



Lone Tree City Council Agenda Tuesday, August 19, 2014

Meeting Location: City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway.

Meeting Procedure: The Lone Tree City Council and staff will meet in a public Study Session at 4:30pm. At 6:00pm and following the meeting, if necessary, the Council Meeting will adjourn and convene in Executive Session. If an Executive Session is not necessary, Council will recess for dinner. The Regular Session will be convened at 7:00pm. Study Sessions and Regular Sessions are open to the public, Executive Sessions are not. Comments from the public are welcome at these occasions: 1. Public Comment (brief comments on items not scheduled for a public hearing) 2. Public Hearings. Contact the City Clerk if special arrangements are needed to attend (at least 24 hours in advance).

4:30pm Study Session Agenda

1. CU Denver South Campus Presentation by Tony Smith, Executive Director
 2. CDOT I-25 Lane Balancing and C-470 Updates by Amy Ford, CDOT Communications Director
 3. Century Link Franchise Agreement
-

6:00pm Executive Session Agenda

1. Roll Call
 2. Executive Session
-

7:00pm Regular Session Agenda

3. Opening of Regular Meeting/Pledge of Allegiance
 4. Amendments to the Agenda and Adoption of the Agenda
 5. Conflict of Interest Inquiry
 6. Public Comment
 7. Announcements
 8. Presentations
 - a. Hearts Across the Miles Presentation
 9. Consent Agenda
 - a. Minutes of the August 5, 2014 Regular Meeting
 - b. Claims for the Period of July 28 – August 11, 2014
 - c. Treasurer's Report for June 2014
 10. Community Development
 - a. RidgeGate Section 15 Filing 21, 1st Amdt SIP (New Town Builders Townhomes) #SP14-26R
 - b. RidgeGate Section 15 Filing 21, 1st Amdt Replat (New Town Builders Townhomes) #SB14-29R
 11. Administrative Matters
 - a. **Resolution 14-18, REGARDING THE FPPA EMPLOYER ELECTION REGARDING MEMBER CONTRIBUTIONS TO THE STATEWIDE DEFINED BENEFIT PLAN**
 - b. CBC Interview Committee Appointments
 12. Council Comments
 13. Adjournment
-

City of Lone Tree Upcoming Events
more info available at www.cityoflonetree.com

Wag N Romp on September 6th from 10:00 am – 2:00 pm
Endless Summer Family Tennis Event September 14 5:00 pm – 7:00 pm
Understanding Dementia Seminar presented by the Living & Aging Well in Lone Tree on
September 27th from 8:00-11:15am at LTAC
Schweiger Ranch Fall Festival October 4 10:00 am – 2:00 pm

Discover Lone Tree Events
more info available at www.cityoflonetree.com/discoverlonetree

“Disney Frozen Sing-Along” on Friday, August 29th at 8:00 pm and Saturday, August 30th (10:00
am and 1:30 pm)
Police Department Open House on Saturday, August 30th from 11:00 am – 4:00 pm
Historic Schweiger Ranch Tour on Saturday, August 30th from 3:00 pm – 5:00 pm Discover
Lone Tree Golf Day at Lone Tree Golf Club on Sunday, August 31st Tee Times begin at 1:00 pm
Street Fair Soiree and Dream Boat Annie Concert at Sweetwater Park on Sunday, August 31st
from 6:00 – 9:00 pm

Lone Tree Arts Center Upcoming Events
more info available at www.lonetreeartscenter.org

“Motown Party” Tunes on the Terrace on August 1st at 8:00 pm
“Once Upon a Time” Arts in the Afternoon LTAC on August 13th at 1:30 pm
“Up Close and Musical” Passport to Culture on August 17th LTAC at 3:00 pm
“Nature As Subject Art Exhibit” on Friday October 3rd from 5:30 – 7:30 pm (just prior to the
Lone Tree Symphony Orchestra performance)



CITY OF LONE TREE

STAFF REPORT

TO: Mayor Gunning and City Council
FROM: Lesley Johnson, Events Coordinator
DATE: July 10th, 2014
FOR: August 19th, 2014
SUBJECT: Hearts Across the Miles Check Presentation

Summary

We sold all 10,000 wristbands for the Annual Independence Day Celebration in turn creating a \$9,275.00 donation to Hearts Across the Miles for 2014. In 2013 we donated \$7,075.00. This is a \$2,200.00 increase over 2013. It was a great event and we are happy to make this donation to Hearts Across the Miles.

**MINUTES OF A REGULAR MEETING
OF THE COUNCIL OF THE
CITY OF LONE TREE
HELD
August 5, 2014**

A regular meeting of the Council of the City of Lone Tree was held on Tuesday, August 5, 2014, at 6:00 p.m., at the Lone Tree City Council Chambers located at 8527 Lone Tree Parkway, Lone Tree, Colorado 80124.

Attendance

In attendance were:

James D. Gunning, Mayor
Jacqueline Millet, Mayor Pro Tem
Harold Anderson, Council Member
Kim Monson, Council Member
Susan Squyer, Council Member

Also in attendance were:

Seth Hoffman, City Manager
Jennifer Pettinger, City Clerk
Steve Hebert, Deputy City Manager
Jeff Holwell, Economic Development Director
Chief Jeffery Streeter, Lone Tree Police Department
Kristin Baumgartner, Finance Director
Kelly First, Community Development Director
Lisa Rigsby Peterson, Lone Tree Arts Center Director
Neil Rutledge, City Attorney, White, Bear and Ankele, P.C.
John Cotten, Public Works Director, TST, Inc.

Call to Order

Mayor Gunning called the meeting to order at 6:06 p.m., and observed that a quorum was present.

Executive Session

Mayor Gunning announced City Council intends to convene in Executive Session. Neil Rutledge, City Attorney, stated the Executive Session is for the purpose of determining positions relative to matters that may be subject to negotiations, developing strategies for negotiations, and/or instructing negotiators, under C.R.S. Section 24-6-402 (4)(e) concerning issues related to cable franchise agreements. Mayor Pro Tem Millet moved, seconded by Council Member Squyer, for City

Council to recess and convene in Executive Session for the reasons stated. The motion passed with a vote of 5-0.

Council adjourned to an Executive Session at 6:07 p.m.

The Executive Session was adjourned at 7:04 p.m.

Mayor Gunning reconvened the meeting in Regular Session at 7:09 p.m., following a short recess.

Pledge of Allegiance

Mayor Gunning led those assembled in reciting the Pledge of Allegiance.

Amendments to the Agenda

There were no amendments to the agenda.

Conflict of Interest

There was no conflict of interest.

Public Comment

There was no public comment.

Announcements

Caroline Hauer, Youth Commissioner, gave Council an update on the Youth Commission.

Mayor Gunning announced upcoming events.

Consent Agenda

Mayor Gunning noted the following items on the Consent Agenda, which consisted of:

- § *Minutes of the July 15, 2014 Regular Meeting*
- § *Claims for the period of July 7-28, 2014*

Council Member Anderson moved, Mayor Pro Tem Millet seconded, to approve the Consent Agenda. The motion passed with a vote of 5-0.

Administrative Matters

Resolution 14-16, APPOINTING A MEMBER AND EXTENDING THE TERMS OF THE LONE TREE NOXIOUS WEED ADVISORY BOARD (Sharon Van Ramshorst)

John Cotten, Public Works Director, introduced the item.

Mayor Pro Tem Millet moved, Council Member Squyer seconded, to approve **Resolution 14-16, APPOINTING A MEMBER AND EXTENDING THE TERMS OF THE LONE TREE NOXIOUS WEED ADVISORY BOARD (Sharon Van Ramshorst)**. The motion passed with a vote of 5-0.

Resolution 14-17, AFFIRMING THE CITY OF LONE TREE'S COMMITMENT TO HEALTHY EATING, ACTIVE LIVING AND OBESITY PREVENTION (HEAL Cities & Towns Campaign)

Torie Brazitis, Management Analyst, introduced the item.

Council Member Anderson moved, Council Member Squyer seconded, to approve **Resolution 14-17, AFFIRMING THE CITY OF LONE TREE'S COMMITMENT TO HEALTHY EATING, ACTIVE LIVING AND OBESITY PREVENTION (HEAL Cities & Towns Campaign)**. The motion passed with a vote of 4-1 with Council Member Monson voting no.

Adjournment

There being no further business, Mayor Gunning adjourned the meeting at 7:41 p.m.

Respectfully submitted,

Jennifer Pettinger, CMC, City Clerk



CITY OF LONE TREE STAFF REPORT

Project Summary

Date: August 19, 2014 City Council Meeting

Project Name: RidgeGate Section 15, Filing 21, 1st amendment
Site Improvement Plan (New Town Builders)

Location: The property is located in RidgeGate in the area known as Lincoln Commons South. The property is between RidgeGate Parkway and SkyRidge Avenue.

Project Type / #: Site Improvement Plan (SIP), Project #SP14-26R

Staff Contacts: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

Meeting Type: Public Meeting

Summary of Request:

Approval of a Site Improvement Plan (SIP) for 57 single-family attached units on 3.48 acres.

Planning Commission Recommendation:

Approval, with conditions, by a 5-1 vote (one member was absent and one member voted against).

Suggested Action:

Approval, subject to two conditions noted in the staff report.



STAFF REPORT

TO: Mayor Gunning and City Council

FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

DATE: August 13, 2014

FOR: August 19, 2014, City Council Meeting

SUBJECT: RidgeGate Section 15, Filing 21, 1st Amendment
Site Improvement Plan, Project File #SP14-26R

Owner:
RidgeGate Investments, Inc.
10270 Commonwealth St., Suite B.
Lone Tree, CO 80124

Representative:
Redland Consultants, Inc.
8000 S. Lincoln St., Suite 206
Littleton, CO 80122

Planning Commission Meeting Date:
City Council Meeting Date:

June, 10, 2014
August 19, 2014

A. REQUEST:

Approval of a Site Improvement Plan (SIP) for 57 single-family attached units on 3.48 acres.

B. BACKGROUND:

This application was presented to the City Council on July 1, 2014. At that meeting, the Council tabled action on the SIP until such time as the applicant could address Council's concerns about the building architecture.

Following the Council meeting, Council members Jackie Millet and Susan Squyer, along with Deputy City Manager, Steve Hebert and Senior Planner, Jennifer Drybread, toured Stapleton and Northfield to look at townhomes built by New Town Builders that are similar to the proposed Stacked units. Two letters from staff dated July 8th and July 9th were then sent to the applicant, detailing some observations and suggested changes to address Council concerns.

The applicant subsequently revised plans to address all concerns detailed in those letters (see enclosed August 6th response letters), with the exception that the applicant did not feel that add a partial column at the end of the patio enclosure on the Courtyard units, as they feel it would be inconsistent with the architectural design.

A summary of the major changes is as follows:

Stacked units: through changes in building materials (from Hardie Board panel to stucco and Hardie Board lap siding), colors (to match colors from a similar plan in Stapleton), architectural detailing (including additional windows on the end units, window and door trim, brick cap and roof trim, horizontal deck railing, changes in window awnings and light fixtures), and landscaping (screening utility meters).

Courtyard units: through changes in the roof line (from shed roofs to front slanting roofs) , building materials (from Hardie Board panel to stucco and Hardie Board lap siding) , colors (more tan and brown), architectural detailing such as additional windows on the end units and additional window and door trim, patio wall cap, roof trim, changes in light fixtures) and landscaping.

See letters dated August 6, 2014 for a complete listing and explanation of proposed changes.

C. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Subdivision Code, the Comprehensive Plan, the City's Design Guidelines, and the RidgeGate Residential West Sub-Area Plan.

Staff recommends approval of the SIP, subject to the following conditions:

1. Final approval by the Public Works Department.
2. The local park dedication for the property in the form of cash-in-lieu of land, in the amount of \$28,069 shall be paid to the City by the applicant at the time of final SIP approval.

END

August 6, 2014

City of Lone Tree
Community Development Department
9220 Kimmer Drive, Suite 100
Lone Tree, CO 80124
ATTN: Jennifer Drybread, Senior Planner
Letter sent via email to: Jennifer.Drybread@cityoflonetree.com

Dear Jennifer

Thank you for accepting our submittal of plans for the townhome development in RidgeGate. Per your request, below is a list of modifications that were made in response to the City of Lone Tree City Council hearing held on July 1, 2014 and the two (2) letters with comments related to architecture that were sent as follow up to that hearing.

First of all, we would like to thank City Council and Staff for their time and consideration. All of the architectural comments were well thought out and we believe that we have adequately addressed each comment and concern. As a result we believe that we have a much better architectural design for both townhome products within this project.

Below are two (2) separate itemized lists which show each change for the two different product types.

Stacked Townhomes

1. Colors have been changed to match (or more closely match) the townhome product in Stapleton.
2. All Hardie siding has been replaced with lap siding or stucco (front = stucco, rear = lap siding).
3. Trim has been incorporated around every window.
4. Additional windows have been added to all end units.
5. A detail has been designed to show a more defined and finished base where the brick and porch meets the ground / patio.
6. New lighting fixtures have been selected. Lights will now be located on either side of the garage (instead of a single fixture above the garage).
7. Upright junipers have been added to the landscape plan to screen the electrical meters from view, especially on corner lots. Please note that hydrant locations will require certain clearance, etc. to meet public life safety issues and fire district regulations.
8. Decorative banding (wood) has been added at the roof line for more architectural interest. We considered adding dentils as requested in the letter but determined that this is not conducive (or "authentic") to the architectural style.
9. There is a ledge provided on top of the brick wall between the units (this is a brick ledge and not a metal cap)
10. Horizontal railing has been incorporated at the balconies.
11. A different awning treatment has been incorporated over the windows (bracket supports vs. suspended).

Courtyard Homes

1. Per your request, we evaluated several different options for ways to vary the roofline for all of the Courtyard buildings. Based on the letter and the subsequent meeting with Staff, it was our understanding that the concern was the “repetitive nature of what is a very prominent roof line.” After considering multiple roof line configurations, we have selected an option which will bring down the roofline adjacent to the park, provide additional variety with the roofline, and maintain solar orientation. As you can see with this submittal, the center roofs are now designed to slope forward towards the front elevation (and toward the park).
2. The colors of the Courtyard homes have been changed to “warm up” the elevations with more tan and brown (replacing the yellow and olive colors). The accent color has also been changed to a deeper and darker red color.
3. All Hardie siding has been replaced with lap siding and stucco (front = stucco, rear = lap siding).
4. Trim has been incorporated around each window.
5. Additional windows have been added to all end units.
6. New lighting fixtures have been selected. Lights will now be located on either side of the garage (instead of a single fixture above the garage).
7. Upright junipers have been added to the landscape plan to screen the electrical meters from view, especially on corner lots. Please note that hydrant locations will require certain clearance, etc. to meet public life safety issues and fire district regulations.
8. Decorative banding (wood) has been added at the roof line for more architectural interest. We considered adding dentils as requested in the letter but determined that this is not conducive (or “authentic”) to the architectural style.
9. A ledge is provided on the top of the patio enclosure wall (this is a brick ledge and not a metal cap).

Please do not hesitate to contact me with any questions or concerns you may have with this resubmittal or with the above responses. Please also let me know if there are any modifications that need to take place prior to the submittal next week for City Council hearing (tentatively scheduled for August 19, 2014).

Thank you very much for your assistance throughout the process.

Sincerely,

New Town Builders
Jay Garcia, AICP, LEED AP
Community Development Project Manager
1553 Platte Street, Suite 100
Denver, CO 80202





CITY OF LONE TREE

Community Development Department
9220 Kimmer Drive, Suite 100, Lone Tree, CO 80124
303-708-1818

July 9, 2014

Response: August 6, 2014

Mr. Kevin Puccio
New Town Builders
1553 Platte Street, Suite 100
Denver, CO 80202

Dear Kevin,

In meeting with some of our Council members, we have the following comments on the courtyard units:

- There is a concern over the repetitive nature of what is a very prominent roof line (it feels dated and out of character in the area).

Thank you for the feedback. The roofline for the Courtyard units has been completely reoriented in order to be consistent with the character of the surrounding area.



Based on the character of the surrounding area, we have revised the roofline of the Courtyard units to slope to the front (as opposed to sloping to the side).

§ The roof form has been redesigned from this:



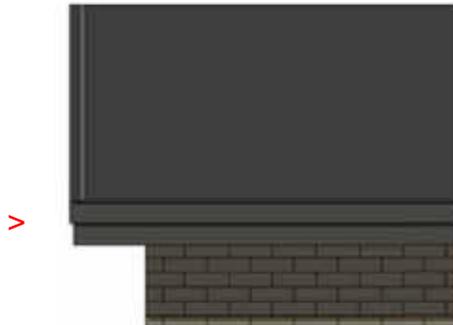
§ ...To this:



Please consider varying the roof line, perhaps using a combination of a shed roof, a flat roof or false front (if it can be done well), and a ridge roof. As shown above, the roof line has been varied to reduce the prominent roofline (slope with the low side to the left up to the high side on the right). It should also be noted that this product was specifically designed for this site. The roof was originally designed to maximize solar orientation and facilitate energy efficiency, sustainability. We have carefully analyzed the solar orientation and determined that it is possible to re orient the roof and still sacrifice minimum solar access. If this cannot be done, would the modified stacked units work at this location? The Courtyard unit is a deeper unit that fits adjacent to the park. It is also a lower profile unit (two stories instead of three). Also, as per your request above, we have altered the roof of the Courtyard buildings. It should also be noted that the Courtyard units are proposed to provide a choice in product for a different type of buyer with main floor masters. These units also help the project meet requirements for Colorado Revised Statute Title 9 (accessibility requirements for residential). Question, can the stacked units be designed to accommodate assessable units? Good question. No, the Stacked Townhome units have not been designed to accommodate accessible units. The

Stacked Townhomes are not as deep as the Courtyard units which requires a different design. We have looked at several different designs to try and make the three-story Stacked townhomes meet Colorado requirements but unfortunately, those requirements are so stringent that it is not possible. This is an important site as it is in a prime location fronting the park and near the Arts Center. We could not agree more; this is actually why we intentionally proposed the 2-story buildings adjacent to the park (lower profile, transition from the park into the surrounding development) with high quality materials and well-articulated, pedestrian scale architecture. A more enriched product type is desired here, even if it means a higher price point. Thank you very much for your feedback. We have many numerous revisions to the architecture and we have added multiple design elements to the Courtyard townhomes (modified roof form, added window trim, replaced building materials, changed colors, added windows, etc.). We believe that the Courtyard townhomes will be an incredibly enriched product type, and a perfect complement to the surrounding area.

