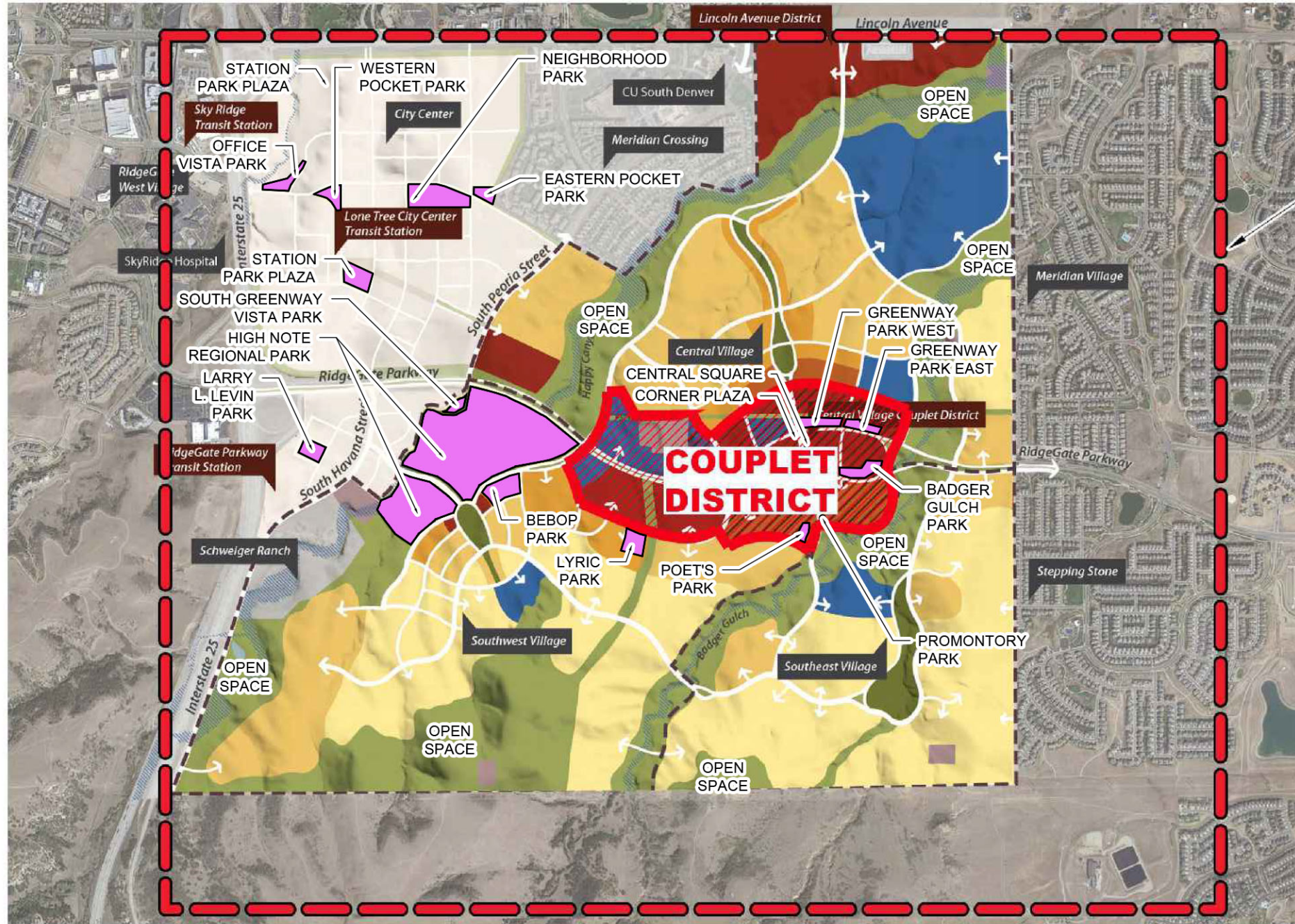


RIDGEGATE EAST COUPLER DISTRICT PARK MASTER PLAN



1 MILE RADIUS

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	PARK MASTER PLAN OBLIGATIONS
SHEET 3	COUPLER DISTRICT PARK MASTER PLAN BOUNDARY
SHEET 4	SITE CONTEXT - PLANNED PARKS, OPEN SPACE AND CIVIC AREAS
SHEET 5	SITE CONTEXT - CIRCULATION PLAN
SHEET 6	COUPLER DISTRICT PARK MASTER PLAN
SHEET 7	GREEN SPACE AMENITIES AND CHARACTERISTICS
SHEET 8	BADGER GULCH PARK PLAN
SHEET 9	PROMONTORY PARK PLAN
SHEET 10	GREENWAY PARK WEST PLAN
SHEET 11	GREENWAY PARK EAST PLAN

PUBLIC ART

PRIOR TO OR CONCURRENT WITH CITY APPROVAL OF A SITE IMPROVEMENT PLAN FOR ANY PARK OR PUBLIC PLAZA THAT INCLUDES A PUBLIC ART ELEMENT, RAMPART RANGE METROPOLITAN DISTRICT SHALL EXECUTE AN INTERGOVERNMENTAL AGREEMENT (IGA) WITH THE CITY OF LONE TREE FOR THE PURPOSE OF IDENTIFYING THE REVIEW, SELECTION, INSTALLATION/CONSTRUCTION, MAINTENANCE AND OWNERSHIP OF PUBLIC ART ELEMENTS TO BE INSTALLED IN PUBLIC PARKS, OPEN SPACES AND/OR PLAZAS. SPECIFICALLY, THE IGA SHALL ADDRESS THE FOLLOWING:

- IDENTIFICATION OF A REVIEW AND APPROVAL AUTHORITY FOR PUBLIC ART ELEMENTS TO BE PLACED IN PUBLIC PARKS AND/OR PLAZAS;
- DELINEATION OF REVIEW AND APPROVAL CRITERIA AND PROCESSES;
- IDENTIFICATION OF RESPONSIBLE INSTALLATION/CONSTRUCTION AND MAINTENANCE ENTITIES;
- SPECIFICATION OF OWNERSHIP AND/OR LEASE ARRANGEMENTS AND PROCESSES FOR PUBLIC ART; AND
- WHERE A PUBLIC ART ELEMENT IS TO BE CONSIDERED AS AN ALTERNATIVE MEANS OF SATISFYING THE RIDGEWAY EAST VILLAGES SUB-AREA PLAN'S REQUIREMENT TO "LOCATE AN ICONIC BUILDING AT THE SPLIT OF THE COUPLER TO SIGNIFY ARRIVAL TO THE COUPLER DISTRICT," THE IGA SHALL PROVIDE A REVIEW PROCESS AND REVIEW CRITERIA AND/OR STANDARDS FOR THE SELECTION OF ICONIC AND MONUMENTAL ART THAT MAY BE APPROVED IN LIEU OF ICONIC BUILDING ARCHITECTURE.

PROJECT TEAM

RAMPART RANGE METRO
 DISTRICT NO. 5
 8390 E CRESCENT PKWY #500
 GREENWOOD VILLAGE, CO 80111
 CONTACT: KEITH SIMON
 PH. 303-779-5710

SAGE DESIGN GROUP
 1500 S PEARL ST, STE. #200
 DENVER, CO 80210
 CONTACT: JOSH FREEHLING
 PH. 720-358-9518

DATE: 11.19.22		
1	RESUBMIT	3.7.23
2	RESUBMIT	8.4.23
3	RESUBMIT	9.19.23
4	RESUBMIT	10.19.23
5	RESUBMIT	11.6.23
6	RESUBMIT	12.4.23
7	RESUBMIT	12.14.23

PREPARED FOR:



CITY COUNCIL APPROVAL DATE: _____

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN

RIDGEGATE EAST COUplet DISTRICT PARK DEVELOPMENT PARK MASTER PLAN

As required in the RidgeGate East Villages Sub-Area Plan, this master plan document serves to lay a foundation and strategy for neighborhood-scale parks and, given the urban character objectives for the Couplet District, 'Public Spaces' for residents of and visitors to this area. Residents of the Couplet District will also benefit directly from the recreational amenities that will be present in the Badger Gulch Open Space Corridor, which they will be able to access without crossing any major streets.

This Master Park Plan has been submitted to fulfill the obligations identified in Section 2.7.2 of the RidgeGate East Villages Sub-area Plan. This Park Master Plan has been composed to respond to the Vision and Guiding Principles for Open Space and for Parks and Recreation described on pages 7 and 8 of the Sub-Area Plan and especially to the Character Elements described on page 10. It should be noted that Residential Development on the south side of Eastbound RidgeGate Parkway in the Southwest Village has been incorporated into the approved Southwest Village Preliminary Plan and the Neighborhood Parks Plan approved for that area.

Given the challenges of providing standard park and public space (at 5 acres/1,000 population) with the Sub-Area Plan's described desire for the Couplet District to concentrate development as a mixed-use environment, this Plan also relies on a 'Fee-In-Lieu' component to mitigate park area shortages and to create additional revenues to help support larger community-wide recreation elements.

Individual Site Improvement Plans (SIPs) for the parks and plazas included in the Couplet District Park Master Plan will be required to seek approval via the standard SIP approval process, identified in Article XXVII of City Code.

All parks and public spaces identified in the Couplet District Park Master Plan shall be maintained by Rampart Range Metropolitan District; maintenance and programming obligations and expectations shall be stipulated via an intergovernmental agreement (IGA) between the City of Lone Tree and Rampart Range Metropolitan District. Such agreement shall be executed prior to or concurrent with city approval of the Site Improvement Plan for the first park identified for development in the Couplet District Park Master Plan.

Prior to approval of the first plat containing lands to be dedicated to the City, per the Couplet District Park Master Plan, the applicant shall resubmit the Couplet District Park Master Plan to the City to identify portable restroom facilities with enclosures as a required amenity for Badger Gulch Park and Greenway Park East, secondarily, they will submit additional information codifying that there will be active recreation on sheet 7 of 11 for Badger Gulch Park

MASTER PLAN AMENDMENTS

Administrative Amendment Approval Standards

- Only an approved representative for Coventry, as master developer, is eligible to apply for amendments to this parks plan.
- Amendments to the plan will be subject to an application to the City of Lone Tree Community Development Department and a review fee.
- Amendments to this plan may be approved administratively by the Community Development Director when such changes are in substantial conformance to the approved plan. The Community Development Director reserves the right to take any amendment request before the City Council.

Submittal requirements are as follows:

- Submit a project narrative outlining the proposed changes.
- Submit a redline set of the approved plans with a red strikethrough of what will no longer be pertinent if the changes are approved.
- Submit a new plan to show the proposed change.

