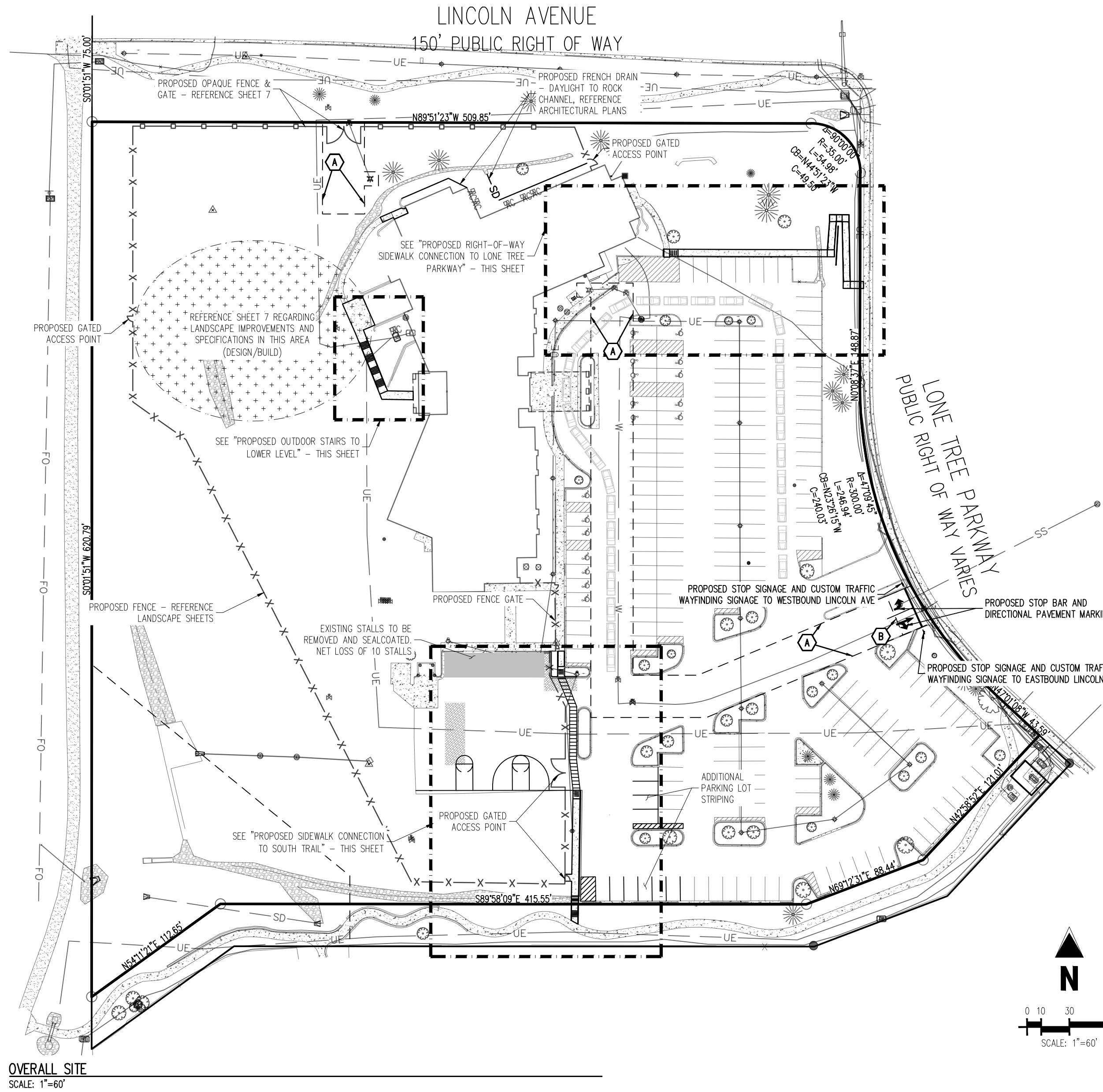


CENTENNIAL RIDGE
AMBLESIDE SCHOOL
 SITE IMPROVEMENT PLAN - SP24-0003
 JANUARY 2024



SITE DATA TABLE		
	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	322,138 (7.39 AC)	100%
PERVIOUS AREA	179,388 (4.12 AC)	55%
IMPERVIOUS AREA	142,800 (3.27 AC)	45%

PARKING TABLE		
	EXISTING	PROPOSED
BUILDING AREA (S.F.)	27,358	27,358
REQUIRED STALLS	-	60
STANDARD STALLS	178	175
ADA STALLS	17	17
TOTAL PARKING STALLS	195	188
BICYCLE SPACES	4	4

CITY PARKING CODE REQUIRES PARKING PER THE FOLLOWING:
 PER CODE, BICYCLE PARKING IS 2% OF TOTAL SITE PARKING
 2 SPACES PER STUDENT (ELEMENTARY SCHOOL)
 18 SPACES PER STUDENT (MIDDLE SCHOOL)
 46 SPACES PER STUDENT (HIGH SCHOOL)

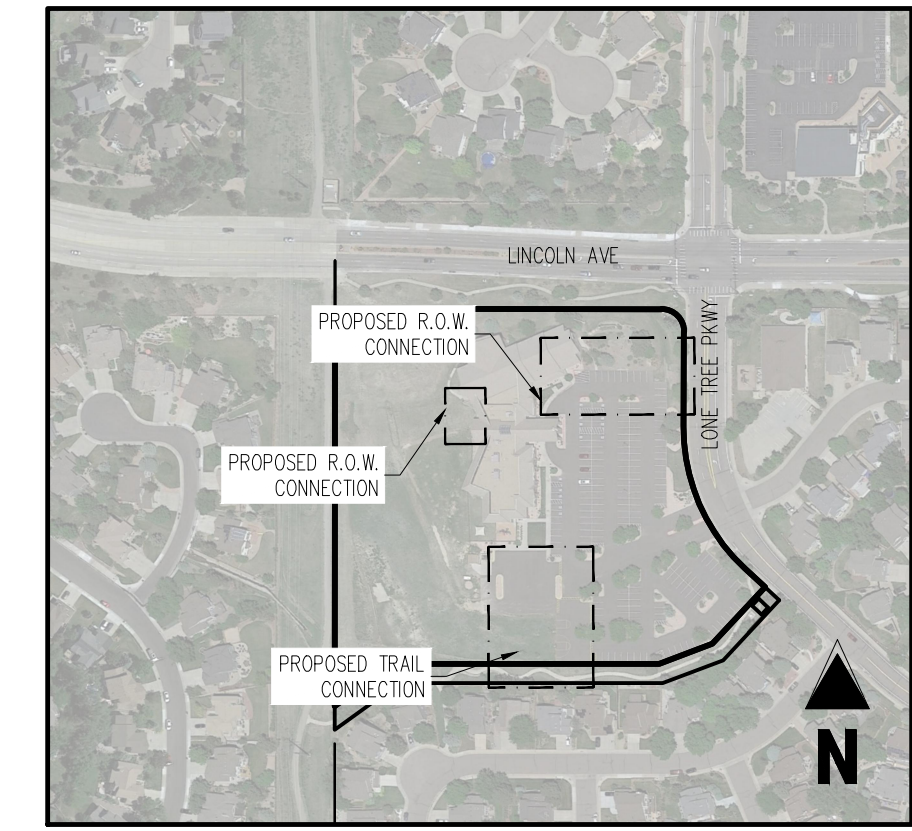
PROPOSED PARKING CONDITIONS ARE AS FOLLOWS:
 ELEMENTARY SCHOOL (K-5): 102 STUDENTS - 20.4 PARKING SPACES
 MIDDLE SCHOOL (6-8): 51 STUDENTS - 8.16 PARKING SPACES
 HIGH SCHOOL (9-12): 68 STUDENTS - 31.28 PARKING SPACES
 PER CITY REQUIREMENTS, 60 TOTAL STALLS NEEDED

EASEMENT SCHEDULE

- (A) 30' WATER LINE EASEMENT. BOOK 1373, PAGE 1334
- (B) SEWER LINE EASEMENT. BOOK 1773, PAGE 1334
- (C) DRAINAGE EASEMENT. BOOK 330, PAGE 319

SITE SCHEDULE

- (1) PROPOSED CONCRETE RAMP (REFERENCE SITE DETAILS)
- (2) PROPOSED RETAINING WALL (REFERENCE SITE DETAILS)
- (3) PROPOSED CONCRETE SIDEWALK (REFERENCE SITE DETAILS)
- (4) PROPOSED YELLOW PAINTED STRIPING AT 45° AT 2'-0" O.C.
- (5) PROPOSED 2' SIDEWALK CHUTE (REFERENCE SITE DETAILS)
- (6) PROPOSED 6" CURB AND GUTTER (REFERENCE SITE DETAILS)
- (7) PROPOSED HANDRAIL
- (8) PROPOSED ASPHALT PATCHBACK (IN PLACE OF EXISTING LANDSCAPE ISLAND)
- (9) PROPOSED BASKETBALL COURT STRIPING
- (10) PROPOSED CONCRETE STAIRCASE (REFERENCE SITE DETAILS)
- (11) PROPOSED CONCRETE LANDING (REFERENCE SITE DETAILS)
- (12) PROPOSED BIKE RACK
- (13) PROPOSED CROSSWALK



KEY MAP

SCALE: 1"=200'

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- SECTION LINE
- EXISTING EASEMENT LINE
- EXISTING TO REMAIN
- EXISTING WATER LINE TO REMAIN
- FO - EXISTING FIBER OPTIC LINE TO REMAIN
- UE - EXISTING UNDERGROUND ELECTRIC TO REMAIN
- EXISTING FENCE TO REMAIN
- PROPOSED NEW
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PATCHBACK
- PROPOSED SEALCOAT
- ADA PATH OF TRAVEL
- EXISTING SIGN
- PROPOSED SIGNAGE

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CONTRACTOR IS RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.


NOTE: EXISTING SURFACE PIPE FOR ROOF DRAIN CONNECTION SHALL BE TRENCHED AND PLACED WITH A MINIMUM OF 1% SLOPE AT A MINIMUM BURIAL DEPTH OF 12" AND DAYLIGHTED TO NEAREST HILLSIDE TO PROMOTE POSITIVE DRAINAGE AND REDUCE SAFETY HAZARD.

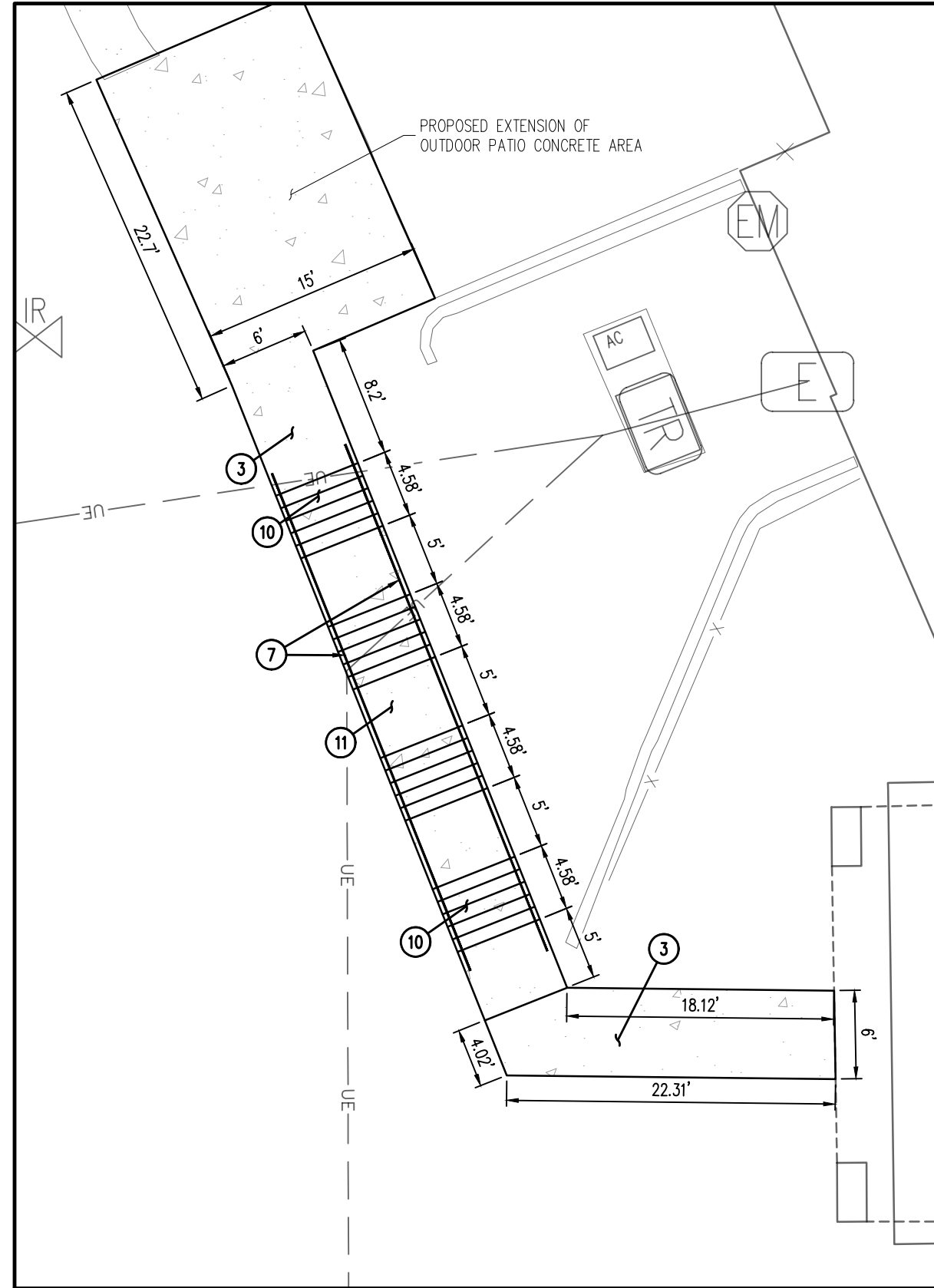
LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SECTION 16, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 16 AND CONSIDERING THE WEST LINE OF SAID SECTION 16 TO BEAR N01°14'50"E WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO:

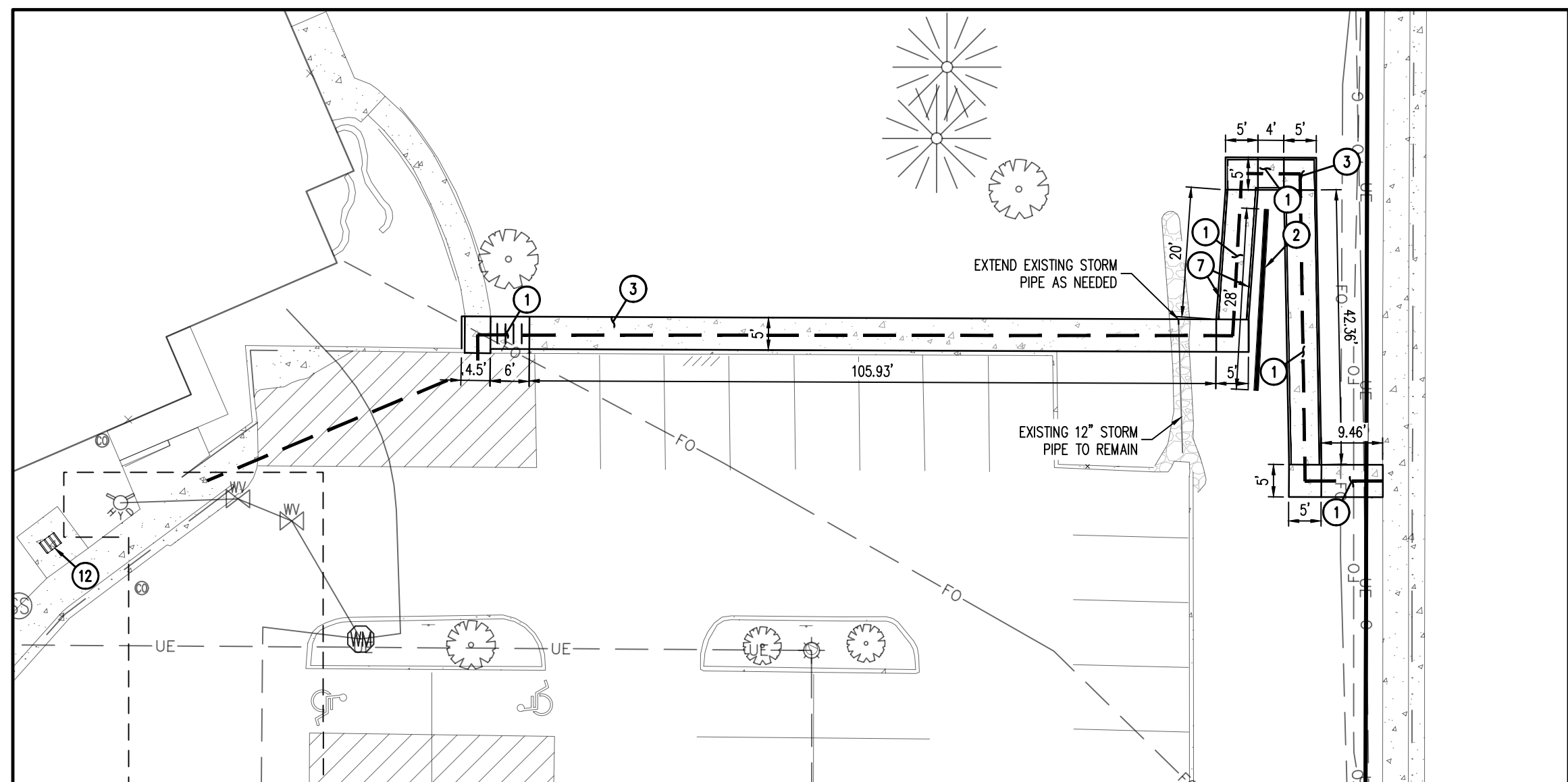
THENCE S01°14'50"W ALONG SAID SECTION 16, 75.00 FEET TO THE SOUTH LINE OF LINCOLN AVENUE AND THE POINT OF BEGINNING;
 THENCE CONTINUING S01°14'50"W ALONG THE SAID WEST LINE, 657.80 FEET TO A POINT ON THE NORTH LINE OF CENTENNIAL RIDGE SUBDIVISION FILING NO. 1;
 THENCE ALONG SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES:
 1. N55°24'20"E, 124.62 FEET;
 2. S88°45'10"E, 411.36 FEET;
 3. N70°25'30"E, 100.94 FEET;
 4. N44°11'51"E, 128.00 FEET TO A POINT ON THE WEST LINE OF LONE TREE PARKWAY;
 THENCE ALONG SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:
 1. THENCE N45°48'09"W, 73.59 FEET TO A POINT OF CURVE;
 2. THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF N01°21'36", 246.94 FEET TO A POINT OF TANGENT;
 3. THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 90°00'00", 54.98 FEET TO A LINE OF 75.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4;
 THENCE N88°38'24"W ALONG SAID LINE 509.85 FEET TO THE POINT OF BEGINNING, EXCEPT THE REAL PROPERTY DESCRIBED IN THAT CERTAIN PARTIAL RELEASE OF DEED OF TRUST RECORDED AUGUST 14, 1985 IN BOOK 590, AT PAGE 392X, COUNTY OF DOUGLAS, STATE OF COLORADO.

