CENTENNIAL RIDGE

AMBLESIDE SCHOOL

A PART OF NW 1/4 OF NW 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 67 WEST, 6TH P.M. CITY OF LONE TREE, DOUGLAS COUNTY, COLORADO LINCOLN AVE & LONE TREE PKWY

> SITE IMPROVEMENT PLAN - SP24-0003 **JANUARY 2024**

LINCOLN AVENUE

<u>VICINITY MAP</u>

PLAYGROUND EQUIPMENT AND PARK INFRASTRUCTURE ON THE PROPERTY IN A STATE OF GOOD REPAIR IN CONFORMANCE WITH ALL APPLICABLE BUILDING AND SAFETY REGULATIONS.

SITE IMPROVEMENT PLAN (SIP) NOTES

THE PROPERTY DESCRIBED HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE

ACCORDANCE WITH THE APPROVED SIP AND ANY ASSOCIATED MATERIALS SAMPLE BOARDS

WITHOUT PRIOR CITY APPROVAL. MODIFICATIONS TO STRUCTURES OR SITES MAY REQUIRE AN AMENDMENT TO THE SIP AS DETERMINED BY THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR

PER SEC. 16-27-180. UNAUTHORIZED CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY

WITH ASSOCIATED FINES AND LEGAL MEASURES. BUILDING PLANS SHALL CONFORM TO THE

WITHIN SITE TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED WITH NO

SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR

DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE

4. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING

AND/OR THE FIRE DISTRICT, SUCH SIGNAGE SHALL BE MAINTAINED BY THE PROPERTY

AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.

A STATE OF GOOD REPAIR CONSISTENT WITH THE APPROVED SIP AND THE LONE TREE

MUNICIPAL CODE AND DESIGN GUIDELINES AND STANDARDS. SUCH MAINTENANCE SHALL

INCLUDE WASTE COLLECTION AND WASTE BAG REPLACEMENT. LANDSCAPE PLANTINGS MUST

BE ALIVE AND ALL IRRIGATION MUST BE FUNCTIONAL. ALL MAINTENANCE OBLIGATIONS SHALL

BE COMPLETED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS

MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY

6. THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM

FACILITIES. INCLUDING INLETS. PIPES. CULVERTS. CHANNELS. DITCHES. HYDRAULIC

SITE IMPROVEMENT PLAN IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO

MAINTENANCE AUTHORITY.

THE 0.2% ANNUAL CHANCE FLOOD."

ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH

7. ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS

MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER OR THE RESPONSIBLE

AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS

PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION

8. ALL MULCH AND/OR ROCK COBBLE SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S)

ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS.

11. ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE

INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LONE TREE, DOUGLAS

COUNTY, COLORADO COMMUNITY PANEL NUMBER 0042G, DATED MARCH 16, 2016, THE

SUBJECT PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE INSIDE/OUTSIDE OF

12. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD

13. IT SHALL BE THE RESPONSIBILITY OF THE OWNER (OR RESPONSIBLE ASSOCIATION OR

DISTRICT, AS MAY BE IDENTIFIED BY MAINTENANCE AGREEMENTS) TO MAINTAIN ALL

9. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED.

10. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 A.M.

SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE

PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN.

DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE

STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE

ADEQUATELY MAINTAIN SAID FACILITIES. THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO

INCLUDE THE REGULAR MAINTENANCE OF PET WASTE STATIONS (WHEN PRESENT) TO

5. SITE LANDSCAPING. SITE AMENITIES AND FURNISHINGS, AND ALL SITE IMPROVEMENTS

"NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT

OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE

INCLUDING BUT NOT LIMITED TO SIDEWALKS AND PARKING AREAS SHALL BE MAINTAINED IN

APPROVAL CORRECTIVE ACTIONS, DELAY OF PERMITS OR CITATIONS FOR ZONING VIOLATIONS

SOLID STRUCTURES PERMITTED AS STATED IN THE CITY OF LONE TREE'S LANDSCAPE DESIGN GUIDFLINES AND STANDARDS FOR LANDSCAPING. LANDSCAPING WITHIN THE SIGHT TRIANGLE

AND FURTHER ASSUMES THE RISK ASSOCIATED WITH ANY CHANGES OR OMISSIONS MADE

LONE TREE ZONING CODE AND DESIGN STANDARDS, INCLUDING BUT NOT LIMITED TO.

PROPERTY MAINTENANCE, LIGHTING, PARKING, SIGNAGE, LANDSCAPING AND OUTDOOR

STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED PLANNED

DEVELOPMENT PLAN, SUB AREA PLAN, OR OTHER APPLICABLE PLAN OR AGREEMENT

2. THE APPLICANT ASSUMES RESPONSIBILITY TO ENSURE THE PROJECT IS COMPLETED IN

THIS SITE IMPROVEMENT PLAN AMENDMENT WAS APPROVED FOR FILIING BY THE CITY COUNCIL OF LONE TREE, CO, ON THE _____ DAY OF _____, 20__, SUBJECT TO ANY CONDITIONS

SIP AMENDMENT WITH CITY COUNCIL APPROVAL

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAINTING, GRADING, LANDSCAPING, CURBS, GUTTERS, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND NOT THE CITY.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY SITE SHOWN HEREON ARE SUCH

HAT A BUILDING PERMIT, WELL PERMIT OR SEWAGE DISPOSAL PER
SIGNATURE)
ACKIE MILLETT, MAYOR, CITY OF LONE TREE
SIGNATURE)
ELLY FIRST, DEVELOPMENT DIRECTOR, CITY OF LONE TREE
SIGNATURE)

JUSTIN SCHMITZ, PUBLIC WORKS DIRECTOR, CITY OF LONE TREE

MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S)'(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED. (NAME OF OWNER) (SIGNATURE OF OWNER) (PRINTED NAME AND TITLE) SUBSCRIBED AND SWORN TO BEFORE ME THIS _____DAY OF _____, 20___ WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES:

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND

CITY OF LONE TREE STANDARD NOTES

- 1. THE DOUGLAS COUNTY ENGINEERING DIRECTOR SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND THE DOUGLAS COUNTY SUBDIVISION RESOLUTION OR ACCEPTED VARIANCES TO THOSE REGULATIONS. THE DOUGLAS COUNTY ENGINEERING DIRECTOR, THROUGH ACCEPTANCE OF THIS DOCUMENT. ASSUMES NO RESPONSIBILITY. OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO WHOSE STAMP AND SIGNATURE IS AFFIXED TO
- 2. ALL CONSTRUCTION SHALL CONFORM TO DOUGLAS COUNTY STANDARDS. ANY CONSTRUCTION NOT SPECIFICALLY ADDRESSED BY THESE PLANS AND SPECIFICATIONS WILL BE BUILT IN COMPLIANCE WITH THE LATEST EDITION OF THE MOST STRINGENT OF THE FOLLOWING: THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS
 - THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THE COLORADO DEPARTMENT OF TRANSPORTATION M STANDARD
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DOUGLAS COUNTY ENGINEERING DIVISION AS APPLICABLE. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO
- 4. THE CONTRACTOR SHALL NOTIFY THE DOUGLAS COUNTY ENGINEERING INSPECTION DIVISION, 303-660-7487, A MINIMUM OF 24-HOURS AND A MAXIMUM OF 72-HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY DOUGLAS COUNTY ENGINEERING INSPECTION WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY THAT WILL BE CONVEYED TO THE COUNTY, URBAN DRAINAGE & FLOOD CONTROL DISTRICT. OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATERS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES), FAILURE TO NOTIFY THE ENGINEERING INSPECTION DIVISION TO ALLOW THEM TO INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITY/INFRASTRUCTURE BY

CONSTRUCTION WILL NOT BEGIN UNTIL ALL APPLICABLE PERMITS HAVE BEEN ISSUED. IF A

- DOUGLAS COUNTY ENGINEERING INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE INSPECTOR'S ABSENCE, HOWEVER, DOUGLAS COUNTY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: COLORADO 811, AT 1-800-922-1987 (WWW.COLORADO811.ORG).
- 7. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF THE PLANS SIGNED BY THE DOUGLAS COUNTY ENGINEERING DIRECTOR, ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS, AS AMENDED, AND ALL APPLICABLE PERMITS AT THE JOB SITE
- 8. ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW: EXAMPLES: WATER TIE-IN SHEET 3 STORM SEWER CONNECTION SHEET 6
- 9. A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SHALL BE SUBMITTED TO DOUGLAS COUNTY FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT APPLICATION. A RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN ACCEPTED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
- 10. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR THREE (3) YEARS FROM THE DATE OF COUNTY ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY DOUGLAS COUNTY.
- 11. DOUGLAS COUNTY STANDARD DETAILS SHALL NOT BE MODIFIED. ANY NON-STANDARD DETAILS WILL BE CLEARLY IDENTIFIED AS SUCH.
- 12. PAVING, INCLUDING CONSTRUCTION OF CURB AND GUTTER (WHEN USED), SHALL NOT START UNTIL A PAVEMENT DESIGN REPORT AND SUBGRADE COMPACTION TESTS ARE ACCEPTED BY THE ENGINEERING INSPECTION DIVISION FOR ALL PUBLIC AND PRIVATE ROADS.
- 13. STANDARD DOUGLAS COUNTY HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT MID-BLOCK LOCATIONS OPPOSITE OF ONE OF THE CURB RETURNS OF ALL "T" INTERSECTIONS AS IDENTIFIED ON THESE PLANS.
- 14. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- 15. ALL ELEVATIONS ARE ON UNITED STATES COAST AND GEODETIC SURVEY (USC&GS) (NAVD-88) DATUM WITH DATE. THE RANGE POINT OR MONUMENTS SHALL BE SHOWN ON CONSTRUCTION DRAWINGS.
- 16. ALL STORM SEWER IMPROVEMENTS (PUBLIC AND PRIVATE) INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, RIPRAP, DETENTION BASINS, FOREBAYS, MICROPOOLS, AND WATER QUALITY FACILITIES REQUIRE PERMITTING AND INSPECTIONS. PLEASE CONTACT THE DOUGLAS COUNTY ENGINEERING INSPECTIONS DIVISION AT 303- 660-7487 FOR PERMITTING REQUIREMENTS AND INSPECTIONS SCHEDULING.
- 17. TWO (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH.
- 18. EPOXY COATED REBAR IS REQUIRED ON ALL DRAINAGE STRUCTURES.
- 19. DOUGLAS COUNTY REQUIRES CLASS D CONCRETE FOR ALL DRAINAGE STRUCTURES.
- 20. ALL RCP STORM SEWERS MUST USE ASTM C443 WATERTIGHT GASKETS PER THE CURRENT DOUGLAS COUNTY AND URBAN DRAINAGE DESIGN CRITERIA.
- 21. ALL RCP SHALL BE CLASS III STORM SEWER PIPE UNLESS OTHERWISE SPECIFIED. 22. JOINT RESTRAINTS ARE REQUIRED FOR A MINIMUM OF THE LAST TWO PIPE JOINTS AND
- FLARED END SECTION OF AN RCP OUTFALL. 23. PRECAST INLETS AND MANHOLE BASES ARE NOT ALLOWED.
- 24. TOE WALLS ARE REQUIRED ON FLARED END SECTIONS AT THE OUTLET END OF CULVERTS
- AND STORM SEWER OUTFALLS. 25. FILTER FABRIC IS REQUIRED UNDER ALL RIPRAP PADS.
- 26. THE PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF COLORADO, SIGNING THESE PLANS IS RESPONSIBLE FOR ENSURING THAT THE DETAILS INCLUDED ARE COMPATIBLE WITH THE STANDARD DOUGLAS COUNTY DETAILS CONTAINED IN THE LATEST VERSIONS OF THE CRITERIA MANUALS. THIS INCLUDES. BUT IS NOT LIMITED TO:
- DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS DOUGLAS COUNTY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA DOUGLAS COUNTY GRADING, EROSION AND SEDIMENT CONTROL CRITERIA CDOT M & S STANDARDS
- URBAN STORM DRAINAGE CRITERIA MANUAL VOLUMES 1,2 & 3
- 27. A TEMPORARY CONSTRUCTION ACCESS PERMIT FROM DOUGLAS COUNTY MAY BE REQUIRED

