

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

3.36 ACRES
SP24-0016

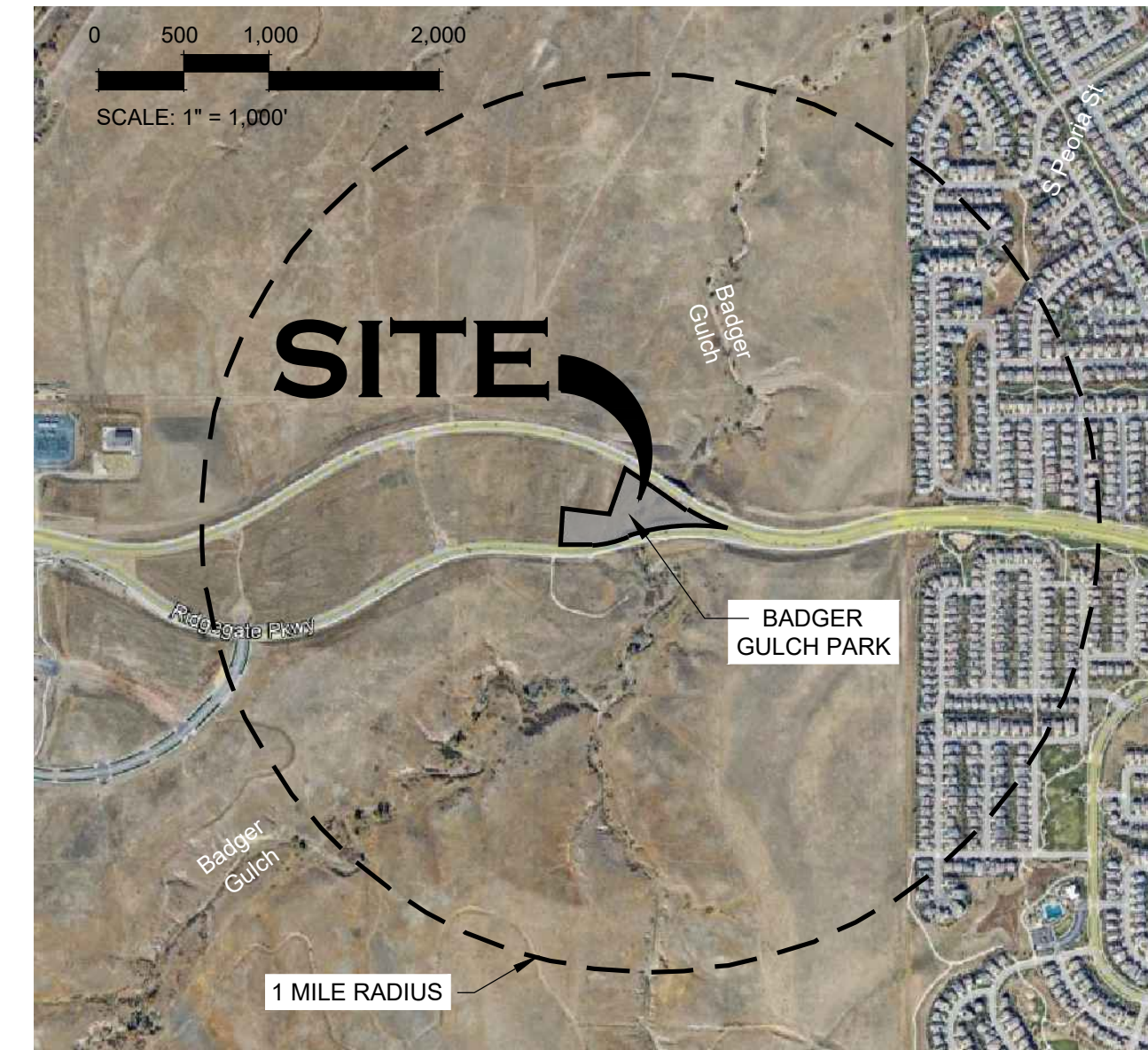
CITY REQUIRED SIP PLAN NOTES

GENERAL

- The property described herein is subject to all applicable requirements of the Lone Tree Zoning Code and Design Standards, including but not limited to, property maintenance, lighting, parking, signage, landscaping and outdoor storage, except as may otherwise be addressed in an approved planned development plan, sub-area plan, or other applicable plan or agreement approved by the City.
- The applicant assumes responsibility to ensure the project is completed in accordance with the approved SIP and any associated materials sample boards and further assumes the risk associated with any changes or omissions made without prior City approval. Modifications to structures or sites may require an amendment to the SIP as determined by the City's Community Development Director, per Sec. 16-27-180. Unauthorized changes or omissions made without prior City approval corrective actions, delay of permits or citations for zoning violations with associated fines and legal measures. Building plans shall conform to the approved SIP.
- Within site triangles, as shown, limited landscaping shall be allowed with no solid structures permitted as stated in the City of Lone Tree's Landscape Design Guidelines and Standards for Landscaping. Landscaping within the sight triangle shall be maintained by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office.
- The owner is responsible for the installation of all roadway signage, including "no parking/fire lane" signage, as required by the City Public Works Department and/or the Fire District. Such signage shall be maintained by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office.
- Site landscaping, site amenities and furnishings, and all site improvements including, but not limited to, sidewalks and parking areas shall be maintained in a state of good repair consistent with the approved SIP and the Lone Tree Municipal Code and Design Guidelines and Standards. Such maintenance shall include the regular maintenance of pet waste stations (when present), to include waste collection and waste bag replacement. Landscape plantings must be alive and all irrigation must be functional. All maintenance obligations shall be completed by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office.
- The City of Lone Tree requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owner shall be responsible for the maintenance of all drainage facilities, including inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on their land unless modified by the site improvement plan improvements agreement. Should the owner fail to adequately maintain said facilities, the City of Lone Tree shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property owner or the responsible maintenance authority.
