



Lone Tree City Council Agenda Tuesday, May 19, 2015

Meeting Location: City Council Meeting Room, Lone Tree Civic Center, 8527 Lone Tree Parkway.

Meeting Procedure: The Lone Tree City Council and staff will meet in a public Study Session at 4:30pm. At 6:00pm and following the meeting, if necessary, the Council Meeting will adjourn and convene in Executive Session. If an Executive Session is not necessary, Council will recess for dinner. The Regular Session will be convened at 7:00pm. Study Sessions and Regular Sessions are open to the public, Executive Sessions are not. Comments from the public are welcome at these occasions: 1. Public Comment (brief comments on items not scheduled for a public hearing) 2. Public Hearings. Contact the City Clerk if special arrangements are needed to attend (at least 24 hours in advance).

4:30pm Study Session Agenda

1. GASB Changes to Pension Reporting for the Audit
 2. Rueter-Hess Recreational Authority IGA
 3. Commissioners' Choice Selection & Upcoming Art Exhibits Report
-

6:00pm Executive Session Agenda

1. Roll Call
 2. Executive Session
-

7:00pm Regular Session Agenda

3. Opening of Regular Meeting/Pledge of Allegiance
 4. Amendments to the Agenda and Adoption of the Agenda
 5. Conflict of Interest Inquiry
 6. Public Comment
 7. Announcements
 8. Consent Agenda
 - a. Minutes of the May 5, 2015 Regular Meeting
 - b. Claims for the Period of April 27-May 11, 2015
 - c. Treasurer's Report for March 2015
 9. Administrative Matters
 - a. Approval of New Hotel and Restaurant Liquor License for Lone Tree Hooters Inc. d/b/a Hooters (8334 S. Willow St. #G)
 10. Community Development
 - a. Approval of Lone Tree Library Site Improvement Plan (SIP) #SP14-73R
 - b. Approval of Sky Ridge Medical Center I-25 Monument Sign #SA15-38R
 11. Council Comments
 12. Adjournment
-

City of Lone Tree Upcoming Events

More info available at www.cityoflonetree.com and www.lonetreeartscenter.org

- City Offices will be closed on Monday, May 25th in observance of Memorial Day
- Single tickets to Tunes on the Terrace are now on sale at the Lone Tree Arts Center in addition to Season Subscription packages
- Kids Fest, June 7th, from 11:00 am – 2:00 pm, with a sensory friendly hour prior to opening from 10:00 – 11:00 am, followed by a sensory friendly performance by Sven the Juggler on the Main Stage

**MINUTES OF A REGULAR MEETING
OF THE COUNCIL OF THE
CITY OF LONE TREE
HELD
May 5, 2015**

A regular meeting of the Council of the City of Lone Tree was held on Tuesday, May 5, 2015, at 7:00 p.m., at the Lone Tree City Council Chambers located at 8527 Lone Tree Parkway, Lone Tree, Colorado 80124.

Attendance

In attendance were:

James D. Gunning, Mayor
Jacqueline Millet, Mayor Pro Tem
Harold Anderson, Council Member
Kim Monson, Council Member
Susan Squyer, Council Member

Also in attendance were:

Seth Hoffman, City Manager
Jennifer Pettinger, City Clerk
Jeff Holwell, Economic Development Director
Chief Jeffery Streeter, Lone Tree Police Department
Kristin Baumgartner, Finance Director
Kelly First, Community Development Director
Lisa Rigsby Peterson, Lone Tree Arts Center Director
Neil Rutledge, City Attorney, White, Bear and Ankele, P.C.
John Cotten, Public Works Director, TTG Corp.

Call to Order

Mayor Gunning called the meeting to order at 7:00 p.m., and observed that a quorum was present.

Pledge of Allegiance

Mayor Gunning led those assembled in reciting the Pledge of Allegiance.

Amendments to the Agenda

There were no amendments to the agenda.

Conflict of Interest

There was no conflict of interest.

Public Comment

There was no public comment.

Announcements

Sophia Kenny, Youth Commissioner, gave Council an update on the Youth Commission.

Mayor Gunning announced upcoming events.

Presentations

There were no presentations.

Consent Agenda

Mayor Gunning noted the following items on the Consent Agenda, which consisted of:

- *Minutes of the April 21, 2015 Regular Meeting*
- *Claims for the period of April 13-27, 2015*

Mayor Pro Tem Millet moved, Council Member Anderson seconded, to approve the Consent Agenda. The motion passed with a vote of 5-0.

Community Development

Approval of South Suburban Parks & Recreation District Petition for Inclusion

Kelly First, Community Development Director, introduced the item.

Council Member Squyer moved, Council Member Anderson seconded, to authorize the City Manager to sign the Petition for Inclusion on behalf of the City. The motion passed with a vote of 5-0.

Administrative Matters

Public Hearing: Resolution 15-06, ADOPTING A SUPPLEMENTAL BUDGET AND APPROPRIATION FOR FY2014 DUE TO UNANTICIPATED REVENUES OR REVENUES NOT ASSURED AT THE TIME OF ADOPTION OF THE BUDGET

Mayor Gunning opened the public hearing at 7:03 p.m.

Kristin Baumgartner, Finance Director, introduced the item.

Mayor Gunning opened the public hearing for comment at 7:04 p.m.

There was no public comment.

The public hearing was closed at 7:04 p.m.

Council Member Anderson moved, Mayor Pro Tem Millet seconded, to approve ***Resolution 15-06, ADOPTING A SUPPLEMENTAL BUDGET AND APPROPRIATION FOR FY2014 DUE TO UNANTICIPATED REVENUES OR REVENUES NOT ASSURED AT THE TIME OF ADOPTION OF THE BUDGET.*** The motion passed with a vote of 5-0.

The City Council convened the Local Liquor Licensing Authority, New License Division

Public Hearing: Hotel and Restaurant Liquor License Application for Lone Tree Hooters Inc. d/b/a Hooters (8334 S. Willow St. #G)

Mayor Gunning opened the public hearing at 7:04 p.m.

Jennifer Pettinger, City Clerk, noted the Authority was in receipt of a packet of information which contained copies of: the license application, individual history records, red-lined drawing of the premises and petition summary. She noted that staff has reviewed all the documents including the articles of incorporation, bylaws, Certificate of Good Standing, business license, affidavit of posting, affidavit of publication and petitions. She directed the information be made a part of the record. She also noted the information and documents have been reviewed and found to be in accordance with and in conformity with the City of Lone Tree Liquor and Fermented Malt Beverage Regulations and were accepted into evidence by the Authority.

Ms. Pettinger introduced Jack Rotole, Applicant's Attorney, Brian Weston, President, and Tom Campbell Vice President, and Max Scott, Oedipus, Inc., petition circulator. Mr. Rotole, Mr. Scott, and Mr. Lumbye spoke on behalf of the application. Mr. Rotole interviewed Mr. Scott on the petitioning process. Mr. Rotole introduced Mr. Paul Lumbye, Applicant's Attorney. Mr. Lumbye spoke on behalf of the following members of the business community, who were unable to attend:

- Eric Nodstrum, Manager, Smash Burger, 8331 Willow St. #B
- Richard Hommurling Owner, Pearl Vision Center, 8441 S. Yosemite St.
- Suz Garrette-Duquotte, Store Manager, Wranglers, Park Meadows, 9140 Westview Rd.
- Matthew Grooms, South Metro General Manager, Max Muscle, 9226 Park Meadows Dr.
- Pete Pflum, Partner/Operations Manager, Pasta Jay's, 9226 Park Meadows Dr.
- Daniel Arenson, General Manager Anthony's Pizza, 9234 Park Meadows Dr.
- Tawasha Noel, Manager, N.V. Boutique, Park Meadows Mall

- Jason Hearle, Manager, Orvis Shop in Park Meadows, 8433 S. Park Meadows Center Dr.
- Samantha Hall, Manager, Flip Flop Shops, 8405 S. Park Meadows Center Dr.
- Melanie Manriquez, Manager, Hot Topics, 8405 S. Park Meadows Center Dr., #1215
- Chase Raines, Manager, Lids Inc., 8401 S. Park Meadows Center Dr.
- Erin Smith, Manager, Knockouts for Men, 8353 S. Willow St. #C-1

Mr. Lumbye stated these individuals wanted their support for the application to be noted.

Mr. Weston, President and CEO for Lone Tree Hooters Inc. presented testimony in regard to the needs and desires of the neighborhood, the applicant's business plan and practices and answered questions from Council.

Mayor Gunning opened the hearing for public testimony.

Margarita Nelson 7911 Chaparral Road, shared her concerns with issuing the liquor license. Ms. Nelson read comments from her daughter, Maria Nelson, who is was also opposed to the license.

Christina Nelson, 7911 Chaparral Road, also shared her objection to the liquor license.

Theresa Nelson, 7911 Chaparral Road, also shared her objection to the liquor license.

The public hearing was closed at 8:03 p.m.

Following a brief discussion by the Authority, Member Monson motioned to approve the New Hotel and Restaurant Liquor License for Lone Tree Hooters Inc. d/b/a Hooters at 8334 S. Willow St. #G. There being no second, the City Council moved on to the next item of business.

Adjournment

There being no further business, Mayor Gunning adjourned the meeting at 8:33 p.m.

Respectfully submitted,

Jennifer Pettinger, CMC, City Clerk

CITY OF LONE TREE PRELIMINARY FINDINGS

AGENDA ITEM: Hotel and Restaurant Liquor License for Lone Tree Hooters, Inc. d/b/a Hooters

MEETING DATE: May 5, 2015 & May 19, 2015

STAFF PERSON RESPONSIBLE: Jennifer Pettinger, CMC, City Clerk

DESCRIPTION: Hotel and Restaurant Liquor License for Lone Tree Hooters, Inc. d/b/a Hooters, 8334 S. Willow Street, Suite G, Lone Tree, Colorado.

SUMMARY: The application for a new Hotel and Restaurant Liquor License at the above location was submitted and completed in all material respects. The necessary fees accompanied the application.

This establishment is located at 8334 S. Willow Street, Suite G. A ten year commercial lease was entered into between Meadows Shopping Center 05 A, LLC and Lone Tree Hooters, Inc. on February 25, 2015. Staff has reviewed all the lease documentation.

The License Application, Individual History Records, Red-lined Drawing of the Premises, and Summary of Petitioning are attached. Staff has also reviewed the following documents: articles of incorporation, bylaws of Lone Tree Hooters, Inc., certificate of good standing issued by the Colorado Secretary of State, Lone Tree business license, affidavit of posting, affidavit of publication and Petitions.

Fingerprinting and background checks were submitted through CBI; no adverse comments or events being reported. All posting and publication requirements have been met and the petition results have been reviewed.

A Hotel and Restaurant licensee must have full meals available until 8:00 p.m. every day, and snacks and sandwiches after 8:00 p.m. Food sales must provide at least 25% of the gross income from the sale of food and drink of the license premises over any period of time of at least one year.

RECOMMENDED COUNCIL ACTION: Convene the Public Hearing for a new Hotel and Restaurant Liquor License and consider a motion to approve the application for a Hotel and Restaurant Liquor License conditional upon the applicant obtaining necessary building permits and approvals.

Colorado Liquor Retail License Application

<input checked="" type="checkbox"/> New License <input type="checkbox"/> New-Concurrent <input type="checkbox"/> Transfer of Ownership			
<ul style="list-style-type: none"> • All answers must be printed in black ink or typewritten • Applicant must check the appropriate box(es) • Applicant should obtain a copy of the Colorado Liquor and Beer Code: www.colorado.gov/enforcement/liquor • Local License Fee \$ _____ 			
1. Applicant is applying as a/an <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Partnership (includes Limited Liability and Husband and Wife Partnerships)		<input type="checkbox"/> Individual <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Association or Other	
2. Applicant If an LLC, name of LLC; if partnership, at least 2 partner's names; if corporation, name of corporation Lone Tree Hooters, Inc.			FEIN Number
2a. Trade Name of Establishment (DBA) Hooters		State Sales Tax Number 30423847	Business Telephone 720-493-4668
3. Address of Premises (specify exact location of premises, include suite/unit numbers) 8334 S. Willow Street, Suite G			
City Lone Tree	County Douglas	State CO	ZIP Code 80124
4. Mailing Address (Number and Street) 300 S. Jackson Street, Suite 400		City or Town Denver	State CO
5. Email Address suzanne@restam.com			
6. If the premises currently has a liquor or beer license, you must answer the following questions			
Present Trade Name of Establishment (DBA) n/a	Present State License Number n/a	Present Class of License n/a	Present Expiration Date n/a
Section A		Section B (Cont.)	
Nonrefundable Application Fees		Liquor License Fees	
<input type="checkbox"/> Application Fee for New License \$ 600.00 <input checked="" type="checkbox"/> Application Fee for New License w/Concurrent Review \$ 700.00 <input type="checkbox"/> Application Fee for Transfer \$ 600.00		<input type="checkbox"/> Liquor Licensed Drugstore (City)..... \$227.50 <input type="checkbox"/> Liquor Licensed Drugstore (County) \$312.50 <input type="checkbox"/> Manager Registration - H & R \$ 75.00 <input type="checkbox"/> Manager Registration - Tavern \$ 75.00 <input type="checkbox"/> Master File Location Fee\$ 25.00 X _____ Total _____ <input type="checkbox"/> Master File Background\$250.00 X _____ Total _____ <input type="checkbox"/> Optional Premises License (City) \$500.00 <input type="checkbox"/> Optional Premises License (County) \$500.00 <input type="checkbox"/> Racetrack License (City)..... \$500.00 <input type="checkbox"/> Racetrack License (County) \$500.00 <input type="checkbox"/> Resort Complex License (City) \$500.00 <input type="checkbox"/> Resort Complex License (County) \$500.00 <input type="checkbox"/> Retail Gaming Tavern License (City) \$500.00 <input type="checkbox"/> Retail Gaming Tavern License (County) \$500.00 <input type="checkbox"/> Retail Liquor Store License (City)..... \$227.50 <input type="checkbox"/> Retail Liquor Store License (County) \$312.50 <input type="checkbox"/> Tavern License (City) \$500.00 <input type="checkbox"/> Tavern License (County) \$500.00 <input type="checkbox"/> Vintners Restaurant License (City) \$750.00 <input type="checkbox"/> Vintners Restaurant License (County) \$750.00	
Section B			
Liquor License Fees			
<input type="checkbox"/> Add Optional Premises to H & R\$100.00 X _____ Total _____ <input type="checkbox"/> Add Related Facility to Resort Complex\$ 75.00 X _____ Total _____ <input type="checkbox"/> Arts License (City)\$308.75 <input type="checkbox"/> Arts License (County)\$308.75 <input type="checkbox"/> Beer and Wine License (City).....\$351.25 <input type="checkbox"/> Beer and Wine License (County)\$436.25 <input type="checkbox"/> Brew Pub License (City) \$750.00 <input type="checkbox"/> Brew Pub License (County).....\$750.00 <input type="checkbox"/> Club License (City)\$308.75 <input type="checkbox"/> Club License (County)\$308.75 <input type="checkbox"/> Distillery Pub License (City).....\$750.00 <input type="checkbox"/> Distillery Pub License (County)\$750.00 <input checked="" type="checkbox"/> Hotel and Restaurant License (City)\$500.00 <input type="checkbox"/> Hotel and Restaurant License (County)\$500.00 <input type="checkbox"/> Hotel and Restaurant License w/one opt premises (City)\$600.00 <input type="checkbox"/> Hotel and Restaurant License w/one opt premises(County).....\$600.00			
Questions? Visit: www.colorado.gov/enforcement/liquor for more information			
Do not write in this space - For Department of Revenue use only			
Liability Information			
License Account Number	Liability Date	License Issued Through (Expiration Date)	Total
			\$

7. Is the applicant (including any of the partners, if a partnership; members or manager if a limited liability company; or officers, stockholders or directors if a corporation) or manager under the age of twenty-one years?		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8. Has the applicant (including any of the partners, if a partnership; members or manager if a limited liability company; or officers, stockholders or directors if a corporation) or manager ever (in Colorado or any other state):			
(a) Been denied an alcohol beverage license?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Had an alcohol beverage license suspended or revoked?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
(c) Had interest in another entity that had an alcohol beverage license suspended or revoked?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
If you answered yes to 8a, b or c, explain in detail on a separate sheet. See attached Exhibit A			
9. Has a liquor license application (same license class), that was located within 500 feet of the proposed premises, been denied within the preceding two years? If "yes", explain in detail.		<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Are the premises to be licensed within 500 feet of any public or private school that meets compulsory education requirements of Colorado law, or the principal campus of any college, university or seminary?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
Waiver by local ordinance? <input type="checkbox"/>		or	
Other: _____ <input type="checkbox"/>		<input type="checkbox"/>	
11. Has a liquor or beer license ever been issued to the applicant (including any of the partners, if a partnership; members or manager if a Limited Liability Company; or officers, stockholders or directors if a corporation)? If yes, identify the name of the business and list any <u>current</u> financial interest in said business including any loans to or from a licensee. See attached Exhibit B		<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. Does the Applicant, as listed on line 2 of this application, have legal possession of the premises by virtue of ownership, lease or other arrangement?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Ownership <input checked="" type="checkbox"/> Lease <input type="checkbox"/> Other (Explain in Detail) _____			
a. If leased, list name of landlord and tenant, and date of expiration, exactly as they appear on the lease: See attached Exhibit C			
Landlord Meadows Shopping Center 05 A, LLC	Tenant Lone Tree Hooters, Inc.	Expires 2025	
b. Is a percentage of alcohol sales included as compensation to the landlord? If yes complete question 13.		<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Attach a diagram and outline or designate the area to be licensed (including dimensions) which shows the bars, brewery, walls, partitions, entrances, exits and what each room shall be utilized for in this business. This diagram should be no larger than 8 1/2" X 11". See attached Exhibit D			
13. Who, besides the owners listed in this application (including persons, firms, partnerships, corporations, limited liability companies), will loan or give money, inventory, furniture or equipment to or for use in this business; or who will receive money from this business. Attach a separate sheet if necessary. See attached Affidavit of Source of Funds			
Last Name Restaurants of America, Inc.	First Name n/a	Date of Birth n/a	FEIN or SSN Interest/Percentage 100
Last Name	First Name	Date of Birth	FEIN or SSN Interest/Percentage
Attach copies of all notes and security instruments, and any written agreement, or details of any oral agreement, by which any person (including partnerships, corporations, limited liability companies, etc.) will share in the profit or gross proceeds of this establishment, and any agreement relating to the business which is contingent or conditional in any way by volume, profit, sales, giving of advice or consultation.			
14. Optional Premises or Hotel and Restaurant Licenses with Optional Premises: Has a local ordinance or resolution authorizing optional premises been adopted?		<input type="checkbox"/>	<input type="checkbox"/>
Number of additional Optional Premise areas requested. (See license fee chart)		n/a	
15. Liquor Licensed Drug Store applicants, answer the following:			
(a) Does the applicant for a Liquor Licensed Drug Store have a license issued by the Colorado Board of Pharmacy? If "yes" a copy of license must be attached.		<input type="checkbox"/>	<input type="checkbox"/>
16. Club Liquor License applicants answer the following: Attach a copy of applicable documentation			
(a) Is the applicant organization operated solely for a national, social, fraternal, patriotic, political or athletic purpose and not for pecuniary gain?		<input type="checkbox"/>	<input type="checkbox"/>
(b) Is the applicant organization a regularly chartered branch, lodge or chapter of a national organization which is operated solely for the object of a patriotic or fraternal organization or society, but not for pecuniary gain?		<input type="checkbox"/>	<input type="checkbox"/>
(c) How long has the club been incorporated?		<input type="checkbox"/>	
(d) Has applicant occupied an establishment for three years (three years required) that was operated solely for the reasons stated above?		<input type="checkbox"/>	<input type="checkbox"/>
17. Brew-Pub License or Vintner Restaurant Applicants answer the following:			
(a) Has the applicant received or applied for a Federal Permit? (Copy of permit or application must be attached)		<input type="checkbox"/>	<input type="checkbox"/>
18a. For all on-premises applicants. (If this is an application for a Hotel, Restaurant or Tavern License, the manager must also submit an individual History Record - DR 8404-I)			
Last Name of Manager Weston	First Name of Manager Brian	Date of Birth	
18b. Does this manager acts as the manager of, or have a financial interest in, any other liquor licensed establishment in the State of Colorado? If yes, provide name, type of license and account number. See attached Exhibit E		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Type of License See attached Exhibit E	Account Number		
19. Tax Distraint Information. Does the applicant or any other person listed on this application and including its partners, officers, directors, stockholders, members (LLC) or managing members (LLC) and any other persons with a 10% or greater financial interest in the applicant currently have an outstanding tax distraint issued to them by the Colorado Department of Revenue?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide an explanation and include copies of any payment agreements.			

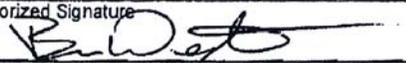
20. **If applicant is a corporation, partnership, association or limited liability company, applicant must list all officers, directors, general partners, and managing members. In addition, applicant must list any stockholders, partners, or members with ownership of 10% of more in the applicant. All persons listed below must also attach form DR8404-I (Individual History Record), and submit fingerprint cards to their local licensing authority.

Name	Home Address, City & State	DOB	Position	% Owned
Restaurants of America, Inc.	300 S. Jackson St., Ste. 400, Denver, CO	-	Parent Company	100
Brian K. Weston	6610 S. Billings Way, Centennial, CO		President	--
Thomas E. Campbell	16453 Stonefeld Place, Parker, CO		Vice Pres/Sec.	--
Name	Home Address, City & State	DOB	Position	% Owned
Name	Home Address, City & State	DOB	Position	% Owned

** Limited Liability Companies and Partnerships - 100% of ownership must be accounted for on question #20
** Corporations - The President, Vice-President, Secretary and Treasurer must be accounted for on question #20 (Include ownership percentage if applicable)

Oath Of Applicant

I declare under penalty of perjury in the second degree that this application and all attachments are true, correct, and complete to the best of my knowledge. I also acknowledge that it is my responsibility and the responsibility of my agents and employees to comply with the provisions of the Colorado Liquor or Beer Code which affect my license.

Authorized Signature 	Printed Name and Title PRESIDENT	Date 3-2-15
---	--	-----------------------

Report and Approval of Local Licensing Authority (City/County)

Date application filed with local authority 3-6-15	Date of local authority hearing (for new license applicants; cannot be less than 30 days from date of application 12-47-311 (1) C.R.S.) 5-5-15
--	--

The Local Licensing Authority Hereby Affirms that each person required to file DR 8404-I (Individual History Record) has:

- Been fingerprinted
- Been subject to background investigation, including NCIC/CCIC check for outstanding warrants

That the local authority has conducted, or intends to conduct, an inspection of the proposed premises to ensure that the applicant is in compliance with, and aware of, liquor code provisions affecting their class of license

(Check One)

- Date of inspection or anticipated date **5/30/15**
- Will conduct inspection upon approval of state licensing authority

The foregoing application has been examined; and the premises, business to be conducted, and character of the applicant are satisfactory. We do report that such license, if granted, will meet the reasonable requirements of the neighborhood and the desires of the adult inhabitants, and will comply with the provisions of Title 12, Article 46 or 47, C.R.S.
Therefore, this application is approved.

Local Licensing Authority for CITY OF Lone Tree	Telephone Number 3-708-1818	<input checked="" type="checkbox"/> Town, City <input type="checkbox"/> County
Signature	Print	Title
Signature (attest)	Print	Title
		Date

EXHIBIT A

(Question #7((b) and (c) on Colorado Liquor Retail License Application)

Restaurants of America, Inc. (and indirectly the following corporate officers of Restaurants of America, Inc. - Brian K. Weston, President; Thomas E. Campbell, Vice President) have financial interests in the following Hooters and Li'l Ricci's restaurants in Colorado which have hotel/restaurant liquor licenses that have been suspended:

1. Colorado Springs Hooters, Inc.
750 Citadel Drive, Unit E
Colorado Springs, CO 80909
 - (a) On July 23, 2010 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and serving a visibly intoxicated person in violation of C.R.S. §12-47-901(1)(a) and CCR 1 CCR 203-2, Regulation 47-900(A). License was suspended for 15 days. 12 days held in abeyance for 1 year and a fine in lieu of suspension for the remaining 3 days. A fine was paid.
 - (b) On June 23, 2011 cited with serving visibly intoxicated person in violation of C.R.S. §12-47-901(5)(a)(I). Show cause action was dismissed.

2. Kipling Hooters, Ltd.
695 Kipling Street
Lakewood, Colorado 80215

Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on March 10, 2000 Kipling Hooters, Ltd. was cited with serving a visibly intoxicated person in violation of C.R.S. §12-47-901(1)(a). License was suspended for 5 days with 5 days held in abeyance. Suspension went into effect on October 3, 2000.

3. Li'l Ricci's Lincoln, LLC
16526 Keystone Boulevard, #6
Parker, CO 80134

-
- (a) On May 31, 2008 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901. On September 18, 2008 a written warning was issued with a requirement that the licensee's employees complete TIPS training classes and submit certificates of completion within 60 days. Failure to comply would result in a 5 day suspension to be served by Licensee. Li'l Ricci's fully complied.

EXHIBIT A

(Question #7((b) and (c) on Colorado Liquor Retail License Application)

- (b) On December 4, 2010, cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a) and Parker Municipal Code 8.11.050. License was suspended for 7 days with 3 days served and 4 days held in abeyance.
4. Li'l Ricci's Golden, L.P.
16950 W. Colfax Avenue, Unit 108
Golden, CO 80401-5666
- (a) On October 5, 2012 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and Golden Municipal Code Section 8.04.830(1)(a). License suspended for 6 days. 3 days served and 3 days held in abeyance for 1 year. Fine paid in lieu of suspension.
- (b) On August 13, 2014 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License suspended for 7 days. 4 days served and 3 days held in abeyance for 1 year. Fine paid in lieu of suspension.
5. Parker Road Hooters, Inc.
2610 S. Parker Road
Aurora, Colorado 80014
- (a) Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on January 2, 1999 Parker Road Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License was suspended for 15 days with 12 days held in abeyance for 1 year and 3 days were served. Suspension went into effect on May 29, 1999.
- (b) Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that Parker Road Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License was suspended for 15 days with 12 days held in abeyance and 3 days served; suspension went into effect on February 21, 2005.

EXHIBIT A

(Question #7((b) and (c) on Colorado Liquor Retail License Application)

6. Thunder Mountain Hooters, LLC
4230 Byrd Drive
Loveland, CO 80538

- a. Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on June 16, 2007, Thunder Mountain Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). On August 16, 2007 license was suspended for 15 days with 10 days held in abeyance for 1 year and a fine was paid in lieu of serving the remaining 5 day suspension.
- b. On June 14, 2008 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) . On September 18, 2008, license was suspended for 10 days with 20 days held in abeyance for 1 year.
- c. On June 26, 2014 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). 20 day suspension. 7 days to be served with the right to pay a fine in lieu of suspension and 13 days held in abeyance for 1 year. Fine paid in lieu of suspension.

7. Hooters of Westminster, L.P.
1111 W. 120th Avenue
Westminster, CO 80234

On July 13, 2006, cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and C.R.S. §12-47-901(5)(a)(I) and Section 6-9-2(A) of the Westminster Municipal Code. On October 18, 2006 license was suspended for 7 days with 6 days held abeyance for a period of 2 years. One day suspension was served on November 4, 2006.

