARY.

Background

Pursuant to Section 31-12-105(1)(e) of the Colorado Revised Statutes, as a precondition to any annexation, the annexing municipality must have in place a plan that includes “the proposed location, character, and extent of streets, subways, bridges, waterways, waterfronts, parkways, playgrounds, squares, parks, aviation fields, other public ways, grounds, open spaces, public utilities, and terminals for water, light sanitation, transportation and power to be provided by the municipality, as well as the proposed land uses for the area.”

The 2014 Three-Mile Plan is the same as adopted in previous years and includes a narrative and accompanying maps. The plan adopts by reference the master plans of various surrounding jurisdictions to the extent they do not conflict with the City of Lone Tree’s Comprehensive Plan.

Summary of Proposed 2014 Three-Mile Plan

The three-mile planning area boundary extends three miles out from the City of Lone Tree's municipal boundaries and includes land in unincorporated Douglas and Arapahoe counties.

The objective of adopting the three-mile plan is to provide comprehensive consideration of the land use goals of adjacent jurisdictions in planning for future growth and urbanization.

Douglas County's current Comprehensive Plan, adopted in 2008, includes land use policies for the future development of its unincorporated areas. The County Plan recommends urban development in the areas included in Lone Tree's three-mile area with the exception of Grandview Estates, the area south of Lone Tree's Urban Growth Area, within the Bluffs Regional Park, and the Backcountry Wilderness Area of Highlands Ranch.

Arapahoe County's current Comprehensive Plan, adopted in 2012, includes land use policies for the future development of the unincorporated areas. The County's plan recommends employment or urban residential land uses for the areas within Lone Tree's three-mile planning area.

The City of Lone Tree recognizes these land use recommendations to the extent they do not conflict with the City's plans and policies for the area.

The plan also incorporates by reference the service plans of water, sewer, metropolitan, transportation, parks and recreation, other special districts and the public utility companies serving that portion of Lone Tree's three-mile area.

**CITY OF LONE TREE
RESOLUTION NO. 14-08**

**A RESOLUTION ADOPTING A PLAN FOR THE AREA WITHIN
THREE MILES OF THE CITY BOUNDARY**

WHEREAS, Colorado state law, Section 31-12-105(1)(e)(I) C.R.S., provides that prior to the completion of any annexation within a three mile area of a municipal boundary, the annexing municipality shall have in place a plan for that area; and

WHEREAS, the plan is to describe generally the proposed location, character, and extent of streets, subways, bridges, waterways, waterfronts, parkways, playgrounds, squares, parks, aviation fields, other public ways, grounds, open spaces, public utilities, and terminals for water, light, sanitation, transportation and power to be provided by the municipality, as well as the proposed land uses for the area; and

WHEREAS, state law requires that the plan be updated at least annually.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
CITY OF LONE TREE, COLORADO, THAT:**

1. In compliance with Section 31-12-105(1)(e)(I) C.R.S., the City Council hereby adopts the City of Lone Tree Three-Mile Plan, including the Three-Mile Planning Area Map, attached as Exhibit A, as the plan for the unincorporated area within three miles of the City of Lone Tree boundary.

2. The City of Lone Tree Three-Mile Plan shall be updated at least once annually.

APPROVED AND ADOPTED THIS 15th DAY OF APRIL, 2014.

CITY OF LONE TREE

By: _____
James D. Gunning, Mayor

ATTEST:

Jennifer Pettinger, CMC, City Clerk

(S E A L)

EXHIBIT A

CITY OF LONE TREE THREE-MILE PLAN

SECTION 1 - INTRODUCTION

This document constitutes the City of Lone Tree's Three-Mile Plan for the unincorporated area within three miles of the City's perimeter, as required by and in conformance with Section 31-12-105 (1)(e)(I) of the Colorado Revised Statutes (C.R.S.). The Three-Mile Plan is comprised of seven sections, including this introduction. Some sections are self-contained land use plans, which are incorporated into the Three-Mile Plan in their entirety by reference. Section 2 contains the description of the plan, clarifications and elaborations.

SECTION 2 - DESCRIPTION OF THE PLAN, CLARIFICATIONS, AND ELABORATIONS

This Three-Mile Plan addresses all unincorporated lands within three miles of the corporate limits of the City of Lone Tree, as shown on the accompanying map. While the map includes the incorporated areas of Greenwood Village, City of Centennial, City of Castle Pines North and the Town of Parker, the Three-Mile Plan does not apply to these incorporated areas.