Greenwood Village, CO 80111 303.770.8884 GallowayUS.com

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Date Issue / Description

03/13/24 2ND SUBMITTAL

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION RAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO

SHEET INDEX

DESCRIPTION

COVER SHEET

SITE PLAN

SITE DETAILS

GRADING PLAN

EROSION CONTROL PLAN

EROSION CONTROL DETAILS

CONCEPTUAL LANDSCAPE PLAN

CONTRACTOR IS RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH LITHITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

OTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

FLOODPLAIN STATEMENT

PARCEL IS LOCATED WITHIN FLOODPLAIN ZONE "X" DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF RAIN AS PER FLOOD INSURANCE RATE MAP (FIRM) NUMBER 08035C0042G, REVISED MARCH 16, 2016.

A PARCEL OF LAND LOCATED IN THE NORTHWEST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF THE SECTION 16, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 16 AND CONSIDERING THE WEST LINE OF SAID SECTION 16 TO BEAR NO1114'50"E WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO:

THENCE S01°14'50"W ALONG SAID SECTION 16, 75.00 FEET TO THE SOUTH LINE OF LINCOLN AVENUE AND THE POINT OF BEGINNING: THENCE CONTINUING S01°14'50W" ALONG THE SAID WEST LINE. 657.80 FEET TO A POINT ON THE NORTH LINE OF CENTENNIAL RIDGE SUBDIVISION FILING

- THENCE ALONG SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES: N55°24'20"E, 124.62 FEET;
- S88°45'10"E, 411.36 FEET;
- N70°25'30"E, 100.94 FEET;
- 4. N44*11'51"E, 128.00 FEET TO A POINT ON THE WEST LINE OF LONE TREE PARKWAY; THENCE ALONG SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:
- THENCE N45°48'09"W, 73.59 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF N01°21'36", 246.94 FEET TO A
- POINT OF TANGENT: 3. THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 90°00'00", 54.98 FEET TO A LINE OF 75.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF SAID

NORTHWEST 1/4 OF THE NORTHWEST $\frac{1}{4}$ THENCE N88°38'24"W ALONG SAID LINE 509.85 FEET TO THE POINT OF BEGINNING. EXCEPT THE REAL PROPERTY DESCRIBED IN THAT CERTAIN PARTIAL RELEASE OF DEED OF TRUST RECORDED AUGUST 14, 1985 IN BOOK 590, AT PAGE 392X, COUNTY OF DOUGLAS, STATE OF COLORADO.

CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's Delow. ENGINEER PRIOR TO CONSTRUCTION.

Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

JANUARY 2024 COVER SHEET

CITY CONTACTS

PLANNING & ZONING

9220 KIMMER DRIVE, SUITE 100

CITY OF LONE TREE

LONE TREE, CO 80124

ATTN: ROSHANA FLOYD

PHONE: (720) 509-1180

2829 W. HOWARD PLACE

ATTN: JORDAN HERRMAN

PHONE: (303) 757-9881

9220 KIMMER DRIVE, SUITE 100 LONE TREE, CO 80124

SOUTH METRO FIRE RESCUE - STATION 34

ENGINEERING ADMINISTRATION

EMAIL: JORDAN.RUDEL@STATE.CO.US

DENVER, CO 80204

CITY OF LONE TREE

8871 MAXIMUS DRIVE

CITY OF LONE TREE

LONE TREE, CO 80124

3722 E ORCHARD ROAD

CENTENNIAL, CO 80121

112 W 3RD AVE

DENVER, CO 80223

AMBLESIDE COLORADO

1510 E PHILLIPS AVE

CENTENNIAL, CO 80122

GALLOWAY & COMPANY INC.

PHONE: (303) 770-8884

GALLOWAY & COMPANY INC.

PHONE: (303) 770-8884

GALLOWAY & COMPANY INC.

PHONE: (303) 770-8884

ATTN: KEVIN REYNOLDS, P.L.S.

GREENWOOD VILLAGE, CO 80111

GREENWOOD VILLAGE, CO 80111

ATTN: JOSEPH (SID) BIDDLE, P.E.