EXHIBIT B
(Question #11 on Colorado Liquor Retail License Application)

Restaurants of America, Inc. (and indirectly the following corporate officers of Restaurants of America, Inc. - Brian K. Weston, President; Thomas E. Campbell, Vice President) have financial interests in the following Hooters and Li'l Ricci's restaurants in Colorado which have been issued hotel/restaurant liquor licenses:

1. Colorado Springs Hooters, Inc.
750 Citadel Drive, Suite 1012
Colorado Springs, CO 80909
2. Colorado Springs North Hooters, Inc.
7285 Commerce Center Drive
Colorado Springs, Colorado 80919
3. Grand Junction Hooters, L.P.
2880 N. Avenue
Grand Junction, CO 81501
4. Hooters of Westminster, L.P.
1111 W. 120th Avenue
Westminster, CO 80234
5. Kipling Hooters, Ltd.
695 Kipling Street
Lakewood, Colorado 80215
6. Li'l Ricci's Golden, L.P.
16950 W. Colfax Avenue
Golden, CO 80401
7. Li'l Ricci's Highlands Ranch, LP
44 West Centennial Boulevard
Highlands Ranch, CO 80129
8. Li'l Ricci's Lincoln, LLC
16526 Keystone Boulevard
Parker, CO 80134
9. Parker Road Hooters, Inc.
2610 S. Parker Road
Aurora, Colorado 80014
10. Thunder Mountain Hooters, LLC
4230 Byrd Drive
Loveland, CO 80538

EXHIBIT E
(Question #18(b) on Colorado Liquor Retail License Application)

Brian K. Weston, as President of Restaurants of America has financial interests in the following Hooters and Li'l Ricci's restaurants in Colorado which have been issued hotel/restaurant liquor licenses:

1. Colorado Springs Hooters, Inc.
750 Citadel Drive, Suite 1012
Colorado Springs, CO 80909
Account No.: 28-06164-0000
2. Colorado Springs North Hooters, Inc.
7285 Commerce Center Drive
Colorado Springs, Colorado 80919
Account No.: 26-45860-0000
3. Grand Junction Hooters, L.P.
2880 N. Avenue
Grand Junction, CO 81501
Account No.: 42-70627-0000
4. Hooters of Westminster, L.P.
1111 W. 120th Avenue
Westminster, CO 80234
Account No.: 26-44749-0000
5. Kipling Hooters, Ltd.
695 Kipling Street
Lakewood, Colorado 80215
Account No.: 23-67614-0000
6. Li'l Ricci's Golden, L.P.
16950 W. Colfax Avenue
Golden, CO 80401
Account No.: 42-65460-0000
7. Li'l Ricci's Highlands Ranch, LP
44 West Centennial Boulevard
Highlands Ranch, CO 80129
Account No.: 15-52092-0000
8. Li'l Ricci's Lincoln, LLC
16526 Keystone Boulevard
Parker, CO 80134
Account No.: 15-40693-0000

EXHIBIT E

(Question #18(b) on Colorado Liquor Retail License Application)

9. Parker Road Hooters, Inc.
2610 S. Parker Road
Aurora, Colorado 80014
Account No.: 23-40139-0000

10. Thunder Mountain Hooters, LLC
4230 Byrd Drive
Loveland, CO 80538
Account No.: 07-80821-0000

SOURCE OF FUNDS

Restaurants of America, Inc., which is the parent company of Lone Tree Hooters, Inc., will invest the following source of funds to the Applicant Lone Tree Hooters, Inc. as follows:

1. Restaurant of America, Inc.'s capital contribution to the Applicant is \$600,000.00 more specifically set forth below:

Member	EIN/SSN	Capital Contributions	Source of Funds
Restaurants of America, Inc.		\$600,000.00	Bank Name: BBVA/Compass
Total		\$600,000.00	

INDIVIDUAL HISTORY RECORD

To be completed by the following persons, as applicable: sole proprietors; general partners regardless of percentage ownership, and limited partners owning 10% or more of the partnership; all principal officers of a corporation, all directors of a corporation, and any stockholder of a corporation owning 10% or more of the outstanding stock; managing members or officers of a limited liability company, and members owning 10% or more of the company; and any intended registered manager of Hotel and Restaurant or Tavern class of retail license.

NOTICE: This individual history record requires information that is necessary for the licensing investigation or inquiry. All questions must be answered in their entirety or the license application may be delayed or denied. If a question is not applicable, please indicate so by "N/A". **Any deliberate misrepresentation or material omission may jeopardize the license application.**

1. Name of Business
 Lone Tree Hooters, Inc.

2. Your Full Name (last, first, middle)
 Weston, Brian K.

3. List any other names you have used.
 n/a

4. Mailing address (if different from residence)
 n/a

5. List current residence address. Include any previous addresses within the last five years (attach separate sheet if necessary).

STREET AND NUMBER	CITY, STATE, ZIP	FROM	TO
Current 6610 S. Billings Way	Centennial, CO 80111	2002	present
Previous			

6. List all employment within the last five years. Include any self employment. (Attach separate sheet if necessary)

NAME OF EMPLOYER OR BUSINESS	ADDRESS (STREET, NUMBER, CITY, STATE, ZIP)	POSITION HELD	FROM	TO
Restaurants of America, Inc.	300 S. Jackson Street, Ste. 400, Denver, CO	President	12/06	present

7. List the name(s) of relatives working in or holding a financial interest in the Colorado alcohol beverage industry.

NAME OF RELATIVE	RELATIONSHIP TO YOU	POSITION HELD	NAME OF LICENSEE
n/a	n/a	n/a	n/a

8. Have you ever applied for, held, or had an interest in a Colorado Liquor or Beer License, or loaned money, furniture, fixtures, equipment or inventory to any licensee? If yes, answer in detail.

Yes No

See attached Exhibit A

9. Have you ever received a violation notice, suspension, or revocation for a liquor law violation, or have you applied for or been denied a liquor or beer license anywhere in the United States? If yes, explain in detail.

Yes No

See attached Exhibit B

10. Have you ever been convicted of a crime or received a suspended sentence, deferred sentence, or forfeited bail for any offense in criminal or military court or do you have any charges pending? (If yes, explain in detail.)
 Yes No
See attached Exhibit C

11. Are you currently under probation (supervised or unsupervised), parole, or completing the requirements of a deferred sentence? (if yes, explain in detail.)
 Yes No

12. Have you ever had any professional license suspended, revoked, or denied? (If yes, explain in detail.)
 Yes No

PERSONAL AND FINANCIAL INFORMATION

Unless otherwise provided by law, the personal information required in question #13 will be treated as confidential. The personal information required in question #13 is solely for identification purposes.

13a. Date of Birth		b. Social Security Number SSN		c. Place of Birth Cincinnati, Ohio		d. U.S. Citizen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
e. If Naturalized, State where n/a				f. When n/a		g. Name of District Court n/a	
h. Naturalization Certificate Number n/a		i. Date of Certification n/a		j. If an Alien, Give Alien's Registration Card Number n/a		k. Permanent Residence Card Number n/a	
l. Height 5'9"	m. Weight 210	n. Hair Color Bl	o. Eye Color Bm	p. Sex M	q. Race Cauc	r. Do you have a current Driver's License? If so, give number and state <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>CO</u>	

14. Financial Information.
a. Total purchase price \$ 0 (if buying an existing business) or investment being made by the applying entity, corporation, partnership, limited liability company, other \$ _____

b. List the total amount of your investment in this business including any notes, loans, cash, services or equipment, operating capital, stock purchases or fees paid \$ 0

c. Provide details of the investment described in 14.b. You must account for all of the sources of this investment. Attach a separate sheet if needed.

Type: Cash, Services or Equipment	Source	Amount
See attached Affidavit of Source of Funds		

d. Loan information (attach copies of all notes or loans)

Name of Lender	Address	Term	Security	Amount
n/a	n/a	n/a	n/a	n/a

Oath of Applicant

I declare under penalty of perjury that this application and all attachments are true, correct, and complete to the best of my knowledge.

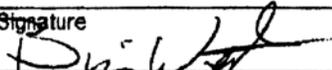
Authorized Signature 	Title President	Date 2/26/15
---	--------------------	-----------------

EXHIBIT B

(Question #9 on Individual History Record – Brian K. Weston)

I am President of Restaurants of America, Inc. which has financial interests in the following Hooters and Li'l Ricci's restaurants in Colorado which have hotel/restaurant liquor licenses that have been suspended:

1. Colorado Springs Hooters, Inc.
750 Citadel Drive, Unit E
Colorado Springs, CO 80909
 - (a) On July 23, 2010 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and serving a visibly intoxicated person in violation of C.R.S. §12-47-901(1)(a) and CCR 1 CCR 203-2, Regulation 47-900(A). License was suspended for 15 days. 12 days held in abeyance for 1 year and a fine in lieu of suspension for the remaining 3 days. A fine was paid.
 - (b) On June 23, 2011 cited with serving visibly intoxicated person in violation of C.R.S. §12-47-901(5)(a)(I). Show cause action was dismissed.
2. Kipling Hooters, Ltd.
695 Kipling Street
Lakewood, Colorado 80215

Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on March 10, 2000 Kipling Hooters, Ltd. was cited with serving a visibly intoxicated person in violation of C.R.S. §12-47-901(1)(a). License was suspended for 5 days with 5 days held in abeyance. Suspension went into effect on October 3, 2000.

3. Li'l Ricci's Lincoln, LLC
16526 Keystone Boulevard, #6
Parker, CO 80134
 - (a) On May 31, 2008 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901. On September 18, 2008 a written warning was issued with a requirement that the licensee's employees complete TIPS training classes and submit certificates of completion within 60 days. Failure to comply would result in a 5 day suspension to be served by Licensee. Li'l Ricci's fully complied.
 - (b) On December 4, 2010, cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a) and Parker Municipal Code 8.11.050. License was suspended for 7 days with 3 days served and 4 days held in abeyance.

EXHIBIT B

(Question #9 on Individual History Record – Brian K. Weston)

4. Li'l Ricci's Golden, L.P.
16950 W. Colfax Avenue, Unit 108
Golden, CO 80401-5666
 - (a) On October 5, 2012 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and Golden Municipal Code Section 8.04.830(1)(a). License suspended for 6 days. 3 days served and 3 days held in abeyance for 1 year. Fine paid in lieu of suspension.
 - (b) On August 13, 2014 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License suspended for 7 days. 4 days served and 3 days held in abeyance for 1 year. Fine paid in lieu of suspension.

5. Parker Road Hooters, Inc.
2610 S. Parker Road
Aurora, Colorado 80014
 - (a) Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on January 2, 1999 Parker Road Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License was suspended for 15 days with 12 days held in abeyance for 1 year and 3 days were served. Suspension went into effect on May 29, 1999.
 - (b) Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that Parker Road Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License was suspended for 15 days with 12 days held in abeyance and 3 days served; suspension went into effect on February 21, 2005.

6. Thunder Mountain Hooters, LLC
4230 Byrd Drive
Loveland, CO 80538
 - a. Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on on June 16, 2007, Thunder Mountain Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). On August 16, 2007 license was suspended for 15 days with 10 days held in abeyance for 1 year and a fine was paid in lieu of serving the remaining 5 day suspension.

EXHIBIT C

(Question #10 on Individual History Record – Brian K. Weston)

I was arrested on 4/14/91 in Georgia and charged with DUI. I pled no contest to the charge of DUI on 7/11/91. All fines and fees were paid on 4/19/91. Of what I can recall, when I was arrested I had to post a \$500.00 bond. Upon posting the bond, I was released and returned to Colorado the next day. The fines that were assessed against me totaled \$250.00, which were paid from the bond. Other than pay a fine, I was not required to complete any other terms.

SOURCE OF FUNDS

Restaurants of America, Inc., which is the parent company of Lone Tree Hooters, Inc., will invest the following source of funds to the Applicant Lone Tree Hooters, Inc. as follows:

1. Restaurant of America, Inc.'s capital contribution to the Applicant is \$600,000.00 more specifically set forth below:

Member	EIN/SSN	Capital Contributions	Source of Funds
Restaurants of America, Inc.		\$600,000.00	Bank Name: BBVA/Compass
Total		\$600,000.00	

INDIVIDUAL HISTORY RECORD

To be completed by the following persons, as applicable: sole proprietors; general partners regardless of percentage ownership, and limited partners owning 10% or more of the partnership; all principal officers of a corporation, all directors of a corporation, and any stockholder of a corporation owning 10% or more of the outstanding stock; managing members or officers of a limited liability company, and members owning 10% or more of the company; and any intended registered manager of Hotel and Restaurant or Tavern class of retail license.

NOTICE: This individual history record requires information that is necessary for the licensing investigation or inquiry. All questions must be answered in their entirety or the license application may be delayed or denied. If a question is not applicable, please indicate so by "N/A". Any deliberate misrepresentation or material omission may jeopardize the license application.

1. Name of Business

Lone Tree Hooters, Inc.

2. Your Full Name (last, first, middle)

Campbell, Thomas E.

3. List any other names you have used.

Tom Edward Campbell; Tom Campbell

4. Mailing address (if different from residence)

n/a

5. List current residence address. Include any previous addresses within the last five years (attach separate sheet if necessary).

STREET AND NUMBER	CITY, STATE, ZIP	FROM	TO
Current 16453 Stonefeld Place	Parker, CO 80134	12/02	present
Previous			

6. List all employment within the last five years. Include any self employment. (Attach separate sheet if necessary)

NAME OF EMPLOYER OR BUSINESS	ADDRESS (STREET, NUMBER, CITY, STATE, ZIP)	POSITION HELD	FROM	TO
Restaurants of America, Inc.	300 S. Jackson Street, Ste. 400, Denver, CO	Vice President	12/06	present

7. List the name(s) of relatives working in or holding a financial interest in the Colorado alcohol beverage industry.

NAME OF RELATIVE	RELATIONSHIP TO YOU	POSITION HELD	NAME OF LICENSEE
n/a	n/a	n/a	n/a

8. Have you ever applied for, held, or had an interest in a Colorado Liquor or Beer License, or loaned money, furniture, fixtures, equipment or inventory to any licensee? If yes, answer in detail.

Yes No

See attached Exhibit A

9. Have you ever received a violation notice, suspension, or revocation for a liquor law violation, or have you applied for or been denied a liquor or beer license anywhere in the United States? If yes, explain in detail.

Yes No

See attached Exhibit B

10. Have you ever been convicted of a crime or received a suspended sentence, deferred sentence, or forfeited bail for any offense in criminal or military court or do you have any charges pending? (if yes, explain in detail.)
 Yes No

11. Are you currently under probation (supervised or unsupervised), parole, or completing the requirements of a deferred sentence? (if yes, explain in detail.)
 Yes No

12. Have you ever had any professional license suspended, revoked, or denied? (if yes, explain in detail.)
 Yes No

PERSONAL AND FINANCIAL INFORMATION

Unless otherwise provided by law, the personal information required in question #13 will be treated as confidential.
 The personal information required in question #13 is solely for identification purposes.

13a. Date of Birth		b. Social Security Number SSN		c. Place of Birth Cincinnati, Ohio		d. U.S. Citizen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
e. If Naturalized, State where n/a				f. When n/a		g. Name of District Court n/a	
h. Naturalization Certificate Number n/a		i. Date of Certification n/a		j. If an Alien, Give Alien's Registration Card Number n/a		k. Permanent Residence Card Number n/a	
l. Height 6'1"	m. Weight 170	n. Hair Color Brn	o. Eye Color Hazel	p. Sex M	q. Race Cauc	r. Do you have a current Driver's License? If so, give number and state <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No CO	

14. Financial information.
 a. Total purchase price \$ 0 (if buying an existing business) or investment being made by the applying entity, corporation, partnership, limited liability company, other \$ _____

b. List the total amount of your investment in this business including any notes, loans, cash, services or equipment, operating capital, stock purchases or fees paid \$ 0

c. Provide details of the investment described in 14.b. You must account for all of the sources of this investment. Attach a separate sheet if needed.

Type: Cash, Services or Equipment	Source	Amount
See attached Affidavit of Source of Funds		

d. Loan information (attach copies of all notes or loans)

Name of Lender	Address	Term	Security	Amount
n/a	n/a	n/a	n/a	n/a

Oath of Applicant

I declare under penalty of perjury that this application and all attachments are true, correct, and complete to the best of my knowledge.

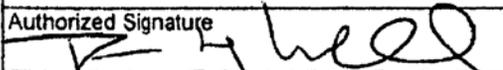
Authorized Signature 	Title Vice President	Date 2/26/15
--	-------------------------	-----------------

EXHIBIT B

(Question #9 on Individual History Record – Thomas E. Campbell)

I am Vice President of Restaurants of America, Inc. which has financial interests in the following Hooters and Li'l Ricci's restaurants in Colorado which have hotel/restaurant liquor licenses that have been suspended:

1. Colorado Springs Hooters, Inc.
750 Citadel Drive, Unit E
Colorado Springs, CO 80909
 - (a) On July 23, 2010 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and serving a visibly intoxicated person in violation of C.R.S. §12-47-901(1)(a) and CCR 1 CCR 203-2, Regulation 47-900(A). License was suspended for 15 days. 12 days held in abeyance for 1 year and a fine in lieu of suspension for the remaining 3 days. A fine was paid.
 - (b) On June 23, 2011 cited with serving visibly intoxicated person in violation of C.R.S. §12-47-901(5)(a)(I). Show cause action was dismissed.

2. Kipling Hooters, Ltd.
695 Kipling Street
Lakewood, Colorado 80215

Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on March 10, 2000 Kipling Hooters, Ltd. was cited with serving a visibly intoxicated person in violation of C.R.S. §12-47-901(1)(a). License was suspended for 5 days with 5 days held in abeyance. Suspension went into effect on October 3, 2000.

3. Li'l Ricci's Lincoln, LLC
16526 Keystone Boulevard, #6
Parker, CO 80134
 - (a) On May 31, 2008 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901. On September 18, 2008 a written warning was issued with a requirement that the licensee's employees complete TIPS training classes and submit certificates of completion within 60 days. Failure to comply would result in a 5 day suspension to be served by Licensee. Li'l Ricci's fully complied.
 - (b) On December 4, 2010, cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a) and Parker Municipal Code 8.11.050. License was suspended for 7 days with 3 days served and 4 days held in abeyance.

EXHIBIT B

(Question #9 on Individual History Record – Thomas E. Campbell)

4. Li'l Ricci's Golden, L.P.
16950 W. Colfax Avenue, Unit 108
Golden, CO 80401-5666
 - (a) On October 5, 2012 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and Golden Municipal Code Section 8.04.830(1)(a). License suspended for 6 days. 3 days served and 3 days held in abeyance for 1 year. Fine paid in lieu of suspension.
 - (b) On August 13, 2014 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License suspended for 7 days. 4 days served and 3 days held in abeyance for 1 year. Fine paid in lieu of suspension.

5. Parker Road Hooters, Inc.
2610 S. Parker Road
Aurora, Colorado 80014
 - (a) Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on January 2, 1999 Parker Road Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License was suspended for 15 days with 12 days held in abeyance for 1 year and 3 days were served. Suspension went into effect on May 29, 1999.
 - (b) Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that Parker Road Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). License was suspended for 15 days with 12 days held in abeyance and 3 days served; suspension went into effect on February 21, 2005.

6. Thunder Mountain Hooters, LLC
4230 Byrd Drive
Loveland, CO 80538
 - a. Restaurants of America, Inc. does not have any records available to the best of its knowledge and belief. However, Restaurants of America's recollection is that on on June 16, 2007, Thunder Mountain Hooters was cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). On August 16, 2007 license was suspended for 15 days with 10 days held in abeyance for 1 year and a fine was paid in lieu of serving the remaining 5 day suspension.

EXHIBIT B

(Question #9 on Individual History Record – Thomas E. Campbell)

- b. On June 14, 2008 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) . On September 18, 2008, license was suspended for 10 days with 20 days held in abeyance for 1 year.
- c. On June 26, 2014 cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I). 20 day suspension. 7 days to be served with the right to pay a fine in lieu of suspension and 13 days held in abeyance for 1 year. Fine paid in lieu of suspension.

7. Hooters of Westminster, L.P.
1111 W. 120th Avenue
Westminster, CO 80234

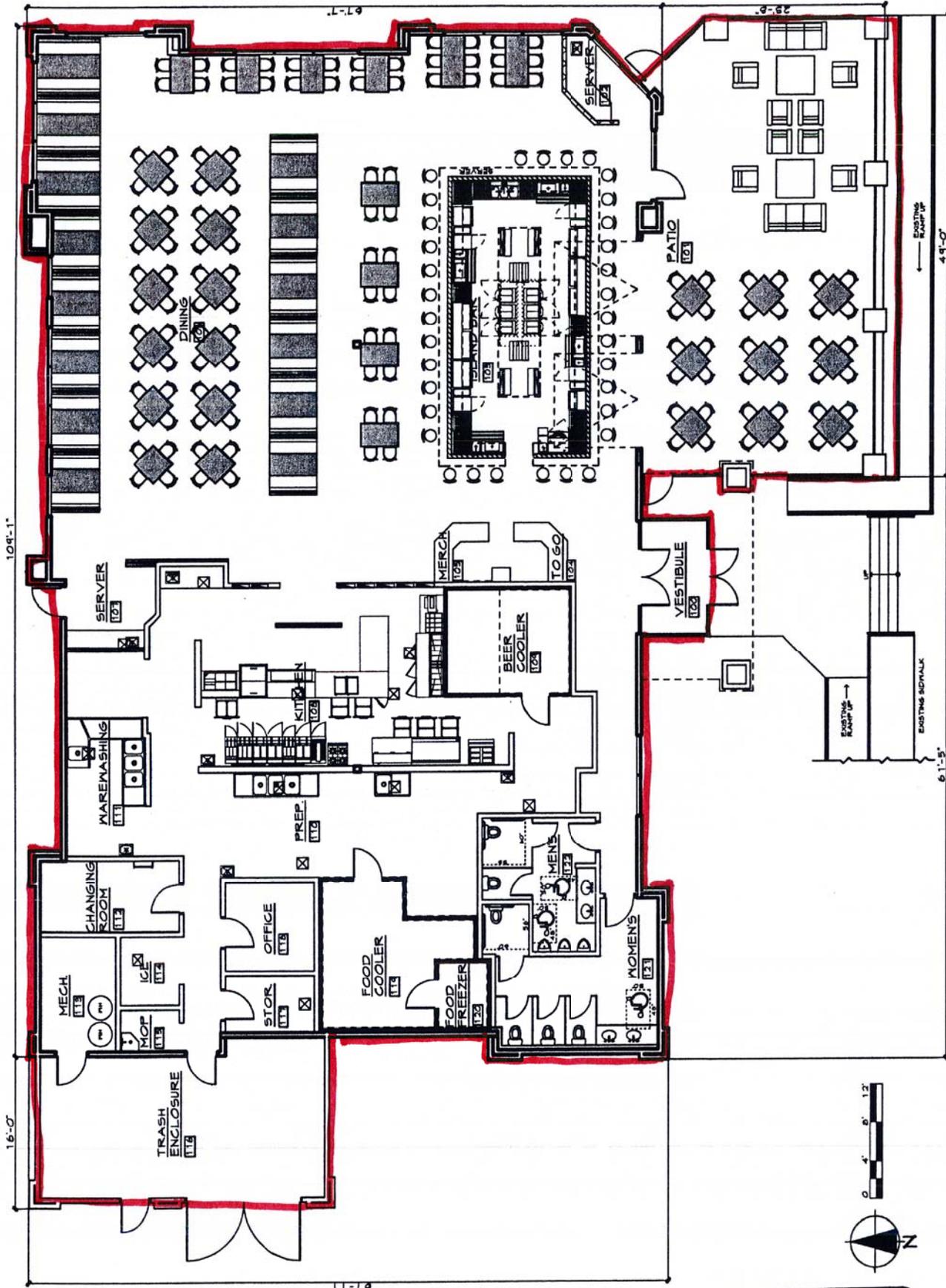
On July 13, 2006, cited with selling alcohol to person under the age of 21 in violation of C.R.S. §12-47-901(1)(a.5)(I) and C.R.S. §12-47-901(5)(a)(I) and Section 6-9-2(A) of the Westminster Municipal Code. On October 18, 2006 license was suspended for 7 days with 6 days held abeyance for a period of 2 years. One day suspension was served on November 4, 2006.

SOURCE OF FUNDS

Restaurants of America, Inc., which is the parent company of Lone Tree Hooters, Inc., will invest the following source of funds to the Applicant Lone Tree Hooters, Inc. as follows:

1. Restaurant of America, Inc.'s capital contribution to the Applicant is \$600,000.00 more specifically set forth below:

Member	EIN/SSN	Capital Contributions	Source of Funds
Restaurants of America, Inc.		\$600,000.00	Bank Name: BBVA/Compass
Total		\$600,000.00	



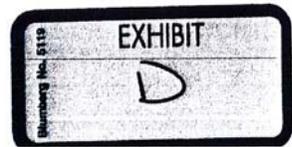
MAH Architectural Group
 1385 S. Colorado Blvd., Penthouse
 Denver, Colorado 80222
 (303) 733-1100
 (303) 733-1100 ext. 100
 (303) 733-1100 ext. 100
 www.maharch.com

PARK MEADOWS

HOOTERS
LOVE TREE, CO

REVISION: 17

DATE: Thursday, February 19, 2015



*Oedipus, Inc.*TM
Empirical Data Services

Lone Tree Hooters, Inc.

dba

Hooters

8334 S. Willow Street, Suite G
Lone Tree, CO 80112

**Hotel & Restaurant
Liquor License**

5 May 2015

Local Licensing Authority
Lone Tree, Colorado

Re: Petition/Opinion Poll to Determine Needs and Desires
of the Defined Neighborhood in the Application of:

Lone Tree Hooters, Inc., dba Hooters
8334 S. Willow Street, Suite G, Lone Tree, CO 80112
Hotel & Restaurant Liquor License

- PETITION & TELEPHONE SURVEYS
 - Liquor & 3.2 Beer Licensing
 - Rezoning
 - Opinion Poll
 - Venue
 - Special Tax Districts
- LIQUOR LICENSE SITE & ECONOMIC ANALYSIS

PETITION/OPINION POLL PROCEDURE

1. Under the direction and control of Oedipus, Inc. management, the Oedipus, Inc. employee was briefed on the application.
2. The employee carried a clipboard with the following:
 - A. Two maps of the area denoting the proposed location of the license and the boundaries of the defined neighborhood;
 - B. Petitions allowing individuals contacted to indicate their opinion with instructions and qualifications for signing;
 - C. A stat sheet to record the opinion of those not signing and not-at-homes.
3. This petition/opinion poll was performed on 28 and 31 March 2015, (businesses), and 28 March 2015, 9, 10, 11 and 14 April 2015 (residences) within the neighborhood defined by the City of Lone Tree as a 1-mile radius surrounding the proposed license location (see map). The circulation packets have a cover map, and the areas in which each petition circulation/polling took place are outlined in highlighter. Included in this Report is a master circulation map outlining all areas where circulation/polling was conducted.
4. Individuals were contacted on a random sampling basis, were screened to identify them as parties in interest, and were asked their opinion after they had been informed of the applicant, site location, and type of license being applied for. Their opinion was either recorded on the petition format or on the stat sheet.
5. *Note: The entire northern ½ portion of the defined 1-mile radius boundary area (north of County Line Road) is Centennial. Three areas were randomly selected for petitioning and appear in pink on the attached map.*

A substantial area of the lower southwest portion of the 1-mile radius is Acres Green, and one area was randomly selected for petitioning which appears in pink on the attached map.

A limited number of Lone Tree residents are available for petitioning in the 1-mile radius area and those were found to reside within an apartment complex in the southernmost portion bordering the boundary line. In an effort to specifically comply with the Court & Liquor Licensing Clerk Regina Dennehy's stated request that "The Authority does appreciate as much of the petitioning as possible be down within the city limits.", numerous attempts were made to contact as many of these particular Lone Tree residents as possible. During our first contact with these apartment residents on 28 March 2015, a male individual residing at 9053 S. Yosemite, Apartment #1204, in an exceedingly rude manner and using foul language informed the Oedipus petitioner she was not allowed to petition in this apartment complex, ordered her off his property and called Lone Tree police to report her presence there. The petitioner promptly went to the apartment complex office to report this encounter and spoke with staff who informed her she was permitted to petition there. As they were speaking, the resident entered the office accompanied by a Lone Tree police officer. Office staff informed both the resident and Lone Tree police officer petitioning was indeed authorized by them after which the resident returned to his apartment and the Lone Tree police officer left.

6. Two (2) petition packets (one packet representing businesses, one packet representing residences), together with a Summary Letter and this Report, were prefiled via courier with the office of Ms. Regina Dennehy to comply with the pre-filing deadline.