The proposed location, character, and extent of elements of the plan are described as follows:

Streets: As identified in the Transportation section of the Lone Tree Comprehensive Plan and Transportation Plans for Arapahoe and Douglas County.

Subways: No subways exist or are planned for the area.

Bridges: No bridges other than those planned for the RidgeGate Planned Development to cross drainages and those described in the Transportation Plans for Arapahoe and Douglas County are planned at this time.

Waterways: No changes are proposed at this time.

Waterfronts: No waterfronts are planned at this time.

Parkways, playgrounds, squares, and parks and open space: As identified in the Lone Tree Comprehensive Plan and the Arapahoe and Douglas County Plans.

Aviation fields: As identified in the plans for Centennial Airport.

Other public ways, grounds, and open spaces: As identified in the Lone Tree Comprehensive Plan and the Arapahoe and Douglas County Plans.

Public Utilities: As identified in the service plan of the applicable district or utility.

Terminals for water, light, sanitation and power: As identified in the service plan of the applicable district or utility.

Transportation: As identified in the Transportation Plan section of the Lone Tree Comprehensive Plan, and in the Transportation Plans for Douglas and Arapahoe Counties.

Land Use: As identified in the City of Lone Tree Comprehensive Plan as the primary guiding plan and the Douglas or Arapahoe County Plans as the secondary guiding plans for land use issues.

SECTION 3 - CITY OF LONE TREE COMPREHENSIVE PLAN

The Three-Mile Plan incorporates by reference the most recent version of the City of Lone Tree's Comprehensive Plan adopted by the City's Planning Commission and approved by the City Council in April 2007, as amended. That Plan establishes the City's Planning and Urban Growth boundary - that area where future growth and development is directed (also depicted on the Three-Mile Plan Map). All subsequent amendments to the City's Comprehensive Plan are hereby incorporated by reference into the Three-Mile Plan.

SECTION 4 - ARAPAHOE AND DOUGLAS COUNTY COMPREHENSIVE PLANS

The Three-Mile Plan incorporates by reference the Arapahoe County Comprehensive Plan, as amended, and the Douglas County Comprehensive Plan, as amended, except any portions of those plans that are inconsistent with the City of Lone Tree's Comprehensive Plan.

