

# Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2 Heritage Hills Planned Development Planning Area 20 2.26 Acres Site Improvement Plan, SP18-47

**APPROVAL CERTIFICATE**

THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON (October 16, 2018).

BY: Kelly First  
 NAME: Kelly First  
 TITLE: COMMUNITY DEVELOPMENT DIRECTOR  
 DATE: 10/19/2018

BY: Stephen Ellis  
 NAME: Stephen Ellis  
 TITLE: DIRECTOR OF PUBLIC WORKS OR HIS/HER DESIGNATED REPRESENTATIVE  
 DATE: 10/19/2018

BY: Jackie Millet  
 NAME: Jackie Millet  
 TITLE: MAYOR  
 DATE: 10/22/2018

THE OWNER(S) OF THE LANDS DESCRIBED HERIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S) (S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

Stephen Coslik

(NAME OF OWNER) Stephen Coslik

(SIGNATURE OF OWNER) Stephen Coslik  
 stephen coslik

(PRINTED NAME AND TITLE) \_\_\_\_\_

STATE OF Texas )

COUNTY OF Tarrant )SS.

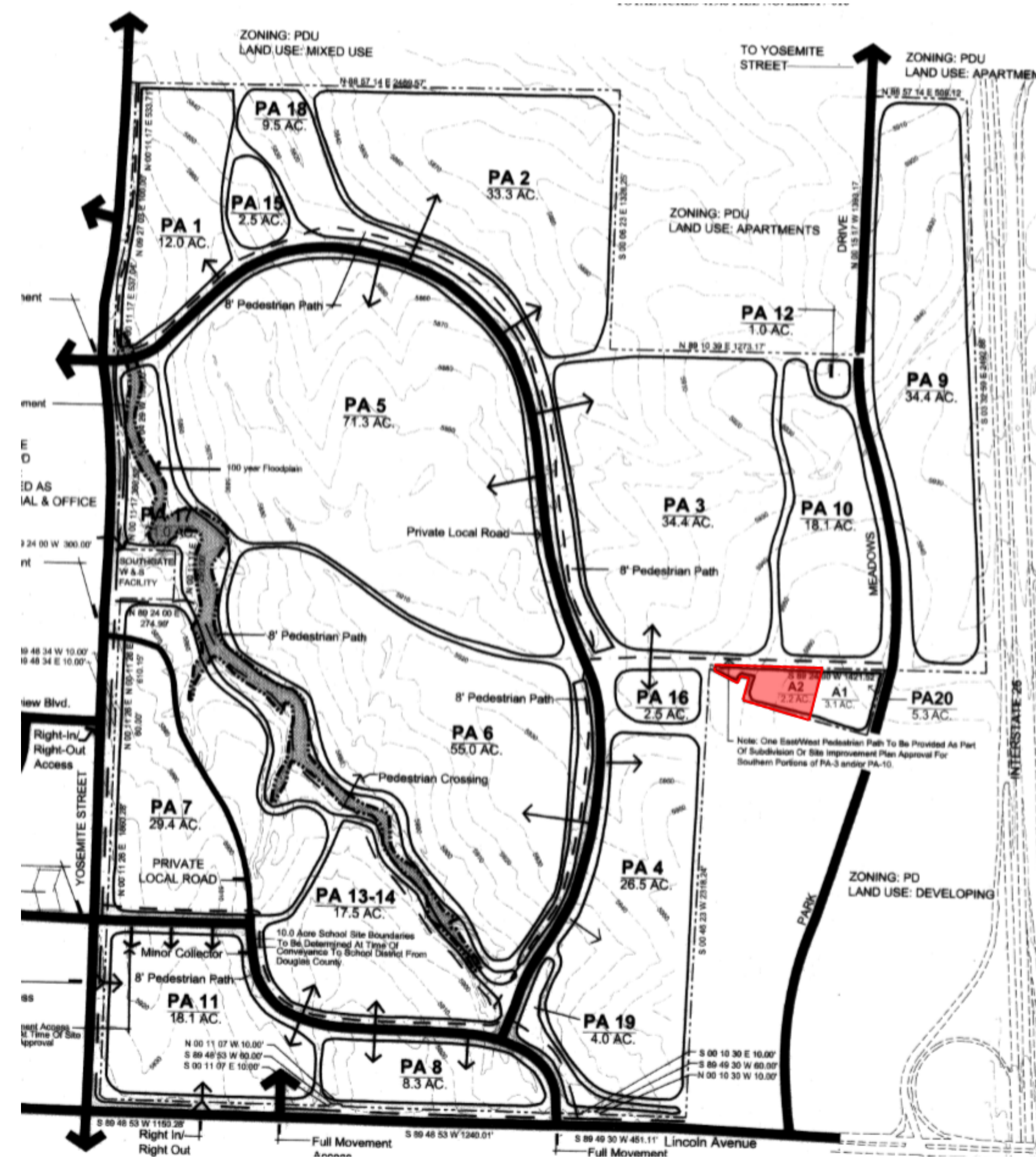
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10/18/2018 DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

Susan R. Johnson  
 NOTARY PUBLIC Susan R. Johnson

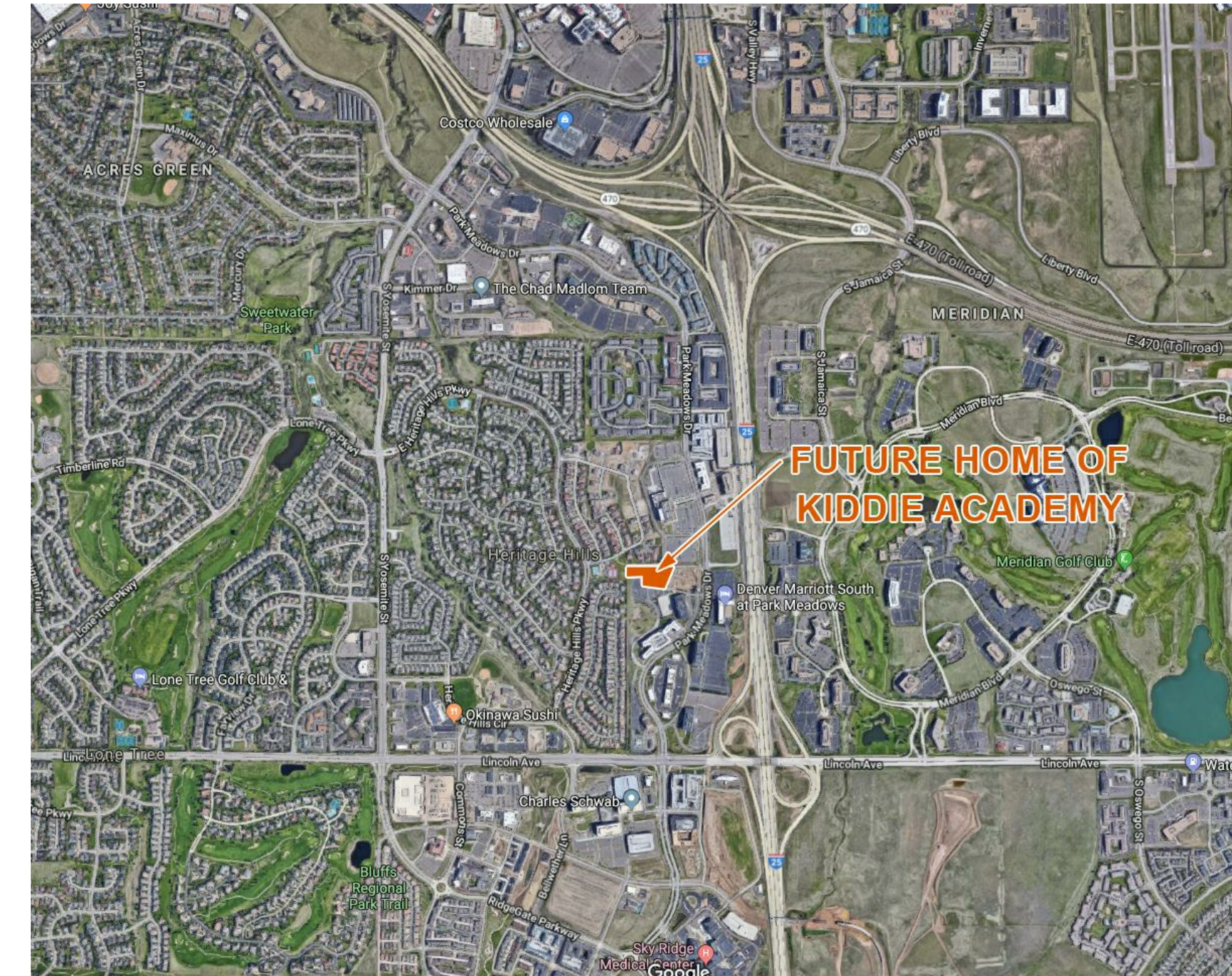
APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.

STANDARD CONDITIONS OF APPROVAL  
 (PER CITY OF LONE TREE MUNICIPAL CODE SECTION 16-27-70(B)(1):

THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.



**ZONING MAP**

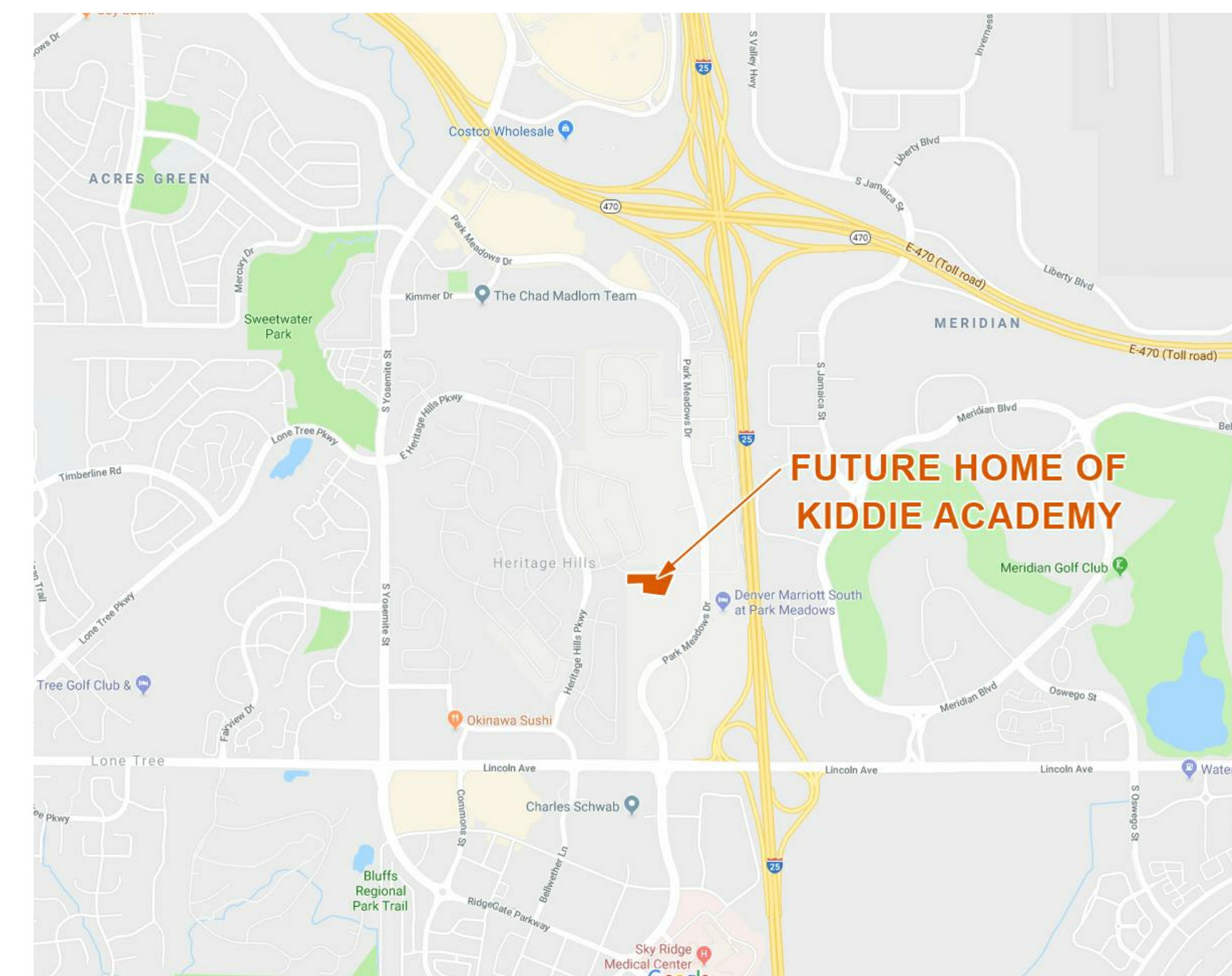


**VICINITY MAP**

SITE DATA TABLE		
ITEM : SITE	SQ. FT.	% OF GROSS
GROSS SITE AREA	98,236	100.0%
BUILDING FOOT PRINT	10,045	10.2%
PARKING/ ROADS (INCLUDING PLANTED INTERIOR ISLANDS)	35,570	36%
LANDSCAPE AREA (EXCLUDING PLANTED INTERIOR PARKING ISLANDS, AND NATIVE AREA, INCLUDING LANDSCAPED AREA, TRAILS, AND WALKS)	52,666	54%
NATURAL AREAS (NOT INCLUDED IN THE REQUIRED LANDSCAPED AREA)	23,315	24%
<b>ITEM : BUILDING SIZE</b>		
MAXIMUM HEIGHT (AS MEASURED BY THE CITY'S BUILDING CODE)		37'
TOTAL FLOOR AREA (SEE DEFINITION OF FLOOR AREA IN ARTICLE XXXVI)		10,045 SF
<b>ITEM : PARKING</b>		
<b>CAR PARKING</b>		
REQUIRED FOR STAFF (1 SPACE PER EMPLOYEE) 20 EMPLOYEES		20
REQUIRED FOR STUDENTS (1 SPACE PER 5 STUDENTS) 189/5=		38
REQUIRED FOR ADA (NOT IN ADDITION TO TOTAL REQ.)		3
TOTAL REQUIRED		58
PROVIDED		65
<b>BICYCLE PARKING</b>		
REQUIRED		2
PROVIDED		2
<b>ITEM : PEOPLE</b>		
STUDENTS		189 PEOPLE
EMPLOYEES		20 PEOPLE

**NOTE:** 10,045 SF FOR BUILDING AREA IS ACCORDING TO DEFINITION OF FLOOR AREA IN ARTICLE XXXVI ANY REFERENCES TO BUILDING AREA BEING 11,000 IS A GROSS SF ACCORDING TO IBC

PLANNING SHEET LIST		
#	SHEET NAME	ISSUE DATE
1	COVER SHEET	09/11/18
2	SITE PLAN	09/11/18
3	GRADING PLAN	09/11/18
4	UTILITY PLAN	09/11/18
5	LANDSCAPE PLAN	09/11/18
6	LANDSCAPE DETAILS	09/11/18
7	LANDSCAPE DETAILS	09/11/18
8	LANDSCAPE DETAILS	09/11/18
9	IRRIGATION SCHEMATIC	09/11/18
10	PHOTOMETRIC PLAN	09/11/18
11	FIXTURE TYPES	09/11/18
12	FIXTURE TYPES	09/11/18
13	BUILDING ELEVATIONS	09/11/18
14	BUILDING ELEVATIONS	09/11/18



**AREA MAP**

**KIDDIE ACADEMY**

**COVER SHEET**

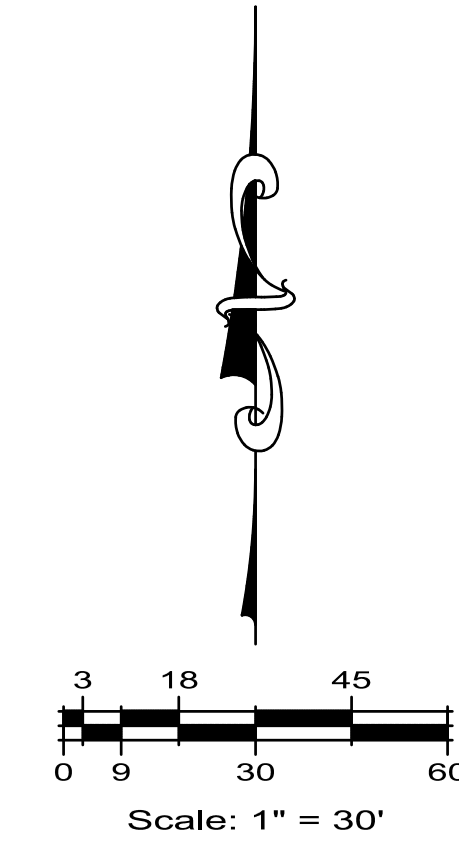
DATE OF SUBMITTAL: 07.18.2018	
REVISIONS	
DATE	NO.