CAUTION - NOTICE TO CONTRACTOR

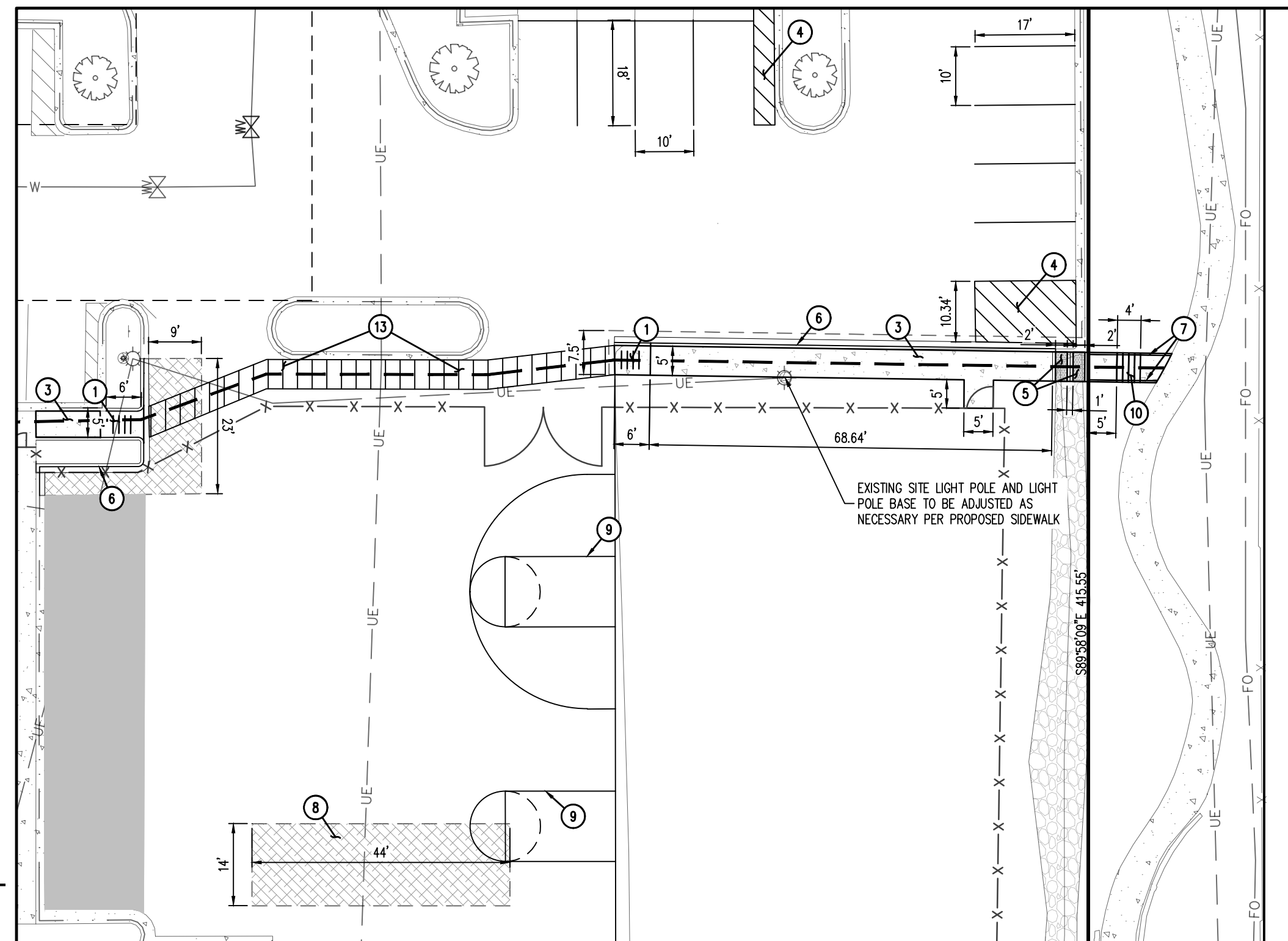
- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.  Call before you dig.
- 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PROPOSED OUTDOOR STAIRS TO LOWER LEVEL
 SCALE: 1"=10'



PROPOSED RIGHT-OF-WAY SIDEWALK CONNECTION TO LONE TREE PARKWAY
 SCALE: 1"=10'



PROPOSED SIDEWALK CONNECTION TO SOUTH TRAIL
 SCALE: 1"=20'



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AMBLESIDE SCHOOL
 LINCOLN AVE & LONE TREE PKWY
 SITE IMPROVEMENT PLAN - SP24-0003

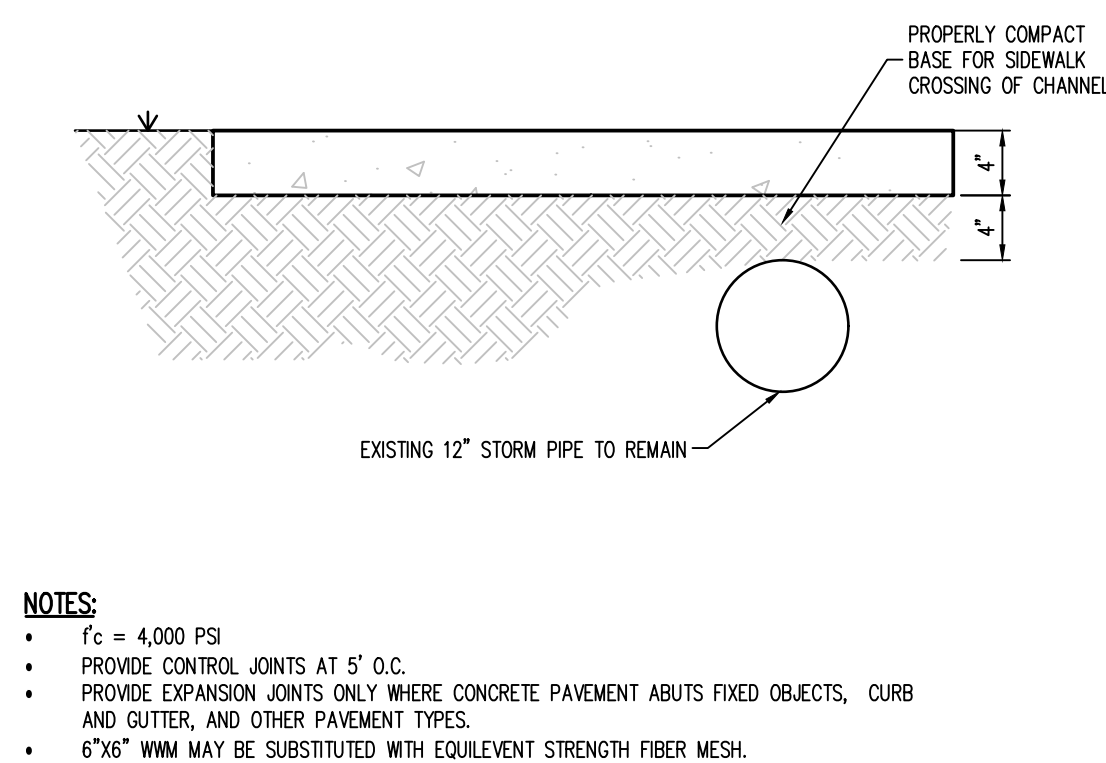
9941 LONE TREE PARKWAY
 LONE TREE, CO 80124

#	Date	Issue / Description	Init.
1	01/19/24	1ST SUBMITTAL	JSB
2	03/13/24	2ND SUBMITTAL	JSB

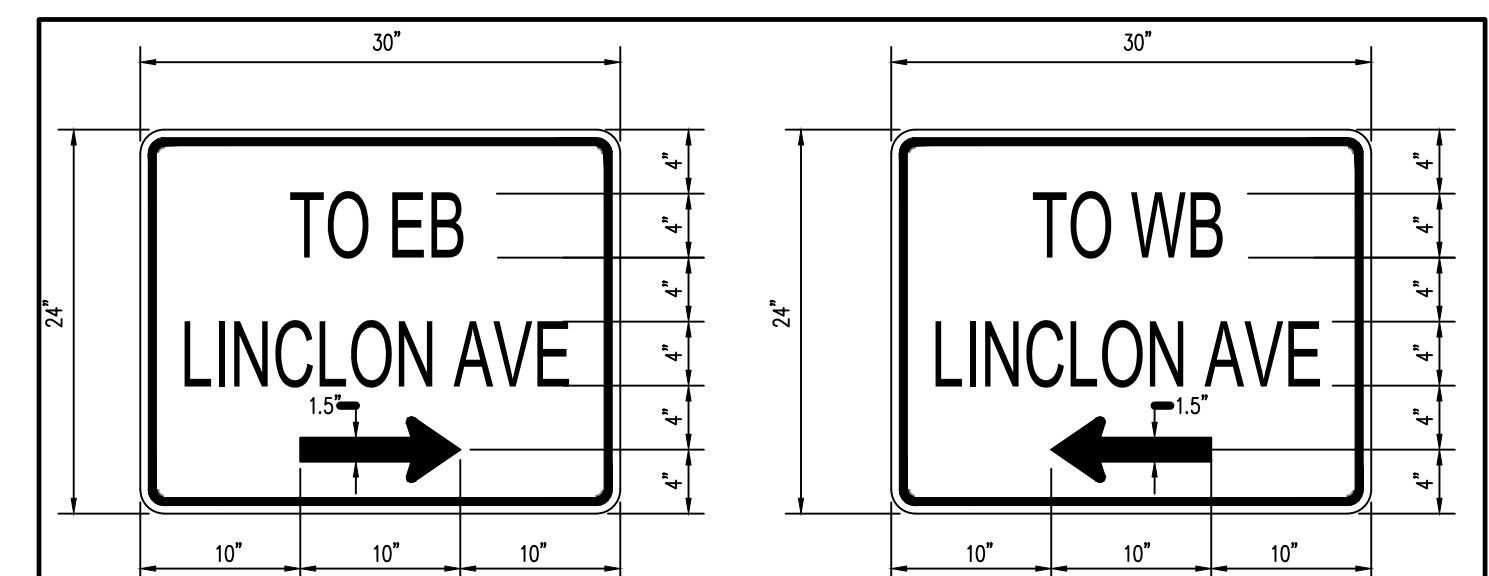
Project No: AMCO00002
 Drawn By: DMH
 Checked By: JSB
 Date: JANUARY 2024

SITE PLAN

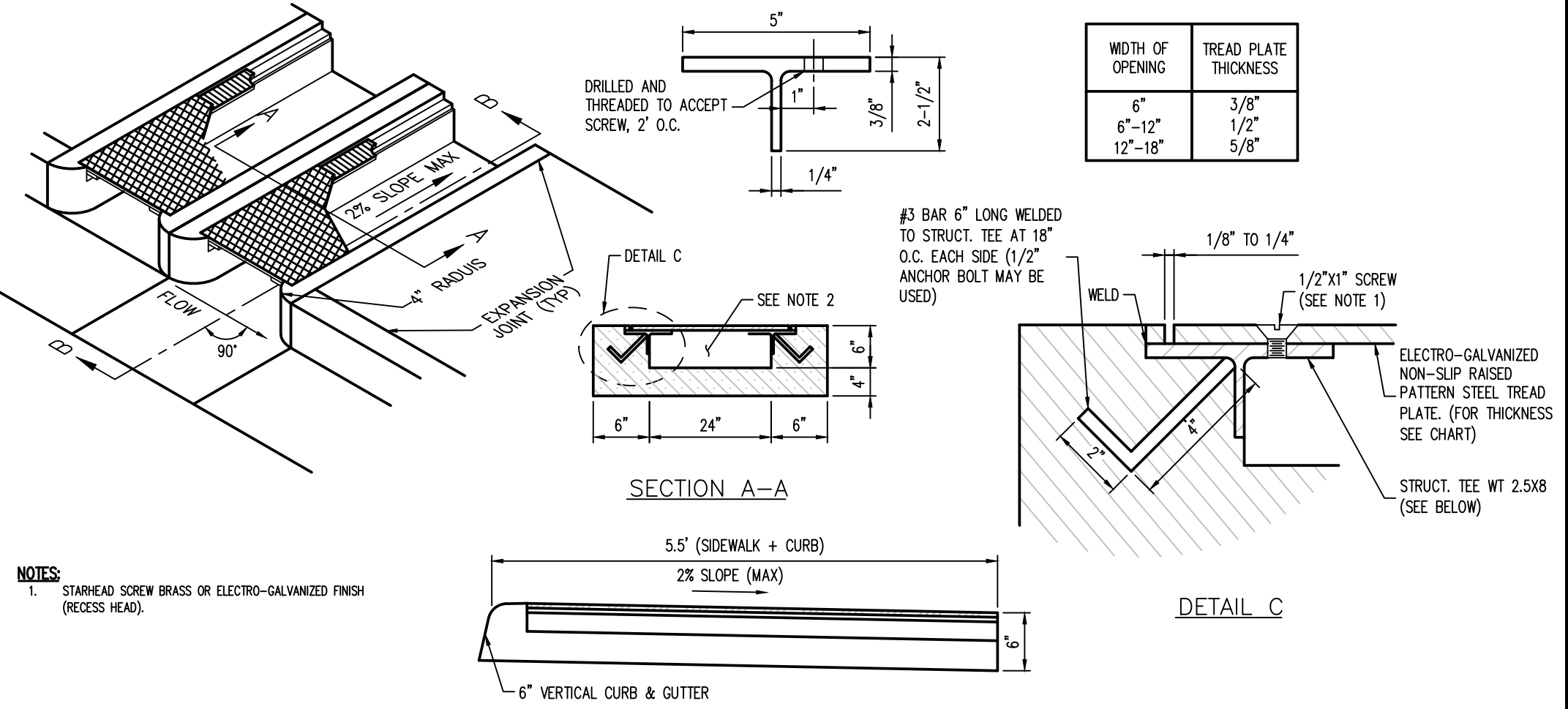
CENTENNIAL RIDGE
AMBLESIDE SCHOOL
 SITE IMPROVEMENT PLAN - SP24-0003
 JANUARY 2024



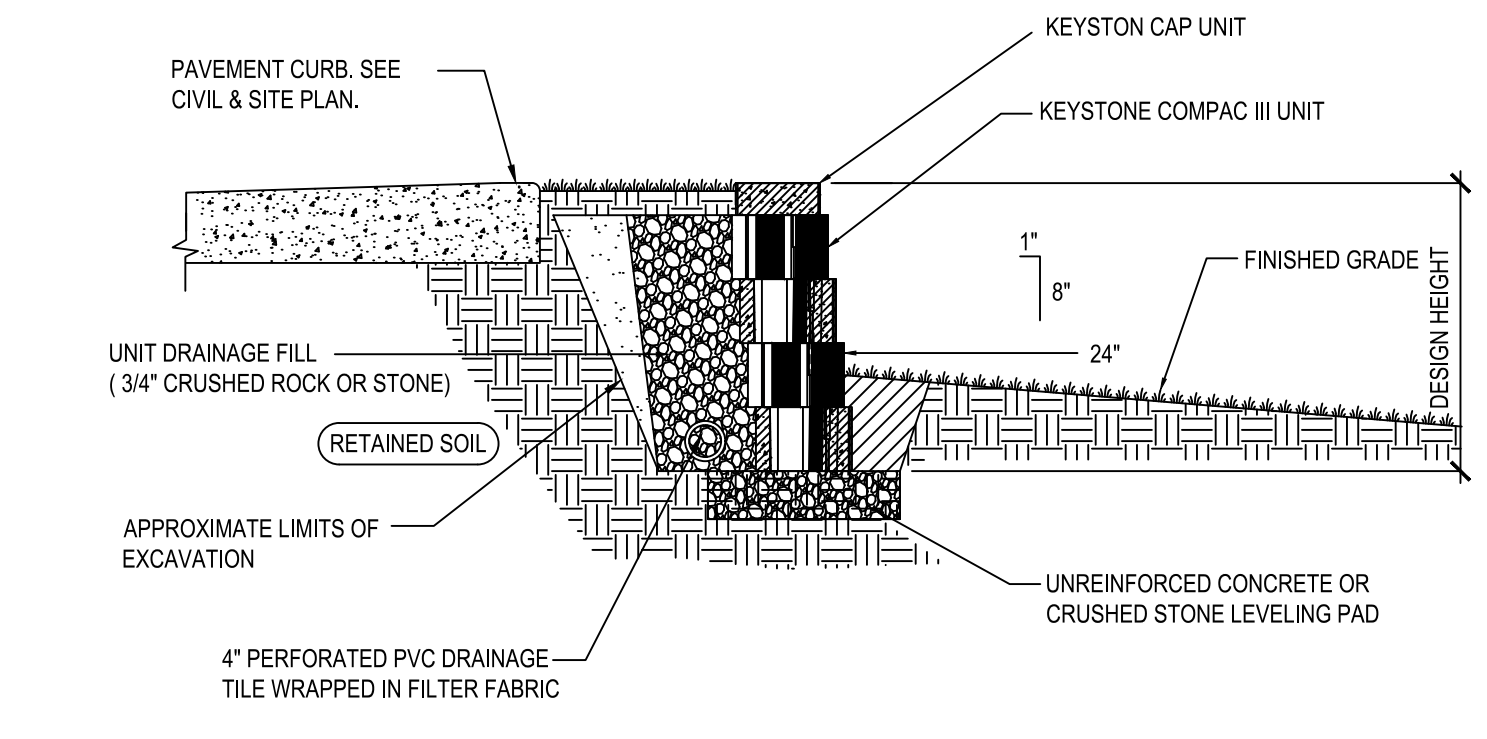
SIDEWALK OVER EXISTING STORM PIPE
 SCALE: NTS



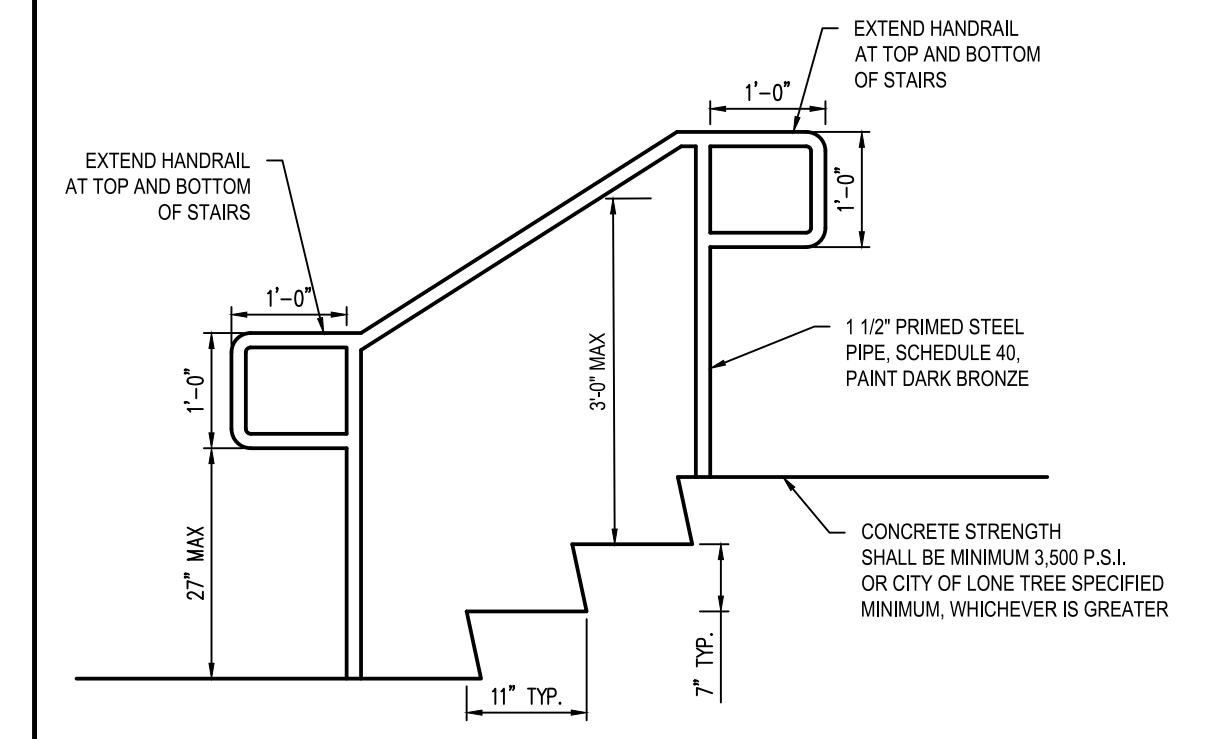
ALL SIGN LETTERS TO COMPLY WITH STANDARD ALPHABETS FOR HIGHWAY SIGNS (SERIES C 2000) WHITE LEGEND ON GREEN BACKGROUND (TYP) HORIZONTAL ALIGNMENT (TYP) VERTICAL ALIGNMENT (TYP) N.T.S.