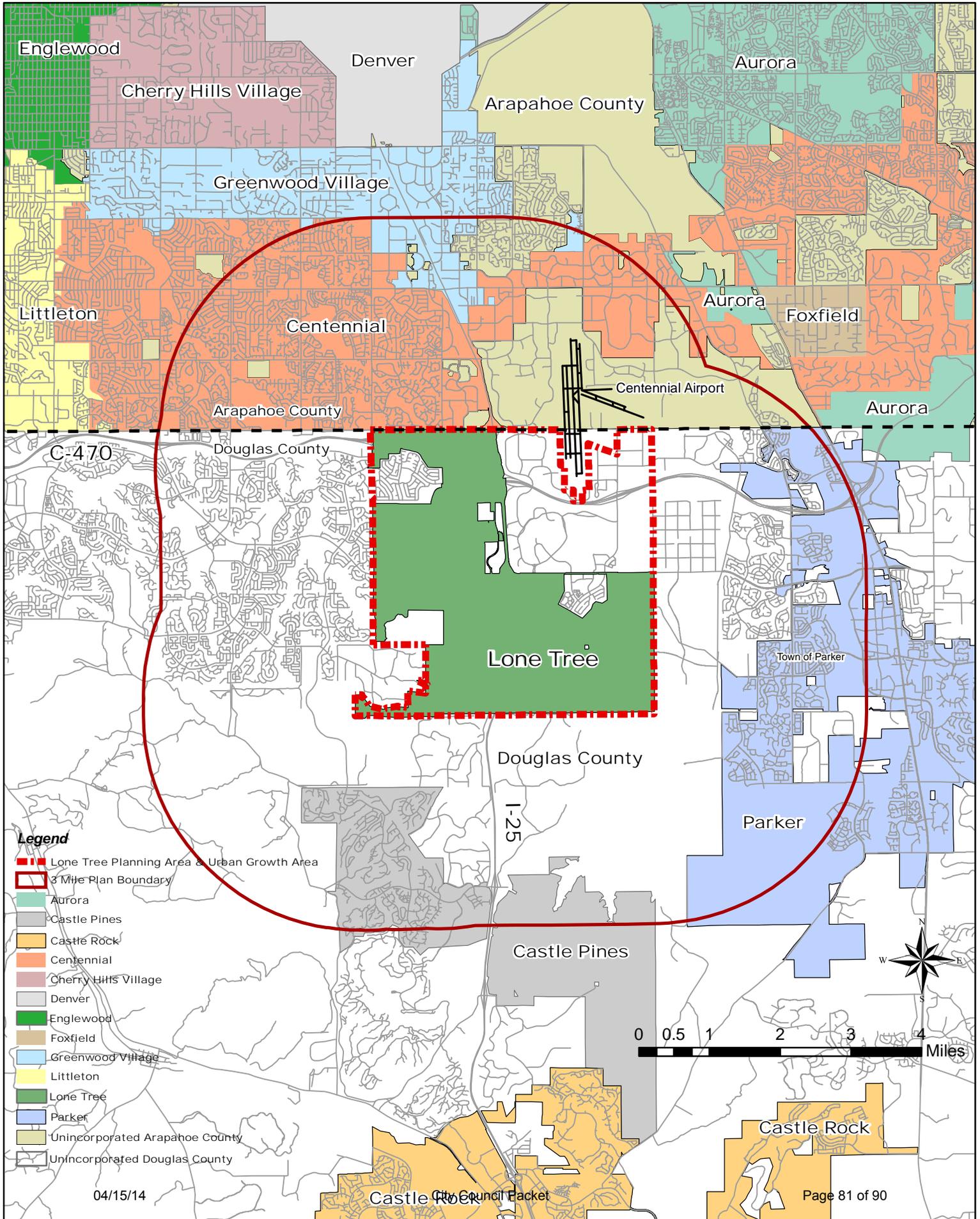
SECTION 5 - SPECIAL DISTRICT SERVICE PLANS

The Three-Mile Plan incorporates by reference the service plans of water, sewer, metropolitan, transportation, parks and recreation, and other special districts serving that portion of Lone Tree's three-mile area, except any portion of such plans that are inconsistent with the City of Lone Tree's Comprehensive Plan.

SECTION 6 - UTILITY SERVICE PLANS

The Three-Mile Plan incorporates by reference the service plans of the utilities which furnish light and power for that portion of the three-mile area approved by the City of Lone Tree, and all other service plans within the area except any portion of such plans which are inconsistent with the City of Lone Tree's Comprehensive Plan.

CITY OF LONE TREE THREE-MILE PLANNING AREA MAP



Legend

- - - Lone Tree Planning Area & Urban Growth Area
- 3 Mile Plan Boundary
- Aurora
- Castle Pines
- Castle Rock
- Centennial
- Cherry Hills Village
- Denver
- Englewood
- Foxfield
- Greenwood Village
- Littleton
- Lone Tree
- Parker
- Unincorporated Arapahoe County
- Unincorporated Douglas County

Land Use

Map 1.1

Comprehensive Master Plan 2030

May 12th, 2008

COMPREHENSIVE MASTER PLAN AREAS

- CHATFIELD URBAN AREA
- PRIMARY URBAN AREA (PUA)
- RURAL COMMUNITIES
- SEPARATED URBAN AREA (SUA)
- NON-DOUGLAS COUNTY BASED MUNICIPALITIES
- NON-URBAN AREA

MUNICIPAL PLANNING AREAS

- MUNICIPAL PLANNING AREA (INCORPORATED)
- MUNICIPAL PLANNING AREA (UNINCORPORATED)
- CASTLE ROCK IGA BOUNDARY & BUFFER AREA
- PARKER IGA BOUNDARY & BUFFER AREA
- MUNICIPAL PLANNING AREA INCLUSIVE OF COUNTY PUA

SIGNIFICANT OPEN SPACE & PARKS

- OPEN SPACE
- COUNTY OPEN SPACE WITHIN INCORPORATED AREAS
- PIKE NATIONAL FOREST
- PARKS

- Townships
- Sections
- County Boundary
- Lakes
- Streams
- Interstate
- US Highways
- State Highways
- Major Roads