PETITION/OPINION POLL RESULTS

1.	<u>Total Doorknocks:</u>		
	Not-at-Homes and/or Business Owners/Managers Not Available		360
	Not Qualified to Sign		19
	Preferred to Not Participate		35
	Parties in Interest that Participated		178
	Deleted Signatures		<u>0</u>
	Total Base Figure		592
2.	<u>Qualified Contacts:</u>		
	A. <u>Signatures and Those Not Signing</u>		
	Signatures Favoring Issuance		144
	Businesses	40	
	Residences	104	
	Not Signing/Favoring Issuance		0
	Signatures Opposing Issuance		34
	Businesses	0	
	Residences	34	
	Not Signing/Opposing Issuance		<u>0</u>
	Total Contacts		178

B. Breakdown of Reasons of Signatures in Opposition:

No Need	3
Abhorrence of Alcohol	1
Religious Objections	0
Usage Objections	26
Miscellaneous Reasons	4
No Reason Given	<u>0</u>
Total Signatures	34

C. Breakdown of Signatures Favoring and Opposing:

Favoring Issuance (Based on Needs/Desires)	144	=	80.90%
Signatures	144		
Not Signing	0		
Opposing Issuance (Based on Needs/Desires)	3	=	1.69%
Signatures	3		
Not Signing	0		
Abhorrence of Alcohol	1	=	0.56%
Signatures	1		
Not Signing	0		
Religious Objections	0	=	0.00%
Signatures	0		
Not Signing	0		
Usage Objections (Commercial, Traffic, Parking, Crime)	26	=	14.61%
Signatures	26		
Not Signing	0		
Other Miscellaneous Reasons	4	=	2.24%
Signatures	4		
Not Signing	0		
No Reason Given	<u>0</u>	=	<u>0.00%</u>
Signatures	0		
Not Signing	0		
Total Base Figure	178	=	100.00%

3. Needs and Desires Signatures:

Signatures Favoring Issuance (Based on Needs/Desires)	144		
Favoring Issuance/Not Signing (Based on Needs/Desires)	0	}	144 = 97.96%
Signatures Opposing Issuance (Based on Needs/Desires)	3		
Opposing Issuance/Not Signing (Based on Needs/Desires)	0	}	<u>3</u> = <u>2.04%</u>
Total Base Figure			147 = 100.00%

The petition packets are presented as follows: Cover map, petitions, and affidavit.

CATEGORIES OF SIGNATURES IN OPPOSITION

NN NEEDS & DESIRES CRITERIA:

Individuals opposed to the license application based on needs and desires criteria per the Colorado Liquor/Beer Codes (currently existing licensed establishments of a same or similar type of license now located within the defined neighborhood are meeting the reasonable requirements of the adult inhabitants of the defined neighborhood at this time).

NON NON-USAGE OF ALCOHOL / ABHORRENCE OF ALCOHOL:

Individuals opposed to the license application because they do not drink alcohol beverages, do not approve of alcohol consumption, and/or abhor alcohol.

RO RELIGIOUS OBJECTIONS:

Individuals opposed to the license application based on religious beliefs/reasons.

OBJ USAGE OBJECTIONS:

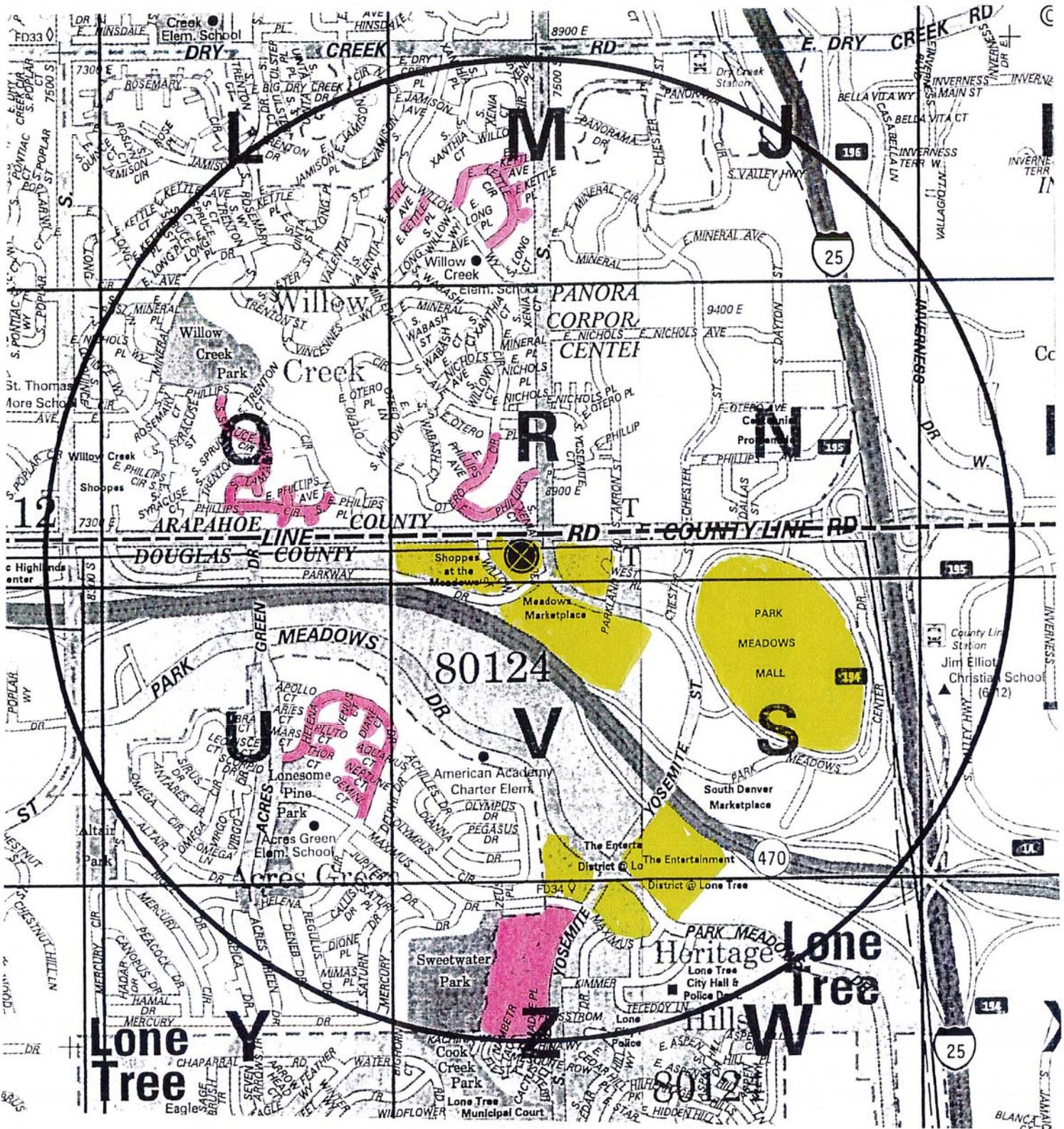
Individuals opposed to the license application because of their fear or concern for the potential of parking problems, traffic problems, crime, noise, littering, undesirable people drawn to the area, loss of property value; or individuals who opposed this type of business or applicant, any type of commercial usage in the neighborhood, any new growth in the neighborhood; or, individuals who think this type of business (if issued a liquor/beer license) should not be located near a residential neighborhood, church, or school, etc.; or, individuals who opposed because they are against any alcohol service at this type of facility, location, or atmosphere; or, individuals who favor the service of beer and wine but oppose the service of distilled spirits (on H&R applications).

MS MISCELLANEOUS OBJECTIONS:

Individuals opposed to the license application for other miscellaneous reasons to include: fear or concern for the possibility of drunk drivers in the area, fear or concern of resulting behavioral problems, individuals who would purchase alcohol beverages then drink and drive, sales to minors/underaged drinking, the location becoming a teen hang-out and the problems that can arise from this, and the effect it could have on family values or their family in general because they have young children or teens; or, individuals who opposed because competition is not desired or how said business may affect the livelihood of existing businesses; or, individuals who compared the “needs and desires” criteria to existing licensed outlets other than the type of license applied for.

NR NO REASON GIVEN:

Individuals who preferred to not state a reason for opposing.



○ - BUSINESSES ○ - RESIDENCES

APPLICANT/TRADE NAME: LONE TREE HOOTERS, INC., dba HOOTERS
SITE LOCATION: 8334 S. WILLOW STREET, SUITE G, LONE TREE, CO 80122
APPLICATION FOR: HOTEL & RESTAURANT LIQUOR LICENSE [To sell beer, wine & distilled spirits by the drink to be consumed ON the licensed premises only]
PUBLIC HEARING: TUESDAY, 5 MAY 2015, 7:00 P.M., LONE TREE CIVIC CENTER, COUNCIL CHAMBERS, 8527 LONE TREE PARKWAY, LONE TREE, COLORADO
DEFINED NEIGHBORHOOD: 1-MILE RADIUS SURROUNDING THE PROPOSED LICENSE LOCATION
 05/19/15



- Legend**
-  Lone Tree Boundary
 -  1 Mile Buffer
 -  8334 South Willow Street, Suite G



8334 South Willow Street, Suite G
1 Mile Radius



CITY OF LONE TREE

Project Summary

- Date:** May 19, 2015 City Council Meeting
- Project Name:** RidgeGate Section 15, Filing 21, Lot 2A
Site Improvement Plan (Lone Tree Library)
- Location:** The property is located in RidgeGate in the area known as Lincoln Commons South. The property is between Sky Ridge Avenue and Arts Center Drive.
- Project Type / #:** Site Improvement Plan (SIP), Project #SP14-73R
- Staff Contacts:** Kelly First, Community Development Director
Jennifer Drybread, Senior Planner
- Meeting Type:** Public Meeting
- Summary of Request:**
Approval of a Site Improvement Plan (SIP) for a new 24,826 square-foot public library on 2.376 acres.
- Planning Commission Recommendation:**
Unanimous recommendation for approval, with the condition of final approval by the Public Works Department.
- Suggested Action:**
Approval, subject to final approval by the Public Works Department.



**CITY OF LONE TREE
STAFF REPORT**

TO: Mayor Gunning and City Council

**FROM: Kelly First, Community Development Director
Jennifer Drybread, Senior Planner**

DATE: May 13, 2015

FOR: May 19, 2015 City Council Meeting

**SUBJECT: RidgeGate Section 15, Filing 21, Lot 2A
Site Improvement Plan, Project File #SP14-73R**

Owner:
Lincoln Commons South, Inc.
10270 Commonwealth St., Suite B.
Lone Tree, CO 80124

Representative:
Rick O'Dell
100 S. Wilcox St.
Castle Rock, CO 80124

Planning Commission Meeting Date: April 28, 2015
City Council Meeting Date: May 19, 2015

A. REQUEST:

Approval of a Site Improvement Plan (SIP) for a new 24,826 square-foot public library on 2.376 acres.

B. LOCATION:

The property is located in RidgeGate in the area known as Lincoln Commons South. The property is between Sky Ridge Avenue to the north and Arts Center Drive to the south. The adjacent land uses are as follows:

East: Town Ridge Drive and townhomes (New Town Builders townhomes, under construction)
West: Commons Street and the Lone Tree Arts Center
North: Sky Ridge Avenue, developed mixed use retail area
South: Arts Center Drive and MorningStar Senior Living, under construction)

C. SITE CHARACTERISTICS:

The property has been overlot graded and is relatively flat. There is no vegetation remaining on site.

D. SERVICE PROVIDERS:

Water: Southgate Water District
Sanitation: Southgate Sanitation District
Police: Lone Tree Police
Fire: South Metro Fire Rescue Authority
Metro District: Rampart Range Metropolitan District

E. BACKGROUND:

The Douglas County Library District has determined that the existing library at Lone Tree Parkway and Yosemite Street is not large enough to meet the demands of the growing population. The proposed library is nearly 25,000 square feet, about double that of the existing library.

Plans in 2008 anticipated that this area within Lincoln Commons would include a combined library and arts center as part of an overall mixed-use retail district. That plan was later updated and the Lone Tree Arts Center was constructed in 2010 on the west side of Commons Street. The proposed library site is located to the east of the arts center, across Commons Street, on land being donated by Coventry Development. Residential uses are being constructed to the east and south of the library.

It is intended that the juxtaposed library and arts center uses will provide opportunity for public gathering and events in the area, including the potential to periodically close portions of Commons Street for outdoor festivals. The arts center and library uses, in conjunction with the restaurants, retail and residential uses in the area, contributes to walkable, mixed use district.

F. DESCRIPTION:

Zoning. The proposed library use is permitted by zoning. The property is zoned PD and is within a Commercial-Mixed Use (C/MU) Planning Area in the RidgeGate Planned Development.

Access/Circulation. Access to the library will be from Town Ridge Drive, which will be constructed between Sky Ridge Avenue and Arts Center Drive. Drivers can return books at a drive-up book drop on the east side of the building. Sidewalks will be constructed around the perimeter of the site, and a pedestrian path is also provided in a north-south direction between the building and the parking areas.

Parking. The City's parking standard for libraries calls for 83 parking spaces. The applicant proposes 82 parking spaces. There will be approximately 10 additional on-street parking spaces on the north side of Arts Center Drive next to the library. There is no on-street parking on the library side of Commons Street, Town Ridge Drive or Sky Ridge Avenue.

Building Design. The design is consistent with the City's Design Guidelines and applicable Sub-Area Plan. It has been approved by the RidgeGate Design Review Committee (DRC).

The building will be two-stories, with the main entrance on the south side of the building. The proposed design fits within the context and character of the area by complementing the character of the Lone Tree Arts Center and New Town townhomes, and by incorporating materials and colors that relate with those found in the area. As with the arts center, the contemporary design is tempered with the use of beige colored stucco and natural materials. The blended brick colors provide a definitive base to the building, and the darker brick is similar to what was approved for MorningStar. The burnt orange colored trim on the building and within the brick is also complementary to the trim colors used at MorningStar and by New Town Builders.

As the building will be seen from all four sides, the design employs "360 degree" architectural treatment through the use of windows and building materials that wrap corners, and design details on all sides. Vertical building features, such as the use of the vertical metal siding, help break up the horizontal elements of the building. Windows and scoring lines in the stucco walls also break up the walls and provide interest.

The covered porch entry provides a gathering space for patrons, serves as a distinct entry to the building, and shades building interiors from

summer sun. Off-sets in the building plane provide articulation to the building. The perforated metal screen on the west wall is a distinctive feature, and provides needed protection from afternoon sun, while allowing the building to have a filtered glow from interior lights at night.

The use of metal on the building is compliant with the City's Design Guidelines as it is considered a secondary material, comprising less than 40% of the building's total exterior wall surfaces. The perforated panels are aluminum panels with a fluoropolymer factory finish (which the architect states is better than a powder coated finish, in terms of durability).

Landscaping. The proposed landscape and irrigation plans are compliant with the City's requirements and that of the applicable Sub-Area Plan. A large south lawn is intended for relaxing and reading and also to accommodate special events, and uses trees to provide a comfortable setting in the summer months. Landscaping proposed is adapted to this climate, and is generally low-water intensive.

Lighting. Parking lot lights and pedestrian lights meet City requirements, and are shielded or otherwise cut-off to minimize light pollution.

Snow Storage. Snow storage areas are identified on the Site Plan (on the northeast side of the site) in a pervious area that will allow snow to melt into the landscape, per City standards.

G. Planning Commission Review:

The following has been taken directly from the minutes of the Planning Commission meeting held on April 28, 2015:

Ms. Drybread introduced the item and provided an overview of the project location, key design elements and review process. She indicated that staff finds the project in compliance with the City's Comprehensive Plan, Zoning Code, Design Guidelines, and applicable RidgeGate Sub-Area Plan. She recommended that the Planning Commission recommend approval of the SIP to the City Council, subject to final approval by the Public Works Department.

Mr. Darryl Jones, Coventry Development, commented as the landowner of Lincoln Commons South. He indicated that the library was always planned to be located in this general area, and described the mix of other uses developing in the area. He said the library would be a good fit. He indicated the landowner was making a voluntary donation of the land for the library.

Mr. Bob Pasicznyuk, Director of Douglas County Libraries, introduced the project and described the District's strategy to take libraries into the next century. He described libraries as an intellectual playground for people of all ages. He explained that the first floor will be a bustling, active environment and the second floor will be more of a serene environment. He indicated that this library, unlike the current library, has structural capabilities to provide both. He described the importance of connections within the community and how the library is coordinating with the City and the Lone Tree Arts Center to plan for outdoor spaces.

Mr. Pasicznyuk introduced Joey Carrasquillo, architect from Anderson Mason Dale, to review the proposed project. Mr. Carrasquillo described that they worked to create a "civic threshold" with the arts center and surrounding public spaces. He indicated the library has worked closely with the City, RidgeGate and consultants to discuss the greater area in terms of landscape and plaza opportunities and how it might evolve in the future as a stronger civic realm with complementary open space environments. He described the primary functions of the building and how the public realm is facing south and southwest. He showed a series of vignettes from different perspectives. He indicated that the study room composition is a strong element driving the design of the building. Mr. Carrasquillo described the location and function of the exterior metal panel "veil", which allows natural light through and mitigates heat gain. He described the feature as an architectural element that creates a dialogue with the Lone Tree Arts Center. He talked about the porch on the south as an entry for patrons and said it is a 20-foot X 80-foot sheltered outdoor environment. He reviewed the sample board and materials and colors proposed.

Commissioner Kline inquired about the orange trim/accent color relative to whether the color was complementary to colors used for the New Town and MorningStar projects. Mr. Carrasquillo replied yes, the palette works together with surrounding projects and the library brand. Commissioner Kline indicated he was surprised to see so much of the accent color but felt it was fine as long as it was not competing with other colors in the area. He asked about the referral response from Public Works relative to the sidewalk width along commons Street. Mr. Jones explained the sidewalk was requested by Public Works to be 8 feet wide. It was confirmed that the Rampart Range Metropolitan District installs and maintains all adjacent streetscape except for along Town Ridge Drive, where builders on either side will install the improvements. Mr. Kline asked if the green roof is still an alternate. Mr. Pasicznyuk replied yes, and that many things are listed as alternatives for the bid. However, they do have a healthy contingency and a fund being raised to secure the alternates. He is hopeful they will get the key alternates. Commissioner

Kline asked about a second entry to the parking lot that was referred to in the packet notes; he said he was a little concerned with only one access. Mr. Pasicznyuk replied there was an earlier concept with two access points that was later revised to provide better circulation, access for the book drop, and parking. Commissioner Kline asked about the wood rain screen. Mr. Carrasquillo explained the wood is treated with chemicals embedded into the wood to protect from moisture and sun. Commissioner Kline asked about screening parked cars and headlights along the eastern side of the parking lot from the future homes. The applicant said the landscaping would help screen them.

Commissioner Steele asked if this is a similar architectural design to the other two libraries. Mr. Pasicznyuk replied yes, in the respect that materials are intentionally similar to help brand the libraries. However, he said the three sites are so different that the size, shape, and layout of each building are different. Commissioner Steele asked if the other building designs are “cubicle” in nature. Mr. Pasicznyuk said this one is most like a cube. Commissioner Steele said he had a sense that form is following function, although the cubicle nature of the design could either be considered a signature piece or, for some, too contemporary. Mr. Pasicznyuk said they took cues from their environment, including the Lone Tree Arts Center, as well as the function of the building. Commissioner Steele is pleased to see 22% landscaping on the site, and asked for clarification on some elements of the south lawn area. Mr. Carrasquillo explained that two seat walls at southwest corner are alternates but that all landscaping is planned. Commissioner Steele asked about who would be using this outdoor area. Mr. Pasicznyuk sees the area as a civic environment that is available for patrons and the community. It could be part of an area for possible farmers markets, story times, and many other uses. He hopes that it will be the front yard of the community, not just the library. Commissioner Steele said the area would likely have a lot of wear and tear and asked whether the library had the budget to maintain it. Mr. Pasicznyuk said they understand the commitment they are making to keep the grounds maintained at a high level. Commissioner Steele asked about the book drop off area and is curious about whether they considered a potential book “pick-up” area as well. Mr. Pasicznyuk replied that some libraries do offer that, although about half he has looked at see a big strain on staffing. They would prefer people would come in and discover things they didn’t know they needed. Commissioner Steele said he was a little concerned about circulation and whether there were enough stacking spaces at the book drop off. The applicant said there are spaces for 3-4 cars and that the system is highly efficient. Commissioner Steele asked about the burnt orange color and what kind of material it is. The applicant said it is a metal panel system, comparable to the perforated metal screen. It is a 30-year warranty

product. The finish is not highly glossy but it is not matte either. Commissioner Steele inquired about the details of how the metal panel system is mounted on the west side of the building. The applicant explained that it consists of two sets of panels. One runs corrugations vertically and one runs horizontally to provide an interesting layer of ornamentation. One of the panels is taller, sitting on face of frame. The smaller panel is inset, sitting inside the frame.

Commissioner Kirchner thanked the applicant. He asked about the panels relative to their distance from the building. Mr. Carrasquillo referred to floor plan to show the relationship of the main building façade and the angled line of the panels. He said the distance varies and tries to strike a tangent point and run parallel to Commons Street. Commissioner Kirchner asked about the book drop off area and if there would be a canopy or some kind of shelter for protection in bad weather. The applicant replied that a modest awning is on the list of alternatives. Commissioner Kirchner asked about timing of construction of Town Ridge Drive. Mr. Jones replied that it will most likely occur in late June. Commissioner Kirchner asked about how traffic, construction staging, and various construction activities would be coordinated. The applicant replied that the General Contractor would closely coordinate that for the library. Mr. Jones elaborated on the planning and coordination involved in the area. Commissioner Kirchner asked about the planned opening date of the library. Mr. Pasicznyuk replied it would likely be a May 2016 opening. Commissioner Kirchner asked whether energy efficient lighting would be used interior and exterior, to which the applicant replied affirmatively. He also asked whether there would be signage on the south side of the building and felt people might get confused if there is not a sign on the south. The applicant replied they are still in the process of vetting sign locations. Commissioner Kirchner concluded that he likes the project and thinks it will fit in very well.

Commissioner Dodgen said he appreciates the project and thinks it looks good. He felt that more bike racks would be needed given all the people in the area that will be biking. He noted that the meandering path on south side doesn't end at the front door and that people using the path will cross into the grass area and it will get worn out. The applicant said they will take a look at that. Commissioner Dodgen asked about a referral comment from Public Works regarding pedestrian lighting. The applicant said that a lighting study had been done and that they would follow up on the comment. Commissioner Dodgen asked about the potential that the metal panels could vibrate in the wind and create sound impacts for people inside the building. The applicant said that structural tests have been done but they did not consider noise. Commissioner Dodgen asked if there would be any kind of beverage bar inside the library. The

applicant said that the southwest corner will have a “café vibe” and that food and drink can be brought in from the outside. The will not have an inside vendor. In their experience, it is difficult for vendors to succeed inside a library and food and beverage service tends to use up a lot of library resources. They also looked at the surrounding market and felt there are opportunities for people to stop elsewhere and bring food and drink in. He said they would provide complimentary beverages on special occasions.

Commissioner Mikolajczak said he is very excited about project. He asked if the library would accommodate future growth. Mr. Pasicznyuk estimated that in about 20 years, they will either need to expand or look at developing a new library east of I-25, depending on funding. Of the three libraries being built, he said this branch can have added capacity. Commissioner Mikolajczak said he hopes the library is distinctive and not intimidated by its larger neighbors. Commissioner Mikolajczak asked about the metal panels in terms of whether they are individual or connected together. The applicant said it is a continuous frame system with panels set on top with gaps in between. There are pairs of tall and short panels and each pair is consistent in height. The depth between the panels and the building varies. Commissioner Mikolajczak said he likes that there is activity along the street. He referenced the letter from the Terra Ridge HOA. Mr. Carrasquillo said that Anderson Mason Dale is unapologetically a modern architectural firm. He said this building is modern in principle, not so much style. He described how the metal “veil” creates a terrace and provides shade below as well. Light from behind will have a shimmering effect at night. Commissioner Mikolajczak said he is excited to see it and hopes that it stands out and has activity. He is hoping for perpetual energy in the area. Mr. Pasicznyuk said they deliberately tried to express indoor activity to the outside. Commissioner Mikolajczak asked if the library will install art. The applicant said they will work on that with the City and they hope to have something in the south lawn. Commissioner Mikolajczak thought there could be more evergreen trees on the south side to provide more green during winter months. He hoped the lawn area would be inviting and include some engaging art. He asked about sustainability. The applicant said they are doing everything they can within the budget. They are attempting to attain Green Globes certification (generic, more cost-effective version of LEED).

Commissioner Carlson asked for clarification on the outdoor upper level spaces. The applicant said that the outdoor roof terrace is planned and the green roof is an alternate. He pointed out another terrace at the northwest corner of the building above the children’s space. It has parapet walls to create a more enclosed, private space, and will include a seating area with a fire pit. Commissioner Carlson said she likes the

unique contemporary building design, and the library will make a great addition to the community. She suggested that adding more benches in the outdoor park would be useful and they could incorporate engraved memorial benches into their fundraising efforts, as a tribute to loved ones. The applicant agreed.

Chair Sippel said she appreciates all they have done working with the RidgeGate DRC and City. She said she was a little concerned about the orange color. She asked if the brick sample was representative of the actual colors and the applicant confirmed that it is. She noted that a sample material of the ribbed metal panel was not provided and that she would have liked to have seen that. She asked that a sample be provided for City Council. Chair Sippel commended the change to an 8-foot wide sidewalk to account for future events. She asked about the path on the south lawn and suggested they consider providing a more direct route to the front doors. She said the vegetated roof system would be a great example for the community (in addition to the community garden). She said she specifically likes the front porch aspect of the project. She liked the innovations and concept of bringing the inside out. She felt it was inviting and energetic. She asked about the “maker’s space” referenced in the narrative. Mr. Pasicznyuk described it as a flexible space for tactile learning, which can also be a conference room. She asked about the metal panels relative to solar control. The applicant explained that the panels are static. Chair Sippel said she has experience with the book drop off at the Highlands Ranch Library and can vouch for the adequacy of the space provided. In her opinion, she felt that three stacking spaces would be adequate. She asked about earlier parking counts referenced in the DRC notes. The applicant explained that the plan has evolved. It previously considered two points of access and had a different circulation pattern. The current plan provides more landscaping and still meets the parking requirement.

Commissioner Mikolajczak commented that he has heard the former library Director, Janie LaRue, speak about the national reputation that Douglas County Libraries has for innovation and that we are lucky to have the library.

Commissioner Kirchner made a motion to approve the SIP #SP14-73R, subject to final approval by the Public Works Department. Commissioner Mikolajczak seconded and the motion passed unanimously.

NOTE: Staff received a response letter from the architect for the project regarding Planning Commission suggestions. The letter has been included in the Council packet.

- H. REFERRALS:** The RidgeGate Design Review Committee has reviewed and approved the plans (their comments are included in this packet).

The project was sent on referral. Staff received a response from the RidgeGate West Village HOA with “no comment.” The Terra Ridge HOA responded, citing some positive aspects of the project, but indicating they do not support the architecture.

The City’s Public Works Department has requested an additional two feet of easement on the west side to accommodate an eight-foot wide side walk and an eight-foot wide tree lawn; an easement will be conveyed to accommodate that prior to the property being transferred to the City (for subsequent transfer to the Library District).

I. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the application is in conformance with the SIP requirements of the Lone Tree Zoning Code, the Comprehensive Plan, and the RidgeGate Lincoln Commons Commercial Mixed-Use Sub-Area Plan.

Staff recommends approval of the SIP to City Council, subject to final approval by the Public Works Department.

END

AndersonMasonDale Architects

08 May 2015

Jennifer Drybread
Senior Planner
City of Lone Tree
9220 Kimmer Drive #100
Lone Tree, CO 80124

RE: Lone Tree Branch Library, Douglas County Libraries
Responses To Planning Commission Comments

Ms. Drybread,

In response to the feedback provided by the City of Lone Tree Planning Commission on 28 April 2015, we offer the following comments:

Additional bicycle racks and benches

Our SIP packet indicates additional locations where future bicycle racks can be provided; at this time DCL would prefer to gauge the need for additional bicycle racks. The project is currently bidding and DCL is seeking to maintain flexibility on how they proceed with project budget expenditures. At this time it remains to be seen where the scope of site furnishings will land.