**SHEET**  
**1 OF 14**

PWN Architects and Planners, Inc.  
 9250 E Costilla Avenue | Suite 620  
 Greenwood Village, CO 80112  
 voice: 303.649.9800 fax: 303.649.9870  
 pwnarchitects.com



Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2  
 Heritage Hills Planned Development  
 Planning Area 20  
 2.26 Acres  
 Site Improvement Plan, SP18-47

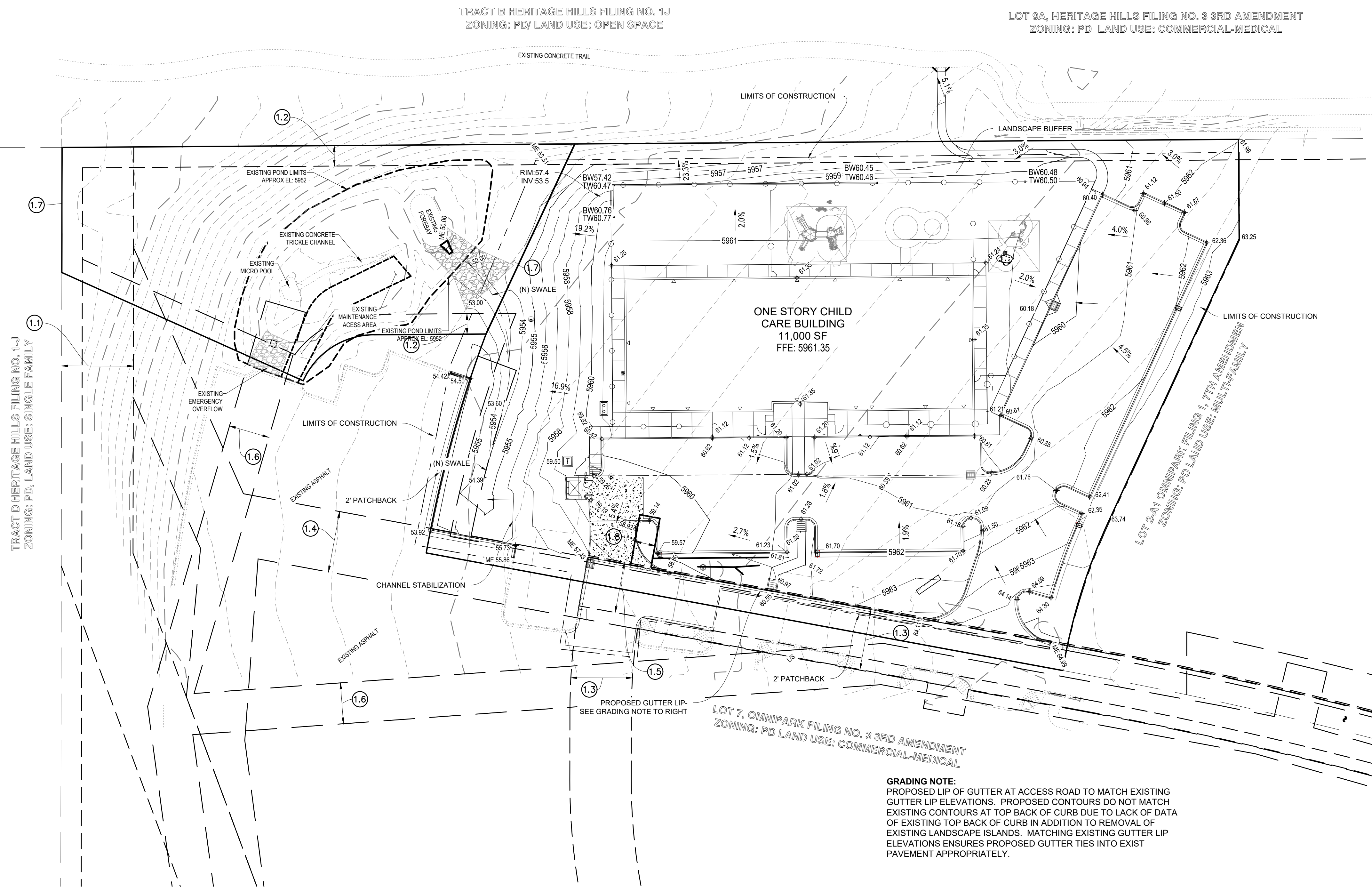


**LEGEND**

- EXIST. BOUNDARY
  - - - EXIST. EASEMENT
  - ==== PROP. CURB & GUTTER
  - ..... EXIST. CURB & GUTTER
  - ▭ PROP. SIDEWALK
  - ▭ PROP. ADA PARKING
  - ⊕ PROP. LIGHT POLE
  - ⊕ EXIST LIGHT POLE
  - ▨ PROP. GENERAL PARKING CONCRETE PAVING
  - ▨ PROP. HEAVY TRAFFIC CONCRETE PAVING
  - ▨ PROP. GENERAL PARKING ASPHALT PAVING
  - ▨ PROP. HEAVY TRAFFIC ASPHALT PAVING
- 
- (E) CONTOUR LINE
  - (N) CONTOUR LINE
  - PROP. GRADE BREAK
  - PROP. SLOPE
  - PROP. SPOT ELEVATION
  - TC XX.XX TOP OF CURB ELEVATION
  - FL XX.XX FLOWLINE ELEVATION
  - ME XX.XX MATCH EXISTING ELEVATION
  - RIM XX.XX PROPOSED RIM ELEVATION
  - SWXX.XX PROPOSED SIDEWALK ELEVATION
  - FGXX.XX PROPOSED FINISHED GRADE ELEVATION
  - TSXX.XX PROPOSED TOP OF SIDEWALK RAMP
  - EOCXX.XX PROPOSED EDGE OF CONCRETE
  - EOWXX.XX PROPOSED EDGE OF WALK ELEVATION
  - BOWXX.XX PROPOSED BACK OF WALK ELEVATION

**EASEMENTS:**

- (1) 35' NON-EXCLUSIVE SANITARY SEWER EASEMENT (REC. NO. 9658836) (REC. NO. 2008022060) (REC. NO. 00029240) (REC. NO. 2014049038)
- (2) 10' UTILITY EASEMENT (REC. NO. 9658836) (REC. NO. 2008022060) (REC. NO. 00029240) (REC. NO. 2014049038)
- (3) 30' NON-EXCLUSIVE WATERLINE EASEMENT (REC. NO. 2014049038)
- (4) 30' NON-EXCLUSIVE SANITARY SEWER EASEMENT (REC. NO. 2014049038)
- (5) ACCESS EASEMENT (REC. NO. 2014071622) (REC. NO. 2014049038)
- (6) 20' DRAINAGE EASEMENT (REC. NO. 2014049038)
- (7) DRAINAGE EASEMENT LIMITS FOR DETENTION FACILITY
- (8) 10' FIRE HYDRANT EASEMENT



**GRADING NOTE:**  
 PROPOSED LIP OF GUTTER AT ACCESS ROAD TO MATCH EXISTING GUTTER LIP ELEVATIONS. PROPOSED CONTOURS DO NOT MATCH EXISTING CONTOURS AT TOP BACK OF CURB DUE TO LACK OF DATA OF EXISTING TOP BACK OF CURB IN ADDITION TO REMOVAL OF EXISTING LANDSCAPE ISLANDS. MATCHING EXISTING GUTTER LIP ELEVATIONS ENSURES PROPOSED GUTTER TIES INTO EXIST PAVEMENT APPROPRIATELY.

**KIDDIE  
 ACADEMY  
 GRADING PLAN**

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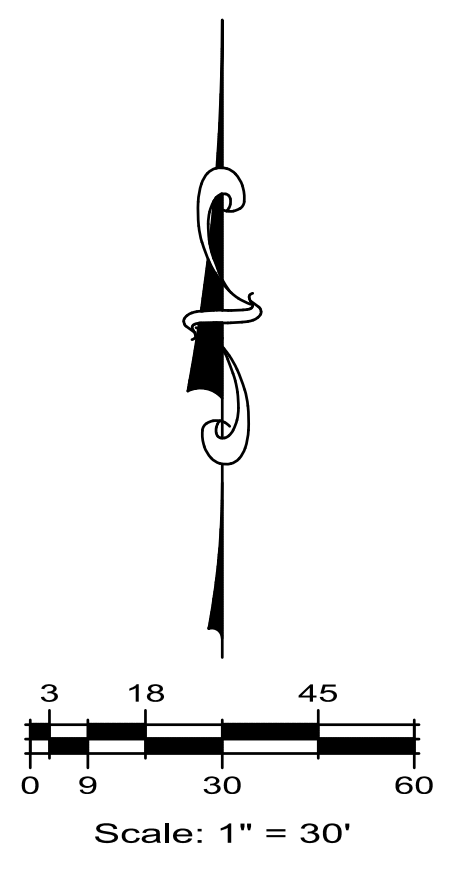
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**Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2**  
**Heritage Hills Planned Development**  
**Planning Area 20**  
**2.26 Acres**  
**Site Improvement Plan, SP18-47**

**UTILITY LEGEND**

- PROP. SWALE
- ST --- PROP. STORM SEWER
- PROP. STORM SEWER
- PROP. STORM TYPE 13 INLET
- PROP. STORM AREA INLET
- ▲ PROP. FLARED END SECTION
- 8"SS --- EXIST. SANITARY SEWER LINE
- SS --- PROP. SANITARY SEWER LINE
- EXIST. SANITARY MANHOLE
- PROP. SANITARY MANHOLE
- PROP. PROPOSED GREASE TRAP
- PROP. SANITARY CLEANOUT
- 8"W --- EXIST. WATER LINE
- W --- PROP. WATER LINE
- EXIST FIRE HYDRANT
- PROP. FIRE HYDRANT
- PROP. WATER METER
- EXIST. GATE VALVE
- PROP. GATE VALVE
- PROP. TEE w/ THRUST BLOCK
- PROP. BEND w/ THRUST BLOCK
- PROP. REDUCER
- E --- EXIST. ELECTRICAL LINE
- E --- PROP. ELECTRICAL LINE
- PROP. ELECTRICAL TRANSFORMER PAD
- G --- EXIST. GAS LINE
- G --- PROP. GAS LINE



**UTILITY PLAN KEYED NOTES - WATER:**

- 1 (E) 8" WATER MAIN
- 2 (E) WATER VALVE
- 3 INSTALL (N) 1.5" WATER LINE TAP
- 4 INSTALL CURB STOP
- 5 INSTALL (N) 1.5" TYPE K CU DOMESTIC WATER LINE
- 6 INSTALL (N) FIRE HYDRANT PER SOUTHGATE WSD STANDARDS
- 7 INSTALL (N) 8" D.I.P. FIRE HYDRANT LINE
- 8 PROTECT (E) FIRE HYDRANT
- 9 INSTALL (N) 8" TEE w/ 8"x8" REDUCER & GATE VALVE
- 10 INSTALL (N) WATER METER

**UTILITY PLAN KEYED NOTES - STORM:**

- 11 INSTALL (N) TYPE 13 STORM INLET
- 12 INSTALL (N) 12" SDR 35 PVC STORM DRAIN LINE
- 13 INSTALL (N) NYOPLAST STYLE STORM DRAIN INLET
- 14 INSTALL (N) 8" SDR 35 PVC ROOF DRAIN LINE
- 15 INSTALL (N) ROOF DRAIN OUTLET
- 16 INSTALL (N) TYPE 16 CURB STORM INLET
- 17 INSTALL (N) 18" RCP STORM LINE
- 18 INSTALL (N) 4 FOOT DIA STORM MANHOLE

**UTILITY PLAN KEYED NOTES - SANITARY:**

- 19 (E) 8" SANITARY SEWER MAIN
- 20 INSTALL (N) 4" PVC SANITARY SEWER SERVICE LINE
- 21 INSTALL (N) DOUBLE CLEANOUT
- 22 INSTALL (N) GREASE TRAP

