

4.1.9 - Tract GG (Planning Area 11) Sub Area Plan Standards & Guidelines

Revised July 11, 2016

4.1.9.1 - Intent

The Sub Area Plan is intended to reduce the environmental and visual impacts of development and to guide the quality and character of the architecture.

4.1.9.2 - Variances

All variances from these standards must be in writing and will be reviewed administratively by the City of Lone Tree Planning Division. A determination must be made by the City that the variance furthers the intent of this Sub Area Plan. Denials of variances by the Community Development Director will be appealable to the City Council.

4.1.9.3 - Enforcement

The City's Planning staff and RidgeGate Design Review Committee (DRC) will review and enforce these standards and guidelines as provided herein. All building permit applications to the City must be accompanied by a letter of approval from the DRC as to compliance with the provisions in their purview. The developer must also submit evidence as to compliance with these standards & guidelines under City purview at the time of building permit application.

4.1.9.4 - Site Restrictions/Standards

These standards are reviewed and approved by the RidgeGate Design Review Committee (DRC).

- 4.1.9.4.a - To avoid a monotonous streetscape, no more than three of the same model with the same architectural style/elevation and same color scheme will be used within a cluster. Furthermore, the same model will not be built on adjacent lots or lots directly across from each other. No more than 30% of the same model will be built within the same cluster. Clusters are defined as follows and shown on the attached Cluster Map (Figure 1).

Cluster A: Lots 1- 5

Cluster B: Lots 6-10, Lots 32 - 38

Cluster C: Lots 11-15, Lots 27-31

Cluster D: Lots 16-26

Cluster E: Lots 39-50

4.1.9.5 - Fencing Standards

Open fencing only is permitted. Due to site grading, rock retaining walls are intended for side yards as required. Fencing, if desired, shall be installed by the future homeowner. If fencing is requested by a buyer, the developer will offer side and rear yard metal fencing without masonry columns per the image below. Wood and vinyl solid privacy fencing will not be allowed. Lots that have rear lot retaining walls will be required to install the 5 foot ornamental metal fence as shown below.

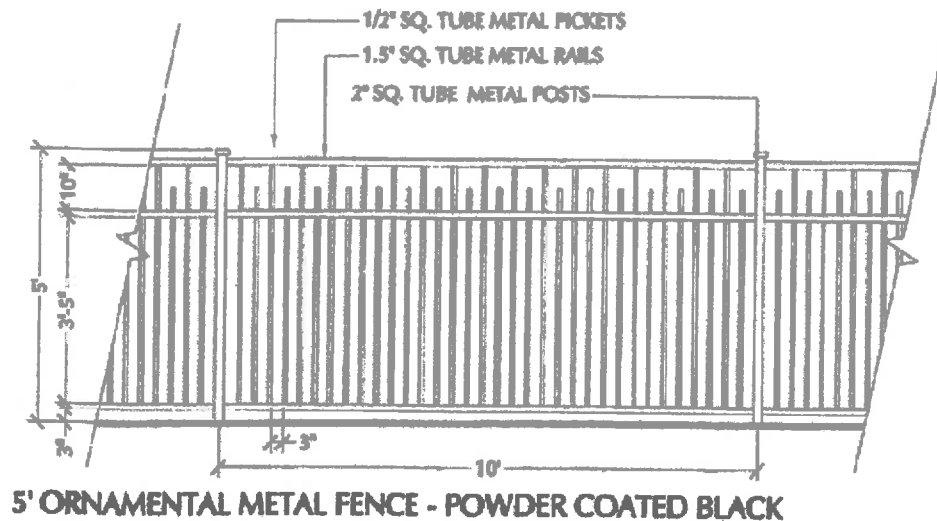


Figure 2. Optional Fencing

4.1.9.6 - Front and Rear Yard Landscaping Standards

The DRC will review landscape plans to ensure compliance with these standards. The following minimum plant materials are required for the front and rear yard:

- (1) 3.5" Deciduous Tree in Front Yard
- (9) 5 gallon Deciduous Shrubs
- (2) 5 gallon Evergreen Shrubs
- (8) 1 gallon Ornamental Grasses
- Kentucky/Texas Hybrid Sod

4.1.9.6.a – Downhill walkout lots have a 20' deep flat zone that embraces the street with driveways attaching at a perpendicular alignment. The front yard landscaping will be more manicured to enhance the approach to the home and blend site features such as patios and walls into the landscape. Shade trees shall be provided within the front 1/3 of the front yard creating shade along the street edge and sidewalk. The landscape will transition on the sides of the homes stepping down or terracing in the side yards to the rear yard.