PREPARED FOR:



TRAILS

- Bicycle Trax-already completed. Adjacent landscape and seating areas/shared scooter parking pads installed and maintained by Rampart Range Metro District per approved RidgeGate Parkway Streetscape Master Plan. (For Information only. NO Parks Credit to be granted)
- The Greenway Promenade Trail and the Badger Gulch Regional Trail (to include grade separated crossings of RidgeGate Parkway and trailhead tie- ins to the Greenway Promenade Trail) shall be installed by Rampart Range Metropolitan District and maintained by South Suburban Parks and Recreation District (SSPR). The enhanced landscaping and recreational amenities to be provided with the Greenway Promenade Trail shall be maintained by Rampart Range Metropolitan District. No park credits shall be granted for the regional trail system. Design specifications for regional trails to be maintained by SSPR shall be as follows:
 - Trails shall be a minimum twelve feet in width and constructed of six-inch thick concrete over six inches of road base consistent with applicable geotechnical reports.
 - Pedestrian bridges shall be a minimum fourteen feet in width (or two feet wider than the trail) and shall be constructed of Corten steel with a concrete deck.
 - All trails shall have a minimum inside curve radius of twenty feet.
 - All trails and bridges shall be ADA accessible.

SITE IMPROVEMENT PLANS

- Individual park sites will be required to submit a Site Improvement Plan (SIP) application to the City for review and approval. All SIPs shall be reviewed/approved by the Lone Tree Planning Commission and Lone Tree City Council, per the East Villages Sub-Area Plan.
- The Corner Plaza is exempt from the Site Improvement Plan requirement; design details for this site shall be required in the Site Improvement Plan for the site that will contain the public access easement for the Corner Plaza.
- Should any future Site Improvement Plans (SIPs) for the parks or public spaces shown within the Couplet District Master Park Plan be found to be inconsistent with the City's Comprehensive Plan, the East Villages Sub-Area Plan, City Code, and/or the City's Design Guidelines & Standards (for Architecture and Site Planning and/or Landscaping), such a finding may result in the City requiring an amendment to the Couplet District Master Park Plan. Should any such amendment result in a reduction of the park acreage approved for dedication to the City via this Master Park Plan, Rampart Range Metropolitan District may be responsible for paying cash-in-lieu fees to the City to account for the acreage deficit, as determined by the City.

PARK AMENITIES

The following park amenities shall be required in each park, unless otherwise noted:

- Dog waste stations.
- Wheelchair accessible picnic tables and pavilions. The Corner Plaza and Central Square are exempt from the requirement for pavilions.
- Accessible playground programming and amenities. The Corner Plaza and Central Square are exempt from this requirement.
- All park site infrastructure will be on separate utility meters from park landscaping and lighting/electricity. The Corner Plaza is exempt from this requirement.
- No restroom facilities are proposed or provided in any of the parks or plazas in the Couplet District Park Master Plan with the exception of Badger Gulch Park and Greenway Park East. A portable restroom facility with enclosure and shelter will be provided at these parks.

PARK DEDICATION & CASH-IN-LIEU FEES

The park land acreages and locations, as shown herein, are subject to change and shall be finalized at the platting stage; the dedication of land for the park sites shall occur during platting, or as otherwise required by the City.

SERVICE PROJECTIONS		PARK OBLIGATIONS	
Estimated Residential Units	668	Acreage dedicated to the City	6.91 acres
Projected Population*	1,336	Remaining park obligation	0.00 acres
Required Park Dedication**	6.68 acres		

*2 people per unit, per the RidgeGate East Villages Sub-Area Plan

**5 acres per 1,000 people, per the RidgeGate East Villages Sub-Area Plan

- If there is a remaining park obligation to occur as part of a residential development's Site Improvement Plan (SIP) application and approval process, as outlined in Article XXVII of City Code. It shall be the SIP applicant's responsibility to ensure the park obligations outlined below are met as part of the SIP approval process, it shall be satisfied on a pro-rata basis (0.01 acres per unit) by future residential developments within the Couplet District. Future residential developments may satisfy the pro-rata share via one, or a combination of, the following:
 - Consistent with the RidgeGate East Villages Sub-Area Plan and Section 17-9-90 of City Code, the City may grant up to a maximum twenty-five (25) percent credit toward the park dedication requirement for residential projects that provide recreational amenities for their residents.
 - Payment of the cash-in-lieu fee of \$260,000 per acre, payable prior to City issuance of building permits for the applicable residential development.
- Should the residential unit count for the Couplet District exceed 668 units, residential developments shall provide the additional park acreage obligation on a pro-rata basis (0.00106 acres per unit) via one, or a combination of, (a) receipt of park dedication credits or (b) payment of the cash-in-lieu fee of \$260,000 per acre, as specified above.
- Residential unit counts and population projections are based on current market conditions and residential development.

DATE: 11.19.22		
1	RESUBMIT	3.7.23
2	RESUBMIT	8.4.23
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7	RESUBMIT	12.14.23
SHEET 2 OF 11		

PARK MASTER PLAN OBLIGATIONS

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



NO ADDITIONAL PARK DEDICATION OBLIGATION WILL BE REQUIRED FOR RESIDENTIAL DEVELOPMENT WITHIN THIS AREA, PROVIDED RESIDENTIAL UNITS DO NOT EXCEED THE NUMBER OF UNITS IDENTIFIED FOR THIS AREA IN THE APPROVED SOUTHWEST VILLAGE PRELIMINARY PLAN. SHOULD RESIDENTIAL UNITS IN THIS AREA EXCEED THE NUMBER OF UNITS IDENTIFIED FOR THIS AREA IN THE APPROVED SOUTHWEST VILLAGE PRELIMINARY PLAN, THE CITY SHALL REQUIRE PAYMENT OF PARK CASH-IN-LIEU FEES TO ACCOUNT FOR THE ADDITION OF RESIDENTIAL UNITS IN THIS AREA, CONSISTENT WITH THE CALCULATIONS PROVIDED IN THE COUplet DISTRICT MASTER PARK PLAN. THE CITY MAY REQUIRE AN AMENDMENT TO THE COUplet DISTRICT MASTER PARK PLAN IF THE ADDITION OF RESIDENTIAL UNITS IN THIS AREA EXCEEDS THE MAXIMUM PERCENTAGE DWELLING UNIT TRANSFER PERMITTED FOR ADMINISTRATIVE APPROVALS, AS OUTLINED IN THE RIDGE GATE SOUTHWEST VILLAGE MASTER IMPROVEMENTS AGREEMENT.