Meandering path in south open space

The design of the path was primarily established as a transition between the turf and landform amenities that comprise the open space to the south, and as access to engage a future art piece. It is not viewed to be a primary access for patrons, but it certainly will allow for access to the entry, first establishing interaction with a garden area before interfacing with the entry plaza. The entry experience is about engaging the porch environment and expanding one's experience beyond simply accessing a vestibule. Primary circulation to the building entry is expected to be from sidewalks off of the east parking lot, and from an extension of the entry plaza that connects to the sidewalk along Commons Street. The intent is to have a continuous carpet of turf that promotes gathering and supports activity, rather than break up this environment with paths.

DCL is committed to maintaining quality grounds for their facilities. They are in agreement that should time reveal foot traffic requires additional paths to support travel to the library entry from the open space environment they will install them.

Public Works request for additional pedestrian lighting in the ROW

DCL, RRMD and the City of Lone Tree are still deliberating the resolution of the ROW lighting around the entire site. The SIP currently shows DCL construction and installation of all ROW amenities along Town Ridge Drive. ROW construction and amenities along Sky Ridge Drive, Commons Street and Art Center Drive is not part of the DCL parcel development.

Perforated metal panels along west elevation

Our SIP packet now includes some additional visuals to assist in understanding the character of the proposed perforated metal panels and structure along the west elevation of the building. We will have on hand for the City Council session a physical sample of the proposed panel.

Paul S. Haack, AIA
Andrew G. Nielsen, AIA
David C. Pfeifer, AIA
Joey Carrasquillo, AIA
John Graham, AIA

John D. Anderson, FAIA
Emeritus
Ronald L. Mason, FAIA
Emeritus
Curt F. Dale, FAIA
1945 - 2003

Cathy Bellem, AIA
John Everin, AIA
Erin Hillhouse, AIA
David E. Houston, AIA
F. Douglas Reisbeck, AIA
James R. Taylor, AIA

Dan Bishop, AIA
Ben Blanchard, AIA
David J. Harman, AIA
Pamela J. Loomis, CDFA
Ryan Lutz, AIA
Suzanne D. Minear, AIA, CSI
Kristin O'Connell, Assoc. AIA
Cynthia Ottenbrite, AIA
Jeffrey Poorten, AIA
Charlotte Stapleton
Todd Swarts, AIA
Julie Zurakowski, AIA

Blended brick palette

Our SIP packet now includes some additional visuals to assist in the proposed brick colors and percentages.

Site furnishings

DCL has not finalized decisions on the proposed site furnishings. Upon final selections we will engage the necessary administrative amendments to the SIP.

Please do not hesitate to contact us should you have any questions. We look forward to presenting to the City Council on the 19th of May.

Sincerely,

A handwritten signature in black ink, appearing to read 'Joey Carrasquillo', with a large, stylized initial 'J'.

Joey Carrasquillo AIA
Principal

City of Lone Tree

Department of Community Development
9220 Kimmer Drive Suite 100
Lone Tree, CO 80124
Ph: 303-708-1818 Fax 303-225-4949

DEVELOPMENT APPLICATION FORM

◆ OFFICE USE ONLY ◆

PROJECT NAME: RidgeGate Sec 15, Filing 21, Lot 2A

PROJECT FILE # SP14-73R

REQUEST: SIP Approval (Lone Tree Library)

SITE LOCATION: Southeast corner of the Commons Street and Sky Ridge Drive intersection.
(Nearest Intersections)

DATE SUBMITTED: 27 February, 2015

OWNER:

Name: Lincoln Commons South, Inc., attn. Keith Simon
Address: 10270 Commonwealth Street, Suite B
Lone Tree, CO 80124
Phone: 720-279-2581 FAX:

FEES: NA

(Engineering fees are not included)

AUTHORIZED REPRESENTATIVE:

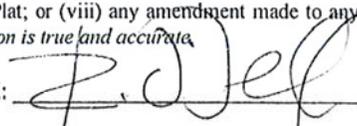
Name: Rick O'Dell Fax:
Address: 100 S. Wilcox Street, Castle Rock, 80104 Email: rodell@dclibraries.org
Phone: 303-688-7624 Business/Project Name: Douglas County Libraries, Lone Tree Branch Library

LEGAL DESCRIPTION (site address): Ridgegate Section 15, Filing 21, Lot 2A, Ridgegate Planned Development, Planning Area 2

PROJECT INFORMATION:

Subdivision Name:	RidgeGate Planned Development	Filing #:	21	Lot # (if appropriate):	2A	Block #:	
Planning Area # (if PD)	2						
PRESENT ZONING:	PD - Planned Development	(When rezoning) - PROPOSED ZONING	-				
GROSS ACREAGE:	2.376 Acres	# of units (residential)	-				
		Unit type:	-				
FIRE DISTRICT:	South Metro Fire Rescue District	METRO DIST:					
WATER:	Southgate Water District	ELEC:	Xcel Energy				
SEWER:	Southgate Sanitation District	GAS:	Xcel Energy				

Further submissions pursuant to this application may include any and all development proposals, submissions, applications and procedures that may be made or initiated under the City of Lone Tree Charter, ordinances, rules, regulations, guidelines or policies including, without limitation, those for any of the following: (i) annexation; (ii) zoning or re-zoning, including any development plan for zoning within the Planned Development (PD) District; (iii) preliminary PD or PUD site plan, or related design guidelines or development standards; (iv) final PD or PUD site plan; (v) Site Improvement Plan; (vi) any master or general development plan, sub-area plan, site plan or similar development plan, however denominated, which may be provided for under any PD development plan or any other zoning; (vii) Sketch Plan, Preliminary Plat or Final Plat; or (viii) any amendment made to any of the foregoing, as applied for or as approved. *To the best of my knowledge, the information contained on this application is true and accurate.*

APPLICANT SIGNATURE: 

Date: 2 March, 2015

APPLICANT'S NAME (PRINTED): Rick O'Dell, Facilities Manager, Douglas County Libraries



Project Narrative

Project Name: Douglas County Libraries – Lone Tree Branch

Location: Southeast corner of Commons Street and Sky Ridge Drive (no address yet)

1. General Information:

The current landowner is:

Lincoln Commons South, Inc.
10270 Commonwealth Street, Suite B
Lone Tree, CO 80124

The representative is Keith Simon; he has signed the Letter of Authorization dated 27 February, 2015.

The site plan submittal has been prepared on behalf of Douglas County Libraries by the following:

Architect
Anderson Mason Dale Architects
3198 Speer Boulevard
Denver, CO 80211

Civil Engineer
S. A. Miro, Inc.
4582 Ulster St., #300
Denver, CO 80237

Landscape Architect
studioINSITE
3457 Ringsby Court, Unit 223
Denver, CO 80216

Electrical Engineer
BCER Engineering
5420 Ward Road, Suite 200
Arvada, CO 80002

The parcel of land is located as the southeast corner of the Commons Street & Sky Ridge Avenue intersection. Ridgeway Section 15, Filing 21, Lot 2A Ridgeway Planned Development, Planning Area 2.

The site is currently zoned PD, it is bordered by Mixed Use PD to the north, Townhomes PD to the east, Senior Living PD to the south and the Lone Tree Arts Center PD to the west.

2. Development impacts:

The land is currently vacant as is the land to the north, east and south. At the regularly scheduled RRMD Filing 21 Coordination Meeting no impact of this project has been brought up or discussed. There is a potential shortfall of one parking space on site but on-street parking along the north side of Arts Center Drive will make up for this shortfall.

3. Compliance with Intent and Approval Standards:

Douglas County Libraries have worked with both the Ridgeway Developers and the City of Lone Tree to ensure compliance with the Intent (Section 16-27-10) of the City of Lone Tree Charter and Municipal Code. The mission of the Library coincides with the Intent to promote high-quality design and a strong economy, by fostering a sustainable and healthy community. By working with the City and Ridgeway Developers to create and enhance the burgeoning Arts District with a cohesive approach to landscape design, lighting, and materiality that will coexist with the Lone Tree Arts Center across Commons Street.

We believe the Douglas County Libraries – Lone Tree Branch is in compliance with the Approval Standards - Site Improvement Plan (SIP) as listed in Section 16-27-90 (a) of the City of Lone Tree Charter and Municipal Code.

4. Development Phasing:

Construction is anticipated to begin in the middle of March, 2015 with completion scheduled for February, 2016. The Library will open to the public in the spring of 2016.

5. Other Project Data:

The total number of employees on maximum shift will range between 18 to 26 individuals.

The Library will have 24,826 square feet of interior floor area over two floors with an additional 1,749 square feet for a south facing covered front porch and another 1,288 square feet of exterior terraces at Level 2.

The lot area is 2.37 acres.

6. Sustainability:

The Library will use LED light fixtures to reduce energy consumption.

Water wise low flow plumbing fixtures have been used throughout the building.

West facing windows will be protected from unwanted heat gain with a corrugated perforated metal screen system which will still allow views during the day to the Arts Center and will glow at night to promote the Library as a civic institution. South facing windows are protected of direct sunlight by the wide porch overhang and also by a terrace roof trellis.

A vegetated roof system (identified as an additive alternate) over the south facing porch has been designed to reduce the effects of solar heat gain for the adjacent outdoor terrace.

7. Variances:

At this time no variance is requested.



Statement of Design Intent

Using this form, or a separate page, please describe how the project meets the intent of the City of Lone Tree Design Guidelines, including the City's Core Design Principles. (If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well).

Please use the outline below as a guide in formulating your response. You may also use this opportunity to describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

Project Name: Douglas County Libraries – Lone Tree Branch

Location: Southeast corner of Commons Street and Sky Ridge Drive (no address yet)

1. Overall Design Concept:

The new Douglas County Library City of Lone Tree Branch will be a two-story, 25,927 square feet facility with collection and reading areas dedicated to the Family First collection (early childhood collection) and associated Storytime area plus offices and workrooms for staff on the first floor. The second floor will house collections for adults and young adults along with a large Community Event room capable of seating 100 people plus offices and workrooms for staff. In addition, there are three outdoor terraces planned at Level 2.

2. Context and Site:

Describe how the project relates functionally and visually to the context of the surrounding area (consider issues of form and character; the natural environment; vehicular and pedestrian access and circulation systems, etc.).

The new Douglas County Library and the existing Lone Tree Arts Center will work together to form a civic threshold for this sector of the RidgeGate development. The building plan is organized to celebrate the civic nature of the library with the majority of the public space located along the southern and western edges. Along the western façade a cantilevered sun shading structure is intended to complement the dynamic roof scape of the Lone Tree Arts Center across Commons Street and a large lawn/green space to the south provides an appropriate civic gesture and sense of place along Arts Center Drive.

Together, the Library design team and members of the City planning have conducted three workshops intended to weave together the Arts District with a common streetscape, complementary plantings, and establishing a view corridor across the library site to showcase the Lone Tree Arts Center to capitalize on existing site characteristics and create a unique festival environment for the City of Lone Tree.

3. Public Realm

Describe how the project contributes to an inviting, safe and functional public realm (consider public spaces, street/sidewalk – level experience, lighting, landscaping and signage).

A continuous porch on the south side of the library provides weather protection, and a shady transition space which frames the entry sequence for customers and defines outdoor spill out space. The southern edge of the library - housing lobby, conference area and flex/maker space - embraces a casual, cafe-feel, with high volume, transparency and connectivity to the outdoors and serves as a communications platform for the community.

The southwest corner of the library takes the shape of an abstract tower, with uniquely shaped collaboration spaces stacked in staggered fashion to form an outdoor deck and bay window while a steel veil wraps from the west to capture the interplay of these forms to establish the library's presence to the residential communities to the south and to respond to the iconic roof of the Lone Tree Arts Center.

An interactive learning garden and meandering path borders the large lawn area and takes the mission of the library outdoors provide learning opportunities for library patrons and the general public. In this garden several outdoor art locations have been identified.

As shown on the Landscape drawings and as part of the Arts District planning workshops the sidewalk along Arts Center Drive is wider in order to provide tent locations for future City festivals.

A total of 82 parking spaces will be provided on site this includes four ADA compliant spaces.

4. Architectural Design

The design efforts for the three new branch libraries for Douglas County Libraries have endeavored to establish common themes in program, construction and aesthetic to support the evolution of the Douglas County Libraries brand for their global community while responding to the nuances of each site, program and municipality to forge library environments engrained within their respective communities. The building plan for the Lone Tree branch is a true derivative of this site and the general Arts District master plan established in the development of the overall site, which will include a large landscaped park-like setting at the southwest corner and plaza.

The geometries adopted establish relationships considered critical to the development of the developing Arts District:

- Optimal setback relationship from Commons Street to establish an urban character for the site
- A strong relationship to the existing Lone Tree Arts center to the west
- Optimally addressing the service side of the building
- Creating an iconic moment at the west and southwest elevations to serve as a true gateway marker and respond to the Lone Tree Arts Center.

The entry lobby provides a café-vibe that stretches along the entire southern edge of the building, correlating with the exposure to the landscaped lawn to the south with a flexible "Fun Conference Room" on the east end intended as a maker space for community groups and a lounge space for periodicals and book sales to the west. The second floor of the library perches over the west edge to form a porch setting and promotes interplay between the plaza and library ground level.

The story time (Family First) realm at the northwest corner of the library asserts its' massing, while creating outdoor terrace spill out space for the reading sanctuary above for adults.

The community, event space is a versatile space that opens up to the adult collections floor and roof top terrace for expanded capacity; the ceiling plane of this space boldly expands out into the collections area to reinforce the relationship of these spaces.

Library administrative and staff workplaces occupy the eastern and northern edges of the building; exterior windows and doors serving these areas are composed in tandem with exterior material transitions to evolve abstract, playful building faces.

The study rooms establish the DNA of the western elevation, with their staggered organization structuring a kinetic and playful quality through projection and relief. A perforated steel veil set on a steel armature is layered over this edge to offer solar control and create additional depth to this civic face to establish an iconic edge that dialogues with the gesture of the Arts Center.

Two reading areas flank the western edge of the upper level - the reading den to the northwest with fireplace, ambient northern light and intimately scaled outdoor terrace space; and the more active contemporary den to the southwest embracing a dramatic plan configuration that extends out to the south, capturing the view out to the outdoor civic space to the southwest and receiving controlled natural light tempered by the iconic steel veil that shapes the civic complexion of the library.

These three library branches embody a contemporary design aesthetic that translates the progressive nature of Douglas County Libraries' service to their communities: Openness, transparency, connection and interplay are at the core of the design propositions set forth.

RidgeGate Commercial Design Review Committee
Douglas County Libraries
Pre-Submittal
July 31, 2014

In attendance from the Design Review Committee:

Marc Applebaum, Applebaum Architects
Craig Karn, Consilium Design
Keith Simon, RidgeGate

In attendance from the City of Lone Tree:

Seth Hoffman, City Manager
Kelly First, Planning Director
Jennifer Drybread, Planner

In attendance for Douglas County Libraries:

Karen Gargan, Douglas County Libraries
Aspen Walker, Douglas County Libraries
Bob Pasicznyuk, Douglas County Libraries
Bruce Flynn, Integrated Construction Solutions
John Everin, Anderson Mason Dale Architects
Joey Carrasquillo, Anderson Mason Dale Architects

Applicant Project Overview:

- Families; Books/Book circulation; Spaces are core themes for the library
- EBooks/digital "E" content platform
 - Douglas County Libraries purchases content and use apps to access content
- Book output for kids (tactile experience is desirable)
- Bike, car and pedestrian access; south edge café area

Designing three branches (AMD – public arch/urban – with Studio Troupe – libraries)

- Programming – architecture (50% schematic design)
- Lone Tree Library is within a "Civic Corridor" on Commons Street
- West view is provided but sun protection must also be provided
- South entry celebration
- Parking orientation to the east of the building is parallel to new private street;, building is anchored northwest corner of site and prairie themed open space to the south.
- Multiple community spaces/rooms are provided between first and second floors
- Roof deck, western screening – screem (w/photovoltaic possible), green roof concepts considered

DRC Discussion:

- What are the exterior materials?
 - Pre-finished metals
 - Testing materials at this point – budget exercise
 - Want robust materials at base and softer up top
 - Sculptural windows on upper level
- Scale of Art Center to Library
 - Library is smaller and shorter

- Materials selection should not go over the top
- Corner opportunity for iconic presence – 4 sided architecture is contemplated
- Scream could be panels (cost under consideration but could provide more play in elevation and northwest corner of scream termination is unresolved)
- Foreground of landscape – hardscape at building interpretive landscape reflective of Colorado landscape
- Master plan being developed for western edge of Commons Street.
 - Add parking on southeast corner
 - Northeast corner to be a community gathering place – hardscape, gardens
- Discussion regarding the possibility of future public space and Sky Ridge at southeast corner of Commons and Sky Ridge
 - Consider a north vehicular entry to library site from Sky Ridge Avenue
- Plan public spaces together with the City of Lone Tree on the west side of Commons in front of the Arts Center – do not replace landscape with paved spaces on library site
- Lawn with trees? No-celebrate the prairie (20k square feet of landscaped area)
- Shade trees, water feature, benches are considerations
- City Council has concern with the use of cementitious board and large fields of lap siding.

Site Circulation

- Book drop off circulation and north exit only or two way (check spacing with intersection traffic)
- Move entry south (on private street) and line with trees – check grades
- More aggressive with parking
- Eliminate drive lanes/entry and get more parking.

Outside access to upper level at young adults corner.

There was consensus that a worksession with the City, RRMD and Douglas County regarding landscape plans and plaza space would be productive.

The meeting ended at 11:40pm

Coventry will obtain and provide digital architecture of the Morningstar project to AMD

Schematic Design level plans expected around Labor Day.

RidgeGate Commercial Design Review Committee
Douglas County Libraries
Schematic Design
November 18, 2014

In attendance from the Design Review Committee:

Marc Applebaum, Applebaum Architects
Al Colussy, Klipp/gkkWorks
Craig Karn, Consilium Design
Dick Marshall
Keith Simon, RidgeGate

In attendance from the City of Lone Tree:

Kelly First, Planning Director
Jennifer Drybread, Planner

In attendance for Douglas County Libraries:

Bob Pasicznyuk, Douglas County Libraries
Bruce Flynn, Integrated Construction Solutions
John Everin, Anderson Mason Dale Architects
Joey Carrasquillo, Anderson Mason Dale Architects

Applicant Project Overview:

- Decreased square footage of the building from 26,500 to 25,000.
- Public amenities are located along the south and west sides of the building; the building's service area is located on the northwest corner.
- The architecture and site plan make a case for south elevation to dialogue with Arts Center.
- Working on broader master plan along Commons Street with a shared vision with the Arts Center.
- Creation of park setting. Utilize climate and open space.
- The second level of the library looks over a "green roof" environment with a public porch.
- Western edge utilizes study rooms – western views and addresses solar exposure. Western sun – use exterior panels for protection on interior spaces and glazing.
- North and east elevation more subdued – clustered windows and playful
- East side has vehicular book drop off along with service area at northeast corner.
- High roof element removed but replaced with roof lights (more economical)
- Masonry base, then soft with stucco. Maximize glazing.
- West side perforated metal sun screen.

DRC Discussion:

- What materials have been selected?
Needs a profile; not settled on panelization or color yet. More subdued colors are being presented. "Lantern" quality at night (from building through screening). 20 year pre-finished metal coating. Accent with additional lighting is possible at key points. Porch at ground floor is intended to glow as well.
- Line work and representational renderings are inconsistent at this point.
It will have masonry (not stucco) per rendering. 2-1/2'x12" running bond brick veneer – will use Endicott brick "plum" color brick with some sheen. Stucco color to be more of a light color – off

white potentially. Subdued body with vibrant brick. Window brows around building. 50% opacity to panels.

- East elevation is the primary elevation facing the town homes across the street to the east – enhance lower opening in wall at southeast building corner with use of masonry material. Use offsets (hint of brick). Incorporate into architecture and not an “add on”.
- Two facades (east and north) are too subtle architecturally. Upper wall is not metal but has a screen element.
- North and east are more utilitarian; needs more differentiation without cost impact.
- Control joints in stucco? Create a pattern and or offsets as a design element
- Trash enclosure material – will be masonry.
- Consider extending east side pedestrian walkway from the southwest to the street (Sky Ridge Avenue) to the north.
- Entry driveway provides visual identity to plaza and better site circulation. Consolidate book drop driveway with service driveway. Regular landscape spacing to strengthen and open view to arts center plaza. Eliminate some trees but frame space. Simplify and strengthen access to front door.
Front plaza would be shady place (shade bosque) on site and supports what is at arts center. Landscape to be less random and loose. Create form for view.
- This site will be a high vehicle traffic area so it will be important to separate potential vehicles from pedestrians to avoid conflicts.
- Connector to north at Sky Ridge Avenue? Allow on street parking on Arts Center Drive. Combine service and book lane (DCL will look at it).
- Look at north and east elevation
- Landscape reflective of “international” style building form. Intensive landscape in book drop area (art?) (scan drawing and add to notes).
- Mechanical equipment enclosure? What is it?
Same screen material as west side but more dense, less opacity – make it plainer and solid. 14”-16” off roof; maintenance access to be determined. Steel pipe columns support canopy and ground floor.
- Future terrace?
Structure to allow live load – budget will determine if live or rock on second floor roof.
- Dense hedge to screen cars in parking lot along Town Ridge and Arts Center Drive is required. Landscape at southwest installed by DCL – show on plans to City of Lone tree. Share landscape files with Douglas County Libraries.
- Not LEED but visual experience – LEED silver equivalent LED lighting Xcel program – 30% better than baseline. “Green globe”.

The applicant was approved to the Design Development phase of the DRC review process.

RidgeGate Commercial Design Review Committee
Douglas County Libraries
Design Development
February 11, 2015

In attendance from the Design Review Committee:

Marc Applebaum, Applebaum Architects
Al Colussy, Klipp/gkkWorks
Craig Karn, Consilium Design
Keith Simon, RidgeGate

In attendance from the City of Lone Tree:

Kelly First, Planning Director
Jennifer Drybread, Planner

In attendance for Douglas County Libraries:

Bob Pasicznyuk, Douglas County Libraries
Bill Bowen, Integrated Construction Solutions
Joey Carrasquillo, Anderson Mason Dale Architects

Applicant Project Overview:

The applicant reviewed modifications per comments from the Schematic Design meeting in November 2014. Those revisions are as follows:

- Main entry and pedestrian access from Town Ridge Drive as well as pedestrian access at all points of site.
- Improved site circulation.
- Created visual connections to the Arts Center.
- Adjusted driveway to relate to the adjacent townhome project driveway.
- Parking will be approximately 95 to 96 spaces.
- Combined the maintenance/service area with the book drop.
- Using excess dirt to create landforms to screen parking and separate crusher fine path from parking lot.
- Learning landscape with a progression of materials and approaches. Engage with landscape.

DRC Comments:

Site/Landscape Plans:

- Show book drop on landscape plans.
- Car drop – pay attention to planting plan details and provide a showy landscape adjacent to book drop entry. Look at modifying curb radius at book drop exit to help vehicular circulation. Native plantings will need focus to get them established. Area is also bermed 2-3' along edge of parking lot.
- Relocate evergreen tree to give it space and break up east facing building wall mass.
- Analyze how the landscape plan relates from the building window and door openings.
- Consider avoiding use of Prospector Elm and Coffee Tree/Espresso variety.
- Add benches in south landscape area.
- Provide bike rack and trash receptacle details.
- Identify location of public art and submit art to Darryl for approval once proposed.
- Add vertical evergreens on the north side of building and cluster to screen trash enclosure.

Architecture:

- Render elevations with materials and colors.
- Provide a materials sample, color palette and examples used in other locations.
- Consider opportunities to shade lower windows on west side of building.
- Consider increasing spacing of columns on colonnade to every other one.
- Provide signage plans.

The meeting ended at 3:00pm. The applicant was conditionally approved to submit their SIP to the City and submit to the Construction Documents phase of the DRC review process.



February 20, 2015

Bob Pasicznyuk
Douglas County Libraries
100 S. Wilcox
Castle Rock, CO 80104

RE: RidgeGate Design Review Committee Lone Tree Library

Dear Bob:

The RidgeGate Commercial Design Review Committee (DRC) has reviewed Douglas County Libraries' submittal materials for the Lone Tree Library branch. The DRC supports the project with the condition that all comments made at the February 11, 2015 DRC meeting are addressed in the Site Improvement Plan.

This correspondence serves as formal approval of the project by the RidgeGate Commercial Design Review Committee.

Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

Darryl Jones
DRC Administrator

cc: Kelly First, City of Lone Tree
File

Jennifer Drybread

From: Linda Langewisch <llangewisch@msiho.com>
Sent: Tuesday, March 31, 2015 3:41 PM
To: Jennifer Drybread
Subject: FW: Lone Tree Referral Request - New Publid Library

Good Afternoon:

The RidgeGate West Village HOA has no comments on the application for the new public library. Please let me know if you have any additional questions.

Thank you,

Linda Langewisch, CMCA
Community Manager
MSI, LLC
6892 So. Yosemite Court Suite 2.101
Centennial, Co 80112
720.974.4273
Fax 303.751.7396
LLangewisch@msiho.com

From: City of Lone Tree - HOA Referral List [<mailto:listserv@civicplus.com>]
Sent: Thursday, March 26, 2015 10:29 AM
To: dbclawson@qwest.net
Subject: Lone Tree Referral Request

[View this in your browser](#)

Your Homeowners Association is invited to review and comment on a development application currently in process with the City of Lone Tree. The application is for a new public library on 2.376 acres.

<http://www.cityoflonetree.com/DocumentCenter/View/6325>

Please email any comments or questions to me no later than **April 15, 2015**. If you need additional time to review, or would like paper copies of the plans, please contact me.

This complimentary message is being sent to opt-in subscribers who might be interested in its content. If you do not wish to continue receiving these messages, please accept our apologies, and unsubscribe by visiting our website at:

<http://cityoflonetree.com/list.asp?mode=del>

Please note, we will not sell or give your e-mail address to any organization without your explicit permission.

You are receiving this message because you are subscribed to HOA Referral List on cityoflonetree.com. To unsubscribe, click the following link:

<http://cityoflonetree.com/list.aspx?mode=del>



Site Development Plan for New Lone Tree Library

Comments from Terra Ridge HOA

Positives:

- Appreciate the Library district moving forward with a larger facility
- Appreciate having a driver side drop box, which will help reduce the parking demand
- Appreciate having ample bicycle racks, also reducing the parking demand
- Appreciate the facility being LEED certified
- Exterior landscaping while not generous, is adequate and appears ready made for civic art pieces, donation bricks, etc.

Negatives & Lacking:

- What is the architectural style? This building has no landmark qualities and lacks any contribution to Lone Tree's a sense of place or civic identity. It is an unattractive exterior day 1, and will be so 20 years from now. The cantilevered features on the south facade, offers a slight hint / some semblance to Frank Lloyd Wright's prairie style, but it fails on every façade. The architecture appears to rely on mixing finish materials, colors & textures just to make the building interesting. Clearly, the City of Lone Tree deserves something less embarrassing, more attractive and enduring than this !

Our HOA would take exception to the supporting written statements that this facility is touted as "High Quality Design", "Civic Nature", and being "Contemporary Design Aesthetic". While this may be true on the interior, we would steer others way from this embarrassing exterior appearance that looks cheap & shows a lack of understanding & respect for Lone Tree's image that should be demonstrated through buildings that are built for civic use.

- Additional public parking via pockets for parallel spaces need to be provided on all four street frontages.



9222 Teddy Lane
Lone Tree, Colorado 80124



Ph: 303-662-8112
Fax: 303-792-9489
www.cityoflonetree.com

CITY OF LONE TREE

Department of Public Works

April 3, 2015

City of Lone Tree
Jennifer Drybread
9220 Kimmer, Suite 100
Lone Tree, CO 80124

Re: SP14-73R (Douglas County Library - SIP)
RidgeGate Sec 15, Fil. 21, Lot 2A
Project No. 061-412

Dear Jennifer:

We have reviewed the SIP referral for the above referenced Project.