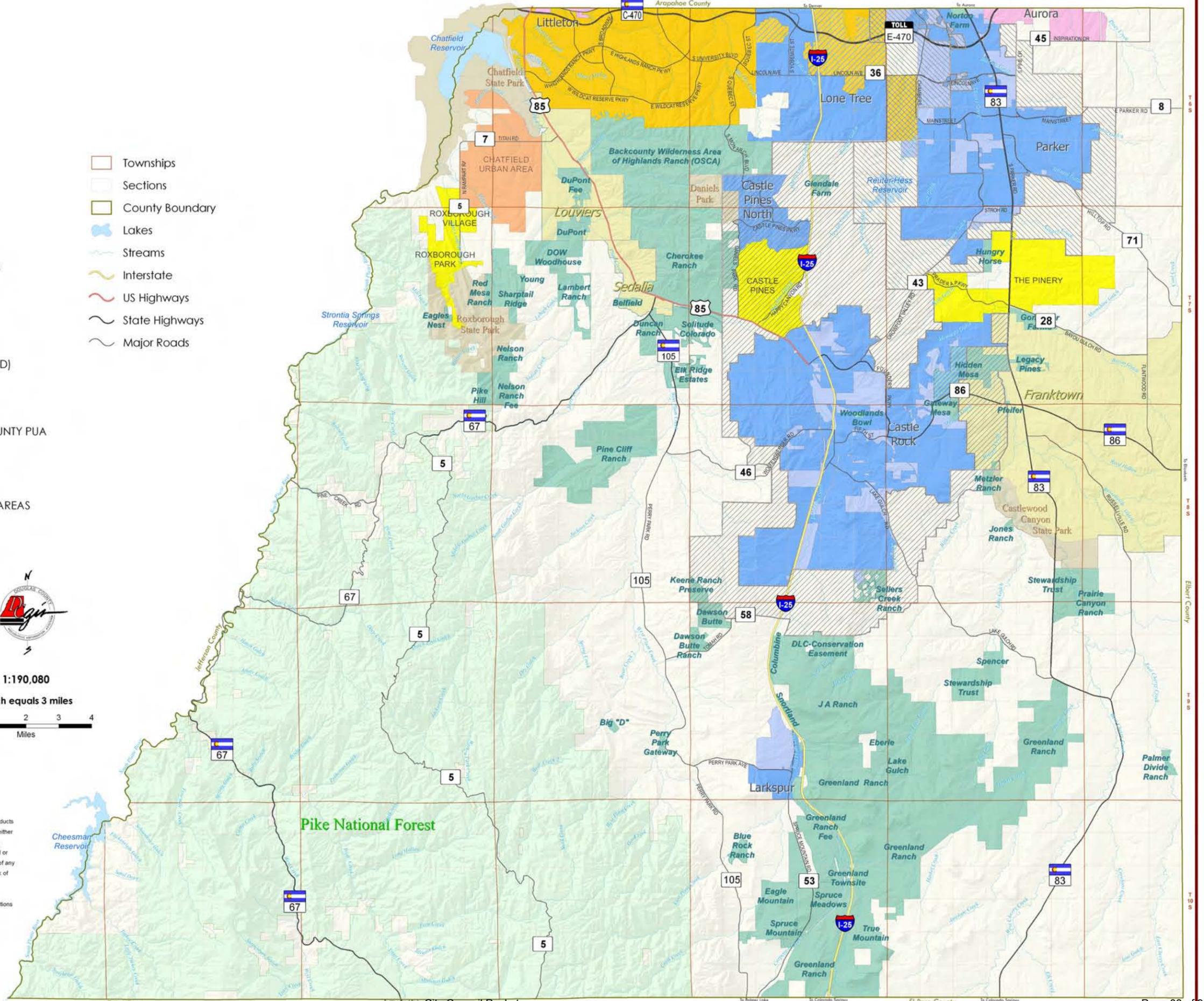


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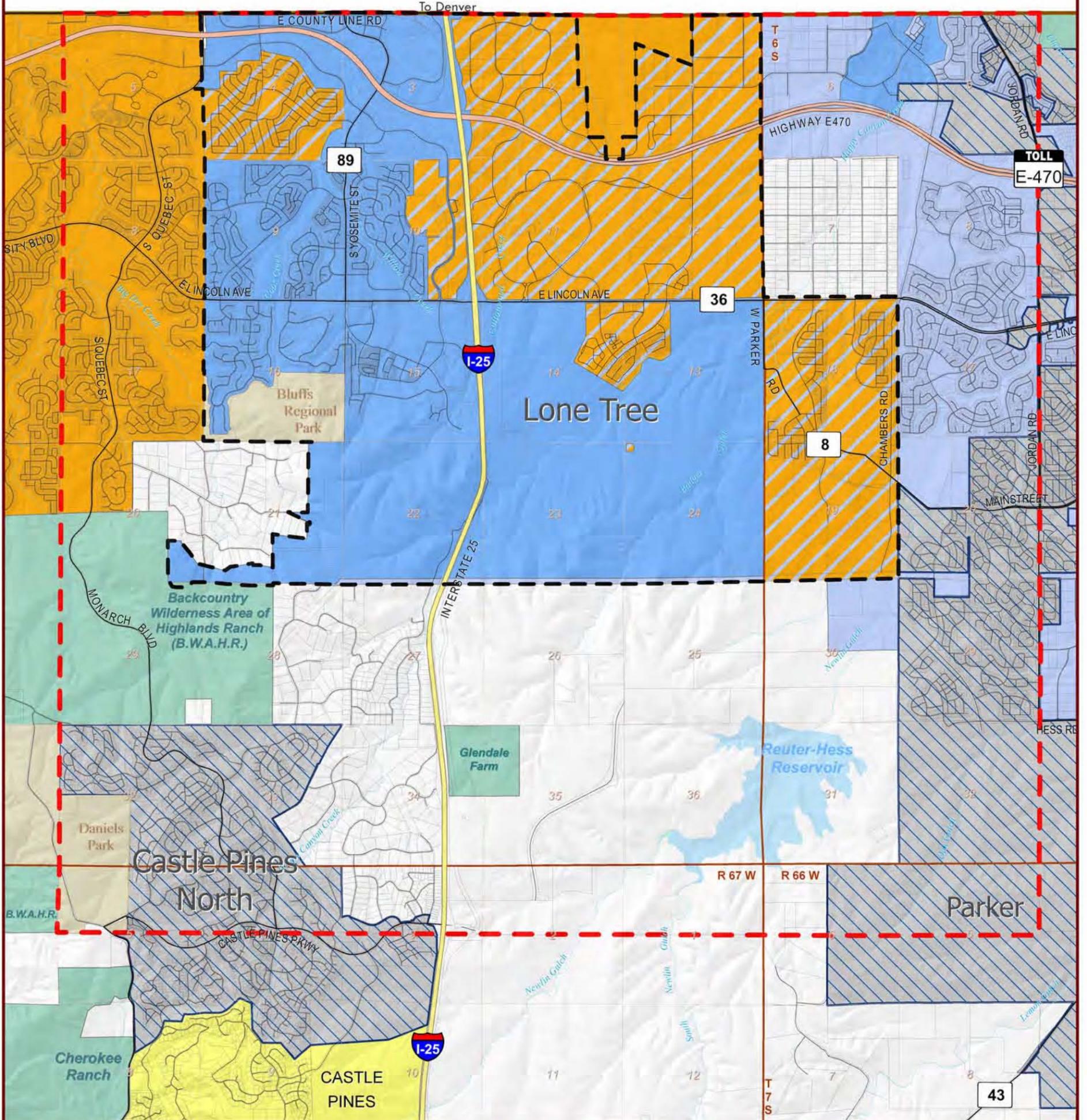
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Douglas County GIS Division
 Philip S. Miller Bldg., 100 Third St.
 Castle Rock, Colorado 80104



Lone Tree Municipal Planning Area

Map 2.7
Comprehensive Master Plan 2030
May 12th, 2008



- | | |
|---|-----------------|
| Municipal Planning Area (Incorporated) | County Boundary |
| Municipal Planning Area (Unincorporated) | Parks |
| Primary Urban Area (PUA) | Open Space |
| Municipal Planning Area Inclusive of County PUA | Lakes |
| Separated Urban Area (SUA) | Streams |
| Municipal Planning Area Boundary | Interstate |
| Lone Tree Influence Area | US Highways |
| Other Incorporated Areas | State Highways |
| Parcels | Major Roads |
| Townships | Local Roads |
| Sections | |

