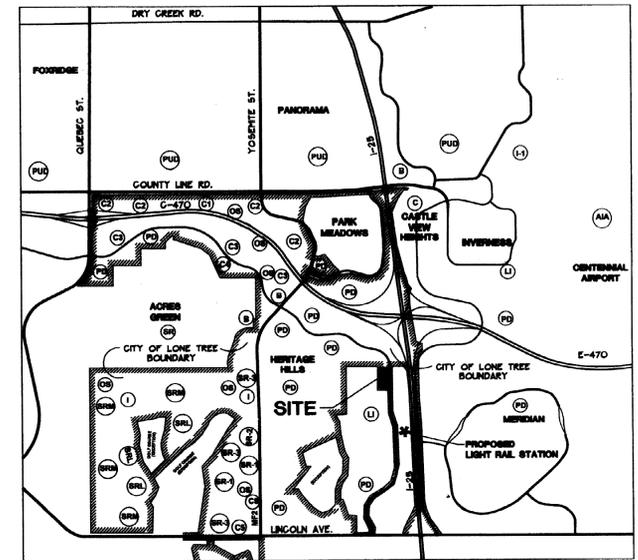


# LYETH - BURK PLANNED DEVELOPMENT, 1st AMENDMENT

## A MAJOR AMENDMENT TO THE CONDITIONAL PD LANGUAGE REMOVAL OF DEVELOPMENT STIPULATION NOTE 4

A part of the Northwest quarter of the Northeast quarter of Section 10,  
Township 6 South, Range 67 West of the 6th P.M.,

City of Lone Tree, Colorado  
4.25 acres - 140 dwelling units  
File No. ZR02-39



VICINITY MAP - 1"-1/2 MILE



### GENERAL PROVISIONS

#### Authority

THIS DEVELOPMENT PLAN IS AUTHORIZED BY SECTION 15 PLANNED DEVELOPMENT DISTRICT OF THE CITY OF LONE TREE ZONING ORDINANCE ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972.

#### Applicability

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE DIRECTOR OR CITY COUNCIL.

#### Adoption

THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISION OF THE CITY OF LONE TREE CITY COUNCIL THAT THIS DEVELOPMENT PLAN FOR THE LYETH-BURK PLANNED DEVELOPMENT IS IN GENERAL CONFORMITY WITH THE CITY OF LONE TREE COMPREHENSIVE PLAN, IS AUTHORIZED BY THE PROVISIONS OF SECTION 15 OF THE CITY OF LONE TREE ZONING ORDINANCE, AND THAT SUCH SECTION 15 AND THIS DEVELOPMENT PLAN COMPLY WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

#### Relationship to City Regulations

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE LYETH-BURK PLANNED DEVELOPMENT, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE CITY OF LONE TREE ZONING ORDINANCE, AS AMENDED, OR ANY OTHER APPLICABLE ORDINANCES OR REGULATIONS OF THE CITY OF LONE TREE, SHALL BE APPLICABLE.

#### Enforcement

TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PLANNED DEVELOPMENT AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THE PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF THE CITY OF LONE TREE AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE CITY WITHIN LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

#### Conflict

WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN UNLESS DETERMINED OTHERWISE BY THE DIRECTOR.

#### Maximum Level of Development

THE ACTUAL DENSITY OF DWELLINGS APPROVED BY THE CITY IN THE PD MAY BE LESS THAN SHOWN ON THE PLAN DUE TO SUBDIVISION OR SITE IMPROVEMENT PLAN REQUIREMENTS OR OTHER REQUIREMENTS OF THE CITY SUCH AS PARK/SCHOOL LAND DEDICATION.

THE TOTAL NUMBER OF DWELLINGS OR DENSITY OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY APPROVED FOR DEVELOPMENT WITHIN THE PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS APPROVED DENSITY TRANSFERS, IF ANY). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT FOR COMMERCIAL, BUSINESS, OR INDUSTRIAL PROPERTIES MAY BE LESS DUE TO SUBDIVISION OR SITE IMPROVEMENT PLAN REQUIREMENTS OR OTHER REQUIREMENTS OF THE CITY COUNCIL.

