

LONE TREE TOWN CENTER PLANNED DEVELOPMENT

A PART of the S/2 of SECTIONS 4 and 5 / TOWNSHIP 6 / RANGE 66 WEST of the 6TH P.M. / CITY of LONE TREE / COUNTY of DOUGLAS / COLORADO / 28.2714 Acres - 11 Commercial Lots

GENERAL PROVISIONS.

AUTHORITY

THIS DEVELOPMENT PLAN IS AUTHORIZED BY SECTION 15 - PLANNED DEVELOPMENT DISTRICT OF THE LONE TREE ZONING ORDINANCE ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972.

APPLICABILITY

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING DIRECTOR OR CITY COUNCIL.

ADOPTION

THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISION OF THE CITY OF LONE TREE CITY COUNCIL THAT THIS DEVELOPMENT PLAN FOR LONE TREE TOWN CENTER IS IN GENERAL CONFORMITY WITH THE CITY OF LONE TREE COMPREHENSIVE PLAN, IS AUTHORIZED BY THE PROVISIONS OF SECTION 15 OF THE CITY OF LONE TREE ZONING ORDINANCE, AND THAT SUCH SECTION 15 AND THIS DEVELOPMENT PLAN COMPLY WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO CITY REGULATIONS

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE LONE TREE TOWN CENTER DEVELOPMENT, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE CITY OF LONE TREE ZONING ORDINANCE, AS AMENDED, OR ANY OTHER APPLICABLE ORDINANCES OR REGULATIONS OF THE CITY OF LONE TREE, SHALL BE APPLICABLE.

ENFORCEMENT

TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PLANNED DEVELOPMENT AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THE PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF THE LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF THE CITY OF LONE TREE AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE CITY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT

WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN UNLESS DETERMINED OTHERWISE BY THE DIRECTOR OF PLANNING AND DEVELOPMENT.

MAXIMUM LEVEL OF DEVELOPMENT

THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY APPROVED FOR DEVELOPMENT WITHIN THE PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS APPROVED DENSITY TRANSFERS, IF ANY). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT FOR COMMERCIAL, BUSINESS, OR INDUSTRIAL PROPERTIES MAY BE LESS DUE TO SUBDIVISION OR SITE IMPROVEMENT PLAN REQUIREMENTS OR OTHER REQUIREMENTS OF THE CITY COUNCIL.

PROJECT TRACKING

AT THE TIME OF SUBDIVISION FINAL PLAT, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, ALONG WITH THE FINAL PLAT SUBMITTAL TO THE PLANNING DIVISION, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

STATEMENT OF COMMITMENTS

THE DEVELOPER AND/OR HIS HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE FOLLOWING DEVELOPMENT COMMITMENTS:

- DEDICATION
ALL PUBLIC DEDICATIONS HAVE BEEN SATISFIED BY PREVIOUS PLAT APPROVAL.
- ON- OR OFF-SITE IMPROVEMENTS
THIS DEVELOPMENT MAY BE REQUIRED TO PARTICIPATE IN THE FOLLOWING PUBLIC IMPROVEMENTS, AS DETERMINED BY THE CITY OF LONE TREE:
 - INTERSECTION OF PARK MEADOWS DRIVE AND ACRES GREEN DRIVE (SIGNAL AND INTERSECTION RECONSTRUCTION.) THE DEVELOPER MUST PROVIDE TO THE CITY, TO BE PLACED IN ESCROW, TO BE DETERMINED PRO RATA SHARE FOR THE RECONSTRUCTION IMPROVEMENTS OF THE PARK MEADOWS DRIVE/ACRES GREEN DRIVE INTERSECTION, AS DETERMINED BY THE CITY OR OTHERWISE AGREED UPON.
 - MEDIAN IMPROVEMENTS IN QUEBEC (FROM PROPOSED FULL INTERSECTION W/ SIGNAL IN QUEBEC STREET TO PARK MEADOWS DRIVE.) THE DEVELOPER MUST FUND AND CONSTRUCT ITS PRO RATA SHARE OF ALL REQUIRED ROADWAY AND ANCILLARY IMPROVEMENTS ALONG QUEBEC STREET PRIOR TO ISSUANCE OF A SITE IMPROVEMENT PLAN CERTIFICATE OF OCCUPANCY FOR ANY FACILITY REQUIRING ACCESS FROM QUEBEC STREET, AS REQUIRED BY THE CITY IN COORDINATION WITH DOUGLAS COUNTY, INCLUDING SURETY AND PERFORMANCE AGREEMENTS.
 - MEDIAN IMPROVEMENTS IN PARK MEADOWS DRIVE (FROM QUEBEC TO WESTERN-MOST RIGHT-IN/RIGHT-OUT.) THE DEVELOPER MUST FUND AND CONSTRUCT ALL REQUIRED ROADWAY INCLUDING THE FULL COST OF PROVIDING SIGNALIZATION FOR THE FIRST FULL TURN MOVEMENT EAST OF QUEBEC STREET ON PARK MEADOWS DRIVE AND ANCILLARY IMPROVEMENTS ALONG PARK MEADOWS DRIVE PRIOR TO ISSUANCE OF A SITE IMPROVEMENT PLAN CERTIFICATE OF OCCUPANCY FOR THE SECOND FACILITY REQUIRING ACCESS FROM PARK MEADOWS DRIVE, OR OTHERWISE AGREED UPON.
 - A 6' HIGH WROUGHT-IRON OR WOOD FENCE TO BE BUILT ALONG THE SEVEN ACRES GREEN HOMES THAT BACK TO P.A. THREE.