**UTILITY PLAN KEYED NOTES - DRY:**

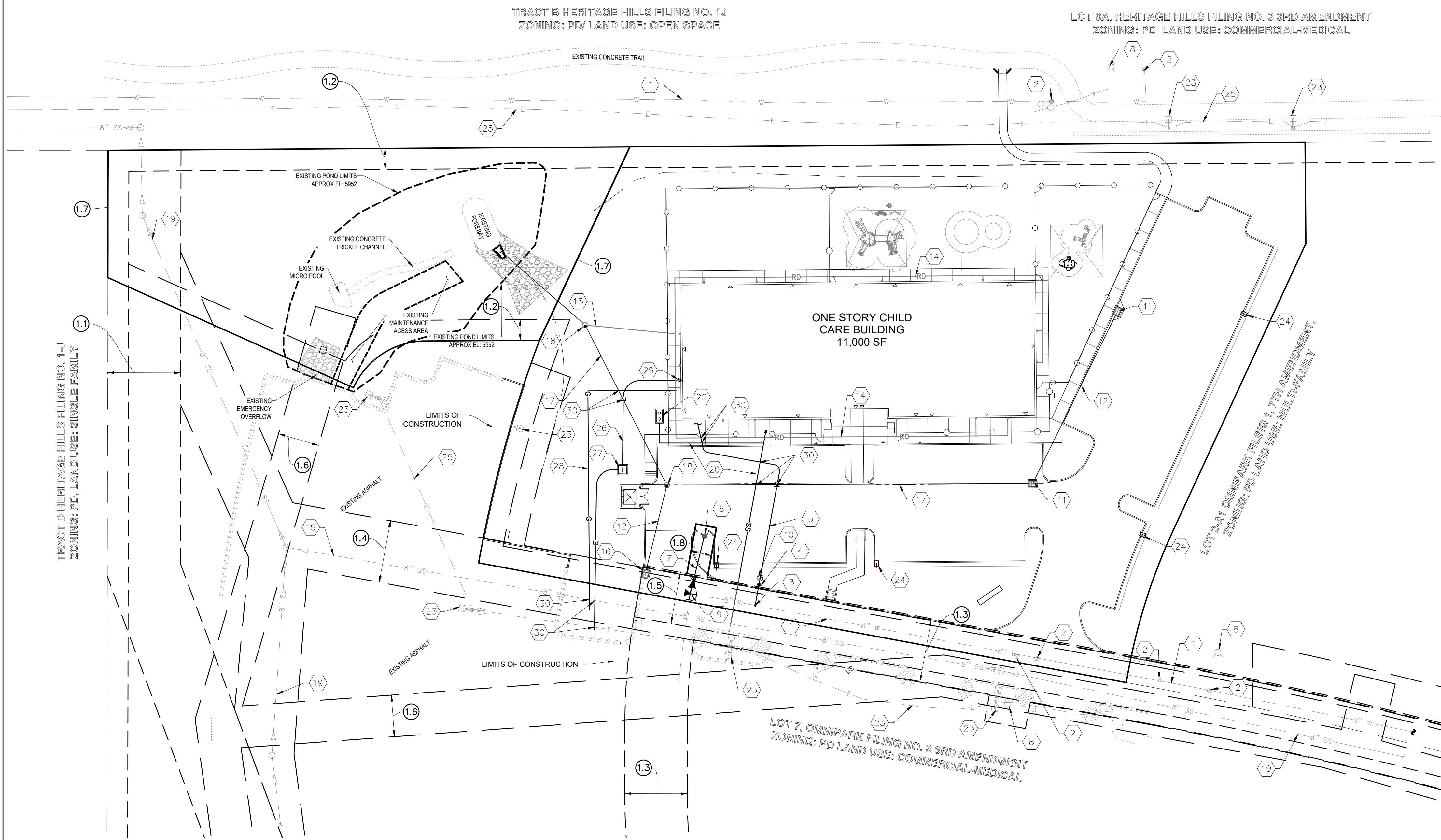
- 23 (E) LIGHT POLE
- 24 INSTALL (N) PARKING LOT LIGHTS
- 25 (E) ELECTRICAL LINE
- 26 INSTALL (N) ELECTRICAL LINE
- 27 INSTALL (N) ELECTRICAL TRANSFORMER
- 28 INSTALL (N) GAS SERVICE LINE
- 29 INSTALL (N) GAS METER

**UTILITY PLAN KEYED NOTES - GENERAL:**

30 CAUTION - UTILITY CROSSING. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF CROSSING UTILITIES PRIOR TO CONSTRUCTION AND PROVIDE ADEQUATE CLEARANCES BETWEEN EXISTING/PROPOSED UTILITY INSTALLATIONS. CONTRACTOR TO CONFIRM INVERTS AND UTILITY PROVIDER ALLOWABLE CLEARANCES PRIOR TO CONSTRUCTION.

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**KIDDIE ACADEMY UTILITY PLAN**

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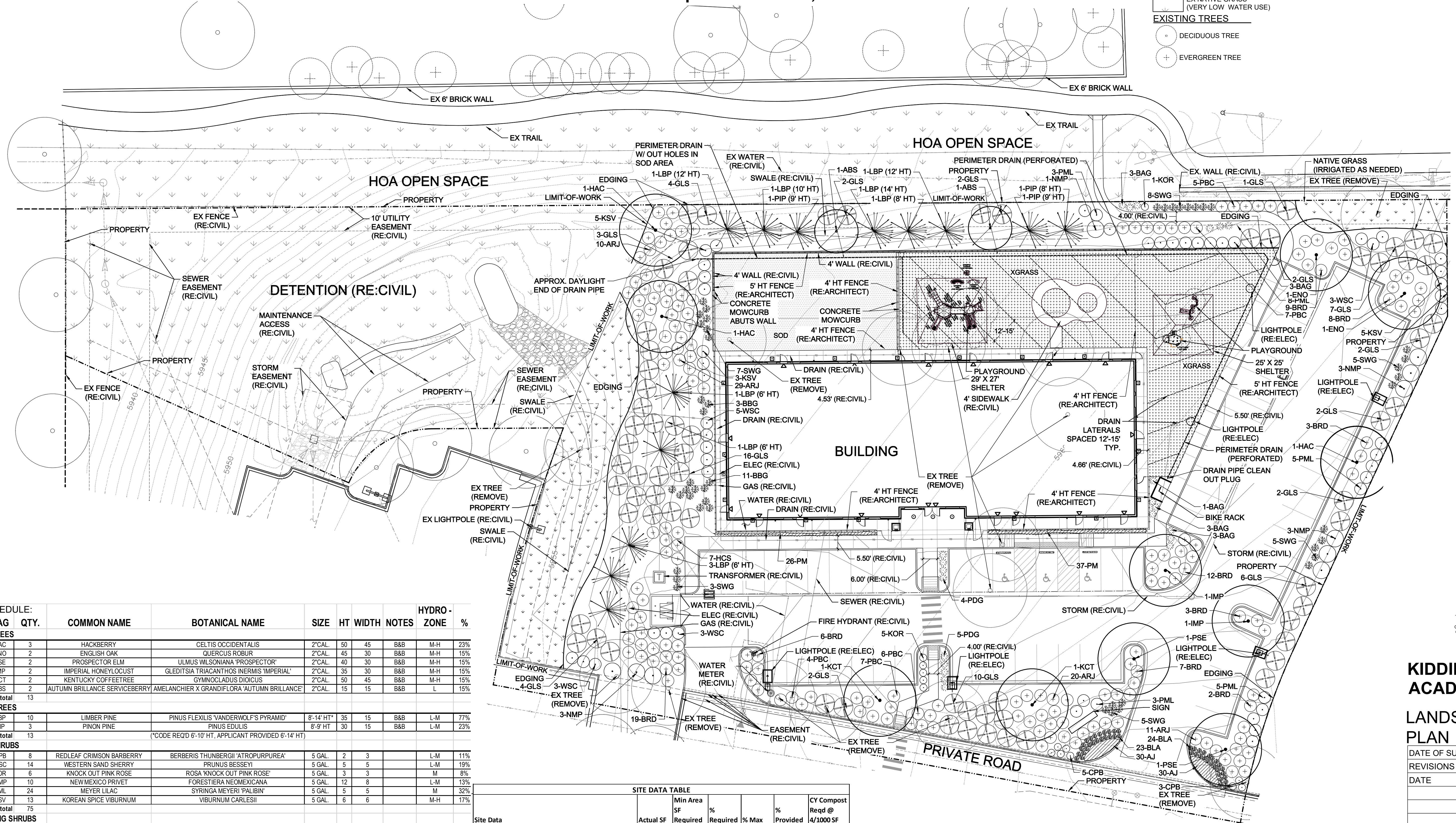
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Planning Area 20  
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- 'ENVIROTURF' FESCUE HYBRID SOD BY TURFMASTER SOD (970) 493.8311
- XGRASS PRIME<sup>SM</sup> SYNTHETIC TURF
- NATIVE GRASS SEED (VERY LOW WATER USE)
- EX NATIVE GRASS (VERY LOW WATER USE)
- EXISTING TREES**
- DECIDUOUS TREE
- EVERGREEN TREE



PLANT SCHEDULE:										
SYMBOL	TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	HT	WIDTH	NOTES	HYDRO-ZONE	%
<b>DECIDUOUS TREES</b>										
	HAC	3	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL	50	45	B&B	M-H	23%
	ENO	2	ENGLISH OAK	QUERCUS ROBUR	2" CAL	45	30	B&B	M-H	15%
	PSE	2	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2" CAL	40	30	B&B	M-H	15%
	IMP	2	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS 'IMPERIAL'	2" CAL	35	30	B&B	M-H	15%
	KCT	2	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS	2" CAL	50	45	B&B	M-H	15%
	ABS	2	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL	15	15	B&B	L	15%
Subtotal 13										
<b>EVERGREEN TREES</b>										
	LBP	10	LIMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	8'-14" HT*	35	15	B&B	L-M	77%
	PIP	3	PINON PINE	PINUS EDULIS	8'-9" HT	30	15	B&B	L-M	23%
Subtotal 13										
(*CODE REQ'D 6'-10" HT, APPLICANT PROVIDED 6'-14" HT)										
<b>DECIDUOUS SHRUBS</b>										
	CPB	8	RED LEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL	2	3		L-M	11%
	WSC	14	WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL	5	5		L-M	19%
	KOR	6	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL	3	3		M	8%
	NMP	10	NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA	5 GAL	12	8		L-M	13%
	PML	24	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL	5	5		M	32%
	KSV	13	KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL	6	6		M-H	17%
Subtotal 75										
<b>LOW SPREADING SHRUBS</b>										
	BRD	68	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL	1	6		L-M	28%
	GLS	69	GRASS LOW SUMAC	RHUS AROMATICA 'GRASS LOW'	5 GAL	3	7		L-M	28%
	ARJ	20	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL	2	6		L-M	28%
	PBC	29	CREeping WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAINEE BUTTES'	5 GAL	2	5		L-M	12%
	HCS	7	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUILLI 'HANCOCK'	5 GAL	3	5		L-M	3%
Subtotal 243										
<b>PERENNIALS W/ CEDAR MULCH</b>										
	PM	63	PARDON ME DAYLILY	HEMEROCALLIS 'PARDON ME'	1 GAL	1.5	1.5	18" O.C.	M	
	AJ	60	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	1 GAL	2	1.5	18" O.C.	L-M	
Subtotal 123										
<b>ORNAMENTAL GRASSES</b>										
	BBG	14	BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL	6	3		L-M	
	BAG	13	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL	4	3		L-M	
	BLA	47	BLONDE AMBITION GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL	2	2		L-M	
	SWG	33	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL	5	3		L-M	
	PDG	9	PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL	3	3		L-M	
Subtotal 116										

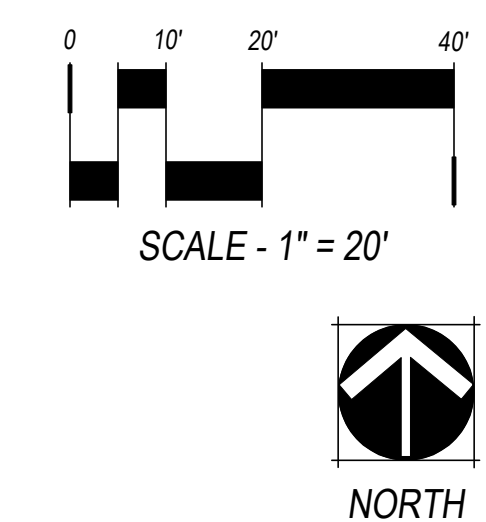
SITE DATA TABLE						
Site Data	Actual SF	Min Area SF Required	% Required	% Max	% Provided	CY Compost Req'd @ 4/1000 SF
Gross Site Area:	98,236	N.A.	N.A.	N.A.	100%	N.A.
Building Coverage:	10,000	N.A.	N.A.	N.A.	10%	N.A.
Hard Surface Area:	32,846	N.A.	N.A.	N.A.	33%	N.A.
Total Landscaped Area (Excluding R.O.W.):	55,390	14,735	15%	N.A.	56%	See below
Landscaped Area (Shrubs, Perennials, Ornamental Grasses):	22,344	N.A.	N.A.	N.A.	N.A.	See below
Irrigated Sod (Excluding R.O.W.):	3,084	N.A.	N.A.	N.A.	6%	See below
Native Grass - (temp-Irrigated)	3,640					15
Native Grass - Irrigated	757					3
Native Grass - (existing)	18,630					
Playground area w/ Xturf	6,935	N.A.	N.A.	N.A.	N.A.	N.A.
Permanently Irrigated Landscape (Including R.O.W.):	26,185	N.A.	N.A.	N.A.	N.A.	105
Irrigated Sod (R.O.W.):	0	N.A.	N.A.	N.A.	N.A.	
Landscaped Area (R.O.W.): (Shrubs, Perennials, Ornamental Grasses)	0	N.A.	N.A.	N.A.	N.A.	N.A.
TOTAL CY OF COMPOST: 119						

**SEED NOTES:**

SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. ALL SEED APPLICATIONS SHALL BE DRILL SEEDING, WITH HYDROMULCH APPLIED OVER THE SEED BED AFTER SEEDING.

HYDROMULCH MIX	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER/TACKIFIER	4

NATIVE GRASS SEED MIX - NON-IRRIGATED (TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT) COLORADO MIX- DRILL SEEDING (INCREASE SEED RATE TO 50 PLS FOR BROADCAST)			
COMMON NAME	% OF TOTAL	PLS PER ACRE	HEIGHT/FT
WESTERN WHEATGRASS	20	5.0	2.0
SODAR STREAMBANK WHEATGRASS	15	3.8	4.0
SLENDER WHEATGRASS	20	5.0	1.0
CANADA WILDREY	5	1.3	5.0
BUFFALO GRASS	15	3.8	0.5
SHERMAN BIG BLUEGRASS	10	2.5	2.0
BLUE GRAMA	15	3.8	1.0
<b>TOTAL</b>	<b>100</b>	<b>25</b>	



**KIDDIE ACADEMY**

**LANDSCAPE PLAN**

DATE OF SUBMITTAL:	09.10.2018
REVISIONS	
DATE	NO.