4.1.9.6.b – Side loading downhill walkout lots have driveways entering the home with a 90 degree turn. The turning driveway shall have plantings to blend it with the grading of the lot. Other lot landscaping shall be similar to the Standards of the F1 type lot.

4.1.9.6.c – Flat lots that embrace the street with driveways attaching at a perpendicular alignment. The front yard landscaping shall complement the architecture and provide variety of landscape along the street frontage. The landscaping shall include foundation plantings that are sculpted and tie back into the street frontage. Shade trees shall be provided within the front 1/3 of the front yard creating shade along the street edge and sidewalk.

4.1.9.6.d – Rear downhill lots that transition to a sloped native open space without retaining walls. Rear yard fences are optional. The landscape shall provide a defensible zone for wildfire. The landscaping shall transition from manicured at the foundation to more native at the rear of the lot.

Ample drought tolerant plantings shall be provided to allow the architecture to blend into the native landscape. Planting beds shall separate private yard space from open space.

4.1.9.6.e – Rear downhill lots that transition to a sloped native open space with retaining walls. Rear yard fences are required. The landscape shall provide a defensible zone for wildfire. The retaining walls provide for both a physical and visual barrier between the lots and native open space. Landscaping for the rear of this type lot can be more manicured given the separation. Native, drought tolerant plants are encouraged.

4.1.9.6.f – Uphill rear lots that transition to a sloped native open space without retaining walls. Rear yard fences are optional. The landscape shall provide a defensible zone for wildfire. The landscaping shall transition from manicured at the foundation to more native at the rear of the lot. Ample drought tolerant plantings shall be provided to allow the architecture to blend into the native landscape. Planting beds shall separate private yard space from open space.

Figure 3. Landscaping Requirements (See attached Sheet L-1)

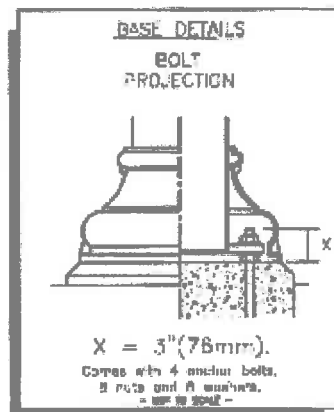
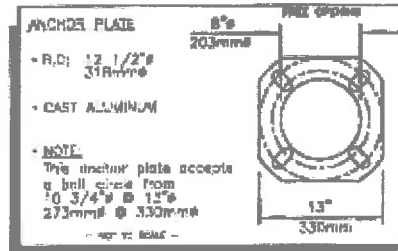
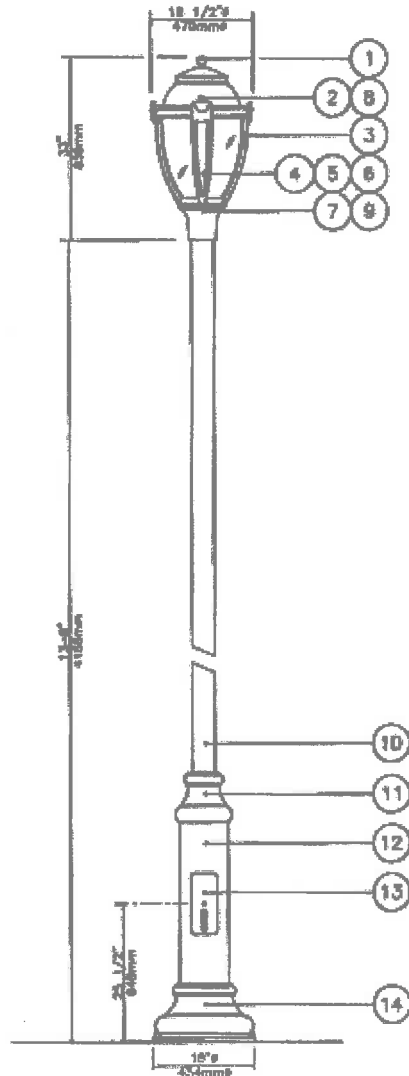
4.1.9.7 - Retaining Walls

Tract GG will employ a retaining wall design that correlates with location within the community and with the architectural and amenity area materials. The intent is a cohesive material palette with specific highlighted or enhanced areas. Side yard retaining walls are conceptually designed as low rock walls and typically do not require an engineered design. In areas with tiered walls, the developer will install low-water demand vegetation between the walls. The landscape plan for these walls will be reviewed and approved as part of the Final Plat.