PREPARED FOR:



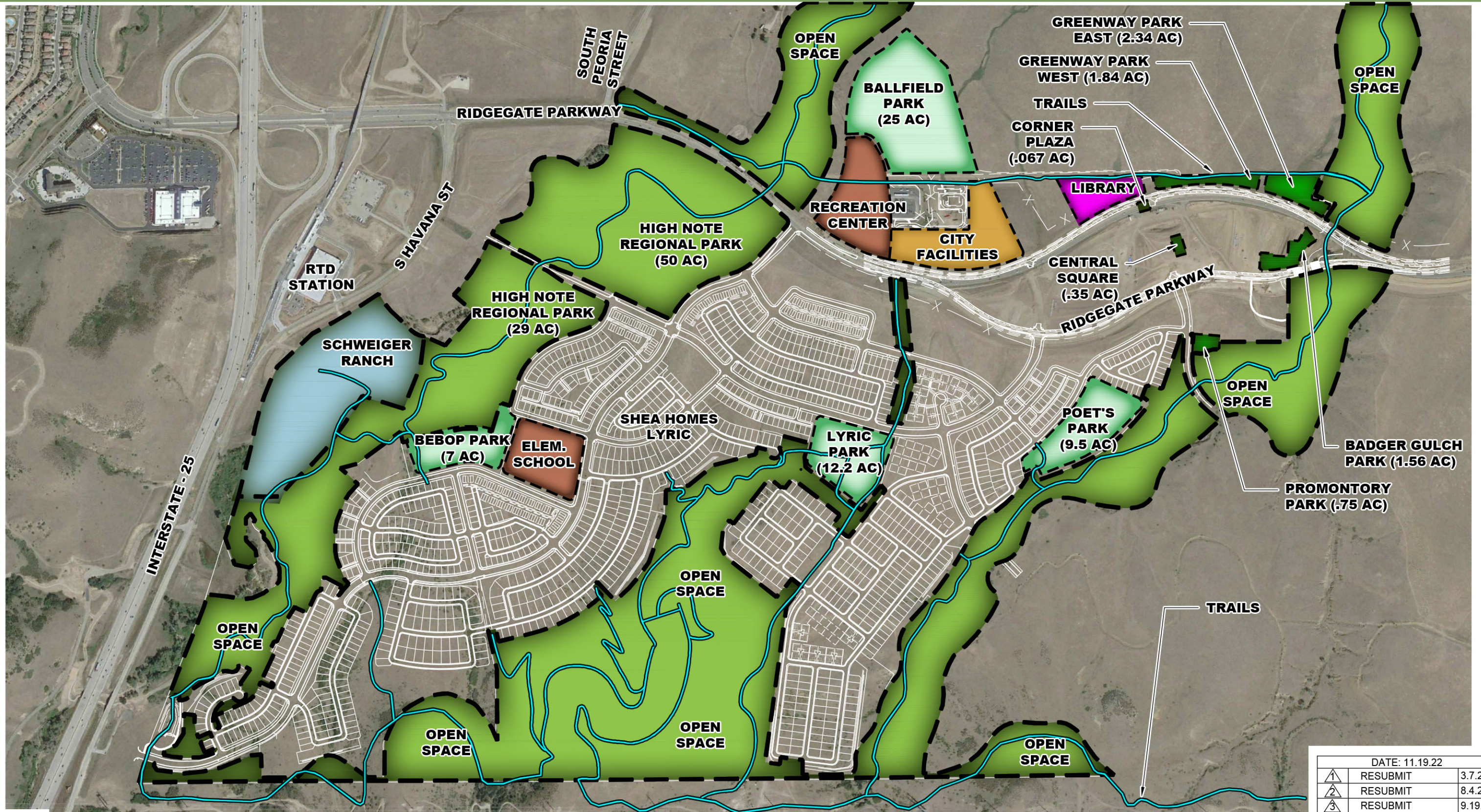
COUplet DISTRICT PARK MASTER PLAN BOUNDARY

SCALE: N.T.S.