#### Project Tracking

AT THE TIME OF SUBDIVISION FINAL PLAT, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, ALONG WITH THE FINAL PLAT SUBMITTAL TO THE PLANNING DIVISION, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

### STATEMENT OF COMMITMENTS

THE STATEMENT OF COMMITMENTS SHALL, IN ALL CASES, DESCRIBE THE DEVELOPMENT COMMITMENTS INCLUDING A METHOD FOR ASSIGNING RESPONSIBILITY TO HEIRS, SUCCESSORS, OR ASSIGNS, AND TIMING OF THE FULFILLMENT OF THESE COMMITMENTS FOR THE FOLLOWING:

#### Dedication

NO LAND OR FACILITIES ARE TO BE DEDICATED. ANY STANDARD REQUIREMENTS FOR PAYMENT IN LIEU OF LAND DEDICATION WILL BE MET AT THE TIME OF SITE IMPROVEMENT PLAN.

#### On - or Off - Site Improvements

IF FUTURE SIGNALIZATION IS REQUIRED AT THE FULL TURN ACCESS TO THE PROPERTY, THE OWNER SHALL BE RESPONSIBLE FOR THEIR PRO-RATA SHARE OF THE COST OF THE TRAFFIC SIGNAL. ON SITE IMPROVEMENTS WILL BE CONSTRUCTED TO THE CITY OF LONE TREE STANDARDS.

#### Wildlife Preservation Plan

N/A

#### Wetland/Riparian Preservation Plans

THERE ARE NO MAPPED WETLAND OR RIPARIAN AREAS WITHIN THE BOUNDARY OF THIS SITE.

#### Project Phasing Restrictions

NONE

#### Fire Protection

FIRE LINE PRESSURE AND HYDRANTS WILL BE INSTALLED PER SOUTH METRO FIRE DISTRICT SPECIFICATIONS. ALL CONSTRUCTION WILL COMPLY WITH APPLICABLE FIRE CODES.

#### Payment of Taxes on Land to be Dedicated for Public Use.

PAYMENT OF TAXES ON LAND DEDICATED FOR PUBLIC USE WILL BE DETERMINED DURING THE SITE IMPROVEMENT PLAN REVIEW STAGE.

### DEVELOPMENT STIPULATIONS

- LYETH-BURK (OR ASSIGNS) SHALL PAY, AT THE TIME OF BUILDING PERMIT, THE AMOUNT OF \$1000 PER SINGLE FAMILY EQUIVALENT SANITARY SEWER TAP (SFE) NECESSARY FOR THE DEVELOPMENT OF THE PD PROPERTY IN EXCESS OF 20 SFE'S. THE CITY OF LONE TREE SHALL HOLD THE FUNDS IN ESCROW IN AN INTEREST-BEARING ACCOUNT. THE ESCROW FUNDS SHALL BE UTILIZED FOR A PROPORTIONATE PARTICIPATION IN A REGIONAL STUDY AND POSSIBLE FUTURE CONSTRUCTION COSTS WITH THE INTENT TO EXPAND OR SECURE SYSTEM-WIDE SANITATION CAPACITY. ANY UNALLOCATED/UNUSED FUNDS SHALL BE REFUNDED TO LYETH-BURK (OR ASSIGNS) AS APPROPRIATE, ON A PRO-RATA BASIS IF UNUSED WITHIN 15 YEARS FROM THE DATE OF PAYMENT.
- PRIOR TO FINAL APPROVAL OF THE PD, A FINAL LETTER OF APPROVAL FROM THE CITY ENGINEER IS REQUIRED.
- THE RESIDENTIAL COMPONENT OF THE PD SHALL COMPLY WITH SCHOOL AND PARK DEDICATION REQUIREMENTS, TO BE DETERMINED AS PART OF THE SITE IMPROVEMENT PLAN APPROVAL PROCESS.
- THE DETENTION AREA SHALL BE DEVELOPED AS AN AMENITY IN CONJUNCTION WITH THE RESIDENTIAL COMPONENT OF THIS PLAN, TO INCLUDE APPROVED LANDSCAPING, LIGHTING, AND PEDESTRIAN WALKWAYS, AS APPROVED BY THE CITY AT THE SITE IMPROVEMENT PLAN STAGE.