EACH LOT DEVELOPER WILL BE RESPONSIBLE TO PROVIDE THE IMPROVEMENTS NECESSARY TO SUPPORT ITS RESPECTIVE DEVELOPMENT. THE FOLLOWING INFORMATION WILL BE SUBMITTED WITH EACH SITE PLAN:

- PHASE III DRAINING STUDY/GRADING PLAN.
- UTILITY PLANS.
- PUBLIC IMPROVEMENT DOCUMENTS.

- NO SIGNIFICANT WILDLIFE EXISTS ON THE PROPERTY TO WARRANT A WILDLIFE PRESERVATION PLAN.
- NO WETLANDS/RIPARIAN LAND AREAS EXIST THAT WILL WARRANT A WETLANDS/RIPARIAN PRESERVATION PLAN.
- THE PROJECT MAY BE CONSTRUCTED IN PHASES BASED UPON MARKET CONDITIONS.
- FIRE PROTECTION IS PROVIDED BY AND IN ACCORDANCE WITH CASTLEWOOD FIRE PROTECTION DISTRICT STANDARDS.
- ANY SITE PLAN APPLICANT MUST NOTIFY ADJACENT ACRES GREEN PROPERTY OWNERS BY FIRST CLASS MAIL AT THE START OF THE PROJECT'S REFERRAL PROCESS THAT THEIR PROJECT IS IN PROCESS WITH THE CITY OF LONE TREE.
- CONSTRUCTION PARKING IS REQUIRED ON THE SITE ON AN ALL WEATHER SURFACE; I.E. CONSTRUCTION VEHICLES AND CONSTRUCTION WORKER VEHICLES WILL NOT BE ALLOWED TO PARK ON THE STREET, AND ANY MUD AND GRAVEL TRACKED ONTO THE STREET WILL BE PROMPTLY REMOVED.
- PRIOR TO ANY SITE PLAN APPROVAL, THE APPLICANT WILL PRESENT TITLE INSURANCE DOCUMENTS WHICH DEMONSTRATE THE ARCHITECTURAL CONTROL COVENANTS HAVE BEEN RECORDED.
- EXTERIOR CONSTRUCTION ON BUILDING SHELLS AND SITE WORK IS LIMITED TO 7:00 A.M. TO 7:00 P.M. SEVEN DAYS A WEEK.
- THE DEVELOPER, OR ANY STORE OWNER, SHALL PROVIDE PRIVATE SECURITY UPON REQUEST OF THE CITY TO DEAL WITH SUCH PROBLEMS AS LOITERING AND UNRULY ACTIVITY UNTIL SAID PROBLEMS ARE MITIGATED TO THE SATISFACTION OF THE CITY.
- ALL RESTAURANTS MUST EMPLOY ODOR MITIGATION MEASURES, INCLUDING SPECIFIC EQUIPMENT TO AVOID OFF-SITE ODOR IMPACTS SUCH AS THOSE ASSOCIATED WITH BARBECUE-TYPE RESTAURANTS. SUCH MEASURES SHALL BE REVIEWED BY TRI-COUNTY HEALTH PRIOR TO CITY SITE PLAN APPROVAL.
- ALL PERMITTED USES MUST STRICTLY COMPLY WITH TRI-COUNTY HEALTH DEPARTMENT AND CITY OF LONE TREE CODES AND REGULATIONS REGARDING TRASH STORAGE AND DISPOSAL. ANY VIOLATIONS WHICH OCCUR MAY RESULT IN THE CLOSURE OF A FACILITY AND POSSIBLE FINES.
- ALL SITE IMPROVEMENT PLANS PRIOR TO CITY SUBMITTAL MUST HAVE ARCHITECTURAL CONTROL COMMITTEE APPROVAL.
- ALL DELIVERIES, TRASH PICK-UP, AND STREET SWEEPING, EXCEPT GROCERY STORE DELIVERIES, SHALL BE PROHIBITED FROM 10 P.M. TO 6 A.M. THE GROCERY STORE RESTRICTIONS ARE FROM MIDNIGHT TO 6 A.M.