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RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



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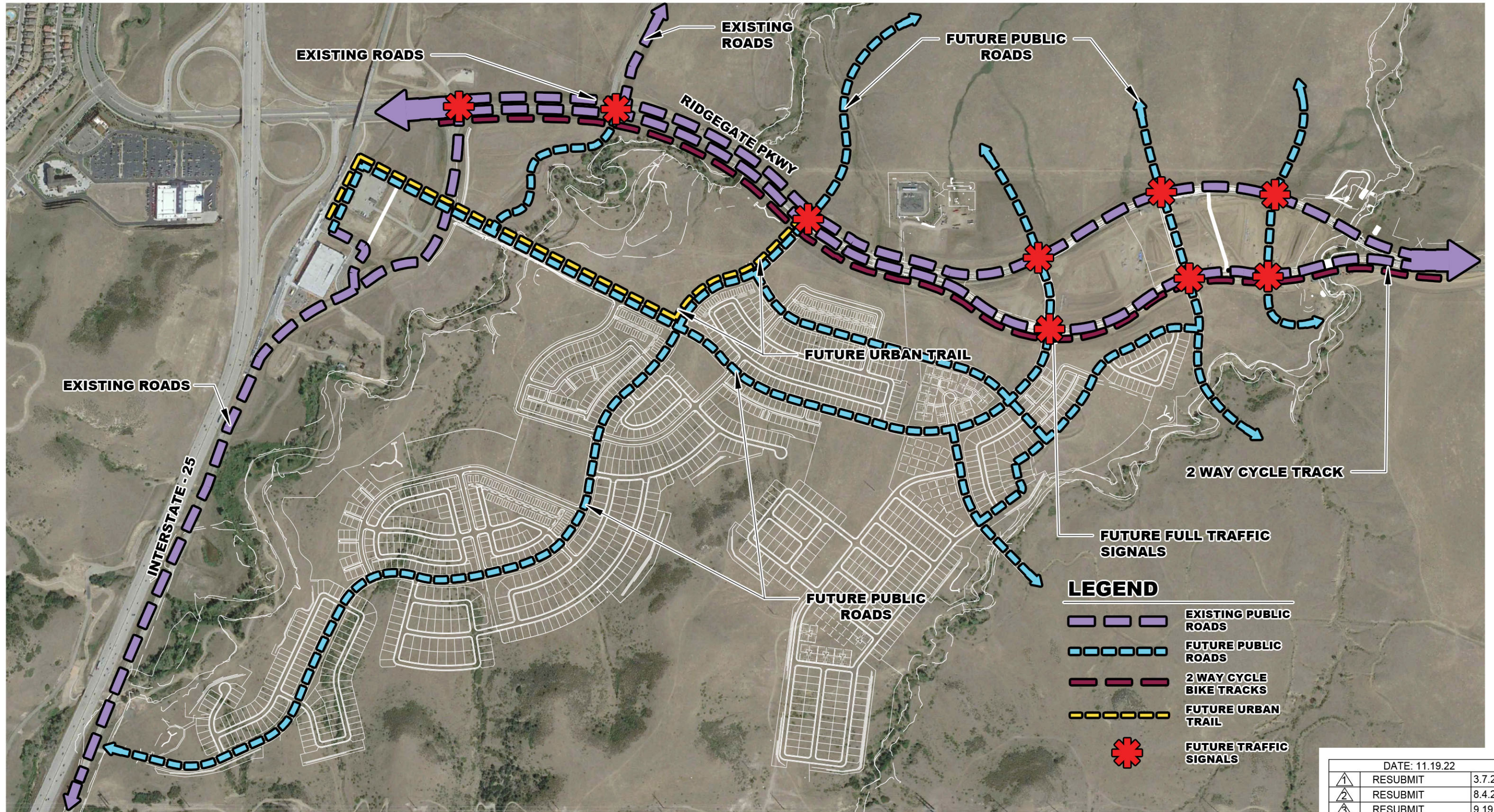
SITE CONTEXT - PLANNED PARKS, OPEN SPACE AND CIVIC AREAS

SCALE: N.T.S.



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⑦	RESUBMIT	12.14.23

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



PREPARED FOR:



SITE CONTEXT - CIRCULATION PLAN

SCALE: N.T.S.