<u>CIVIL ENGINEER</u>

GREENWOOD VILLAGE, CO 80111

ATTN: LISA METZGER, AIA, NCARB

PHONE: (303) 779-0261

FAX: (303) 779-0220

PHONE: (800) 895-4999

PROJECT CONTACTS

PROPERTY OWNER/DEVELOPER

5500 GREENWOOD PLAZA BLVD., STE 200

5500 GREENWOOD PLAZA BLVD., STE 200

5500 GREENWOOD PLAZA BLVD., STE 200

9220 KIMMER DRIVE, SUITE 100

ATTN: RONNIE ROYBAL, P.E

EMAIL: (303) 662-8112

LONE TREE, CO 80124

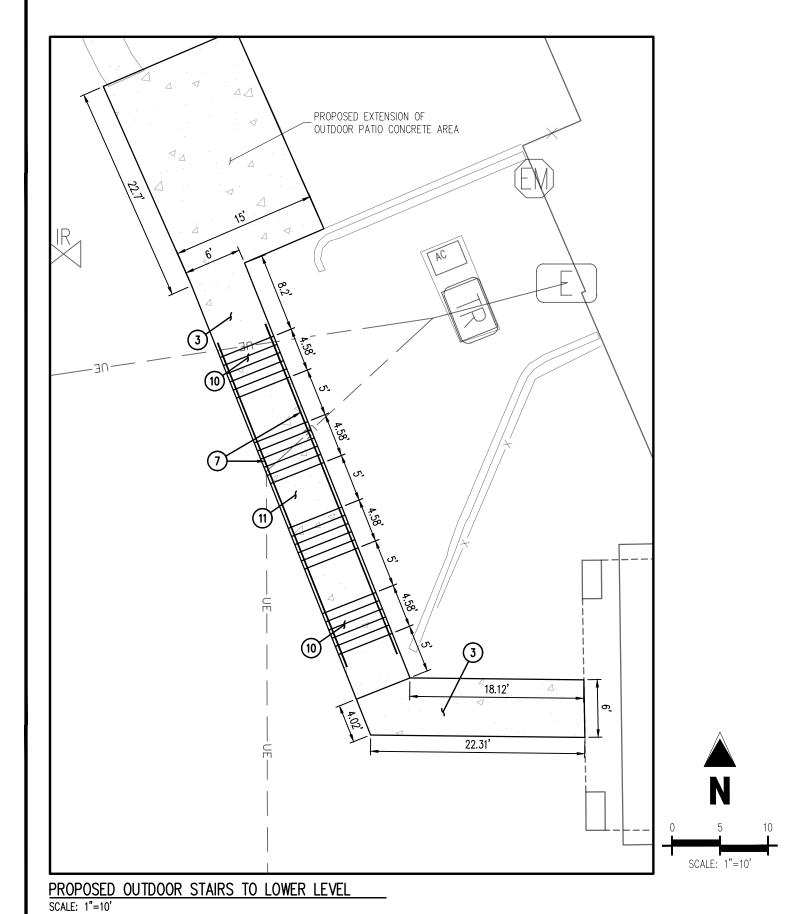
PHONE: (720) 989-2000

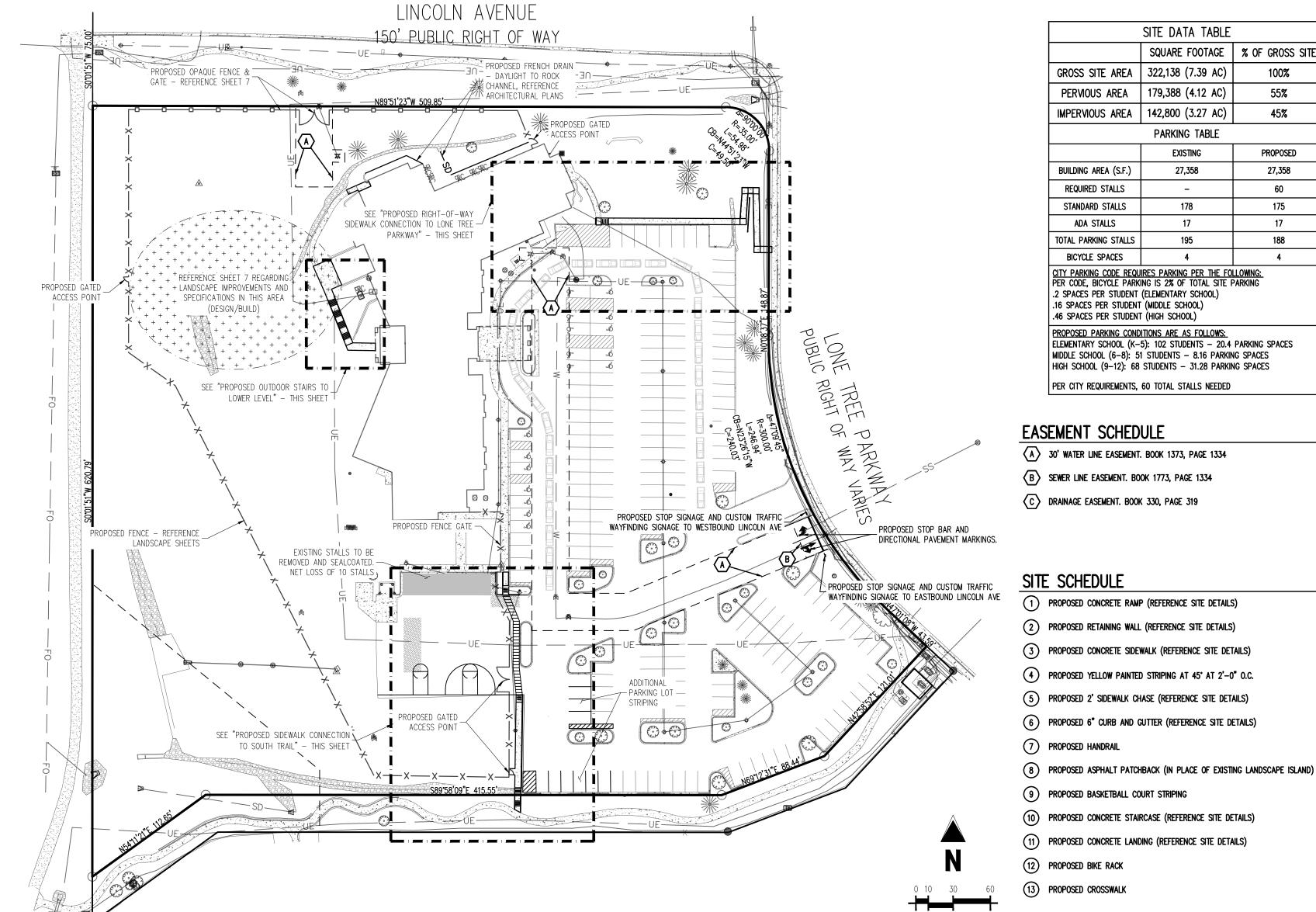
ATTN: LINDA GLOVER

EMAIL: (720) 390-5211

CENTENNIAL RIDGE AMBLESIDE SCHOOL

SITE IMPROVEMENT PLAN - SP24-0003 JANUARY 2024





SITE DATA TABLE				
	SQUARE FOOTAGE % OF GROSS SITE			
GROSS SITE AREA	322,138 (7.39 AC)	9 AC) 100%		
PERVIOUS AREA	179,388 (4.12 AC)	55%		
IMPERVIOUS AREA	142,800 (3.27 AC)	45%		
PARKING TABLE				
	EXISTING PROPOSED			
BUILDING AREA (S.F.)	27,358 27,358			
REQUIRED STALLS	-	60		
STANDARD STALLS	178 175			
ADA STALLS	17 17			
TOTAL PARKING STALLS	195	188		
BICYCLE SPACES	4	4		

CITY PARKING CODE REQUIRES PARKING PER THE FOLLOWING: PER CODE, BICYCLE PARKING IS 2% OF TOTAL SITE PARKING .2 SPACES PER STUDENT (ELEMENTARY SCHOOL) .16 SPACES PER STUDENT (MIDDLE SCHOOL)

.46 SPACES PER STUDENT (HIGH SCHOOL) PROPOSED PARKING CONDITIONS ARE AS FOLLOWS: ELEMENTARY SCHOOL (K-5): 102 STUDENTS - 20.4 PARKING SPACES MIDDLE SCHOOL (6-8): 51 STUDENTS - 8.16 PARKING SPACES HIGH SCHOOL (9-12): 68 STUDENTS - 31.28 PARKING SPACES PER CITY REQUIREMENTS, 60 TOTAL STALLS NEEDED

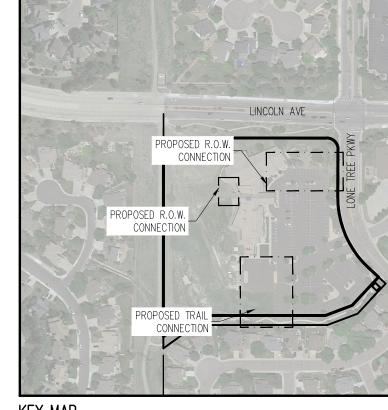
EASEMENT SCHEDULE

- A 30' WATER LINE EASEMENT. BOOK 1373, PAGE 1334
- (B) SEWER LINE EASEMENT. BOOK 1773, PAGE 1334
- C DRAINAGE EASEMENT. BOOK 330, PAGE 319

SITE SCHEDULE

- 1) PROPOSED CONCRETE RAMP (REFERENCE SITE DETAILS)
- 2) PROPOSED RETAINING WALL (REFERENCE SITE DETAILS)
- 3) PROPOSED CONCRETE SIDEWALK (REFERENCE SITE DETAILS)
- 4) PROPOSED YELLOW PAINTED STRIPING AT 45° AT 2'-0" O.C.
- 5) PROPOSED 2' SIDEWALK CHASE (REFERENCE SITE DETAILS)
- (6) PROPOSED 6" CURB AND GUTTER (REFERENCE SITE DETAILS)
- 7) PROPOSED HANDRAIL
- 9 PROPOSED BASKETBALL COURT STRIPING
- (10) PROPOSED CONCRETE STAIRCASE (REFERENCE SITE DETAILS)
- (11) PROPOSED CONCRETE LANDING (REFERENCE SITE DETAILS)
- (12) PROPOSED BIKE RACK

(13) PROPOSED CROSSWALK



KEY MAP SCALE: 1"=200'

SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING EASEMENT LINE
	EXISTING TO REMAIN
W	EXISTING WATER LINE TO REMAIN
— — — FO—	EXISTING FIBER OPTIC LINE TO REMAIN
— — — UE—	EXISTING UNDERGROUND ELECTRIC TO REMAIN
X	EXISTING FENCE TO REMAIN
	PROPOSED NEW
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
4	PROPOSED SIDEWALK
	PROPOSED ASPHALT PATCHBACK
	PROPOSED SEALCOAT
	ADA PATH OF TRAVEL
	EXISTING SIGN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO

PROPOSED SIGNAGE

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT S NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CONTRACTOR IS RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY. NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR

SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION A

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

NOTE: EXISTING SURFACE PIPE FOR ROOF DRAIN CONNECTION SHALL BE TRENCHED AND PLACED WITH A MINIMUM OF 1% SLOP AT A MINIMUM BURIAL DEPTH OF 12" AND DAYLIGHTED O NEAREST HILLSIDE TO PROMOTE POSITIVE DRAINAGE AND REDUCE SAFETY HAZARD.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF THE SECTION 16, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 16 AND CONSIDERING THE WEST LINE OF SAID SECTION 16 TO BEAR NO1"14'50"E WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO:

THENCE S01°14'50"W ALONG SAID SECTION 16, 75.00 FEET TO THE SOUTH LINE OF LINCOLN AVENUE AND THE POINT OF BEGINNING: THENCE CONTINUING S01°14'50W" ALONG THE SAID WEST LINE. 657.80 FEET TO A POINT ON THE NORTH LINE OF CENTENNIAL RIDGE SUBDIVISION FILING

THENCE ALONG SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES:

- 1. N55°24'20"E, 124.62 FEET;
- S88°45'10"E, 411.36 FEET; 3. N70°25'30"E, 100.94 FEET;
- 4. N44°11'51"E, 128.00 FEET TO A POINT ON THE WEST LINE OF LONE TREE PARKWAY;

THENCE ALONG SAID WEST LINE THE FOLLOWING FOUR (4) COURSES: THENCE N45°48'09"W, 73.59 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF NO1°21'36", 246.94 FEET TO A

POINT OF TANGENT; 3. THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 90°00'00", 54.98 FEET TO A LINE OF 75.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST $\frac{1}{4}$;

THENCE N88°38'24"W ALONG SAID LINE 509.85 FEET TO THE POINT OF BEGINNING. EXCEPT THE REAL PROPERTY DESCRIBED IN THAT CERTAIN PARTIAL RELEASE OF DEED OF TRUST RECORDED AUGUST 14, 1985 IN BOOK 590, AT PAGE 392X, COUNTY OF DOUGLAS, STATE OF COLORADO.

CAUTION - NOTICE TO CONTRACTOR

ENGINEER PRIOR TO CONSTRUCTION.

THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's Delow.

Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Greenwood Village, CO 80111

303.770.8884

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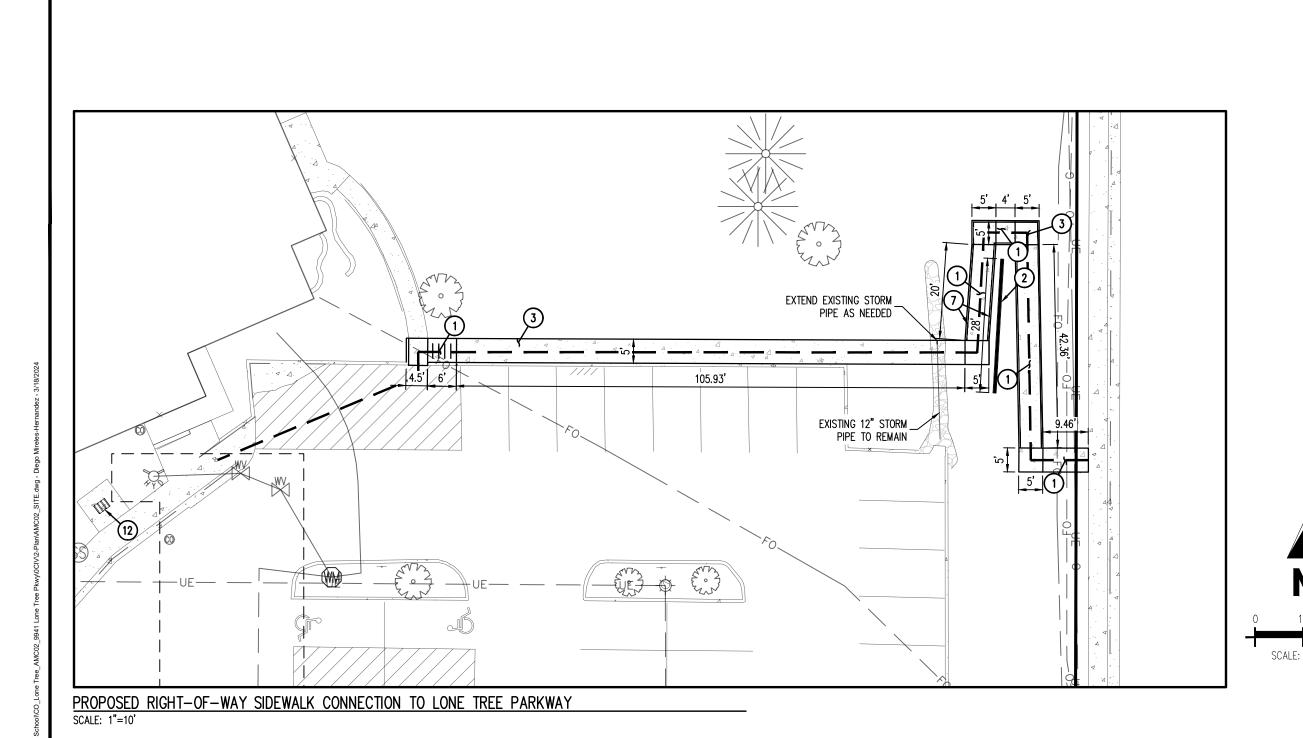
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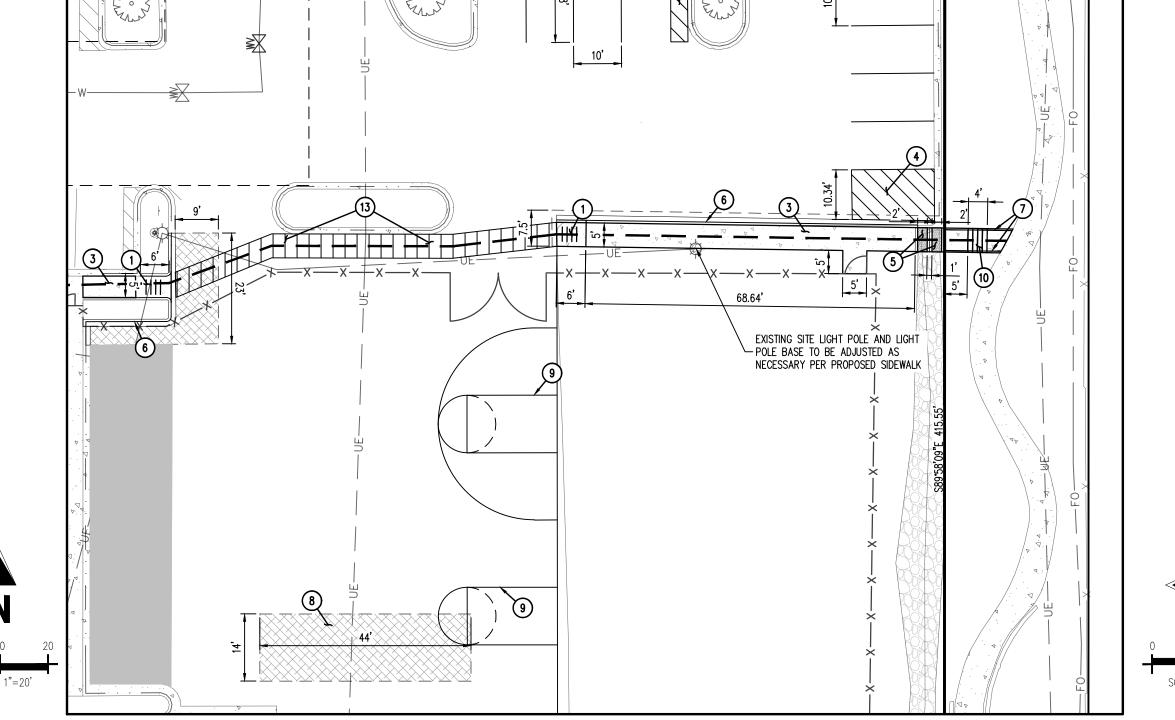
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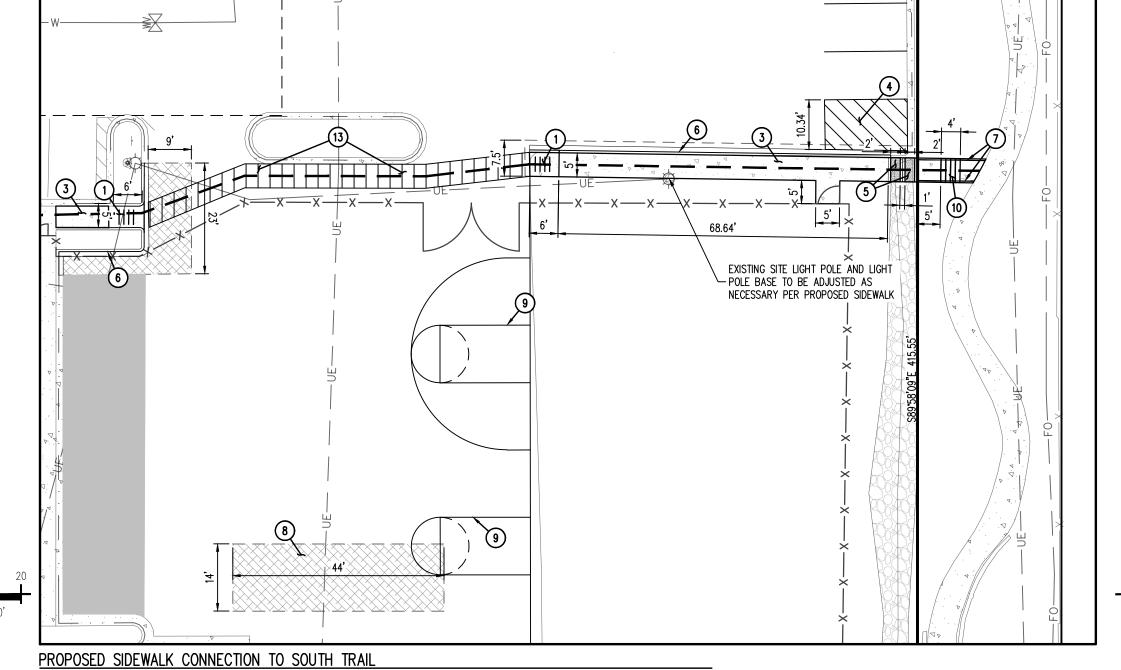
GallowayUS.com

#	Date	Issue / Description	Init.
1	01/19/24	1ST SUBMITTAL	JSB
2	03/13/24	2ND SUBMITTAL	JSB
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Project No:	AMC000002
Drawn By:	DMH
Checked By:	JSB
Date:	JANUARY 2024







CENTENNIAL RIDGE AMBLESIDE SCHOOL

SITE IMPROVEMENT PLAN - SP24-0003 JANUARY 2024

MAX: 1

SINGLE GATE OPENING

blication date April 6, 2016

ename: 1002 - Trex Seclusions Fencing Gate.dwg

1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO

TREX SECLUSIONS FENCING GATE

MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.

3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
4. DRAWING NOT TO SCALE.

DOUBLE GATE OPENING

160 EXETER DR, WINCHESTER, VA 22603

1-800-BUY-TREX / WWW.TREXFENCING.COM

NOTES:

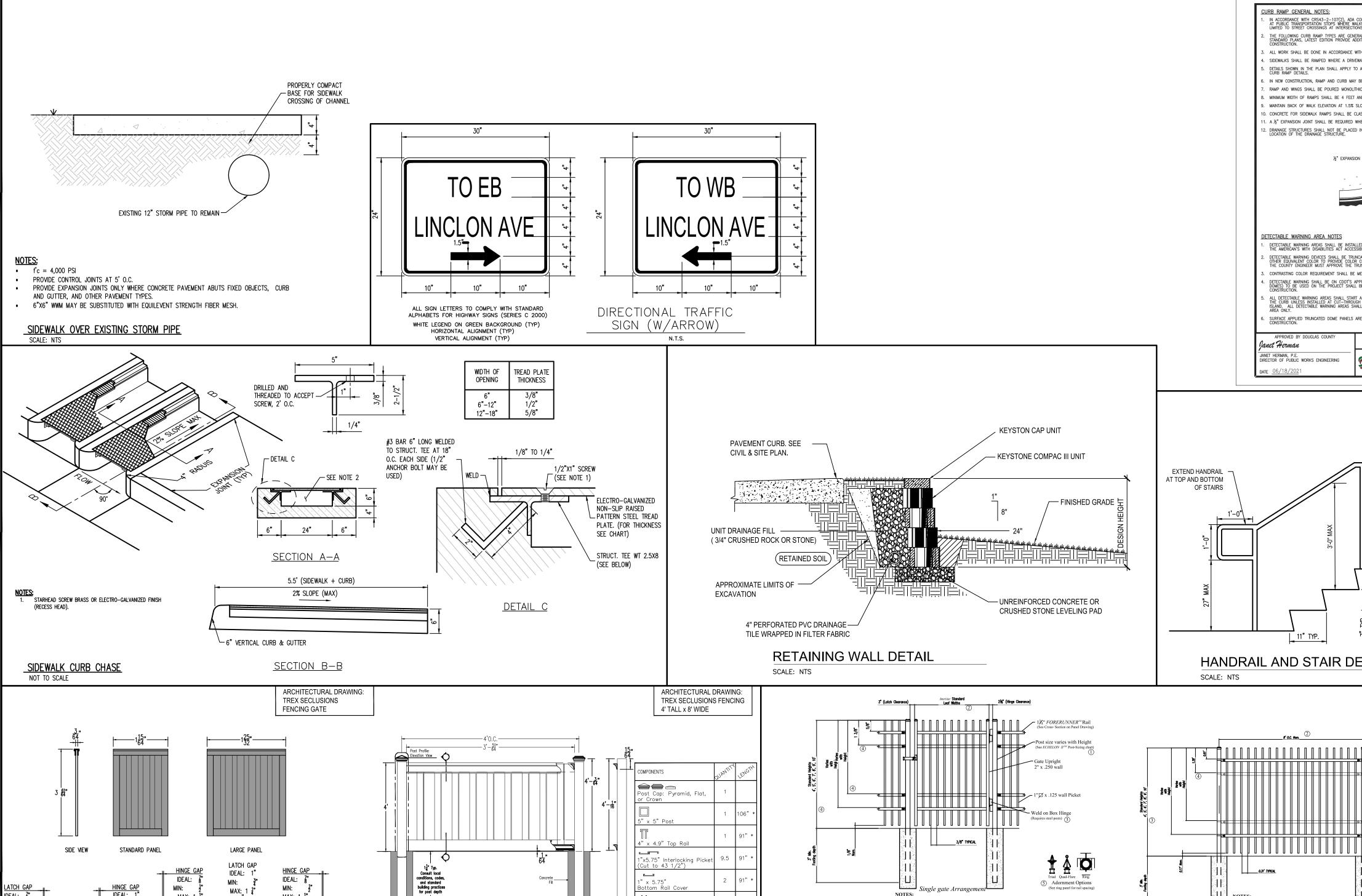
Filename: 1011 -Trex Fence Seclusions 4ft.dwg

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1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO

MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.