The SIP package submitted and reviewed consists of the following documents:

- Site Improvement Plan (9 sheets), dated 3/20/15, by AndersonMasonDale Architects.
- Narrative letter & application.

As a separate action, either concurrent with, or following SIP consideration, the following engineering documents will be required to be submitted for City Engineering review, comments and approvals. Once submitted, we will work directly with the applicant's civil engineer, S.A. Miro, on achieving final engineering approval(s) on those documents.

- Civil Construction Plans (CD's)
- Grading, Erosion and Sedimentation Control (GESC) Plans.
- Grading, Erosion and Sedimentation Control (GESC) Report.
- Drainage Conformance Letter / Phase III Drainage Report.

Our comments are provided below:

General Comments

1. The Public Works/Engineering SIP Review fee for this Project, per the adopted standard review fee schedule (re: SIP) is \$3,000.00. Review and comment on the SIP, GESC Plans, GESC Report and Drainage Report are covered under this review fee. **The SIP review fee has been waived for this Project.**
2. A Site Improvement Plan Improvements Agreement (SIPIA) may be required for the proposed Project**. The SIPIA standard form is available for reference on the City website (<http://www.cityoflonetree.com/DocumentView.aspx?DID=23>). The surety referenced in the SIPIA would cover all Project improvements to be installed by the Library Project that are located within the public right-of-ways and/or the Public Access Easements of Town Ridge Drive, Arts Center Drive, Commons Street and/or Sky Ridge Avenue. (e.g. curb returns, drive approaches, sidewalk, etc.). However, for this Project, surety will not be required.

**** Note:** All of the sidewalks, and any other curb returns, etc. around the perimeter of the Library site should be installed and complete before issuance of a certificate of occupancy for the site. Some of those improvements may be done by the RRMD and/or the City. Some may be done as part of the Library Project construction. The SIPIA (without associated surety) will need to address and cover those portions to be constructed by the Library Project.

3. A Grading, Erosion and Sedimentation Control (GESC) Permit will be required for this Project. The GESC Permit may not be obtained prior to final approvals of the GESC Plans / GESC Report and at least recommendation of SIP approval by the City Planning Commission. No site work may begin prior to issuance of the GESC Permit.
4. Since this site exceeds one (1) acre of disturbed area, the developer must obtain a State Stormwater Construction Permit from the Colorado Department of Public Health and Environment (CDPHE), in addition to the City of Lone Tree issued GESC Permit.
5. Only those sheets within the SIP set for which we have specifically identified comments are listed below. Comments provided also may apply to other sheets/locations in the Project documents. The applicant's professional(s) should verify that the item(s) are addressed throughout the related Project documents consistently, as applicable.

Specific Comments

Sheet 2 – Site & Context Urban Design Plan:

1. The Site Data Chart: Applicant may wish to correct the spelling error on “Bicycle Parking” (e.g. “Bicycle Parking”).
2. The Property Line as indicated graphically DOES NOT match the Property Line locations as shown on the applicable Filing No. 21, 2nd Amend. Plat (Recordation # 2014061822). The SIP plans should be updated accordingly.
3. As indicated in the above referenced Plat, a 10-foot wide “Utility, Streetscape and Pedestrian Access Easement”, measured into the site from the property line, is Platted on all four sides of Lot 2A. Work Note “058” lists this easement. However, the easement is not shown on the plan. It should be added and called out. Additionally, there is a concurrent 10-foot Parking Easement which overlaps/matches the Utility, Streetscape & Pedestrian Access easement along the west property boundary (along Commons Street). This easement should be indicated on the SIP as well.
4. The platted street ROW widths should be shown (labeled) for each of the perimeter streets.
5. We have concerns/comments regarding the proposed sidewalk widths & locations on all four sides of this site, as follows:

Arts Center Drive (south) side:

- a. **Width:** Discussions have been held pertaining to the Pedestrian/View corridor connection from the Arts Center (on the west) to the Willow Creek Park/Trail (on the east). Coming out of those discussions, it was our understanding the sidewalk on the north side of Arts Center Drive, across the Library frontage, was to be an 8-foot wide sidewalk, not 6-foot wide as shown.

- b. **Location:** The above indicated 8-foot wide sidewalk, if contained fully within the platted Arts Center Drive ROW, would result in only a 6-foot “tree lawn” between the back of curb and front edge of the sidewalk. The City Landscape Design standards (City Code Sec. 16-32-40(b)) indicates that canopy trees “...shall be planted no closer than four (4) feet from back of curbs or sidewalks, driveways and other hard surfaces...” (e.g. a minimum tree lawn width of 8-foot would be necessary). Accordingly, we would recommend the sidewalk be shifted to the north two (2) foot so that the north 2 feet of the 8-foot walk falls within the platted 10-foot public access easement. This shift would provide for an 8-foot tree lawn width.

Commons Street (west) side:

- c. **Width:** Discussions have been held regarding possible periodic future pedestrian intensive programing on Commons Street between the Library and Arts Center sites. Based on this, along with the nature of the Library site and associated pedestrian access considerations, we recommend an 8-foot sidewalk along this side of the site, as opposed to the 7’ walk indicated on the SIP.
- d. **Location:** Based on the platted 39-foot Commons Street ROW at this location, the entire sidewalk will be located within the 10-foot Pedestrian Access Easement. Based on the combined ROW and Easement widths, with a sidewalk greater than 6-foot width the remaining available Tree Lawn space will be less than 8-feet wide. With the recommended 8-foot walk width, the available tree lawn width will be 6-feet. One of two “solutions” to this issue would exist: 1) An additional 2-foot of Public Access Easement could be granted from the Library site, and the walk then could be shifted 2-foot further east; or, 2) A tree lawn variance to allow street tree planting in this location to occur within the remaining 6-foot available tree lawn. Either “solution” would be acceptable to Public Works/Engineering in this specific instance, although our strong preference would be obtaining the additional easement and shifting the walk.

Sky Ridge Avenue (north) side:

- e. **Width:** The existing sidewalk on the north side of Sky Ridge Avenue, across from the library site, is 6-foot wide. For consistency, and since there is no direct access into the library building off of this proposed walk, it may be appropriate to have a 6-foot wide walk in this location, as opposed to the 7-foot width indicated on the SIP.
- f. **Location:** Based upon the platted Sky Ridge Avenue ROW in this location, there would be space for up to a 15.5-foot wide tree lawn if the 6-foot walk were placed to the back of the 10-foot Pedestrian Access Easement. Alternatively, maintaining the minimum 8-foot wide tree lawn and a 6-foot walk width starting 8-foot back of curb, the walk would overlap only 1.5 feet into the north side of the Pedestrian Access Easement. This latter position (1.5’ overlap and 8’ tree lawn) would be our recommendation.

Town Ridge Drive (east) side:

- g. **Width:** The 6-foot width indicated on the SIP should be acceptable along this side of the Library site, and is consistent with the anticipated design plans for Town Ridge Drive.
- h. **Location:** Based upon the platted Town Ridge Drive ROW and the required street width to allow on-street parking on one side, the available tree lawn width (on both sides of Town Ridge Drive) would be 6-feet. To achieve the recommended 8-foot tree lawn width on the Library side, the sidewalk would need to be shifted 2-foot west, overlapping into the Pedestrian Access Easement by 2-feet. Alternatively, a variance could be granted to allow tree planting in the tree lawn in this location with only a 6-foot tree lawn width. Either “solution” would be acceptable to Public Works/Engineering in this specific instance, although our preference would be shifting the walk 2-foot into the public access

easement to achieve an 8-foot tree lawn width.

The SIP should be revised appropriately to reflect the sidewalk width and location decisions made in response to the above comments.

Sheet 3 – Grading and Drainage Plan:

6. We have no objections to the overall grading and drainage concept presented at the SIP Plan level (other than as noted in the following comment). Engineering design details and further information will be required as part of the Site Civic Construction Plans and Drainage Report/Letter submittals for this Project.
7. A 20-foot drainage easement is shown, centered on the storm sewer serving the parking lot. This parking lot storm sewer system will be a private line, to be maintained by the property owner (e.g. the Library) and not the City. As such, the 20-foot easement is not required, and should be removed from the SIP. (Be sure to remove from other sheets in the SIP as well).

Sheets 4- 6 –Landscaping Plans:

8. We do not review landscaping overall. We do, however, review for potential landscaping conflicts with driveway and intersection sight-distance triangles. Sight-triangles for the drive connection to Town Ridge Drive appear to be shown (and labeled), but do not appear to be correctly shown. There also appears to be two sets shown. Sight Triangles are not shown at the Art Center Drive-Commons Street or the Sky Ridge Avenue- Commons Street intersections. While we do not believe, from what is shown, that any of the proposed on-site landscaping will impact any of the sight triangles, we ask that the sight triangles be shown for confirmation.

Sheet 8 – Lighting Photometric Plan:

9. We typically do not review the on-site lighting/photometric plans. However, in looking at the general plan, we note that pedestrian lighting does appear to be proposed/indicated along the street sidewalks around the perimeter of the library site. Consideration may be appropriate for addition of pedestrian lighting along at least the Art Center Drive, Commons Street, and perhaps Sky Ridge Avenue, sides of the Library site.

CONCLUSION

The general concept of the proposed Douglas County Library Development presented in SIP SP14-73R appears acceptable to Engineering/Public Works. Upon appropriate resolution of the issues noted, we have no objection to recommendation of SIP approval contingent upon final Engineering/Public Works approval of the various engineering documents/plans.

Please feel free to call me with any questions or comments at 303-662-8112.

Sincerely,



Gregory A. Weeks, PE, LEED ® AP
City Engineer



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3660
donna.l.george@xcelenergy.com

April 15, 2015

City of Lone Tree Community Development Department
9220 Kimmer Drive, #100
Lone Tree, CO 80124

Attn: Jennifer Drybread

Re: RidgeGate Sec 15 Flg 21 Lot 2A – Lone Tree Library, Case # SP14-73R

Public Service Company of Colorado (PSCo) has reviewed the site improvement plans for **RidgeGate Sec 15 Flg 21 Lot 2A – Lone Tree Library**. Please be aware PSCo owns and operates existing natural gas and electric distribution facilities within the subject property. If the property owner/developer/contractor has already contacted the **Builder's Call Line at 1-800-628-2121** to complete the application process for any new gas or electric service or modification to existing facilities, the developer must continue to work with the Designer assigned to the project for approval of design details.

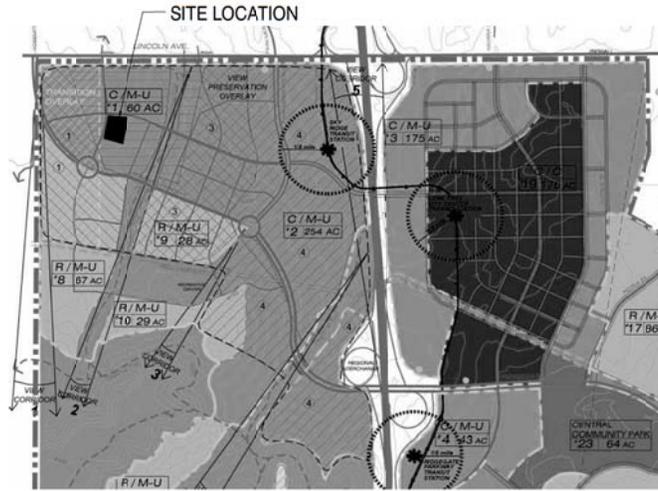
The property owner/developer/contractor must continue working with **Robyn Larm, Right-of-Way Agent at 303-761-2043** on all easement issues. Additional easements will need to be acquired by separate document.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center, at 1-800-922-1987** to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

**RIDGEGATE SECTION 15, FILING 21, LOT 2A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 2.376 ACRES
 SITE IMPROVEMENT PLAN PROJECT SIP #SP14-73R**



RIDGEGATE PD MAP



DEVELOPMENT MAP



THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON (DATE):

BY: _____
 NAME: _____
 TITLE: COMMUNITY DEVELOPMENT DIRECTOR
 DATE: _____
 BY: _____
 NAME: CITY ENGINEER
 TITLE: _____
 DATE: _____
 BY: _____
 NAME: MAYOR
 TITLE: _____
 DATE: _____

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREIN IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 9 OF THE LONE TREE MUNICIPAL CODE AND THAT (S) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURE(S) OF THE OWNER(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED:

(NAME OF OWNER) _____
 SIGNATURE OF OWNER _____
 PRINTED NAME AND TITLE _____
 STATE OF _____)
 COUNTY OF _____)

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____ 2015.
 BY: _____ WITNESS MY HAND AND OFFICIAL SEAL.
 MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

APPROVAL BY THE CITY OF LONETREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ADA REQUIREMENTS HAVE BEEN MET.

OWNER:

DOUGLAS COUNTY LIBRARIES
 100 SOUTH WILCOX STREET
 CASTLE ROCK, CO 80104
 CONTACT: BOB PASICZNYK
 T: 303 686 7656

ARCHITECT:

ANDERSON MASON DALE
 3198 SPEER BOULEVARD
 DENVER, CO 80211
 CONTACT: JOEY CARRASQUILLO
 T: 303 294 9448

ELECTRICAL ENGINEER:

BCER ENGINEERING
 5420 WARD ROAD, SUITE 200
 ARVADA, CO 80002
 CONTACT: LAINIE WEBBER
 T: 303 422 7400

OWNER'S REP:

INTEGRATED CONSTRUCTION SOLUTIONS
 4766 ELDRADO SPRINGS DRIVE
 BOULDER, CO 80508
 CONTACT: BRUCE FLYNN
 T: 303 870 6492

CIVIL ENGINEER:

S.A. MIRO, INC.
 3462 S. ULSTER STREET, SUITE 300
 DENVER, CO 80217
 CONTACT: MEGAN VOUGHT
 T: 303 741 3737

LANDSCAPE ARCHITECT:

STUDIO INSITE
 3457 RINGSBY COURT, UNIT 223
 DENVER, CO 80216
 CONTACT: WILLIAM BOWEN
 T: 303 433 7100

GENERAL NOTES

THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE. EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.

DRAWING INDEX

- 1 COVER SHEET
- 2 SITE & CONTEXT URBAN DESIGN PLAN
- 3 GRADING & DRAINAGE PLAN
- 4 LANDSCAPE SITE PLAN
- 5 LANDSCAPE WEST ENLARGEMENT
- 6 LANDSCAPE EAST ENLARGEMENT
- 7 LANDSCAPE DETAILS
- 8 LIGHTING PHOTOMETRIC PLAN
- 9 ELEVATIONS AND MATERIALS SCHEDULE

DATE	REVISIONS	DRAWN BY
11-20-2015	COMMUNITY RESP	MD

**AndersonMasonDale
 Architects**
 3198 SPEER BOULEVARD
 DENVER, CO 80211
 PHONE: 303.294.9448

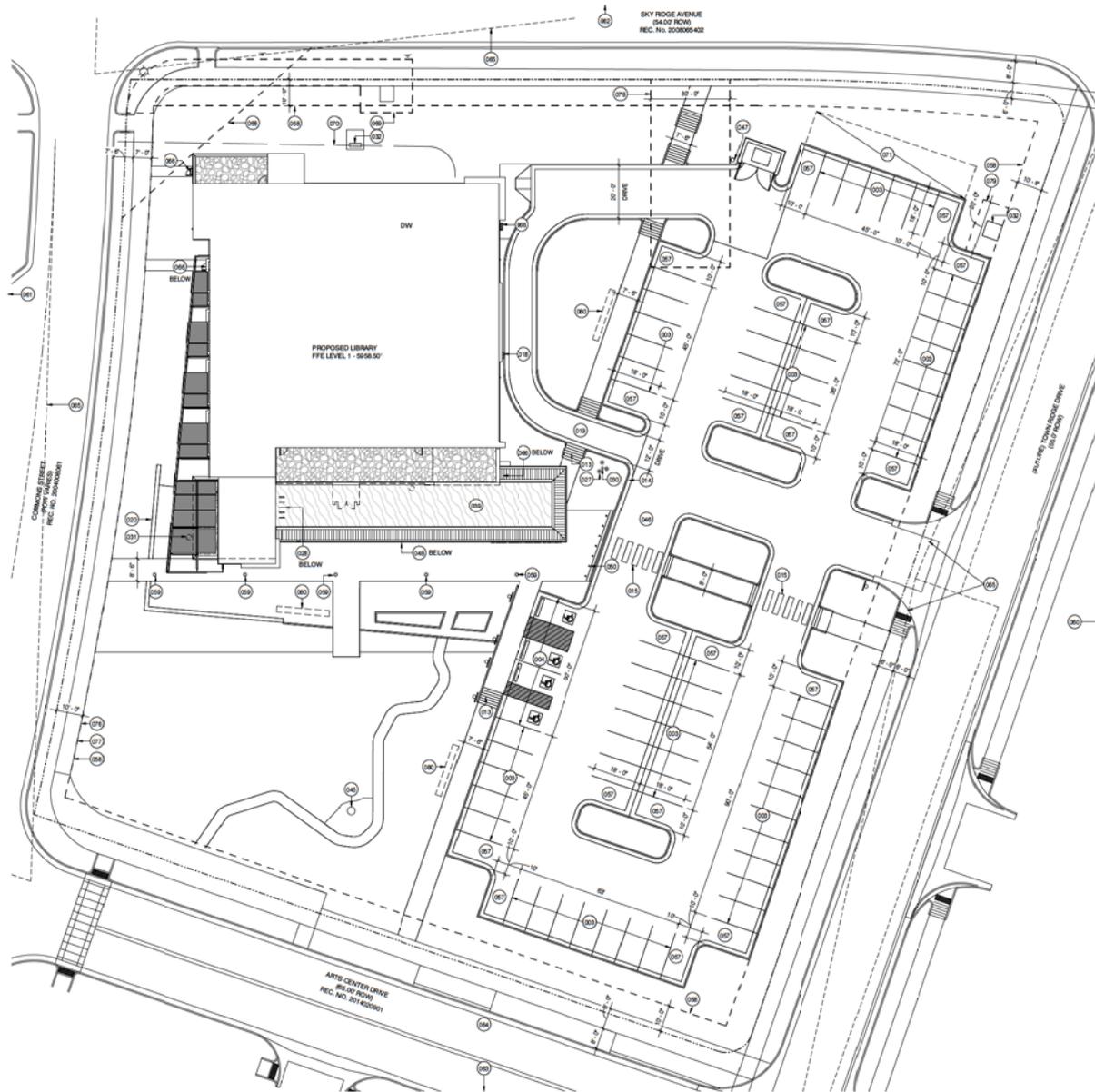
**DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
 COVER SHEET**

DRAWN BY: _____
 REVIEWED BY: _____
 APPROVED BY: _____
 DATE: 04.17.2015

SHEET NUMBER:

1 OF 9

**RIDGEGATE SECTION 15, FILING 21, LOT 2A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 2.376 ACRES
 SITE IMPROVEMENT PLAN PROJECT SIP #SP14-73R**



- LEGEND**
- COBBLE MULCH
 - PROPERTY LINE
 - EASEMENT BOUNDARY
 - SIGHT TRIANGLE

- WORK NOTES**
- 003 9' X 18' PARKING SPACE
 - 004 10' X 18' ACCESSIBLE PARKING SPACE WITH SHARED 9' X 18' LOADING ZONE
 - 013 ACCESSIBLE CURB RAMP
 - 014 CURB & GUTTER
 - 015 PAINTED PEDESTRIAN CROSSLINK (WHITE)
 - 018 DRIVE-UP BOOK DROP
 - 019 BOOK DROP DRIVE
 - 020 CONCRETE SITE WALL - BID ALTERNATE
 - 027 FLOOD LIGHT
 - 028 BICYCLE RACK
 - 029 FLAGPOLE LOCATION
 - 031 TRASH RECEPTACLE
 - 033 RCEL ENERGY UTILITY TRANSFORMER
 - 036 VEGETATED ROOF BID ALTERNATE
 - 048 ART LOCATION
 - 048 DROP-OFF ZONE
 - 047 FIRE HYDRANT LOCATION
 - 048 RE LANDSCAPE PLAN FOR PAVING PATTERN BELOW
 - 050 BOLLARDS
 - 057 10' X 18' PARKING SPACE
 - 058 UTILITY STREETSCAPE AND PEDESTRIAN ACCESS EASEMENT REC. NO. 251400001
 - 059 PEDESTRIAN LUMINAIRE
 - 060 TOWNHOMES - PD
 - 061 LONE TREE ARTS CENTER - PD
 - 062 MIXED-USE RETAIL - PD
 - 063 SENIOR LIVING FACILITY - PD
 - 064 ON STREET PARKING ALLOWED ALONG ARTS CENTER DRIVE
 - 065 SIGHT DISTANCE TRIANGLE
 - 066 WALL MOUNTED EXTERIOR LIGHTING
 - 068 STORM SEWER EASEMENT REC. NO. 200491362
 - 069 PREC EASEMENT REC. NO. 2004068003
 - 070 GAS LINE
 - 071 REMOVED SNOW STORAGE AREA
 - 072 UTILITY SNOW STORAGE AND PEDESTRIAN ACCESS EASEMENT REC. NO. 250400001
 - 073 PARKING EASEMENT REC. NO. 2008065402
 - 078 WATER EASEMENT
 - 079 ELECTRICAL EASEMENT
 - 080 POTENTIAL LOCATION FOR FUTURE BICYCLE RACK EXPANSION

SITE INFORMATION		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	114,458	100
BUILDING FOOTPRINT	16,093	14
PARKING ROADS (INCLUDING PLANTED INTERIOR PARKING ISLANDS)	36,030	34
LANDSCAPED AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS, TRAILS, AND WALLS)	24,800	22
NATURAL AREAS (NOT INCLUDED IN THE REQUIRED LANDSCAPED AREA)	0	0
ITEM	SQUARE FOOTAGE	
BUILDING SIZE		
MAXIMUM HEIGHT (AS MEASURED BY THE CITY'S BUILDING CODE)	30 FT.	
TOTAL FLOOR AREA (SEE DEFINITION OF FLOOR AREA IN ARTICLE 2000)	24,800 SF.	
ITEM		
PARKING		
REQUIRED	63	
PROVIDED	63 PROVIDED ON SITE. ADDITIONAL ON-STREET PARKING WILL BE AVAILABLE ON THE NORTH SIDE OF ARTS CENTER DRIVE.	
BICYCLE PARKING		
REQUIRED (2% OF AUTOMOBILE PARKING SPACES 1.62-8.63)	2	
PROVIDED	12	

SITE PLAN-SITE DEVELOPMENT



DATE	REVISIONS	DRAWN BY
11-20-2015	COMMENT RESP	MD

AndersonMasonDale Architects
 2188 SOUTH BOULEVARD
 PHOENIX, AZ 85024

**DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
 SITE & CONTEXT URBAN DESIGN PLAN**

DRAWN BY: _____
 REVIEWED BY: _____
 APPROVED BY: _____
 DATE: 04.17.2015

SHEET NUMBER:
2 OF 9

**RIDGEGATE SECTION 15, FILING 21, LOT 2A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 2
 2.376 ACRES
 SITE IMPROVEMENT PLAN PROJECT #SP14-73R**

DATE	DESCRIPTION	BY	CHKD BY
3/20/2015	COMMITTEE REVIEW		
4/17/2015	COMMITTEE REVIEW		
5/4/2015	COMMITTEE REVIEW		

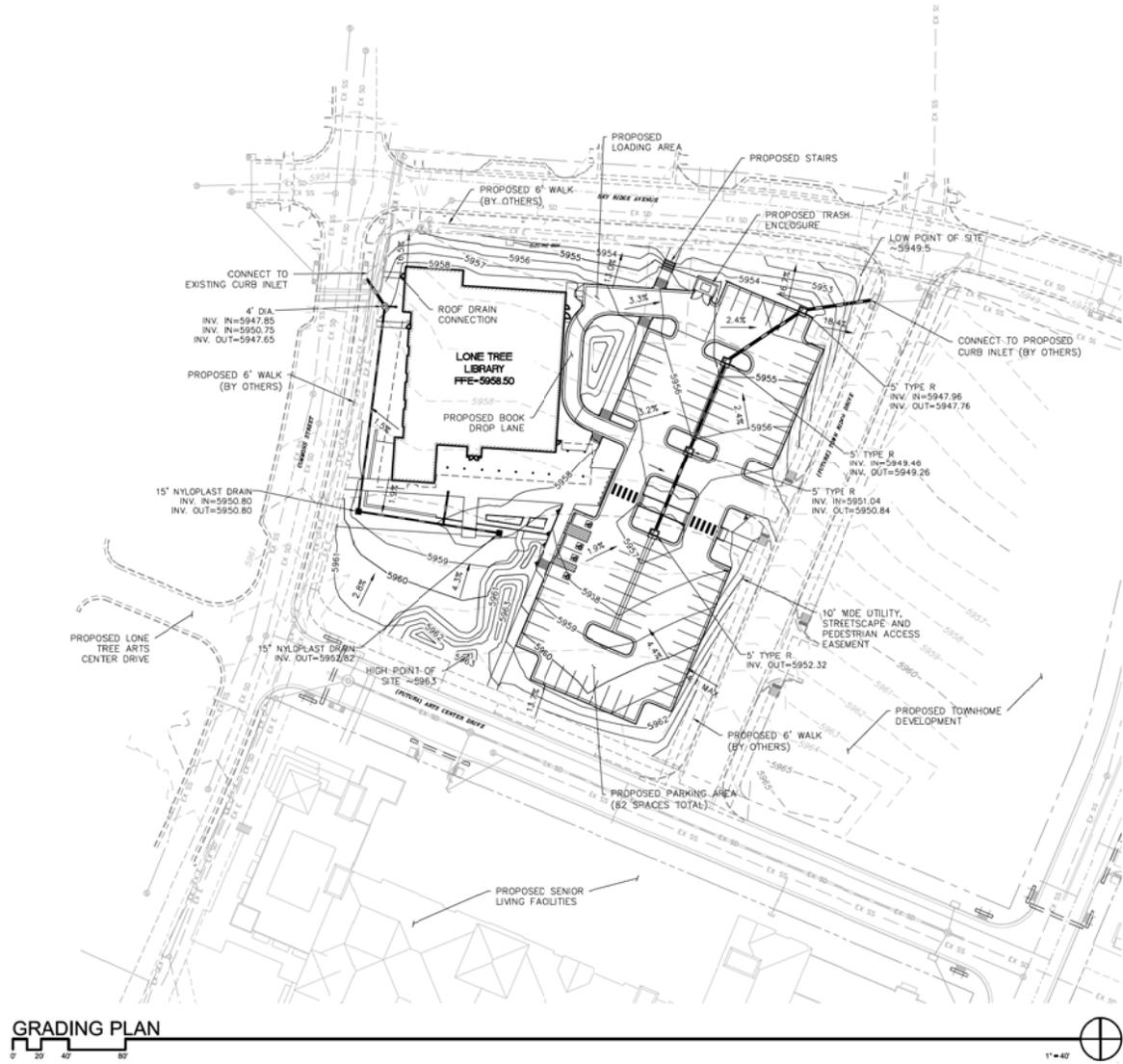
**AndersonMasonDale
 Architects**

100 WEST WASHINGTON
 DENVER, CO 80201
 PHONE: 303-733-6448

**DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
 GRADING AND DRAINAGE PLAN**

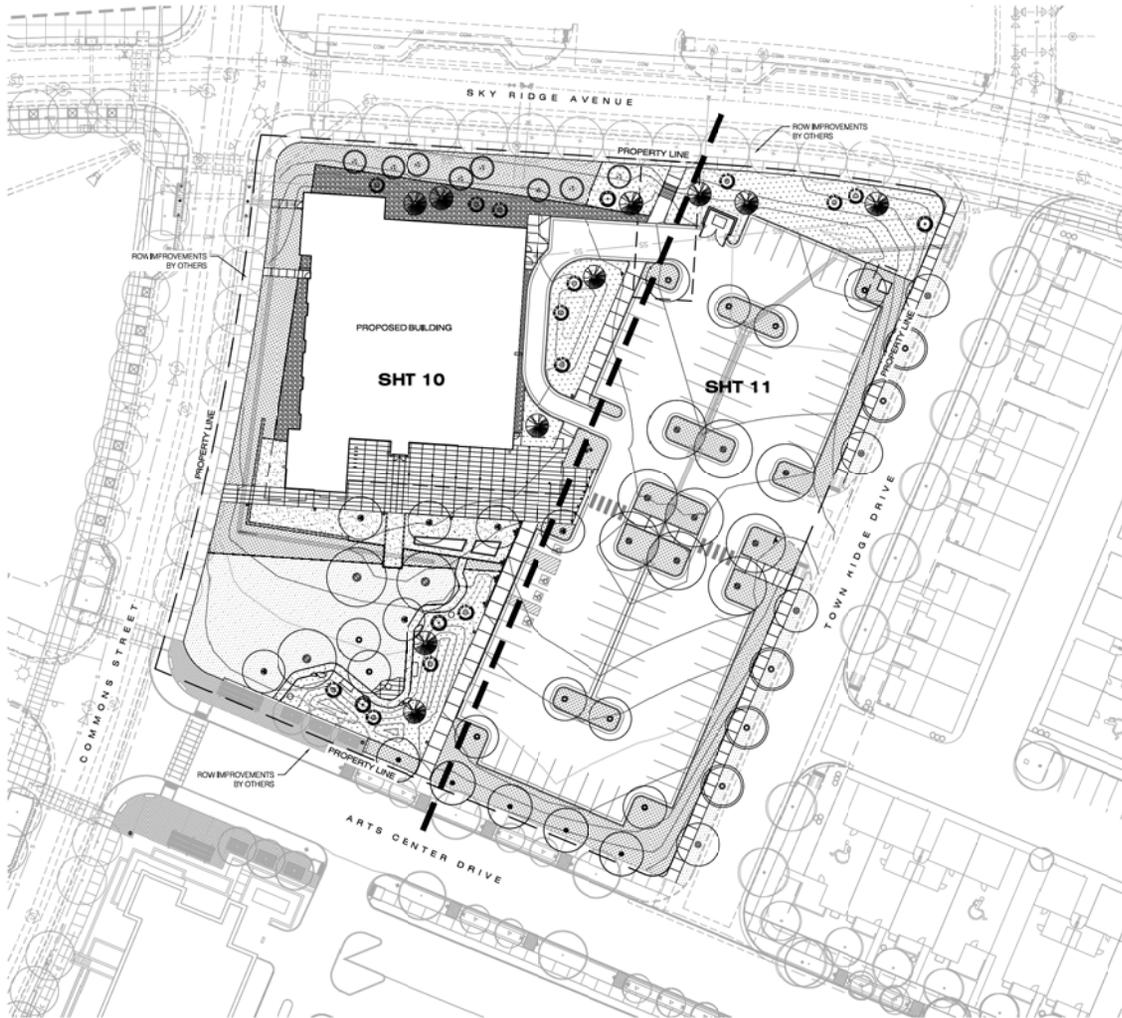
DRAWN BY: SM
 REVIEWED BY: SM
 APPROVED BY: SM
 DATE: 05/12/2015
 SHEET NUMBER:

3 OF 9



GRADING PLAN

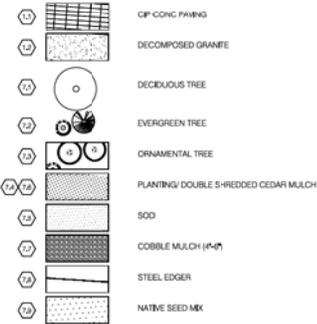
**RIDGEGATE SECTION 15, FILING 21, LOT 2A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 2
 2.376 ACRES
 SITE IMPROVEMENT PLAN PROJECT #SP14-73R**



MATERIAL KEYNOTES

- 1.0 PAVING
 - 1.1 C/P CONC PAVING, GREY, MED BROOM FIN TOOLED, JTS
 - 1.2 DECOMPOSED GRANITE
- 2.0 JOINTING
 - 2.1 CONTROL JT
 - 2.2 DECOMPOSITIVE JT
 - 2.3 EXPANSION JT
- 3.0 CURBS, EDGES, STEPS
 - 3.1 C/P CONC FLUSH BAND (POTENTIAL FUTURE ADDITION)
 - 3.2 C/P CONC STEPS W/ HANDRAILS
- 4.0 WALLS
 - 4.1 C/P CONC SEATWALL (POTENTIAL FUTURE ADDITION)
- 5.0 SITE FURNISHINGS & SITE ELEMENTS
 - 5.1 BICYCLE RACK
 - 5.2 TRASH RECEPTACLE
 - 5.3 TABLES & CHAIRS
 - 5.4 FLAG POLE
 - 5.5 BENCH (POTENTIAL FUTURE ADDITION)
- 6.0 SITE LIGHTING
 - 6.1 PEDESTRIAN LIGHT
 - 6.2 UPLIGHT/SPOTLIGHT (FLAGPOLE)
- 7.0 PLANTING
 - 7.1 DECIDUOUS TREE
 - 7.2 EVERGREEN TREE
 - 7.3 ORNAMENTAL TREE
 - 7.4 PLANTING
 - 7.5 SOO BY TEXAS DROUGHT RESISTANT BLEND- BITTERSWEET TURF FARM
 - 7.6 DOUBLE S-SHREDDED CEDAR MULCH
 - 7.7 COBBLE MULCH (1/4")
 - 7.8 STEEL EDGER
 - 7.9 NATIVE SEED MIX
 - 7.10 BOULDER (POTENTIAL FUTURE ADDITION)

MATERIALS LEGEND



IRRIGATION NOTES

1. ALL PLANTING AREAS ON SITE WILL HAVE A PERMANENT IRRIGATION SYSTEM. THE DESIGN WILL SHOW EACH HYDROZONE WITH THE TYPE OF IRRIGATION SELECTED BASED ON EXPOSURE, PLANT SELECTION AND SLOPE.
2. IRRIGATION FOR SITE TO BE PROVIDED BY DESIGN/BUILD METHOD. CONTRACTOR TO PROVIDE DESIGN THAT MEETS OR EXCEEDS ALL JURISDICTIONAL REQUIREMENTS. JURISDICTION TO PROVIDE REVIEW AND APPROVAL OF FINAL DESIGN PRIOR TO CONSTRUCTION/INSTALLATION.

1 LANDSCAPE SITE PLAN
 SCALE: 1" = 30' - 0"

01 151 301 601

DATE	REVISIONS	DRAWN BY
03-20-2015	COMMENT REVISION	
04-20-2015	COMMENT REVISION	
04-20-2015	COMMENT REVISION	

**AndersonMasonDale
 Architects**
 3118 PETERBOLLEW
 DENVER, COLORADO
 80202-3048

**DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
 LANDSCAPE PLAN**

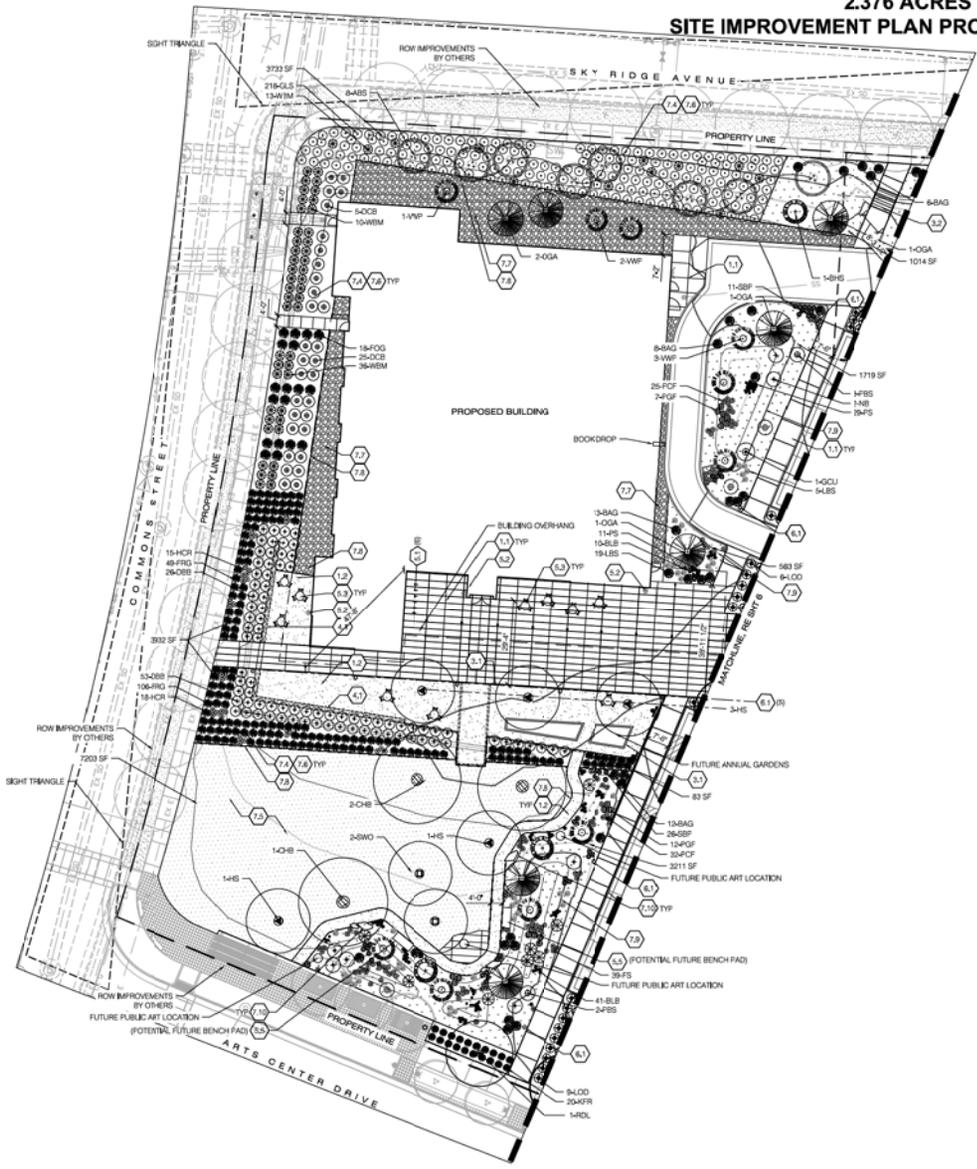


DRAWN BY: **JE**
 REVIEWED BY: **JE**
 APPROVED BY: **WEB**
 DATE: **04-17-2015**

SHEET NUMBER:

4 OF 9

**RIDGEGATE SECTION 15, FILING 21, LOT 2A
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 2
2.376 ACRES
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**



MATERIALS LEGEND

1.1	CIP CONC PAVING
1.2	DECOMPOSED GRANITE
2.1	DECIDUOUS TREE
2.2	EVERGREEN TREE
2.3	ORNAMENTAL TREE
2.4	PLANTING DOUBLE SHREDED CEDAR MULCH
2.5	SOD
2.6	COBBLE MULCH (4-8")
2.7	STEEL EDGER
2.8	NATIVE SEED MIX

MATERIAL KEYNOTES

1.1	PAVING
1.1.1	CIP CONC PAVING, GREY, HED BROOM FIN, TOOLS, JTS
1.2	DECOMPOSED GRANITE
2.1	JONING
2.1.1	CONTROL JT
2.2	DECORATIVE JT
2.3	EXPANDED JT
2.4	CURBS, EDGES, STEPS
2.4.1	CIP CONC FLUSH BAND (POTENTIAL FUTURE ADDITION)
2.4.2	CIP CONC STEPS W/ HANDRAILS
4.1	WALLS
4.1.1	CIP CONC SEATWALL (POTENTIAL FUTURE ADDITION)
6.1	SITE FURNISHINGS & SITE ELEMENTS
6.1.1	BIKE RACK
6.2	TRASH RECEPTACLE
6.3	TABLES & CHAIRS
6.4	FLAG POLE
6.5	BENCH (POTENTIAL FUTURE ADDITION)
6.6	SITE LIGHTING
6.6.1	PEDESTRIAN LIGHT
6.6.2	UPLIGHT/SPOTLIGHT (FLAGPOLE)
7.1	PLANTING
7.1.1	DECIDUOUS TREE
7.2	EVERGREEN TREE
7.3	ORNAMENTAL TREE
7.4	PLANTING
7.5	SOD SET TEXAS DROUGHT RESISTANT BLEND - BETTERSWEEP TURF FARM
7.6	DOUBLE SHREDED CEDAR MULCH
7.7	COBBLE MULCH (4-8")
7.8	STEEL EDGER
7.9	NATIVE SEED MIX
7.10	BOULDER (POTENTIAL FUTURE ADDITION)

SYM	QTY	COMMON NAME	BOTANICAL NAME	NOTES	PLANTING SIZE	SPACING
DECIDUOUS TREES						
KCT	9	COFFEE TREE, KENTUCKY EXPRESSO	GYMNOCADUS DICOLUS 'ESPRESSO'	8.5B	2 1/2" CAL	AS SHOWN
PRE	5	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	8.5B	2 1/2" CAL	AS SHOWN
CHB	3	COMMON HACKBERRY	CELTIS OCCIDENTALIS	8.5B	2 1/2" CAL	AS SHOWN
HS	6	HONEYLOCUST, SHADEMASTER	GLEDITSIA THRICANTHOS 'SHADEMASTER'	8.5B	2 1/2" CAL	AS SHOWN
RDL	5	LINDEN, REDMOND	TILIA X EUCHLORA	8.5B	2" CAL	AS SHOWN
SHD	10	OAK, SWAMP WHITE	QUERCUS BICOLOR	8.5B	2 1/2" CAL	AS SHOWN
GR1	4	GOLDEN RAIN TREE	KOELERUTERA PANICULATA	8.5B	2 1/2" CAL	AS SHOWN
TOTAL:	42					
ORNAMENTAL TREES						
ABS	8	SERAPICBERRY, AUTUMN BRILLIANCE	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	MULTI STEM	9' HT	AS SHOWN
TOTAL:	8					
EVERGREEN TREES						
OGA	10	AUSTRIAN PINE, OREGON GREEN	PINUS NIGRA 'OREGON GREEN'	8.5B	9' HT	AS SHOWN
VWP	13	PINE, VANDERWOLFS PYRAMID	PINUS FLEXILIS 'VANDERWOLFS PYRAMID'	8.5B	9' HT	AS SHOWN
BHS	4	SPRUCE, BLACK HILLS	PICEA GLEAUICA 'DENSA TATA'	CONT	9' HT	AS SHOWN
TOTAL:	27					
DECIDUOUS SHRUBS						
DOB	112	BLACK CHOKEBERRY, DWARF	ARONIA MELANOCARPA 'NORTON'	CONT	5 GAL	AS SHOWN
DBB	80	BURNING BUSH, DWARF	LYONALMUS TURKESTANICA 'NANA'	CONT	5 GAL	AS SHOWN
GCJ	1	CURRIANT, GOLDEN	RIBES ALPESUM	CONT	5 GAL	AS SHOWN
NB	34	NINEBARK, SUMMER WINE	PHYSCARRUS X SUMMER WINE	CONT	5 GAL	AS SHOWN
LOD	88	FRIBET, LOWDENSE	LIGUSTRUM VELGARE 'LODENSE'	CONT	5 GAL	AS SHOWN
PBS	5	SAND CHERRY, CREEPING WESTERN	PRUNUS BESSERII 'PAMNEE BUTTES'	CONT	5 GAL	4" OC
GLS	243	SUMAC, GROUND FRAGRANT	RHUS AROMATICA 'GROUND'	CONT	5 GAL	AS SHOWN
TOTAL:	663					
EVERGREEN SHRUBS						
HJ	40	JUNIPER, HUGHES	JUNIPERUS HORIZONTALIS 'HUGHES'	CONT	5 GAL	AS SHOWN
WIM	88	MUGO PINE, WHITE BLVD	PINUS MUGO 'WHITE BLVD'	CONT	5 GAL	AS SHOWN
WCE	13	WINTERCREPER	LYONALMUS FORTUNEI 'COLORATU SP'	CONT	5 GAL	AS SHOWN
YB	8	YUCCA, ADAMS NEEDLE	YUCCA FILAMENTOSA	CONT	5 GAL	AS SHOWN
TOTAL:	119					
ORNAMENTAL GRASSES						
IBS	41	BILLE STEM, LITTLE	SCHIZACHYRIUM SCOPARIUM	CONT	1 GAL	AS SHOWN
FOG	18	FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	CONT	5 GAL	AS SHOWN
BAG	47	GRAMA GRASS, BLONDE AMERSON ELITE	BOUTELOIDIA GRACILIS 'BLONDE AMERSON'	CONT	5 GAL	AS SHOWN
DHG	144	HAMELIN GRASS, DWARF	PENNISETUM ALOPECUROIDES 'HAMELIN'	CONT	5 GAL	AS SHOWN
FHG	155	REED GRASS, FEATHER	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	CONT	5 GAL	AS SHOWN
KFR	129	REED GRASS, KOREAN FEATHER	CALAMAGROSTIS BRACHYTRICHA	CONT	5 GAL	AS SHOWN
TOTAL:	534					
PERENNIAL GROUNDCOVER						
BLB	51	BLUEBELL	CAMPANULA ROTUNDFOLIA	CONT	1 GAL	1" OC
PCF	62	CONEFLOWER, PRAIRIE	RATIBIDA COLLINIFERA	CONT	1 GAL	AS SHOWN
PGF	19	GAYFEATHER, PURPLE	LATHRIS SPICATA 'FLORISTAN PURPLE'	CONT	1 GAL	AS SHOWN
HCR	23	HYSSOP, CORONADO RED	AGASTACHE AURANTICA 'CORONADO RED'	CONT	1 GAL	1" OC
JUB	7	JUPPERS BEARD	CENTRANTHUS RUBER	CONT	1 GAL	AS SHOWN
SBP	42	PENSTEMON, SCARLET BUGLER	PENSTEMON BARBATUS	CONT	1 GAL	AS SHOWN
FS	38	SAGE, FRINGED	ARTEMISIA FRIGIDA	CONT	1 GAL	AS SHOWN
PS	89	SMOKE, PRAIRIE	CELIUM TRIFLORUM	CONT	1 GAL	AS SHOWN
TOTAL:	341					

1 LANDSCAPE- WEST ENLARGEMENT
SCALE: 1" = 20' - 0"

01 101 201 401

DATE	REVISIONS	COMMENTS
03-20-2015	1	CP CONC PAVING
04-20-2015	2	COMMENTS
04-20-2015	3	COMMENTS
04-20-2015	4	COMMENTS

**Anderson Mason Dale
Architects**
318 PETER BOLLINGER
DENVER, CO 80202
PH: 303.733.0044

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
LANDSCAPE PLAN**

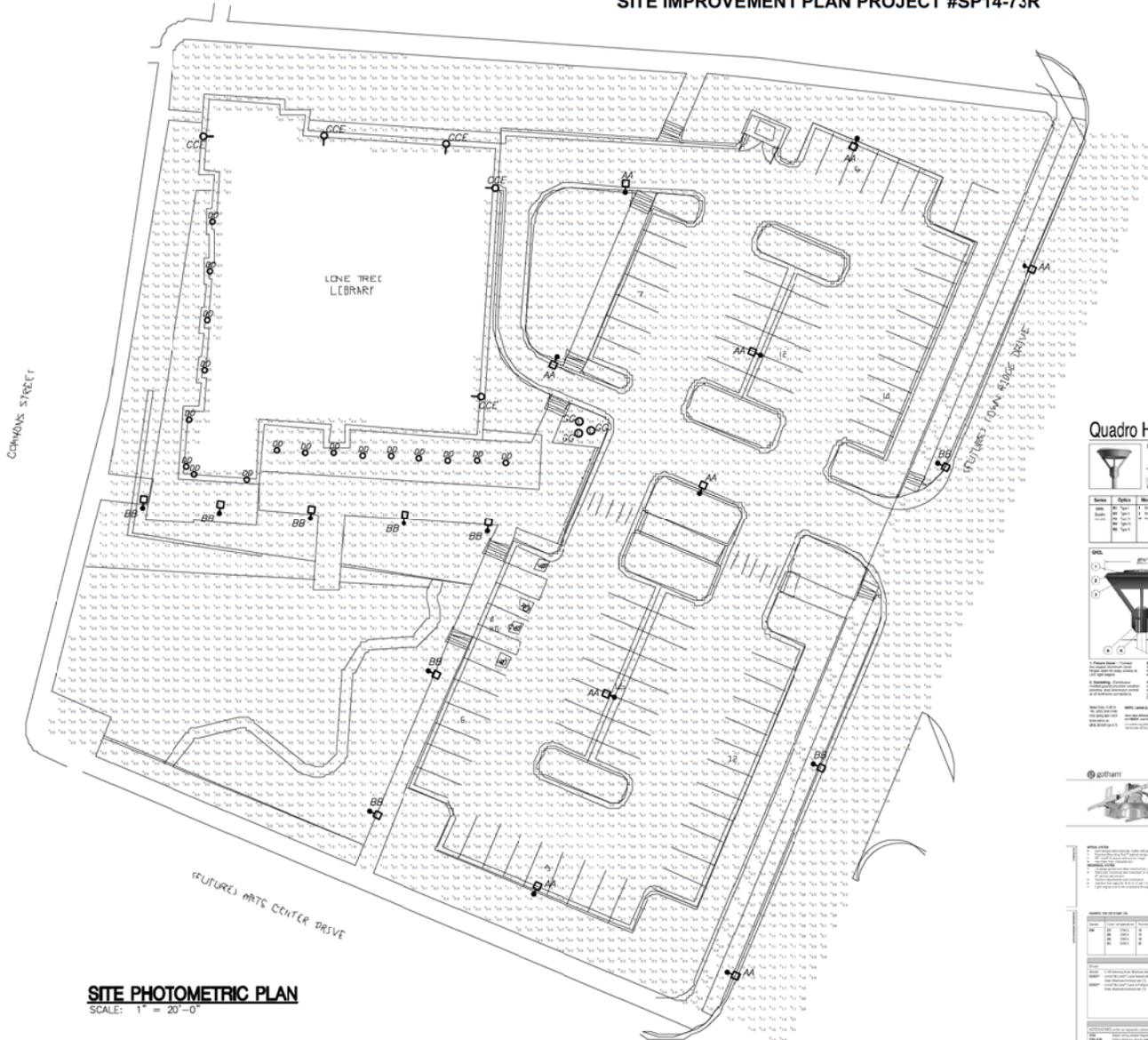


DRAWN BY: [Signature]
REVIEWED BY: [Signature]
APPROVED BY: [Signature]
DATE: 04-17-2015

SHEET NUMBER:

5 OF 9

RIDGEGATE SECTION 15, FILING 21, LOT 2A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 2
 2.376 ACRES
 SITE IMPROVEMENT PLAN PROJECT #SP14-73R



SITE PHOTOMETRIC PLAN
 SCALE: 1" = 20'-0"

AS1 LED Area Luminaire

Specifications

Item	Value
Model	AS1
Height	10.00
Beam Spread	120°
Light Output	10000 lumens
Power	100W
Life Span	50000 hours

Example: AS1 LED - 4x10x10' MOUNT TYPICAL

Item	Value
Area	400 sq ft
Height	10.00
Beam Spread	120°
Light Output	40000 lumens
Power	400W
Life Span	50000 hours

Quadro H2 LED selux

Specifications

Item	Value
Model	Quadro H2
Height	10.00
Beam Spread	120°
Light Output	10000 lumens
Power	100W
Life Span	50000 hours

Example: Quadro H2 LED - 4x10x10' MOUNT TYPICAL

Item	Value
Area	400 sq ft
Height	10.00
Beam Spread	120°
Light Output	40000 lumens
Power	400W
Life Span	50000 hours

Architectural Eggs

Specifications

Item	Value
Model	Architectural Eggs
Height	10.00
Beam Spread	120°
Light Output	10000 lumens
Power	100W
Life Span	50000 hours

Example: Architectural Eggs - 4x10x10' MOUNT TYPICAL

Item	Value
Area	400 sq ft
Height	10.00
Beam Spread	120°
Light Output	40000 lumens
Power	400W
Life Span	50000 hours

githorn

Specifications

Item	Value
Model	githorn
Height	10.00
Beam Spread	120°
Light Output	10000 lumens
Power	100W
Life Span	50000 hours

Example: githorn - 4x10x10' MOUNT TYPICAL

Item	Value
Area	400 sq ft
Height	10.00
Beam Spread	120°
Light Output	40000 lumens
Power	400W
Life Span	50000 hours

D-Series Size 2 LED Flood Luminaire

Specifications

Item	Value
Model	D-Series Size 2
Height	10.00
Beam Spread	120°
Light Output	10000 lumens
Power	100W
Life Span	50000 hours

Example: D-Series Size 2 LED - 4x10x10' MOUNT TYPICAL

Item	Value
Area	400 sq ft
Height	10.00
Beam Spread	120°
Light Output	40000 lumens
Power	400W
Life Span	50000 hours

DATE	REVISIONS	DRAWN BY
03-20-2015	COMMENT REVISION	
07-20-2015	COMMENT REVISION	
08-20-2015	COMMENT REVISION	
09-20-2015	COMMENT REVISION	

BCER engineering
 AndersonMasonDale Architects
 3118 SPIFFER BOULEVARD
 DENVER, CO 80202
 PHONE: 303.733.4848

DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
 PHOTOMETRIC PLAN

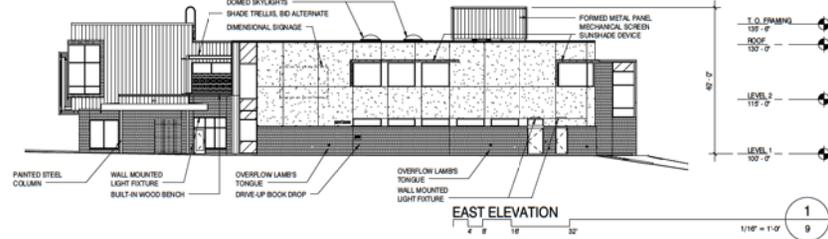
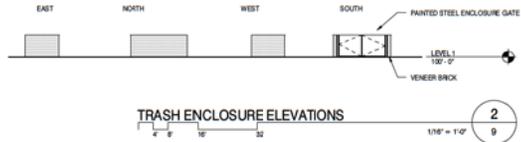
DRAWN BY: L.W.
 REVIEWED BY: ENH
 APPROVED BY: ENH
 DATE: 04-17-2015

SHEET NUMBER:
8 OF 9

**RIDGEGATE SECTION 15, FILING 21, LOT 2A
RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
2.376 ACRES
SITE IMPROVEMENT PLAN PROJECT SIP #SP14-73R**

LEGEND

	BRICK VENEER
	FORMED METAL PANEL
	GLASS
	PERFORATED CORRUGATED METAL SCREEN
	STUCCO WITH CONTROL JOINTS
	COMPOSITE METAL PANEL
	WOOD RAINSCREEN



DATE	REVISIONS	DRAWN BY
11-20-2015	COMMENTS RESP	MD

**AndersonMasonDale
Architects**
3705 SOUTH BOULEVARD
PHOENIX, AZ 85018
PHONE 303.291.9448

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
ELEVATIONS AND MATERIALS SCHEDULE**

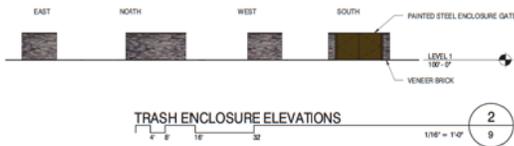
DRAWN BY: _____
APPROVED BY: _____
DATE: 04.17.2015

SHEET NUMBER:
9 OF 9

**RIDGEGATE SECTION 15, FILING 21, LOT 2A
 RIDGEGATE PLANNED DEVELOPMENT, PLANNING AREA 1
 2.376 ACRES
 SITE IMPROVEMENT PLAN PROJECT SIP #SP14-73R**