OWNERSHIP CERTIFICATION

OWNERS: PARKWAY REALTY PARTNERS, L.L.C. / COLORADO, L.L.C. & DOK PROPERTIES, L.L.C.

PARKWAY REALTY PARTNERS, L.L.C.
BY PARKWAY MANAGEMENT, L.L.C.

BY: *[Signature]*
ITS DULY AUTHORIZED AGENT

NOTARY: *[Signature]* 11/26/97
(DATE)

DOK PROPERTIES, L.L.C.

BY: *[Signature]*
ITS MANAGER

NOTARY: *[Signature]* 11/17/97
(DATE)

NOTARY EXPIRES JAN 30 2000

NATIONAL TITLE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DULY QUALIFIED, INSURED, OR LICENSED BY THE STATE OF COLORADO, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LANDS DEPICTED AND DESCRIBED HEREON AND THAT TITLE TO SUCH LAND IS OWNED IN FEE SIMPLE BY PARKWAY REALTY PARTNERS, L.L.C. AND DOK PROPERTIES, L.L.C. AT THE TIME OF THIS APPLICATION.

[Signature] 11/17/97
NAME OF AUTHORIZED OFFICIAL William D. Boudreau (DATE)
NATIONAL TITLE COMPANY - General Counsel

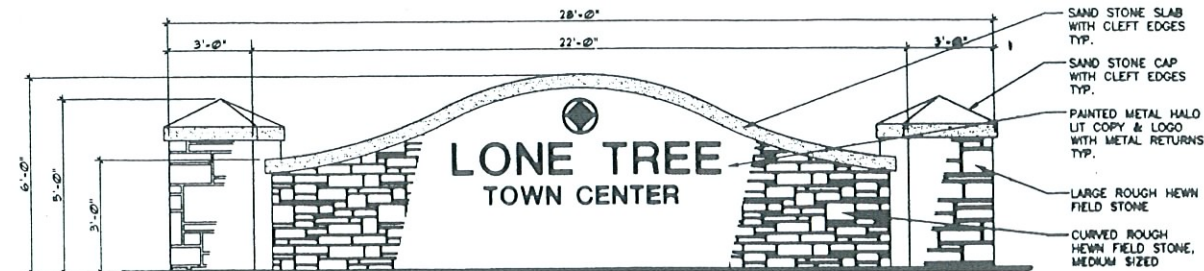
NOTARY: *[Signature]* 11/17/97
(DATE)

CITY CERTIFICATION

"THIS REZONING REQUEST TO PLANNED DEVELOPMENT HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH THE CITY COUNCIL ORDINANCE NUMBER 97-8 DATED 10/31/97 APPROVING THE PLANNED DEVELOPMENT AND ALL APPLICABLE CITY OF LONE TREE REGULATIONS."

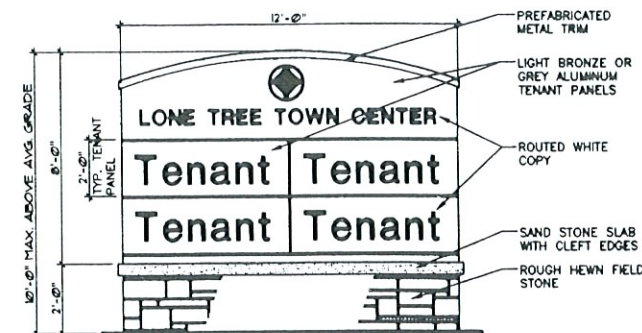
[Signature] 11/18/97
MAYOR (DATE)

[Signature] 11/18/97
DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT (DATE)



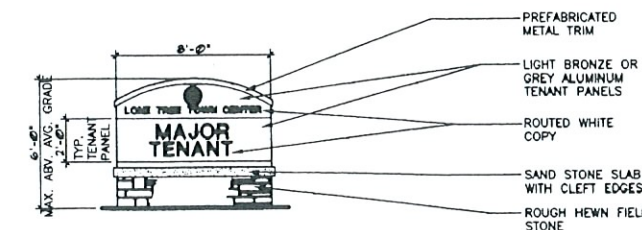
SIGN 'A' ELEVATION DETAIL

N.T.S.



SIGN 'B' ELEVATION DETAIL

N.T.S.