Construction inspection reports, as-built records and a final written and sealed certification shall be provided (by a licensed professional structural engineer and/or professional Geotechnical Engineer) demonstrating that the engineered retaining walls as constructed are in conformance with the approved structural engineer design provided. This Certification shall be provided before approval for issuance of associated building permits.

4.1.9.8 - Lighting Guidelines

Tract GG will employ “dark skies” limitation on lighting. Exterior house lighting shall consist of fully cutoff fixtures only. The Park Plan developed by Henry Design Group designates proposed street light locations. Street lights will be the approved Ridgeway Street Light as shown below.



STEEL ANCHOR BOLTS
 3/4" x 20"
 (supplied by LUMEC)

NOTE: Pole height is: 14'-0" (4267mm)

TITLE: Lonetree RidgeGate TYPE: L80 (Item C)							381e7
LUMINAIRE SCALE 1/2" = 1'-0"	REVISION	NO. REV.	DATE	VER.	DESIGNED BY / DRAWING NO.	PAGE	
REGISTERED			04-11-03	MAL	L80 36147A	1/3	

Figure 4. Street Light Specifications

4.1.9.9 - Wildlife

Tract GG is designed to preserve most of Cottonwood Creek and associated riparian woodlands, with the exception of one road crossing. The preserved Cottonwood Creek woodlands will provide habitat for a variety of wildlife including birds and small mammals. Leaving the existing woody and herbaceous vegetation intact to help stabilize the drainage and surrounding slopes.

A small isolated wetland occurs within the project area; and will be preserved with the current plan. Most of the dense trees and shrubs along the Cottonwood Creek riparian corridor will remain, except at the southern end of the project. The road crossing at the southern end of the project will create a barrier to diminish wildlife movement between the riparian woodlands and wildlife habitat to the south and east; however, this riparian area is currently not a significant wildlife corridor because the road and detention pond to the north create a barrier to wildlife movement. Residents will be given information on living with wildlife by the developer at closing.

4.1.9.10 - Building Setbacks

These standards will be enforced by the City during Building Permit review and shown on plot plans.

- 4.1.9.10.a - Minimum Front Setback (see Figure 5 and 7a)
 - 10' Utility easement
 - 15' to side-load garages
 - 20' to front load garages
- 4.1.9.10.b - Minimum Rear Setback (see Figure 5 and 7a)
 - 15' to a covered or uncovered deck
 - In no case shall the primary structure or deck encroach into the 5'-0" rear yard drainage.
 - Stairs may encroach into the setback
- 4.1.9.10.c - Minimum Side Setback and Stepbacks (see Figures 5, 6 and 7a)
 - 5' side yard setbacks
 - The house shall be built to the side setback line for no more than 50% of the lot depth (e.g. 120 x 50% = 57.5')