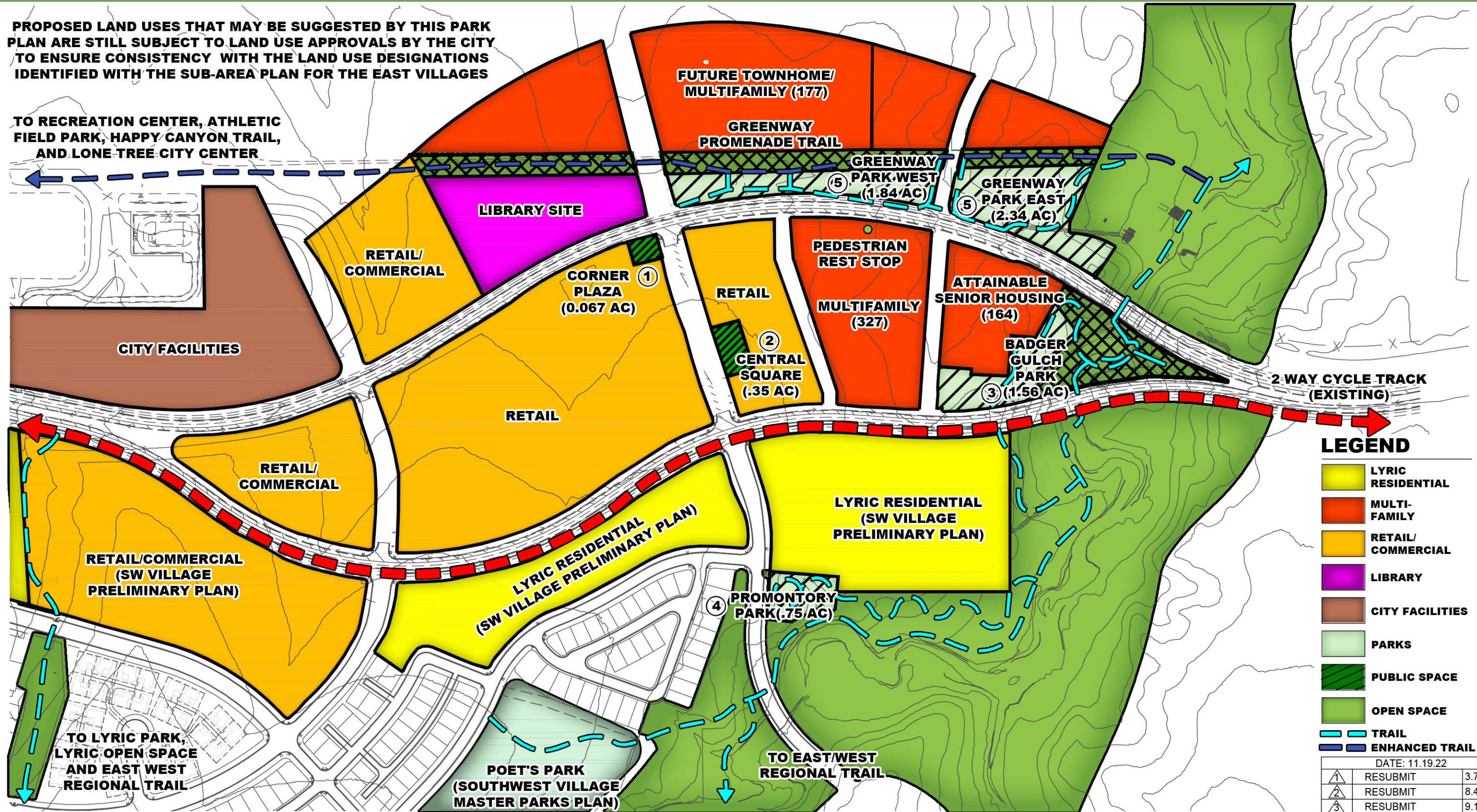


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RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN

PROPOSED LAND USES THAT MAY BE SUGGESTED BY THIS PARK PLAN ARE STILL SUBJECT TO LAND USE APPROVALS BY THE CITY TO ENSURE CONSISTENCY WITH THE LAND USE DESIGNATIONS IDENTIFIED WITH THE SUB-AREA PLAN FOR THE EAST VILLAGES

TO RECREATION CENTER, ATHLETIC FIELD PARK, HAPPY CANYON TRAIL, AND LONE TREE CITY CENTER



LEGEND

- LYRIC RESIDENTIAL
- MULTI-FAMILY
- RETAIL/COMMERCIAL
- LIBRARY
- CITY FACILITIES
- PARKS
- PUBLIC SPACE
- OPEN SPACE
- TRAIL
- ENHANCED TRAIL

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⑦	RESUBMIT	12.14.23

PREPARED FOR:



COUplet DISTRICT MASTER PLAN

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



1. CORNER PLAZA

- .067 acres (Capacity for 400 people @ 10 sf/person)
- Design as a traditional urban plaza with enhanced paving, seating, lighting and landscaping.
- The property owner will build the plaza per the design approved by the City of Lone Tree. A Public Access Easement will be placed over the plaza and activity programming will be managed by the RRMD per agreement.
- This plaza shall be developed concurrently with the commercial site on which the public access easement is assigned; inspection of this plaza shall be required as a component of the commercial SIP.



2. CENTRAL SQUARE

- .35 acres (Capacity for 1,500 people @ 10sf/person)
- Design as a traditional urban plaza with enhanced paving, seating, lighting and landscaping.
- This square shall be developed concurrently with the adjacent commercial development; inspection of this square shall be required as a component of the commercial SIP. It shall be the responsibility of Rampart Range Metropolitan District to ensure the park SIP is submitted in a timely fashion to ensure future development is not delayed in the process of the district meeting this obligation.
- This square shall be dedicated to the City via special warranty deed following completion of a successful inspection and acceptance process with the City, consistent with Section 16-27-120 of City Code. A replat of RidgeGate Filing 4 may be required as part of the dedication process.



3. BADGER GULCH PARK

- 1.56 acre park adjacent to Badger Gulch, to be developed in conjunction with an approximately 1.421 acre enhanced public open space adjacent to Badger Gulch and Badger Gulch Park, as further delineated in the conceptual design provided on Sheet 8
- Design to be approved to create an Active and Passive-Type Park overlooking Badger Gulch, Badger Gulch Trail connections to RidgeGate Parkway sidewalks AND a Monumental Public Art Element (in lieu of 'Iconic Building Architectural Element'). Badger Gulch Park is intended to provide active recreational areas and amenities.
- The Site Improvement Plan (SIP) application for this park shall be submitted to the City within six (6) months of approval of the first residential building permit within the internal couplet area, defined as bounded by RidgeGate Parkway (westbound) on the north and RidgeGate Parkway (eastbound) on the south. It shall be the responsibility of Rampart Range Metropolitan District to ensure the park SIP is submitted in a timely fashion to ensure future development is not delayed in the process of the district meeting this obligation.
- Construction of the park must commence within twelve months of approval of the SIP.
- Construction must be completed within eighteen months of commencement of construction.
- The park shall be dedicated to the City via special warranty deed following completion of a successful inspection and acceptance process with the City, consistent with Section 16-27-120 of City Code.
- Installation and permanent location of a monumental public art element shall be required for this site, as approved by the City during the Site Improvement Plan process for this park. The Rampart Range Metropolitan District shall be responsible for maintenance of the art element.
- The segment of Badger Gulch Regional Trail contained within the boundaries of Badger Gulch Park shall be designed, constructed and completed consistent with the development trigger for Badger Gulch Park.
- See Sheet 8 for a conceptual design of this park.