1:47,520
1 inch equals 3/4 mile

Vicinity Map

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Douglas County GIS Division
Philip S. Miller Bldg., 100 Third St.
Castle Rock, Colorado 80104

**CITY OF LONE TREE
RESOLUTION NO. 14-09**

**A RESOLUTION APPOINTING A MEMBER
TO THE YOUTH COMMISSION
FOR THE CITY OF LONE TREE**

WHEREAS, by Resolution 09-02, the City Council created the Youth Commission (the Commission) which advises the City on matters pertaining to youth and youth interest in the City of Lone Tree; and

WHEREAS, by Resolution 09-02, the Commission is comprised of not more than seven and not less than five resident members, all of whom are residents of Lone Tree and currently enrolled in 8th through 12th grade; and

WHEREAS, the Youth Commission currently has one vacancy due to the resignation of Jack Johnson, whose term expires on August 31, 2016; and

WHEREAS, the City Council desires to appoint one Youth Commission member to fill that vacancy to expire on August 31, 2016, such appointments to be effective on the date of expiration of their previous term; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LONE TREE, COLORADO:

That Michelle Timmins is hereby appointed to the Youth Commission to fill the vacancy created by the resignation of Jack Johnson for the remainder of Mr. Johnson's term, which expires on August 31, 2016.

APPROVED AND ADOPTED THIS 15th DAY OF APRIL, 2014.

CITY OF LONE TREE

James D. Gunning, Mayor

ATTEST:

Jennifer Pettinger, CMC, City Clerk

(S E A L)



CITY OF LONE TREE
STAFF REPORT

TO: Mayor Gunning and City Council

FROM: Neil Rutledge

DATE: April 9, 2014

FOR: April 15, 2014 City Council Meeting

SUBJECT: Resolution 14-10, SUPPORTING A CHARTER AMENDMENT TO REQUIRE A MAJORITY VOTE FOR THE ELECTION OF MAYOR AND PROVIDING FOR RUNOFF ELECTIONS FOR MAYOR

Summary

The City Council passed an Ordinance submitting a Ballot Question to City voters at the regular municipal election to be held on May 6, 2014, amending the Charter to require a majority vote for the election of Mayor and providing for runoff elections. This Resolution puts the City Council on record supporting the Charter Amendment.

Cost

There is no cost to the City.

Suggested Motion

I move to approve Resolution 14-10, supporting a Charter Amendment requiring a majority vote for the Election of Mayor and providing for runoff elections for Mayor.

Background

If more than two candidates run for the office of Mayor, it is possible the Mayor of Lone Tree could be elected by a plurality of the voters and not by a majority of the registered electors. In order to facilitate a majority requirement and a runoff election process, the City Charter needs to be amended. This Resolution puts the City Council on record supporting the Charter Amendment and urging the voters to approve the Ballot Question at the regular municipal election to be held on May 6, 2014.

**CITY OF LONE TREE
RESOLUTION 14-10**

**A RESOLUTION SUPPORTING A CHARTER AMENDMENT
TO REQUIRE A MAJORITY VOTE FOR THE ELECTION OF MAYOR
AND PROVIDING FOR RUNOFF ELECTIONS FOR MAYOR**

WHEREAS, the City of Lone Tree Home Rule Charter provides that the Mayor be elected from the City at large. As a result, the Mayor represents all of the residents of the City of Lone Tree; and

WHEREAS, the Charter and election laws currently provide for the election to the office of Mayor by the candidate receiving the most votes; and

WHEREAS, if more than two candidates run for the office of Mayor, it is possible the Mayor of Lone Tree could be elected by a plurality of the voters and not by a majority of the registered electors; and

WHEREAS, it is also possible a special interest candidate representing a small faction of voters, or a candidate manipulating the electoral system by adding candidates to dilute the vote, could be elected Mayor by a plurality if three or more candidates are on the ballot; and

WHEREAS, the City Council passed an Ordinance submitting a Ballot Question to City voters at the regular municipal election to be held on May 6, 2014, amending the Charter to require a majority vote for the election of Mayor; and

WHEREAS, in the event no candidate receives a majority of the votes cast, the Charter Amendment provides for a runoff election; and