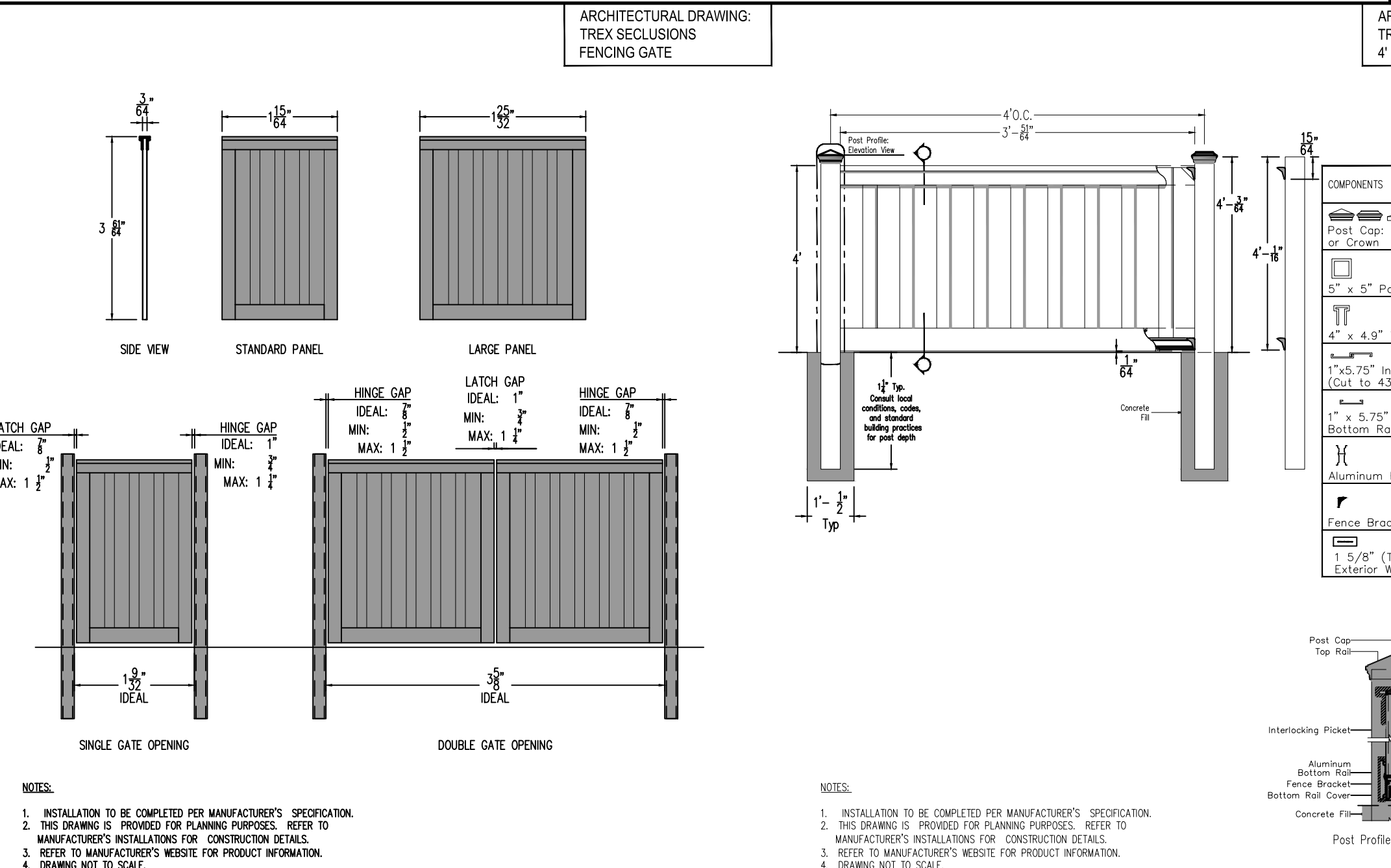
SIDEWALK CURB CHASE
 NOT TO SCALE



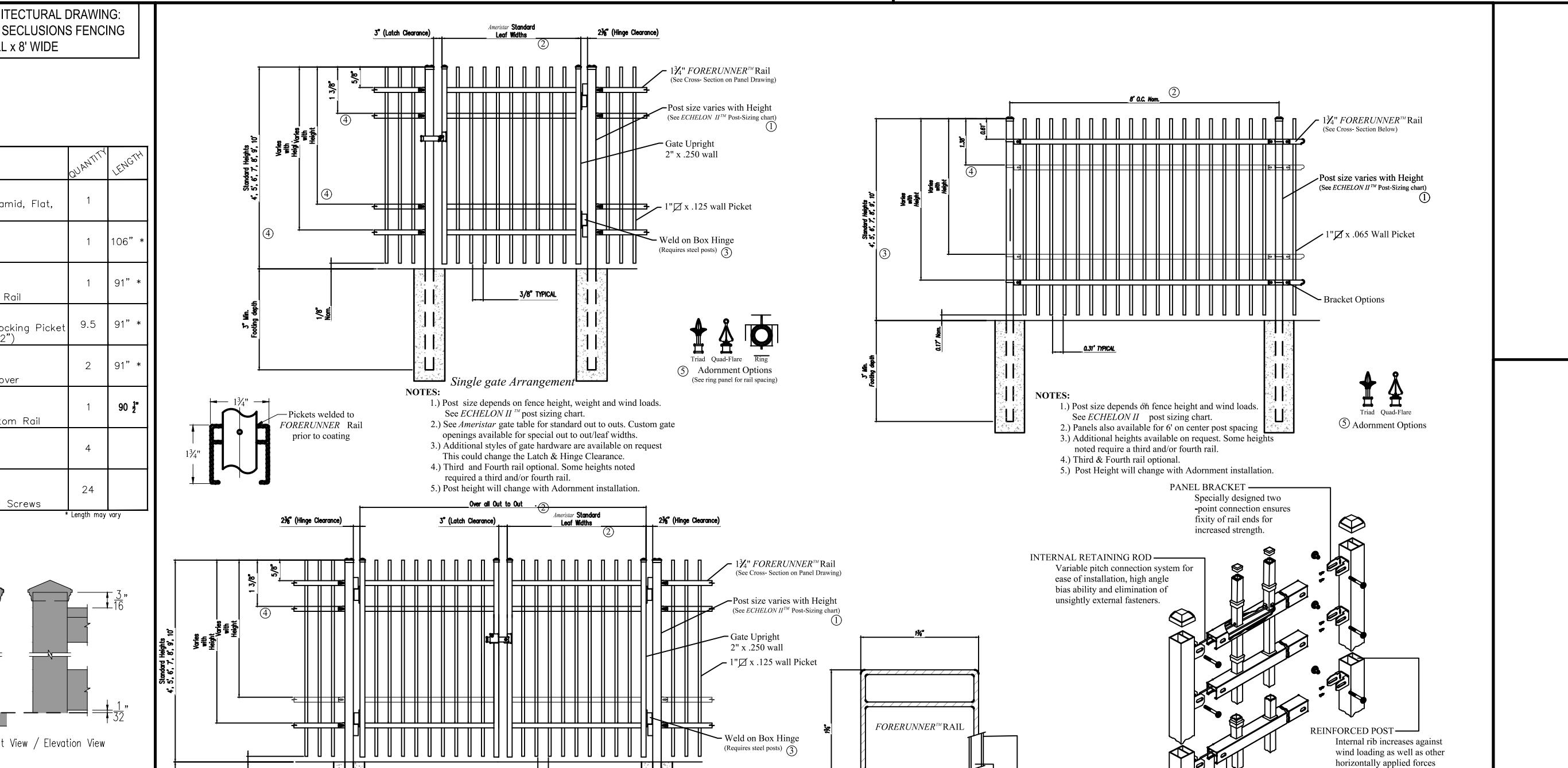
RETAINING WALL DETAIL
 SCALE: NTS



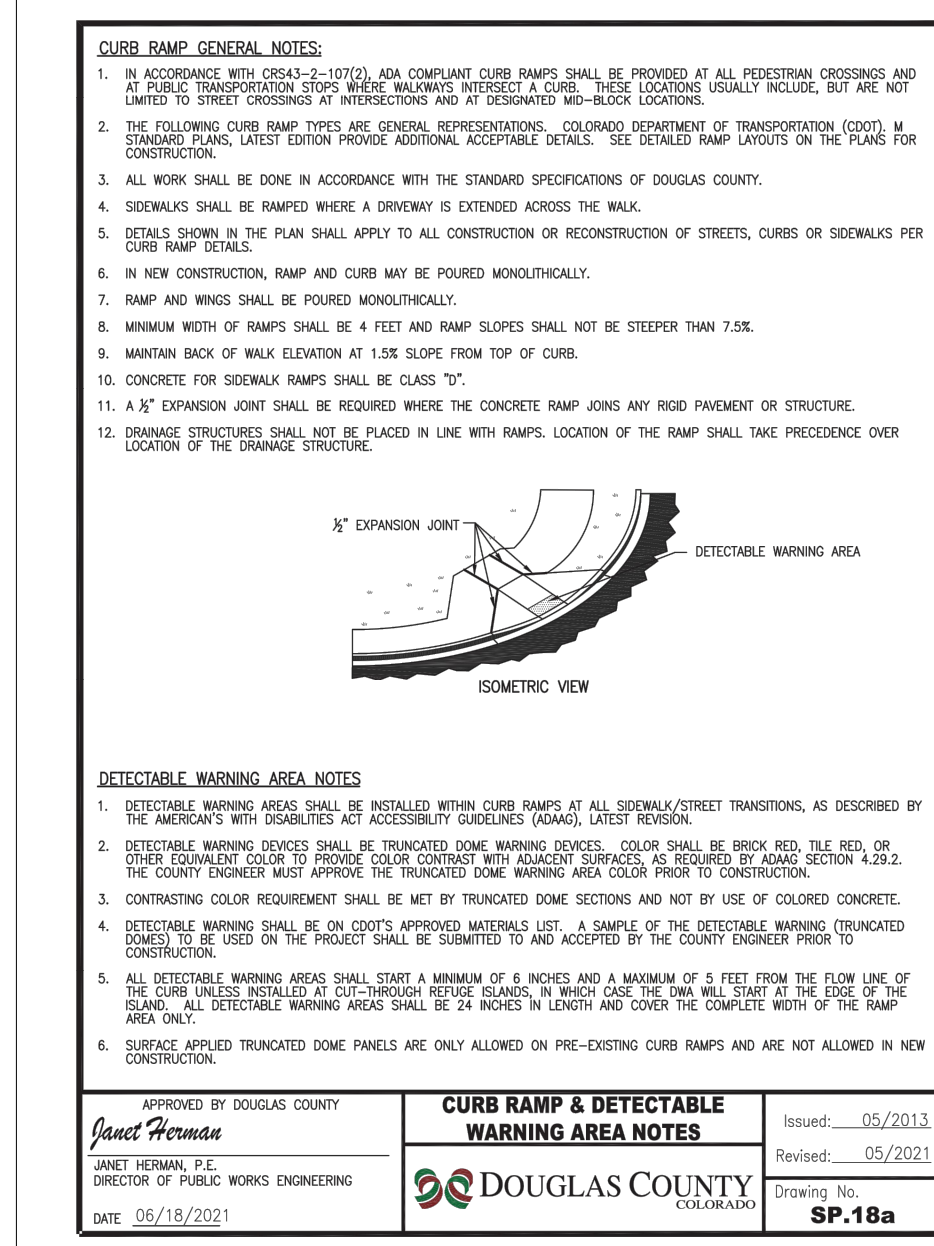
HANDRAIL AND STAIR DETAIL
 SCALE: NTS



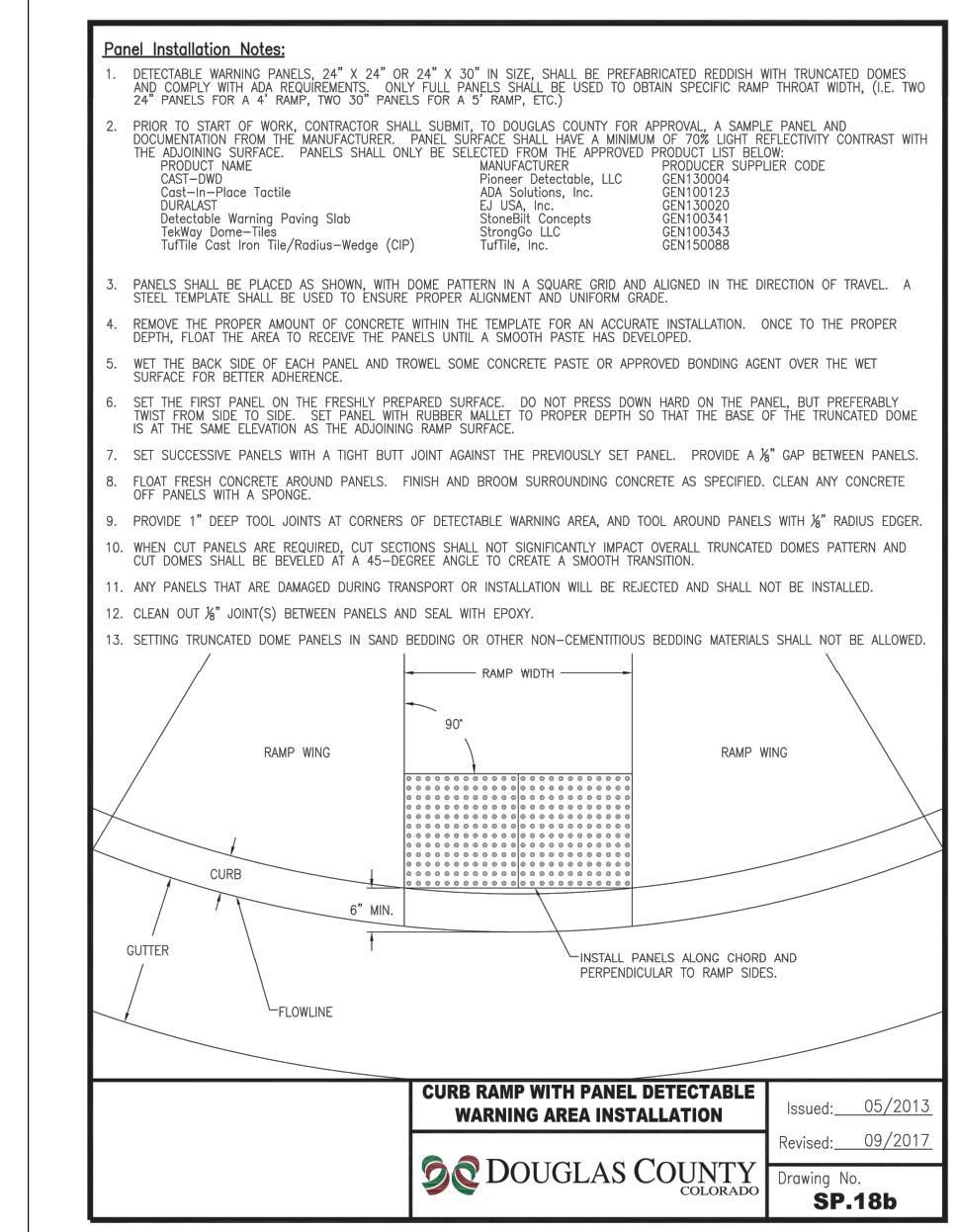
TREX SECLUSIONS FENCING GATE
 ARCHITECTURAL DRAWING: TREX SECLUSIONS FENCING GATE 4' TALL x 8' WIDE