**SHEET 5 OF 14**

**PWN Architects and Planners, Inc.**  
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ENTIREMENT DRAWINGS NOT FOR CONSTRUCTION

**grounded by design**  
LANDSCAPE ARCHITECTURE  
P.O. Box 1953  
Wheat Ridge, CO 80034  
Office: (303) 872.7807  
www.groundedbydesign.com

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**Omnipark Filing 1, 7th Amendment, Lot 2-A2  
Heritage Hills Planned Development  
Planning Area 20  
2.26 Acres  
Site Improvement Plan, SP18-47**

**4 PLAY EQUIPMENT SCHEDULE**

**CONTACT INFO:**  
JIM NEIDIG  
XCEED RECREATION GROUP, INC.  
XCEEDRECREATION@OUTLOOK.COM  
570-809-3231

PLAYWORLD EQUIPMENT - Large Playground
ZZCH2727 TWIST AND SHOUT SLIDE
ZZCH3126 GLIDE SLIDE
ZZCH4290 POST MOUNTED STEERING WHEEL
ZZCH4446 SLIDE-N-LEARN PANE
ZZCH4506 DOOR PANEL W/ RATTLE KNOBS (GROUND LEVEL)
ZZCH4506 DOOR PANEL W/ RATTLE KNOBS (GROUND LEVEL)
ZZCH4529 WHIMSY WHEEL PANEL (GROUND LEVEL)
ZZCH4646 STORE FRONT PANEL
ZZCH4811 OVAL BUBBLE PANEL (DECK MOUNT)
ZZCH7439 ROCK CLIMBER (48in DECK)
ZZCH8110 BEANSTALK CLIMBER (48in DECK)
ZZCH8190 TREE CLIMBER (48in DECK)
ZZCH6595 6ft ARCH BRIDGE
ZZCH4556 7in BELL (POST MOUNT)
ZZCH4558 9in BELL (POST MOUNT)
ZZXX0664 CONCERTO 3 CONGAS
ZZXX0666 CONCERTO VIBES
ZZXX0667 CONCERTO CHIMES

PLAYWORLD EQUIPMENT - Small Playground
ZZFP4001 PRETEND PLAY PANEL
ZZFP4002 CLIMB AND SLIDE PANEL
ZZFP4004 END CLIMBER

LITTLE TYKES EQUIPMENT - Small Playground
200088461 TOT TREE

**PLAYGROUND NOTES:**

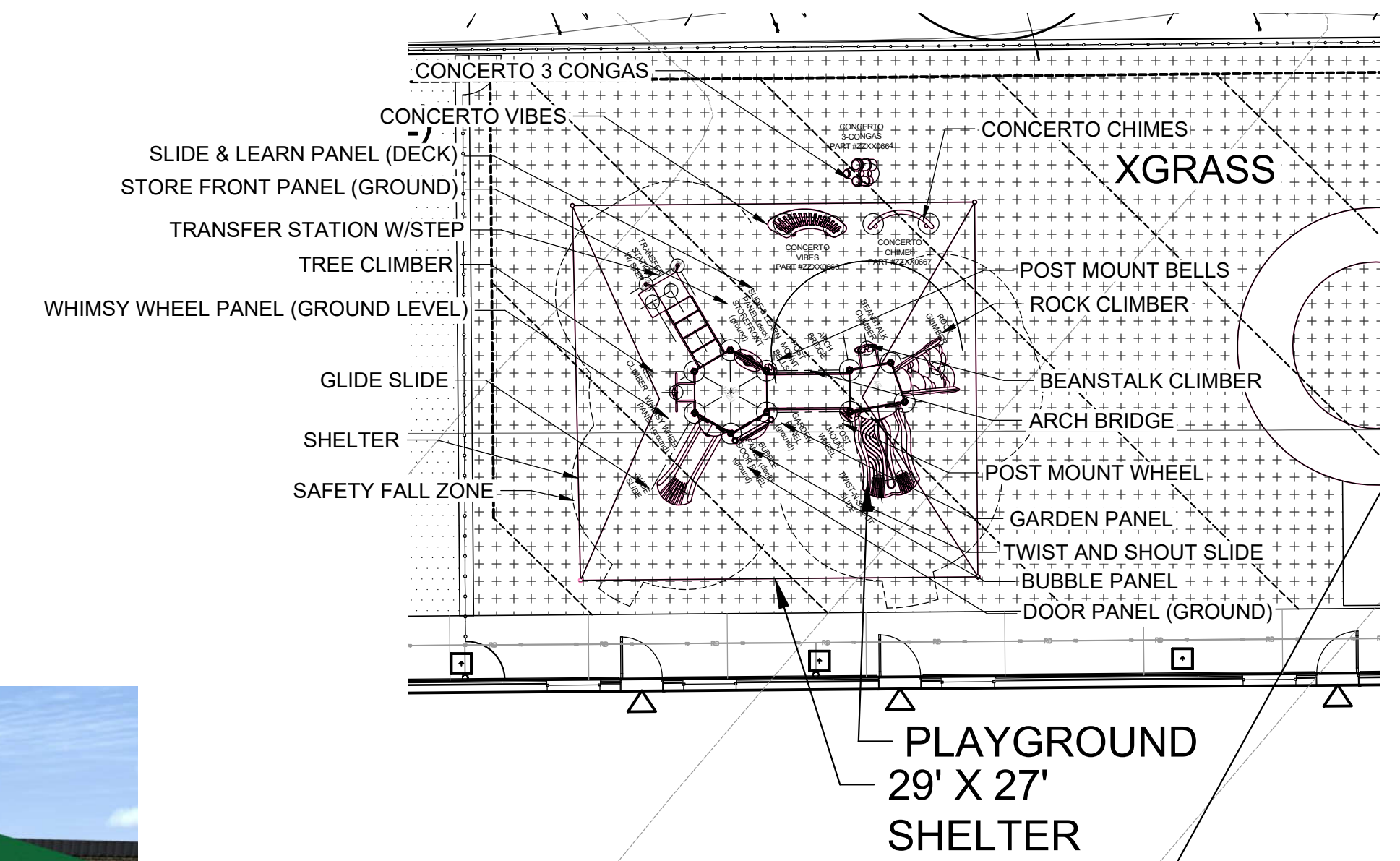
- INSTALL ALL PLAY EQUIPMENT AND SAFETY SURFACE AS PER MANUFACTURERS RECOMMENDATION AND SPECIFICATIONS. CONTRACTOR TO INSTALL ALL POSTS AND HARDWARE NECESSARY TO INSTALL PLAY EQUIPMENT.
- INSTALLER TO VERIFY LOCATION AND ORIENTATION OF PLAYGROUND EQUIP.
- CONTRACTOR SHALL HAVE PLAY EQUIPMENT STRUCTURALLY ENGINEERED FOR REINFORCING, ANCHORING, FOOTING, AND ANY OTHER NECESSARY ENGINEERING.
- CONTRACTOR SHALL SUBMIT DETAILED AND DIMENSIONED SHOP DRAWINGS AND DATA SHEETS FOR THE LAYOUT AND INSTALLATION OF THE PLAYGROUND EQUIPMENT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
- PLAYGROUND EQUIPMENT MUST MEET ALL REQUIREMENTS OF THE SPECIFICATIONS AND BE WITHIN ALL TOLERANCES INDICATED ON THESE DRAWINGS. BOTH FALL ZONES AND SAFETY SURFACE MUST MEET ALL ADA REQUIREMENTS AND FIT WITHIN THE LIMITS OF THE PLAYGROUND.

ADA REQUIREMENTS FOR STRUCTURE PRE-K	REQ'D.	IN PLAN
TOTAL NUMBER OF ACCESSIBLE ELEVATED ACTIVITIES	0	0
TOTAL ACCESSIBLE GROUND LEVEL PLAY TYPES	0	2
TOTAL ACCESSIBLE GROUND LEVEL ACTIVITIES	0	3
TOTAL GROUND LEVEL EVENTS		3
TOTAL ELEVATED PLAY ACTIVITIES		0

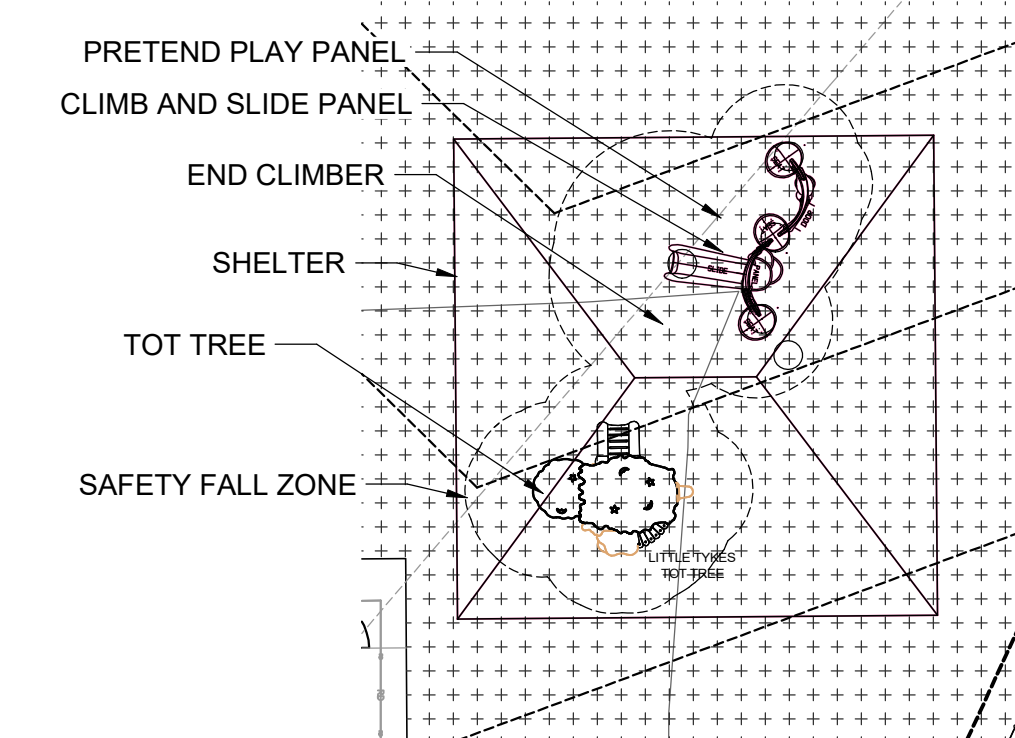
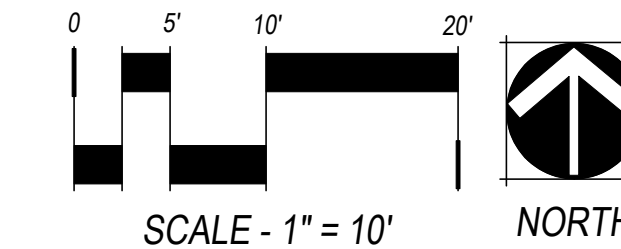
THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL RULE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE

ADA REQUIREMENTS FOR STRUCTURE INFANT/TODDLER	REQ'D.	IN PLAN
TOTAL NUMBER OF ACCESSIBLE ELEVATED ACTIVITIES	4	8
TOTAL ACCESSIBLE GROUND LEVEL PLAY TYPES	3	4
TOTAL ACCESSIBLE GROUND LEVEL ACTIVITIES	3	10
TOTAL GROUND LEVEL EVENTS		10
TOTAL ELEVATED PLAY ACTIVITIES		8

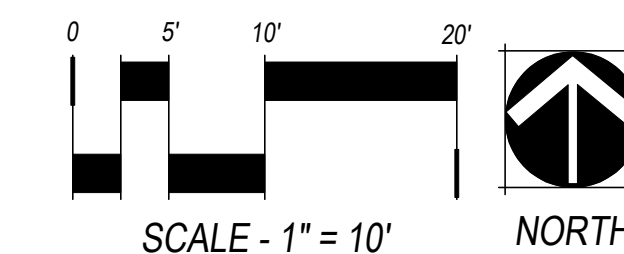
THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL RULE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE



**LARGE PLAYGROUND ENLARGEMENT**



**SMALL PLAYGROUND ENLARGEMENT**



Kiddie Academy of Lone Tree CO  
Sales Representative: XCEED  
Equipment Manufacturer: PLAYWORLD

POST & COMPONENT: Green, Brown, Beige  
ROTOMOLD PLASTIC: Green, Beige  
3-COLOR PLASTIC: Beige, Forest Green, Brown  
ECO-ARMOR: Brown  
NOTE: BOLLARDS & SHADE: Green

Kiddie Academy of Lone Tree CO  
Sales Representative: XCEED  
Equipment Manufacturer: PLAYWORLD

**ENTIREMENT DRAWINGS NOT FOR CONSTRUCTION**

**grounded by design**  
LANDSCAPE ARCHITECTURE  
P.O. Box 1953  
Wheat Ridge, CO 80034  
Office: (303) 872.7807  
www.groundedbydesign.com

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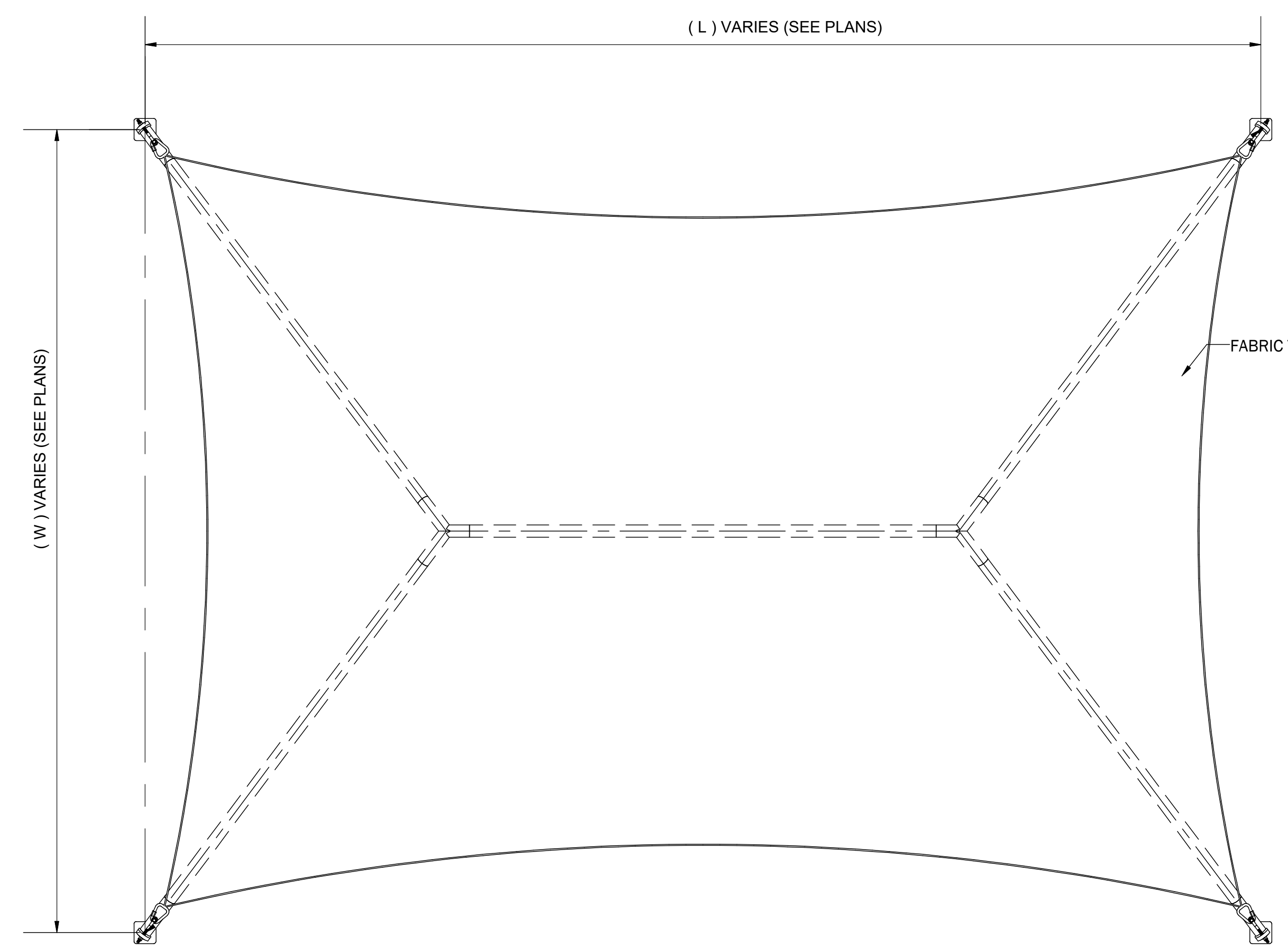
**KIDDIE ACADEMY LANDSCAPE DETAILS**  
DATE OF SUBMITTAL: 09.10.2018  
REVISIONS  
DATE NO.  