WHEREAS, the City Council believes that it is in the best interests of the people of Lone Tree that the Charter be amended so that the person serving as the Mayor of the City has the support and endorsement of a majority of the voting citizens of the City; and

WHEREAS, the provisions of the City's Election Ordinance, consistent with state law, allow the City to put forth this Resolution as a statement of support for voter approval of the Charter Amendment;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
CITY OF LONE TREE, COLORADO:**

The City Council of the City of Lone Tree supports the adoption of an amendment to the City of Lone Tree Home Rule Charter, requiring a majority vote for the election of Mayor and providing for runoff elections for Mayor, and urges its citizens to vote to approve the Ballot Question at the May 6, 2014, regular election.

APPROVED AND ADOPTED THIS 15th DAY OF APRIL, 2014.

CITY OF LONE TREE

By: _____
James D. Gunning, Mayor

ATTEST:

(SEAL)

Jennifer Pettinger, CMC, City Clerk



CITY OF LONE TREE
STAFF REPORT

TO: Mayor Gunning and City Council

FROM: Lisa Rigsby Peterson, Executive Director LTAC

DATE: April 10, 2014

FOR: April 15, 2014 City Council Meeting

SUBJECT: Resolution 14-11, DESIGNATING LONE TREE ARTS CENTER AS THE SUCCESSOR ENTITY TO THE LONE TREE ARTS COMMISSION FOR FUNDS TO SUPPORT CULTURAL PROGRAMS

Summary

As the City prepares its Scientific and Cultural District Tier II application for funding, the SCFD requires clear guidance as to which City entity will be requesting certification. This resolution authorizes the Lone Tree Arts Center to act as the qualifying City entity.

Cost

None.

Suggested Motion

I move to approve Resolution 14-11, DESIGNATING LONE TREE ARTS CENTER AS THE SUCCESSOR ENTITY TO THE LONE TREE ARTS COMMISSION FOR FUNDS TO SUPPORT CULTURAL PROGRAMS.

Background

The City has received funds from SCFD since 2005 under the application of the Arts Commission. With the opening of the Lone Tree Arts Center, the City's cultural programs have grown in size to make an application to the next tier of funding from SCFD possible. Because qualifying entities must prove five years of programming in order to qualify for Tier II funding, this resolution will consolidate the City's nine year history of presenting cultural programs and shift responsibility for funding applications to the Lone Tree Arts Center. Staff has discussed this with SCFD personnel, and this step is required for our imminent Tier II application for certification.

**CITY OF LONE TREE
RESOLUTION NO. 14-11**

**A RESOLUTION DESIGNATING LONE TREE ARTS CENTER
AS THE SUCCESSOR ENTITY TO THE LONE TREE ARTS COMMISSION
FOR FUNDS TO SUPPORT CULTURAL PROGRAMS**

WHEREAS, the Lone Tree Arts Commission, an advisory committee for the City of Lone Tree, was created by resolution in 1999 to promote and encourage the development and public awareness and interest in the fine and performing arts in the City of Lone Tree and surrounding areas; and

WHEREAS, the Lone Tree Arts Commission was granted eligibility to receive funding from the Scientific and Cultural Facilities District (SCFD) as a local government entity in 2005 and has received funding through the Douglas County Cultural Council since that time; and

WHEREAS, over time, the programs and activities under the Lone Tree Arts Commission have grown significantly, and in 2011 were expanded to include activities at the Lone Tree Arts Center; and

WHEREAS, with the adoption of the 2014 annual City budget, all cultural activities of the City of Lone Tree have been integrated under the umbrella of the Cultural and Community Services Fund, supervised by the Lone Tree Arts Center with support from the Lone Tree Arts Commission, which continues to serve as an advisory committee for cultural activities and applies for funds to support the provision of cultural programs, including funding from the SCFD;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LONE TREE, COLORADO:

The Lone Tree Arts Center is now designated as the successor entity to the Lone Tree Arts Commission for purposes of applying for funds to support cultural programs in the City of Lone Tree and surrounding areas.

APPROVED AND ADOPTED THIS 15TH DAY OF APRIL, 2014.

CITY OF LONE TREE

James D. Gunning, Mayor

ATTEST:

Jennifer Pettinger, CMC, City Clerk

(S E A L)