3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.



Post Profile: Cut View / Elevation View

160 EXETER DR, WINCHESTER, VA 22603

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1-800-BUY-TREX / WWW.TREXFENCING.COM

1.) Post size depends on fence height, weight and wind loads. See *ECHELON II* ™ post sizing chart.

2.) See Ameristar gate table for standard out to outs. Custom gate

openings available for special out to out/leaf widths.

3.) Additional styles of gate hardware are available on request This could change the Latch & Hinge Clearance.

3" (Latch Clearance)

Ameristar Standard
Leaf Widths

2%" (Hinge Clearance)

4.) Third and Fourth rail optional. Some heights noted required a third and/or fourth rail.

Post height will change with Adornment installation

__Over all Out to Out .____

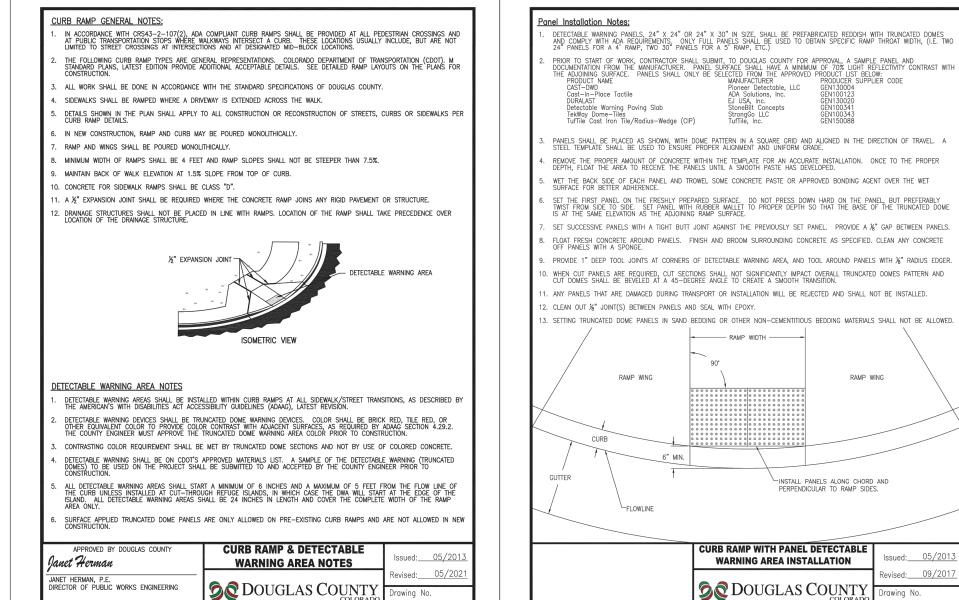
Double gate Arrangement

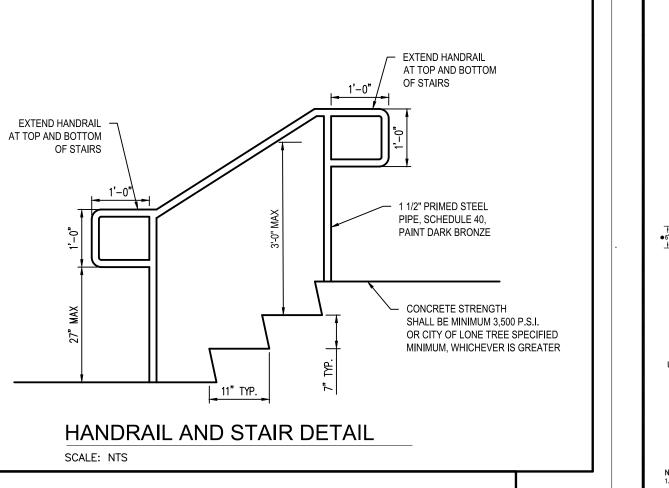
Values shown are nominal and not to be used for Powder finish coat

installation purposes. See product specification

for installation requirements.

FORERUNNER Rail





1.) Post size depends on fence height and wind loads

5.) Post Height will change with Adornment installation

INTERIOR GUIDE CHANNEL -

Channel forms lower limit

of raceway for retaining rod and allows for high angle bias ability.

FORERUNNER™RAIL.

formed high strength

"U"-Channel specially

INTERNAL RETAINING ROD -Variable pitch connection system for ease of installation, high angle bias ability and elimination of

See ECHELON II post sizing chart.

2.) Panels also available for 6' on center post spacing

3.) Additional heights available on request. Some heights

PANEL BRACKET -

Specially designed two

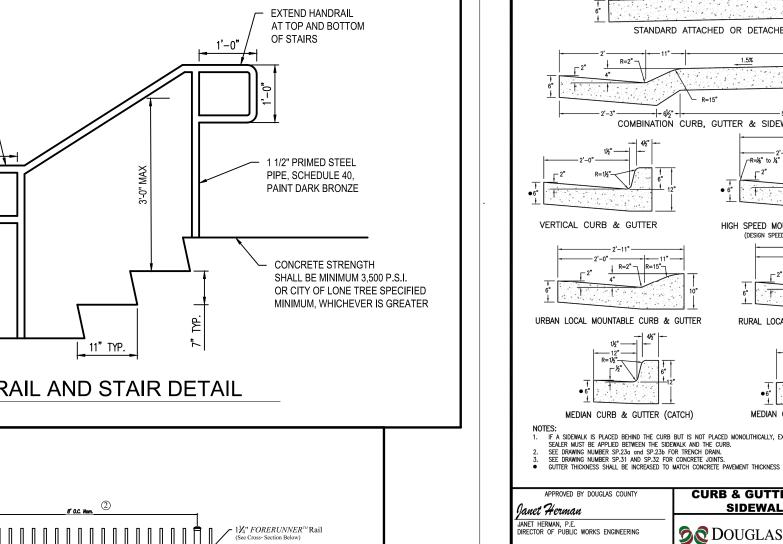
-point connection ensur fixity of rail ends for

Internal rib increases against wind loading as well as other horizontally applied forces

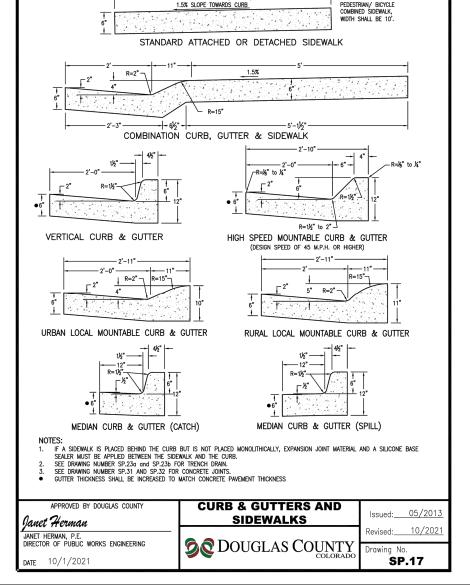
installation purposes. See product specificatio

for installation requirements.

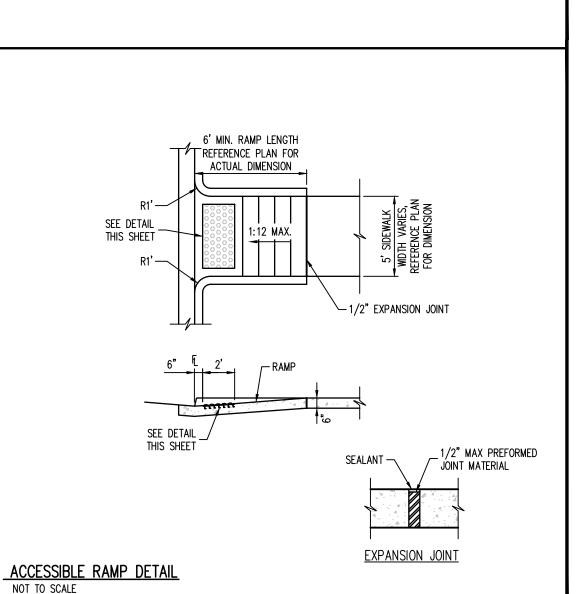
(Only on 21/2" aluminum posts).