### OWNERSHIP CERTIFICATION

LYETH-BURK PARTNERSHIP, L.L.P.

*Eugene Burk*  
EUGENE BURK  
GENERAL PARTNER

I / WE Eugene Burk, Esq., A (ONE OF THE FOLLOWING: QUALIFIED TITLE INSURANCE COMPANY, TITLE ATTORNEY, OR ATTORNEY AT LAW), DULY QUALIFIED, INSURED OR LICENSED BY THE STATE OF COLORADO, DO HEREBY CERTIFY THAT I / WE HAVE EXAMINED THE TITLE OF ALL LANDS DEPICTED AND DESCRIBED HEREON AND THAT TITLE TO SUCH LAND IS OWNED IN FEE SIMPLE BY Lyeth-Burk Partnership, L.L.P. AT THE TIME OF THIS APPLICATION.

NAME OF AUTHORIZED OFFICIAL (DATE)  
NAME OF COMPANY;

OR

*Eugene Burk #5197* 11-19-02  
NAME OF ATTORNEY (REGISTRATION NO.) (DATE)

STATE OF Colorado )  
COUNTY OF Arapahoe ) ss.

THE FOREGOING CERTIFICATION OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF Nov., 2002, BY Eugene Burk AS General Partner of Lyeth-Burk Partnership, L.L.P.

BY: *Diane M. Karashinski*  
NOTARY PUBLIC  
WITNESS MY HAND AND SEAL



8400 E. Prentice Ave.,  
Suite 1005 MY COMMISSION EXPIRES: 11/16/03  
ADDRESS

Greenwood Village, CO 80111  
CITY STATE ZIP CODE

### CITY CERTIFICATION

THIS REZONING REQUEST TO PLANNED DEVELOPMENT HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH THE (COUNCIL ORDINANCE OR MOTION AND DATE) APPROVING THE PLANNED DEVELOPMENT AND ALL APPLICABLE CITY REGULATIONS.

*J. R. O'Brien* 12/3/02  
MAYOR, CITY COUNCIL (DATE)  
*John W. Johnson* 12/3/02  
DIRECTOR (DATE)

### CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO  
COUNTY OF DOUGLAS

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS  
DAY OF 12/3/02, 2002 A.D., AT AM./P.M., AND  
WAS RECORDED AT RECEPTION NUMBER 200209949

DOUGLAS COUNTY CLERK AND RECORDER

### INDEX

SHEET 1 GENERAL PROVISIONS/REQUIREMENTS  
SHEET 2 DEVELOPMENT STANDARDS  
SHEET 3 DEVELOPMENT PLAN

## LYETH - BURK PLANNED DEVELOPMENT, 1st AMENDMENT A MAJOR AMENDMENT TO THE CONDITIONAL PD LANGUAGE REMOVAL OF DEVELOPMENT STIPULATION NOTE 4

#### APPLICANT

Lyeth-Burk Partnership  
8400 E. Prentice Ave., Ste. 1005  
Greenwood Village, Colorado 80111  
(303) 743-3133

#### APPLICANT'S REPRESENTATIVE

Plan West, Inc.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
(303) 741-1411

City of Lone Tree,  
Colorado

job no. 34/01  
date 09-05-01  
revisions

#### ENGINEER

Martin / Martin Consulting Engineers  
4251 Kipling St.  
Wheat Ridge, Colorado 80033  
(303) 431-6100

8-8-02 11-28-01  
9-12-02 1-10-02  
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11-8-02 2-19-02

sheet 1 of 3

# LYETH - BURK PLANNED DEVELOPMENT, 1st AMENDMENT

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A part of the Northwest quarter of the Northeast quarter of Section 10,  
Township 6 South, Range 67 West of the 6th P.M.,  
City of Lone Tree, Colorado  
4.25 acres - 140 dwelling units  
File No. ZR02-39