SIGN 'C' ELEVATION DETAIL

N.T.S.

CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO)
CITY OF LONE TREE) SS.
DOUGLAS COUNTY)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS 24 TH of DECEMBER 19 97 A.D. at O'CLOCK A.M./P.M. AND WAS RECORDED PER RECEPTION No. 9773903

CLERK AND RECORDER (DATE)

INDEX

- | | |
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| SHEET 1 | GENERAL PROVISIONS / REQUIREMENTS |
| SHEET 2 | DEVELOPMENT STANDARDS |
| SHEET 3 | DEVELOPMENT PLAN |

SEM Architects Inc
7004 E. PENNSYLVANIA AVE. SUITE 100
ENGLEWOOD COLORADO, 80111
SHEET 1 OF 3
ISSUED 3/18/97
ISSUED 4/16/97
ISSUED 7/25/97
ISSUED 9/29/97
LONE TREE TOWN CENTER

DRAWING PATH: T:\96113.00 Lone Tree Town Center\10-28-97\PKWAY-GPROVS.DWG
DRAWING NAME: T:\96113.00 Lone Tree Town Center\10-28-97\PKWAY-GPROVS.DWG

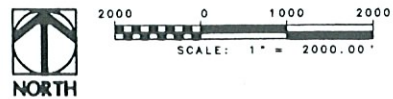
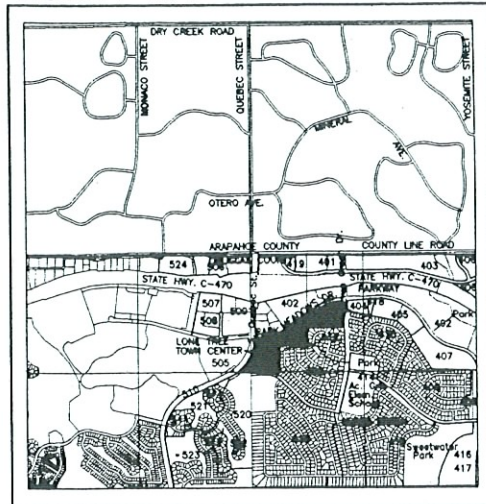
PLOT DATE: Nov 12 11:41:53 MST 1997 PLOTTED BY: TCC

CASE# XXX-XXX

LONE TREE TOWN CENTER PLANNED DEVELOPMENT

A PART OF the S/2 of SECTIONS 4 and 5 / TOWNSHIP 8 / RANGE 86 WEST of the 6TH P.M. / CITY of LONE TREE / COUNTY of DOUGLAS / COLORADO / 28.2714 Acres - 11 Commercial Lots

VICINITY MAP



VICINITY MAP LEGEND

ID#	SUBDIVISION FILING	ID#	SUBDIVISION FILING
402	PARKWAY 12	411	PARK MEADOWS 9
403	PARKWAY 1	418	PARKWAY 12 REPLAT LOT 1 BLOCK 4
404	PARKWAY 12 3RD AMEND.	505	HIGHLANDS RANCH 98A 4TH AMEND.
405	PARKWAY 12 REPLAT LOT 2 BLOCK 3	506	HIGHLANDS RANCH 98A
406	PARKWAY 12	507	HIGHLANDS RANCH 98A 2ND AMEND.
407	PARKWAY 12 REPLAT LOT 1 BLOCK 4	508	HIGHLANDS RANCH 98B
408	ACRES GREEN 34 1ST AMEND.	509	HIGHLANDS RANCH 98B
409	ACRES GREEN 44	510	HIGHLANDS RANCH 98B
410	ACRES GREEN 1	511	HIGHLANDS RANCH 98B
411	ACRES GREEN 2	512	HIGHLANDS RANCH 98B
412	ACRES GREEN 3	513	HIGHLANDS RANCH 98B
413	ACRES GREEN 5 REPLAT TRACT F	514	HIGHLANDS RANCH 98C 1ST AMEND.
414	ACRES GREEN 5 REPLAT TRACT F	515	HIGHLANDS RANCH 98C 2ND AMEND.
415	ACRES GREEN 5	516	HIGHLANDS RANCH 98A
416	NOT SUBDIVIDED		