- Please consider adding detailing to the sloped roof design (above windows and the roofline that has more variation in depth) >
Thank you for the suggestion. We have added trim to the sloped roof to provide more variation in depth.



- Please consider adding a cap or ledge on top of the patio enclosure walls.
Thank you for the suggestion. Per your recommendation, we have added a ledge to the patio enclosure. See below:



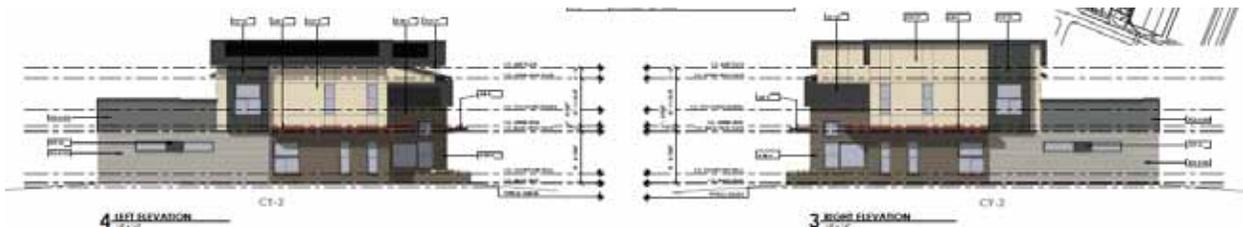
- Please consider adding partial columns at the end of the patio enclosures. Thank you for the recommendation. We evaluated this and feel it would not be an authentic look for the design.

- Please consider tan and brown or other colors over the yellow and olive colors you proposed. Thank you for the recommendation. Per your request, we have changed the colors to add more tan colors and more brown colors. Please refer to the color and material board that has been included with this submittal. Note that we would also be happy to provide the previous colors for comparison.



- The end units need more windows or other detailing to break up the large expanse of blank walls. Additional windows have been provided for all end units. Please refer to revised architectural sheets in the SIP submittal.

From this:

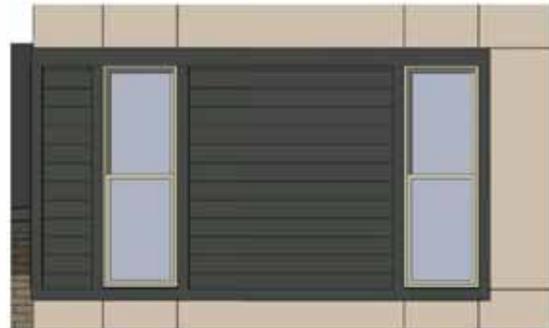




To this:



And trim has been added to all windows:



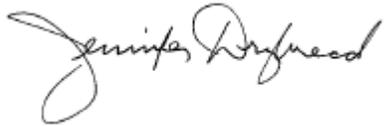
- There is some concern with the accent colors (of these and the stacked units). Since I asked you to take back the material sample board, I was unable to share that with Council to get their input.

Thank you for the suggestion. Per your recommendation, the accent colors have been changed for both the Courtyard townhomes and the Stacked Townhomes. The accent color for the Courtyard townhomes has been changed to a deeper and darker red color.

<



Please let me know if you have any questions.

A handwritten signature in black ink that reads "Jennifer Drybread". The signature is written in a cursive, flowing style.

Jennifer Drybread
Senior Planner





CITY OF LONE TREE

Community Development Department
9220 Kimmer Drive, Suite 100, Lone Tree, CO 80124
303-708-1818

July 8, 2014

Response: August 6, 2014

Mr. Kevin Puccio
New Town Builders
1553 Platte Street, Suite 100
Denver, CO 80202

Dear Kevin,

The overall feedback we received from some members of the City Council is that the development proposed does not appear to have enduring architecture, nor does the Council believe it conforms with the City's Design Guidelines. We traveled through Stapleton and Northfield and looked at the New Town stacked units there, and your proposal appears as largely a replica of those developments. It is not that Council does not like contemporary architecture; here is an example of a home that is more contemporary, but has a timeless look >



Thank you for your feedback, we appreciate your time and consideration. We have responded to each comment and we believe that the significant changes which have been made to the architecture of these units will address your concerns.



< Here is another example in Lone Tree that has a contemporary look, with some of the same materials chosen for your product in Lone Tree.

Thank you for the example, we are amenable to these colors and similar materials.

We are looking for a design that is more unique to Lone Tree. To design with Lone Tree in mind, we ask for additional architectural details that also results in a higher-quality and more timeless finish.

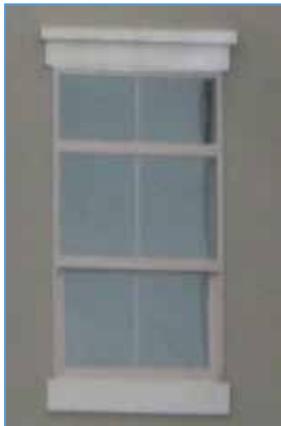
General:

- Replace the Hardie siding with stucco (the lap siding is fine). There is a concern over the look of the slats, and that the slats will not hold up over time (we witnessed this on our tour at one of your developments). >

We have replaced all Hardie siding with stucco and with lap siding.



- Add wider trim around the windows for greater definition, with varying depths at the top and bottom, and with colors contrasting, yet complementary to the siding.



<Examples of headers with wider trim, varying depth and contrasting colors >

We discussed this at great length and we have incorporated trim around each and every window (including the new windows) regardless of the surrounding material.



Here is some window framing that has wider trim and adds depth > Thank you for your feedback and ideas. We have incorporated trim around all windows (stucco, brick, lap siding, etc.).



These are examples of trim within stucco material that we found being constructed in Lone Tree.



>

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Here are examples of the trim that has been incorporated around the stucco and brick on the Courtyard homes:

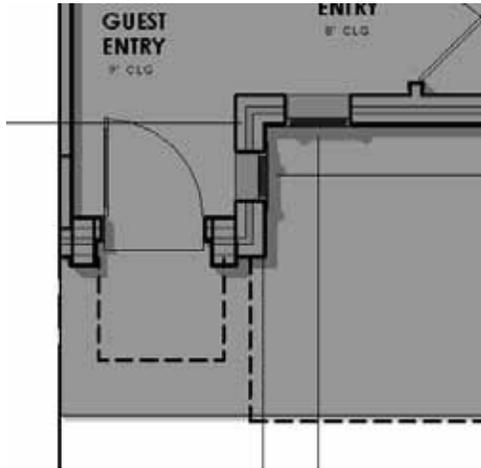


- Add wider trim around the doors, with a header that has varying depths

Here are some examples of the recessed door trim that has been constructed for similar product. We will treat door trim with different paint color also potentially different color stucco around door trim and possibly even different stucco color around recess



>



- End units need more windows or other detailing to break up the large expanse of blank walls.

Additional windows have been added to all end units.

Please refer to revised architectural sheets in the SIP submittal for the updated Stacked townhome side elevation.

For example, one side elevation was updated from this

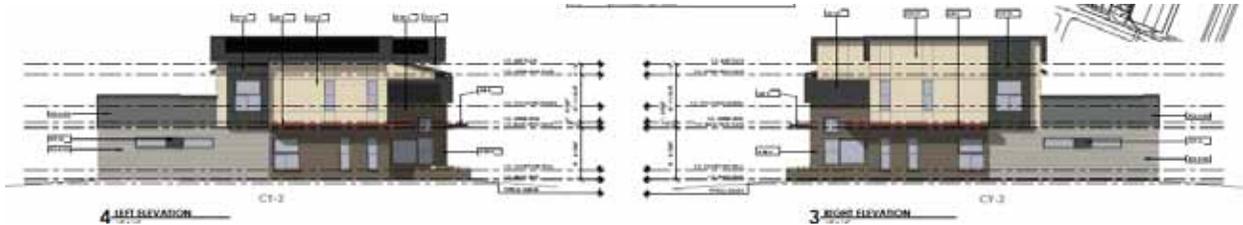




To this...

Additional windows were also added to the side elevations of the Courtyard (CY) units.

From this:



To this:



- Consider using darker, contrasting brick colors along the base of the brick columns.

Thank you for the suggestion. We evaluated the addition of darker, contrasting brick colors along the base of the brick. Ultimately we decided to utilize a different technique to give the columns a more prominent look at the base. Please see below.

- Add a more defined and finished base where the brick and porch meets the ground. Not this>

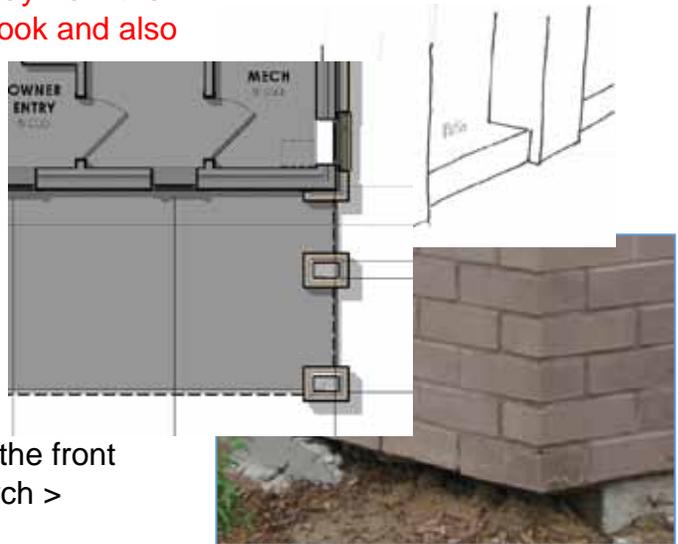




Thank you for this observation and suggestion. We agree with your assessment. This is a finish that is provided by sub-contractors. The column is constructed first with the home and then the concrete for the front patio is poured afterwards.

We plan to pull the pour of the patio back away from the column in order to give it a more prominent look and also avoid the unfinished look. To the right is a detail showing treatment at grade.

- Careful attention should be made to the finish of all details, whether it is



< or the alley side (both photos were taken at your townhouse developments)

Acknowledged. Thank you for the comment. Careful attention will be paid to the finish of all details regardless of visibility to the public.

- Provide lighting fixtures that are of a higher quality and with more design interest on the buildings than those selected. Consider putting light fixtures on both sides of the garage doors.



Thank you for the suggestion. This is the new lighting fixture we would like to propose. >

We have revised the submittal to show lights mounted on either side of the garages.

- Consider contemporary elements at key locations; this post feature adds to the effect >

Thank you for the recommendation. We have modified several elements with this submittal including awnings, railings, window trim, door trim, brick wall ledges, trim at the roof, modified building materials, additional windows, etc.

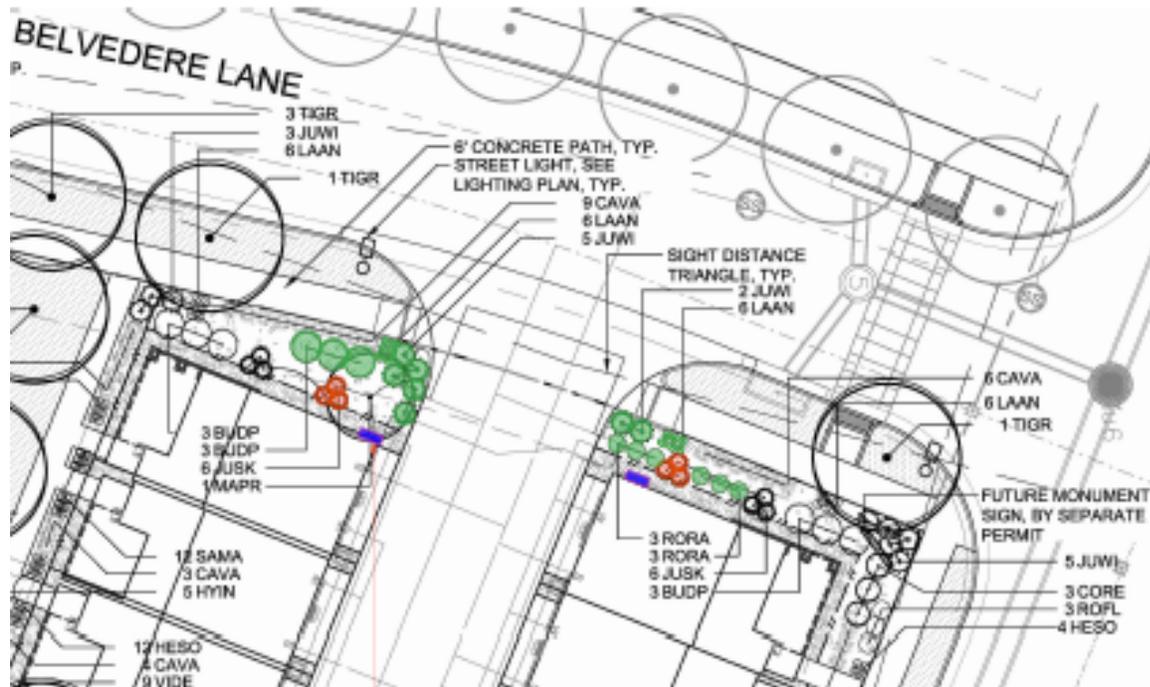


- Add a screen wall or upright evergreens in front of the electrical meters (the photo was taken at your townhouse development)>

Thank you for the comment. Per your request, more upright junipers have been added to the landscape plan to screen the electrical meters from view, especially on corner lots. Please note that hydrant locations will need to be evaluated for public life safety issues and fire district regulations (clearance, etc.). See below:



From this:



WATER METERS ARE LOOSELY SCREENED BY LANDSCAPING IN SIP SUBMITTAL #4

1 UTILITY METER TYPICAL SCREENING - PREVIOUS SUBMITTAL

To this:



2 UTILITY METER TYPICAL SCREENING - REVISED (CURRENT SUBMITTAL)

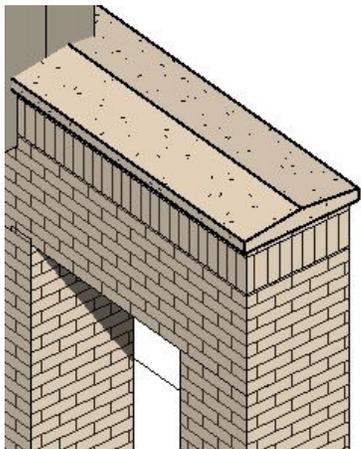
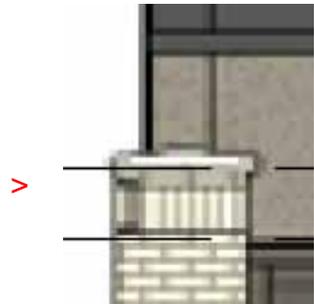
Stacked units:

- Consider adding dentals or decorative banding at the roof line for more architectural interest.
Thank you for the suggestion. Trim has been added to the roofline for added architectural interest.



- Add a ledge to the brick wall between the units (not a metal cap)

Thank you for the comment. We have a brick ledge (not a metal cap) on the brick wall between units.



- Consider using a horizontal railing (perhaps > wider than what is shown) at the balconies (preferred over the mesh). **Per your recommendation, we have replaced the mesh railing with a horizontal railing. See submittal and also see updated exhibit below.** and adding this also at the



ground-floor patio level. Are there to be stair railings? **No, there are no exterior stair railings proposed.** If so, they should be designed to match the patio railing.
N/A

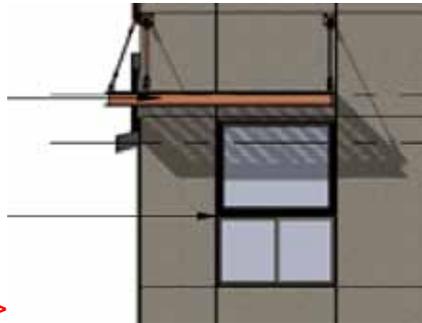
New railing >



- Consider using a different awning treatment over the windows that complements the building (the proposed unit appears too industrial, and with little utility). Here is an example from Lone Tree.



Thank you for the suggestion. Please refer to the updated awning treatment that has been provided. We have changed the suspended mesh overhang to a supported solid roof. See below



Updated from this >



... to this >

3-D perspective >



- Consider using these colors over those proposed for the stacked units in Lone Tree >



Thank you for the suggestion. Per your request, this color scheme has replaced the previously proposed color scheme.

Hopefully we have given you some ideas to make the stacked units a successful project in Lone Tree. However, Council has some concerns regarding the Courtyard units that sit prominently on Willow Creek, and we will provide additional comments on these units in the near future. Please let me know if you have any questions. Thank you for your consideration and we'll be in touch.

A handwritten signature in black ink that reads "Jennifer Drybread". The signature is fluid and cursive, with the first letter of each name being capitalized and prominent.