### PERMITTED USES

#### Commercial:

Bank, Financial Institution w/Drive Through  
Bar, Lounge, Restaurant  
General merchandise-Retail  
Gift/Souvenir Shop  
Health Club-Private  
Hotel/Motel  
Office - general, medical, dental, professional  
Office Showroom  
Parking, Public  
Printing, Copy Service-Retail  
Recreation-Private (Indoor, Outdoor)  
Service Retail  
Theatre (Indoor)  
Veterinary Clinic/Hospital

Other commercial uses similar in character to those listed above, as determined by the city.

#### Residential:

Multi-Family

#### Public/Quasi Public:

Cultural facility  
Government offices and service facilities  
Health and recreation facility-public  
Hospital-public  
Open space / Trails  
Parks and playgrounds  
School, college, university and related facilities  
Utility service facility

Other public and quasi-public uses similar in character to those listed above, as determined by the city.

#### Light Industrial:

Bakery-wholesale  
Bank, Financial Institution w/Drive Through  
Bar, Lounge, Restaurant  
Building material-wholesale/retail  
Carpentry/woodworking shop  
Day-care facility for children of employees (limited to LI only)  
Equipment rental (screened)  
Farm implement sales/service  
Fire station  
Food/beverage processing plant  
Greenhouse/plant nursery-wholesale/retail  
Hardware store/home repair center-wholesale/retail  
Library  
Machine Shop  
Mini warehouse, with no storage of dangerous or flammable material and no sales or services from any unit  
Office-general, medical, dental, including all professional or governmental activities.  
Office-temporary  
Open space / Trails  
Parking lot-public/private  
Printing, Copy Service-Retail  
Printing or publishing-wholesale  
Product distributions/storage-excluding hazardous materials  
Recreation facility-indoor/outdoor  
Research and development facility  
Restaurant / fast food establishment  
School, college, university and related facilities  
Sheriff station  
Tire store-sales/repair  
Trails  
Upholstery supply/repair shop  
Utility service facility  
Veterinary Clinic/Hospital  
Warehouse  
Wholesale business-general merchandise

### TEMPORARY USES

Sales Office  
Construction office  
Seasonal uses

### USES BY SPECIAL REVIEW

Assembling or light manufacturing plant  
Automobile Service Stations w/Fuel Dispensers  
Manufacturing operation  
Motor vehicle/equipment sales/serve/repair  
Telecommunications Facility

### ACCESSORY USES/STRUCTURES

Uses and Structures Clearly Accessory and Incidental to the Primary Permitted Uses  
Satellite receiving dish related to the principal Uses.

### SITE DATA

	RESIDENTIAL	COMMERCIAL
	%	%
<b>STRUCTURAL COVERAGE</b>	35% Max.	30% Max.
<b>PARKING &amp; DRIVES</b>	40% Min.	47% Min.
<b>OPEN SPACE</b>	25%	15%
<b>TOTAL</b>	<b>100% - 4.25 AC</b>	<b>100% - 4.25 AC</b>
<b>BLDG. SETBACKS</b>	East - Park Meadows Drive : 25' North - Park Meadows Corporate Center : 30' South - The Estates: 30' West - The Estates: 35'	East - Park Meadows Drive : 25' North - Park Meadows Corporate Center : 30' South - The Estates: 30' West - The Estates: 35'
<b>PARKING SETBACKS</b>	East - Park Meadows Drive : 15' North - Park Meadows Corporate Center : 10' South - The Estates: 15' West - The Estates: 10'	East - Park Meadows Drive : 15' North - Park Meadows Corporate Center : 15' South - The Estates: 15' West - The Estates: 10'
<b>BUILDING HEIGHT</b>	55'	55'
<b>BUILDING SEPARATION</b>	Minimum separation between freestanding buildings : 10'	
<b>DENSITY</b>	140 UNITS	10,000 SF
<b>OFFSTREET PARKING</b>	- 1.5 spaces per one bedroom unit; - 2 spaces for two and three bedroom units; - 2.5 spaces for four bedroom units, plus - 0.25 guest space per unit.	Per City of Lone Tree parking standards section 2807.