MASTER PLAN LEGEND

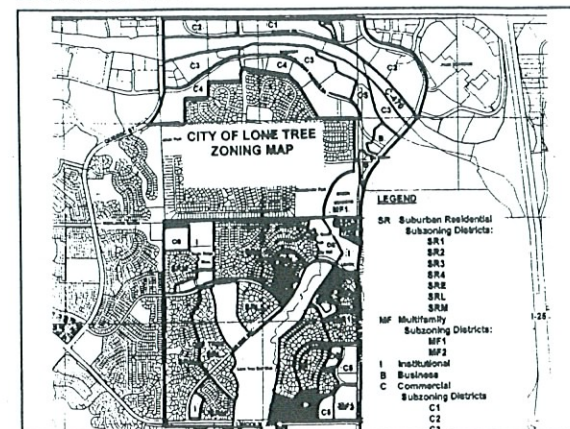
	5' CONTOUR INTERVALS
	20% OR GREATER SLOPE
	CURB LINE
	PROPERTY LINE
	PARKING SETBACK LINE
	FENCE
	BUILDING SETBACK LINE
	RESTAURANT SETBACK LINE
	EASEMENT LINE
	ROADWAY CENTER LINE
	SITE ACCESS / CURB CUT
	F = ALL TURNS
	R = RIGHT TURNS ONLY
	LIGHT POLE
	EXISTING TREES
	EXISTING SHRUBS
	LARGE DECIDUOUS TREES
	LARGE CONIFEROUS TREES

PLANNING AREAS

P.A. ONE	28.21 ACRES (SEE SHEET 2 OF 3 FOR LAND USE DESCRIPTION) MAX. FAR = 30%
P.A. TWO	19.25 ACRES (SEE SHEET 2 OF 3 FOR LAND USE DESCRIPTION) MAX. FAR = 30%
P.A. THREE	13.07 ACRES (SEE SHEET 2 OF 3 FOR LAND USE DESCRIPTION) MAX. FAR = 25%
P.A. FOUR	5.13 ACRES (SEE SHEET 2 OF 3 FOR LAND USE DESCRIPTION) MAX. FAR = 25%

NOTE: P.A.'S ARE NOT TRANSFERABLE FROM ONE P.A. TO ANOTHER

ZONING MAP



PARKWAY SUBDIVISION FILING NO. 2 - 4TH AMENDMENT, PARCEL D CITY OF LONE TREE / DOUGLAS COUNTY ZONE C-3 (PREVIOUSLY PARKWAY SUBDIVISION FILING NO. 2 - 4TH AMENDMENT, PARCEL D UNINCORPORATED DOUGLAS COUNTY)

F.A.R. TRACKING CHART

LOT NUMBER	LOT SIZE	ACTUAL BUILDING AREA	ALLOWABLE F.A.R.	ACTUAL F.A.R.	MINIMUM OPEN SPACE	ACTUAL OPEN SPACE	REMAINING BUILDING AREA	REMAINING OPEN SPACE
LOT 1								
LOT 2								
LOT 3								
LOT 4								
LOT 5								
LOT 6								
LOT 7								
LOT 8								
LOT 9								
LOT 10								
LOT 11								

NOTES

1. SIGN TYPES "A", "B", "C" FOR ALL LOTS TO BE LOCATED AT THE OF SITE IMPROVEMENT PLANS.
2. ALL INTERNAL ACCESS, UTILITY, SIGNAGE, AND DRAINAGE EASEMENTS ARE PRIVATE.
3. WHERE FULL MOVEMENT INTERSECTIONS ARE LOCATED, INTERSECTIONS SHALL ALIGN.
4. THE FOLLOWING INFORMATION SHALL BE ADDED TO THIS DOCUMENT WITH EACH SITE IMPROVEMENT PLAN SUBMITTAL FOR THE LOT IT IS REPRESENTING:
 - BUILDING FOOTPRINT
 - PARKING LOT LAYOUT (ILLUSTRATE STALLS)
 - LANDSCAPING
 - SIDEWALK LOCATIONS
 - OTHER DETAILS AS REQUESTED BY THE CITY OF LONE TREE.

LAND USE TABLE

SYMBOL	LAND USE	DENSITY	ACRES	%
	PLANNED DEVELOPMENT (Mixed Use)	369,432 Sq. Ft. (Gross Leasable Area)	28.27 Acres (1,231,441.2 Sq. Ft.)	30%



SEM Architects Inc

7005 E. PRENTICE AVE., SUITE 102
ENGLEWOOD, COLORADO 80111

SHEET 3 OF 3

ISSUED: 3/18/87
ISSUED: 4/18/87
ISSUED: 7/25/87
ISSUED: 9/29/87

LONE TREE TOWN CENTER

DRAWING PATH: T:\96113.00 Lone Tree Town Center\10-28-97\PKWAY.DWG
DRAWING NAME: T:\96113.00 Lone Tree Town Center\10-28-97\PKWAY.DWG

PLOT DATE: Nov 12 11:32:09 MST 1997
PLOT BY: T06-

CASE# XXX-XXX