Jennifer Drybread
Senior Planner

For reference, below are examples of the interiors for existing New Town townhome units (both end units and mid-building units) which shows the amount of natural light provided by the current window configuration for the stacked townhome units:







RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R

**ARCHITECTURAL RENDERINGS AND
 COLORED ELEVATIONS PACKAGE**

SHEET INDEX

1	COVER SHEET - INDEX
2	ARCHITECTURAL RENDERINGS - STACKED TOWNHOUSES (ST)
3	ARCHITECTURAL RENDERINGS - COURTYARD ROW HOUSES (CY)
4	ST-3PA BUILDING ELEVATIONS
5	ST-3PB BUILDING ELEVATIONS
6	ST-4PA BUILDING ELEVATIONS
7	ST-4PB BUILDING ELEVATIONS
8	ST-5PA BUILDING ELEVATIONS
9	ST-5PB BUILDING ELEVATIONS
10	ST-6P BUILDING ELEVATIONS
11	CY-3PA BUILDING ELEVATIONS
12	CY-3PB BUILDING ELEVATIONS
13	CY-4P BUILDING ELEVATIONS
14	CY-6P BUILDING ELEVATIONS



NO.	DATE	NO.	DATE
1	08/14/14	1	08/14/14
2	08/14/14	2	08/14/14
3	08/14/14	3	08/14/14
4	08/14/14	4	08/14/14
5	08/14/14	5	08/14/14

NO.	DATE	NO.	DATE
1	08/14/14	1	08/14/14
2	08/14/14	2	08/14/14
3	08/14/14	3	08/14/14
4	08/14/14	4	08/14/14
5	08/14/14	5	08/14/14

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ARCHITECTURAL RENDERINGS
COLORED ELEVATIONS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



NO.	DATE	NO.	DATE	NO.	DATE
1	08/14/14	1	08/14/14	1	08/14/14
2	08/14/14	2	08/14/14	2	08/14/14
3	08/14/14	3	08/14/14	3	08/14/14
4	08/14/14	4	08/14/14	4	08/14/14
5	08/14/14	5	08/14/14	5	08/14/14

NO.	DATE	NO.	DATE	NO.	DATE
1	08/14/14	1	08/14/14	1	08/14/14
2	08/14/14	2	08/14/14	2	08/14/14
3	08/14/14	3	08/14/14	3	08/14/14
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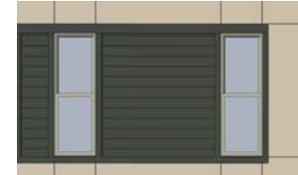
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
STACKED TOWNHOUSES (ST)
ARCHITECTURAL RENDERINGS

2 of 14

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



REVISION	DATE	BY
CHECKED		
APPROVED		
PROJECTING		
HORIZ. SCALE	1"=10'	
VERT. SCALE	1"=4'	

NO.	DATE	NOTES
1	08/14/14	1. LIST SUBMITTAL
2	08/14/14	2. LIST SUBMITTAL
3	08/14/14	3. LIST SUBMITTAL
4	08/14/14	4. LIST SUBMITTAL, REVISED 06/23/14
5	08/14/14	5. LIST SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
COURTYARD ROW HOUSES (CY)
ARCHITECTURAL RENDERINGS

SHEET

3 of 14

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MARK	DESCRIPTION
BTFC	BRICK - RUNNING BOND - GENERAL TYPICAL COURSE
CCL4 AD	PERF. CONCRETE LAP SIDING - 4" EXPOSED - SHERWIN WILLIAMS TONK - AMAZING GRAY
CCL4 B	PERF. CONCRETE LAP SIDING - 4" EXPOSED - SHERWIN WILLIAMS TONK - BRONZEGOLD
CCL4 PP	PERF. CONCRETE LAP SIDING - 4" EXPOSED - SHERWIN WILLIAMS TONK - PORPHYRE
HC3 ST	HARDWOOD FLOORING - SHERWIN WILLIAMS TONK - STONEY HONEY
HC3 A	HARDWOOD FLOORING - SHERWIN WILLIAMS TONK - ANCHORAGE
HC3 D	HARDWOOD FLOORING - SHERWIN WILLIAMS TONK - BUCKLE UP
AM SW	ACCENT METAL - SHERWIN WILLIAMS TONK - BRASS/ROSE
BRN CR	BRICK - RANDOMLY MIXED BRICK PATTERNS - SHERWIN WILLIAMS TONK - BRN/CR
PT CR	SPUNNET BRICKS - CROWN CORNERS ONLY - BLACK
LV CR	CONC. W/SHIMMER - GRAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

NO.	DATE	BY	DESCRIPTION
01	05.13.14	STL SUBMITTAL	ST-4PLEX (HIGH ROOF FRONT) ELEVATIONS
02	05.13.14	2ND SUBMITTAL	
03	05.13.14	4TH SUBMITTAL	
04	05.13.14	5TH SUBMITTAL	

SHEET
6 of 14

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R



P:\14205\14205_081914\14205_081914.dwg (J:\LANDSCAPE\PLAN\14205_081914.dwg) 8/19/14 9:30am Caltek



DESIGN	OK
CHECKED	
APPROVED	
PROJECTING	
DATE SCALE	1"=20'-0"
DATE SCALE	1"=20'-0"

DATE	BY	REVISION	NOTES
08/14/14	JL	ISSUE FOR PERMIT	
08/14/14	JL	ISSUE FOR PERMIT	
08/14/14	JL	ISSUE FOR PERMIT	
08/14/14	JL	ISSUE FOR PERMIT	

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
OVERALL SITE RENDERING



SHEET
1 of 3

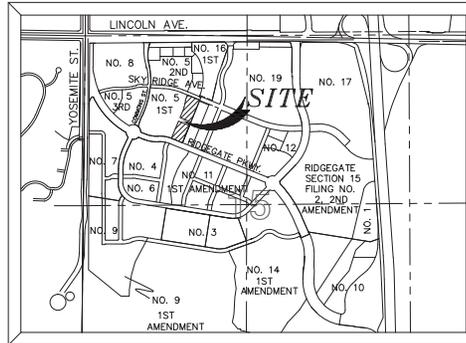
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R

SITE DATA CHART		
TOTAL SITE AREA	150,289 sf	
GROSS SITE AREA	SQUARE FOOTAGE	% OF GROSS SITE
BUILDING FOOTPRINT	67,993 sf	45.2%
PARKING / ROADS	49,066 sf	32.7%
HARDSCAPE SUBTOTAL	117,059 sf	77.9%
LANDSCAPE AREA	33,230 sf	22.1%
TOTAL	150,289 sf	100.0%
BUILDING DATA		
57 UNITS IN 14 BUILDINGS		
MAXIMUM HEIGHT	40 FT	
UNITS	REQUIRED PARKING	
2 BEDROOM - 22 UNITS	2 SPACES	44
2 BEDROOM + LOFT/ - 35 UNITS	2 SPACES	70
3 BEDROOM		
TOTAL - 57 UNITS	TOTAL SPACES	114
GUEST PARKING @ 25% PER UNIT	TOTAL SPACES	14
TOTAL		128
PARKING PROVIDED		
IN GARAGES	108	
INTERNAL SURFACE	11	
TOTAL ON SITE	119	
PERIMETER STREET	9	
TOTAL	128	100%
BICYCLE PARKING		
REQUIRED @ 2%	3	
PROVIDED	4	

SECTION 16-27-70(b)(1)
THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.



VICINITY MAP

SCALE: 1" = 1000'

PROJECT TEAM

OWNER/DEVELOPER

New Town Builders
1553 Platte Street Suite 100
Denver, CO 80264
(720) 348-1236 voice
contact: Mr. Kevin Puccio

CIVIL ENGINEER

Redland
8000 Lincoln Street, Suite 206
Littleton, Colorado 80122
(720) 283-6783 voice
Contact: Rick Rome, P.E.
Email: rrome@redland.com

PLANNER/ARCHITECT

The Abo Group
12600 West Colfax Ave, Suite C200
Lakewood, CO 80215
303.531.4990

LANDSCAPE ARCHITECT

Valerian, llc
2734 West 28th Avenue
Denver, Colorado 80211
303.347.1200 voice
Contact: Paul McMahon
Email: Paul@valerianllc.com

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL SITE PLAN
3	LOT 4 SITE PLAN
4	LOT 5 SITE PLAN
5	LOT 4 LANDSCAPE PLAN
6	LOT 5 LANDSCAPE PLAN
7	LANDSCAPE SCHEDULE
8	LOT 4 IRRIGATION PLAN
9	LOT 5 IRRIGATION PLAN
10	IRRIGATION EQUIPMENT SCHEDULE
11	LOT 4 GRADING PLAN
12	LOT 5 GRADING PLAN
13	SITE FURNISHING DETAILS
14	SITE FURNISHING DETAILS
15	LOT 4 LIGHTING PLAN
16	LOT 5 LIGHTING PLAN
17	LIGHTING DETAILS
18	ST-3PA BUILDING ELEVATIONS
19	ST-3PB BUILDING ELEVATIONS
20	ST-4PA BUILDING ELEVATIONS
21	ST-4PB BUILDING ELEVATIONS
22	ST-5PA BUILDING ELEVATIONS
23	ST-5PB BUILDING ELEVATIONS
24	ST-6PB BUILDING ELEVATIONS
25	CY-3PA BUILDING ELEVATIONS
26	CY-3PB BUILDING ELEVATIONS
27	CY-4P BUILDING ELEVATIONS
28	CY-6P BUILDING ELEVATIONS

APPROVAL CERTIFICATE
THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON (DATE).

BY: _____

NAME: _____
TITLE: COMMUNITY DEVELOPMENT DIRECTOR

DATE: _____

BY: _____

NAME: _____
TITLE: CITY ENGINEER

DATE: _____

BY: _____

NAME: _____
TITLE: MAYOR

DATE: _____

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S)'S REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

_____ (NAME OF OWNER)

_____ (SIGNATURE OF OWNER)

_____ (PRINTED NAME AND TITLE)

STATE OF _____)
COUNTY OF _____) SS.

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____, 20____, BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

_____, NOTARY PUBLIC

APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.

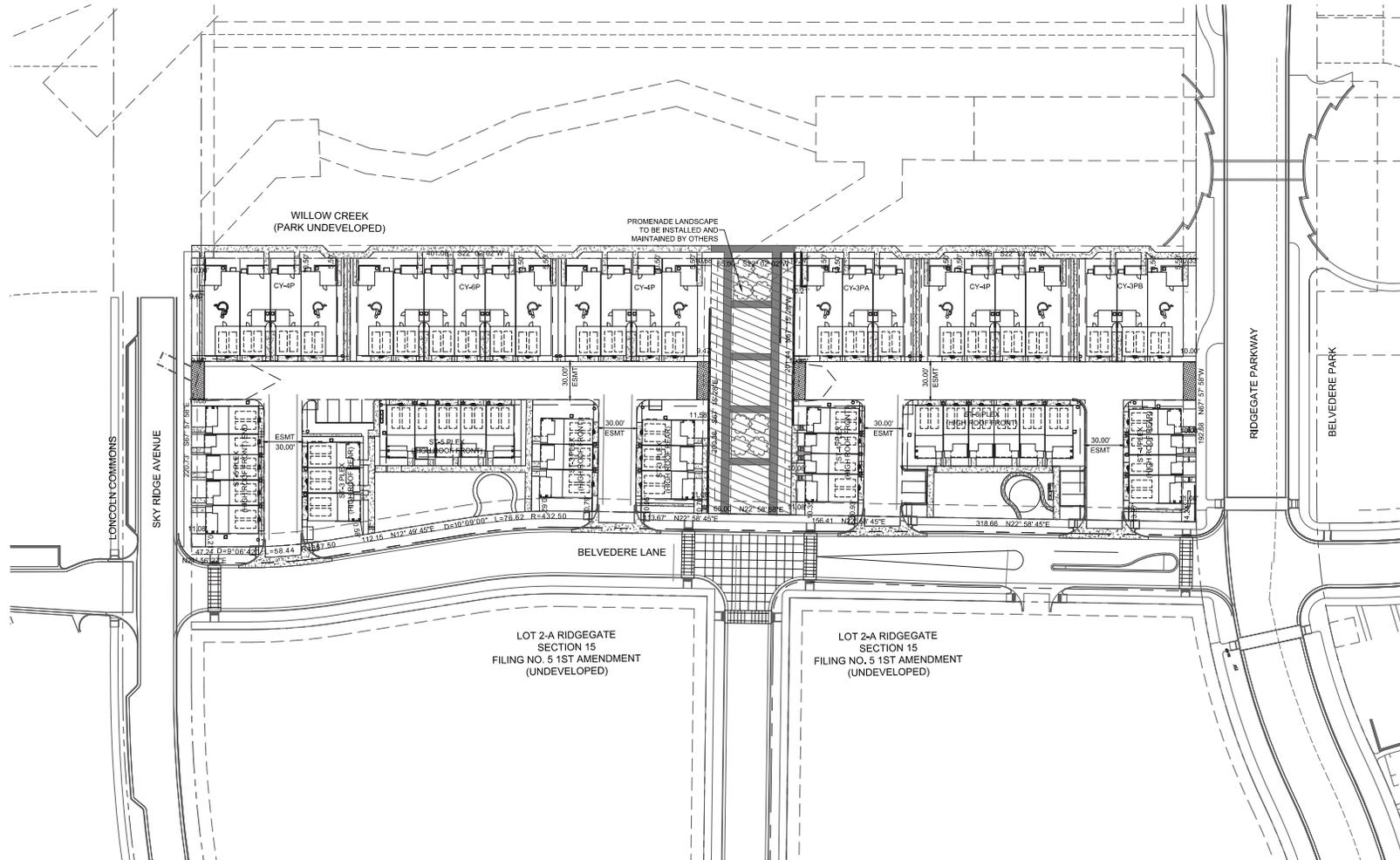





DATE	NO.	BY	NOTE
03/13/14	1	ST/EL/MARTIN	
03/13/14	2	2ND/3RD/MARTIN	
03/13/14	3	4TH/5TH/MARTIN	
03/13/14	4	6TH/7TH/MARTIN	
03/13/14	5	8TH/9TH/MARTIN	

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
COVER SHEET

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



REDLAND
 REALTY GROUP

THE
 GROUP

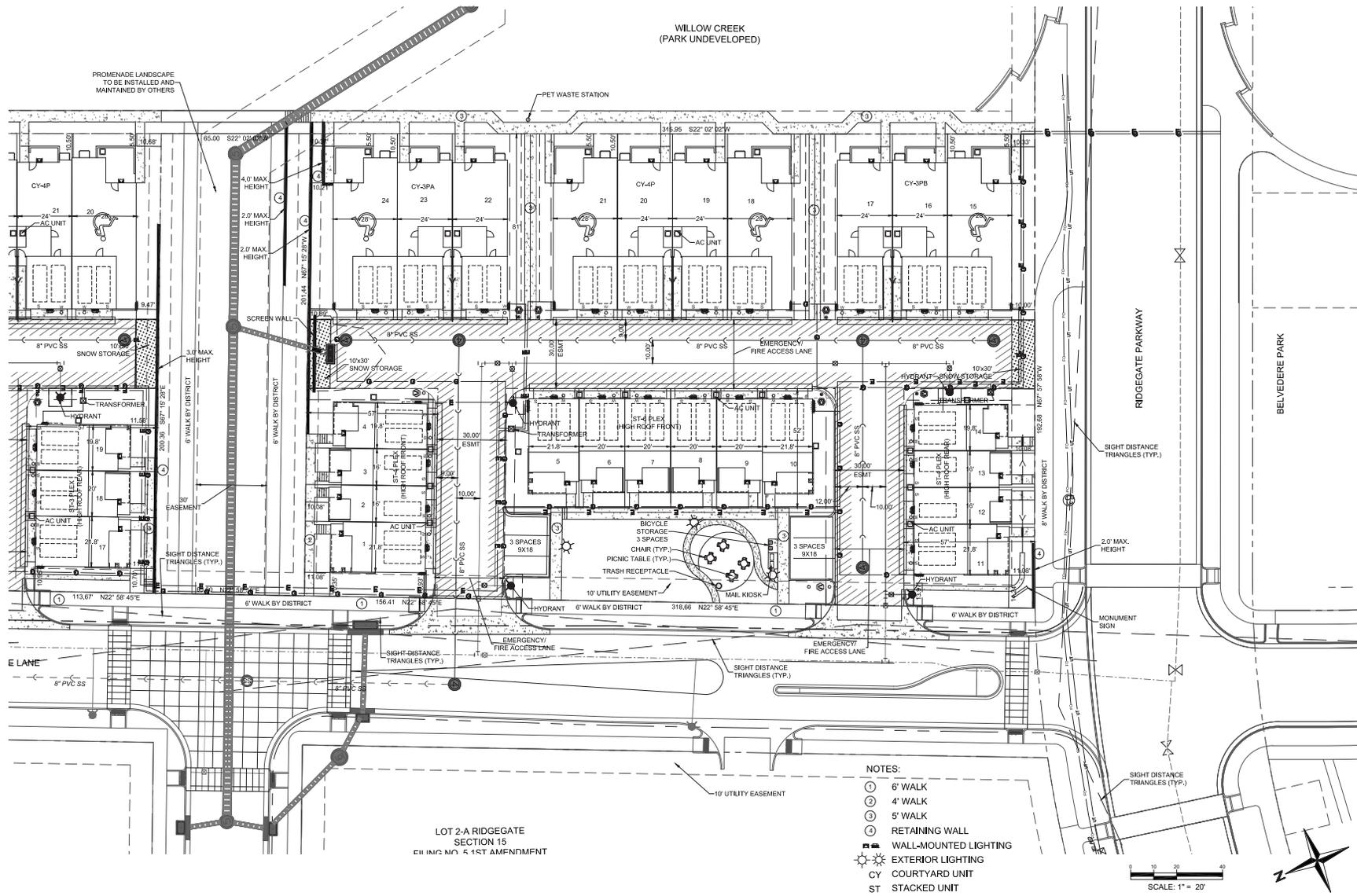
NEW TOWN BUILDERS

DATE	NO.	DESCRIPTION	NOTES
03.13.14	1	1ST SUBMITTAL	
03.13.14	2	2ND SUBMITTAL	
03.13.14	3	3RD SUBMITTAL	
03.13.14	4	4TH SUBMITTAL	
03.13.14	5	5TH SUBMITTAL	

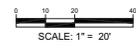
RIDGEGATE SECTION 15 - FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
OVERALL SITE PLAN

2 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



- NOTES:**
- ① 6' WALK
 - ② 4' WALK
 - ③ 5' WALK
 - ④ RETAINING WALL
 - ☀ WALL-MOUNTED LIGHTING
 - ☀ EXTERIOR LIGHTING
 - CY COURTYARD UNIT
 - ST STACKED UNIT



DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

DATE: 04.13.14

BY: [Signature]

PROJECT: [Project Name]

SCALE: [Scale]