LEGEND

	BRICK VENEER
	FORMED METAL PANEL
	GLASS
	PERFORATED CORRUGATED METAL SCREEN
	STUCCO WITH CONTROL JOINTS
	COMPOSITE METAL PANEL
	WOOD RAINSCREEN
	ALUMINUM WINDOWS STRUCTURE PAINTED TO MATCH



DATE	REVISIONS	DRAWN BY
11/13/15	COMMENT RESP	MB
4/13/16	COMMENT RESP	MB
8/4/16	COMMENT RESP	MB

**AndersonMasonDale
 Architects**
 2188 SPUR BOULEVARD
 PHOENIX, AZ 85048
 PHONE: 303.254.4448

**DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
 ELEVATIONS AND MATERIALS SCHEDULE**

DRAWN BY: _____
 REVIEWED BY: _____
 APPROVED BY: _____
 DATE: 4-17-2015

SHEET NUMBER:
1 OF 1



SOUTHWEST CORNER

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**





SOUTH ELEVATION

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**





NORTHWEST CORNER

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**





SOUTHEAST CORNER

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**





NORTHEAST CORNER

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**





NORTH ELEVATION

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH**

SITE IMPROVEMENT PLAN PROJECT #SP14-73R



Integrated Construction Solutions

**AndersonMasonDale
Architects**

studiotrope
design collective

FRANSEN FP PITTMAN
GENERAL CONTRACTORS



BRICK BLEND

DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH

SITE IMPROVEMENT PLAN PROJECT #SP14-73R





WEST ELEVATION PERFORATED SCREEN

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**

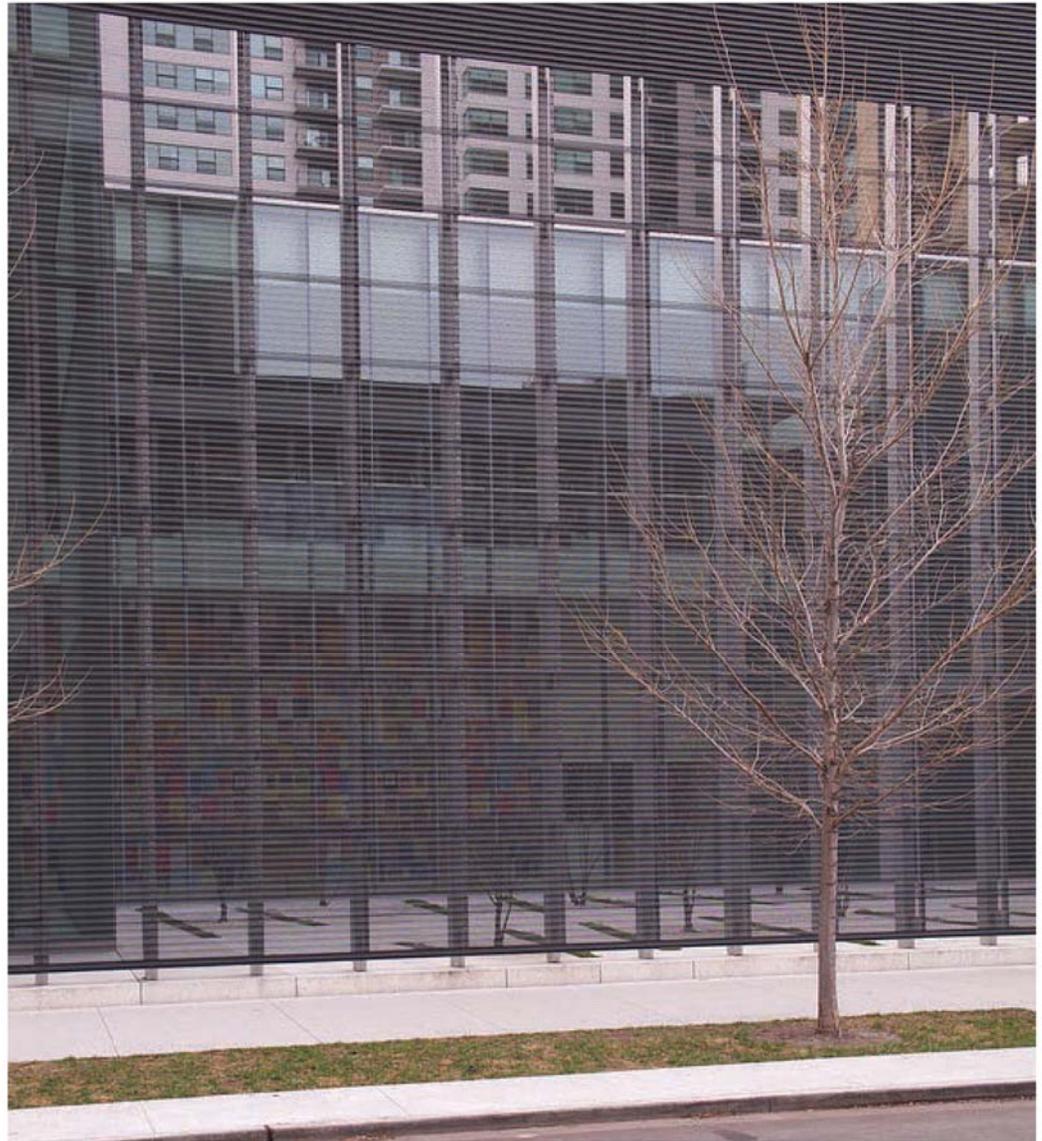




PERFORATED SCREEN DETAIL

**DOUGLAS COUNTY LIBRARIES
LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R**





PRECEDENT STUDY POETRY FOUNDATION - JOHN RONAN ARCHITECTS
 DOUGLAS COUNTY LIBRARIES
 LONE TREE BRANCH
SITE IMPROVEMENT PLAN PROJECT #SP14-73R





CITY OF LONE TREE

Project Summary

- Date:** May 19, 2015 City Council Meeting
- Project Name:** Sky Ridge Medical Center I-25 Monument Sign replacement
- Location:** The sign is located on the east side of the Sky Ridge Medical Center campus, along I-25.
- Project Type / #:** Sign Approval pursuant to the RidgeGate West Village Office District Sub-Area Plan Addendum 1.0 for I-25 Corridor signage.
- Staff Contacts:** Kelly First, Community Development Director
- Meeting Type:** Public Meeting
- Summary of Request:**
Approval of a new 40-foot tall monument sign for the Sky Ridge Medical Center.
- Planning Commission Recommendation:**
N/A
- Suggested Action:**
Approval of the proposed sign and landscape plan, subject to approval of a Building Permit. The applicant is responsible for ensuring that the sign complies with State of Colorado Rules pertaining to Roadside Advertising.



**CITY OF LONE TREE
STAFF REPORT**

TO: Mayor Gunning and City Council
FROM: Kelly First, Community Development Director
DATE: May 13, 2015
FOR: May 19, 2015 City Council Meeting
**SUBJECT: Sky Ridge Medical Center I-25 Monument Sign
Project SA15-38R**

Owner:
HCA Healthone LLC
PO BOX 80610
NDIANAPOLIS, IN 46280-0610

Representative:
Susan Hicks, CEO
Sky Ridge Medical Center
10101 RidgeGate Parkway
Lone Tree, CO 80124

City Council Meeting Date: May 19, 2015

A. REQUEST:

Approval of a new I-25 monument sign for the Sky Ridge Medical Center. The sign would replace the existing monument sign.

B. LOCATION:

The sign will be located on the east side of the campus, approximately 15 feet north of the existing sign. The sign will be setback 30 feet from the Colorado Department of Transportation (CDOT) right-of-way.

C. BACKGROUND:

On September 4, 2012, the City Council approved an application amending the RidgeGate Office District Sub-Area Plan for I-25 Corridor (west) signage. The approval allowed a total of four monument signs located along the west side of I-25 including the Charles Schwab Sign, the RidgeGate Commons/Cabela's sign, the Sky Ridge Medical Center sign and a placeholder for a future sign. At the time of the Sub-Area Plan amendment application, specific designs for the Charles Schwab and RidgeGate Commons/Cabela's signs were presented and approved. The Sub-Area Plan amendment approval provided that the location and design of the remaining two signs would be subject to City Council approval at a later date.

In 2014, the City contracted with a consulting team to develop a Community Sign Plan that would provide a comprehensive and coordinated approach to signage throughout the City, including a framework to guide freestanding signage in the I-25 and C-470 corridors. A series of stakeholder meetings were conducted and meetings between the Planning Commission and City Council were held to gather feedback. General guidelines and considerations were drafted as part of that process, which could set the stage for future sign regulations in the corridor, should the City wish to adopt such regulations in the future. In general, factors such as sign legibility, proportion, scale, location, context, materials, and colors should be evaluated, along with all building permit requirements.

D. DESCRIPTION:

Attached please find a letter from Sky Ridge Medical Center CEO, Susan Hicks, dated April 20, 2015, which describes the request, followed by a location map and specifications of the proposed sign. The proposed sign is 40 feet tall, while the existing sign is only about 12 feet tall. (By comparison, the I-25 RidgeGate Commons/Cabela's sign is also 40 feet tall and the I-25 Charles Schwab sign is 50 feet tall).

The proposed sign is oriented vertically. It consists of a brick base, aluminum sign fascia and four message panels. Materials and colors will match those used on the campus. The sign is internally illuminated.

Staff believes that the proposed Sky Ridge monument sign will be much more legible from I-25 than the current sign, which is only about 12 feet high. The scale of the proposed sign, message size and color contrast are appropriate given the distance of the sign from I-25 and speeds at which

vehicles travel when viewing the sign. The proposed sign height is proportionate to the scale of the buildings on the campus and the scale of the campus itself, and is similar to that of the other two existing signs along I-25. The materials and color used on the sign are coordinated with those used on campus.

A proposed landscape plan is also included for Council approval. The mix of evergreen trees, shrubs, grasses and rock should provide for appropriate heights and year-round interest at the sign.

E. REFERRALS:

As part of this process, the RidgeGate Design Review Committee reviewed the proposed sign and has issued their approval.

Additionally, a referral was sent to CDOT. CDOT responded by providing the state rules governing outdoor advertising in Colorado, and stated that the sign appears to comply with the rules.

F. STAFF FINDINGS AND RECOMMENDATION:

Staff recommends approval of the sign and associated landscaping, subject to approval of a Building Permit. The applicant is responsible for ensuring that the sign complies with State of Colorado Rules pertaining to Roadside Advertising.

END



April 20, 2015

Kelly First
Community Development Director
City of Lone Tree
9220 Kimmer Drive, Suite 100
Lone Tree, CO 80124

Dear Kelly:

As you know, Sky Ridge just completed its \$117 million expansion that has added 90 more beds, 4 more Operating Rooms in our Spine & Total Joint Center, a parking garage and beautiful, new Women's Hospital entrance. With this growth and expansion of key community services on our campus, our original sign on I-25 has become more difficult to see with not only our own construction but the addition of new neighbors. We want to ensure that anyone needing emergent care will be able to easily identify the hospital from I-25. This will be particularly important for community safety as we move to a Level II trauma center.

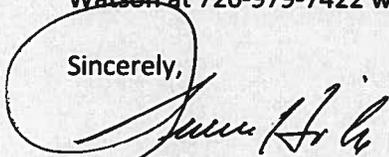
Here are a few key elements of the design plan presented to the City:

- Incorporates the current masonry, colors and fonts on our campus and uses an updated HealthONE (parent company) logo
- The sign design relates to the context of the highway because of its similar size and shape to existing signs within proximity to the Sky Ridge sign most notably Cabela's and Charles Schwab
- The scale and design of the proposed sign incorporate the City of Lone Tree's guidelines and were approved by the RidgeGate Design Review Committee to ensure that we maintain the aesthetics of our campus

Thank you for moving this project forward on our behalf. We believe we have created an aesthetically pleasing sign that complements the City of Lone Tree standards and yet provides a unique identify for Sky Ridge. We appreciate the long-standing partnership we have enjoyed with the City and strive to be a good corporate citizen.

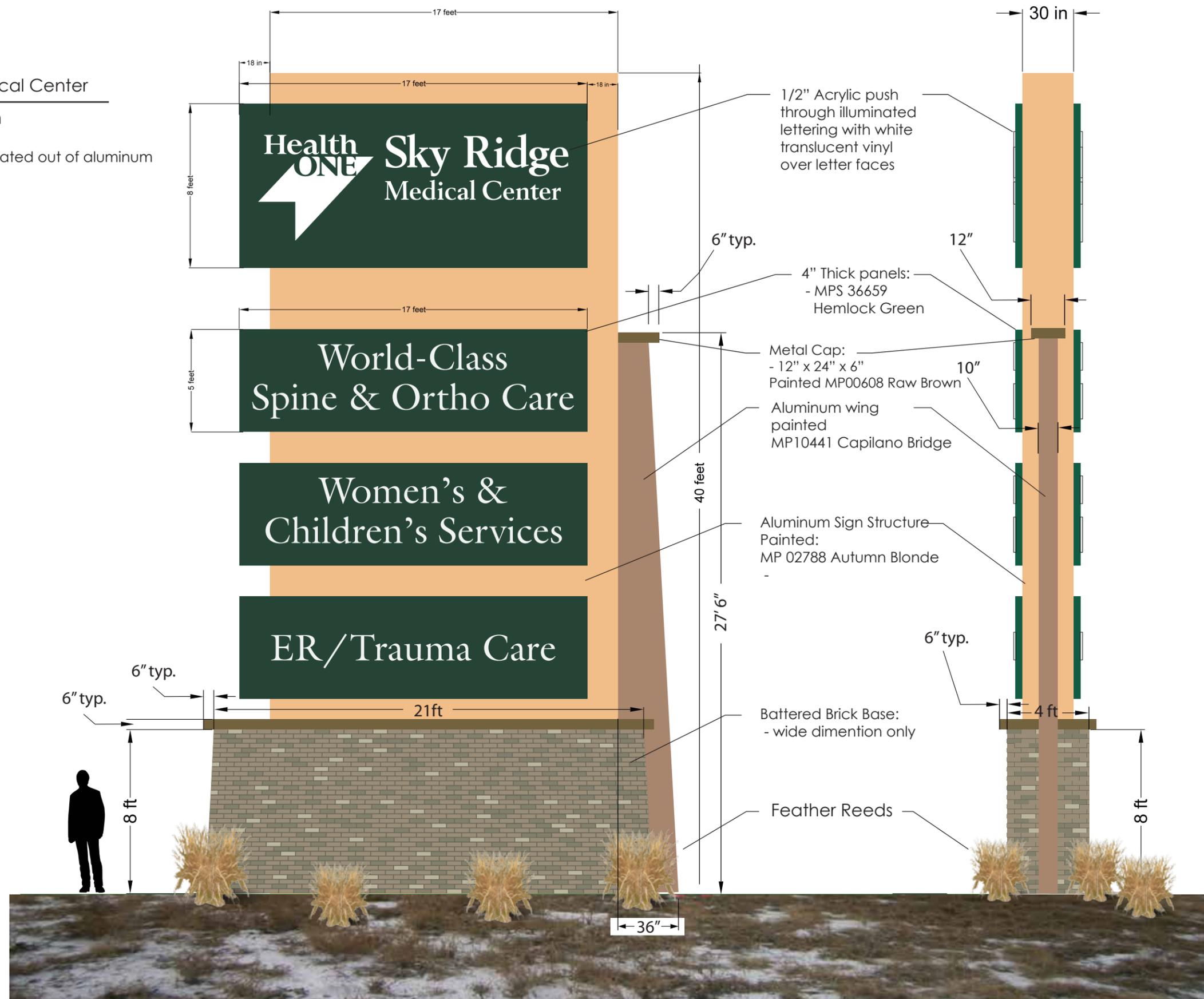
We look forward to presenting to the City Council very soon. Please call me at 720-225-1001 or Linda Watson at 720-979-7422 with any questions.

Sincerely,



Susan Hicks
CEO

- 1 Sky Ridge Medical Center Monument Sign
- Sign facia to be fabricated out of aluminum



1717 S. ACOMA ST. • DENVER, CO 80223
303-777-7771 • FAX 303-778-7175

DATE:
4/13/2015

PROJECT:
Sky Ridge Medical Center Monument Sign

CLIENT:
Sky Ridge Medical Center
10101 RidgeGate Parkway
Lone Tree, CO 80124

NOTES:

REVISION DATE/#:
rev 1 3/30/2015
rev 2 4/13/2015

- APPROVED FOR FABRICATION
- APPROVED AS NOTED
- REVISE AND RESUBMIT
- REJECTED
- NO EXCEPTIONS TAKEN

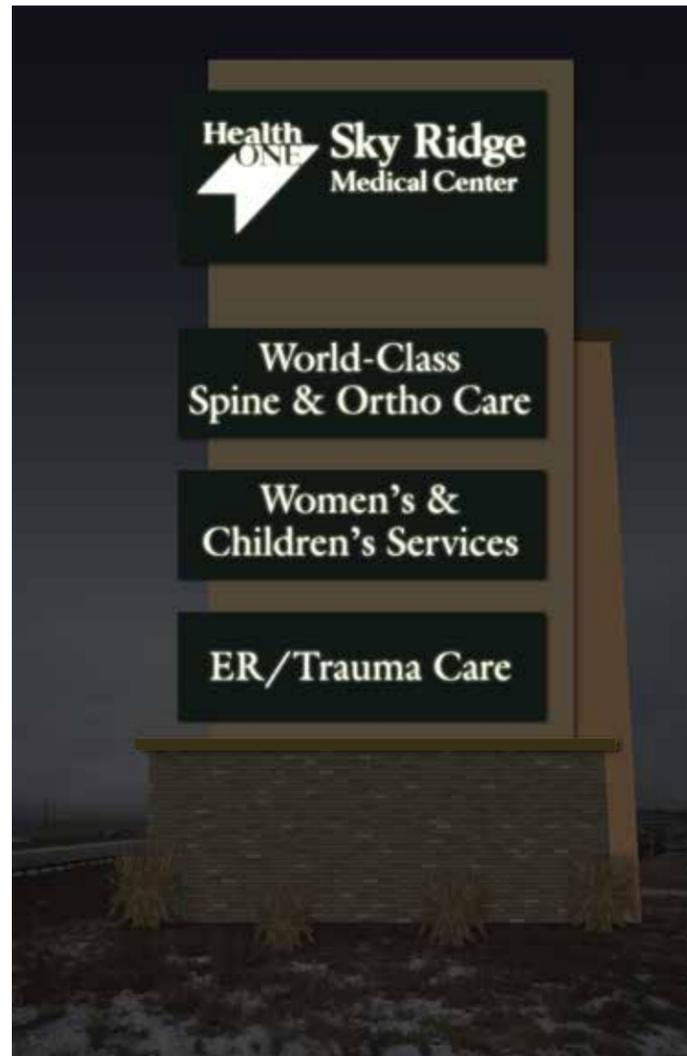
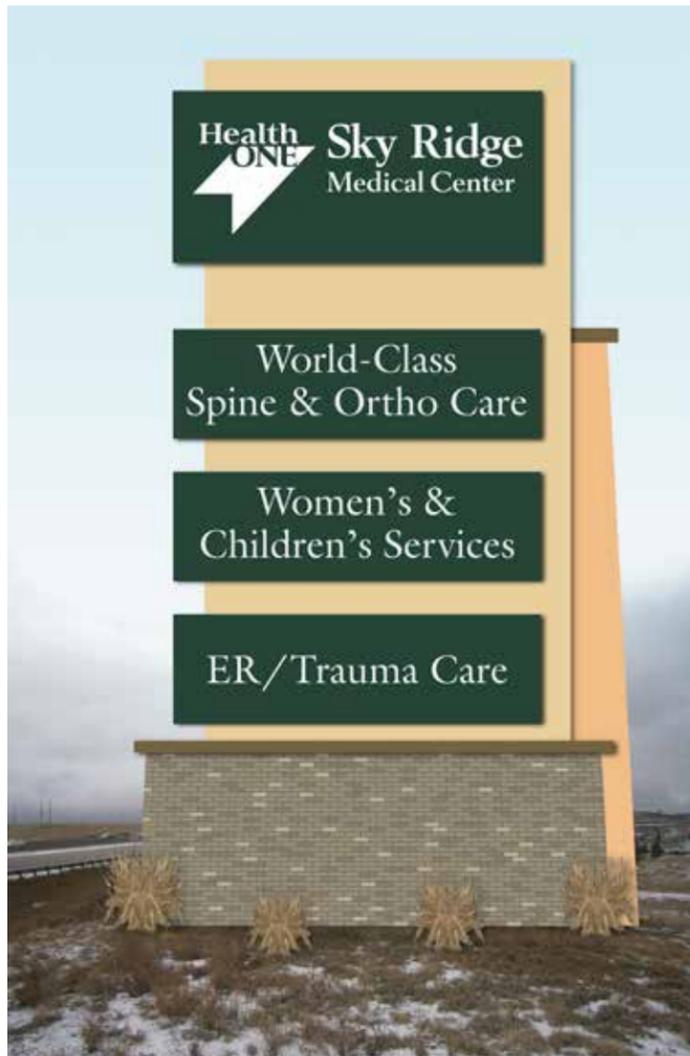
DATE:

NAME:

SIGNATURE:

ARTCRAFT SIGNS EXPRESSLY DISCLAIMS ANY WARRANTY OR REPRESENTATION OF ADA COMPLIANCE EITHER STATED OR IMPLIED AND DISCLAIMS ANY LIABILITY UNDER THE AMERICANS WITH DISABILITIES ACT. WARRANTY: ONE (1) YEAR FOR WORKMANSHIP AND MATERIAL WITH EXCEPTION TO ALL ELECTRICAL WORK, WHICH IS (90) DAYS, APPLIES TO NEW WORK ONLY. WE PROPOSE TO FURNISH MATERIAL AND LABOR, COMPLETE, IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS, FOR THE SUM OR SUMS AS NOTED ABOVE. THE PURCHASER AGREES TO PAY COLLECTION COST AND ATTORNEY FEES IF PLACED FOR COLLECTION. ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED, ALL WORK WILL BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES. NO CHANGE OR MODIFICATION OF THE PROPOSAL SHALL BE MADE UNLESS IT IS DONE IN WRITING AND WITH MUTUAL CONSENT OF ALL PARTIES INVOLVED. ALL AGREEMENTS CONTINGENT UPON STRIKE, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKER'S COMPENSATION INSURANCE. THERE ARE NO WARRANTIES EITHER EXPRESS OR IMPLIED OTHER THEN THOSE SPECIFICALLY STATED IN THE AGREEMENT. PHOTO MOCK-UPS MAY NOT BE ACCURATE.

© This design is the exclusive property of Artcraft Signs and cannot be reproduced either in whole or in part without their consent.
Page 95 of 107



Simulated Night Mock



Simulated Distance Night Mock



Original Monument Sign

1 Sky Ridge Medical Center
Monument Sign



1717 S. ACOMA ST. • DENVER, CO 80223
303-777-7771 • FAX 303-778-7175

DATE:
4/13/2015

PROJECT:
Sky Ridge Medical Center
Monument Sign

CLIENT:
Sky Ridge Medical Center
10101 RidgeGate Parkway
Lone Tree, CO 80124

NOTES:

REVISION DATE/#:
rev 1 3/30/2015
rev 2 4/13/2015

- APPROVED FOR FABRICATION
- APPROVED AS NOTED
- REVISE AND RESUBMIT
- REJECTED
- NO EXCEPTIONS TAKEN

DATE:

NAME:

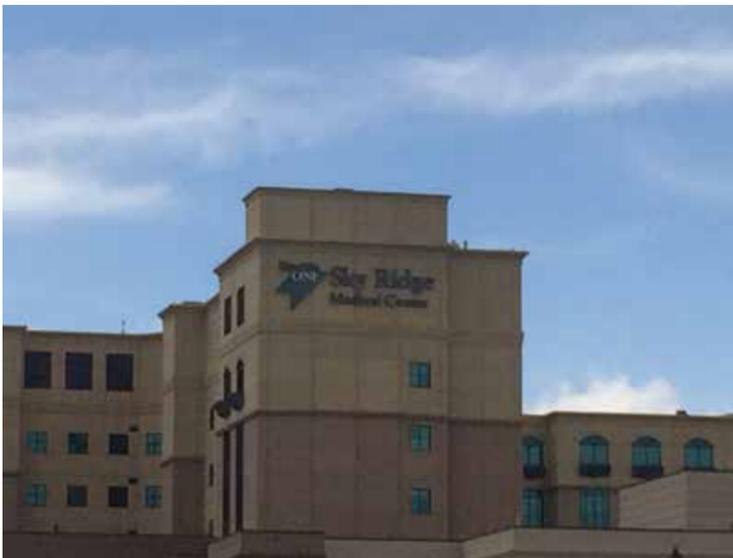
SIGNATURE:



The sign colors to match as close as possible to parking garage located in the area.

Wing color to match as close as possible

Aluminum Sturcture to match as close as possible



Hemlock Green Wall Sign



Hemlock Green parking signs located throughout parking lot.



Masonry to match as close as possible to Sky Ridge Medical Center standards



1717 S. ACOMA ST. • DENVER, CO 80223
303-777-7771 • FAX 303-778-7175

DATE:
3/27/2015

PROJECT:
Sky Ridge Medical Center
Monument Sign

CLIENT:
Sky Ridge Medical Center
10101 RidgeGate Parkway
Lone Tree, CO 80124

NOTES:

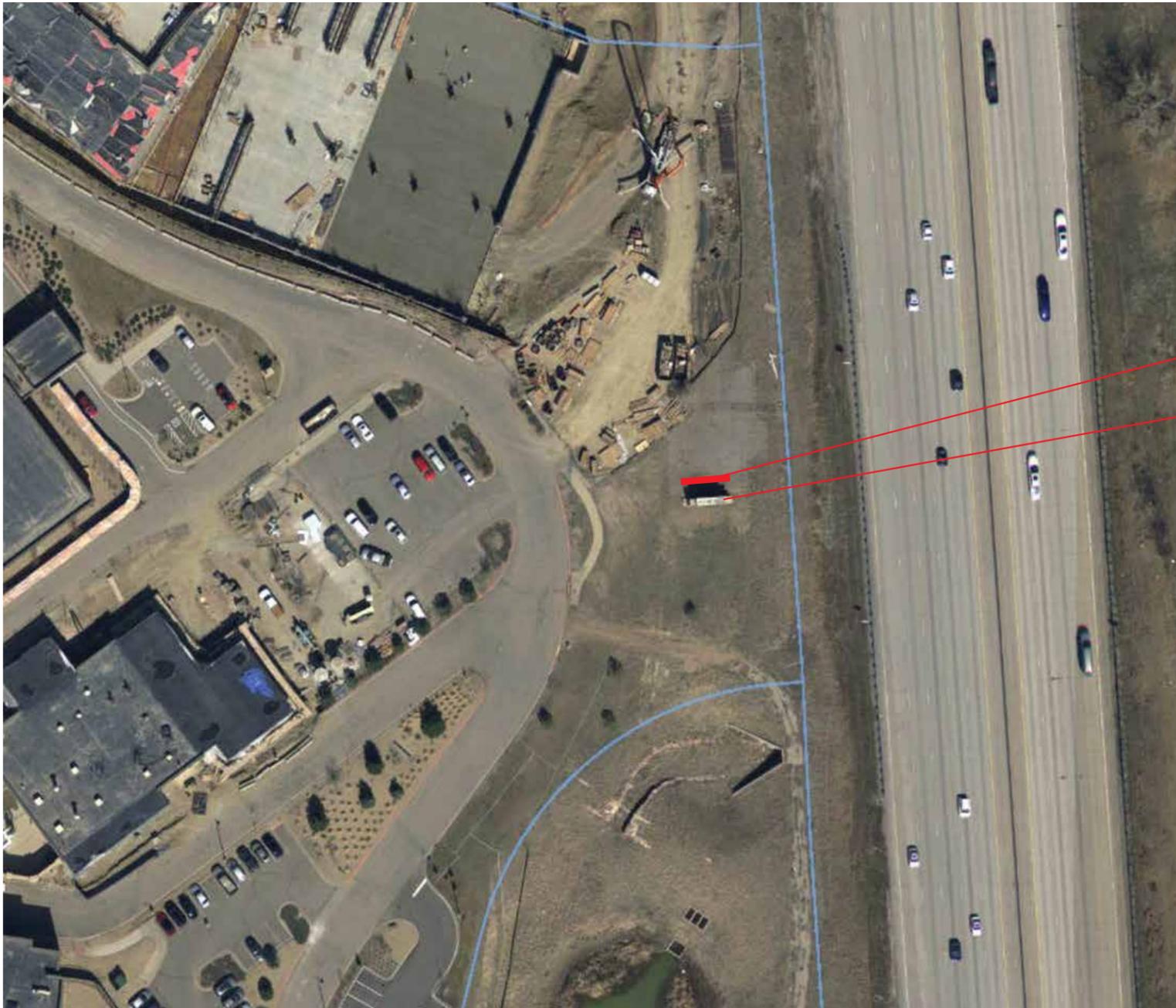
REVISION DATE/#:

- APPROVED FOR FABRICATION
- APPROVED AS NOTED
- REVISE AND RESUBMIT
- REJECTED
- NO EXCEPTIONS TAKEN

DATE:

NAME:

SIGNATURE:



Sign to be loated approximately 15' north of the existing sign and 30' setback from CDOT right of way. New sign to have the same set backs as existing sign.