- According to the Federal Emergency Management Agency, National Flood Insurance Program, Flood Insurance Rate Map for the City of Lone Tree, Douglas County, Colorado Community Panel Number 08065C0064J, dated December 02, 2021, the subject property lies within Zone X (area determined to be of minimal flood hazard and area determined to be inside the 0.2% annual change flood) and Zone AE (area within the regulatory floodway).
- All present and future owners and occupants of land hereby subject to a Site Improvement Plan are hereby notified that the property is located within proximity to Centennial Airport and is subject to the terms of that certain Avigation and Hazard Easement recorded at reception number 2020016188 on March 6, 2020 in the records of the Douglas County Clerk and Recorder, as may be amended.
- Proximity to Centennial Airport may have any number of impacts on the property occupants, the property, and the development, improvement, use, enjoyment or occupancy of the property, including without limitation odors, aircraft noise, vibration, fumes, fuel particles, exhaust, and the operation and passage of aircraft above or near the property. Individual sensitivities to the potential Centennial Airport impacts can vary from person to person, and potential airport impacts can vary from location to location within the property and from time to time, records and information concerning Centennial Airport and potential airport impacts are publicly available through various federal, state, and local governmental agencies, including Centennial Airport. All present and future owners and occupants are solely responsible for evaluating and determining whether the airport impacts, if any, are acceptable to them.
- This property is within a wildfire risk area. Wildfire risk can vary from location to location within the property and from time to time, information concerning wildfire risk is publicly available through various federal, state, and local governmental agencies, including the Colorado State Forest Service. All present and future owners and occupants are solely responsible for evaluating and determining whether the wildfire risks, if any, are acceptable to them.
- It shall be the responsibility of the owner (or responsible association or district, as may be identified by maintenance agreements) to maintain all playground equipment and park infrastructure on the property in a state of good repair in conformance with all applicable building and safety regulations.
- Artwork must be maintained per the approved SIP. Any fading, chipping, or damage shall be repaired by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office. Any future removal or alteration of artwork, as approved by this SIP may warrant an SIP amendment and subsequent approval by the City of Lone Tree.