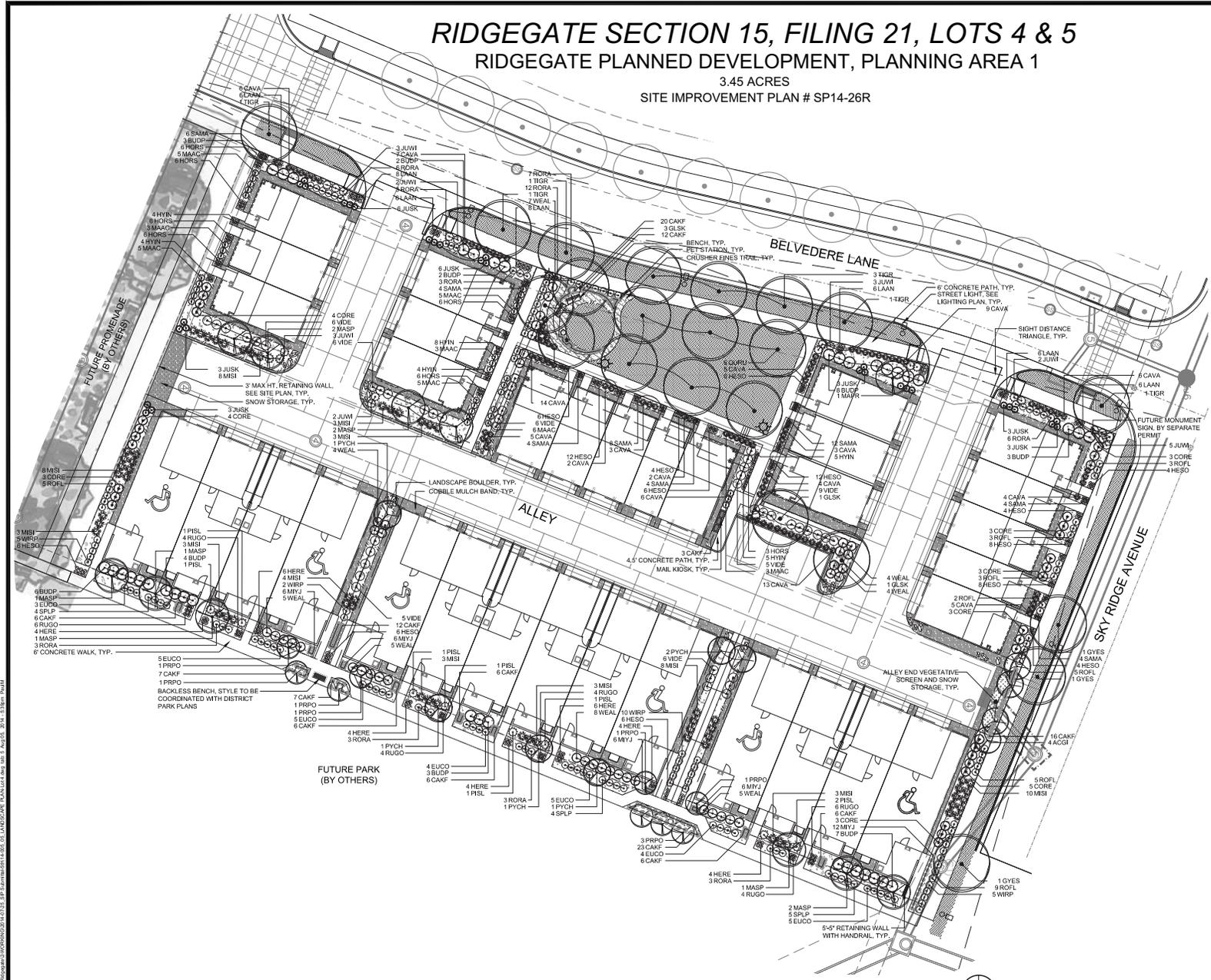
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

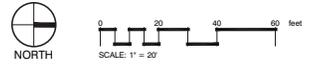
3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



LEGEND		
SYMBOL	DESCRIPTION	DETAIL
	SHADE TREE	1/7
	EVERGREEN TREE	2/7
	ORNAMENTAL TREE	4/7
	DECIDUOUS SHRUB	3/7
	EVERGREEN SHRUB	3/7
	ORNAMENTAL GRASS	3/7
	PERENNIAL	3/7
	LANDSCAPE BOULDER (2'-3')	9/13
	STEEL EDGING	5/7
	SOD	-
	COBBLE MULCH	2/13
	SHREDDED CEDAR MULCH	-
	CRUSHER FINE PATH	1/13
	CONCRETE FLATWORK - COLORED	3/13
	PICNIC TABLE	7/13
	CHAIR	4/13
	BIKE RACK	8/13
	BENCH	6/13
	BENCH-BACKLESS	-
	TRASH RECEPTACLE	5/13
	PET WASTE STATION	10/13
	FUTURE MONUMENTATION	-
	SCREEN WALL	2/14
	RETAINING WALL (SEE CIVIL)	1/14
	HANDRAIL	5/14
	MAIL KIOSK	4/14



1 LOT 4 LANDSCAPE PLAN



RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
 LOT 4 LANDSCAPE PLAN

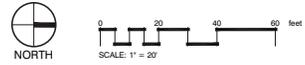
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	POP-UP ROTARY SPRAY HEADS
	PIPE TRANSITION POINT
	FLUSH VALVE
	POINT SOURCE DRIP AREA
	MASTER VALVE
	REDUCED PRESSURE BACKFLOW PREVENTER
	WEATHER-BASED SMART CONTROLLER
	RAIN/FREEZE SENSOR TRANSMITTER
	WATER METER 3/4"
	IRRIGATION MAINLINE
	IRRIGATION SUBMAIN

1 LOT 4 IRRIGATION PLAN



REDLAND
 THE CITY OF REDLAND
 PLANNING DEPARTMENT

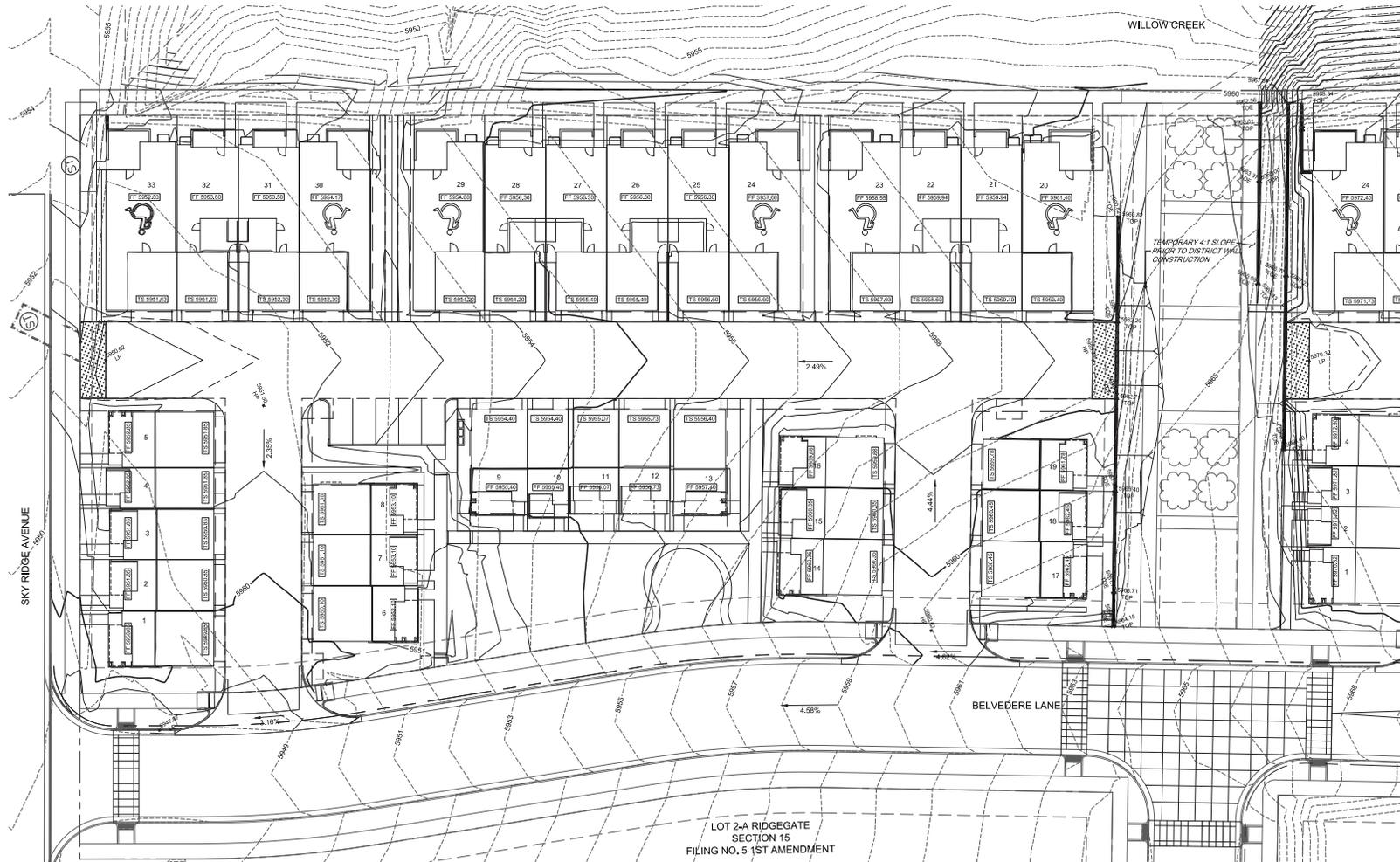
NEW TOWN BUILDERS

DESIGNED BY	DATE	NO.	REV.	DESCRIPTION
CHECKED BY	DATE	NO.	REV.	DESCRIPTION
APPROVED BY	DATE	NO.	REV.	DESCRIPTION
DATE	NO.	REV.	DESCRIPTION	

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
LOT 4 IRRIGATION PLAN

SHEET

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



LOT 2-A RIDGEGATE
 SECTION 15
 FILING NO. 5 1ST AMENDMENT

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
LOT 4 GRADING PLAN

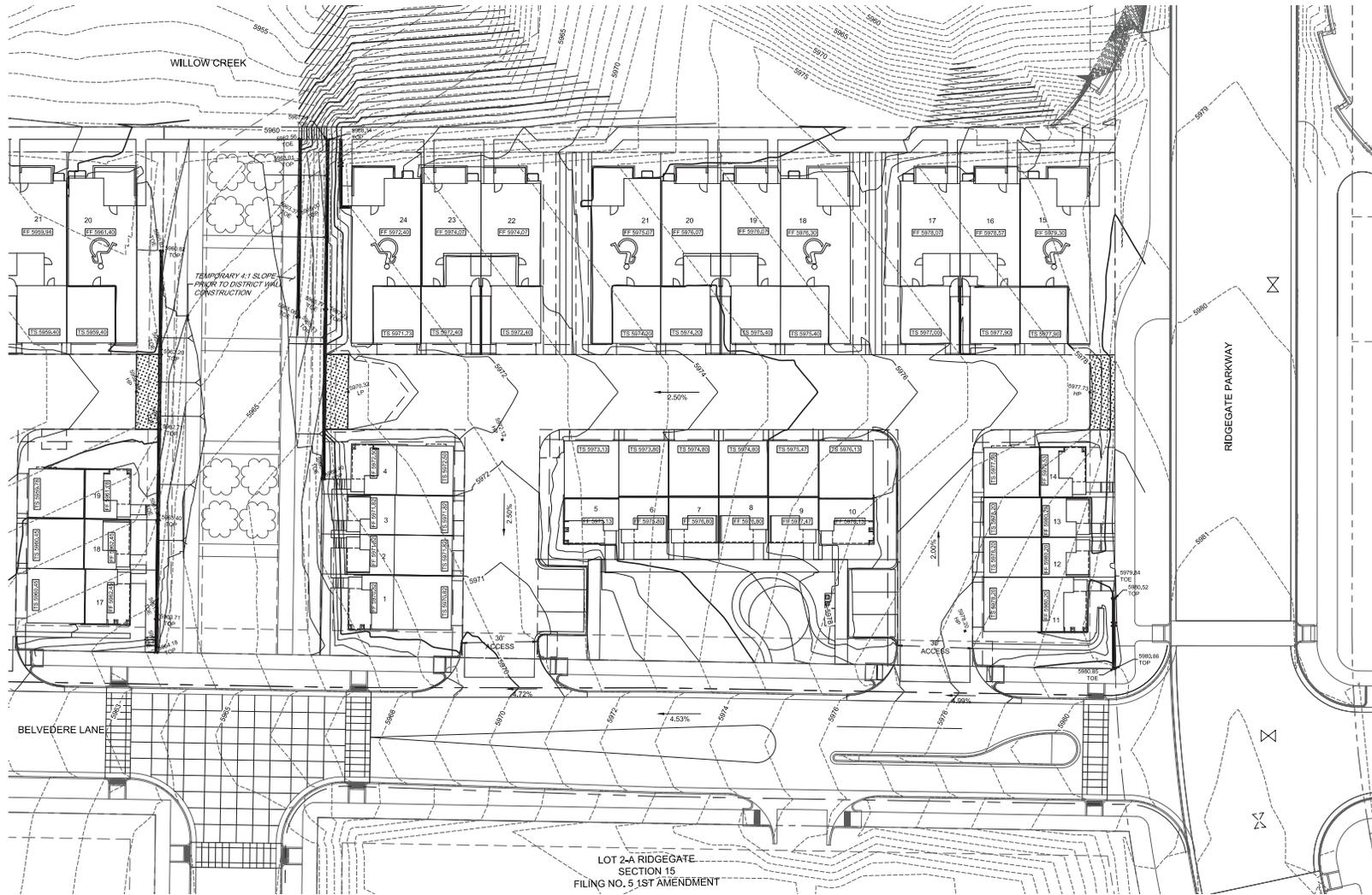
DATE	NO.	NOTE
03/14/14	1	1ST SUBMITTAL
03/14/14	2	2ND SUBMITTAL
03/14/14	3	3RD SUBMITTAL
03/14/14	4	4TH COMMENTS
03/14/14	5	5TH COMMENTS

DRAWN	INCH
CHKD BY	
APPROVED BY	
DESIGNED BY	
PROJECT NO.	
SCALE	
SHEET NO.	

REDLAND
 THE NEW TOWN BUILDERS GROUP

11 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



LOT 2-A RIDGEGATE
 SECTION 15
 FILING NO. 5.1ST AMENDMENT

C:\2014\14055 - Ridgeway Planned Development\2014\2014-26R\SP14-26R.dwg, 08/19/14, 1:10pm









DATE	NO.	NOTE
08/13/14	1	1ST SUBMITTAL
08/13/14	2	2ND SUBMITTAL
08/13/14	3	3RD SUBMITTAL
08/13/14	4	4TH COMMENTS
08/13/14	5	5TH COMMENTS

DRAWN: []
 CHECKED: []
 APPROVED: []
 PROJECT NO.: []
 SHEET NO.: []

DATE: []
 DRAWN BY: []
 CHECKED BY: []
 APPROVED BY: []

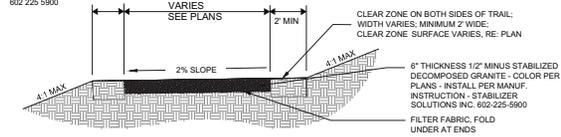
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
LOT 5 GRADING PLAN

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

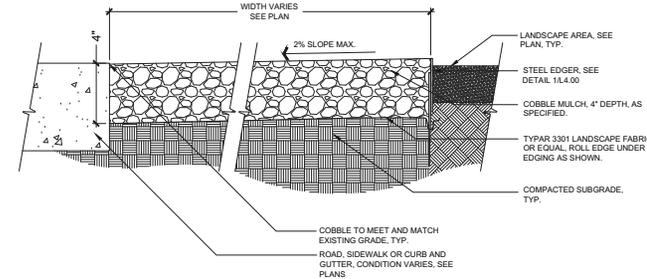
3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R

STABILIZER NOTES:
SUPPLY AND INSTALL STABILIZER MIXTURE OVER 3" THICKNESS OF 1/2" MINUS DECOMPOSED GRANITE OVER COMPACTED SUBGRADE PER MANUFACTURER'S SPECIFICATIONS- INSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
CONTACT INFORMATION FOR FURTHER SPECIFICATIONS:
Stabilizer Solutions, Inc.
205 South 28th Street
Phoenix, Arizona 85034 USA
602 225 5900

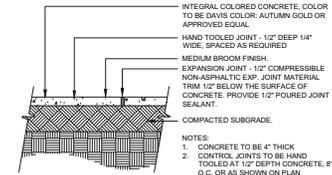


ADDITIONAL NOTES:
1. DISTURBANCE TO EXISTING VEGETATION SHALL NOT EXCEED LIMITS OF DISTURBANCE REQUIRED FOR GRADING OF TRAILS. ANY ADDITIONAL DISTURBANCE TO EXISTING VEGETATION SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR AT FAULT.
2. ALL CRUSHER FINES MATERIAL SHALL BE COLOR GRAY OVER FILTER FABRIC.

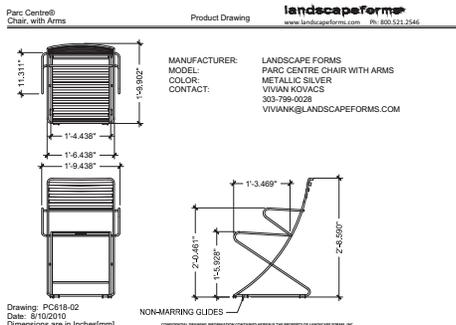
1 CRUSHER FINES TRAIL
14' x 1'-0"



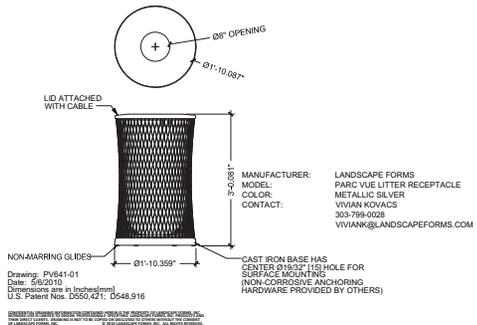
2 COBBLE MULCH BAND
3' x 1'-0"



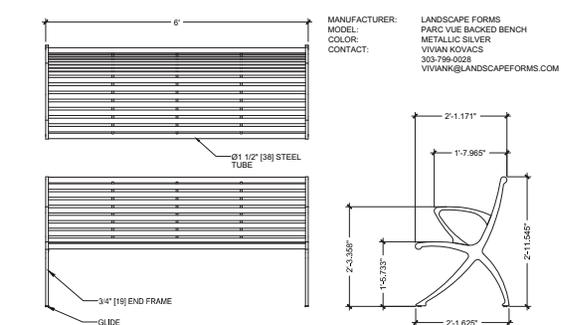
3 CONCRETE FLATWORK - COLORED
34' x 1'-0"



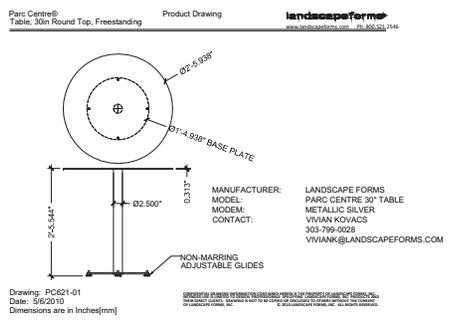
4 CHAIR
34" x 1'-0"



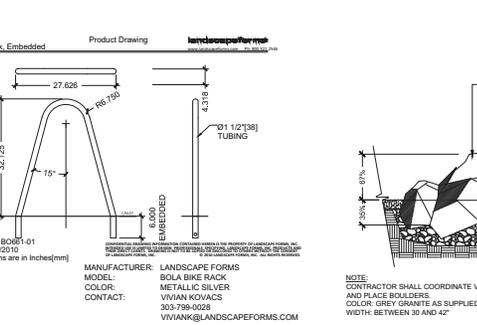
5 TRASH RECEPTACLE
34" x 1'-0"