### LEGAL DESCRIPTION

LOT 2, THE ESTATES (RECEPTION NO. 9883800), BEING IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH WEST CORNER OF SAID LOT 2 FROM THENCE THE NORTH QUARTER CORNER OF SAID SECTION 10 BEARS S89°09'44"W, 452.35 FEET; THENCE ALONG THE NORTH LINE OF SAID SECTION 10, S89°09'44"W, 271.44 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF PARK MEADOWS DRIVE (RECEPTION NO. 4638102) THENCE ALONG SAID RIGHT-OF-WAY LINE 500°02'17"E, 666.51 FEET; THENCE DEPARTING SAID LINE THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) THENCE S89°16'28"W, 271.87 FEET 2) THENCE N00°00'33"W, 665.97 FEET TO THE TRUE POINT OF BEGINNING. SAID PARCEL CONTAINS 124,463 SQUARE FEET, MORE OR LESS.

### BASIS OF BEARINGS

THE BEARINGS SHOWN HERE ARE BASED ON THE NORTH LINE OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEARING S89°09'44"W, 452.35 FEET FROM THE TRUE POINT OF BEGINNING. THE NORTHWEST CORNER BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX LS #26248, DATED 2000, THE NORTH ONE-QUARTER CORNER BEING A 3 ALUM. CAP IN RANGE BOX LS #12405 DATED 1993.

# LYETH - BURK PLANNED DEVELOPMENT, 1st AMENDMENT A MAJOR AMENDMENT TO THE CONDITIONAL PD LANGUAGE REMOVAL OF DEVELOPMENT STIPULATION NOTE 4

#### APPLICANT

Lyeth-Burk Partnership  
2400 E. Prentice Ave., Ste. 1005  
Greenwood Village, Colorado 80111  
(303) 743-3133

#### APPLICANT'S REPRESENTATIVE

Plan West, Inc.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
(303) 741-1411

City of Lone Tree,  
Colorado

job no. 34/01  
date 00-05-01  
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#### ENGINEER

Martin / Martin Consulting Engineers  
4251 Kipling St.  
Wheat Ridge, Colorado 80033  
(303) 431-6100