**SHEET 7 OF 14**

**Dwn**  
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**Omnipark Filing 1, 7th Amendment, Lot 2-A2  
Heritage Hills Planned Development  
Planning Area 20  
2.26 Acres  
Site Improvement Plan, SP18-47**

**1** PLAYGROUND SHELTER NTS



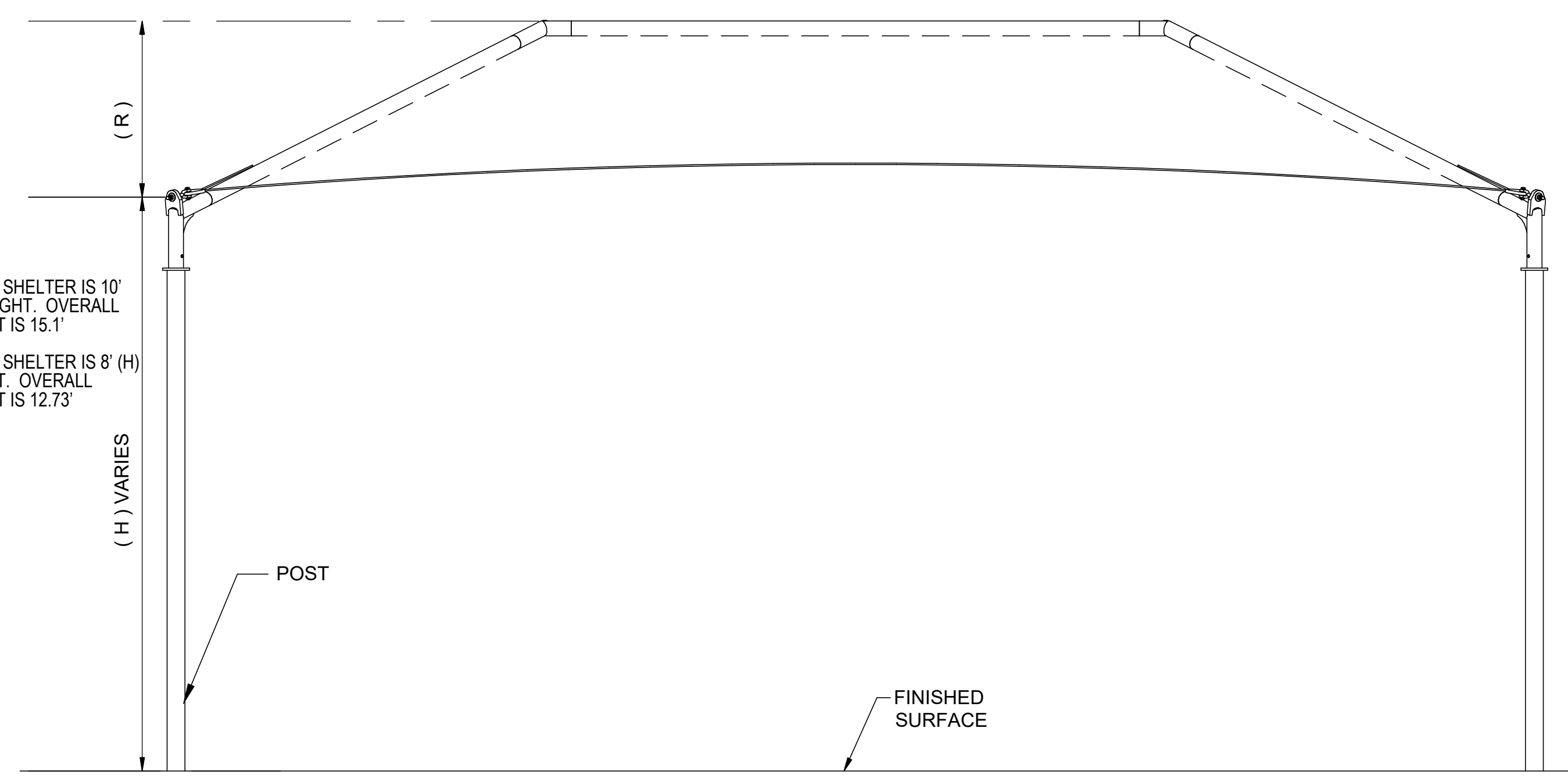
**TOP VIEW**



USA SHADE CONTACT INFO:  
JIM NEIDIG  
XCEED RECREATION GROUP, INC.  
XCEEDRECREATION@OUTLOOK.COM  
570-809-3231

SHELTER MODEL: HIP QRE  
ROOF FABRIC TYPE: USA SHADE 'SHADESURE'  
FABRIC COLOR: 'CINNAMON', SHADE FACTOR: 92%, UV BLOCKING: 94%  
POWDER COAT COLOR: 'DARK BROWN'

- NOTE:
1. INSTALL PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
  2. CONTRACTOR SHALL PROVIDE STAMPED AND SIGNED STRUCTURAL DRAWINGS TO THE CITY FOR PERMIT THAT INCLUDE CONCRETE FOOTINGS, ANCHORING, REINFORCING AND CONSTRUCTION MEANS AND METHODS PRIOR TO CONSTRUCTION.
  3. ALL PERMITS AND FEES TO BE PAID FOR BY CONTRACTOR.
  4. DO NOT POUR FOOTING OR INSTALL WITHOUT JOB SPECIFIC ANCHOR AND FOOTING DESIGN DRAWINGS.
  5. SUBMIT COLOR SAMPLES OF FRAME AND FABRIC TO ARCHITECT FOR APPROVAL. SEE COLOR MATRIX FOR AVAILABLE COLORS.
  6. SUBMIT FABRIC SAMPLE: QTY (3) 8 1/2" X 11" SAMPLES OF FABRIC AS SELECTED BY THE ARCHITECT.
  7. SUBMIT FRAME FINISH SAMPLE: QTY (3) SAMPLE CHIPS, NOT LESS THAN 2" X 3" IN SIZE.



**FRONT VIEW**

29'X27' SHELTER IS 10' (H) HEIGHT, OVERALL HEIGHT IS 15.1'  
25'X25' SHELTER IS 8' (H) HEIGHT, OVERALL HEIGHT IS 12.73'

**LANDSCAPE NOTES:**

1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
2. OWNERS REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
3. PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL CITY INSPECTION.
4. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
5. ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
6. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
7. PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
8. ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 4"-6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
9. ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" WESTERN RIVER ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL. PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL ORNAMENTAL GRASS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
10. SHRUB BEDS ARE TO BE CONTAINED BY PERFORATED GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER. CONTACT LL JOHNSON FOR EDGER.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
12. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
14. LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
15. ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
16. ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
17. KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 6 FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES, 4 FEET BETWEEN TREES AND GAS LINES EXCEPT ALONG SABLE AND 104TH IN THE R.O.W. WHERE EXISTING CONDITIONS PREVAIL. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
18. LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS. PER CITY OF LONETREE: ALL TREES WILL BE WINTER WATERED BY HAND AS NECESSARY.
19. SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.

**ENTIREMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION**



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www.groundedbydesign.com

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**KIDDIE ACADEMY**

**LANDSCAPE DETAILS**

DATE OF SUBMITTAL: 09.10.2018	
REVISIONS	
DATE	NO.

**SHEET  
8 OF 14**

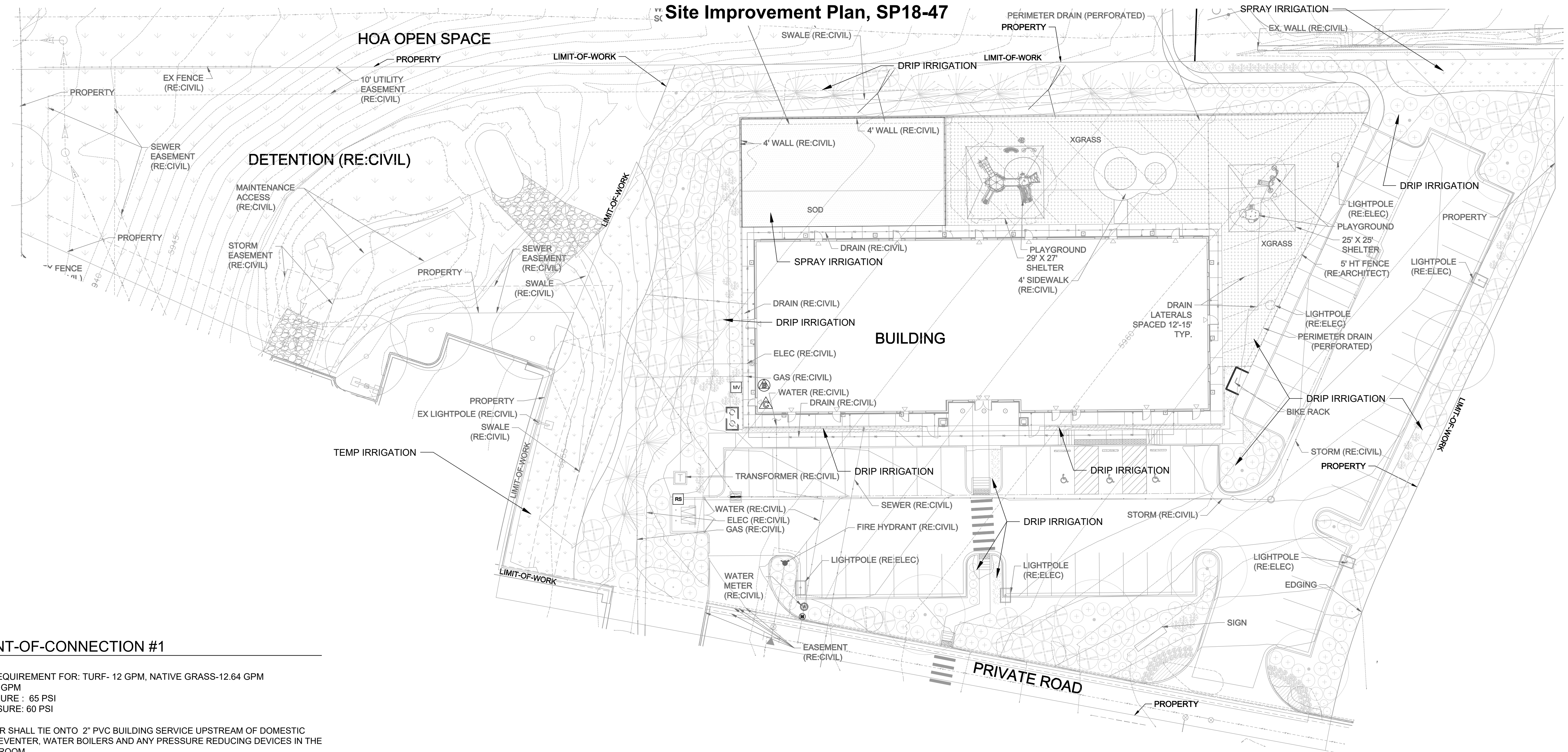


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Denver, CO 80227  
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pwn@pwn.com



**Omnipark Filing 1, 7th Amendment, Lot 2-A2  
Heritage Hills Planned Development  
Planning Area 20  
2.26 Acres**

**Site Improvement Plan, SP18-47**



**P.C. POINT-OF-CONNECTION #1**

TAP SIZE: 1"  
PEAK FLOW REQUIREMENT FOR: TURF- 12 GPM, NATIVE GRASS-12.64 GPM  
MAX FLOW: 13 GPM  
STATIC PRESSURE : 65 PSI  
DESIGN PRESSURE: 60 PSI

1. CONTRACTOR SHALL TIE ONTO 2" PVC BUILDING SERVICE UPSTREAM OF DOMESTIC BACKFLOW PREVENTER, WATER BOILERS AND ANY PRESSURE REDUCING DEVICES IN THE WATER-RISER ROOM.
2. INSTALL ONE LINE-SIZE BALL VALVE AND EXTEND 1" TYPE K HARD COPPER TO IRRIGATION BACKFLOW PREVENTER LOCATION. INSTALL ONE 1" REDUCED PRESSURE BACKFLOW PREVENTER WITH AIR GAP DRAIN PLUMBED TO BUILDING FLOOR DRAIN, PER MANUFACTURER'S RECOMMENDATIONS. SLOPE IRRIGATION LINE COPPER WITHIN BUILDING TO IRRIGATION BOILER DRAIN. INSTALL 3/4" INVERTED BOILER DRAIN AT LOW SPOT IN COPPER.
3. SECURE BACKFLOW PREVENTER ASSEMBLY, COPPER PIPE AND VALVES TO WALL VIA 'UNI-STRUT' CHANNEL AND COPPER FASTENERS AT 6 F.T. O.C. CONTRACTOR TO COORDINATE EXACT LOCATION / CONFIGURATION WITH MECHANICAL.
4. RUN 1" TYPE K HARD COPPER ALONG THE INSIDE OF THE EXTERIOR WALL AND STUB OUT THROUGH THE EXTERIOR WALL, THEN ELBOW DOWN ALONG OUTSIDE WALL WITH HARD COPPER INTO GROUND. TRANSITION TO PVC PIPING A MINIMUM OF 24" PAST ANY PLANNED HARD OR PAVED SURFACE AND EXTEND PVC MAINLINE AS SHOWN. INSTALL NECESSARY SLEEVING FOR CONTROLLER & SENSOR(S) WIRES THROUGH BUILDING WALL. CONTRACTOR IS RESPONSIBLE FOR WATERPROOF SEALING ALL PENETRATIONS. SEE BACKFLOW DETAIL. INSTALL PER CITY OF LONE TREE STANDARDS AND SPECIFICATIONS.