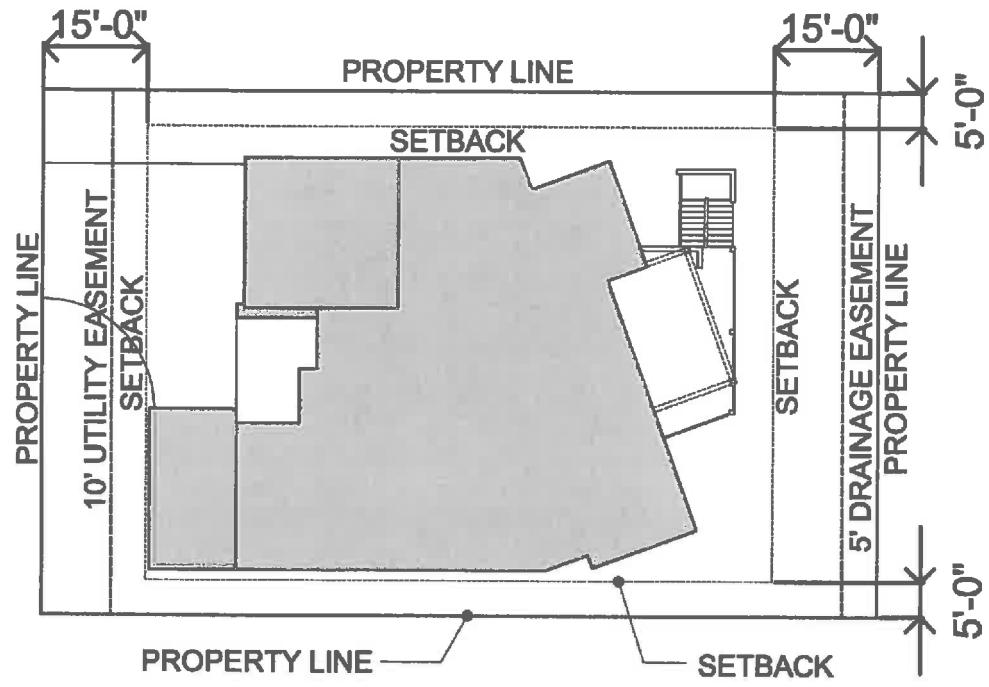


Figure 5. Front and Rear Yard Setbacks

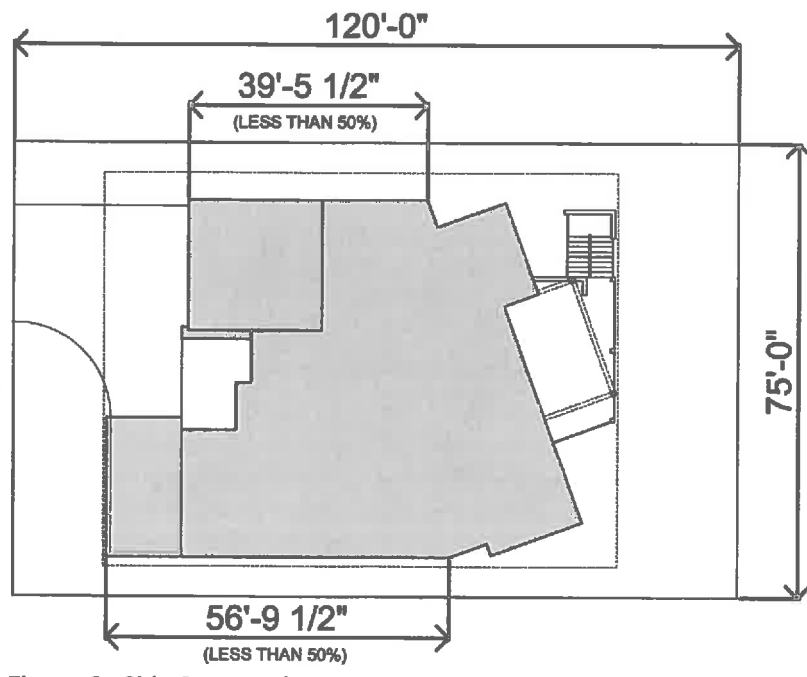


Figure 6. Side Step-Backs.

- 4.1.9.10.d - Setback modifications (Figures 7a, 7b, 7c, 7d and 7e).