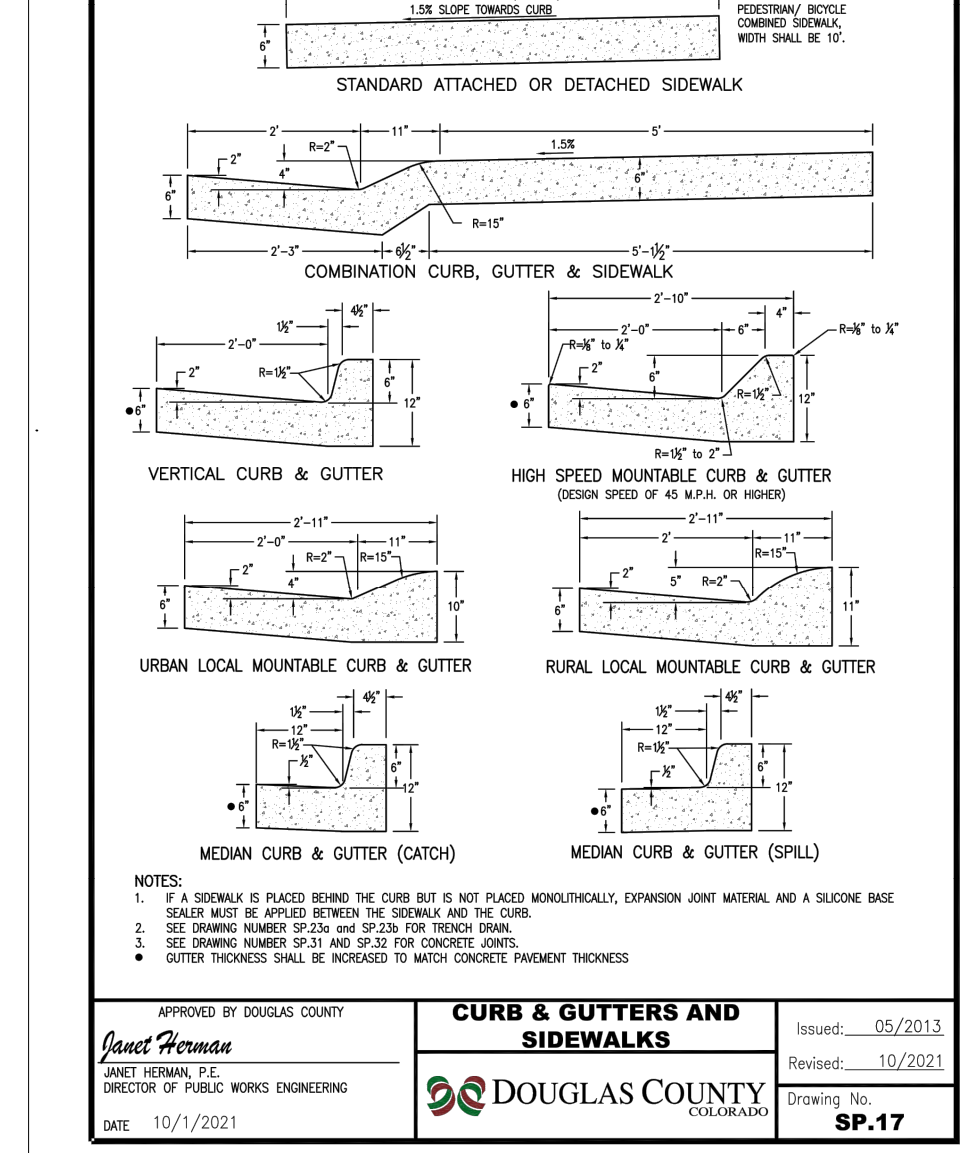
TREX SECLUSIONS FENCING GATE
 ARCHITECTURAL DRAWING: TREX SECLUSIONS FENCING GATE 4' TALL x 8' WIDE



CURB RAMP & DETECTABLE WARNING AREA NOTES
 SP.18a



CURB RAMP WITH PANEL DETECTABLE WARNING AREA INSTALLATION
 SP.18b



CURB & GUTTERS AND SIDEWALKS
 SP.17

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ACCESSIBLE RAMP DETAIL
 NOT TO SCALE

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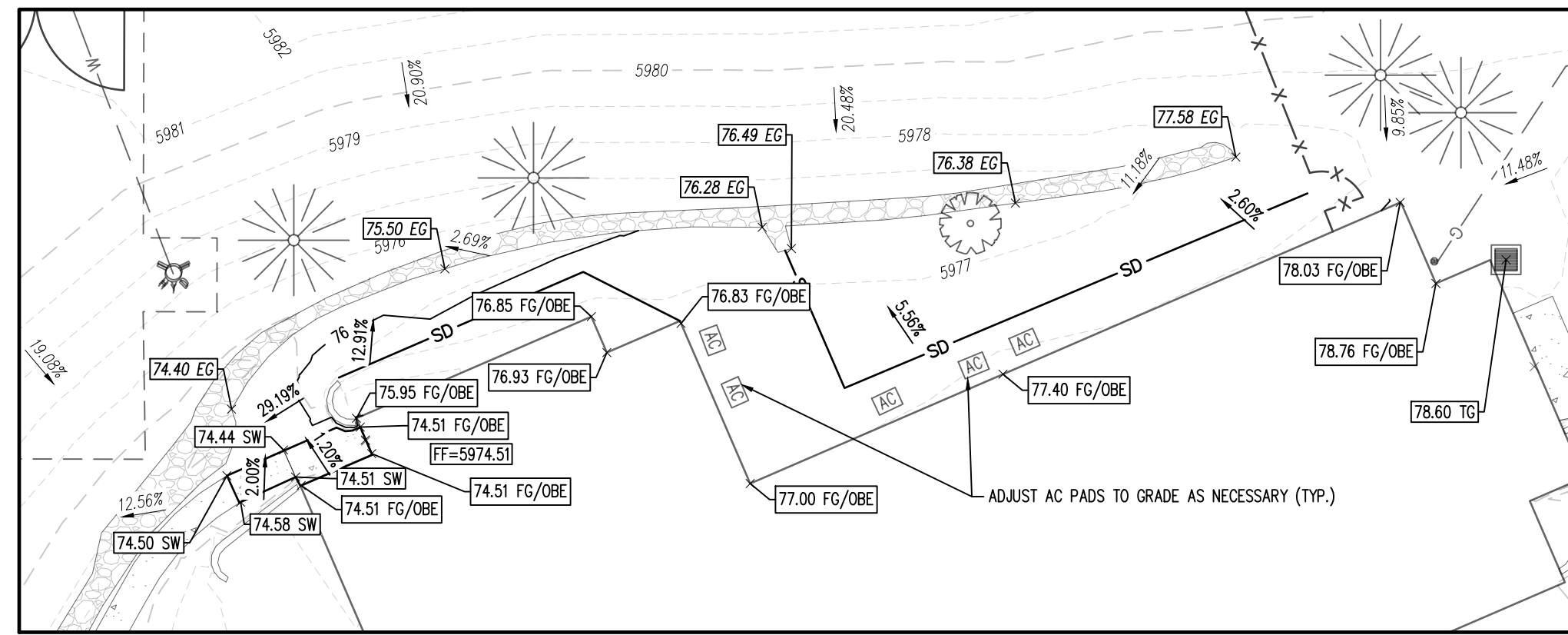
AMBLESIDE SCHOOL
 LINCOLN AVE & LONE TREE PKWY
 SITE IMPROVEMENT PLAN - SP24-0003
 9941 LONE TREE PARKWAY
 LONE TREE, CO 80124

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1	01/19/24	1ST SUBMITTAL	JSB
2	03/13/24	2ND SUBMITTAL	JSB

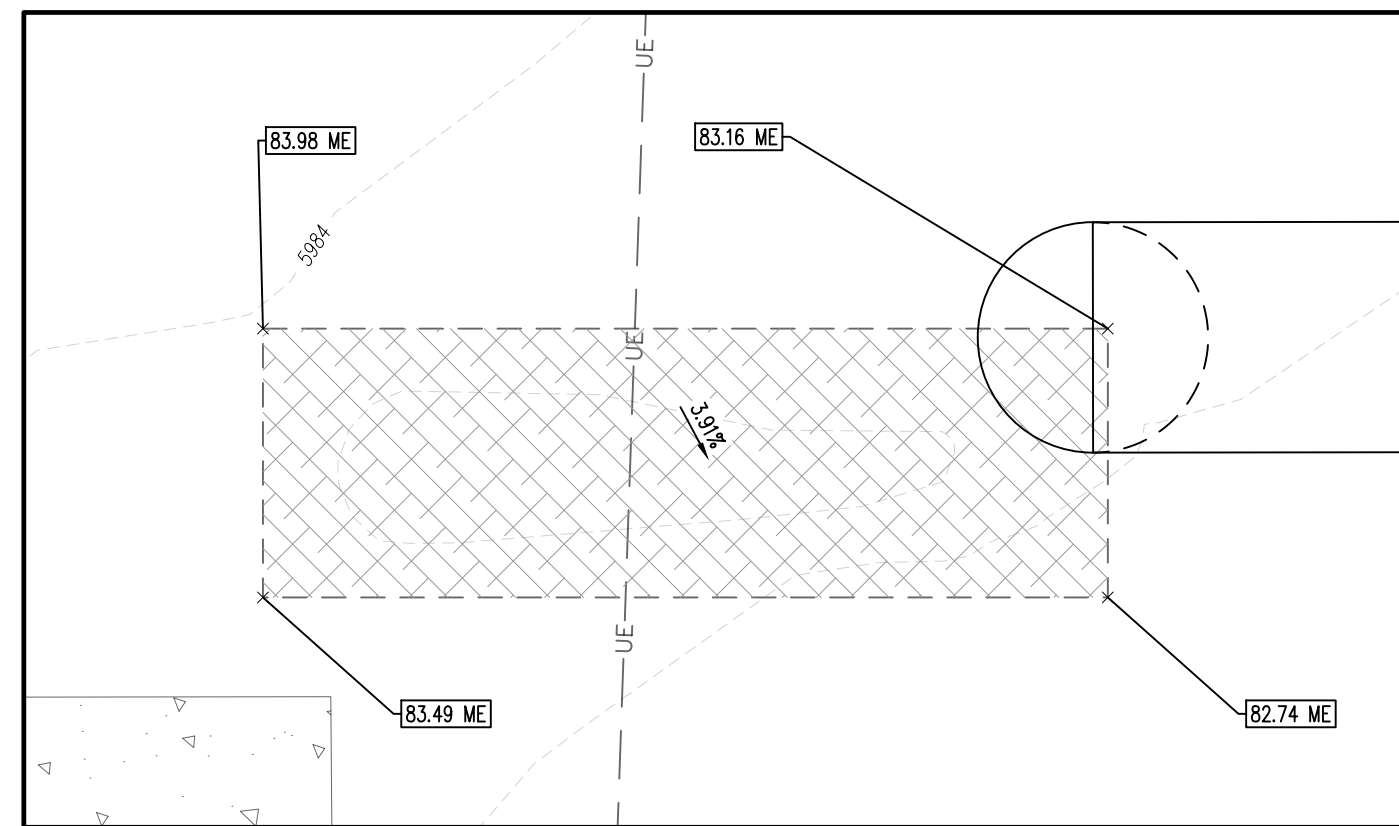
Project No: AMC000002
 Drawn By: DMH
 Checked By: JSB
 Date: JANUARY 2024

SITE DETAILS

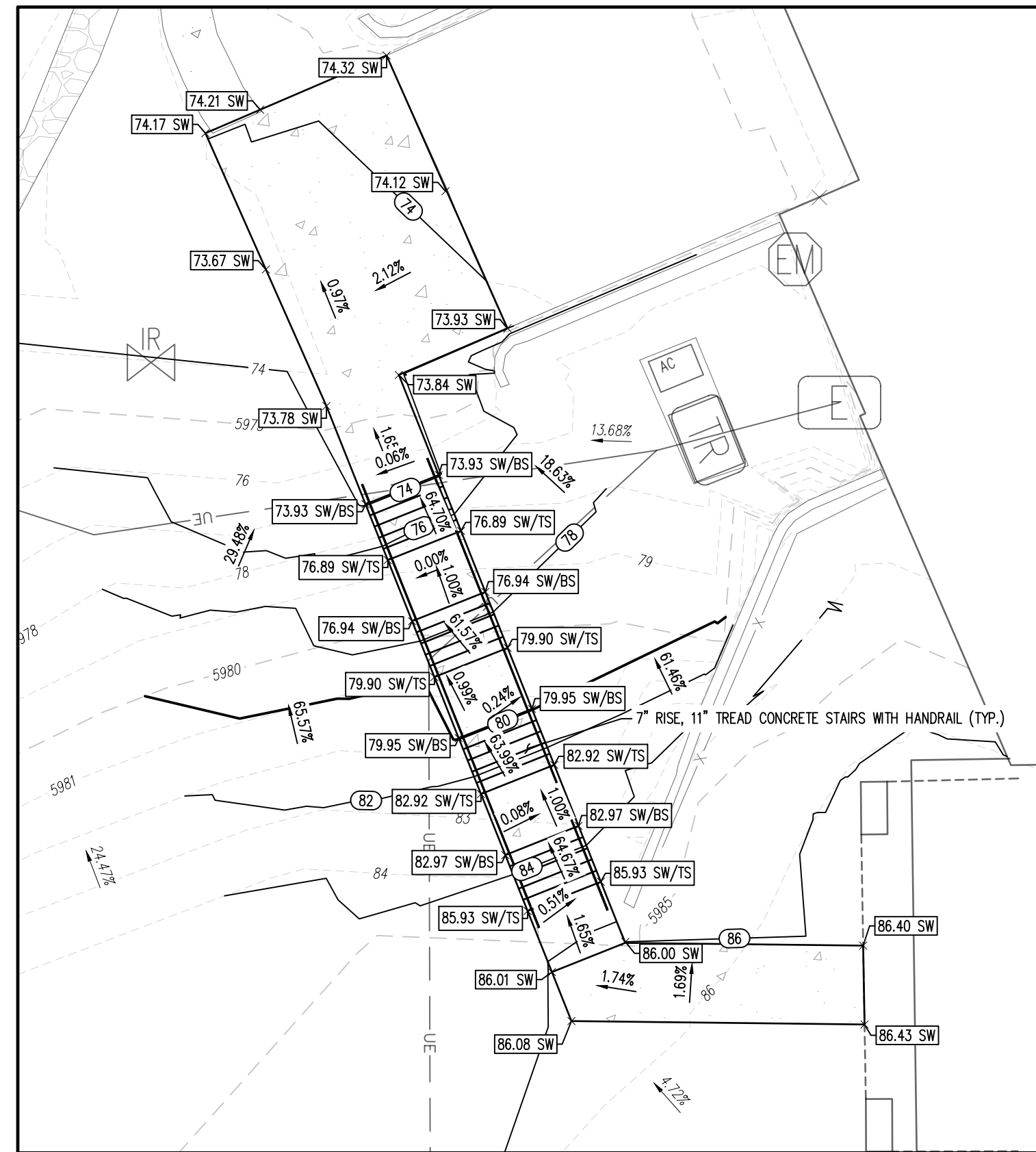
**CENTENNIAL RIDGE
AMBLESIDE SCHOOL
SITE IMPROVEMENT PLAN - SP24-0003
JANUARY 2024**



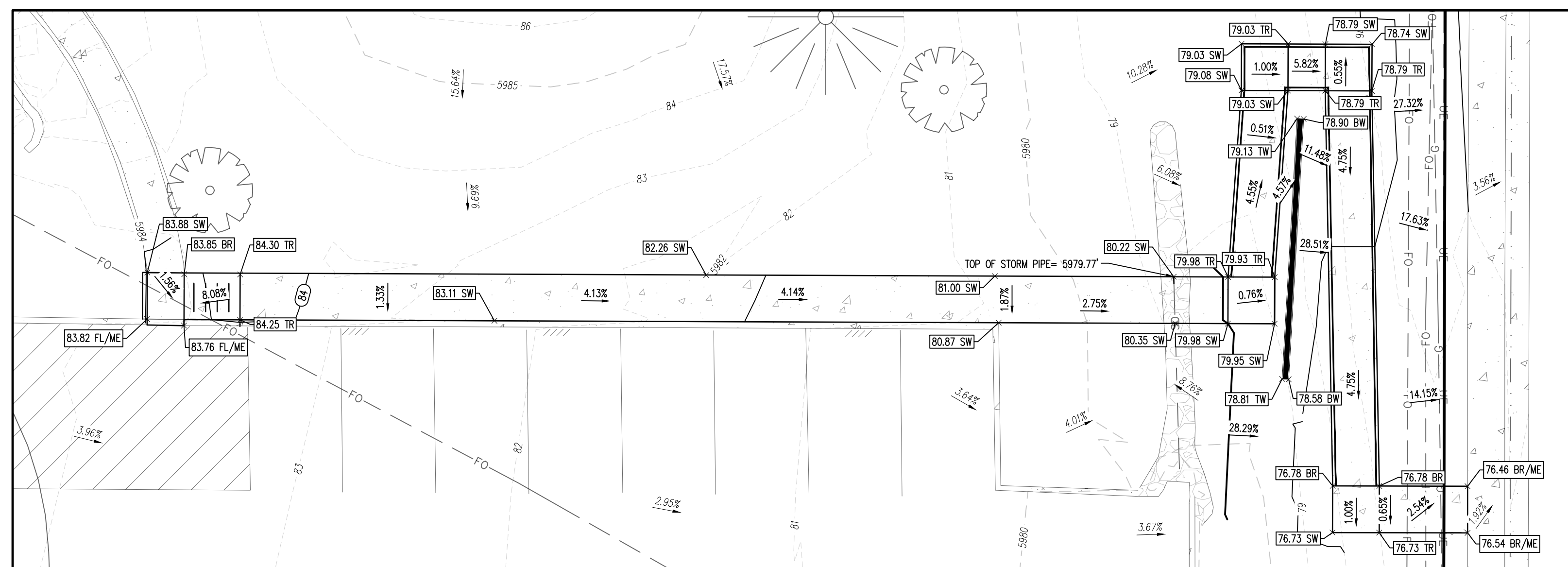
EXISTING OUTER BUILDING AREA AND ROCK CHANNEL
SCALE: 1"=20'



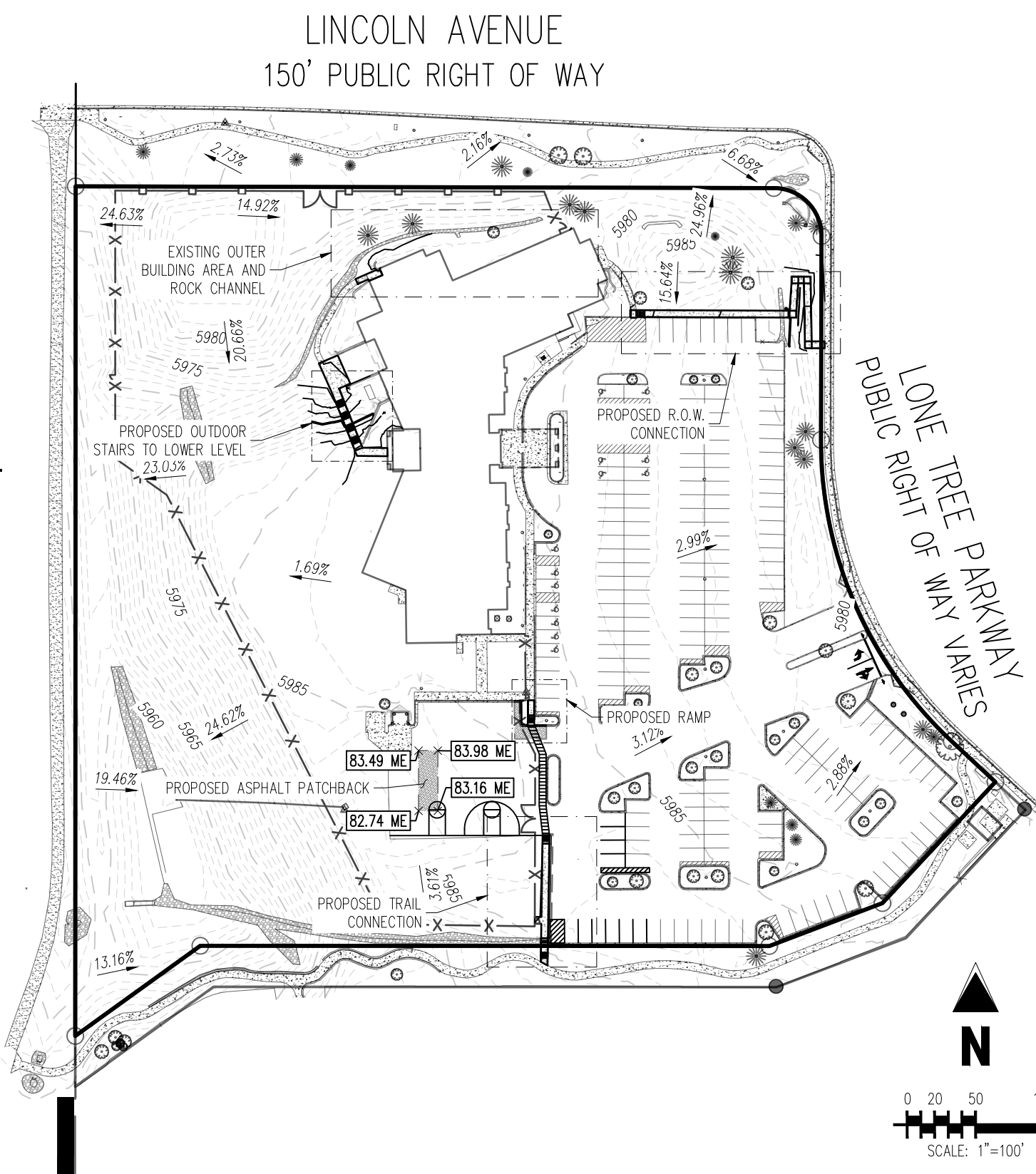
ASPHALT PATCHBACK
SCALE: 1"=10'