PROJECT DIRECTORY

DISTRICT REPRESENTATIVE RRMD Rampart Range Metro District Contact: John Connelly E: jconnelly@coventrydevelopment.com P: 303-710-9424 W: rrm.d.org	PLANNING & LANDSCAPE ARCHITECTURE Consilium Design Contact: Richard Martin E: rmartin@consiliumdesign.com P: 303-224-9520 W: consiliumdesign.com	CIVIL ENGINEERING Merrick & Company Contact: Carson Besgrove E: carson.besgrove@merrick.com P: 303-353-3857 W: merrick.com
LIGHTING Clanton & Associates Inc. Contact: Travis Babcock E: travis@clantonassociates.com P: 303-530-7229 W: clantonassociates.com	IRRIGATION Hydro Systems-KDI Contact: Jill Bersano E: jillb@hydrosystemsmdi.com P: 303-980-5327 W: hydrosystemsmdi.com	PEDESTRIAN BRIDGE CEI Contact: Derek Rowland E: DRowland@ceiconstructors.com P: 303-562-2000 W: ceiconstructors.com



PLANNED DEVELOPMENT MAP
Scale: 1" = 1,000'



VICINITY MAP
Scale: 1" = 2,000'

APPROVAL CERTIFICATE for New SIP with City Council Approval

This site improvement plan was approved for filing by the Council of the City of Lone Tree, CO, on the ____ day of _____, 2024, subject to any conditions specified hereon.

The dedications of:

- Rec. No. 2010035811 - City of Lone Tree Easement
- Rec. No. 2018076218 - RidgeGate Parkway Special Warranty Deed, ROW Parcel 3
- Rec. No. 2019035071 - RidgeGate Parkway Bargain & Sale Deed
- Rec. No. 2019035346 - PWSD Exclusive Easement
- Rec. No. 2022070343 - Permanent Non-Exclusive Drainage Easement
- Rec. No. 2022070344 - Permanent Non-Exclusive Drainage Easement
- Rec. No. 2024010650 - RidgeGate East Filing 4 Plat, Tract A, Tract B, & Variable Public Right-of-Ways are accepted.

All expenses incurred with respect to improvements for all utility services, paving, grading, landscaping, curbs, gutters, sidewalks, road lighting, road signs, flood protection devices, drainage structures and all other improvements that may be required shall be the responsibility of the developer and not the City.

This acceptance does not guarantee that the soil conditions, subsurface geology, groundwater conditions or flooding conditions of any site shown hereon are such that a building permit will be issued.

(Signature)

Marissa Harmon, Mayor, City of Lone Tree

LOCATION DESCRIPTIONS: PART N1/2 24-6-67 40.232 AM/L
STATE PARCEL ID: 2231-242-00-006

SHEET INDEX

- SIP Cover
- Civil Site Plan
- Civil Site Plan
- Planting Plan West
- Planting Plan East
- Park Enlargement
- Park Section
- Playground Enlargement & Section
- Playground Details
- Site Furnishings & Exercise Equipment
- Site Feature Details
- Shade Structure
- Plant Schedule & Details
- Landscape Notes
- Irrigation Notes, Schedule & Details
- Irrigation Notes, Schedule & Details
- Irrigation Plan West
- Irrigation Plan East
- Civil Grading Plan West
- Civil Grading Plan East
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- Civil Utility Plan East
- Lighting Cover
- Lighting Plan West
- Lighting Plan East
- Lighting Photometric
- Lighting Cut Sheets
- Bridge Plan & Elevation
- Bridge Typical Section
- Bridge Materiality
- Bridge Towers & Lighting



Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
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DENVER, CO 80222
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NOT FOR CONSTRUCTION

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lone Tree, Colorado
BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:

05/09/2024	1st SUBMITTAL
COMPLETENESS REVIEW	
06/28/2024	1st SUBMITTAL
07/12/2024	1st SUBMITTAL - R1
09/23/2024	2nd SUBMITTAL

COVER

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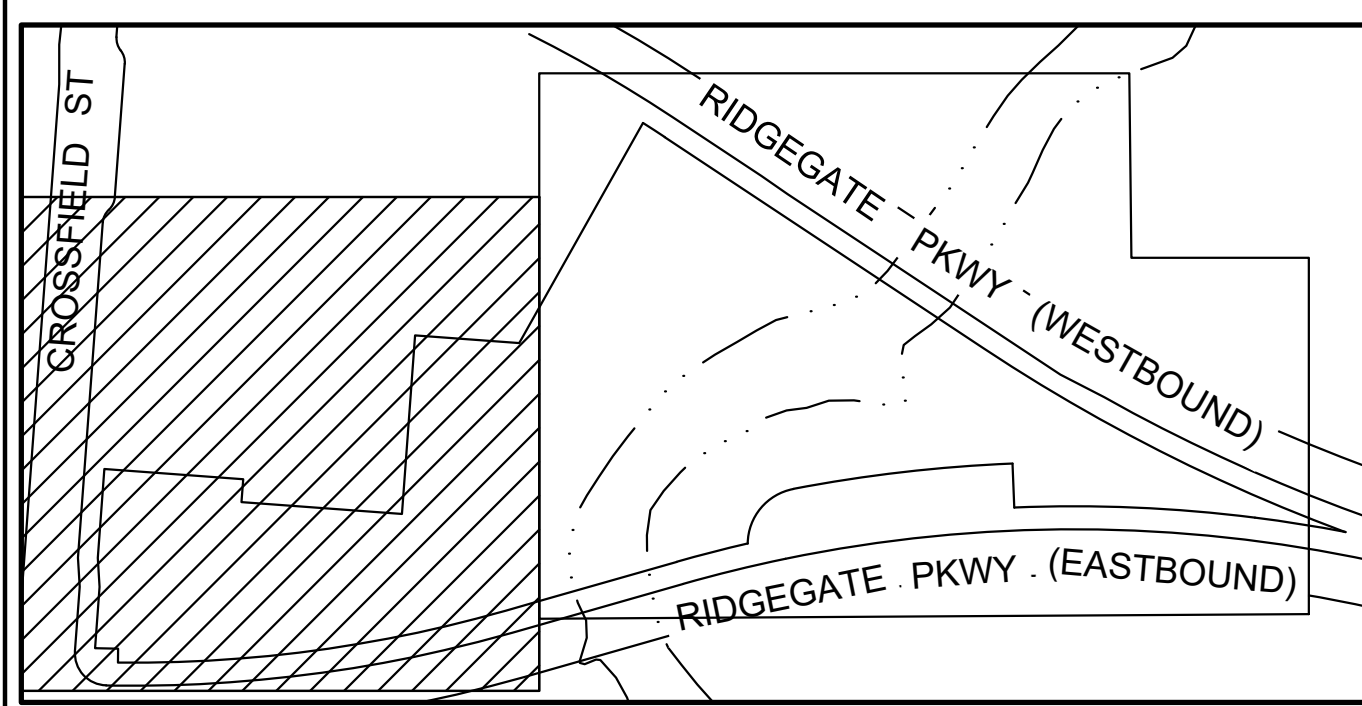
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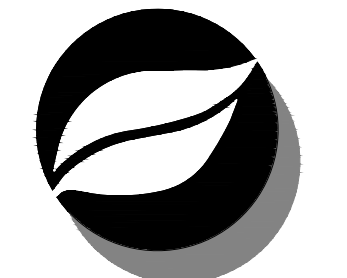
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3.36 ACRES
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KEY MAP