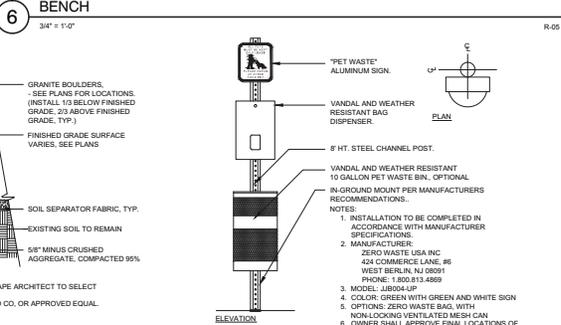
6 BENCH
34" x 1'-0"



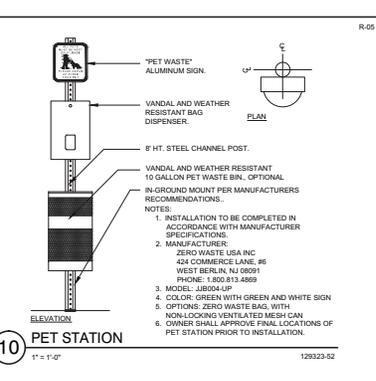
7 PICNIC TABLE
34" x 1'-0"



8 BIKE RACK
34" x 1'-0"



9 LANDSCAPE BOULDER
14' x 1'-0"



10 PET STATION
1' x 1'-0"

NO.	DATE	BY	REVISION	NOTES
1	08/19/14	ST/SM/ART	1	ISSUED FOR PERMIT
2	08/19/14	ST/SM/ART	2	2ND SUBMITTAL
3	08/19/14	ST/SM/ART	3	3RD SUBMITTAL
4	08/19/14	ST/SM/ART	4	4TH SUBMITTAL
5	08/19/14	ST/SM/ART	5	5TH SUBMITTAL
6	08/19/14	ST/SM/ART	6	6TH SUBMITTAL
7	08/19/14	ST/SM/ART	7	7TH SUBMITTAL
8	08/19/14	ST/SM/ART	8	8TH SUBMITTAL
9	08/19/14	ST/SM/ART	9	9TH SUBMITTAL
10	08/19/14	ST/SM/ART	10	10TH SUBMITTAL

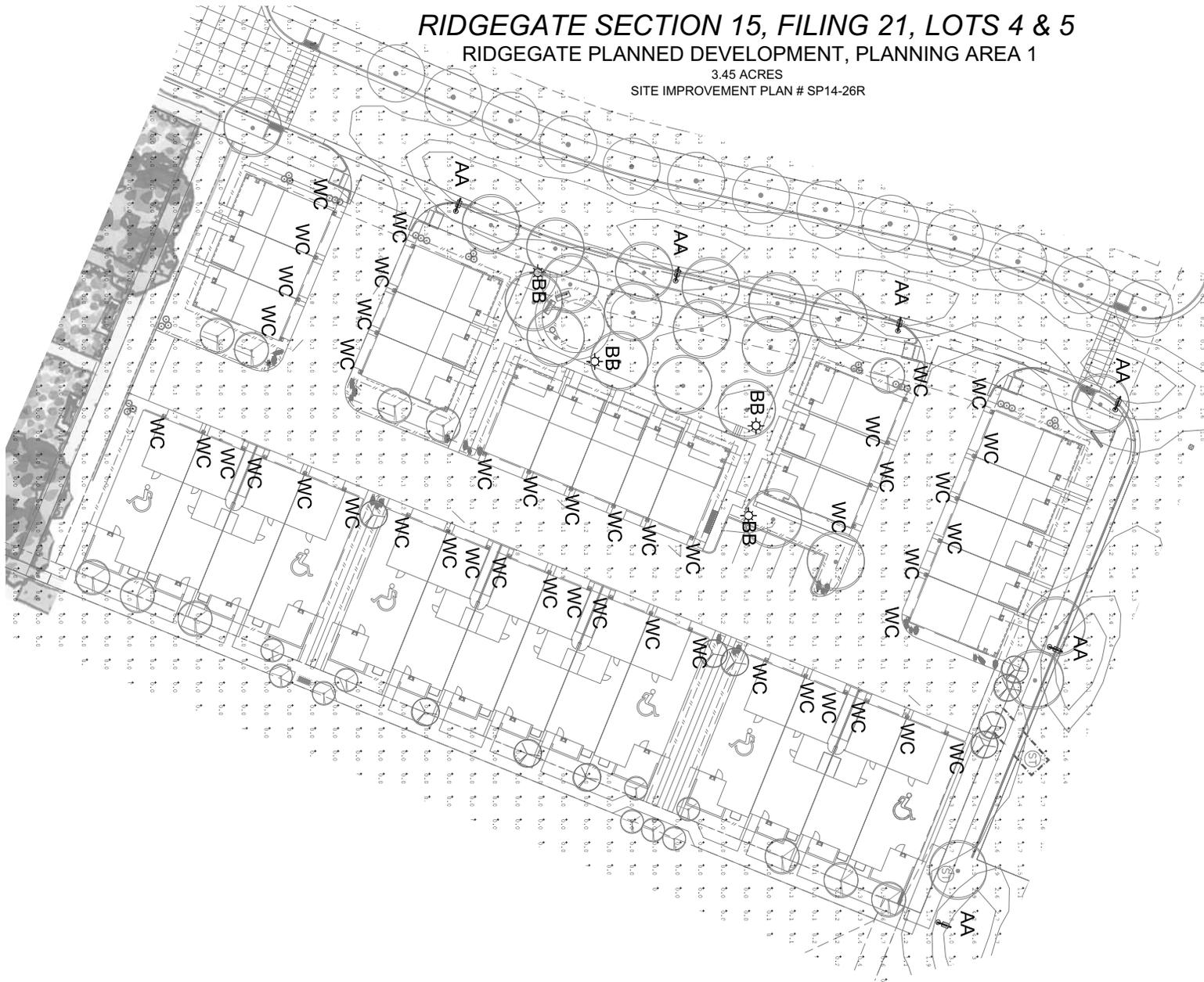
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

SITE IMPROVEMENT PLAN

SITE FURNISHING DETAILS

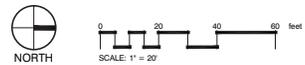
SHEET

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



- LEGEND**
- STREET LIGHT
 - PEDESTRIAN LIGHT
 - WALL MOUNTED LIGHT (REAR)
 - POTENTIAL LIGHT LOCATION (TO BE COORDINATED WITH ADJACENT PROPERTY)

1 LOT 4 LIGHTING PLAN



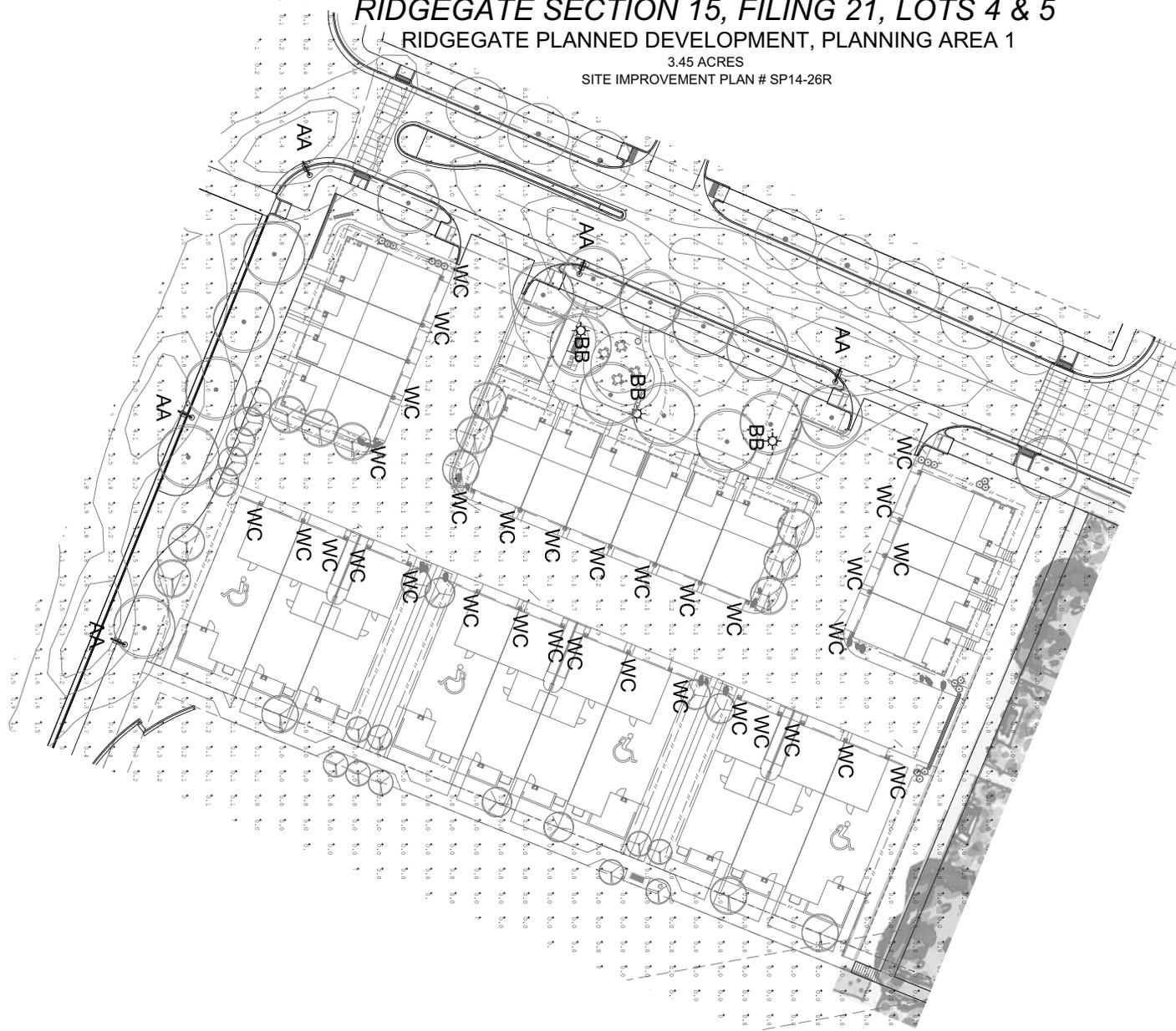
DATE	NO.	DESCRIPTION	NOTES
08.19.14	1	1ST SUBMITTAL	
08.19.14	2	2ND SUBMITTAL	
08.19.14	3	3RD SUBMITTAL	
08.19.14	4	4TH COMMENTS	
08.19.14	5	5TH COMMENTS	
08.19.14	6	6TH COMMENTS	
08.19.14	7	7TH COMMENTS	
08.19.14	8	8TH COMMENTS	
08.19.14	9	9TH COMMENTS	
08.19.14	10	10TH COMMENTS	

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
LOT 4 LIGHTING PLAN

SHEET

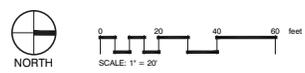
15 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R



- LEGEND
- STREET LIGHT
 - PEDESTRIAN LIGHT
 - WALL MOUNTED LIGHT (REAR)
 - POTENTIAL LIGHT LOCATION (TO BE COORDINATED WITH ADJACENT PROPERTY)

1 LOT 5 LIGHTING PLAN



DESIGNED BY	DATE	NO.	REVISION	NOTES
CHECKED BY	08.13.14	1	1. SITE PRELIMINARY	
APPROVED BY	08.13.14	2	2. 2ND SUBMITTAL	
PROJECT MANAGER	08.13.14	3	3. 3RD SUBMITTAL	
PROJECT ENGINEER	08.13.14	4	4. 4TH SUBMITTAL	
PROJECT ARCHITECT	08.13.14	5	5. 5TH SUBMITTAL	
PROJECT LANDSCAPE ARCHITECT	08.13.14	6	6. 6TH SUBMITTAL	
PROJECT CIVIL ENGINEER	08.13.14	7	7. 7TH SUBMITTAL	
PROJECT ELECTRICAL ENGINEER	08.13.14	8	8. 8TH SUBMITTAL	
PROJECT MECHANICAL ENGINEER	08.13.14	9	9. 9TH SUBMITTAL	
PROJECT PLUMBING ENGINEER	08.13.14	10	10. 10TH SUBMITTAL	

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
 LOT 5 LIGHTING PLAN

SHEET
16 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 3.45 ACRES
 SITE IMPROVEMENT PLAN # SP14-26R

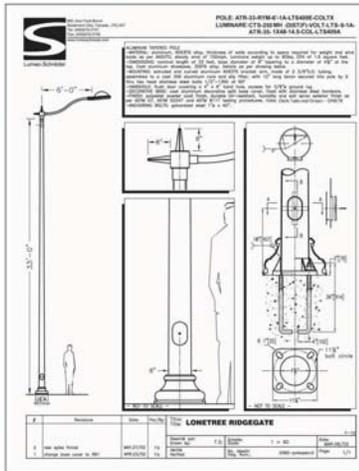


Figure 15: Streetlight Specification

RidgeGate Roadway Standards and Guidelines • DESIGN/16K3181P

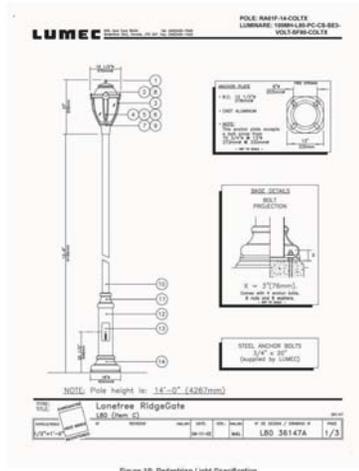


Figure 16: Pedestrian Light Specification

RidgeGate Roadway Standards and Guidelines • DESIGN/16K3181P



3 WALL MOUNTED LIGHT (GARAGE & PORCH LIGHT)
 NTS

1 STREETLIGHT
 NTS

2 PEDESTRIAN LIGHT
 NTS

Symbol	Tag	Qty	Lamp Lumens	LLF	Description
☼	AA	11	20000	0.850	CTS-250MH-SC2
♦	BB	7	7600	0.850	100MH-L80-PCCS-SE3
•	WC	77	1200	1.000	2920BZ DSLG-40

REDLAND
 THE V
 THE NEW TOWN BUILDERS GROUP
 DESIGN OF: []
 CHECKED: []
 APPROVED: []
 DATE: []

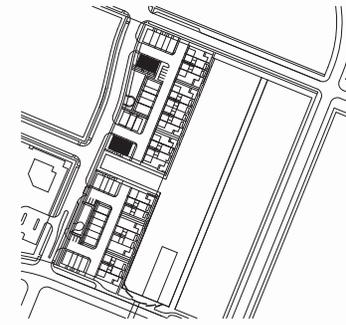
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
 SITE IMPROVEMENT PLAN
 LIGHTING DETAILS

SHEET
 17 of 28

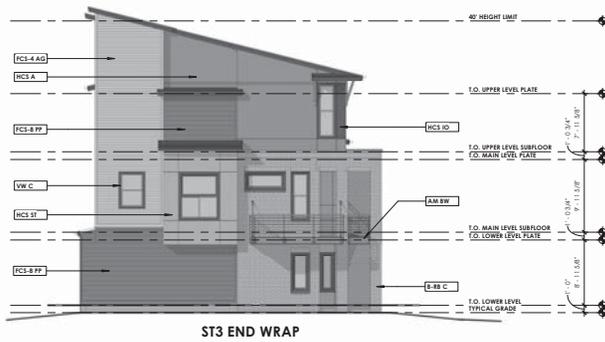
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MATERIAL LEGEND	
MARK	DESCRIPTION
R-BB C	BRICK - RUNNING BOND - GENERAL SHADE - COLISEUM
PCS-4 AG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7044 - AMAZING GRAY
PCS-4 A	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7046 - ANTONIOUS
PCS-8 PF	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7047 - POMPEII
HCS-ST	HARDCOAT STUCCO - SHERWIN WILLIAMS 7049 - STUDIO TAURE
HCS-A	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - ANTONIOUS
HCS-ID	HARDCOAT STUCCO - SHERWIN WILLIAMS 7049 - STUDIO TAURE
AM-BW	ACCENT METAL - SHERWIN WILLIAMS 7710 - BRANDYWINE
EW-10	10% ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7048 - IRON ORE
FCB	FORMAL FINISH - GREEN CORNING DRY-BLACK
VW-C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

REDLAND
ARCHITECTS

NEW TOWN BUILDERS

DATE	NO.	NOTE
08.24.14	1	1ST SUBMITTAL
08.13.14	2	2ND SUBMITTAL
08.13.14	3	3RD SUBMITTAL
08.13.14	4	4TH SUBMITTAL (REVISED 08.20.14)
08.06.14	5	5TH SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-3 PLEX (HIGH ROOF REAR) ELEVATIONS

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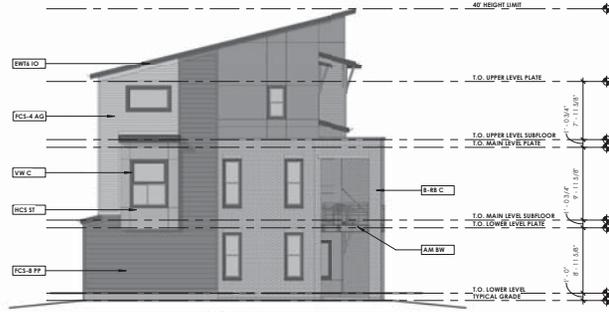
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



MARK	DESCRIPTION
BBS C	BRICK - RUNNING BOND - GENERAL SHALE - COLESON
FCS-4 AG	BBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7044 - AMAZING GRAY
FCS-4 B	BBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7044 - ANONYMOUS
FCS-8 PP	BBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7047 - FORPOUSE
HCS-ST	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - BRISCO TAPPE
HCS-A	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS-ID	HARDCOAT STUCCO - SHERWIN WILLIAMS 7047 - IRON ORE
AM SW	ACCENT METAL - SHERWIN WILLIAMS 7710 - BRANCHYRRE
EWFS-ID	1X4 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7048 - IRON ORE
FCOR	ASPHALT DRIVEW - CONCRETE CURBING ONLY BLACK
VW C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