SP.18a



RAMP WING



Greenwood Village, CO 80111 303.770.8884 GallowayUS.com

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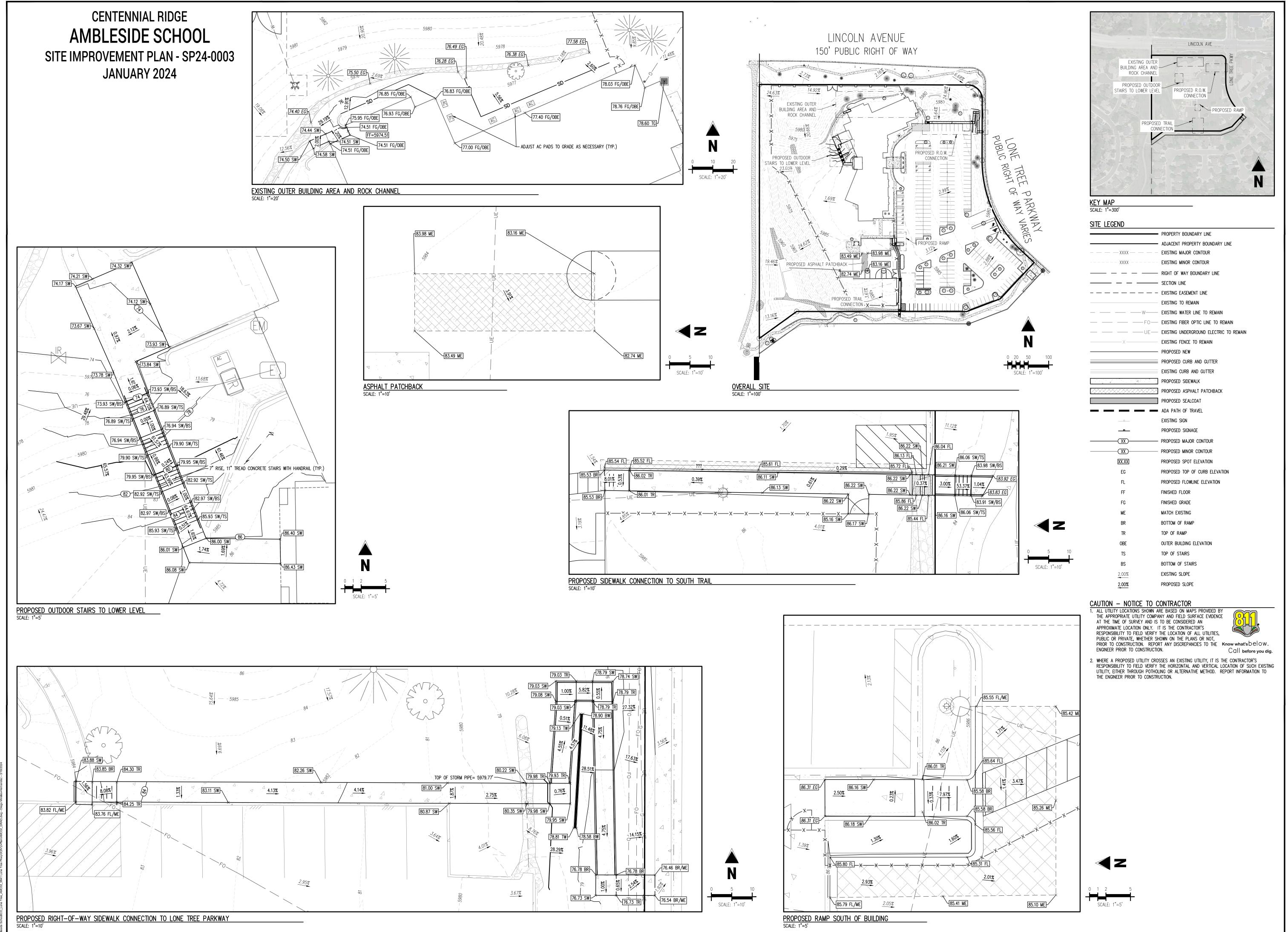
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Date Issue / Description 1 01/19/24 1ST SUBMITTAL

2 03/13/24 2ND SUBMITTAL

AMC000002

JANUARY 2024 SITE DETAILS



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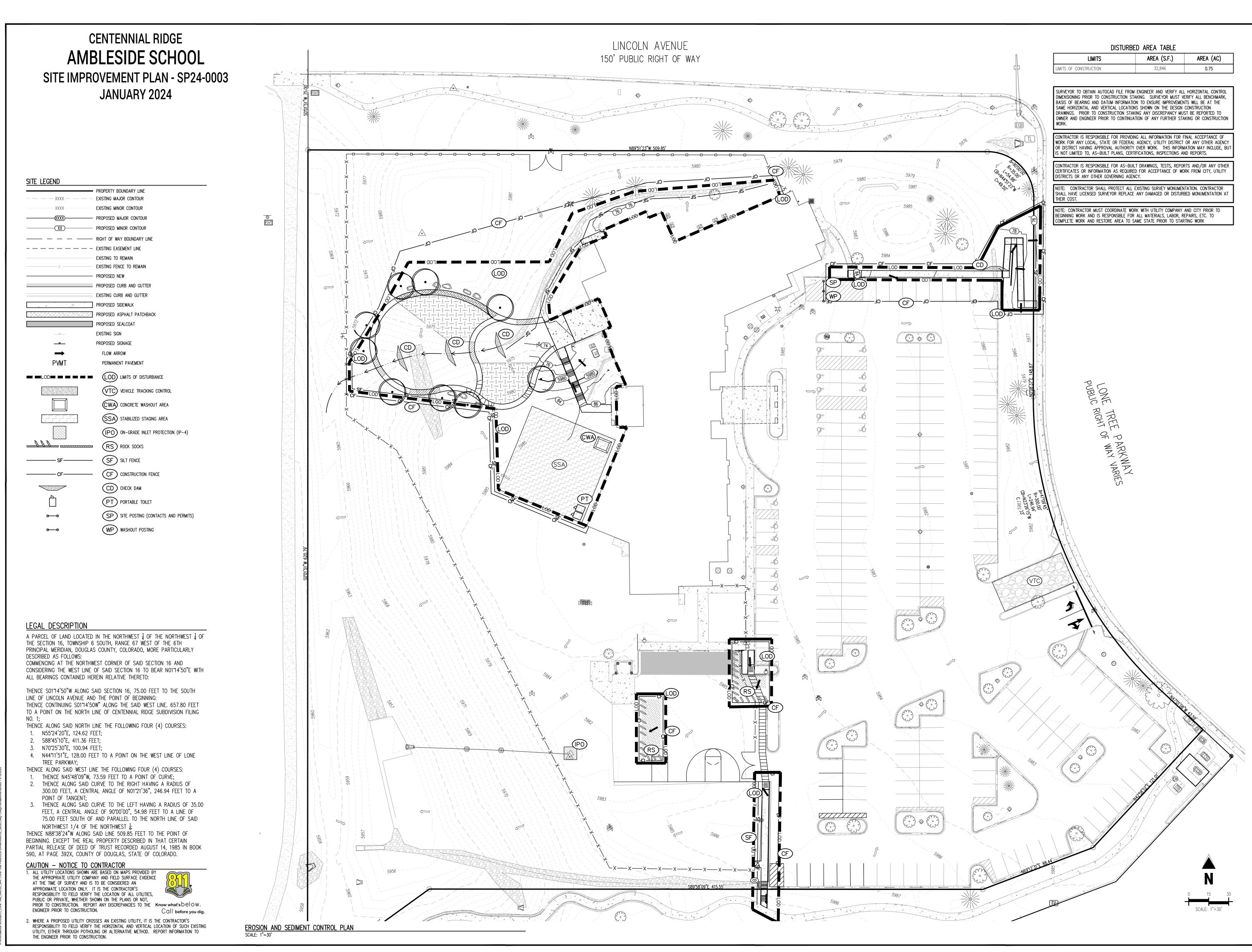
NY 24-0003

AMBLESIDE SCHOOL LINCOLN AVE & LONE TREE SITE IMPROVEMENT PLAN

roject No: AMC000002
rawn By: DMH
hecked By: JSB
ate: JANUARY 2024

GRADING PLAN

4



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AMBLESIDE SCHOOL LINCOLN AVE & LONE TREE PKWY SITE IMPROVEMENT PLAN - SP24-00

E Date Issue / Description Ir
1 01/19/24 1ST SUBMITTAL ...
2 03/13/24 2ND SUBMITTAL ...

Project No: AMC000002

Drawn By: DMH

Checked By: JSB

Date: JANUARY 2024

EROSION CONTROL PLAN

5

AMBLESIDE SCHOOL

SITE IMPROVEMENT PLAN - SP24-0003 JANUARY 2024

GRADING, EROSION, AND SEDIMENT CONTROL (GESC) GENERAL NOTES

THE DOUGLAS COUNTY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING HAS REVIEWED THE DOCUMENT AND FOUND T IN GENERAL COMPLIANCE WITH THE DOUGLAS COUNTY 21. APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTEAINED AND GRADING, EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL. THE DOUGLAS COUNTY DIRECTOR OF ENGINEERING SERVICES, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE ADEQUACY OF THIS GESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER. THE GESC PLAN SHALL BE CONSIDERED VALID FOR THREE (3) YEATS FROM THE DATE OF ACCEPTANCE BY DOUGLAS COUNTY, AFTER WHICH TIME THE PLAN SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY DOUGLAS

ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DOUGLAS COUNTY PUBLIC WORKS ENGINEERING. DOUGLAS COUNTY RESERVES THE 23. TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN THE LOCATION SHOWN ON THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE GESC MANUAL, GESC PLAN OR GESC PERMIT. THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT

PRACTICES (BMPs) SHALL BE IN ACCORDANCE WITH THE DOUGLAS COUNTY ACCEPTED GESC PLAN AND THE DOUGLAS COUNTY GESC MANUAL, AS AMENDED. ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMPs FROM THE DOUGLAS COUNTY ACCEPTED GESC PLAN WILL REQUIRE 24. THE ACCEPTED GESC PLAN MAY REQUIRE CHANGES OR ALTERATION AFTER APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE DOUGLAS COUNTY PLIBLIC WORKS ENGINEERING\

AFTER THE GESC PLAN HAS BEEN ACCEPTED, THE GESC PERMIT APPLIED FOR, FEES AND FISCAL SECURITY SUBMITTED TO THE COUNTY, AND THE GESC FIELD MANUAL OBTAINED AND REVIEWED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs INDICATED ON THE

THE FIRST BMP TO BE INSTALL ED ON THE SITE SHALL BE CONSTRUCTION FENCE,

27. ANY SETTLEMENT OR SOIL ACCUMULATIONS SBEYOND THE LIMITS OF CONSTRUCTION MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER

AREAS TO BE PRESERVED. AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs, THE PERMITTEE SHALL CALL THE DOUGLAS COUNTY ENGINEERING PERMITS STAFF AT 303-660-7487 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE REQUESTED MEETING TIME. NO CONSTRUCTION ACTIVITIES

SHALL BE PLANNED WITHIN 24 HOURS AFTER THE PRECONSTRUCTION MEETING. O. THE OWENER OR OWNER'S REPRESENTATIVE, THE GESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTO, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING, IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING. OR IF THE GESC FIELD MANUAL IS NOT ON SITE, OR IF THE INSTALLATION OF THE INITIAL 30. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS WHICH MAY ENTER WATERS OF BMPs ARE NOT APPROVED BY THE DOUGLAS COUNTY EROSION CONTROL INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE START OF OF CONSTRUCTION. DOUGLAS COUNTY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF

RECORD AT THE PRECONSTRUCTION MEETING. CONSTRUCTION SHALL NOT BEGIN UNTIL THE DOUGLAS COUNTY EEROSION CONTROL INSPECTOR APPROS THE INSTALLATION OF THE INITIAL BMPs AND THE APPROVED GESC PERMIT IS PICKED UP FROM THE COUNTY AND IS IN-HAND ON THE SITE. THE COMPLETED PERMIT WILL BE AVAILABLE WITHIN 24-HOURS AFTER THE INSTALLATION OF THE INITIAL BMPs ARE APPROVED.