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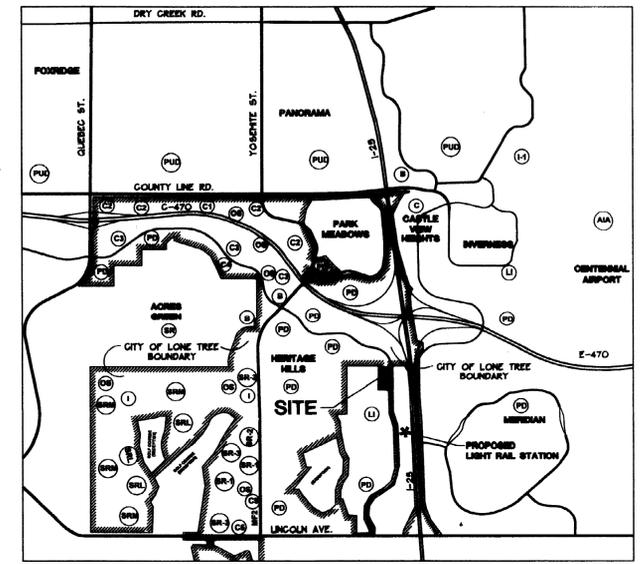
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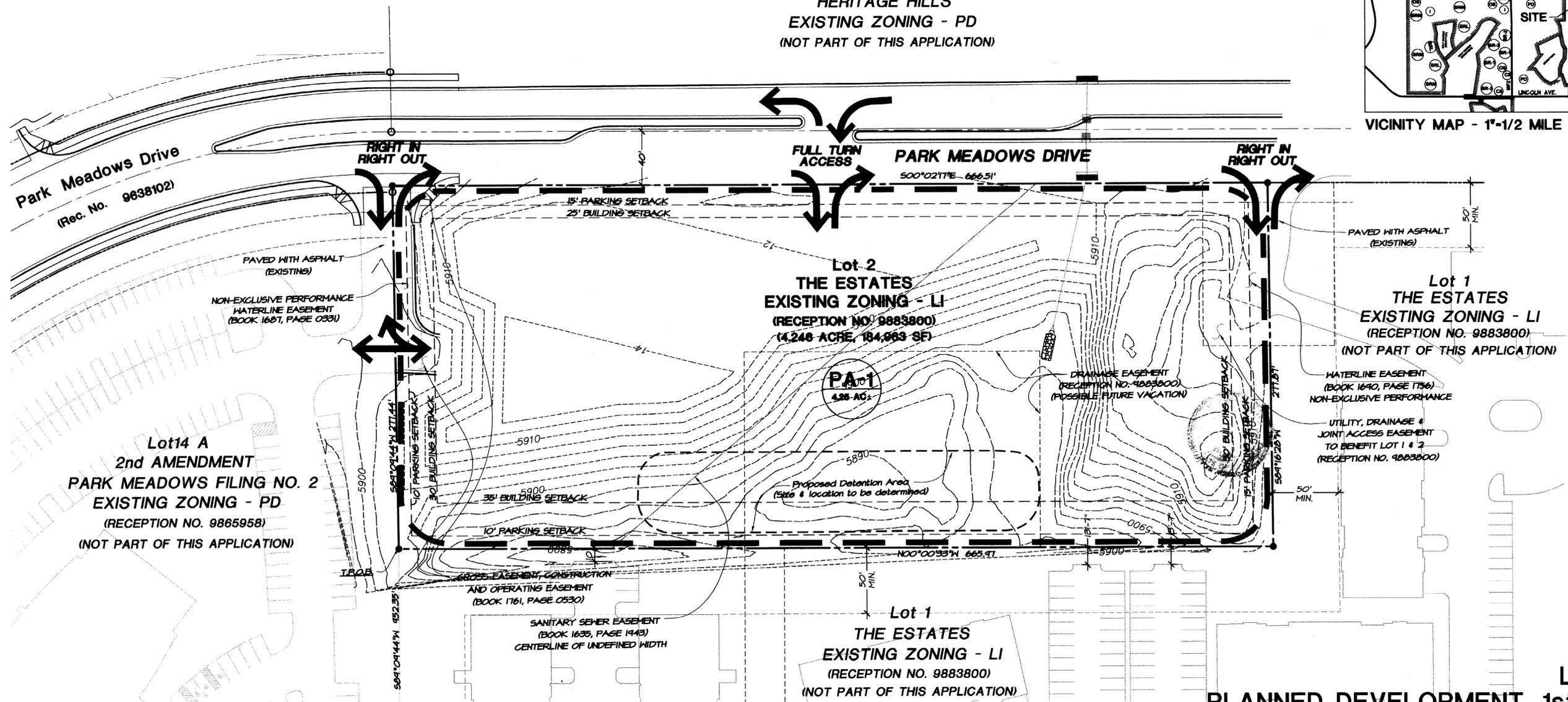
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City of Lone Tree, Colorado  
4.25 acres - 140 dwelling units  
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HERITAGE HILLS  
EXISTING ZONING - PD  
(NOT PART OF THIS APPLICATION)

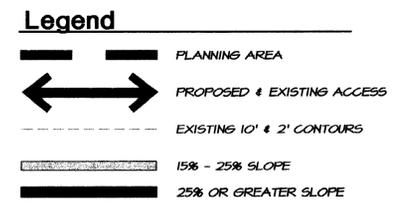


VICINITY MAP - 1"-1/2 MILE



Lot 14 A  
2nd AMENDMENT  
PARK MEADOWS FILING NO. 2  
EXISTING ZONING - PD  
(RECEPTION NO. 9865958)  
(NOT PART OF THIS APPLICATION)