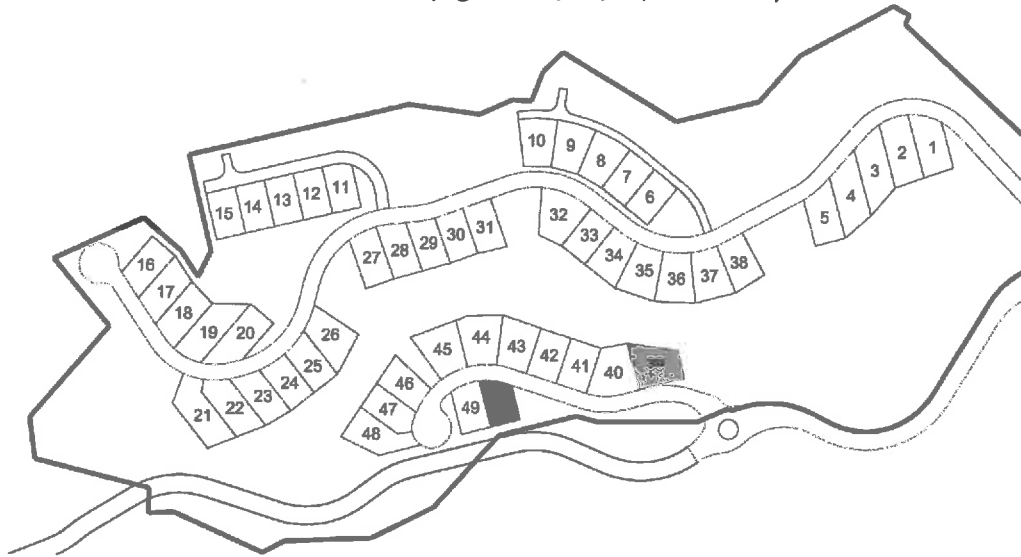


Figure 7a. Lots requiring setback modifications

- Lot 39 the setback from the NW lot line shall be the side setback and the setback from the NE lot line shall be the rear (see figure 7b & 7c).

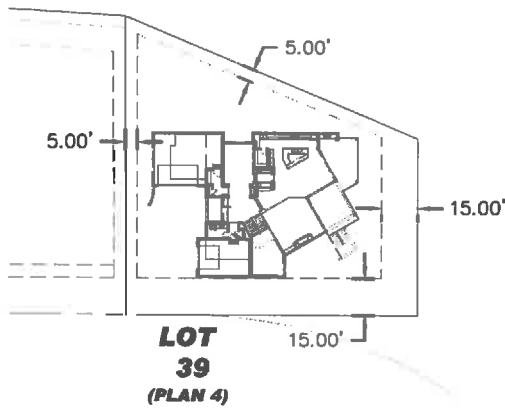


Figure 7b

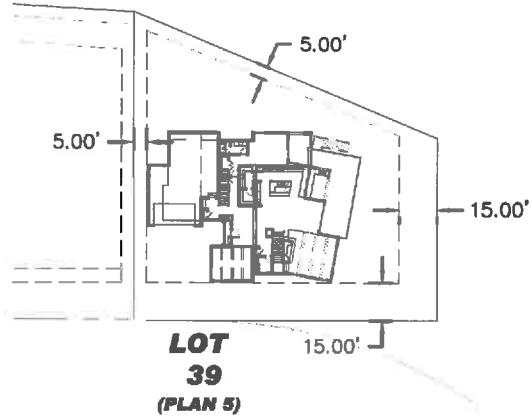


Figure 7c

- Lot 50 shall have a 5' side setback from the adjacent Tract L open space.

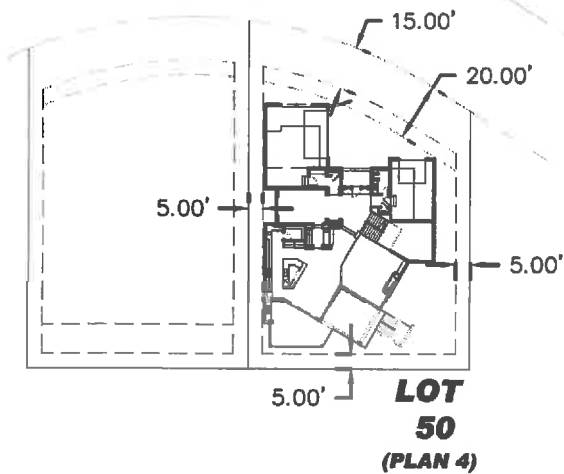


Figure 7d

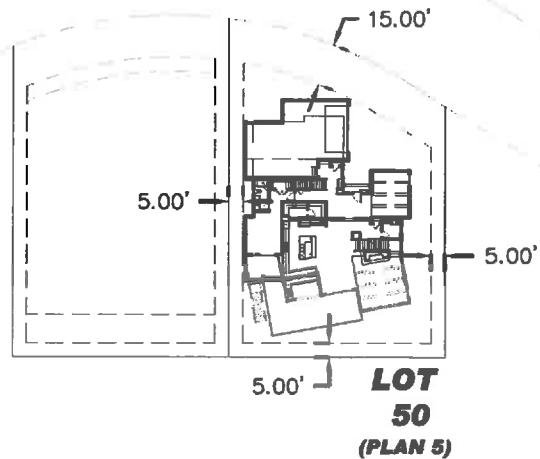


Figure 7e

4.1.9.11 - Integrating the Architecture into the Site

The DRC will review individual building plans to ensure compliance with these guidelines and standards.