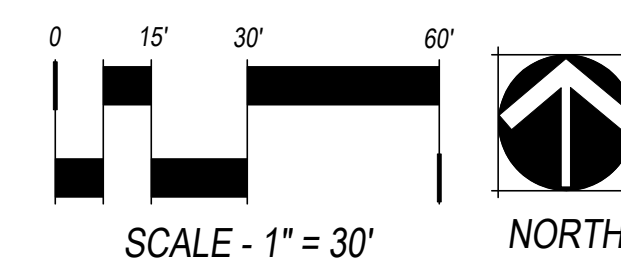
**CONTROLLER NOTES:**  
ELECTRICAL METER (IF APPLICABLE) AND 120V POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. ALL FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

**TAP/METER NOTES:**  
CONNECTION IS BY CONTRACTOR AND ALL WORK SHALL CONFORM TO LOCAL CODE. ALL FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. CONTRACTOR TO PROVIDE MATERIALS REQUIRED BY LOCAL CODES FOR INSTALLATION OF: THE MUNICIPAL WATER TAP AND ASSOCIATED PIPING/FITTINGS. FINAL TAP/BACKFLOW PREVENTER LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

IRRIGATION LEGEND				
SYMBOL	DESCRIPTION	MANUFACTURER/MODEL	SIZE	REMARKS
PC	POINT OF CONNECTION		SIZE AS PER LINE	REF CIVIL PLANS
BP	BACKFLOW PREVENTER & SCREEN FILTER	FEBCO 860U W/ VUFLOW 3/4" NTW 140 MESH 'T' STYLE	1"	INSTALL IN WATER RISER ROOM
IC	IRRIGATION CONTROLLER	WEATHERMATIC SL1600 W/ SMARTLINK AIRCARD W/ FLOW	16 STATION	WALL MOUNT INSIDE W SMARTLINK 3 YEAR SUBSCRIPTION
RS	RAIN, WIND, FREEZE, TEMPERATURE SENSOR	WEATHERMATIC SLW5 WIRELESS ET		
MV	MASTER VALVE	WEATHERMATIC MAX-DW	1"	24VAC, LIGHTNING PROOF, NORMALLY CLOSED

**SCHEMATIC PLAN NOTES:**

1. ALL LANDSCAPING WILL BE IRRIGATED AS FOLLOWS: ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP - UP, ROTOR IN BEDS GREATER THAN 8FT WIDE. ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
2. IRRIGATION HEADS SHALL BE PLACED 2" FROM CONCRETE WALK, MOW STRIP, CURB, EDGE OF PAVEMENT.
3. THE IRRIGATION WILL USE POTABLE WATER DOWNSTREAM OF DOMESTIC TAP.



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LANDSCAPE ARCHITECTURE  
P.O. Box 1953  
Wheat Ridge, CO 80034  
Office: (303) 872.7807  
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**KIDDIE  
ACADEMY**

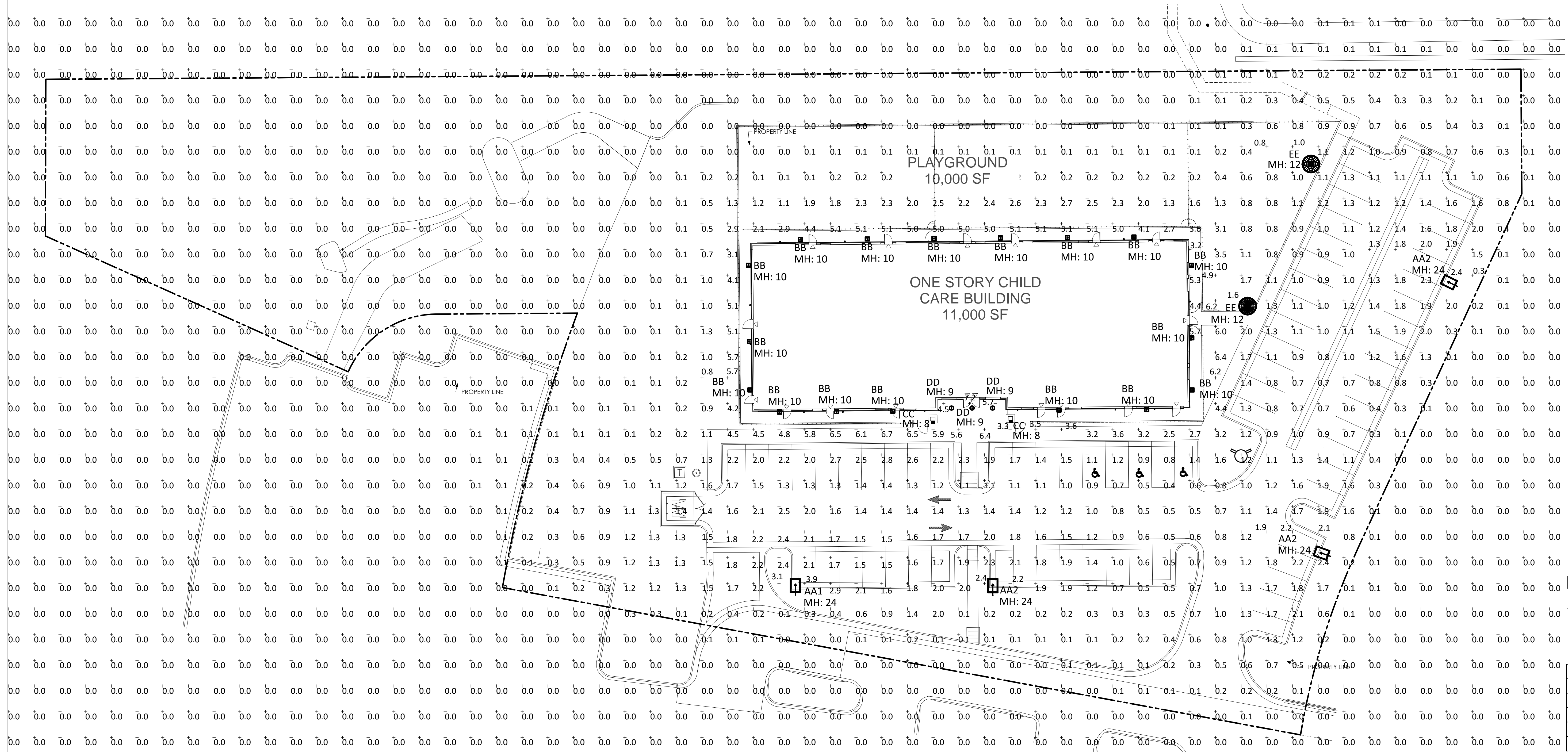
**IRRIGATION  
SCHEMATIC**

DATE OF SUBMITTAL: 09.10.2018	
REVISIONS	
DATE	NO.

**SHEET  
9 OF 14**

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pwn@pwn.com

Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2  
 Heritage Hills Planned Development  
 Planning Area 20  
 2.26 Acres  
 Site Improvement Plan, SP18-47



08-20-18

COLORADO COMFORT CONSULTING ENGINEERS, INC.



Mechanical  
 Electrical  
 Plumbing  
 7891 LEWIS COURT  
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**KIDDIE ACADEMY**

DATE OF SUBMITTAL: 07.18.2018	
REVISIONS	
DATE	NO.

**SHEET 10 of 14**



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 Greenwood Village, CO 80112  
 voice: 303.649.9880  
 fax: 303.649.9870

Symbol	Qty	Label	Lum. Watts	Lum. Lumens	Efficacy	IES	Catalog
1	1	AA1	113	10405	92	0.900	GLEBN-AP-02-LED-E1-SL3-HSS
3	3	AA2	113	9884	87	0.900	GLEBN-AP-02-LED-E1-SL4-HSS
17	17	BB	25.31	2970	117	0.900	IST-AP-450-LED-E1-SL3
2	2	CC	8.45	568	67	0.900	303-WI-122X81-4000-UV-T4-DIM10-8K
3	3	DD	15.3	1224	80	0.900	IN268123408H
2	2	EE	24.7	2604	105	0.900	NSA-E01-LED-E1-590

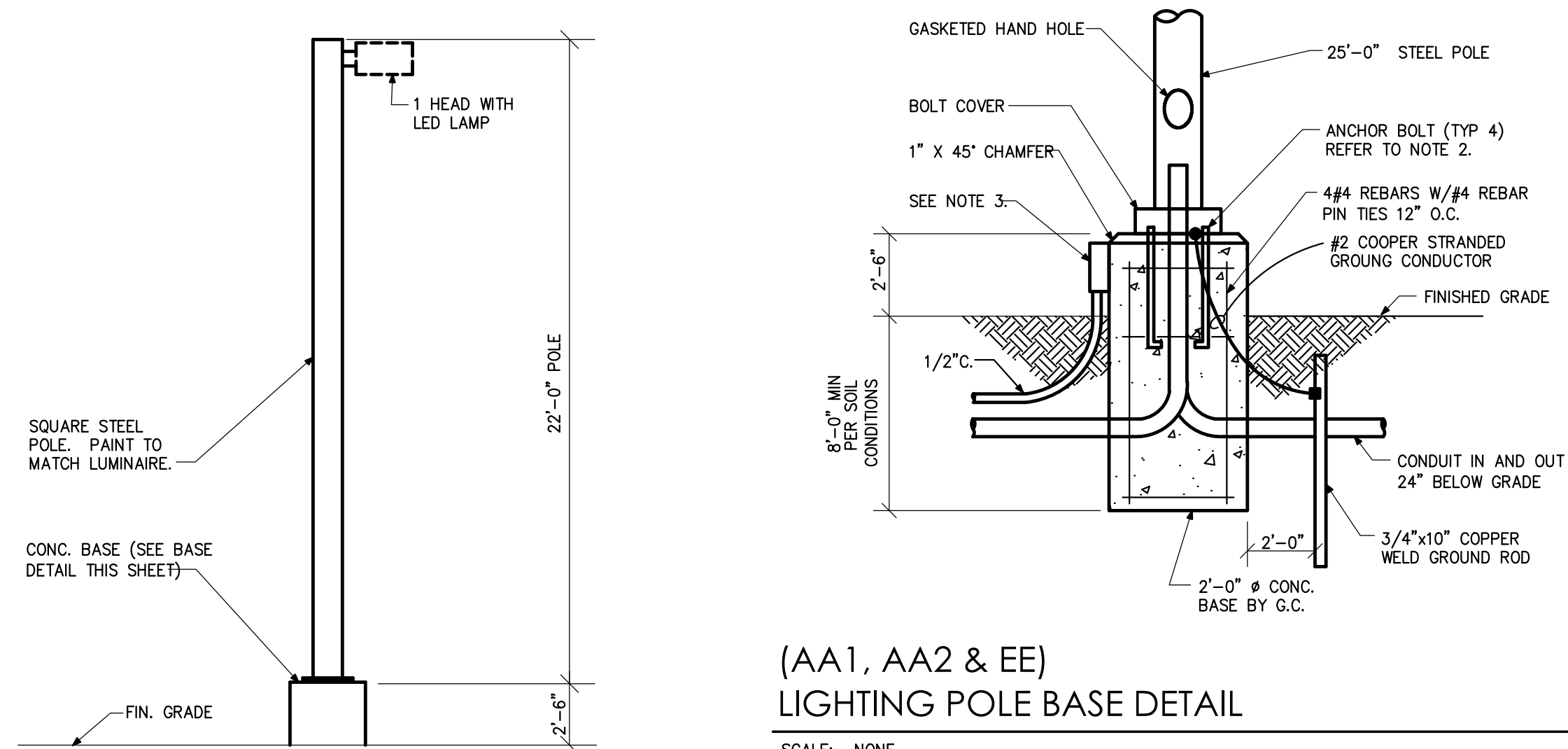
Label	Avg	Max	Min	Avg/Min	Max/Min
20ft From Property Line	0.00	0.1	0.0	N.A.	N.A.
Site	0.40	7.2	0.0	N.A.	N.A.
Parking & Drive	1.32	2.8	0.3	4.40	9.33

SITE PHOTOMETRIC PLAN

SCALE: 1" = 40'

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Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2  
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(AA1, AA2 & EE)  
LIGHTING POLE BASE DETAIL

SCALE: NONE

- NOTES:**
1. ALL CONCRETE AND REINFORCING SHALL BE BY G.C.
  2. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS AND INSTALLATION PROCEDURES PER MANUFACTURE'S RECOMMENDATIONS WITH GENERAL CONTRACTOR.
  3. PROVIDE A WEATHERPROOF, GF DUPLEX RECEPTACLE WHERE SHOWN ON PLAN. MOUNT TOP OF JUNCTION BOX FLUSH WITH POLE BASE.

LUMINAIRE DETAIL (AA1 & AA2)

SCALE: NONE

ELECTRICAL SITE NOTES:

1. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOCATING, VERIFYING, AND AVOIDING ANY EXISTING UNDERGROUND SERVICES, OR UTILITIES AND NEW SERVICES OR UTILITIES BEING INSTALLED.
2. FOR LIGHT FIXTURE CONCRETE BASE, ALL CONCRETE AND REINFORCEMENT SHALL BE ENGINEERED BY SOIL ENGINEER AND SHALL BE DONE BY GENERAL CONTRACTOR.
3. FOR LIGHT FIXTURE CONCRETE BASE, DEPTH SHALL BE AND DIAMETER SHALL VERIFIED AND COORDINATED WITH SOIL ENGINEER PRIOR TO DIGGING.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE MANUFACTURE INFORMATION FOR INSTALLATION OF ANCHOR BOLTS WITH GENERAL CONTRACTOR PRIOR TO POURING OF CONCRETE.
5. CONTRACTOR SHALL BE ENSURE ALL UTILITY SERVICES OR SPECIAL SYSTEM CABLING ARE LOCATED AND MARKED WITHIN THE NEW CONSTRUCTION AREA. ALL CAUTION SHALL BE TAKEN TO ENSURE UTILITY SERVICES OR SPECIAL SYSTEM CABLING WILL NOT BE DISTURBED. IF SERVICES HAVE BEEN DAMAGED, CONTACT APPROPRIATE DIVISION AND REPAIR CABLING AS REQUIRED FOR A FULLY OPERATIONAL SYSTEM.
6. COORDINATE ROUTING OF ALL CONDUITS WITH ENVIRONMENTAL CONTRACTOR AND ARCHITECT. ELECTRICAL CONTRACTOR IS TO ROUTE ELECTRICAL SYSTEMS THROUGH TRENCHES PROVIDED BY ENVIRONMENTAL CONTRACTORS. ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING IN IMMEDIATE AREAS TO PROVIDE A COMPLETE SYSTEM.
7. UPON COMPLETION OF NEW UTILITY SERVICES INSTALLATION, THE APPROPRIATE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED SITE AREA TO THE ORIGINAL CONDITIONS THAT WAS AFFECTED FOR THE INSTALLATION OF THE NEW UTILITY SERVICE OR AS DIRECTED BY THE ARCHITECT.
8. FOR TELEPHONE COMPANY AND CABLE COMPANY USE: PROVIDE AND INSTALL SCHEDULE 80 CONDUITS WITH FULL WIRE AND WARNING TAPE. EXTEND CONDUIT (S) 5'-0" FROM EXTERIOR OF THE BUILDING UNLESS OTHERWISE DIRECT BY UTILITY COMPANIES OR GENERAL CONTRACTOR. CAP AND STAKE EXTERIOR END OF THE CONDUIT TO BE LOCATE FOR FUTURE USE. COORDINATE EXACT TERMINATION POINT LOCATION, SIZE OF CONDUITS, NUMBER OF CONDUITS AND ADDITIONAL REQUIREMENTS WITH APPROPRIATE UTILITY COMPANIES AND GENERAL CONTRACTOR PRIOR TO TRENCHING AND INSTALLATION.
9. INTERCEPT AND EXTEND TELEPHONE/CABLE CONDUITS TO THE MAIN TELEPHONE ROOM. PRIOR TO STUBBING CONDUIT INTO THE MAIN TELEPHONE ROOM, CONNECT GRC CONDUIT TO THE DIRECT BURIED SCHEDULE 80 PVC CONDUIT AS REQUIRED AND STUB GRC CONDUIT INTO THE MAIN TELEPHONE AND BUSH. THE SCHEDULE 80 PVC CONDUIT WILL NOT BE EXPOSED INSIDE THE BUILDING STRUCTURE. COORDINATE EXACT ROUTING AND TERMINATION POINTS WITH GENERAL CONTRACTOR PRIOR TO COMMENCING OF WORK.
10. FURNISH AND INSTALL LIGHTING FIXTURES COMPLETE WITH LAMPS, BALLAST(S), AND REQUIRED MOUNTING HARDWARE. ELECTRICAL CONTRACTOR SHALL SUBMIT FIXTURE CUT SHEETS TO OWNER AND ARCHITECT FOR THEIR FINAL APPROVAL PRIOR TO ORDERING THE FIXTURES. ELECTRICAL CONTRACTOR SHALL ALSO VERIFY QUANTITIES, MOUNTING REQUIREMENTS, FINISHES, FIXTURE AVAILABILITY AND LEAD TIME FOR DELIVERY TO SITE.
11. SUBSCRIPT LOWERCASE LETTER ADJACENT TO FIXTURE INDICATES THE CHANNEL IN WHICH THE FIXTURES SHALL BE CONTROLLED AND WIRED THROUGH THE LCP-1 CHANNEL AUTOMATION SCHEDULE WITH FOTO-CELL "ON" PER INDIVIDUAL POLE LIGHT FIXTURE HEAD. REFER TO FIRST FLOOR LIGHTING PLAN, E1.0 FOR ADDITIONAL INFORMATION.
12. DASHED LINE WEIGHT INDICATES UNDERGROUND WIRING. REFER TO ELECTRICAL BUILDING OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
13. ENSURE VOLTAGE DROP IS CALCULATED FOR FINAL CIRCUITRY ROUTING PRIOR TO TRENCHING. ADJUST CONDUIT AND WIRE SIZE PER THE CALCULATIONS.
14. FOR LIGHT FIXTURE CONCRETE BASE, ALL CONCRETE AND REINFORCEMENT SHALL BE ENGINEERED BY SOIL ENGINEER AND SHALL BE DONE BY GENERAL CONTRACTOR.
15. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.