Existing sign to be removed



1717 S. ACOMA ST. • DENVER, CO 80223
303-777-7771 • FAX 303-778-7175

DATE:
3/27/2015

PROJECT:
Sky Ridge Medical Center
Monument Sign

CLIENT:
Sky Ridge Medical Center
10101 RidgeGate Parkway
Lone Tree, CO 80124

NOTES:

REVISION DATE/#:

- APPROVED FOR FABRICATION
- APPROVED AS NOTED
- REVISE AND RESUBMIT
- REJECTED
- NO EXCEPTIONS TAKEN

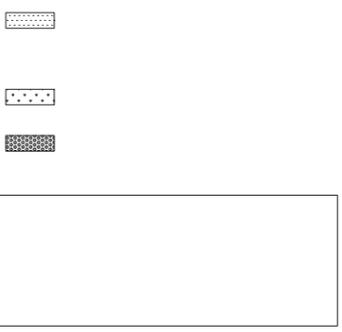
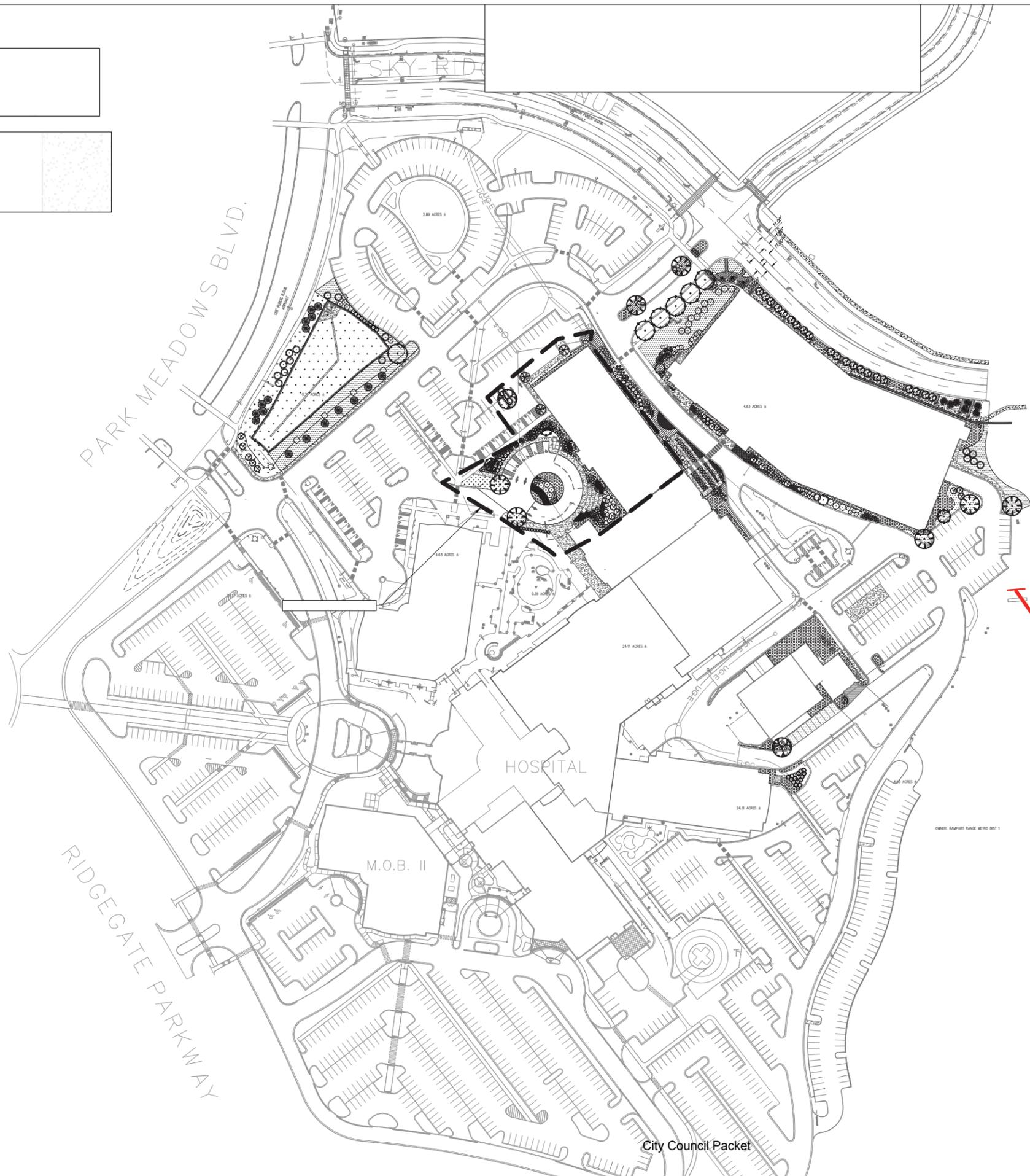
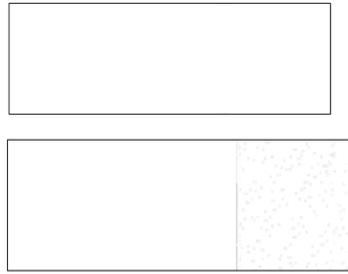
DATE:

NAME:

SIGNATURE:

ARTCRAFT SIGNS EXPRESSLY DISCLAIMS ANY WARRANTY OR REPRESENTATION OF ADA COMPLIANCE EITHER STATED OR IMPLIED AND DISCLAIMS ANY LIABILITY UNDER THE AMERICANS WITH DISABILITIES ACT. WARRANTY: ONE (1) YEAR FOR WORKMANSHIP AND MATERIAL WITH EXCEPTION TO ALL ELECTRICAL WORK, WHICH IS (90) DAYS, APPLIES TO NEW WORK ONLY. WE PROPOSE TO FURNISH MATERIAL AND LABOR, COMPLETE, IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS, FOR THE SUM OR SUMS AS NOTED ABOVE. THE PURCHASER AGREES TO PAY COLLECTION COST AND ATTORNEY FEES IF PLACED FOR COLLECTION. ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED, ALL WORK WILL BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES. NO CHANGE OR MODIFICATION OF THE PROPOSAL SHALL BE MADE UNLESS IT IS DONE IN WRITING AND WITH MUTUAL CONSENT OF ALL PARTIES INVOLVED. ALL AGREEMENTS CONTINGENT UPON STRIKE, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKER'S COMPENSATION INSURANCE. THERE ARE NO WARRANTIES EITHER EXPRESS OR IMPLIED OTHER THEN THOSE SPECIFICALLY STATED IN THE AGREEMENT. PHOTO MOCK-UPS MAY NOT BE ACCURATE TO SCALE.

05/19/15



Location of sign



Design Services
For The Built
Environment

- Atlanta
- Birmingham
- Cincinnati
- Columbus
- Dallas
- Fort Lauderdale
- Jackson
- Jacksonville
- Knoxville
- Louisville
- Memphis
- Nashville
- Richmond
- Tampa

**GRESHAM
SMITH AND
PARTNERS**
1400 Nashville City Center
511 Union Street
Nashville, TN 37219
615.770.8100
WWW.GSPNET.COM

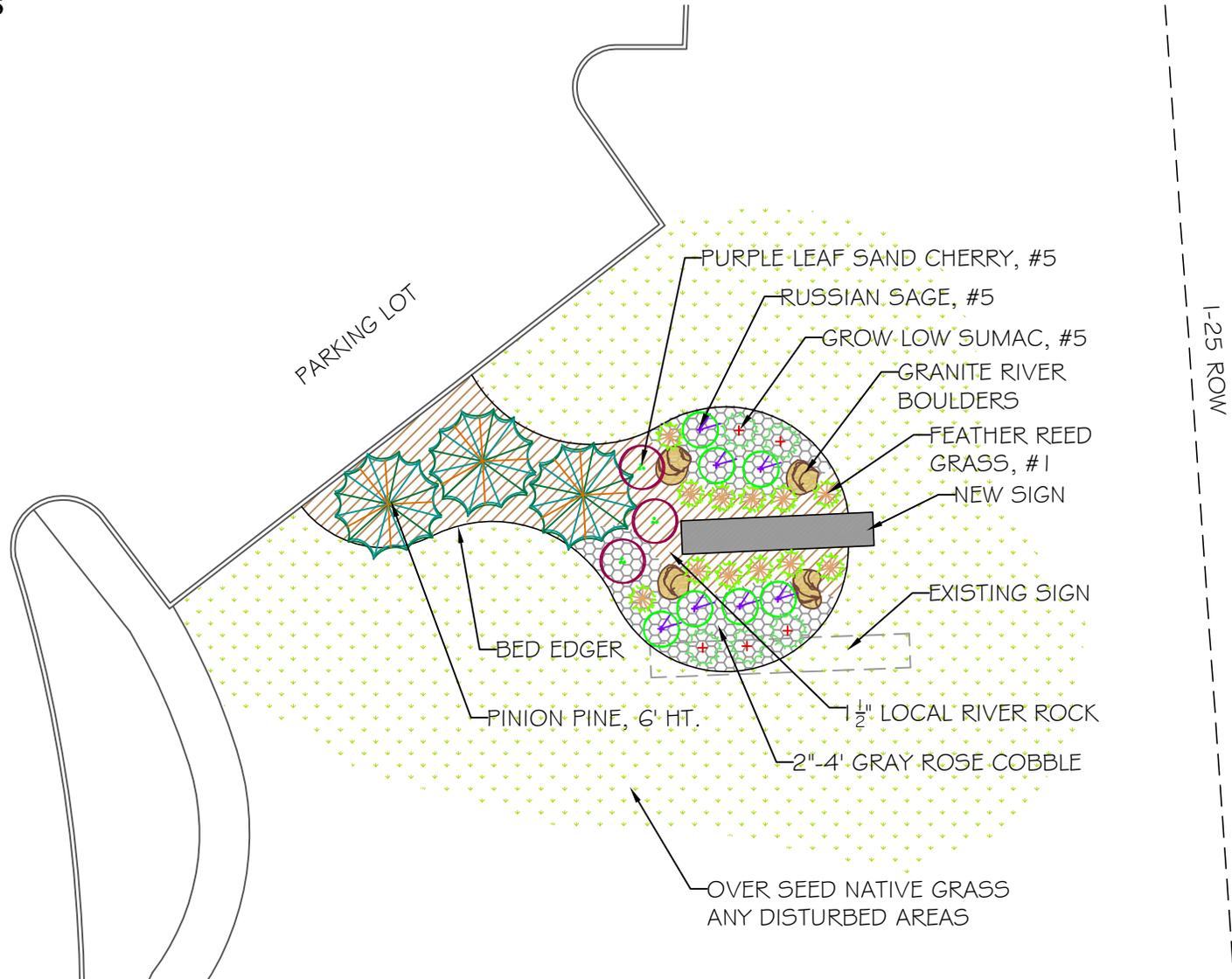


No.	Date	Revision

SKY RIDGE

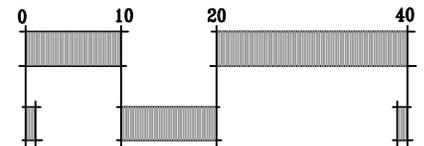
I-25 MONUMENT SIGN

5-11-15



BRICKMAN

Landscape Architects/Contractors/Horticultural Services
303-928-7881
03/19/15



SCALE 1"=20'



April 20, 2015

Ryan Schultz
Sales Executive
Artcraft Signs
1717 S. Acoma St
Denver, CO 80223

RE: RidgeGate Design Review Committee – Sky Ridge Medical Center Sign

Dear Ryan:

The RidgeGate Commercial Design Review Committee (DRC) has reviewed the sign proposal materials for the Sky Ridge Medical Center signage adjacent to I-25. The DRC supports the project as last modified and presented.

This correspondence serves as formal approval of the project by the RidgeGate Commercial Design Review Committee.

Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

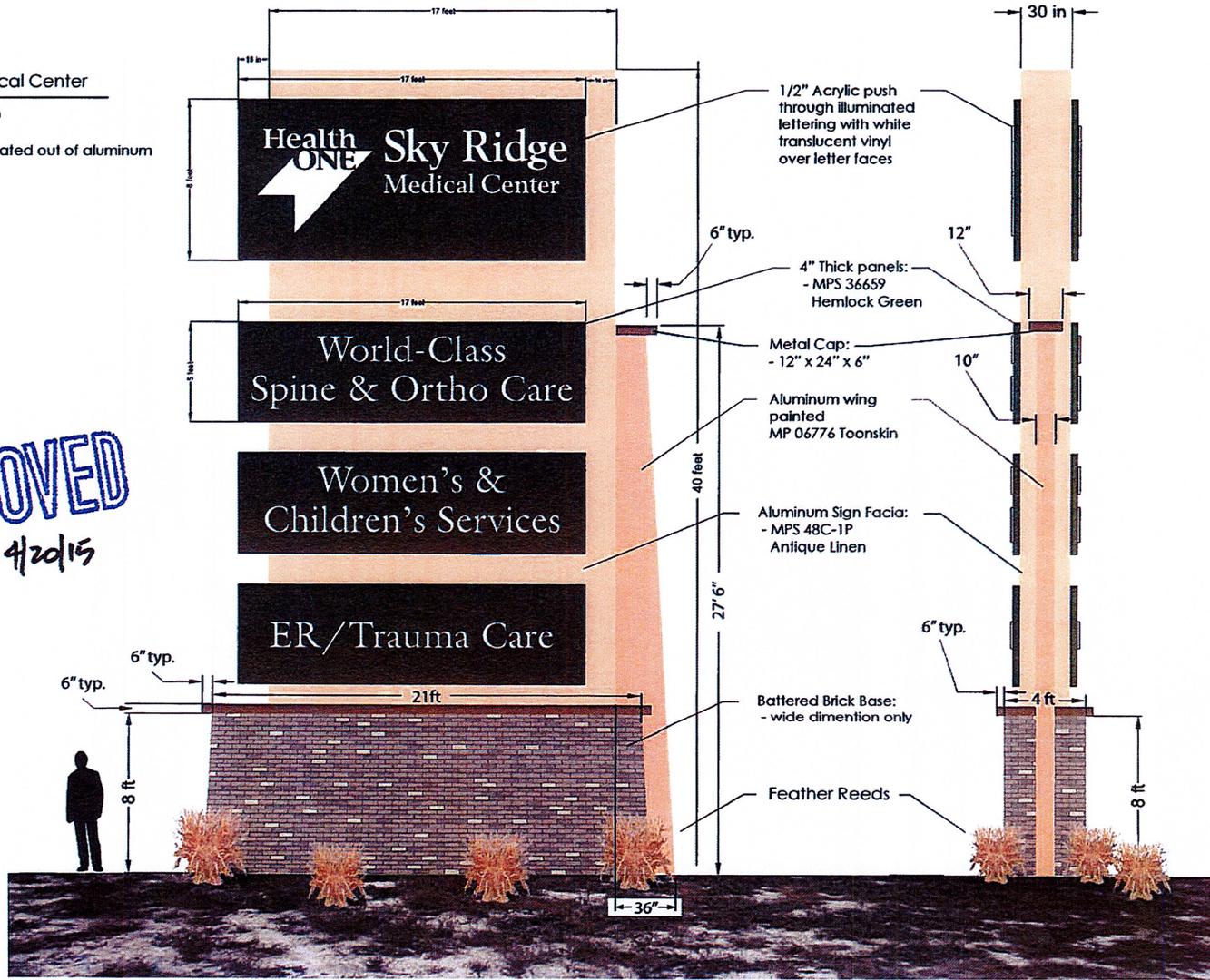


Darryl Jones
DRC Administrator

cc: Kelly First, City of Lone Tree
File

- 1 Sky Ridge Medical Center Monument Sign
- Sign facia to be fabricated out of aluminum

APPROVED
4/20/15



 1717 S. ACOMA ST. • DENVER, CO 80223 303-777-7771 • FAX 303-778-7175	
DATE:	4/13/2015
PROJECT:	Sky Ridge Medical Center Monument Sign
CLIENT:	Sky Ridge Medical Center 10101 RidgeGate Parkway Lone Tree, CO 80124
NOTES:	
REVISION DATE/#:	rev 1 3/30/2015 rev 2 4/13/2015
<input type="checkbox"/> APPROVED FOR FABRICATION <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> REVISE AND RESUBMIT <input type="checkbox"/> REJECTED <input type="checkbox"/> NO EXCEPTIONS TAKEN	
DATE:	
NAME:	
SIGNATURE:	
© This design is the exclusive property of Artcraft Signs and cannot be reproduced either in whole or in part without their consent.	

ARTCRAFT SIGNS EXPRESSLY DISCLAIMS ANY WARRANTY OR REPRESENTATION OF ADA COMPLIANCE EITHER STATED OR IMPLIED AND DISCLAIMS ANY LIABILITY UNDER THE AMERICANS WITH DISABILITIES ACT WARRANTY, ONE (1) YEAR FOR WORKMANSHIP AND MATERIAL WITH EXCEPTION TO ALL ELECTRICAL WORK, WHICH IS 90 DAYS, APPLIES TO NEW WORK ONLY. WE PROPOSE TO FINISH MATERIAL AND LABOR COMPLETE IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS. FOR THE SUB OR SUBS AS NOTED ABOVE, THE PURCHASER AGREES TO PAY COLLECTION COST AND ATTORNEY FEES IF PLACED FOR COLLECTION. ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED. ALL WORK WILL BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES. NO CHANGE OF MODIFICATION OF THE PROPOSAL SHALL BE MADE UNLESS IT IS DONE IN WRITING AND WITH THE MUTUAL CONSENT OF ALL PARTIES INVOLVED. ALL AGREEMENTS CONTINGENT UPON SITE. ACCIDENTS OR DELAYS BEYOND OUR CONTROL, OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKER'S COMPENSATION INSURANCE. THERE ARE NO WARRANTIES EITHER EXPRESS OR IMPLIED OTHER THAN THOSE SPECIFICALLY STATED IN THE AGREEMENT. PHOTO MOCKUPS MAY NOT BE ACCURATE TO SCALE.

Kelly First

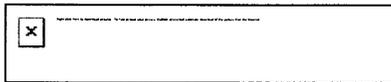
From: Kemper, Brandi <brandi.kemper@state.co.us>
Sent: Tuesday, May 12, 2015 2:25 PM
To: Kelly First; Kirk Allen - CDOT; Mat Flores - CDOT
Subject: Re: Lone Tree Sign Referral Request SA15-38R

Kelly,

Based on the 2-CCR 601-3 Rules Governing Outdoor Advertising in Colorado, the plans submitted on 4/28/15 with a revision date of 4/15/15 appear to comply with rules regarding On-Premise signage.

Thank You,

Brandi Kemper
Outdoor Advertising Control Inspector
Region 1 Permits Unit



P: [303.757.9938](tel:303.757.9938) | F: [303.757.9886](tel:303.757.9886)
2000 S. Holly Street, Denver, CO 80222
brandi.kemper@state.co.us | www.coloradodot.info | www.cotrip.org

On Mon, May 11, 2015 at 4:54 PM, Kelly First <Kelly.First@cityoflonetree.com> wrote:

Brandi,

Based on the referral information we sent, is this sign in conformance with the rules?

Thank you,

Kelly

5/11/15

Sky Ridge Medical Center comments for Outdoor Advertising.

All signing advertising to Interstate 25 must be in compliance with the State of Colorado Rules pertaining to Roadside Advertising, all signing must be On-Premise in nature and cannot be either wholly or partly in state highway ROW. Please see below for rules relating to On-Premise signage.

6.02 On-Premise Signs

[23 U.S.C. 131(c) and (j); 23 C.F.R. 750.704(a); 23 C.F.R. 750.105, 23 C.F.R. 750.108, and 23 C.F.R. 750.709(d)]

A. Authority. This section of the Rules pertains to On-Premise Signs located outside of 50 feet from the advertised or principal activity and Visible from the Main Travelled Way of the State Highway System.

1. Size

a. On-Premise Signs which are located outside of 50 feet from the advertised or principal activity shall not exceed 20 feet in length, width or height, or 150 square feet in area, including border and trim, but excluding supports. [23 C.F.R. 750.108(g)].

b. No Sign may attempt or appear to attempt to direct the movement of traffic or interfere with, imitate or resemble any official traffic sign, signal or device.

c. No Sign may prevent the driver of a vehicle from having a clear and unobstructed view of Official Signs and approaching or merging traffic.

d. No Sign may be erected or maintained upon trees or painted or drawn upon rocks or other natural features.

e. No On-Premise Sign may be erected in an area across a public or private roadway from the Property where the business is conducted unless the purpose of the public or private roadway is for the exclusive use of a Comprehensive Development.

2. Lighting

a. On-Premise Signs shall comply with the lighting requirements of § 43-1-404(1)(f)(I), C.R.S.; however, for purposes of spacing, On-Premise Signs shall not be counted within the 1,000 feet limitation for Off-Premise Signs.

b. No Sign may contain, include, or be illuminated by any flashing, intermittent or moving light or lights.

c. No lighting may be used in any way in connection with any Sign unless it is so effectively shielded as to prevent beams or rays of light from being directed at any portion of the Main-Traveled Way of the State Highway System or is of such low intensity or brilliance as not to cause glare or to impair the vision of the driver of any motor vehicle, or to otherwise interfere with any driver's operation of a motor vehicle.

d. No On-Premise Sign may move or have any animated or moving parts.

B. An On-Premise Sign must be located upon the same Property as the activity advertised. An On-Premise Sign may:

1. Advertise the principal or primary activities, goods or services available upon the premises;
2. Identify the property upon which the Sign is located;
3. Advertise the property upon which the Sign is located for sale or lease;
4. When located within a Comprehensive Development, advertise activities conducted within the Comprehensive Development;
5. Direct the traveling public to the closest entrance to the premises located upon the property;
6. Include non-Commercial Advertising devices (ex. religious, social or political commentaries) erected by the owner or lessee of property.

C. Where the Sign site is located at or near the end of a narrow strip contiguous to the advertised activity, the Sign site shall not be considered part of the Premises on which the activity being advertised is conducted when the purpose is clearly to circumvent 23 U.S.C. 131(j). *See* 23 C.F.R. 750.709(3).

D. An On-Premise Sign does not include:

1. A Sign that advertises activities, goods, or services not available upon the property.
2. A Sign that consists principally of brand name or trade name advertising of a product or service which is only incidental to the principal activity conducted upon the premises.
3. A Sign which brings in rental income to the premise/property and /or Sign owner. [23 C.F.R. 750.709]

E. On-Premise Signs that Identify the Property upon which They Are Located.

1. An On-Premise Sign identifying the property upon which it is located shall contain only the:
 - a. Name of the property,
 - b. Type of property,
 - c. Logo, and/or
 - d. Name of the owner of the property.
2. Such Signs may also direct the traveling public to the closest entrance to the premises.
3. On-Premise Signs directing the travelling public to the closest entrance to the premises are limited to two Signs Visible to traffic proceeding in any one direction if the highway frontage of the property is less than one mile in length.
4. If the highway frontage of the property is more than one mile in length, one Sign Visible to traffic proceeding in any one direction per mile is allowed.
5. The purpose of such Signs shall not be to advertise specific goods or services available upon the premises.

F. On-Premise Signs that Advertise the Primary Activities, Goods or Services Conducted on the Premises which are located outside of 50 feet from the activity shall not exceed 20 feet in length, width or height, or 150 square feet in area, including border and trim, but excluding supports. [23 C.F.R. 750.108(g)]

G. On-Premise Signs that Advertise the Sale or Lease of the Property upon which the Sign is Located.

1. An On-Premise Sign that advertises the sale or lease of the property may not contain any product or service other than the logo and/or name, type of real property, address, and contact information of the party offering the property for sale or lease.
2. Real property offered for sale or lease must only be for the uses of record for zoned or platted areas.
3. On-Premise Signs advertising the sale or lease of the property are limited to one Sign Visible to traffic proceeding in any one direction less than one mile apart.
4. On-Premise Signs advertising the sale or lease of the property may be no larger than 96 square feet including border and trim, but excluding supports.
5. Not more than one such Sign advertising the sale or lease of the same property may be allowed in such manner as to be visible to traffic proceeding in any one direction on any one Interstate Highway. [23 C.F.R. 750. 105(a)].

H. On-Premise Signs – Non-Commercial.

1. Non-commercial Signs are limited to two Signs visible to traffic proceeding in any one direction if the highway frontage of the property upon which the premises is located is less than one mile in length.
2. If the highway frontage of the property upon which the premises is located is more than one mile in length, one non-commercial Sign visible to traffic proceeding in any one direction per mile is allowable.

I. A property owner who has an On-Premise Sign that was in existence upon the property on the effective date of these Rules and who could have reasonably believed such advertising device was on premise under prior rules shall be allowed one year from the effective date of the Rules to bring such advertising device into compliance with these Rules.

J. Measurement of On-Premise Signs

1. These Rules do not apply to On-Premise Signs located within 50 feet of the principal activity.
2. When the advertised activity is a business, is commercial, or concerns industrial land use, the 50-foot distance shall be measured from the regularly used buildings, parking lots, storage or processing areas, or other structures which are essential and customary to the conduct of the business. The distance shall not be measured from driveways, fences, or similar facilities.
3. When the advertised activity is a non-commercial or non-industrial land use such as a residence, farm, or orchard, the 50-foot distance shall be measured from the major structures on the Property.

4. A Sign that is located within 50 feet of the premises and advertises the primary activities, goods and services available upon the premises is an On-Premise Sign unless the land upon which the Sign is located is used for, or devoted to, a separate purpose unrelated to the principal activity advertised. For example, land adjacent to or adjoining a service station, but devoted to raising of crops, residence, or farmstead uses or other commercial or industrial uses having no direct relationship to the service station activity is a separate purpose unrelated to the principal activity advertised.

K. Obsolescence of On-Premise Signs

1. Upon the termination or cessation for one consecutive year of the activities, services or products advertised by an On-Premise Sign, the Sign advertising the activity shall no longer qualify as an On-Premise Sign and shall be deemed illegal and subject to removal by the Department at the expense of the Sign owner.

L. On-Premise Signs – Right-of-Way Encroachment

1. On-Premise Signs shall be allowed to extend over existing right-of-way and future rights-of-way of any State Highway if:

- a. The Sign is attached to and extends from a building and only advertises activities or services offered in that building;
- b. The building and attached Sign is adjacent to the State Highway within a city, city and county, or incorporated town having authority over the State Highway pursuant to § 43-2-135, C.R.S.;
- c. The Sign does not restrict pedestrian traffic and is not a safety hazard to the motoring public; and
- d. Before erecting the Sign, the owner has obtained written permission from the city, city and county or incorporated town. [§ 43-1-421, C.R.S.]

2. No On-Premise Sign may encroach over an Interstate right-of-way nor any portion of a roadway.

Please contact me with any questions.

Brandi Kemper
CDOT Region 1 Outdoor Advertising Coordinator
303-757-9938
Brandi.kemper@state.co.us