Following the intent of the PDD, all home plans are developed to promote integration of the architecture into the site and feature low profile massing with low sloped roofs and less upper floor bulk. The project materials and architectural styles are also inspired by the site with all styles featuring natural materials like earth toned stucco, timber/wood accents and stone bases and elements that extend and integrate into the landscape. In addition, each proposed home plan shall feature at least 2 of the following strategies to further integrate the Architecture into the Site.

- Feature home plans that cluster the front door and garage doors to reduce the grading control points on the site and allow more of the site to slope naturally.
- Feature non-rectangular building form that angles to better align with the site's contours.
- Feature stepped living levels in the plan including split levels, sunken rooms, and other similar vertical arrangements.
- Feature architecture with raised foundation walls, hung joists and/or side-load garages that allow the finish floor elevation to be closer to or lower than the finish grade's high point adjacent to the house.
- Not locate rear main level and rear walk-out level patios on the downhill side of the lots. See Figure 8.

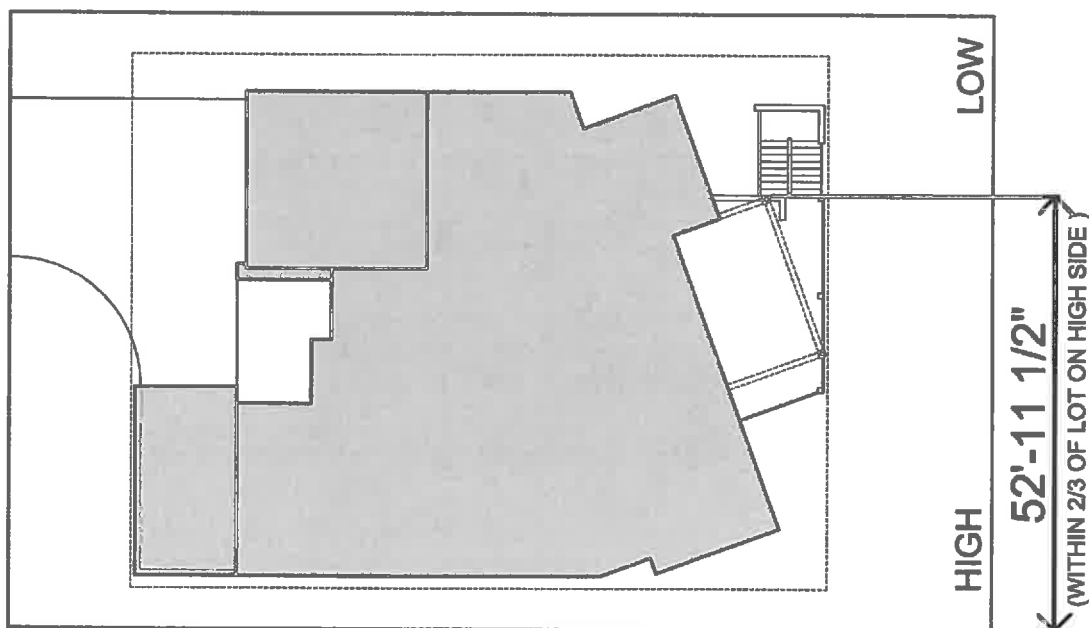


Figure 8. Rear Deck/Patio Location

4.1.9.12 - Additional Architectural Guidelines & Requirements

The DRC will review individual building plans to ensure compliance with these guidelines and standards.

- 4.1.9.13.a - Unbroken 3-story wall planes
 - No more than 33% of any rear elevation shall be an unbroken 3-story wall plane (covered or uncovered decks, roofs, wall plane breaks, etc. count as a wall break)
- 4.1.9.13.b - 360-degree architecture shall be provided for all plans through measures such as masonry, massing variation, trim and accent materials, detailing (corbels, brackets, shutters), and fenestration.