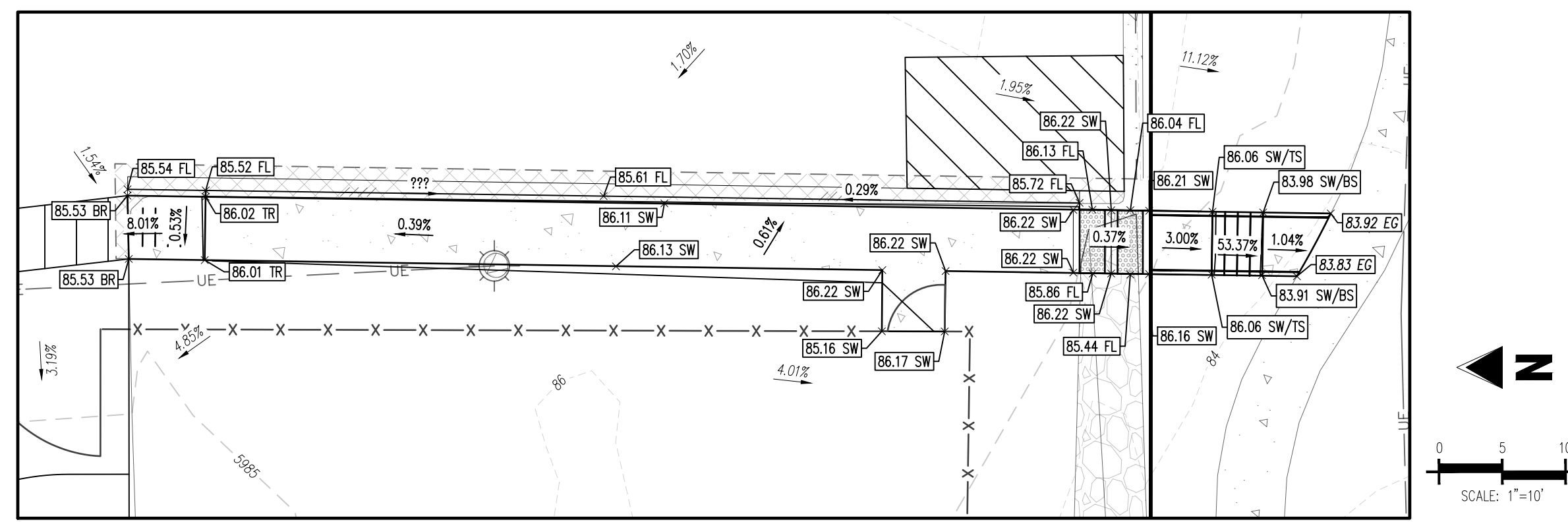
PROPOSED OUTDOOR STAIRS TO LOWER LEVEL
SCALE: 1"=5'



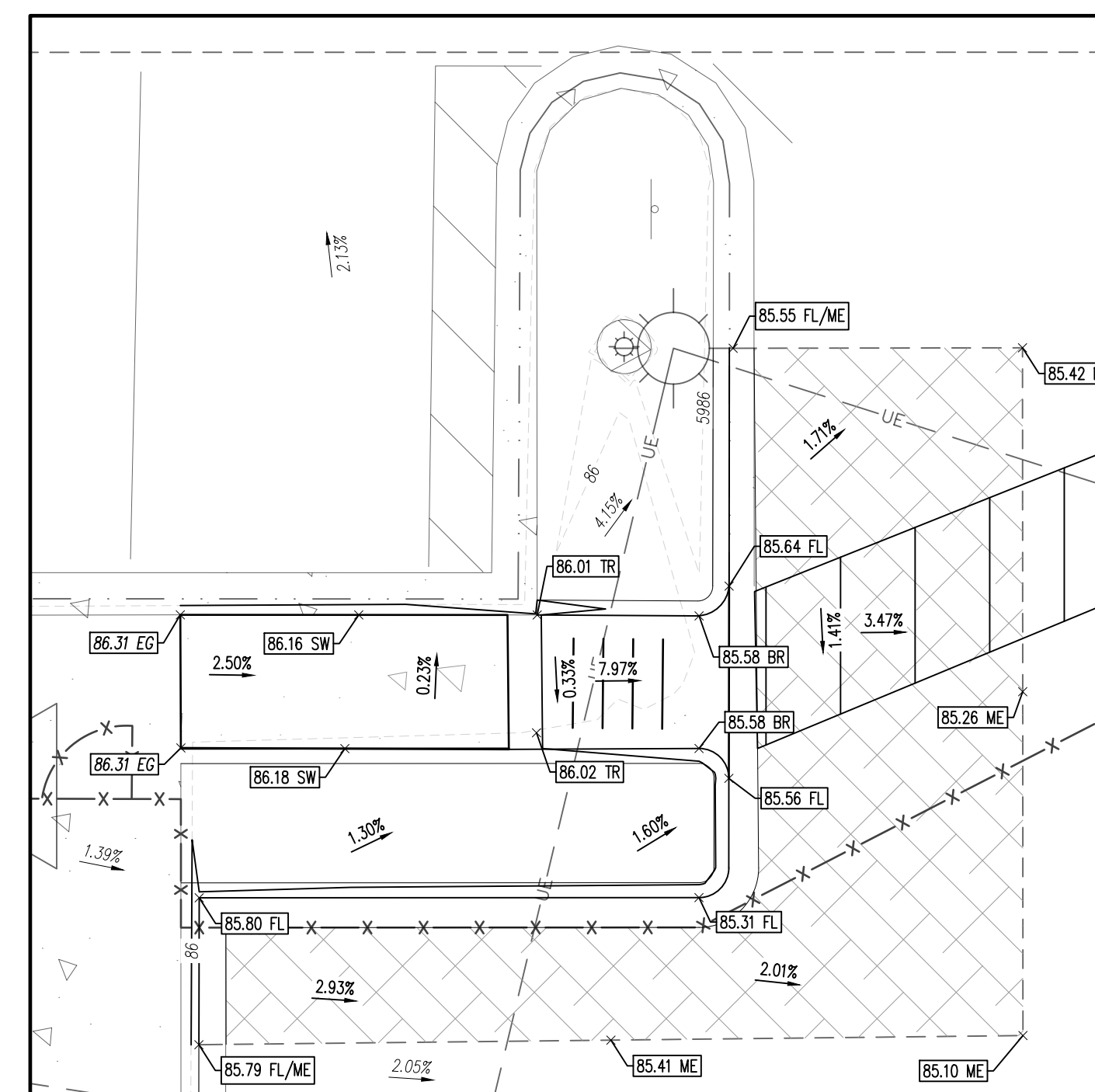
PROPOSED RIGHT-OF-WAY SIDEWALK CONNECTION TO LONE TREE PARKWAY
SCALE: 1"=10'



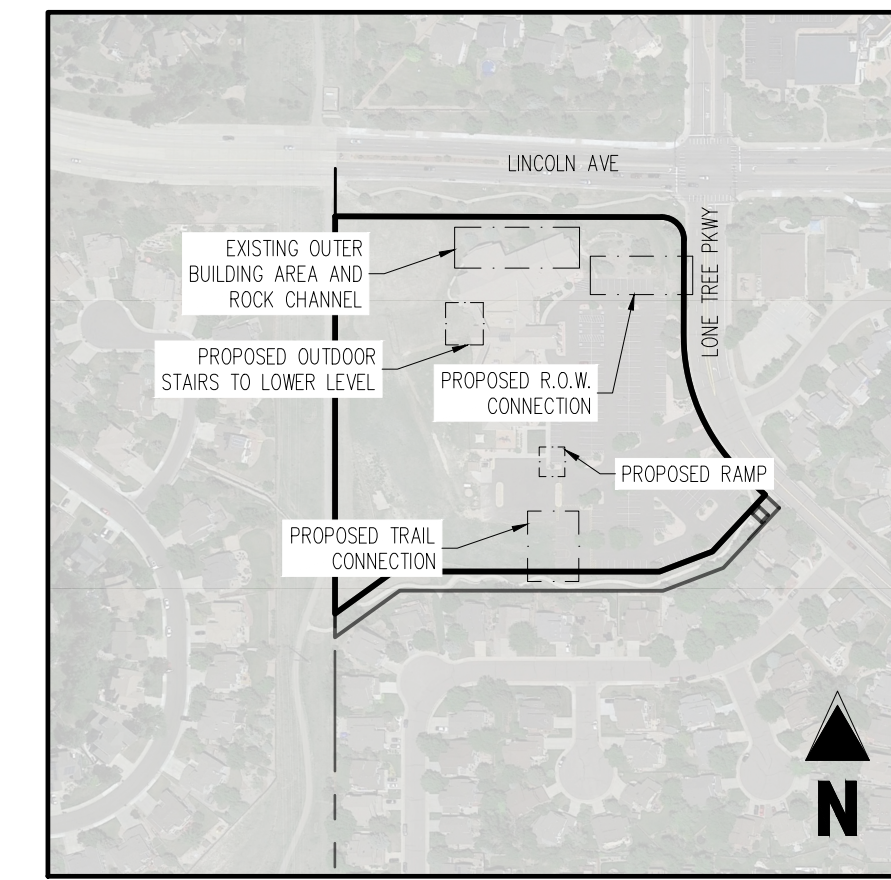
OVERALL SITE
SCALE: 1"=100'



PROPOSED SIDEWALK CONNECTION TO SOUTH TRAIL
SCALE: 1"=10'



PROPOSED RAMP SOUTH OF BUILDING
SCALE: 1"=5'



KEY MAP
SCALE: 1"=300'

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- RIGHT OF WAY BOUNDARY LINE
- - - - - SECTION LINE
- - - - - EXISTING EASEMENT LINE
- - - - - EXISTING TO REMAIN
- - - - - EXISTING WATER LINE TO REMAIN
- - - - - EXISTING FIBER OPTIC LINE TO REMAIN
- - - - - EXISTING UNDERGROUND ELECTRIC TO REMAIN
- - - - - EXISTING FENCE TO REMAIN
- PROPOSED NEW
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PATCHBACK
- PROPOSED SEALCOAT
- - - - - ADA PATH OF TRAVEL
- EXISTING SIGN
- PROPOSED SIGNAGE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- FINISHED FLOOR
- FINISHED GRADE
- MATCH EXISTING
- BOTTOM OF RAMP
- TOP OF RAMP
- OUTER BUILDING ELEVATION
- TOP OF STAIRS
- BOTTOM OF STAIRS
- EXISTING SLOPE
- PROPOSED SLOPE

CAUTION – NOTICE TO CONTRACTOR

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Know what's below.
Call before you dig.



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**AMBLESIDE SCHOOL
LINCOLN AVE & LONE TREE PKWY
SITE IMPROVEMENT PLAN - SP24-0003**

9941 LONE TREE PARKWAY
LONE TREE, CO 80124

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2	03/13/24	2ND SUBMITTAL	JSB

Project No: AMCO00002
 Drawn By: DMH
 Checked By: JSB
 Date: JANUARY 2024

GRADING PLAN

**CENTENNIAL RIDGE
AMBLESIDE SCHOOL**
SITE IMPROVEMENT PLAN - SP24-0003
JANUARY 2024

LINCOLN AVENUE
150' PUBLIC RIGHT OF WAY

SITE LEGEND

	PROPERTY BOUNDARY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	RIGHT OF WAY BOUNDARY LINE
	EXISTING EASEMENT LINE
	EXISTING TO REMAIN
	EXISTING FENCE TO REMAIN
	PROPOSED NEW
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PATCHBACK
	PROPOSED SEALCOAT
	EXISTING SIGN
	PROPOSED SIGNAGE
	FLOW ARROW
	PERMANENT PAVEMENT
	LOD LIMITS OF DISTURBANCE
	VTC VEHICLE TRACKING CONTROL
	CWA CONCRETE WASHOUT AREA
	SSA STABILIZED STAGING AREA
	IPO ON-GRADE INLET PROTECTION (P-4)
	RS ROCK SOCKS
	SF SILT FENCE
	CF CONSTRUCTION FENCE
	CD CHECK DAM
	PT PORTABLE TOILET
	SP SITE POSTING (CONTACTS AND PERMITS)
	WP WASHOUT POSTING

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SECTION 16, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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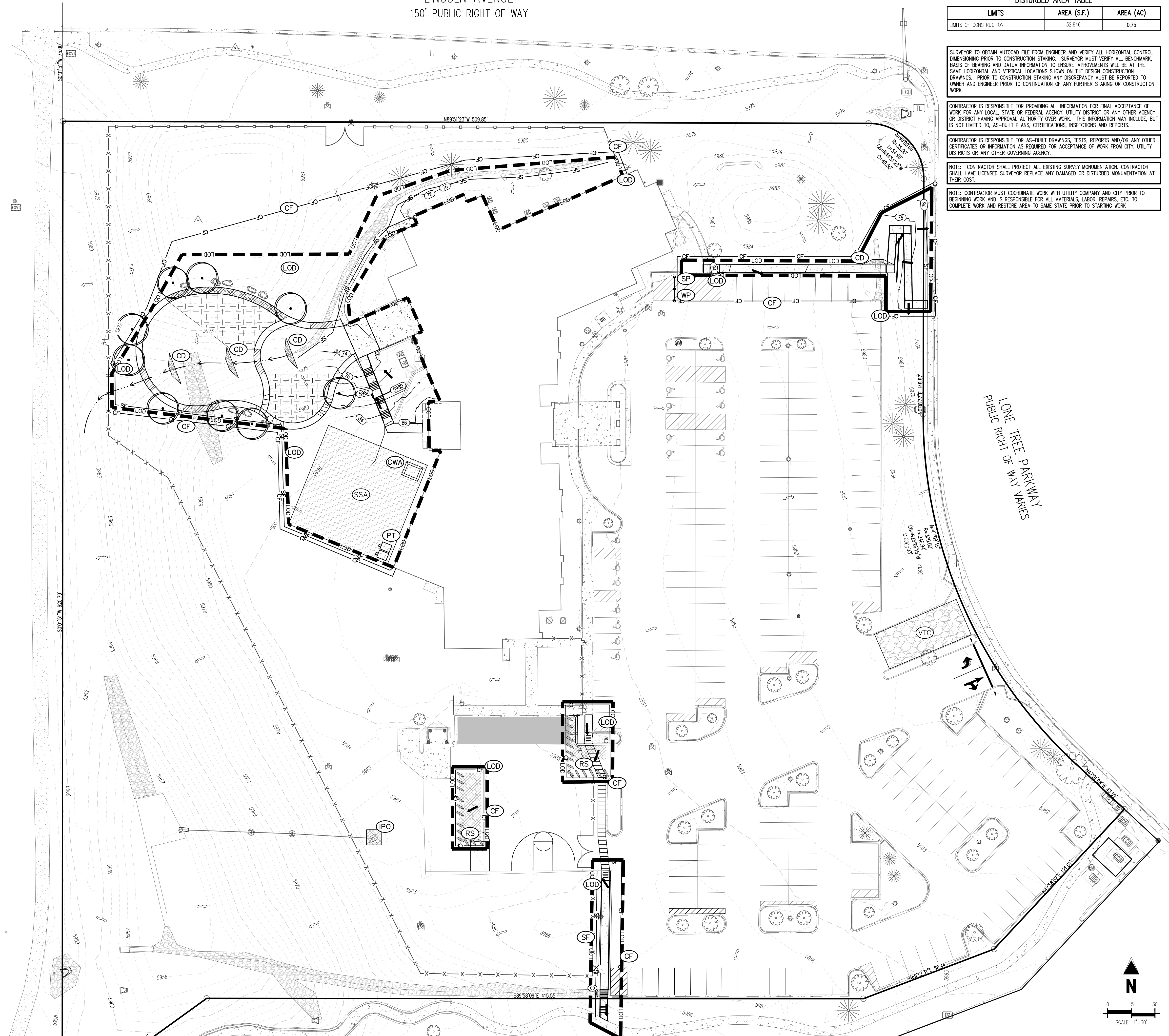
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THENCE CONTINUING S01°14'50"W ALONG THE SAID WEST LINE, 657.80 FEET TO A POINT ON THE NORTH LINE OF CENTENNIAL RIDGE SUBDIVISION FILING NO. 1;
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1. N55°24'20"E, 124.62 FEET;
2. S88°45'10"E, 411.36 FEET;
3. N70°25'30"E, 100.94 FEET;
4. N44°11'51"E, 128.00 FEET TO A POINT ON THE WEST LINE OF LONE TREE PARKWAY;
THENCE ALONG SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:
1. THENCE N45°48'09"W, 73.59 FEET TO A POINT OF CURVE;
2. THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF N01°21'36", 246.94 FEET TO A POINT OF TANGENT;
3. THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 90°00'00", 54.98 FEET TO A LINE OF 75.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4;
THENCE N88°38'24"W ALONG SAID LINE 509.85 FEET TO THE POINT OF BEGINNING, EXCEPT THE REAL PROPERTY DESCRIBED IN THAT CERTAIN PARTIAL RELEASE OF DEED OF TRUST RECORDED AUGUST 14, 1985 IN BOOK 590, AT PAGE 392X, COUNTY OF DOUGLAS, STATE OF COLORADO.