**** IMAGES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL PARK ELEMENTS WILL BE FINALIZED AT TIME OF SIP**

4. PROMONTORY PARK

- .75 acres
- Design approval as a full-process SIP with timing TBD and design to include Retaining Wall to create Usable Passive-type Park overlooking Badger Gulch, Badger Gulch Trail connections to Rhapsody Road sidewalk AND creating a 'Southern Visual Terminus for Rhapsody Road'
- The Site Improvement Plan (SIP) application for this park shall be submitted to the City and approved by the City prior to the City issuing the second residential building permit within the northern external couplet area, defined as bounded by RidgeGate Parkway (westbound) on the south and the Central Village planning area on the north.
- Construction of the park must commence within twelve months of approval of the SIP.
- Construction must be completed within eighteen months of commencement of the of construction.
- The park shall be dedicated to the City via special warranty deed following completion of a successful inspection and acceptance process with the City, consistent with Section 16-27-120 of City Code.
- See Sheet 9 for a conceptual design of this park.

5. GREENWAY PARK WEST

- 1.84 acres
- Design to be approved to include open lawn space and a seating area with trees but no parking.
- Primary Pedestrian Access to be via Pedestrian Signals at intersection of Rhapsody Road and Westbound RidgeGate Parkway or the East-West Gas Easement (Greenway Park as identified in the East Villages Sub-Area Plan)
- The Greenway Promenade Trail shall be designed, constructed and completed consistent with the development trigger for Greenway Park.
- The Site Improvement Plan (SIP) application for this park shall be submitted to the City and approved by the City prior to the City issuing the first residential building permit within the northern external couplet area, defined as bounded by RidgeGate Parkway (westbound) on the south and the Central Village planning area on the north.
- The park shall be dedicated to the City via special warranty deed following completion of a successful inspection and acceptance process with the City, consistent with Section 16-27-120 of City Code.
- Construction of the park must commence within twelve months of approval of the SIP.
- Construction must be completed within eighteen months of commencement of construction.
- The park shall be dedicated to the City via special warranty deed following completion of a successful inspection and acceptance process with the City, consistent with Section 16-27-120 of City Code.
- See Sheet 10 for conceptual design of this park.

5. GREENWAY PARK EAST

- 2.34 acres
- Design to be approved to include a skatepark, amenity area and overlook area but no parking.
- Primary Pedestrian Access to be via Pedestrian Signals at intersection of Rhapsody Road and Westbound RidgeGate Parkway or the East-West Gas Easement (Greenway Park as identified in the East Villages Sub-Area Plan)
- Greenway Park East will have a skatepark and overlook area to take advantage of the topography.
- The Greenway Promenade Trail shall be designed, constructed and completed consistent with the development trigger for Greenway Park.
- The Site Improvement Plan (SIP) application for this park shall be submitted to the City and approved by the City prior to the City issuing the first residential building permit within the northern external couplet area, defined as bounded by RidgeGate Parkway (westbound) on the south and the Central Village planning area on the north.
- A portable restroom facility will be part of the amenities at this park.
- Construction of the park must commence within twelve months of approval of the SIP.
- Construction must be completed within eighteen months of commencement of construction.
- The park shall be dedicated to the City via special warranty deed following completion of a successful inspection and acceptance process with the City, consistent with Section 16-27-120 of City Code.
- See Sheet 11 for conceptual design of this park.

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SHEET 7 OF 11		

PREPARED FOR:



GREEN SPACE AMENITIES AND CHARACTERISTICS

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



- LEGEND**
- (A) ACTIVE AREAS
 - (B) PLANTS & WILDLIFE
 - (C) DISCOVERY PLAY
 - (D) PUBLIC ART (FINAL LOCATION TBD)
 - (E) PEDESTRIAN BRIDGE
 - (F) STRUCTURES
 - (G) PASSIVE AREAS
 - (H) NATURAL AREAS
 - (I) DISTRICT MONUMENTATION
 - (J) PORTABLE RESTROOM ENCLOSURE

MONUMENT ART INSTALLATION MUST BE ACCESSIBLE, CONSISTENT WITH THE REQUIREMENT THAT PARK PROGRAMMING AND AMENITIES BE ACCESSIBLE TO PEOPLE OF ALL AGES AND ABILITIES