Consilium Design

LAND PLANNING AND
LANDSCAPE ARCHITECTURE

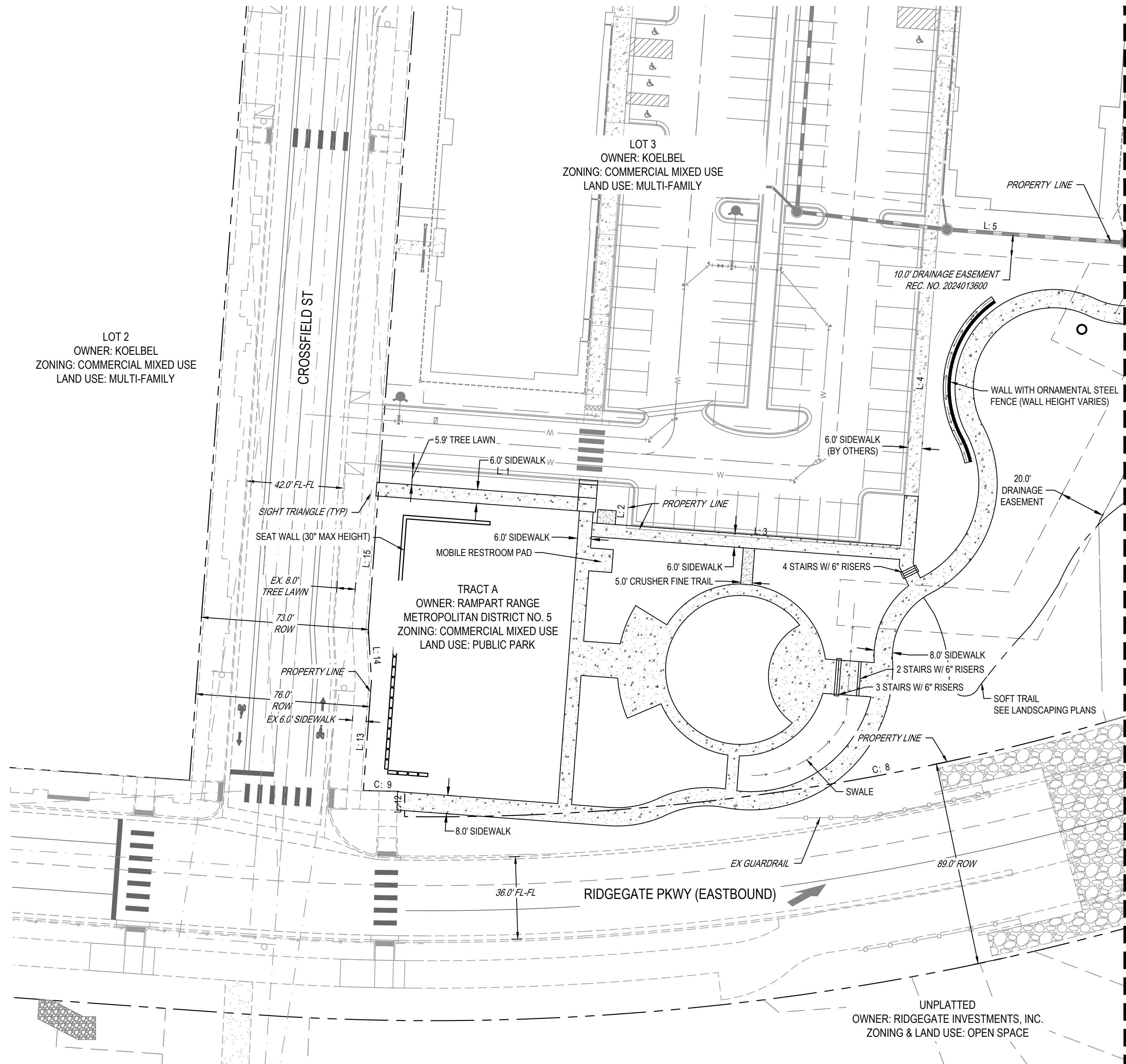
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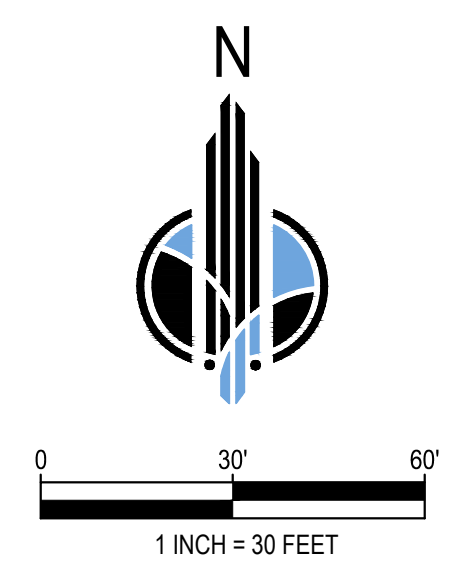