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EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=30'



DISTURBED AREA TABLE

LIMITS	AREA (S.F.)	AREA (AC)
LIMITS OF CONSTRUCTION	32,846	0.75

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CONTRACTOR IS RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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303.770.8884
GallowayUS.com

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AMBLESIDE SCHOOL
LINCOLN AVE & LONE TREE PKWY
SITE IMPROVEMENT PLAN - SP24-0003

9941 LONE TREE PARKWAY
LONE TREE, CO 80124

#	Date	Issue / Description	Init.
1	01/19/24	1ST SUBMITTAL	JSB
2	03/13/24	2ND SUBMITTAL	JSB

Project No: AMC000002
Drawn By: DMH
Checked By: JSB
Date: JANUARY 2024

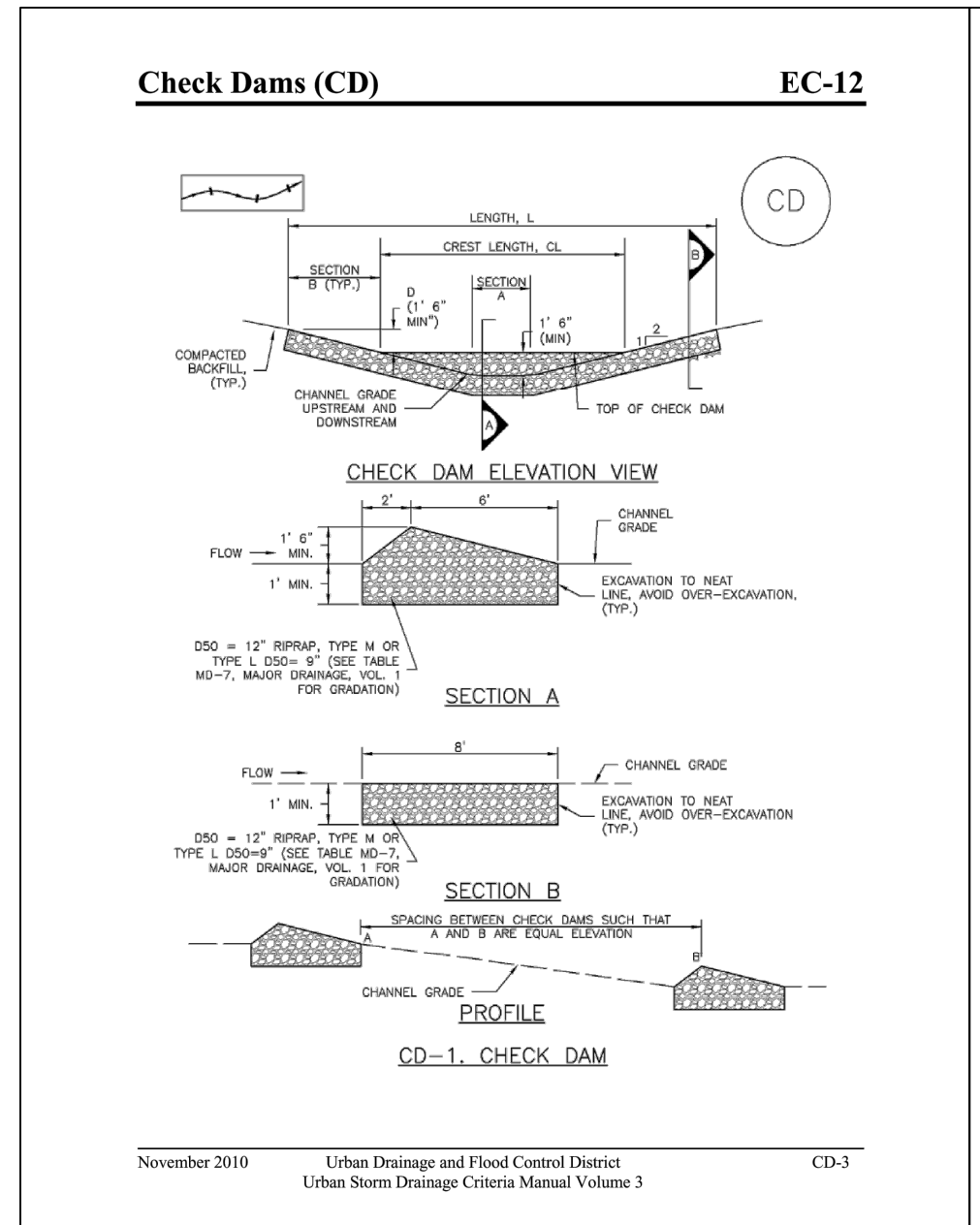
EROSION CONTROL PLAN

CENTENNIAL RIDGE AMBLESIDE SCHOOL SITE IMPROVEMENT PLAN - SP24-0003 JANUARY 2024

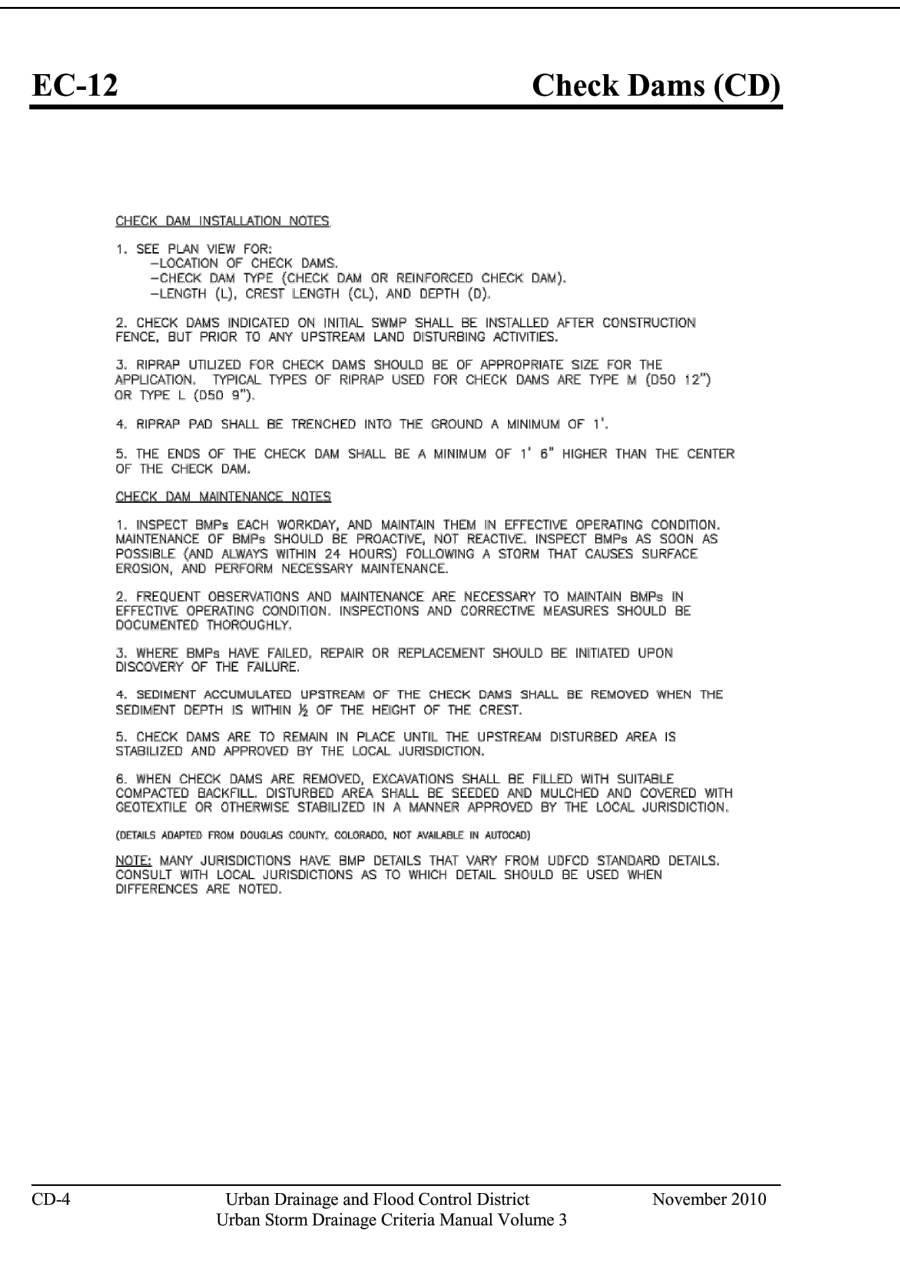
GRADING, EROSION, AND SEDIMENT CONTROL (GESC) GENERAL NOTES

- THE DOUGLAS COUNTY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING HAS REVIEWED THE DOCUMENT AND FOUND IT GENERALLY COMPLIES WITH THE DOUGLAS COUNTY GRADING, EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL. THE DOUGLAS COUNTY DIRECTOR OF ENGINEERING SERVICES, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS.
- THE ACCURACY OF THIS GESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER.
- THE GESC PLAN SHALL BE CONSIDERED VALID FOR THREE (3) YEARS FROM THE DATE OF ACCEPTANCE BY DOUGLAS COUNTY, AFTER WHICH TIME THE PLAN SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY DOUGLAS COUNTY.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING. DOUGLAS COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE GESC MANUAL, GESC PLAN OR GESC PERMIT.
- THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IN ACCORDANCE WITH THE DOUGLAS COUNTY ACCEPTED GESC PLAN AND THE DOUGLAS COUNTY GESC MANUAL, AS AMENDED.
- ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMPs FROM THE DOUGLAS COUNTY ACCEPTED GESC PLAN WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING.
- AFTER THE GESC PLAN HAS BEEN ACCEPTED, THE GESC PERMIT APPLIED FOR, FEES AND FUNDING SUBMITTED TO THE COUNTY, AND THE GESC FIELD MANUAL OBTAINED AND REVIEWED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs INDICATED ON THE ACCEPTED GESC PLAN.
- THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER AREAS TO BE PRESERVED.
- AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs, THE PERMITTEE SHALL CALL THE DOUGLAS COUNTY ENGINEERING PERMITS STAFF AT 303-660-7487 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE REQUESTED MEETING TIME, NO CONSTRUCTION ACTIVITIES SHALL BE PLANNED WITHIN 24 HOURS AFTER THE PRECONSTRUCTION MEETING.
- THE OWNER OR OWNER'S REPRESENTATIVE, THE GESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUESTED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING, OR IF THE GESC FIELD MANUAL IS NOT ON SITE, OR IF THE INSTALLATION OF THE INITIAL BMPs ARE NOT APPROVED BY THE DOUGLAS COUNTY EROSION CONTROL INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE START OF CONSTRUCTION. DOUGLAS COUNTY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING.
- CONSTRUCTION SHALL NOT BEGIN UNTIL THE DOUGLAS COUNTY EROSION CONTROL INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMPs AND THE APPROVED GESC PERMIT IS PICKED UP FROM THE COUNTY AND IS IN-HAND ON THE SITE. THE COMPLETED PERMIT WILL BE AVAILABLE WITHIN 24-HOURS AFTER THE INSTALLATION OF THE INITIAL BMPs ARE APPROVED.
- THE GESC MANAGER SHALL STRICTLY ADHERE TO THE DOUGLAS COUNTY APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT MEASURES WILL BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
- THE MAXIMUM AREA OF CONSTRUCTION SHALL BE LIMITED TO 40 ACRES /70 ACRES IF APPROVED FOR SOIL MITIGATION OPERATIONS) TO REDUCE THE AMOUNT OF LAND DISTURBED AT ANY ONE TIME. LARGER SITES SHALL BE DIVIDED IN TO PHASES THAT ARE EACH 40 (OR 70) OR LESS IN SIZE. THESE PROJECTS SHALL CONDUCT GRADING ACTIVITIES IN ACCORDANCE WITH THE ACCEPTED GESC PLAN, BMP INSTALLATION AND APPROVAL BY DOUGLAS COUNTY AT THE START AND COMPLETION OF EACH PHASE SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GESC MANUAL AND/OR GESC FIELD MANUAL. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES, FOR INFORMATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNOC) AT 811, 1-800-922-1987, OR WWW.COLORADO811.ORG.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
- THE GESC PERMIT SHALL BE VALID FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ISSUANCE.
- A COPY OF THE GESC PERMIT, ACCEPTED GESC PLANS AND THE GESC FIELD MANUAL SHALL BE ON SITE AT ALL TIMES.
- THE GESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE GESC PERMIT AND SHALL BE IN PERMITS CONTACT PERSON WITH THE COUNTY FOR ALL MATTERS PERTAINING TO THE GESC PERMIT. THE GESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER. IN THE EVENT THAT THE CONTRACTOR'S GESC MANAGER IS NOT ON SITE AND CANNOT BE REACHED DURING A VIOLATION, THE ALTERNATE GESC MANAGER SHALL BE CONTACTED. IF NEITHER THE GESC MANAGER NOR ALTERNATE GESC MANAGER CAN BE CONTACTED DURING ANY VIOLATION, A STOP WORK ORDER MAY BE ISSUED.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE DOUGLAS COUNTY APPROVED ACCESS POINT, A VEHICLE TRACKING CONTROL (VTC) IS REQUIRED AT ALL ACCESS POINT ON THE SITE. ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING.
- THE GESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS, PAVED AREAS INCLUDING STREETS ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED WITH A STREET SWEEPER OR SIMILAR DEVICE, AT FIRST NOTICE ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE DOUGLAS COUNTY EROSION CONTROL INSPECTOR, STREET WASHING IS NOT ALLOWED. DOUGLAS COUNTY

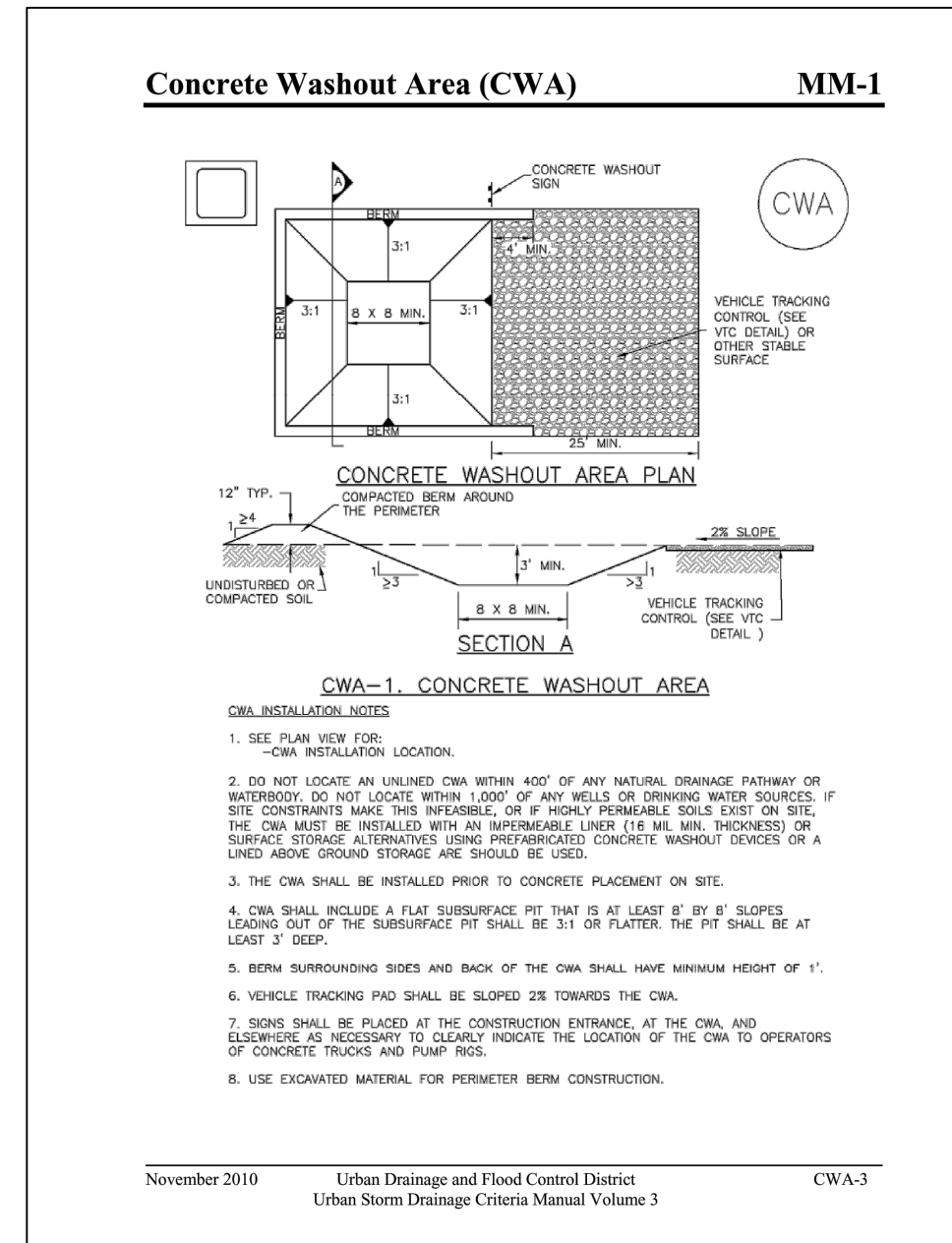
RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS. APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE GESC MANAGER SHALL INSPECT ALL BMPs IN ACCORDANCE WITH THE ACCEPTED GESC PLAN AND GESC MANUAL. LEVEL III VIOLATIONS SHALL BE CORRECTED IMMEDIATELY AFTER THE PERMITTEE'S NOTICE THE VIOLATION(S) OR ARE NOTIFIED OF THE VIOLATION(S). GENERALLY DOUGLAS COUNTY WILL REINSPECT FOR COMPLIANCE WITHIN 48 HOURS OF NOTIFICATION OF LEVEL III VIOLATIONS. LEVEL II VIOLATIONS SHALL BE CORRECTED IMMEDIATELY, OR AS DIRECTED BY A DOUGLAS COUNTY EROSION CONTROL INSPECTOR. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED.