DATE	NO.	NOTE
04.24.14	1	1ST SUBMITTAL
05.13.14	2	2ND SUBMITTAL
06.10.14	3	3RD SUBMITTAL
06.18.14	4	4TH SUBMITTAL (REVISED 03.21.14)
08.05.14	5	5TH SUBMITTAL

OWNER	REV. TR. NO.	DATE	BY	SCALE
CHICAGO	001			
APPROVED	001			
DATE	08/19/14			
PROJECT	RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5			
PROJECT	SITE IMPROVEMENT PLAN			
PROJECT	ST-3PLEX (HIGH ROOF FRONT) ELEVATIONS			

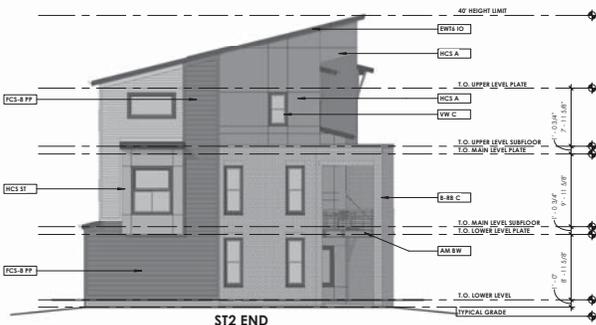
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



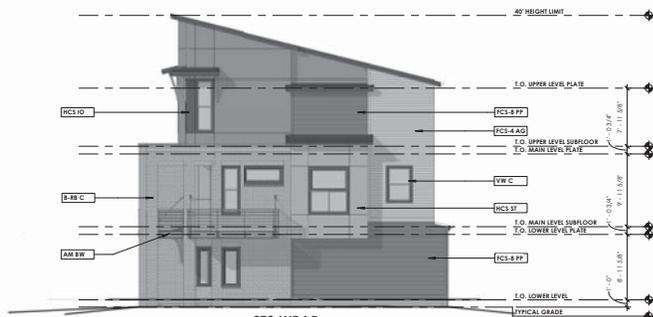
MATERIAL LEGEND	
MARK	DESCRIPTION
B-BB C	BRICK, RUNNING BOND, GENERAL SHALE - COLUSSUM
FCS-4 AG	REER CEMENT LAP SIDING - 4" EXPOSURE, SHERWIN WILLIAMS 7044 - AMAZING GRAY
FCS-4 A	REER CEMENT LAP SIDING - 4" EXPOSURE, SHERWIN WILLIAMS 7044 - ANONYMOUS
FCS-8 PF	REER CEMENT LAP SIDING - 8" EXPOSURE, SHERWIN WILLIAMS 7047 - PORPOSE
HCS-ST	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - BRICK MARE
HCS-A	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS-ID	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - IRON ORE
AM-BW	ACCENT METAL - SHERWIN WILLIAMS 7710 - BRANDYWINE
EW-8 ID	1X4 ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7058 - IRON ORE
FCS-8	SPHAT STUCCO - CHEVRE COINING OYK BLACK
VW-C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

DATE	NO.	NOTE
08/24/14	1	1ST SUBMITTAL
08/13/14	2	2ND SUBMITTAL
08/13/14	3	APPROVED
08/13/14	4	4TH SUBMITTAL (REVISED 08/23/14)
08/05/14	5	5TH SUBMITTAL

DESIGN	REV. NO.	DATE
CHANGED	REV	
APPROVED	REV	
REVISED	REV	
REWORK	REV	
SCALE	SCALE	
DATE	DATE	

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-4PLEX (HIGH ROOF FRONT) ELEVATIONS

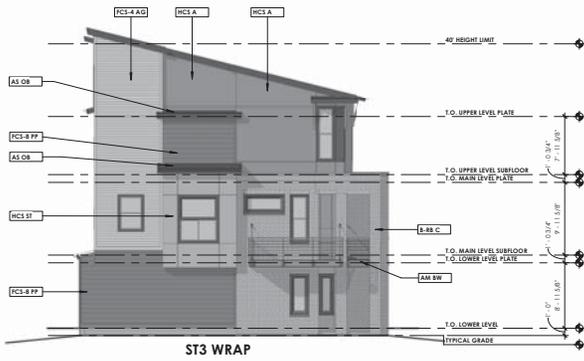
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



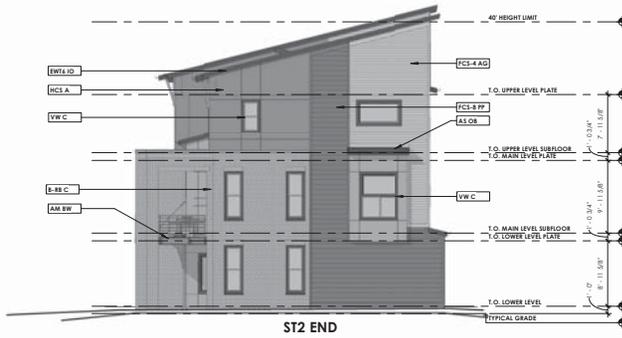
MATERIAL LEGEND	
MARK	DESCRIPTION
B-BC C	BRICK - RUNNING BOND - GENERAL SHALE - COUSEUM
FCS-4 AG	REER CEMENT LAF SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7046 - ANIMALING GRAY
FCS-4 S	REER CEMENT LAF SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7046 - ANTONINO
FCS-8 PP	REER CEMENT LAF SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7047 - PORPOISE
HCS-ST	HAROCOAT STUCCO - SHERWIN WILLIAMS 7049 - SANDY PINE
HCS-A	HAROCOAT STUCCO - SHERWIN WILLIAMS 7046 - ANTONINO
HCS-ID	HAROCOAT STUCCO - SHERWIN WILLIAMS 7049 - SANDY PINE
AM-BW	ACCENT METAL - SHERWIN WILLIAMS 7710 - BRANDYWINE
EMW-ID	1/2" ENGINEERED WOOD TRIM FASCIA - SHERWIN WILLIAMS 7066 - ROCK ORE
CS-OB	SPRINKL SPRINCLE - LOWERS CORNING DENTY BLACK
VW-C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

REDLAND
ARCHITECTURE & INTERIOR DESIGN

LENN

NEW TOWN BUILDERS

DATE	NO.	DESCRIPTION	BY	CHK.
02.24.14	1	1ST SUBMITTAL		
03.13.14	2	2ND SUBMITTAL		
03.13.14	3	3RD SUBMITTAL		
03.13.14	4	4TH SUBMITTAL (REVISED 03.21.14)		
03.03.14	5	5TH SUBMITTAL		

NOTE

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-4PLEX (HIGH ROOF REAR)
ELEVATIONS

21 of 28

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



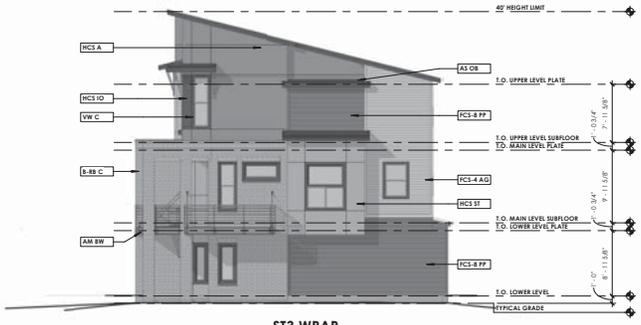
MATERIAL LEGEND	
MARK	DESCRIPTION
R-B-C	BRICK - RUNNING BOND - GENERAL SHALE - COLUSEUM
RCS-4 AG	RIBB CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7044 - AMAZING GRAY
RCS-4 A	RIBB CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7046 - ANTONIOWS
RCS-8 FP	RIBB CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7047 - POMPEHE
RCS-8 F	HARDWOOD STUCCO - SHERWIN WILLIAMS 7049 - STUDIO TAPE
RCS-A	HARDWOOD STUCCO - SHERWIN WILLIAMS 7046 - ANTONIOWS
RCS-IO	HARDWOOD STUCCO - SHERWIN WILLIAMS 7049 - STUDIO TAPE
AM-BW	ACCENT METAL - SHERWIN WILLIAMS 7710 - BRANDYWINE
DW-ID	1/2" ENGINEERED WOOD TRIM FINISH - SHERWIN WILLIAMS 7048 - BROWN ORE
PC-CB	CORNAI SPRING - CORNING CORNING DMY BLACK
VW-C	VINYL WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



REDLAND
PLANNING & DESIGN



LEN 2



NEW TOWN BUILDERS

DATE	NO.	DESCRIPTION	BY	CHK.
04.24.14	1	1ST SUBMITTAL		
05.13.14	2	2ND SUBMITTAL		
06.18.14	3	3RD SUBMITTAL		
08.19.14	4	4TH SUBMITTAL (REVISED 08.23.14)		
09.03.14	5	5TH SUBMITTAL		

NOTE: CHANGES TO THIS PLAN SHALL BE MADE BY A REVISION SHEET.

DATE	NO.	DESCRIPTION	BY	CHK.
04.24.14	1	1ST SUBMITTAL		
05.13.14	2	2ND SUBMITTAL		
06.18.14	3	3RD SUBMITTAL		
08.19.14	4	4TH SUBMITTAL (REVISED 08.23.14)		
09.03.14	5	5TH SUBMITTAL		

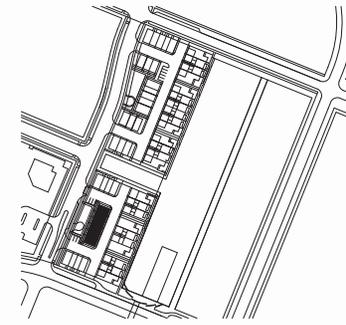
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-5 PLEX (HIGH ROOF FRONT) END ELEVATIONS

SHEET
22 of 28

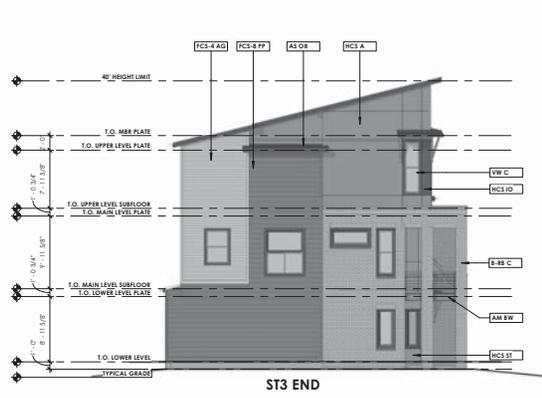
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



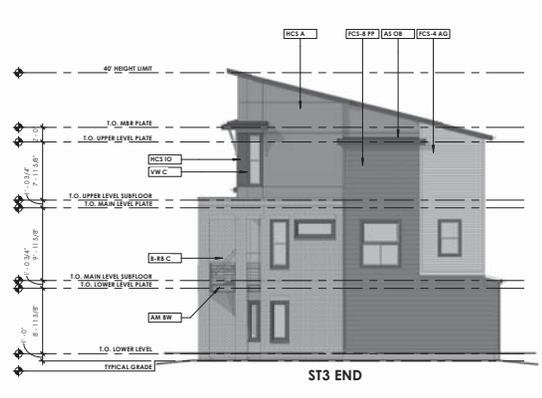
MATERIAL LEGEND	
MARK	DESCRIPTION
R BR C	BRICK - RUNNING BOND - GENERAL SHALE - COURSEWORK
FCS-4 AG	FIBER CEMENT LAP SIDING - 4" EXPOSURE - SHERWIN WILLIAMS 7044 - AMAZING GRAY
FCS-5 A	FIBER CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS 7046 - ANONYMOUS
FCS-8 PF	FIBER CEMENT LAP SIDING - 8" EXPOSURE - SHERWIN WILLIAMS 7048 - PORPOISE
HCS-1	HARDCOAT TRUCK-O - SHERWIN WILLIAMS 7547 - STUDIO TULIP
HCS-1 A	HARDCOAT STUCCO - SHERWIN WILLIAMS 7046 - ANONYMOUS
HCS-1 O	HARDCOAT STUCCO - SHERWIN WILLIAMS 7058 - IRON ORE
AM BW	ACCENT METAL - SHERWIN WILLIAMS 7710 - BRANDYWINE
DRW-1 O	DRY BRICK - ENHANCED WOOD TRIM FINISH - SHERWIN WILLIAMS 7059 - IRON ORE
AS OB	ASPHALT SHINGLE - OWENS CORNING ORNY BLACK
VW C	WHITE WINDOW - CLAY COLOR



4 LEFT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DATE	NO.	DESCRIPTION
02/24/14	1	1ST SUBMITTAL
03/13/14	2	2ND SUBMITTAL
03/18/14	3	3RD SUBMITTAL
03/18/14	4	4TH SUBMITTAL (REVISED 03/21/14)
03/03/14	5	5TH SUBMITTAL
		6TH SUBMITTAL

DATE	NO.	DESCRIPTION
02/24/14	1	1ST SUBMITTAL
03/13/14	2	2ND SUBMITTAL
03/18/14	3	3RD SUBMITTAL
03/18/14	4	4TH SUBMITTAL (REVISED 03/21/14)
03/03/14	5	5TH SUBMITTAL
		6TH SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
ST-6PLEX (HIGH ROOF FRONT) ELEVATIONS

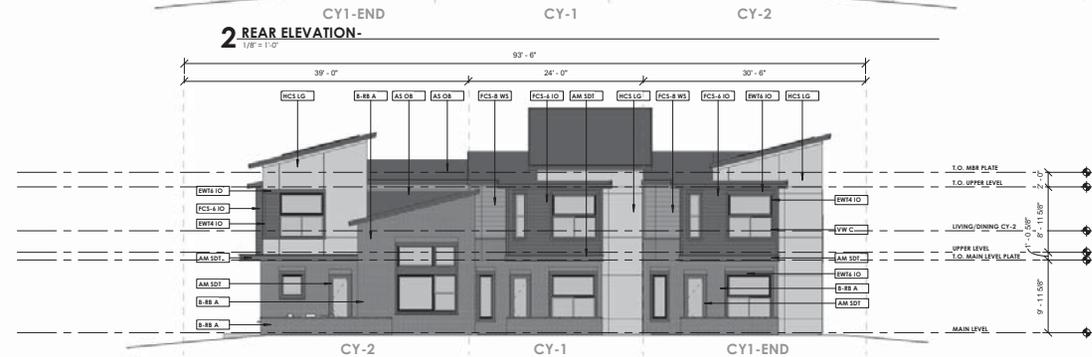
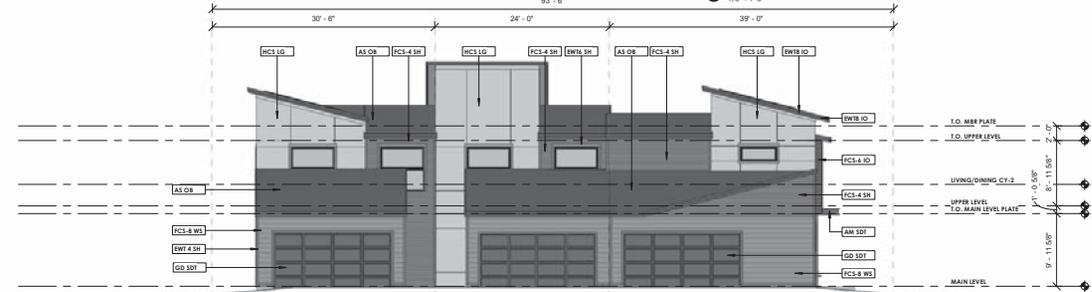
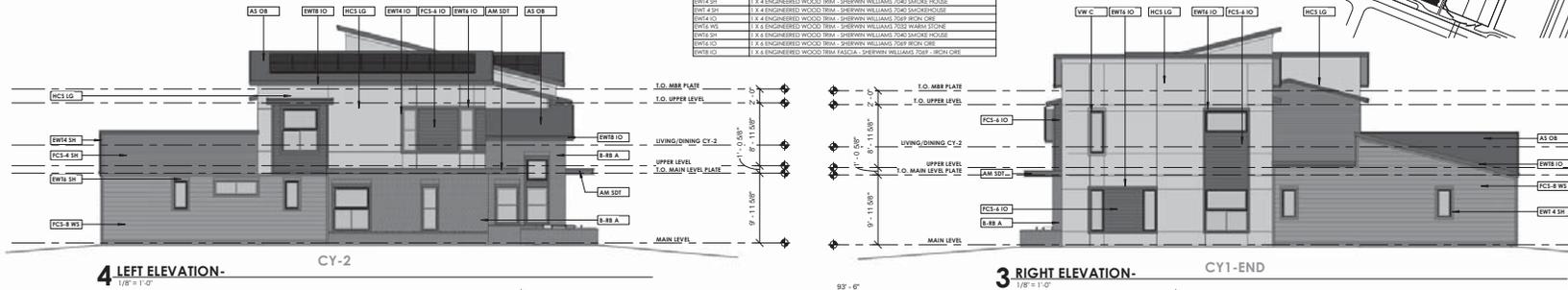
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R

MATERIAL LEGEND	
MARK	DESCRIPTION
B-28 A	BRICK - RUNNING BOND - GENERAL SHALE - ACCORDY
PCS-4 SH	PERSE CEMENT LAF SIDING - F EXPOSURE - SHERWIN WILLIAMS TOMB STONE HOUSE
PCS-4 IO	PERSE CEMENT LAF SIDING - F EXPOSURE - SHERWIN WILLIAMS TOMB STONE HOUSE
PCS-8 WS	PERSE CEMENT SIDING - F EXPOSURE - SHERWIN WILLIAMS TOMB STONE HOUSE
NCS-1 G	HARDWOOD FINISH - SHERWIN WILLIAMS TOMB STONE HOUSE
NCS-1 G	HARDWOOD FINISH - SHERWIN WILLIAMS TOMB STONE HOUSE
NCS-1 G	HARDWOOD FINISH - SHERWIN WILLIAMS TOMB STONE HOUSE
AS-10	ASPHALT SHINGLE - OWENS CORNING STEVE BLACK
AS-10	ASPHALT SHINGLE - OWENS CORNING STEVE BLACK
EW-1 C	VINYL WINDOW - CLAY COLORE
EW-4 SR	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 SR	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 IO	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 WS	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 SR	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 IO	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 WS	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 SR	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 IO	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE
EW-4 WS	1/4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS TOMB STONE HOUSE



DATE	NO.	NOTE
08.24.14	1	1ST SUBMITTAL
08.13.14	2	2ND SUBMITTAL
08.13.14	3	3RD SUBMITTAL
08.18.14	4	4TH SUBMITTAL (REVISED 08.23.14)
08.06.14	5	5TH SUBMITTAL