MATCHLINE ON SHEET 3

LINE TABLE			CURVE TABLE					
LINE #	BEARING	LENGTH	CURVE #	LENGTH	DELTA	RADIUS	CRD LENGTH	CRD RADIUS
L: 1	S85° 46' 59"E	109.08'	C: 1	20.37'	1° 05' 47"	1064.50'	20.37	N57° 01' 47"W
L: 2	S4° 13' 01"W	17.95'	C: 2	318.62'	13° 10' 34"	1385.50'	317.92	S63° 04' 11"E
L: 3	S85° 46' 59"E	126.05'	C: 3	71.87'	3° 37' 36"	1135.50'	71.86	N81° 00' 17"W
L: 4	N4° 13' 22"E	140.25'	C: 4	188.92'	9° 31' 58"	1135.50'	188.71	N87° 35' 04"W
L: 5	S85° 46' 59"E	81.94'	C: 5	173.18'	8° 28' 51"	1170.00'	173.02	S83° 24' 31"W
L: 6	N29° 19' 26"E	135.10'	C: 6	60.38'	78° 37' 19"	44.00'	55.75	S39° 51' 26"W
L: 7	N29° 19' 26"E	62.77'	C: 7	57.50'	2° 54' 05"	1135.50'	57.49	S75° 32' 26"W
L: 8	S56° 28' 54"E	299.96'	C: 8	307.68'	16° 33' 38"	1064.50'	306.61	N82° 22' 13"E
L: 9	N2° 21' 03"W	34.50'	C: 9	18.12'	0° 59' 07"	1053.50'	18.12	S88° 51' 27"E
L: 10	S74° 05' 24"W	115.85'	C: 10	172.67'	34° 06' 50"	290.00'	170.13	S46° 22' 51"W
L: 11	S74° 05' 24"W	23.47'	C: 11	71.05'	45° 14' 02"	90.00'	69.22	S6° 42' 25"W
L: 12	N0° 42' 15"E	11.00'						
L: 13	N4° 12' 57"E	48.16'						
L: 14	N3° 22' 44"W	22.70'						
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L: 16	N36° 31' 13"W	142.37'						
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Item	SITE DATA TABLE		
	Square Footage	Surface Material	% of Gross Site
Gross Site Area Including ROW	152,643	Varies	100
ROW	6,107	Varies	4
Tract A	68,520	Varies	45
Tract B	78,016	Varies	51
Landscape Area Total	102,689	Varies	67
Sod Area	8,264	Sod	5
Seeded Area (Does not include MHFD seed area)	20,025	Seed	13
MHFD Seed	56,425	MHFD Seed	37
Planting Bed Area	20,450	Wood Mulch	12
Hardscape Area Total	28,488	Varies	19
Concrete Area	20,800	Concrete	14
Cobble Area	2,020	Cobble	1
Decomposed Granite Area	2,906	Decomposed Granite	2
Safety Surface Area	2,762	Playground Surfacing	2
Retaining Wall Linear Feet	1,200 LF	Cast in Place & Rosetta Outcrop	N/A
Edger Linear Feet	1,100 LF	Steel	N/A
Structure Footprint Pavilions 15'x50'	70	Steel	N/A
Structure Footprint Restroom 10'x10'	100	Steel	N/A
Bridge Deck Area	APPX 1900	Concrete	N/A
Bicycle Space Provided	5 Spaces	Aluminum	N/A

NOTE:
1. THE SIDEWALKS SHALL BE MAINTAINED BY THE RAMPART RANGE METROPOLITAN DISTRICT NO. 5.