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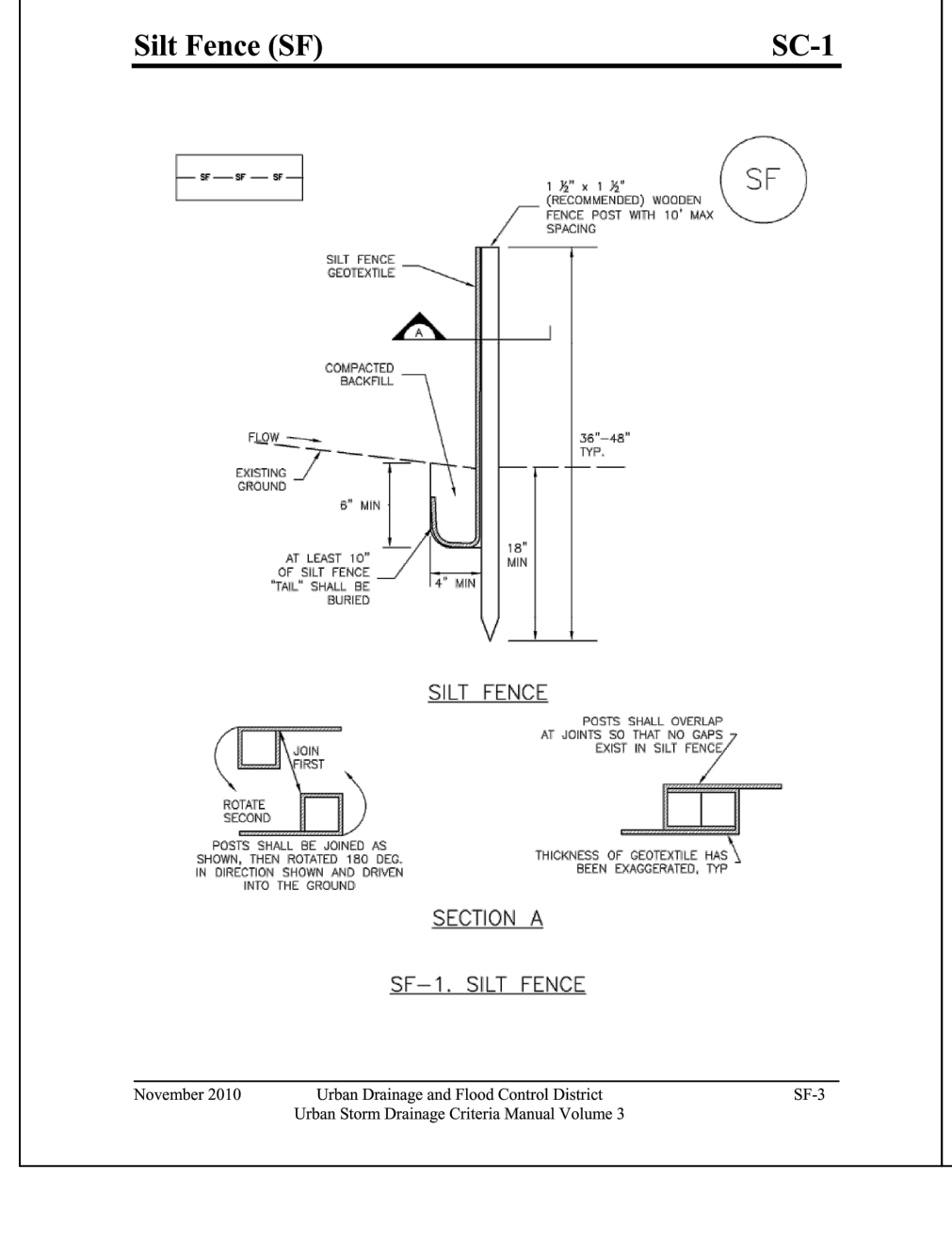
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Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010 CWA-3



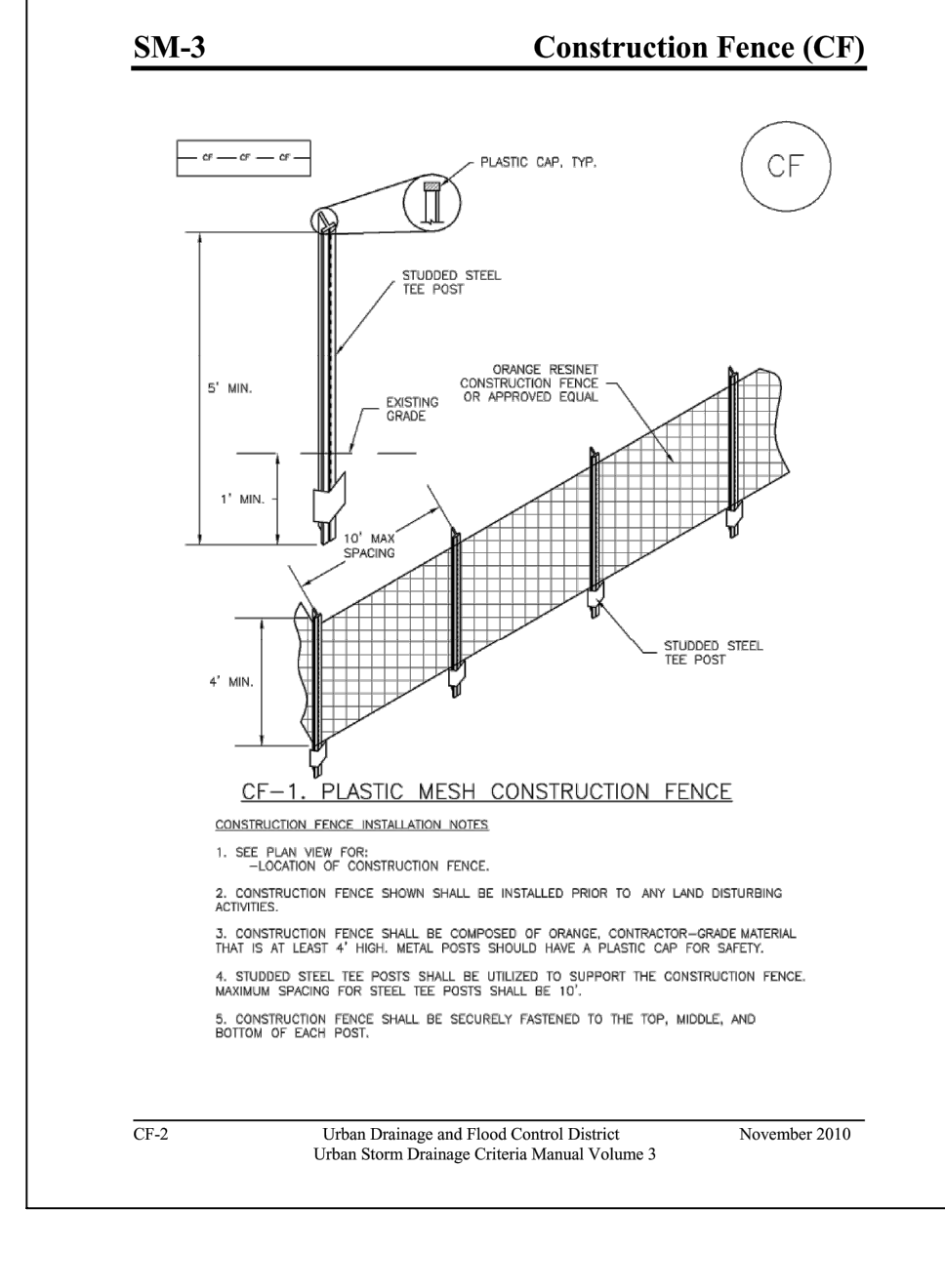
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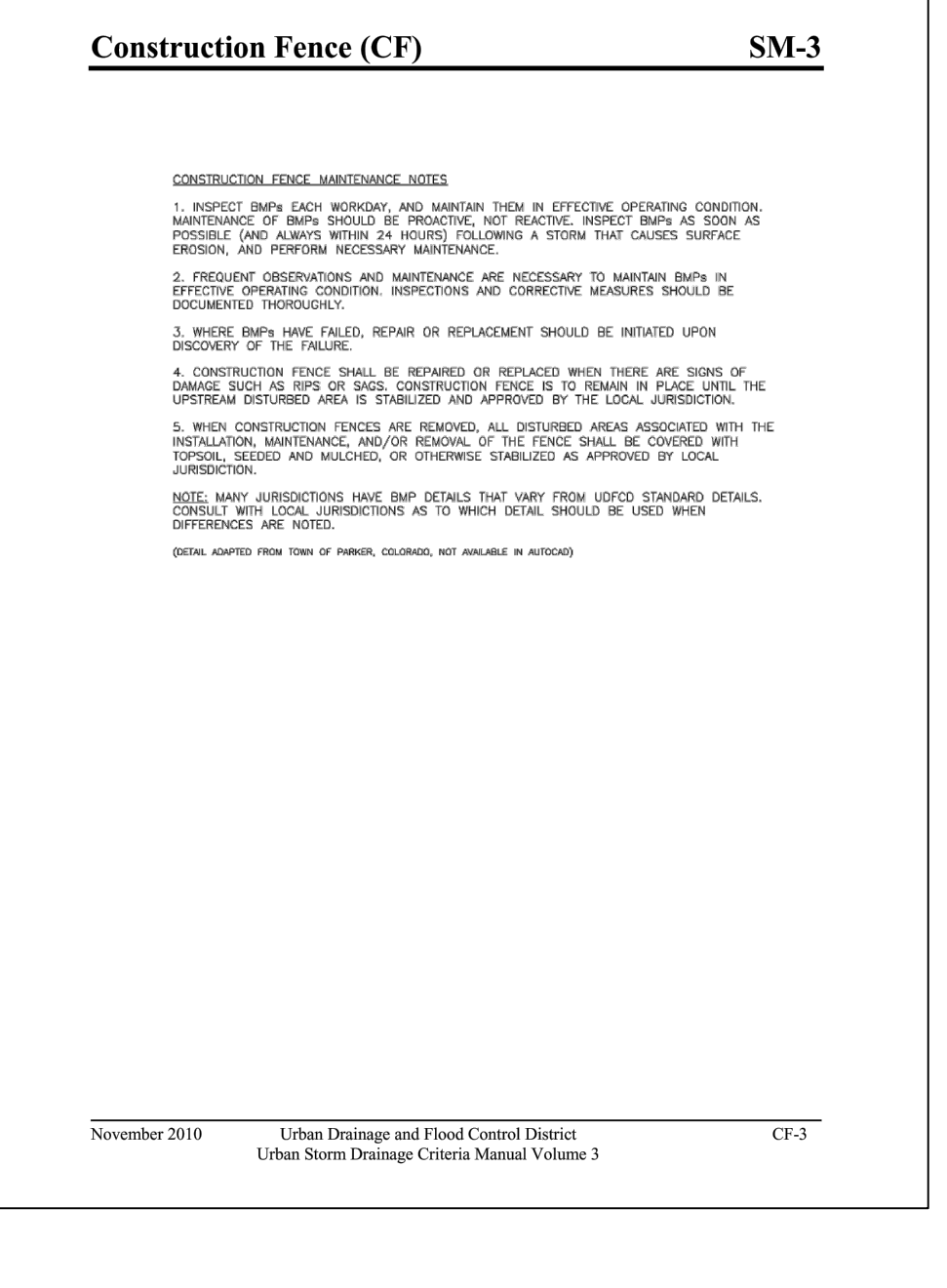
Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010 SF-3



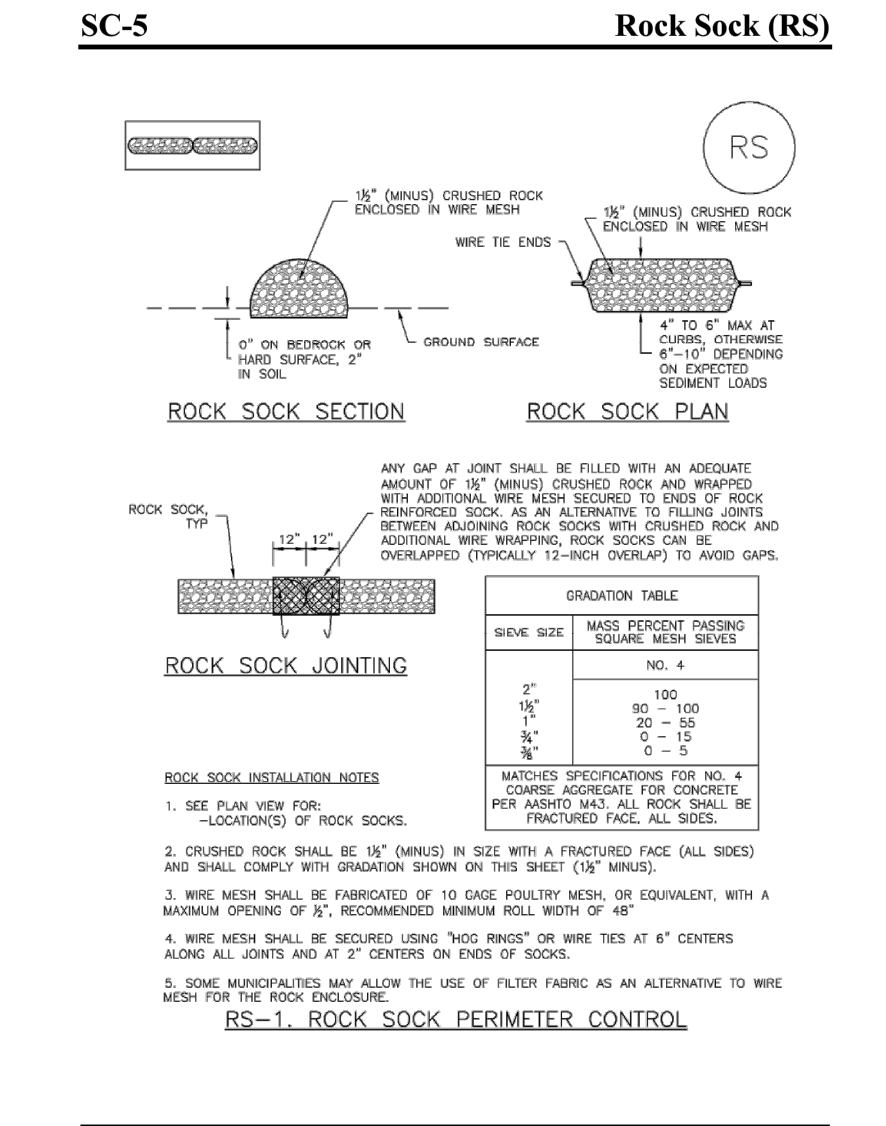
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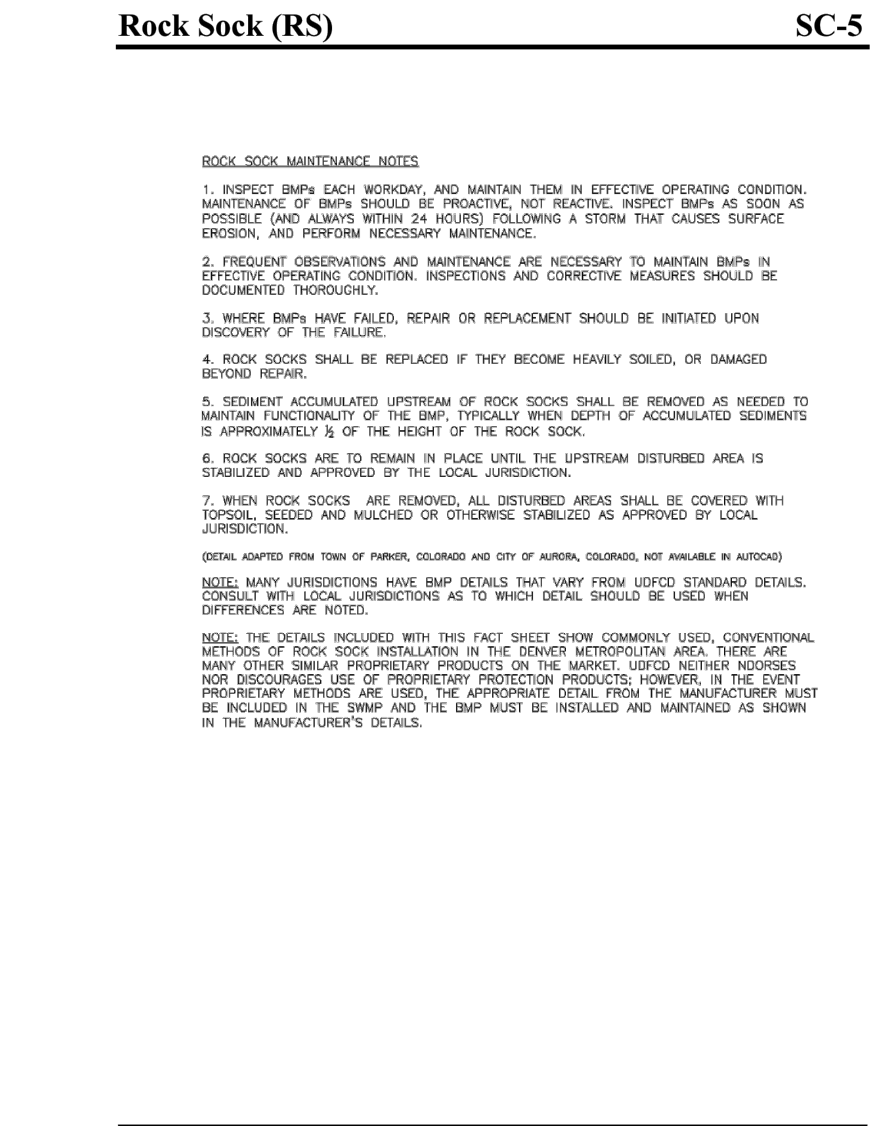
Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010 CF-2