08-20-18

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FIXTURE TYPE "CC"

**Lumière**

**DESCRIPTION**  
The Lumière Eon LED 303-W1-LEDB1 is a compact, low profile, dimmable LED direct-indirect luminaire. The luminaire features full vertical adjustment (180°) for easy aiming and mounts directly to any wall or ceiling surface over a standard 4" square junction box. It is standard with a universal LED driver (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, remote phase dimming driver or an optional 0-10V dimming driver. 303-W1-LEDB1 may be used indoors or outdoors and carries an IP66 rating.

**SPECIFICATION FEATURES**

**Construction**  
Head and back plate are precision machined from aluminum. Available in several color temperatures: 2700K, 3000K, 3500K, 4000K, and 5000K (Ambier). Both color temperature and distribution must be specified when ordering - see catalog logic for details. An edge-it option is available.

**Mounting**  
The luminaire mounts directly to a standard 4" square junction box. For further mounting information see technical notes section on page 2.

**Optics**  
LightBAR™ and optical assembly are sealed by a diffused, impact resistant tempered glass lens. The optical assembly is available in three distributions: T2 (select throw), T4 (forward throw) and TSX (Extra Wide Flood). Available in several color temperatures: 2700K, 3000K, 3500K, 4000K, and 5000K (Ambier). Both color temperature and distribution must be specified when ordering - see catalog logic for details. An edge-it option is available.

**Finish**  
The luminaires are double protected by a Rot8 compliant chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. RAL and custom color matches available upon request. Luminaires can also be treated with a clear coat finish. The LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing (LCF).

**Warranty**  
Lumière warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.

**303-W1-LEDB1 EON LED**

**APPLICATIONS:**  
CEILING / WALL MOUNT  
DIRECT  
INDIRECT

**DESCRIPTION**  
The Halo Surface Mount LED Downlight (SMD) is a low profile surface mounting luminaire with a modern look and high performance. SMD6 (6") is a gasket for installation in many 2 1/2" and 4" square, octagon, or round junction boxes. Supply wire adapter with LED quick wiring connector included. The SMD6 may also result in 6" and 8" aperture IC and Non-IC recessed housings. Compliant with NFPA 70, NEC Section 410.16 (A)(2) and 410.16 (C)(3).

**SPECIFICATION FEATURES**

**HOUSING**

- Non-electrically conductive polycarbonate frame.
- High impact diffuse polycarbonate lens provides shielding to the light guide with no protrusion
- Stamped aluminum housing provides thermal cooling
- Achieving L70 at 50,000 hours in IC and non-IC applications

**GASKETS**

- The SMD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation.
- Suitable for installation in many 2 1/2" and 4" square, octagon, and round electrical junction boxes
- Surface mounting in a fire-rated ceiling using an appropriate fire rated electrical box.
- Note: Fire rating is per the rating of the ceiling and applicable junction box, not the SMD.

**LED**

- Mid powered LED array provide uniform source with high efficiency and long life.
- Available in 90 CRI minimum, R9 greater than 50 and color accuracy within a SDCM provide color accuracy and consistency

**DRIVER**

- Integral 120V SMD6H constant current driver provides noise free operation.
- Continuous, flicker-free dimming from 100% to 5% with select leading or trailing edge 120V phase cut dimmers.
- Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note: some dimmers require a neutral in the welling.)
- In-line electrical quick connect and ESR adapter (provided) provides mains connections.

**RECESSED HOUSING MOUNTING**

- May be installed in C recessed housings in direct contact with insulation.
- Note: Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA L5D-S7-023.
- Precision formed torsion spring brackets included.
- The torsion springs adjust on the mounting plate to fit 5" or 6" compatible housings
- Precision formed friction blades included
- For retrofit in 5" and 6" housings without torsion springs mounting tabs.
- Friction blade design allows the SMD to be installed in any position within the housing aperture (360 degrees)

**DESIGNER SKINS (SOLD SEPARATELY)**

- SMD skins are accessory rings in both round and square. These skins attach to the SMD for a premium finish. Refer to the SMD accessories specification sheet for details.
- Matte White (Paintable)
- Satin Nickel
- Tuscan Bronze

**WARRANTY**

- Five year limited warranty, consult website for details.
- www.eaton.com/lighting/halo

**COMPLIANCE**

- cULus Certified for use with halo housings and for use with other's housings, see instruction sheet for conditions of acceptability.
- Wet and Damp Location listed, per ASTM E288
- Suitable for use in closets, compliant with NFPA 70, NEC Section 410.16 (A)(2) and 410.16 (C)(3)
- EMC/EMI emissions per FCC 47CFR Part 15B
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-69-08 and TM-21-11.
- Can be used for State of California Title 24 high efficiency luminaire compliance. Reference the California Energy Commission Title 24 Appliance Efficiency Database for current listings.
- Can be used for International Energy Conservation Code (IECC) and high efficiency luminaire compliance.
- ENERGY STAR™ listed, reference database for current listings

**FRITON BLADE 5" & 6"**

- Precision formed friction blades included
- For retrofit in 5" and 6" housings without torsion springs mounting tabs.
- Friction blade design allows the SMD to be installed in any position within the housing aperture (360 degrees)

**ORDERING INFORMATION**

Sample Number	303-W1-LEDB1	Color Temperature	Aperture	Beam Spread	Dimming	Finish	Options**
303-W1-LEDB1	2700-2700K	UNV(Universal)	T2-Type 2	DM6H-0 10V Dimming	Painted	EDGE-Edge It glass lens	
Head contains one (1)	3000-3000K	120-277 50/60Hz	T4-Type 4	DM6H-0 10V Dimming	IC-Black	LCF-LightBAR cover plate	
Mini LightBAR™	4000-4000K	184M-400mA 5A/2A	T4-Type 4	DM6H-0 10V Dimming	IC-Black	LCF-LightBAR cover plate	
	5000-5000K	184M-400mA 5A/2A	T4-Type 4	DM6H-0 10V Dimming	IC-Black	LCF-LightBAR cover plate	

**TECHNICAL DATA**  
C0/C1 Maximum Temperature Rating  
External Supply Wiring 90°C Minimum

**ENERGY DATA**  
Approximate Net Weight: 1.1 lbs (0.5 kg)

**SHIPING DATA**  
Approximate Net Weight: 1.1 lbs (0.5 kg)

**NOTES**  
1. Custom and RAL color matching available upon request. Consult factory for further information. 2. Side walls for the outer diameter. 3. Side walls for the outer diameter. 4. Shipping weight. 5. Shipping weight. 6. Shipping weight. 7. Shipping weight. 8. Shipping weight. 9. Shipping weight. 10. Shipping weight. 11. Shipping weight. 12. Shipping weight. 13. Shipping weight. 14. Shipping weight. 15. Shipping weight. 16. Shipping weight. 17. Shipping weight. 18. Shipping weight. 19. Shipping weight. 20. Shipping weight. 21. Shipping weight. 22. Shipping weight. 23. Shipping weight. 24. Shipping weight. 25. Shipping weight. 26. Shipping weight. 27. Shipping weight. 28. Shipping weight. 29. Shipping weight. 30. Shipping weight. 31. Shipping weight. 32. Shipping weight. 33. Shipping weight. 34. Shipping weight. 35. Shipping weight. 36. Shipping weight. 37. Shipping weight. 38. Shipping weight. 39. Shipping weight. 40. Shipping weight. 41. Shipping weight. 42. Shipping weight. 43. 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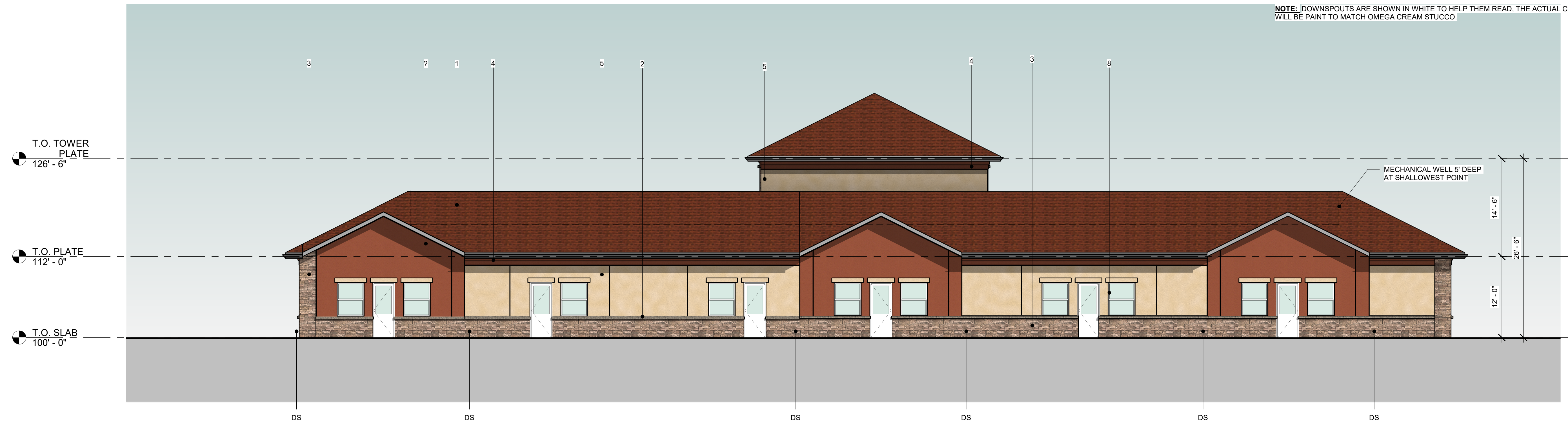
Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2  
 Heritage Hills Planned Development  
 Planning Area 20  
 2.26 Acres  
 Site Improvement Plan, SP18-47



② SOUTH ELEVATION PLANNING  
 1/8" = 1'-0"

ELEVATION MATERIAL SCHEDULE	
#	MATERIAL DESCRIPTION
1	KAL-ASPHALT SHINGLE TO MATCH TIMBERLINE HICKORY
2	KAL-SMOOTH WAINSCOT TO MATCH BORAL #315
3	KAL-ELDERADO STONE STAKECD STONE DESERT-SHADOW
4	KAL-CEMENT STUCCO TO MATCH OMEGA ONION SKIN TAN
5	KAL-CEMENT STUCCO TO MATCH OMEGA CREAM
6	KAL- PAINT TO MATCH PELLA MORNING STAR GREY
7	KAL-GLAZING CLEAR
8	KAL-CEMENT BOARD TRIM TO MATCH PELLA MORNING STAR GREY
9	KAL-SPLITFACE CMU TO MATCH BORAL #315
11	KAL-SW 6088 NUTHATCH

NOTE: DOWNSPOUTS ARE SHOWN IN WHITE TO HELP THEM READ, THE ACTUAL COLOR WILL BE PAINT TO MATCH OMEGA CREAM STUCCO.



① NORTH ELEVATION PLANNING  
 1/8" = 1'-0"

**KIDDIE  
 ACADEMY**  
 BUILDING  
 ELEVATIONS

DATE OF SUBMITTAL: 07.18.2018	
REVISIONS	
DATE	NO.