4.1.9.13 - Wildfire

The overall risk of the community is considered moderate according to the Wildfire Management Plan dated September 2015 as prepared by AnchorPoint Wildland Fire Solutions. Areas containing Gambel Oak are considered high risk. The following recommendations should be utilized to minimize the impact of a wildfire to the community. These mitigation measures for residential lots and common areas will become part of the Declaration of Covenants for Tract GG as reviewed and approved by the City and recorded prior to the first Certificate of Occupancy.

- Mitigate the risk of severe, uncontrollable wildfires by managing grass fuel through mowing adjacent to fencing and by thinning and low-limbing in Gambel oak stands.
- Rampart Range Metropolitan District shall communicate with South Metro Fire Rescue Authority (SMFRA) to be alerted when conditions are such that Gambel Oak becomes receptive to burning.
- Utilize only SMFRA Firewise plant list species for foundation plantings and landscaping.
- Install non-wood, Class B or better roofs.
- Restrict wood fencing.
- Do not allow yard clippings and yard waste to be dumped on open space land.
- Maintain a three (3) foot non-combustible perimeter around the base of all structures and under all, below roofline projections, including decks.
- Utilize the retaining wall adjacent to the interior Gambel Oak stand as a fuel break to backyards.

4.1.9.14– Miscellaneous

- Model Home Lots shall be Lots 1 and 2 with model home parking on Lot 3.
- Lot 1 and Lot 10 shall be Ranch home lots.
- Prior to conducting sales in the sales trailer or conducting sales offsite or within the model homes, the developer shall post a large map in the sales office and provide a map to purchasers and prospective purchasers of lots that shows the extension of Cabela Drive to the bluffs, with a note that states that there are a maximum of 346 residential units zoned for development on the mesa tops. The developer will also post signs with the same information and a map along the extension of Cabela Drive at the locations as provided on Attachment 4, with such signs to be maintained by the Rampart Range Metro District.
- The developer will build a small trailhead parking lot (13 parking spaces – as presented and approved at City Council April 5, 2016) at the location of the new pump house. The parking lot will be gravel only and marked Trail Head Parking. This work will be done at the time of

construction of the pump house. The developer will mark a temporary trail with poles, fence, and signage on the east side of the existing trail to connect with the temporary segment constructed by County Parks. This trail will be marked at the time when construction will occur for the extension of Cabela Drive to the first cul-de-sac to the south in Tract GG, so that trail access can continue during construction. No surface materials will be placed on this temporary trail.

- Irrigation plans for the parks, entries, retaining walls and pump house shall be submitted to the Lone Tree Community Development office and approved by the City prior to the issuance of the first building permit in Tract GG.
- Irrigation water will be trucked to the landscaping at those areas located outside the Southgate Water District Boundary. The plants in this area will be landscaped during Phase II (or sooner at the developer’s discretion) of development. Landscaping will be truck watered for two years, after which there would be a one-year trial period under which the landscaping would be subject to only natural rainfall/snowfall. Staff would inspect the landscaping at the end of that trial period. Should there be substantial plant loss (approximately 25% or more), as determined by staff, at the end of the trial period, they would be replaced by the developer with plants that did survive during this trial period or at the developer’s option, the developer may replace the lost plant material with hardscape (to be approved by staff). If replaced with plants that did survive, following that, a two-year truck watering process would again be undertaken by the developer, at their cost, until these plants were established. Surety would be required of the developer sufficient to cover the costs of plant materials and watering through the first and second trial period. If replaced with hardscape, another two-year truck watering process would not be required. An additional Surety would not be required.
- Retaining wall height chart for selected streets:

	Public Street based on Final Grading Plans submitted to City
Fork Bluff Point (north)	(2) 8 ft. walls and a 9.5-ft wall for 25.5 feet total
Fork Bluff Point (south)	(2) 8 ft walls & (1) 12 ft wall for 28 feet total
Rockbluff Point	(1) 8 ft & (1) 10.5 ft for 18.5 feet total

Attachments:

1. Cluster Map
2. Landscape Construction Plans dated July 11,2016
3. Park Plan
4. Future Road Signage