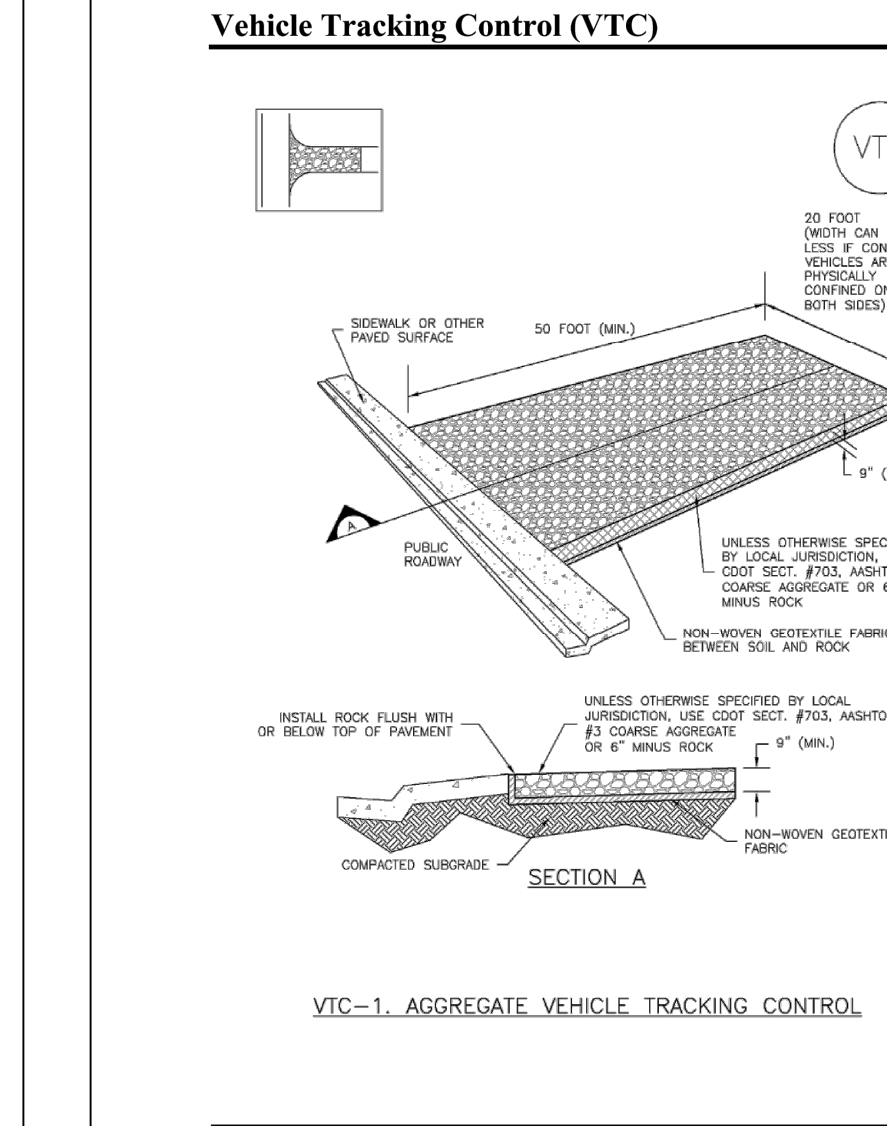
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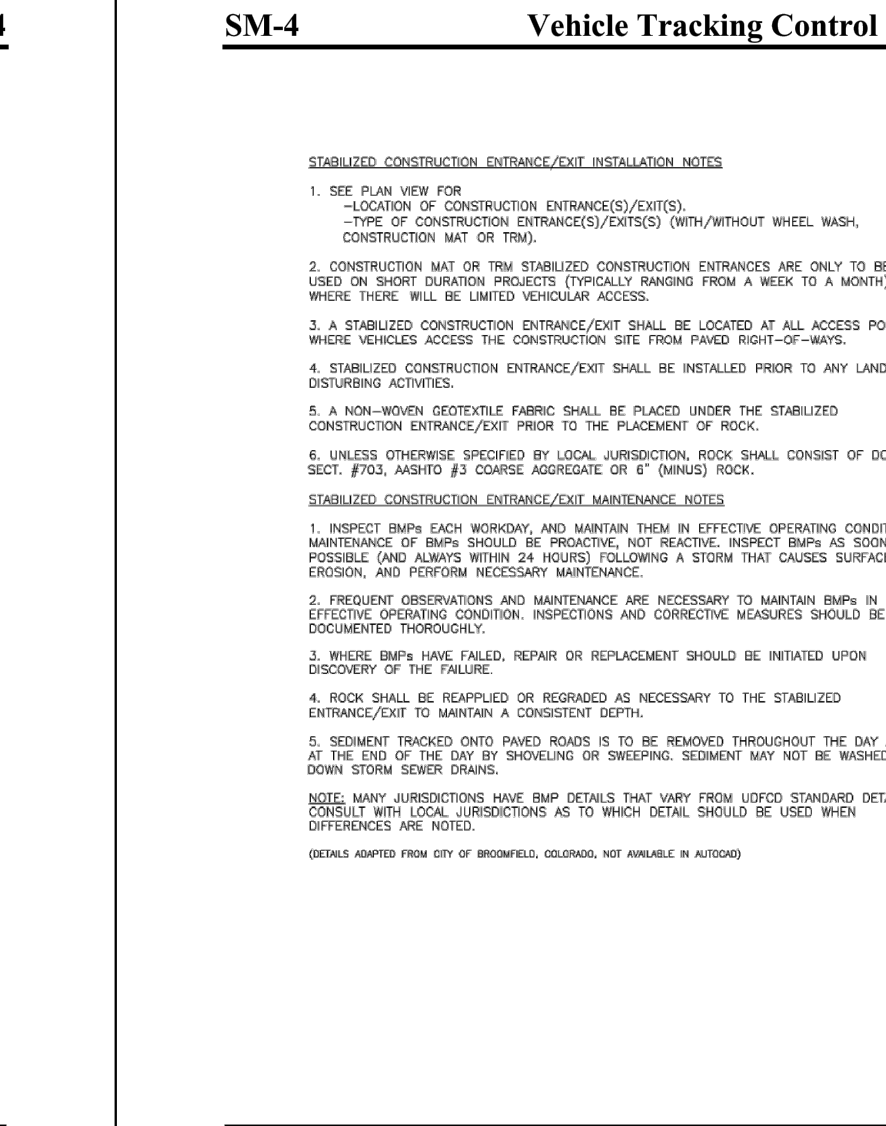
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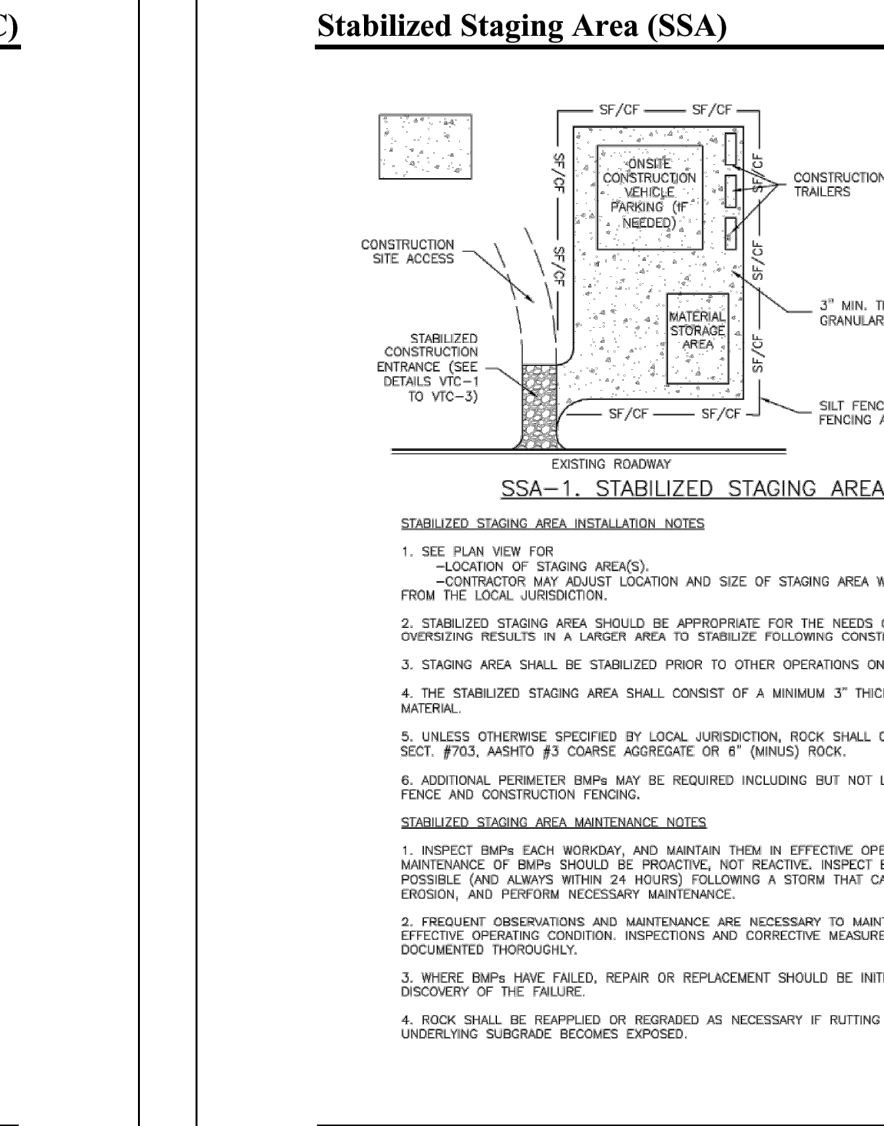
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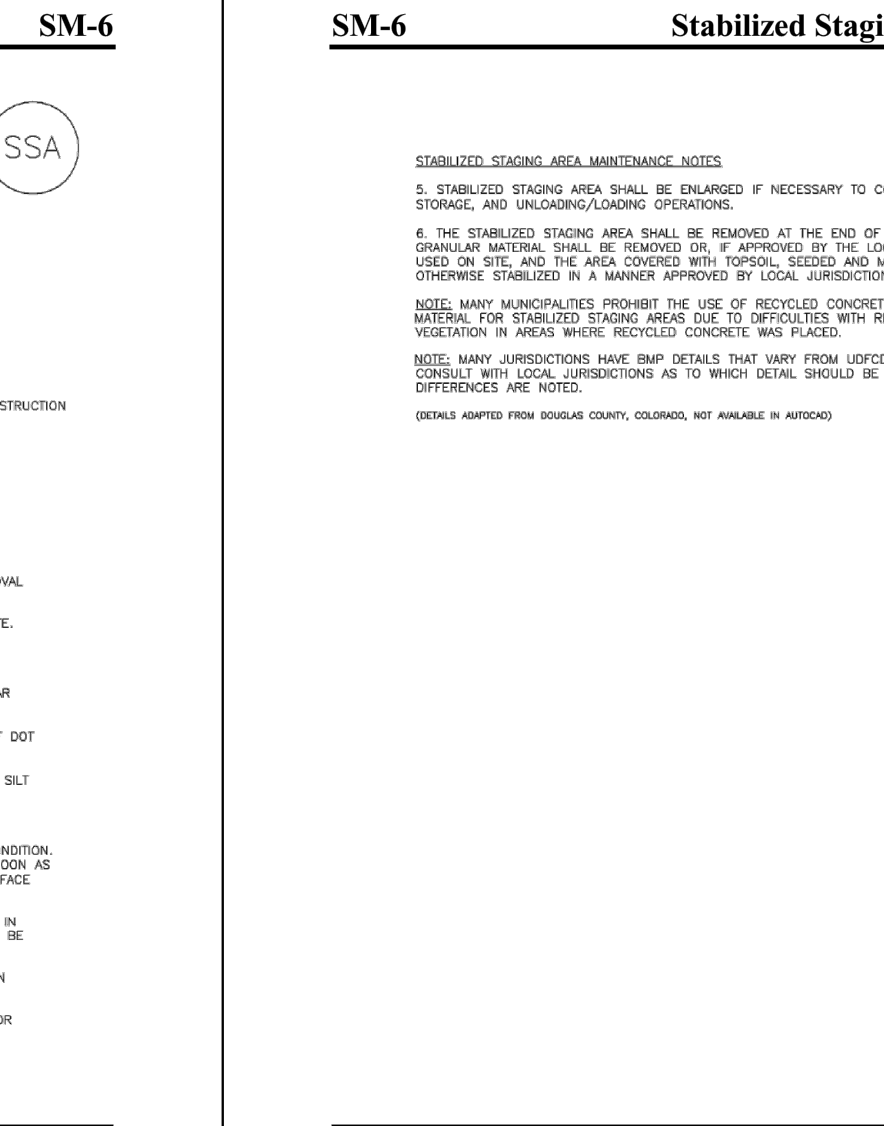
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Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010 VTC-6



Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010 SSA-3



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**AMBLESIDE SCHOOL
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SITE IMPROVEMENT PLAN - SP24-0003
9941 LONE TREE PARKWAY
LONE TREE, CO 80124**

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1	01/19/24	1ST SUBMITTAL	JSB
2	03/13/24	2ND SUBMITTAL	JSB

Project No: AMC000002
Drawn By: DMH
Checked By: JSB
Date: JANUARY 2024

EROSION CONTROL DETAILS

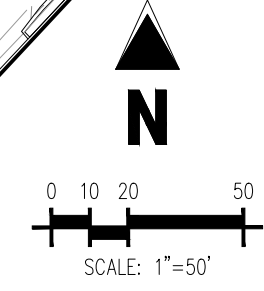
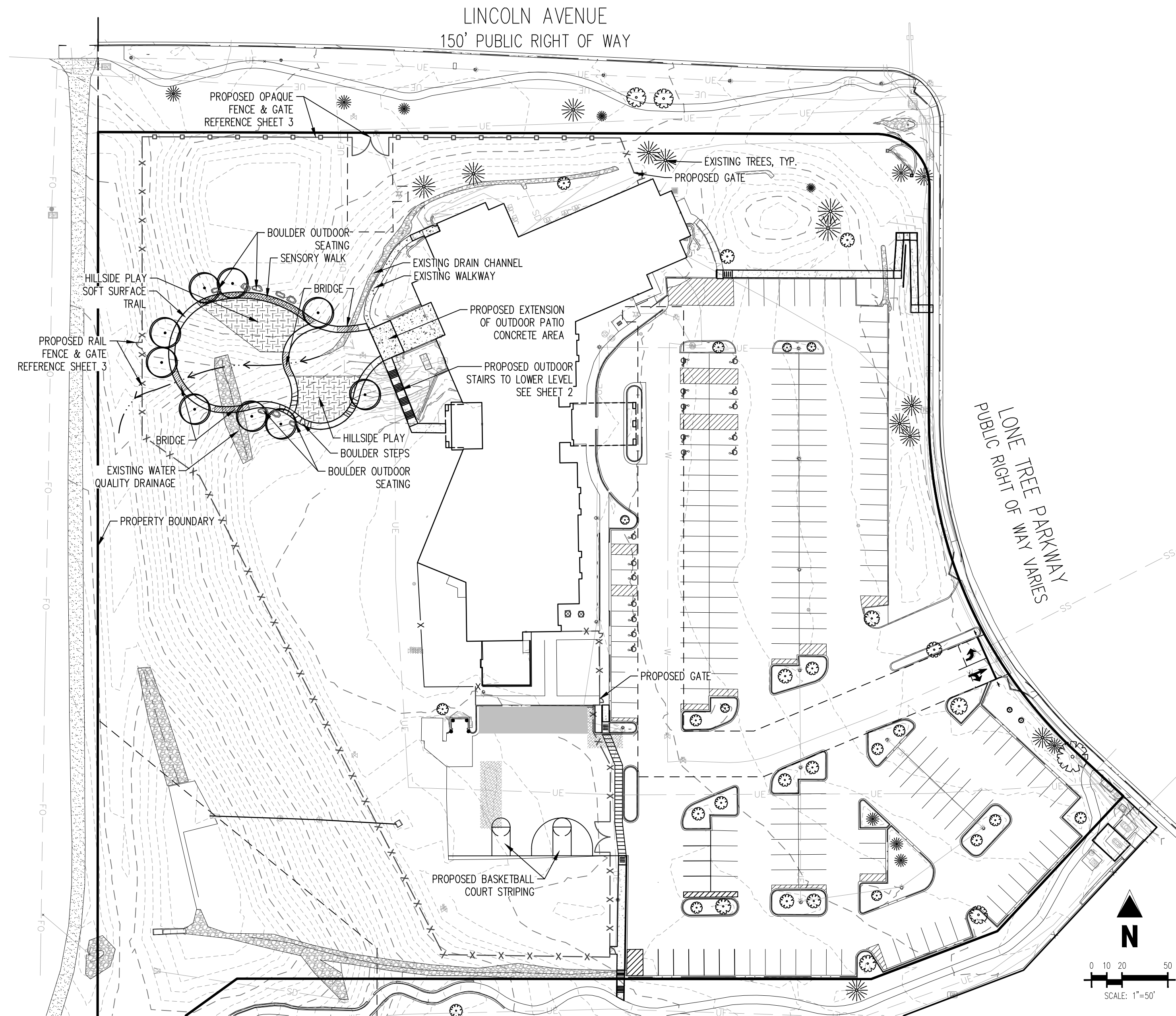


CONCEPT PLANT SCHEDULE

DECIDUOUS TREE

LANDSCAPE MATERIALS SCHEDULE

LANDSCAPE BOULDERS (3-6' DIA)



SOFT SURFACE PATH
TAN CRUSHER FINES, 4" DEPTH, APPROXIMATELY 5' WIDTH.



HILLSIDE PLAY – STUMP STAIRS



HILLSIDE PLAY – LOG CLIMBERS



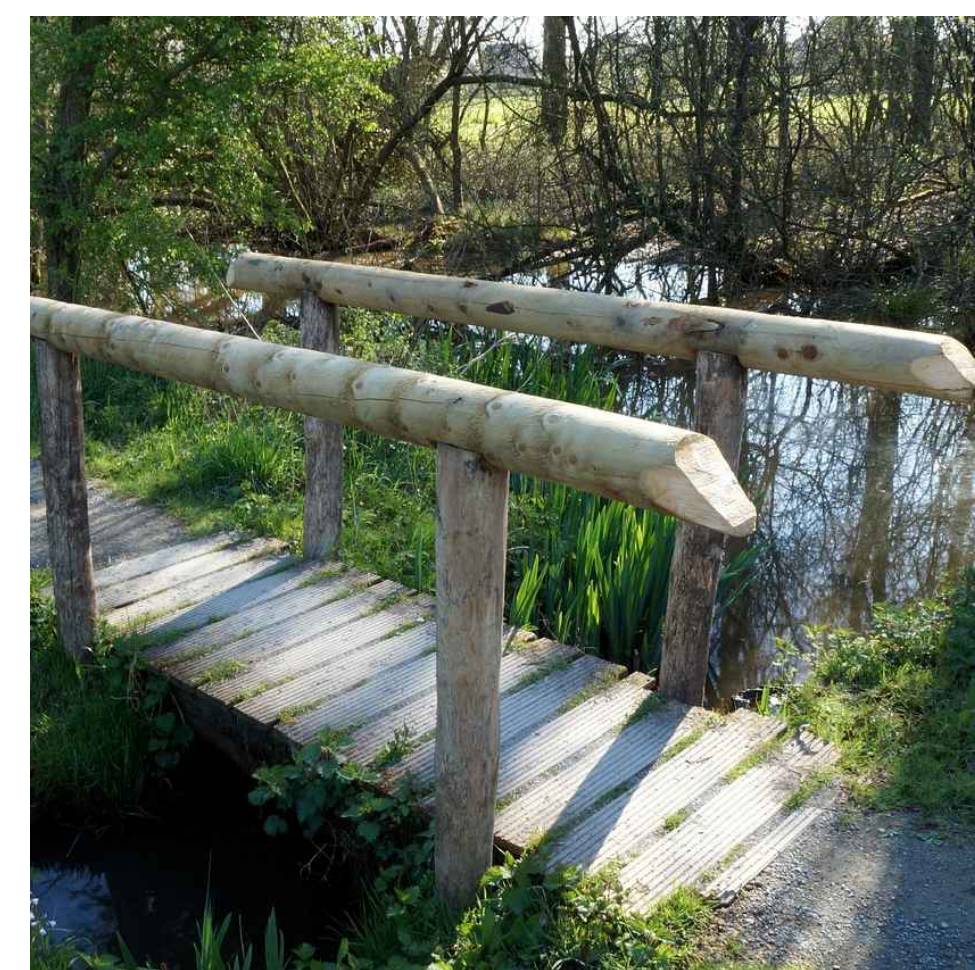
BOULDER STEPS



SENSORY WALK



BOULDER OUTDOOR SEATING



BRIDGE

#	Date	Issue / Description	Init.
1	01/19/24	1ST SUBMITTAL	JSB
2	03/13/24	2ND SUBMITTAL	JSB

Project No:	AMC000002
Drawn By:	LJP
Checked By:	DEF
Date:	JANUARY 2024

CONCEPTUAL LANDSCAPE PLAN

CAUTION – NOTICE TO CONTRACTOR
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



NOTE:
THE CONCEPTUAL LANDSCAPE PLAN IS CONCEPTUAL IN NATURE AND NOT BINDING; ALL FUTURE IMPROVEMENTS WILL BE SUBJECT TO THE CITY'S SITE IMPROVEMENT PLAN AMENDMENT REVIEW PROCESS AS APPLICABLE.