SHEET  
**13 OF 14**



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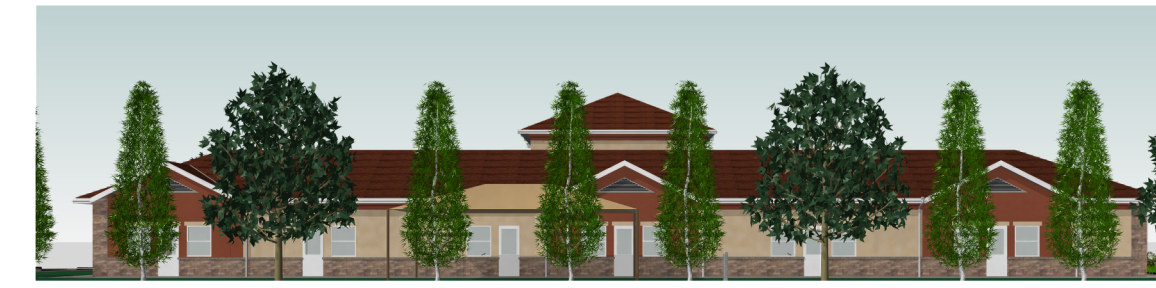
Omnipark Filing 1, 7<sup>th</sup> Amendment, Lot 2-A2  
 Heritage Hills Planned Development  
 Planning Area 20  
 2.26 Acres  
 Site Improvement Plan, SP18-47



6 EAST PERSPECTIVE



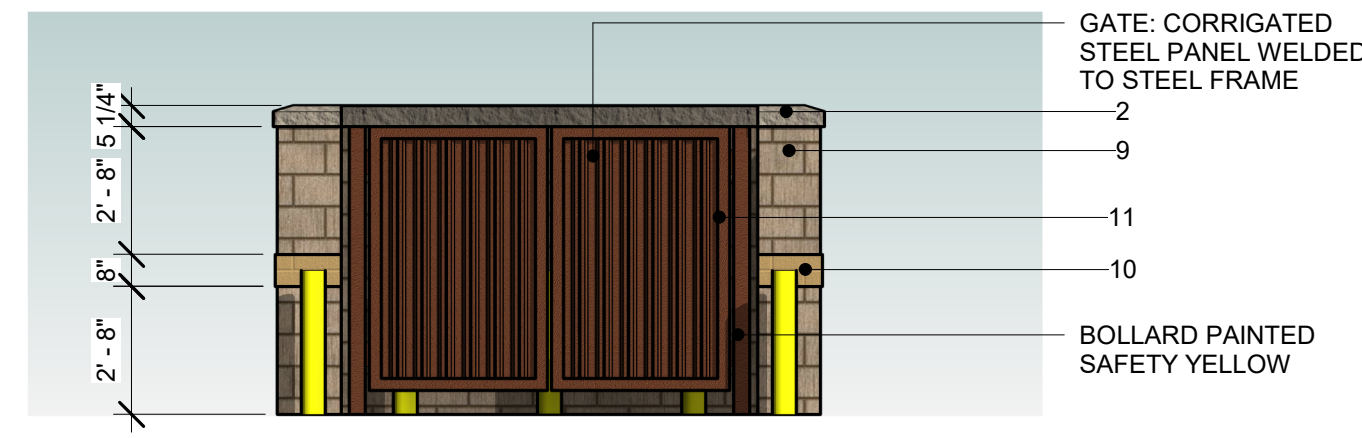
5 WEST PERSPECTIVE



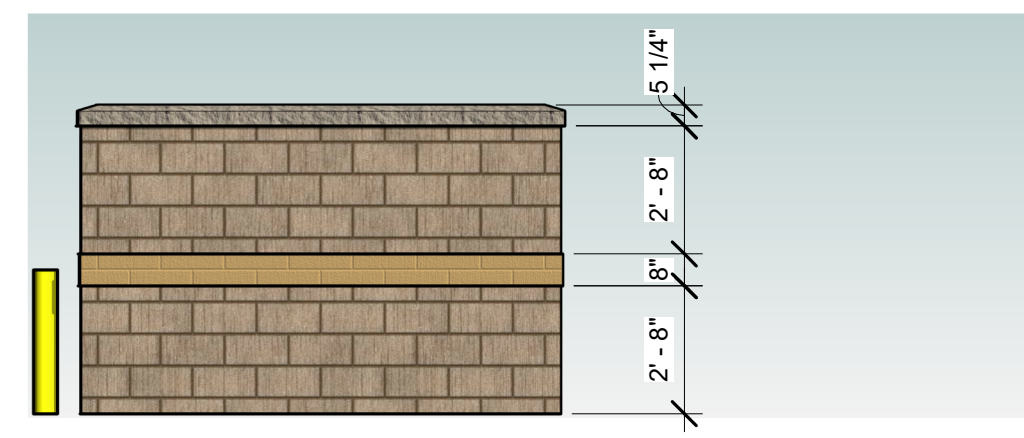
4 NORTH PERSPECTIVE



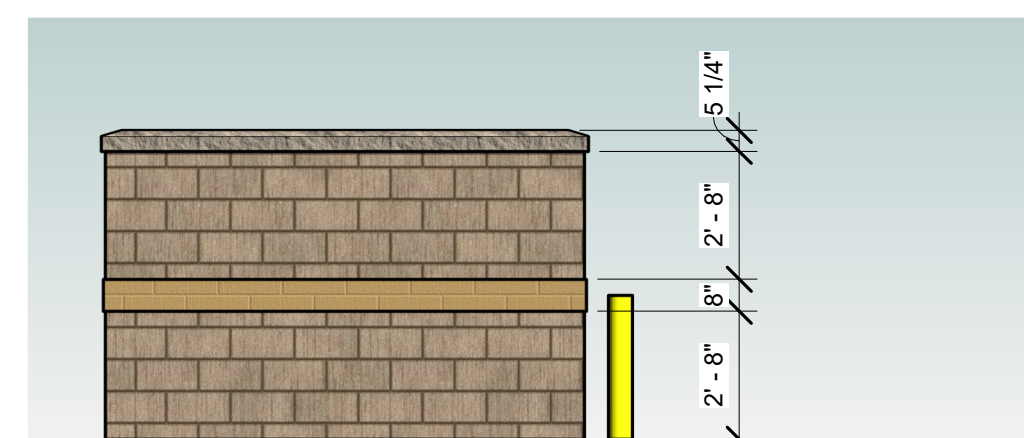
3 SOUTH PERSPECTIVE



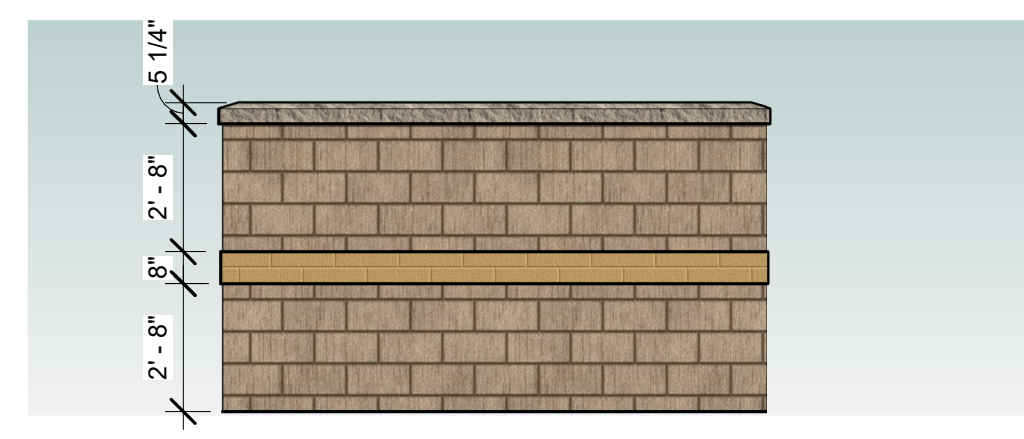
7 TRASH ENCLOSURE EAST ELEVATION PLANNING  
 1/4" = 1'-0"



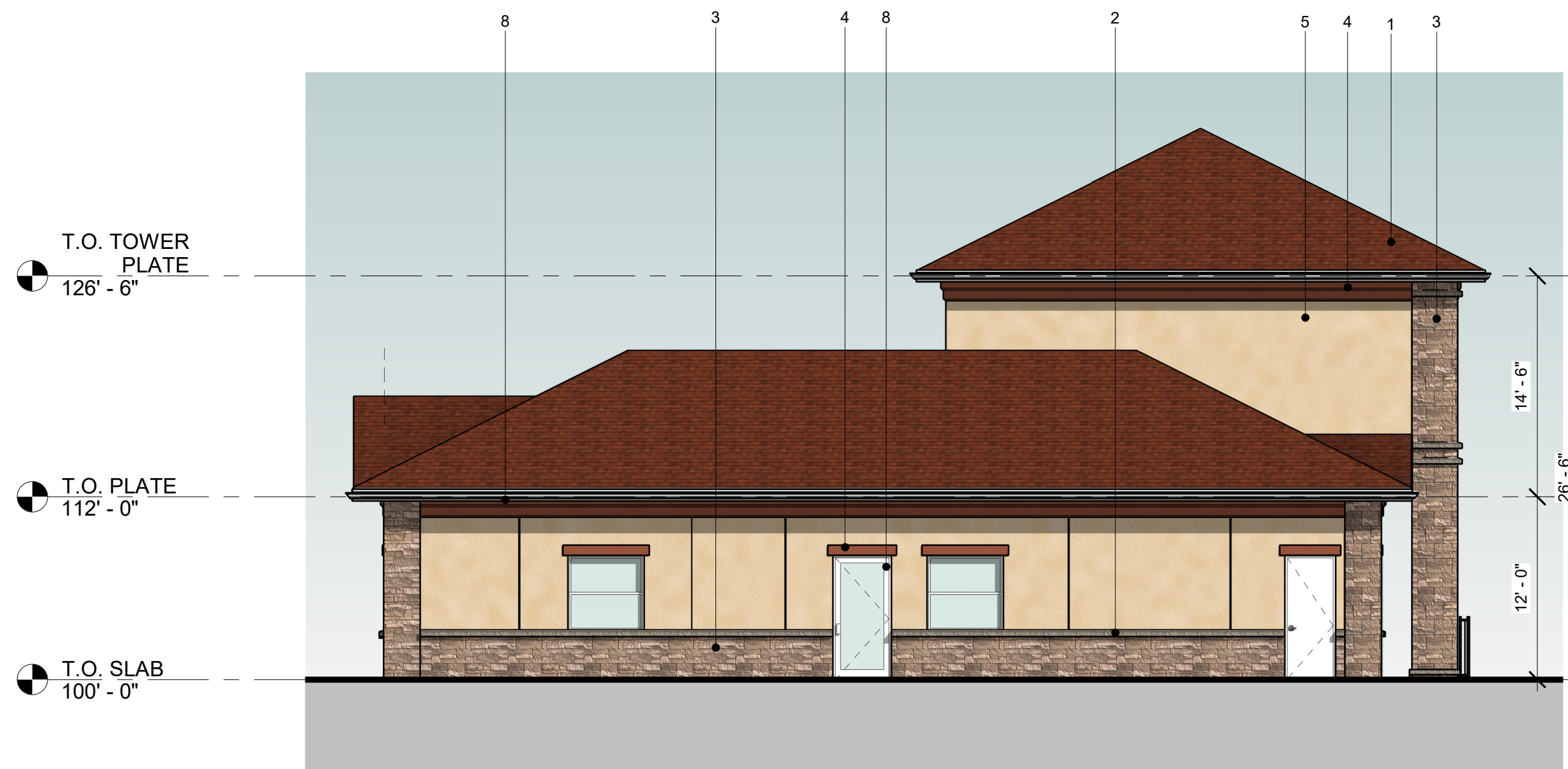
8 TRASH ENCLOSURE NORTH ELEVATION PLANNING  
 1/4" = 1'-0"



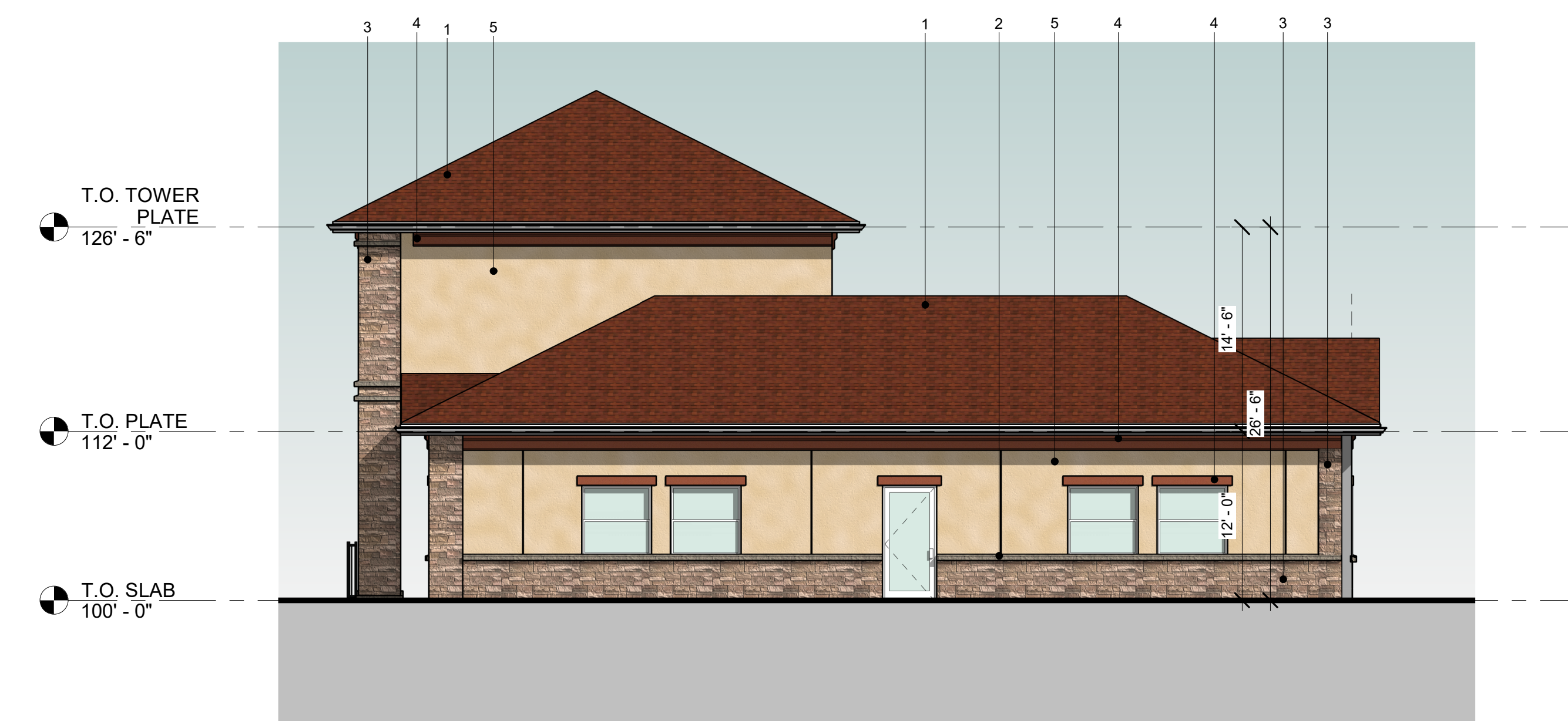
9 TRASH ENCLOSURE SOUTH ELEVATION PLANNING  
 1/4" = 1'-0"



10 TRASH ENCLOSURE WEST ELEVATION PLANNING  
 1/4" = 1'-0"



2 WEST - W ELEVATION PLANNING  
 1/8" = 1'-0"



1 EAST ELEVATION PLANNING  
 1/8" = 1'-0"

ELEVATION MATERIAL SCHEDULE

#	MATERIAL DESCRIPTION
1	KAL-ASPALT SHINGLE TO MATCH TIMBERLINE HICKORY
2	KAL-SMOOTH WAINSCOT TO MATCH BORAL #315
3	KAL-ELDERADO STONE STAKECD STONE DESERT-SHADOW
4	KAL-CEMENT STUCCO TO MATCH OMEGA ONION SKIN TAN
5	KAL-CEMENT STUCCO TO MATCH OMEGA CREAM
6	KAL- PAINT TO MATCH PELLA MORNING STAR GREY
7	KAL-GLAZING CLEAR
8	KAL-CEMENT BOARD TRIM TO MATCH PELLA MORNING STAR GREY
9	KAL-SPLITFACE CMU TO MATCH BORAL #315
11	KAL-SW 6088 NUTHATCH

NOTE: DOWNSPOUTS ARE SHOWN IN WHITE TO HELP THEM READ, THE ACTUAL COLOR WILL BE PAINT TO MATCH OMEGA CREAM STUCCO.

KIDDIE ACADEMY

BUILDING ELEVATIONS

DATE OF SUBMITTAL: 07.18.2018	
REVISIONS	
DATE	NO.

SHEET  
 14 OF 14



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