DRAWN	BY/AD
CHRICHD	RMW
APPROVED	RMW
PROJECT	NA
PROJECT SCALE	NA
VERT. SCALE	NA

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-3PB BUILDING ELEVATIONS

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES
SITE IMPROVEMENT PLAN # SP14-26R



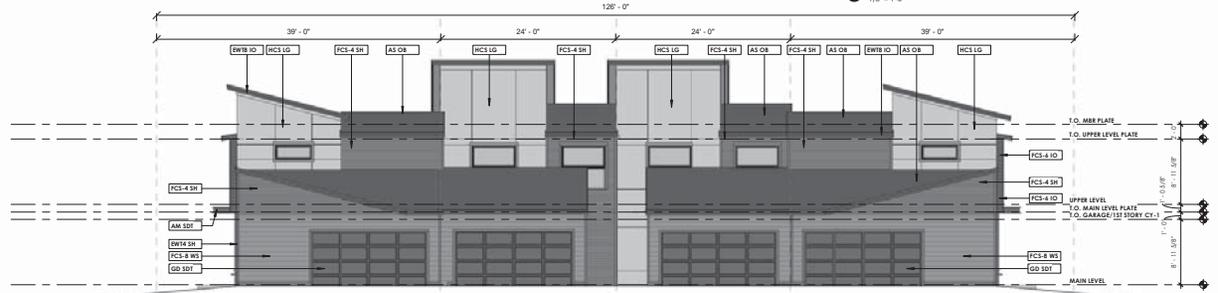
MATERIAL LEGEND	
MARK	DESCRIPTION
B-B A	BROWN BRICK - GENERAL SHALE - ACCENT
CCL-4 SH	PIPE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS 2004 SHACKLE HOUSE
CCL-4 IO	PIPE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS 2004 BRONX CRE
CCL-4 WS	PIPE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS 2004 WABAWA HOUSE
CCL-4 LG	HARDCOAT SIDING - SHERWIN WILLIAMS 2004 LOGGON
AS OR	EXPOSED BRICK - SHERWIN WILLIAMS 2004 BRONX CRE
VWC	WHITE WINDSHIELD - CLAY COLOR
AM SDT	ACCOUSTIC PANEL - SHERWIN WILLIAMS 2004 SUNSHED FORWARD
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 WABAWA HOUSE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 SHACKLE HOUSE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 BRONX CRE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 WABAWA HOUSE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 SHACKLE HOUSE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 BRONX CRE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 WABAWA HOUSE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 SHACKLE HOUSE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 BRONX CRE
EW14 SH	1 X 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS 2004 WABAWA HOUSE



4 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



DATE	NO.	DESCRIPTION
08.24.14	1	1ST SUBMITTAL
09.15.14	2	2ND SUBMITTAL
09.18.14	3	3RD SUBMITTAL
09.18.14	4	4TH SUBMITTAL (REVISED 08.23.14)
09.09.14	5	5TH SUBMITTAL

DATE	NO.	DESCRIPTION
08.24.14	1	1ST SUBMITTAL
09.15.14	2	2ND SUBMITTAL
09.18.14	3	3RD SUBMITTAL
09.18.14	4	4TH SUBMITTAL (REVISED 08.23.14)
09.09.14	5	5TH SUBMITTAL

DRAMA: BVA/D
CHECKED: RW
APPROVED: RW
DATE: 08.24.14
SCALE: N/A
VERT. SCALE: N/A

NOTE:
1. 1ST SUBMITTAL
2. 2ND SUBMITTAL
3. 3RD SUBMITTAL
4. 4TH SUBMITTAL (REVISED 08.23.14)
5. 5TH SUBMITTAL

RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-4P BUILDING ELEVATIONS

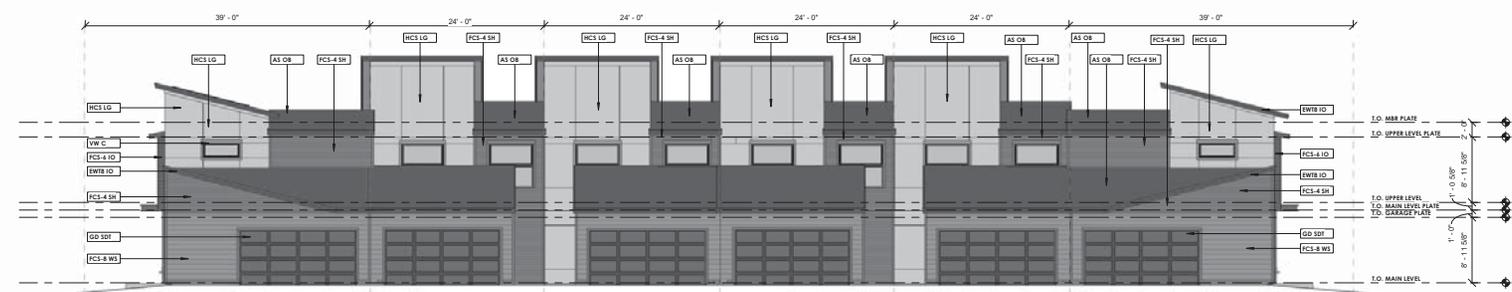
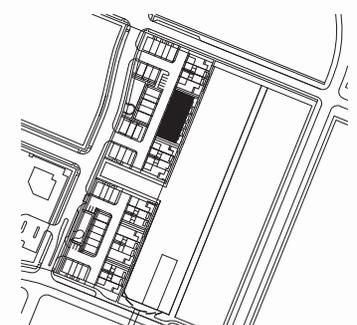
RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5

RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1

3.45 ACRES

SITE IMPROVEMENT PLAN # SP14-26R

MATERIAL LEGEND	
MARK	DESCRIPTION
E-RR-2	BRICK - RUNNING BOND - GENERAL SHALE / ZODISON
FCS-4-SH	PERE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS T504 SMOKE HOUSE
FCS-4-ID	PERE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS T504 IRON ORE
FCS-4-WB	PERE CEMENT LAP SIDING - 6" EXPOSURE - SHERWIN WILLIAMS T502 WARM STONE
FCS-1G	WOOD-CRUIE SIDING - SHERWIN WILLIAMS T504 LOGGIA
AM-SDT	ACCENT METAL - SHERWIN WILLIAMS T502 SHIMMER TONARD
FCS-8	ARCHAN SIDING - OWENS CORNING OWY-1 BLACK
EW4-SH	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T502 WARM STONE
EW4-ID	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T504 SMOKE HOUSE
EW4-SH	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T504 SMOKE HOUSE
EW4-ID	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T502 WARM STONE
EW4-SH	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T504 SMOKE HOUSE
EW4-ID	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T502 WARM STONE
EW4-SH	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T504 SMOKE HOUSE
EW4-ID	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T502 WARM STONE
EW4-SH	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T504 SMOKE HOUSE
EW4-ID	1" x 4 ENGINEERED WOOD TRIM - SHERWIN WILLIAMS T502 WARM STONE



DATE	NO.	DESCRIPTION
06.24.14	1	1ST SUBMITTAL
06.13.14	2	2ND SUBMITTAL
06.18.14	3	3RD SUBMITTAL
06.18.14	4	4TH SUBMITTAL (REVISED 06.20.14)
06.06.14	5	5TH SUBMITTAL

DATE	NO.	DESCRIPTION
06.24.14	1	1ST SUBMITTAL
06.13.14	2	2ND SUBMITTAL
06.18.14	3	3RD SUBMITTAL
06.18.14	4	4TH SUBMITTAL (REVISED 06.20.14)
06.06.14	5	5TH SUBMITTAL

NOTE: RIDGEGATE SECTION 15, FILING 21, LOTS 4 & 5
SITE IMPROVEMENT PLAN
CY-6P BUILDING ELEVATIONS



STAFF REPORT

Project Summary

Date: August 19, 2014 City Council Meeting

Project Name: RidgeGate Section 15, Filing 21, 1st Amendment
(New Town Builders)

Location: The property is located in RidgeGate in the area known as Lincoln Commons South. The property is between RidgeGate Parkway and SkyRidge Avenue.

Project Type / #: Replat, Project #SB14-29R

Staff Contacts: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

Meeting Type: Public Meeting

Summary of Request:

Approval of a replat allowing 2 lots to be subdivided into 57 lots and 4 tracts for a future townhome development. This application is associated with Site Improvement Plan #SP14-26R by New Town Builders that will be heard concurrently with this application.

Planning Commission Recommendation:

Not applicable.

Suggested Action:

Approval, subject to final approval by Lone Tree Public Works Department.



STAFF REPORT

TO: Mayor Gunning and City Council

FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner

DATE: August 13, 2014

FOR: August 19, 2014, City Council Meeting

SUBJECT: RidgeGate Section 15, Filing 21, 1st Amendment
Replat (New Town Builders), Project #SB14-29R

Owner:
RidgeGate Investments, Inc.
10270 Commonwealth St., Suite B.
Lone Tree, CO 80124

Representative:
Redland Consultants, Inc.
8000 S. Lincoln St., Suite 206
Littleton, CO 80122

Planning Commission Meeting Date:
City Council Meeting/Hearing Date:

Not applicable
August 19, 2014

A. REQUEST:

Approval of a replat allowing 2 lots to be subdivided into 57 lots and tracts for a future townhome development on 3.25 acres.

B. LOCATION:

The property is located in RidgeGate, west of Willow Creek drainage/open space and between RidgeGate Parkway and SkyRidge Avenue.

C. BACKGROUND:

This property is currently subdivided into two large lots as part of RidgeGate Section 15, Filing 21, approved by the City Council on April 1, 2014. This application proposes further subdivision to allow for 57

residential lots for single-family attached development. The Site Improvement Plan (SIP) will be heard concurrently with this replat.

The proposed replat is processed in accordance with Section 17-7-70 of the City Subdivision Code, which requires City Council approval of a replat where any new lots are created for uses other than single-family detached residential.

This application was heard by City Council on July 1, 2014, and was tabled to allow the applicant to make revisions to the accompanying SIP. The applicant has made a number of changes to the SIP to address Council's concerns. The applicant is therefore requesting action on this replat concurrent with action on the SIP.

D. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the Subdivision Code, the Zoning Code, the Comprehensive Plan, and the RidgeGate Residential West Sub-Area Plan Sub-Area Plan.

Staff recommends approval of the replat, subject to final approval by the Public Works Department.

END

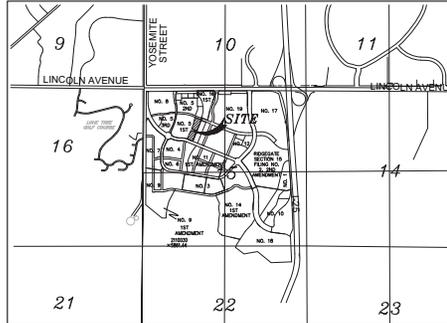
RIDGEGATE – SECTION 15 FILING NO. 21, 1ST AMENDMENT

PLANNING AREA 1 OF RIDGEGATE PLANNED DEVELOPMENT
 A REPLAT OF LOTS 4 AND 5, RIDGEGATE – SECTION 15 FILING NO. 21 RECORDED AT RECEPTION NO. 2014020901,
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO.
 3.450 ACRES – 57 LOTS – 4 TRACTS SB14-29R

PROPERTY DESCRIPTION

A PARCEL OF LAND BEING LOTS 4 AND 5, RIDGEGATE – SECTION 15 FILING NO. 21 RECORDED AT RECEPTION NO. 2014020901, IN THE OFFICE OF THE CLERK AND RECORDER OF DOUGLAS COUNTY, COLORADO, SITUATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID CITY, COUNTY AND STATE.

CONTAINING AN AREA OF 3.450 ACRES (150,289 SQ. FT.), MORE OR LESS.



VICINITY MAP
 SCALE: 1" = 2000'

GENERAL NOTES

- CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 15056884 DATED JUNE 12, 2014 AT 7:30 A.M. WAS RELIED UPON FOR RECORD INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES. THIS SURVEY DOES NOT RESEMBLE THE SEARCH BY AZTEC CONSULTANTS INC. TO DETERMINE OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF PUBLIC RECORD.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING NORTH 89°27'50" EAST BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, COLLECTORS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE OF THE DRAINAGE WAYS OR DRAINAGE SYSTEMS. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING NO PARKING/FIRE LANE SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND FIRE DISTRICT.
- LOTS AND TRACTS AS PLATTED HEREIN MAY BE REQUIRED TO CONVEY SURFACE DRAINAGE TO OTHER LOTS AND TRACTS IN THIS FILING, IN ACCORDANCE WITH CITY OF LONE TREE REQUIREMENTS AND THE APPROVED DRAINAGE PLAN FOR THIS FILING. NO ALTERATIONS TO THE GRADING OF THE LOTS AND TRACTS MAY BE MADE THAT WOULD DISRUPT THE APPROVED DRAINAGE PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY OF LONE TREE. ALL NATURAL AND IMPROVED DRAINAGE WAYS OR DRAINAGE SYSTEMS IN SAID LOTS AND TRACTS SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER IN ACCORDANCE WITH CITY OF LONE TREE CRITERIA. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE OF THE DRAINAGE WAYS OR DRAINAGE SYSTEMS. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING "NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND FIRE DISTRICT. THE OWNER/DA SHALL MAINTAIN SAID SIGNAGE.

SURVEYOR'S CERTIFICATE

I, JAMES E. LYNCH, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 28, 2014 BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1/50,000 (SECOND ORDER) AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE CITY SUBDIVISION RESOLUTION.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 2014.



JAMES E. LYNCH, LICENSED PROFESSIONAL LAND SURVEYOR
 COLORADO P.L.S. NO. 37933
 FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.

TITLE VERIFICATION

WE, CHICAGO TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS SHOWN ON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 15056884, WITH AN EFFECTIVE DATE OF JUNE 12, 2014.

CHICAGO TITLE INSURANCE COMPANY

STATE OF _____ }
 COUNTY OF _____ } SS
 SUBSCRIBED AND SWORN TO ME THIS _____ DAY OF _____, 2014,
 BY _____ AS _____ OF CHICAGO TITLE INSURANCE COMPANY.
 WITNESS MY HAND AND OFFICIAL SEAL: _____ NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DEDICATION STATEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUPERVISION OF RIDGEGATE – SECTION 15 FILING NO. 21, 1ST AMENDMENT. THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND CABLE COMMUNICATION SYSTEMS, AND OTHER EASEMENTS ARE HEREBY DEDICATED FOR THE PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE SIGNATURE OF ANY REPRESENTATIVE OF ANY PARTNERSHIP OR CORPORATE ENTITY INDICATES THAT ALL REQUIRED PARTNERSHIP OR CORPORATE APPROVALS HAVE BEEN OBTAINED.

LINCOLN COMMONS SOUTH, INC., A DELAWARE CORPORATION

BY: _____

TITLE: _____

NAME: _____

ATTES: _____

TITLE: SECRETARY

STATE OF _____ }
 COUNTY OF _____ } SS

SUBSCRIBED AND SWORN TO ME THIS _____ DAY OF _____, 2014,

BY _____ AS _____ AND _____

_____ AS SECRETARY OF LINCOLN COMMONS SOUTH, INC., A DELAWARE CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL: _____

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TRACT SUMMARY CHART

TRACT	AREA (SF)	AREA (AC)	USE	OWNERSHIP	MAINTENANCE
TRACT A	6,323	0.191	UTILITY, DRAINAGE AND PUBLIC ACCESS EASEMENTS	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
TRACT B	18,306	0.420	UTILITY, DRAINAGE, PUBLIC ACCESS AND EMERGENCY VEHICLE ACCESS EASEMENTS	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
TRACT C	5,917	0.136	UTILITY, DRAINAGE AND PUBLIC ACCESS EASEMENTS	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
TRACT D	15,096	0.347	UTILITY, DRAINAGE, PUBLIC ACCESS AND EMERGENCY VEHICLE ACCESS EASEMENTS	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
TOTALS	47,642	1.094			

CITY COUNCIL CERTIFICATE

THIS PLAT WAS APPROVED FOR FILING BY THE CITY COUNCIL OF THE CITY OF LONE TREE, COLORADO, ON THE _____ DAY OF _____, 20____, SUBJECT TO ANY CONDITIONS SPECIFIED HEREON. THE DEDICATION OF EASEMENTS ARE ACCEPTED.

LOTS 4 AND 5 OF RIDGEGATE – SECTION 15 FILING NO. 21 ARE AMENDED BY THIS PLAT SUBJECT TO ALL COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED AGAINST AND APPURTENANT TO THE ORIGINAL PLAT RECORDED IN THE OFFICE OF THE CLERK AND RECORDER, RECEPTION NUMBER 2014020901.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING, CURBS, GUTTER, SIDEWALKS, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE CITY.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT, WELL PERMIT OR SEWAGE DISPOSAL PERMIT WILL BE ISSUED.