LAND USE TABULATION				
PLANNING AREA	SIZE	%	DENSITY GFA	DWELLING UNITS
PA-1 (Mixed Use)	4.25 AC±	100%		140
- Multi-Family			70,000	
- Commercial / Light Industrial				
<b>TOTAL</b>	<b>4.25 AC±</b>	<b>100%</b>	<b>70,000 SF</b>	<b>140</b>



- NOTE:
- EXISTING ZONING IS LIGHT INDUSTRIAL (LI) PROPOSED ZONING IS PLANNED DEVELOPMENT (PD)
  - DETENTION AREA IS PRELIMINARY AND MAY BE RESIZED OR RELOCATED DURING THE SITE PLANNING PROCESS.
  - A CASH-IN-LIEU OF PARK LAND FEE AND CASH-IN-LIEU OF SCHOOL LAND DEDICATION FEE WILL BE DETERMINED, WITH CONSIDERATION FOR ON-SITE PROJECT ADVANTAGES THAT ARE BENEFICIAL TO THE GENERAL PUBLIC, AT THE TIME OF SITE IMPROVEMENT PLAN.
  - SIGHT DISTANCE EASEMENTS LOCATED AT THE ACCESS POINTS WILL BE DETERMINED AT THE TIME OF SITE / CONSTRUCTION PLAN REVIEW.

### LEGAL DESCRIPTION

LOT 2, THE ESTATES (RECEPTION NO. 9883800), BEING IN THE NORTHWEST QUARTER OF SAID SECTION 10 BEARS S89°04'44"N, 952.35 FEET; THENCE ALONG THE NORTH LINE OF SAID SECTION 10, S89°04'44"N, 271.44 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF PARK MEADOWS DRIVE (RECEPTION NO. 9638102) THENCE ALONG SAID RIGHT-OF-WAY LINE 500°02'11"E, 666.51 FEET; THENCE DEPARTING SAID LINE THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) THENCE S89°16'28"N, 271.87 FEET 2) THENCE N00°00'33"W, 665.97 FEET TO THE TRUE POINT OF BEGINNING. SAID PARCEL CONTAINS 184,863 SQUARE FEET, MORE OR LESS.

BEGINNING AT THE NORTH WEST CORNER OF SAID LOT 2 FROM THENCE THE NORTH QUARTER CORNER OF SAID SECTION 10 BEARS S89°04'44"N, 952.35 FEET; THENCE ALONG THE NORTH LINE OF SAID SECTION 10, S89°04'44"N, 271.44 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF PARK MEADOWS DRIVE (RECEPTION NO. 9638102) THENCE ALONG SAID RIGHT-OF-WAY LINE 500°02'11"E, 666.51 FEET; THENCE DEPARTING SAID LINE THE FOLLOWING TWO (2) CONSECUTIVE COURSES: 1) THENCE S89°16'28"N, 271.87 FEET 2) THENCE N00°00'33"W, 665.97 FEET TO THE TRUE POINT OF BEGINNING. SAID PARCEL CONTAINS 184,863 SQUARE FEET, MORE OR LESS.

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<b>APPLICANT</b> Lyeth-Burk Partnership 8400 E. Prentice Ave., Ste. 1005 Greenwood Village, Colorado 80111 (303) 743-3133	<b>APPLICANT'S REPRESENTATIVE</b> Plan West, Inc. 6130 Greenwood Plaza Blvd., Ste. 110 Greenwood Village, Colorado 80111 (303) 741-1411	<b>City of Lone Tree, Colorado</b> job no. 34/01 date 09-05-01 revisions: 8-8-02 11-28-01 9-12-02 1-10-02 11-6-02 1-17-02 2-18-02
<b>ENGINEER</b> Martin / Marth Consulting Engineers 4251 Kipling St. Wheat Ridge, Colorado 80033 (303) 431-6100		



**PLAN WEST INC**  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
tel: (303) 741-1411  
fax: (303) 741-1492