THE GESC MANAGER SHALL STRICTLY ADHEERE TO THE DOUGLAS COUNTY-APPROVED LIMITS OF CONSTRUCTION AT ALL TIMS. THE DOUGLAS COUNTY FROM ANY DRAINAGEWAY, WETLAND, ETC. UNLESS OTHERWISE NOTÉD AND AN PUBLIC WORKS ENGINEERING MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL32. ALL PROJECTS SHALL BALANCE EARTHWORK QUANTITIES ON SITE. IN THE EVENT A EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF

3. THE MAXIMUM AREA OF CONSTRICTION SHALL BE LIMITED TO 40 ACRES (70 ACRES IF APPROVED FOR SOIL MITIGATION OPERATIONS) TO REDUCE THE AMOUNT OF LAND DISTURBED AT ANY ONE TIME. LARGER SITES SHALL BE DIVIDED IN TO PHASES THAT ARE EACH 40 (OR 70) OR LESS IN SIZE. THESE PROJECTS SHALL CONDUCT GRADING ACTIVITIES IN ACCORDANCE WITH THE ACCEPTED GESC PLAN. BMP 33. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING OR INSTALLATION AND APPROVAL BY DOUGLAS COUNTY AT THE START AND COMPLETION OF EACH PHASE SHALL BE CONDUCTED IN ACCORDANCE WITH THE

PRIOR TO ANY CONSTRUCTION ACTIVITY, THE PERMITTEE SHALL CERTIFY THE LOCATION OF EXISTING UTILITIES. FOR INFORMATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811, 1-800-922-1987, OR

SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION 16. THE GESC PERMIT SHALLL BE VALID FOR A PERIOD OF ONE (1) YEAR FROM THE

EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION

DATE OF ISSUANCE. 17. A COPY OF THE GESC PERMIT, ACCEPTED GESC PLANS AND THE GESC FIELD

MANUAL SHALL BE ON SITE AT ALL TIMES. 8. THE GESC MANAGR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS ACCORDANCE WITH THE GESC CRITERIA MANUAL WITHIN THIRTY (3) DAYS OF THE IN COMPLIANCE WITH THE GESC PERMIT AND SHALL BE IN PERMITTEE'S CONTACT PERSON WITH THE COUNTY FOR ALL MATTERS PERTAINING TO THE GESC PERMIT. THE GESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVILABLE THROUGH A 24-HOUR CONTACT NUMBER. IN THE EVENT 38. ALL SLOPES STEEPER THAN 4:1 REQUIRE EROSION CONTROL BLANKETING. THAT THE CONTRACTOR'S ESC MANAGER IS NOT ONSITE AND CANNOT BE REACHED 39. HYDRAULIC SEEDING AND MULCHING ARE NOT AN ACCEPTABLE METHOD OF SEEDING DURING A VIOLATION, THE ALTERNATE GESC MANAGER SHALL BE CONTACTED. IF OR MULCHING IN DOUGLAS COUNTY.

DURING ANY VIOLATION, A STOP WORK ORDER MAY BE ISSUED. COUNTY-APPROVED ACCESS POINT. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL ACCESS POINT ON THE SITE ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE

DOUGLAS COUNTY PUBLIC WORKS ENGINEERING. . THE GESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS. PAVED AREAS INCLUDING STREETS ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED WITH A STREET SWEEPER OR SIMILAR DEVICE, AT FIRST NOTICE OF ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE DOUGLAS COUNTY EROSION

CONTROL INSPECTOR. STREET WASHING IS NOT ALLOWED. DOUGLAS COUNTY

RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS. KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AST A MINIMUM, THE GESC MANAGER SHALL INSPECT ALL BMPs IN ACCORDANCE WITH THE ACCEPTED GESC PLAN AND GESC MANUAL, LEVEL III VIOLATIONS SHALL BE CORRECTED IMMEDIATELY AFTER THE PERMITTEE(S) NOTICE THE VIOLATION(S) OR ARE NOTIFIED OF THE VIOLATION(S). GENERALLY DOUGLAS COUNTY WILL REINSPECT FOR COMPLIANCE WITHIN 48 HOURS OF NOTIFICATION OF LEVEL III VIOLATIONS. LEVEL II VIOLATIONS SHALL BE CORRECTED IMMEDIATELY. OR AS DIRECTED BY A DOUGLAS COUNTY EROSION CONTROL INSPECTOR. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED. STRAW BALES ARE NOT A DOUGLAS COUNTY ACCEPTED SEDIMENT CONTROL BMP.

ACCEPTED GESC PLAN. THE GESC MANAGER SHALL SCHEDULE AND INSPECTION WITH THE DOUGLAS COUNTY FROSION CONTROL INSPECTOR AS SOON AS TOPSOIL STRIPPING IS COMPLETED. FAILURE TO SCHEDULE SUCH INSPECTION OR FAILURE TO STOCKPILE TOPSOIL SHALL RESULT ISSUANCE OF A STOP WORK ORDER. THE STOP WORK ORDER SHALL REMAIN IN PLACE UNTIL TOPSOIL IS STOCKPILED ON SITE OR APPROPRIATE SOIL AMENDMENTS ARE STOCKPILED ON SITE APPROVAL TO MEET CHANGING SITE OR PROJECT CONDITIONS OR TO ADDRESS INEFFICIENCIES IN DESIGN OR INSTALLATION. THE GESC MANAGER SHALL OBTAIN PRIOR APPROVAL FROM THE DESIGN ENGINEER AND DOUGLAS COUNTY PUBLIC

WORKS ENGINEERING FOR ANY PROPOSED CHANGES. 25. LINING OF TEMPORARY SWALES AND DITCHES SHALL BE IN ACCORDANCE WITH THE GESC CRITERIA MANUAL. 26. NO PERMANENT EARTH SLOPES GREATER THAN 3:1 SHALL BE ALLOWED.

DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE GESC MANAGER THE GESC MANAGER SHALL BE HELD RESPONSIBLE FOR OBTAINING ACCESS RIGHTS TO ADJACENT PROPERTY. IF NEEDED, AND REMEDIATING ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT. 28. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND

29. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN K(14) DAYS OF STOCKPILE CONSTRUCTION. NO STOCKPILES SHALL BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGE WAY UNLESS APPROVED BY THE DOUGLAS COUNTY PUBLIC WORKS

THE STATE OF COLORADO, WHICH INCLUDE BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER AND DRY GULLIES OR STORM SEWER LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED THE THE CDPHE PER CRS 25-8-601. AND DOUGLAS COUNTY. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AS WELL AS THE CDPHE. CONTACT INFORMATION FOR CDPHE, DOUGLAS COUNTY AND THE NATIONAL RESPONSE CENTER CAN BE FOUND IN APPENDIX A OF THE GESC MANUAL, AS AMENDED. SPILLS THAT POSE AN IMMEDIATE RISK TO HUMAN LIFE SHALL BE REPORTED TO 911. FAILURE TO REPORT AND CLEANUP AY SPILL MAY RESULT IN ISSUANCE OF A STOP WORK ORDER. 31. ALL WORK ON SITE SHALL STAY A MINIMUM OF ON HUNDRED (100) FEET AWAY

ACCEPTED DOUGLAS COUNTY GESC PLAN. VARIANCE IS GRANTED BY THE COUNTY DIRECTOR OF ENGINEERING SERVICES TO ALLOW IMPORT OR EXPORT OF MATERIAL. THE PERMITTEE SHALL HAVE A GESC PERMIT IN HAND FOR THE IMPORT OR EXPORT SITE PRIOR TO ANY TRANSPORTING OF EARTHEN MATERIAL. THE GESC MANAGER SHALL NOTIFY THE DOUGLAS COUNTY EROSION CONTROL INSPECTOR OF THE LOCATION AND PERMIT NUMBERS OF NORTH THE EXPORTING AND IMPORTING SITE PRIOR TO ANY IMPORT/EXPORT OPERATIONS. SUPPORT OF ANY EROSION OR SEDIMENT CONTROL BMP IS PROHIBITED (EXCEPT STEEL TEE-POTS FOR USE IN SUPPORTING CONSTRUCTION FENCE). PROCEDURES OUTLINED IN THE GESC MANUAL AND/OR GESC FIELD MANUAL.