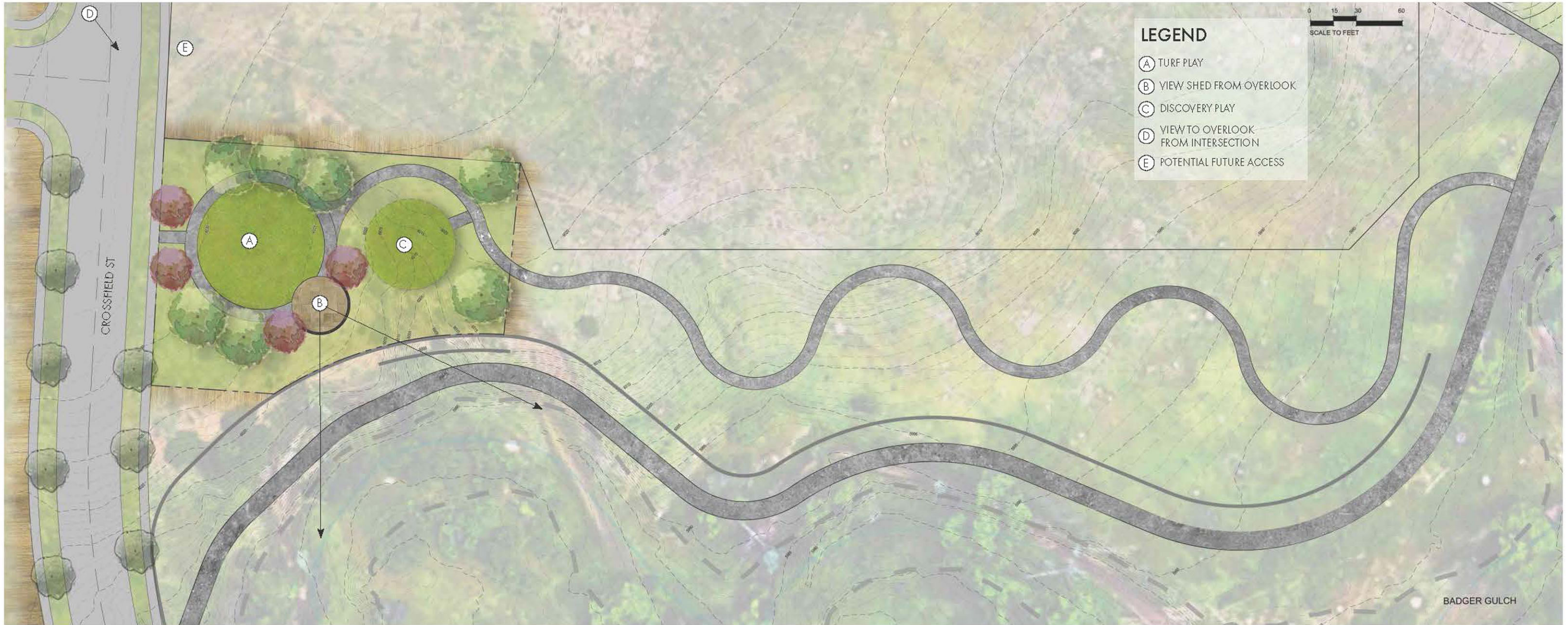
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SHEET 8 OF 11		

PREPARED FOR:



BADGER GULCH PARK PLAN

RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



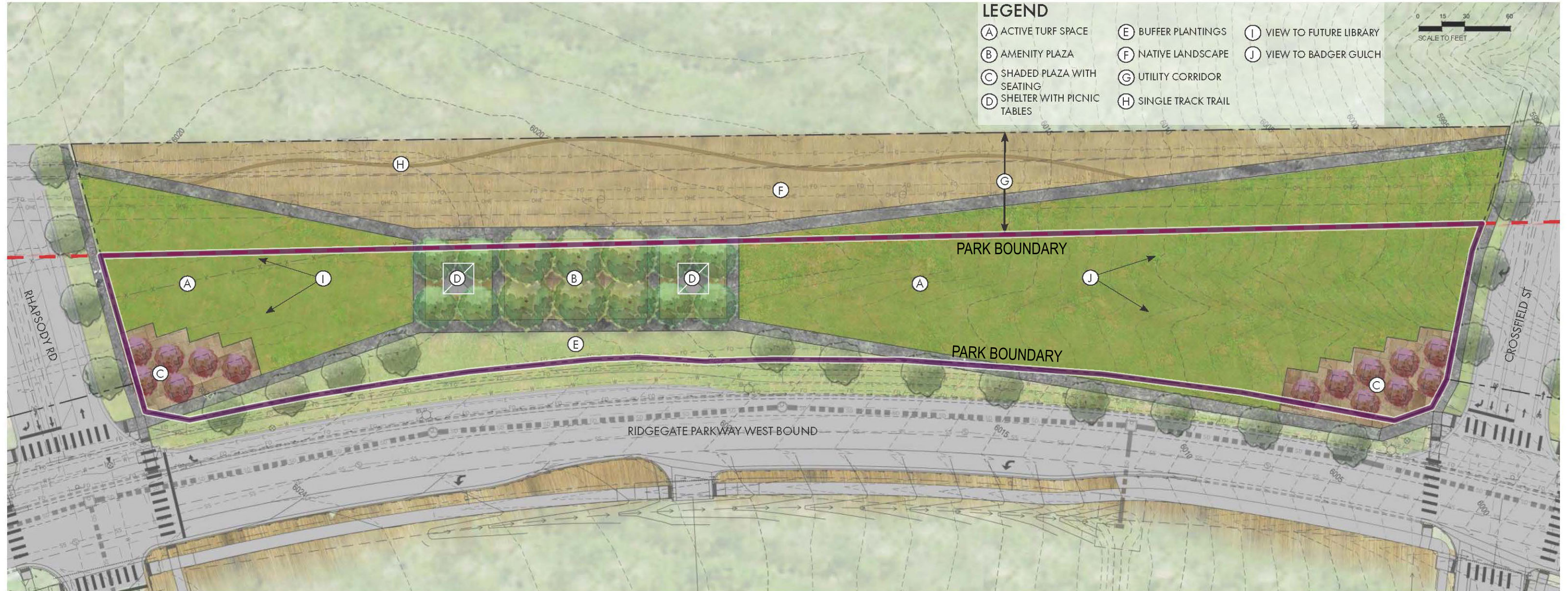
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PROMONTORY PARK PLAN

DATE: 11.19.22		
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⑦	RESUBMIT	12.14.23
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RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



PREPARED FOR:



GREENWAY PARK WEST PLAN

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RIDGEGATE EAST COUplet DISTRICT PARK MASTER PLAN



PREPARED FOR:



GREENWAY PARK EAST PLAN

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