JAMES GUNNING, MAYOR, CITY OF LONE TREE

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO)
 COUNTY OF DOUGLAS) SS

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 20____ A.D.,

AT _____ A.M./P.M. AND WAS RECORDED AT RECEPTION NO. _____

CLERK AND RECORDER

<p>AZTEC CONSULTANTS, INC. 8999 S. Lincoln St., Suite 201 Littleton, Colorado 80122 Phone: (303) 712-8898 Fax: (303) 712-1897 www.aztecconsultants.com</p>	<p>APPLICANT NT DWELLINGS LLC A COLORADO LIMITED LIABILITY COMPANY 1553 PLATTE ST., SUITE 100 DENVER, CO. 80202</p>	<p>DEVELOPER COVENTRY DEVELOPMENT CORPORATION 1041 THIRD AVENUE, 2ND FLOOR NEW YORK, NY 10065</p>	DATE OF PREPARATION	8-05-2014
			SCALE	N/A
AZTEC Proj. No. 84884-09			SHEET 1 OF 2	

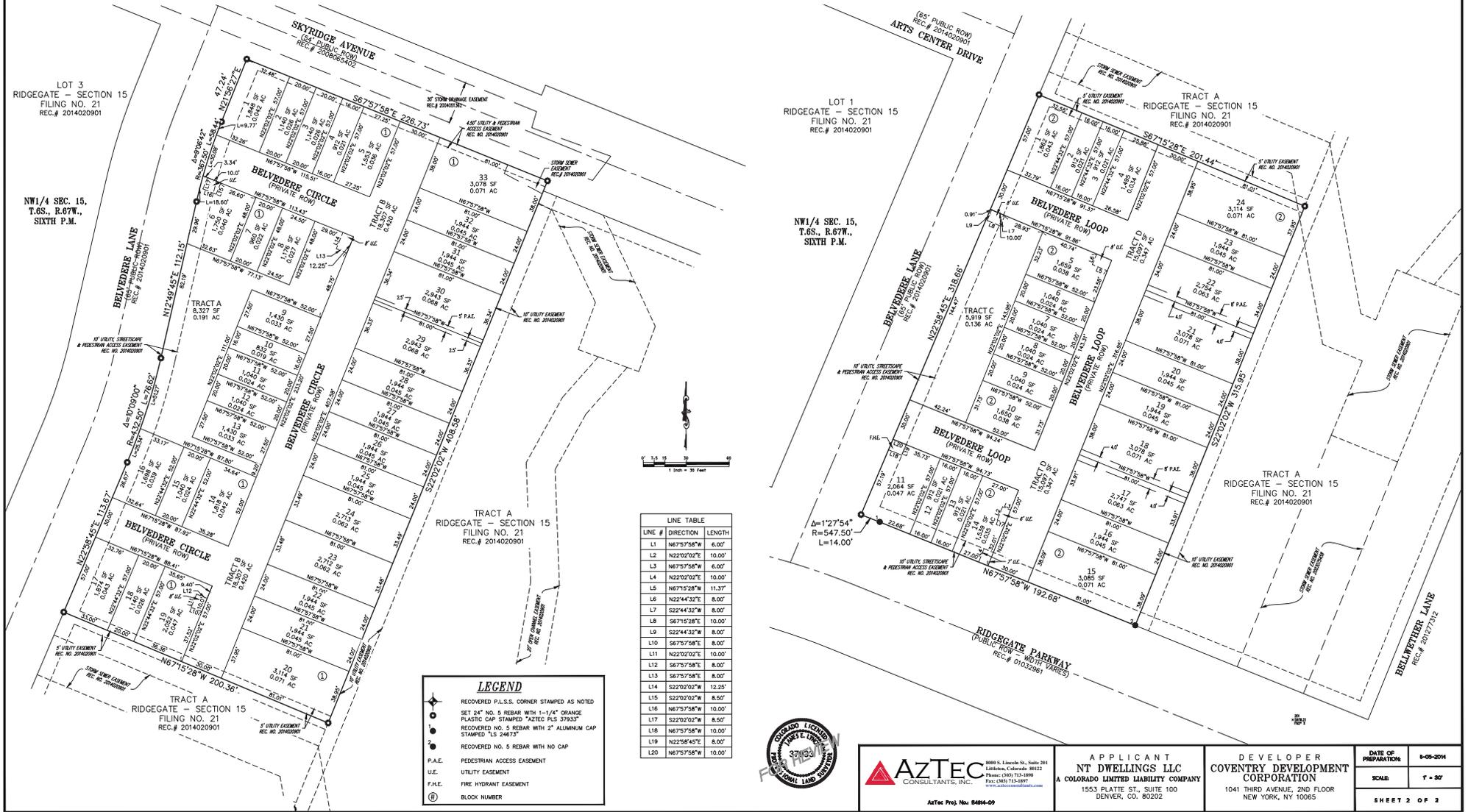
RIDGEGATE - SECTION 15 FILING NO. 21, 1ST AMENDMENT

PLANNING AREA 1 OF RIDGEGATE PLANNED DEVELOPMENT
 A REPLAT OF LOTS 4 AND 5, RIDGEGATE - SECTION FILING NO. 21 RECORDED AT RECEPTION NO. 2014020901,
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO.
 3.450 ACRES - 57 LOTS - 4 TRACTS SB14-29R

NW CORNER SECTION 15,
 T6S., R67W., 6TH P.M.
 FOUND 3 1/4" ALUMINUM CAP
 STAMPED LS# 22103

N 1/4 CORNER SECTION 15,
 T6S., R67W., 6TH P.M.
 FOUND NO. 6 REBAR
 3 1/4" ALUMINUM CAP
 STAMPED LS# 22103

N89°27'55"E 2966.57'
 NORTH LINE OF THE NW 1/4 OF SEC. 15
 (BASIS OF BEARINGS)



LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N67°5'58"W	6.00'
L2	N22°02'02"E	10.00'
L3	N67°5'58"W	6.00'
L4	N22°02'02"E	10.00'
L5	N67°5'58"W	11.37'
L6	N22°44'32"E	8.00'
L7	S22°44'32"W	8.00'
L8	S67°5'58"E	10.00'
L9	S22°44'32"W	8.00'
L10	S67°5'58"E	8.00'
L11	N22°02'02"E	10.00'
L12	S67°5'58"E	8.00'
L13	S67°5'58"E	8.00'
L14	S22°02'02"W	12.25'
L15	S22°02'02"W	8.50'
L16	N67°5'58"W	10.00'
L17	S22°02'02"W	8.50'
L18	N67°5'58"W	10.00'
L19	N22°58'45"E	8.00'
L20	N67°5'58"W	10.00'

LEGEND

- RECOVERED P.L.S.S. CORNER STAMPED AS NOTED
- SET 24" NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 37933"
- RECOVERED NO. 5 REBAR WITH 2" ALUMINUM CAP STAMPED "LS 24673"
- RECOVERED NO. 5 REBAR WITH NO CAP
- P.A.E. PEDESTRIAN ACCESS EASEMENT
- U.E. UTILITY EASEMENT
- F.H.E. FIRE HYDRANT EASEMENT
- Ⓢ BLOCK NUMBER



AZTEC
 CONSULTANTS, INC.

8999 S. Lincoln Ct., Suite 201
 Littleton, Colorado 80122
 Phone: (303) 712-3888
 Fax: (303) 712-1897
 www.aztecconsultants.com

AzTec Proj. No: 84884-09

APPLICANT
NT DWELLINGS LLC
 A COLORADO LIMITED LIABILITY COMPANY
 1553 PLATTE ST., SUITE 100
 DENVER, CO. 80202

DEVELOPER
COVENTRY DEVELOPMENT CORPORATION
 1041 THIRD AVENUE, 2ND FLOOR
 NEW YORK, NY 10065

DATE OF PREPARATION: 8-05-2014
 SCALE: 1" = 50'
 SHEET 2 OF 2



CITY OF LONE TREE
STAFF REPORT

TO: Mayor Gunning and City Council

FROM: Steve Hebert, Deputy City Manager

DATE: August 12, 2014

FOR: August 19, 2014 City Council Meeting

SUBJECT: Resolution No. 14-18 Supporting Member Contribution Increase to FPPA Statewide Defined Benefit Plan

Summary

Resolution No. 14-18 supports the increase in the member (employee) contribution rate for the Fire and Police Pension Association (FPPA) of Colorado's Statewide Defined Benefit Plan (SWDB). Staff recommends the Council approve Resolution No. 14-18.

Cost

There is no cost to the City.

Suggested Motion

I move to approve Resolution No. 14-18, Regarding the FPPA Employer Election Regarding Member Contributions to the Statewide Defined Benefit Plan.

Background

The Fire and Police Pension Association administers a statewide multiple employer public employee retirement system providing defined benefit plan coverage (The Statewide Defined Benefit Plan) as well as death and disability coverage (the Statewide Death and Disability Plan) for police officers and firefighters throughout the State of Colorado. All of Lone Tree's sworn officers participate in FPPA Plan.

In June 2014, a majority (68%) of all active members (employees) in the Benefit Plan voted to increase their member contribution rate to the Plan by 4%, phased in at ½% per year over 8 years. Of the Lone Tree Police Department members voting, 95% voted in favor of increasing their personal contribution to their pension plan.

The state statute that created the SWDB provides that if a plan modification is approved by at least 65% of the active members of the plan who vote in the election proposing an

increase in the member (employee) contribution rate, then in order to be implemented, the proposal must also be approved by more than 50% of the eligible Employers who vote. The Employer election will pass if a majority of Employers voting in the Employer election approve the proposal. The City of Lone Tree, as an Employer, is not required to vote. However, a Council resolution approving the rate change will increase the chances the rate change requested by 68% of members statewide will be approved. Approving the resolution is also a statement supporting the overwhelming majority (95%) of Lone Tree Police officers who voted to have their personal contribution increase over a period of 8 years.

The FPPA lists the following as reasons an Employer should support the proposal:

1. There is no impact to the Employer contribution rate to the plan.
2. The increase in the Member contribution rate shall not be subject to the negotiation for payment by the Employer, per statute. See C.R.S. 31-31-408(1.5)(b).
3. The added funding increases the plan's ability to pay the City's retirees more meaningful benefit adjustments (commonly referred to as COLA's).
4. The added funding also reduces the likelihood that future benefits will need to be rolled back or further contribution rate increases would be needed.

More questions and answers from the FPPA regarding the proposed increase is attached for your review.

**CITY OF LONE TREE
RESOLUTION NO. 14-18**

**A RESOLUTION REGARDING THE FPPA EMPLOYER ELECTION REGARDING
MEMBER CONTRIBUTIONS TO THE STATEWIDE DEFINED BENEFIT PLAN**

WHEREAS, Section 31-31-408(1.5), C.R.S., as amended, authorizes the Board of Directors of the Fire and Police Pension Association (“the FPPA Board”) to increase the member contribution rate for pension benefits for participating public safety officers with respect to the members of the Statewide Defined Benefit Plan (“the Plan”), as established pursuant to Section 31-31-402, C.R.S., upon the meeting of certain conditions; and

WHEREAS, pursuant to FPPA Resolution No. 2014-05, the FPPA Board has directed an election of the participating Employers in the plan be conducted with regard to an increase in the member contribution rate for the Plan by an additional 4% of base salary, to be implemented by an annual increase in the member contribution of ½% of base salary paid beginning in 2015. The member contribution rate shall be increased by an additional ½% of base salary paid in each of the 7 following years, through 2022, until the cumulative increase in the member contribution rate is 4% of base salary paid; and

WHEREAS, employees in the City of Lone Tree’s Police Department earn service credit towards retirement and are thereby members of the Plan administered by FPPA; and

WHEREAS, ninety-five percent of the Lone Tree Police Department voting members voted in favor of the proposed increase; and

WHEREAS, City of Lone Tree is thereby eligible to vote in the Employer election concerning the membership contribution rate, being conducted at the direction of the FPPA Board.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LONE TREE, COLORADO:

The City of Lone Tree votes in favor of increasing the member contribution rate for the Statewide Defined Benefit Plan, by an additional 4% of base salary paid. The City of Lone Tree’s Clerk is directed to file an original or a certified copy of this resolution with the Fire and Police Pension Association.

APPROVED AND ADOPTED THIS 19th DAY OF AUGUST, 2014.

CITY OF LONE TREE

James D. Gunning, Mayor

ATTEST:

Jennifer Pettinger, CMC, City Clerk

(S E A L)

Questions & Answers Regarding the SWDB Plan Employer Election 2014

The following may be helpful to you as you prepare to cast the Employer vote.

1. **Does this election impact the Employer contribution rate?** No, just the Member contribution rate to the SWDB Plan.
2. **Why should the Employer vote in favor of this proposal?**
 - a. There is no impact to the Employer contribution rate to the plan.
 - b. The increase in the Member contribution rate shall not be subject to negotiation for payment by the Employer, per statute. See C.R.S. 31-31-408(1.5)(b)
 - c. The added funding increases the plan's ability to pay your retirees more meaningful benefit adjustments (commonly referred to as COLA's).
 - d. The added funding also reduces the likelihood that future benefits will need to be rolled back or further contribution rate increases would be needed.
3. **Why does the Employer vote on a proposal to amend the SWDB Plan?** The state statutes provide that if a plan modification is approved by at least 65% of the active members of the plan who vote in the election proposing an increase in the member contribution rate, then in order to be implemented, the proposal must also be approved by more than 50% of the eligible Employers who vote. Eligible Employers are those having active members covered by the plan as of May 15, 2014 at 5:00 p.m.
4. **Regarding the 65% approval mentioned in Question 3, does this mean by department?** No, the 65% applies to the active members of the plan from all departments who vote in the election, not individual departments. An Employer may evaluate whether a majority of its voting members support the proposal.
5. **Why did I get this letter?** All Employers were requested to provide FPPA with a contact for the election process; if none was provided this mailing was sent to the department chief.
6. **How does the Employer cast a vote?** Employers cast a vote by submitting to FPPA a resolution from the city council or district board indicating whether or not the Employer supports the proposed change. A sample resolution is enclosed for your use. An electronic version is available on at www.FPPAco.org, click on the Employer Button.

As an alternative, you may submit certified copies of the minutes from your city council or district board meeting indicating the results of the Employer vote.

FPPA will accept an original, or a certified copy of the original of either document. If you choose to submit by email or fax, we ask that you follow it up with the original or certified copy by mail. Please see contact information below.

- Mail: FPPA, 5290 DTC Parkway, #100, Greenwood Village, CO 80111.
- E-Mail: GeneralBenefits@FPPAco.org
- Fax: 303-771-7622

- 7. What is the deadline for submitting the Employer vote?** The completed and signed resolution(s) or copies of the minutes must be received by FPPA no later than 4:00 pm MT on August 22, 2014, in order to be counted. If a copy is submitted by fax or email prior to the deadline, the original or certified copy should be mailed as soon as practical, but may be received after the deadline.
- 8. If our active police officers and active paid firefighters both participate in the Statewide Defined Benefit Plan do we get a separate vote for each department?** Yes. In this case, FPPA will expect to receive two resolutions.
- 9. Do we get a separate vote for Administrative Personnel who participate in the plan?** No. Administrative personnel covered by the SWDB Plan are considered part of the Fire District/Authority.
- 10. Is the Employer required to vote?** No, Employers are not required to vote. The Employer election will pass if a majority of those Employers voting in the Employer election approve the proposal.
- 11. If none of our active members voted, do we still get an Employer vote?** Yes.
- 12. Is the Employer required to vote the same way as the majority of its members?** No, the Employer's decision is made independently by the local governing body.
- 13. How do I know how the members from this department voted?** Please see the enclosed form showing if the proposal was supported by the majority of your firefighters and/or police officers who voted in the election, and the specific percentage of your members who voted for and against the proposal.

- 14. Does FPPA have results of how the members voted on the Contingent Proposal?** No. We do not have the numbers for the contingent 2% option. The Board's Resolution, and the agreement with the election vendor, was that the results for the Contingent Proposal would not be tabulated and provided to FPPA unless the Primary Proposal failed.
- 15. Where can I go to get more information about the Primary Proposal?** Please visit the dedicated website, www.FPPAElectionCentral.org or call FPPA at 1-800-332-3772 or 303-770-3772.
- 16. When can we expect to hear the results of the Employer election?** FPPA anticipates that the results will be available in September 2014. Watch your email and the FPPA website, www.FPPAco.org.
- 17. If passed, when does the member contribution rate change begin?** The implementation is to begin in January 2015, and the change will be fully implemented by 2022.

EMPLOYER'S NOTIFICATION OF MEMBER ELECTION RESULTS

Primary Proposal

This notification concerns the Member election results for the Statewide Defined Benefit (SWDB) Member Contribution election Primary Proposal as set forth in the Fire and Police Pension Association Board of Directors Resolution No. 2014-04.

LONE TREE POLICE	
% of voting members in favor of the proposal- "Yes" votes	95%
% of voting members opposed to the proposal- "No" votes	5%

VR Election Services, a neutral election services firm located in Texas, conducted the member election on behalf of FPPA. Active Members participating in the Statewide Defined Benefit Plan and appearing on the FPPA pension administration system as of May 15, 2014, at 5:00 p.m. were permitted to vote. These Members were given the option to vote by mail, touch-tone telephone or by the internet. The member election concluded on June 30, 2014, at 4:00 p.m. Mountain Time.



**CITY OF LONE TREE
STAFF REPORT**

TO: Mayor Gunning and City Council

FROM: Jennifer Pettinger, CMC, City Clerk

DATE: August 14, 2014

FOR: August 19, 2014 City Council Agenda

SUBJECT: 2014-2015 CBC Interview Committee Appointments

Background & Summary

Council approved changes to CBC Appointment Policy in March. Due to the change and extension of terms, we do not have any current vacancies on the Youth Commission. We will begin advertising for the remaining CBC vacancies this month. Applications will be due by September 30th. Interviews will be conducted during the month of October. Each CBC Liaison has contacted the members, who terms are expiring and who are in good standing and eligible to serve another term, to ensure they are interested in being reappointed for another term.

The following CBC members are in good standing, eligible to serve another term and are willing to be reappointed:

Arts Commission	Current Term Expiration
Nora Pearson	12/31/2014
Janice Hubbell	12/31/2014
Kerry Jamison	12/31/2014
Audit Committee	
Suzanne Gibson	12/31/2014
Citizens' Recreation Advisory Committee	
Levi Schroder	12/31/2014
Planning Commission	
Dave Kirchner	12/31/2014

If Council agrees with the above reappointments, staff will prepare the reappointment resolution for Council's approval in December.

We anticipate conducting interviews for Planning Commission (Gary Godden is term limited) and Citizens' Recreation Advisory Committee (Steve Supple does

not wish to be reappointed). I would appreciate Council making appointments to each of the interview committees for the upcoming year, in case of vacancies. Staff is also anticipating combining the Board of Appeals and Board of Adjustments once the revisions to the Building Code are presented and adopted. For that reason, I would request the same interview committee for both the Board of Adjustment and Board of Appeals. Listed below are the previous interview committees:

CBC	2014/2015 Projected Vacancies	2013 Interview Committee	2012 Interview Committee	2011 Interview Committee
Arts Commission	none currently	Anderson/ Millet	Squyer/ Monson	Anderson/ Squyer
Audit Committee	none currently	Millet/ Squyer	Anderson/ Millet	None needed
Board of Adjustment	maybe	Millet/ Monson	Millet/ Monson	Anderson/ Millet
Board of Appeals	maybe	Millet/ Monson	Anderson/ Squyer	None needed
Citizens' Recreation Advisory	yes	Squyer/ Monson	None needed	Van Ramshorst/ Squyer
Planning Commission	yes	Anderson/ Monson	Millet/ Squyer	None needed
Youth Commission	none currently	Anderson/ Squyer	Anderson/ Monson	Van Ramshorst/ Anderson

Cost

There is no direct cost.

Suggested Motion

I move to appoint the following Council Members to the CBC Interview Committees and to serve until August 1, 2015:

CBC	2014/2015 Interview Committee
Arts Commission	
Audit Committee	
Board of Adjustment & Board of Appeals	
Citizens' Recreation Advisory	
Planning Commission	
Youth Commission	