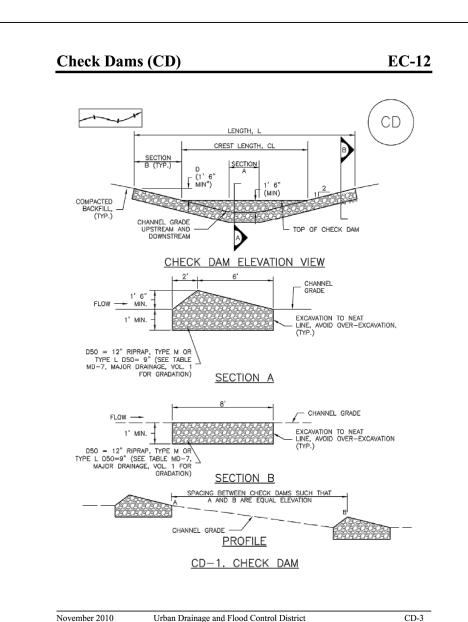
34. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED CONCRETE WASH OUT LOCATIONS ON THE JOB SITE. THE DISCHARGE OF

DISPOSED AT AN APPROPRIATE LOCATION. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. 35. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH A DOUGLAS COUNTY EROSION CONTROL INSPECTOR AND BE FREE OF SEDIMENT IN ACCORDANCE WITH 36. ALL PERMANENT INSTALLATIONS OF PIPES FOR STORM SEWERS, SLOPE DRAINS, AND

PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND

CULVERTS, TOGETHER WITH RIPRAP APRONS OR OTHER INLET AND OUTLET PROTECTION, REQUIRE INSPECTION BY DOUGLAS COUNTY PUBLIC WORKS ENGINEERING (SEPARATE FROM GESC INSPECTIONS). 37. ALL DISTURBED AREAS SHALL BE DRILL SEEDED AND CRIMP MULCHED IN INITIAL EXPOSURE OR WITHIN FOURTEEN (14) DAYS OF SUBSTANTIAL COMPLETION (AS DEFINED BY DOUGLAS COUNTY) OF AN AREA, WHICHEVER IS LESS. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS FOR SEEDING AND MULCHINGS. NEITHER THE GESC MANAGER NOR ALTERNATE GESC MANAGER CAN BE CONTACTED 40. NO CURB AND GUTTER PERMITS SHALL BE ISSUED UNTIL ALL DISTURBED AREAS

ARE DRILL SEEDED AND CRIMP MULCHED. 9. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE DOUGLAS 41. NO PAVING PERMITS SHALL BE ISSUED UNTIL ALL INTERIM INLET PROTECTION IS INSTALLED AND APPROVED BY THE EROSION CONTROL INSPECTOR. 42. A GESC INSPECTION SHALL BE CONDITIONED FOR CERTIFICATE OR TEMPORARY CERTIFICATE OF OCCUPANCY OR INITIAL ACCEPTANCE. 43. GESC MANAGER SHALL PROVIDE AND MAINTAIN PORTABLE TOILETS AND TRASH DUMPSTERS FOR THE PROJECTS.



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EC-12 Check Dams (CD)

CHECK DAM INSTALLATION NOTES 1. SEE PLAN VIEW FOR:

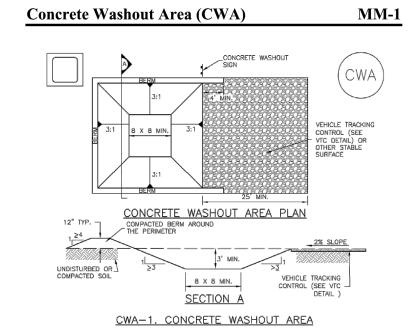
-LOCATION OF CHECK DAMS.

-CHECK DAM TYPE (CHECK DAM OR REINFORCED CHECK DAM).

-LENGTH (L), CREST LENGTH (CL), AND DEPTH (D). 2. CHECK DAMS INDICATED ON INITIAL SWMP SHALL BE INSTALLED AFTER CONSTRUCTION FENCE, BUT PRIOR TO ANY UPSTREAM LAND DISTURBING ACTIVITIES. 4. RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'. 5. THE ENDS OF THE CHECK DAM SHALL BE A MINIMUM OF 1' $\mathbf{6}^{\prime\prime}$ HIGHER THAN THE CENTER OF THE CHECK DAM.

CHECK DAM MAINTENANCE NOTES INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION.
MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS
POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE
EROSION, AND PERFORM NECESSARY MAINTENANCE. 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. SEDIMENT ACCUMULATED UPSTREAM OF THE CHECK DAMS SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS WITHIN $\frac{1}{2}$ OF THE HEIGHT OF THE CREST. 5. CHECK DAMS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. 6. WHEN CHECK DAMS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL. DISTURBED AREA SHALL BE SEEDED AND MULCHED AND COVERED WITH GEOTEXTILE OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION. (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD) NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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CWA INSTALLATION NOTES SEE PLAN VIEW FOR:
 -CWA INSTALLATION LOCATION.

2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY, DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES, IF SITE CONSTRAINTS MAKE THIS INFESSIBLE, OR IF HIGHLY PERHEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN, THICKNESS) OR SURFACE SITORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED. 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. 4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT

5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS. 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CWA-3 Urban Drainage and Flood Control Distri-Urban Storm Drainage Criteria Manual Volume

MM-1 **Concrete Washout Area (CWA)**

CWA MAINTENANCE NOTES

 INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION.
MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS
POSSIBLE, CAND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE
EROSION, AND PERFORM NECESSARY MAINTENANCE. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN FFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BI 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'. 5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY. 6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED. 7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION. (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD). NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

Urban Drainage and Flood Control Distric

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SC-1 Silt Fence (SF) \triangle COMPACTED _ BACKFILL SECTION A SF-1. SILT FENCE

Urban Drainage and Flood Control District

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Silt Fence (SF)

SILT FENCE INSTALLATION NOTES 1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING, SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION. 4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES, THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES. 5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC 6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20'). 7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

 INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION.
MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS
POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE
EROSION, AND PERFORM NECESSARY MAINTENANCE. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs in effective operating condition. Inspections and corrective measures should be documented thoroughly. 3. WHERE BMP8 HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED ON MINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6". 5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP. 7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION. (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD) NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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SM-3 **Construction Fence (CF)** __ cr __ cr __ cr __ (CF) PLASTIC CAP, TYP. STUDDED STEEL

TEE POST CF-1. PLASTIC MESH CONSTRUCTION FENCE CONSTRUCTION FENCE INSTALLATION NOTES SEE PLAN VIEW FOR:

 LOCATION OF CONSTRUCTION FENCE.

 2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING

J. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR—GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY. 4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'. 5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

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SM-3 Construction Fence (CF) CONSTRUCTION FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION, INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHY. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. 5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION. NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

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Rock Sock (RS)

(3555**)**(5555) . 1½" (MINUS) CRUSHED ROCK ENCLOSED IN WIRE MESH WIRE TIE ENDS 0" ON BEDROCK OR HARD SURFACE, 2" IN SOIL GROUND SURFACE ROCK SOCK SECTION ROCK SOCK PLAN

ROCK SOCK JOINTING NO. 4 ROCK SOCK INSTALLATION NOTES

3. WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF $\c k$ ", RECOMMENDED MINIMUM ROLL WIDTH OF 48" 5. SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE. RS-1. ROCK SOCK PERIMETER CONTROL

Urban Drainage and Flood Control Distric Urban Drainage and Flood Control Distric Urban Storm Drainage Criteria Manual Volume 3 Urban Storm Drainage Criteria Manual Volume 3

SC-5 Rock Sock (RS)

3, WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR. 5. SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY ½ OF THE HEIGHT OF THE ROCK SOCK. 6. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. 7. WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION. (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

SM-4 Vehicle Tracking Control (VTC) COMPACTED SUBGRADE -SECTION A VTC-1. AGGREGATE VEHICLE TRACKING CONTROL Urban Drainage and Flood Control Distric

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Vehicle Tracking Control (VTC)

EE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXITS(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM). CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS. 3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS. 4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES. 5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK. STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION.
MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS
POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE
EROSION, AND PERFORM NECESSARY MAINTENANCE. 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH. 5, SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING, SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS. NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

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SM-6 Stabilized Staging Area (SSA) — SF/CF — SF/CF -

> SSA-1. STABILIZED STAGING AREA STABILIZED STAGING AREA INSTALLATION NOTES

 SEE PLAN VIEW FOR
 -LOCATION OF STAGING AREA(S). -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION. 3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE. 4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR 5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK. 6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING. STABILIZED STAGING AREA MAINTENANCE NOTES 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE, CAND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

 FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMP® IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 **Stabilized Staging Area (SSA)**

 STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS. 6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SECDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION. NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED. (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

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AMC000002 JANUARY 2024

EROSION CONTROL DETAILS

Greenwood Village, CO 80111 303.770.8884 GallowayUS.com

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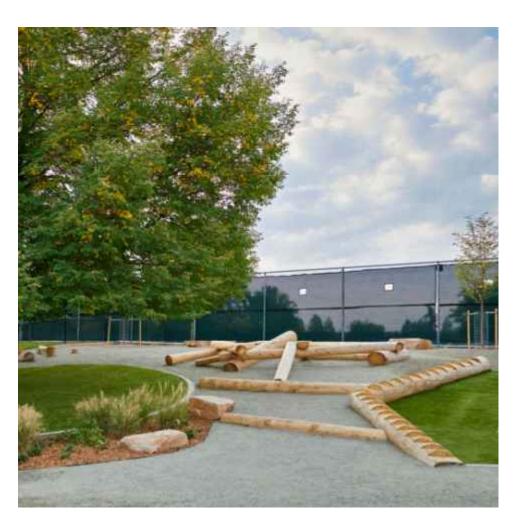
Date Issue / Description

SOFT SURFACE PATH

TAN CRUSHER FINES, 4" DEPTH; APPROXIMATELY 5' WIDTH.



HILLSIDE PLAY - STUMP STAIRS



HILLSIDE PLAY - LOG CLIMBERS



BOULDER STEPS



LINCOLN AVENUE

150' PUBLIC RIGHT OF WAY

EXISTING DRAIN CHANNEL

EXISTING WALKWAY

PROPOSED EXTENSION
OF OUTDOOR PATIO
CONCRETE AREA

- PROPOSED OUTDOOR STAIRS TO LOWER LEVEL

PROPOSED BASKETBALL

PROPOSED OPÁQUE FENCE & GATE

SENSORY WALK

BOULDER OUTDOOR

REFERENCE SHEET 3

PROPOSED RAIL — FENCE & GATE REFERENCE SHEET 3

EXISTING WATER QUALITY DRAINAGE

PROPERTY BOUNDARY

SENSORY WALK



BOULDER OUTDOOR SEATING





 ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

Call before you dig. . WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

CONCEPT PLANT SCHEDULE



LANDSCAPE MATERIALS SCHEDULE

<u>DESCRIPTION</u> LANDSCAPE BOULDERS (3-6' DIA)

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JANUARY 2024

CONCEPTUAL LANDSCAPE PLAN

THE CONCEPTUAL LANDSCAPE PLAN IS CONCEPTUAL IN NATURE AND NOT BINDING; ALL FUTURE IMPROVEMENTS WILL BE SUBJECT TO THE CITY'S SITE IMPROVÉMENT PLAN AMENDMENT REVIEW PROCESS AS APPLICABLE.