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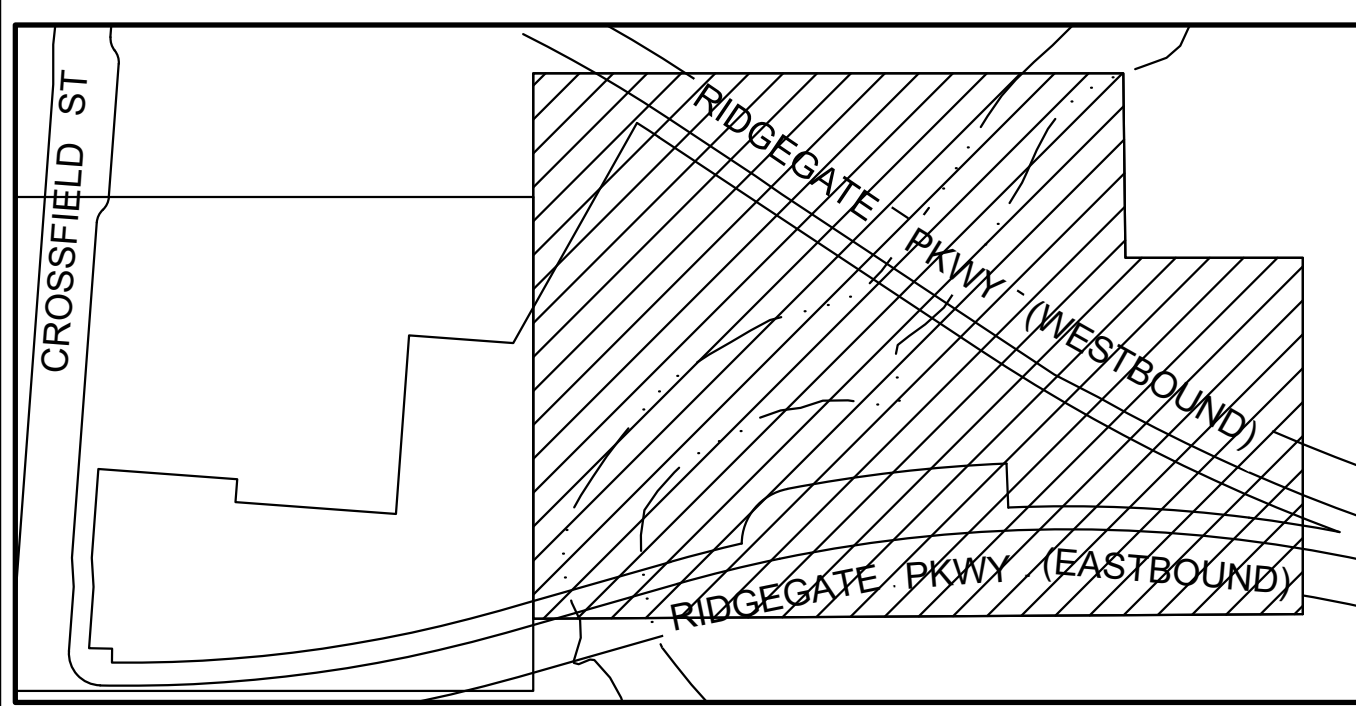
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07/12/2024 • 1st SUBMITTAL - R1
09/23/2024 • 2nd SUBMITTAL

SITE
PLAN

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
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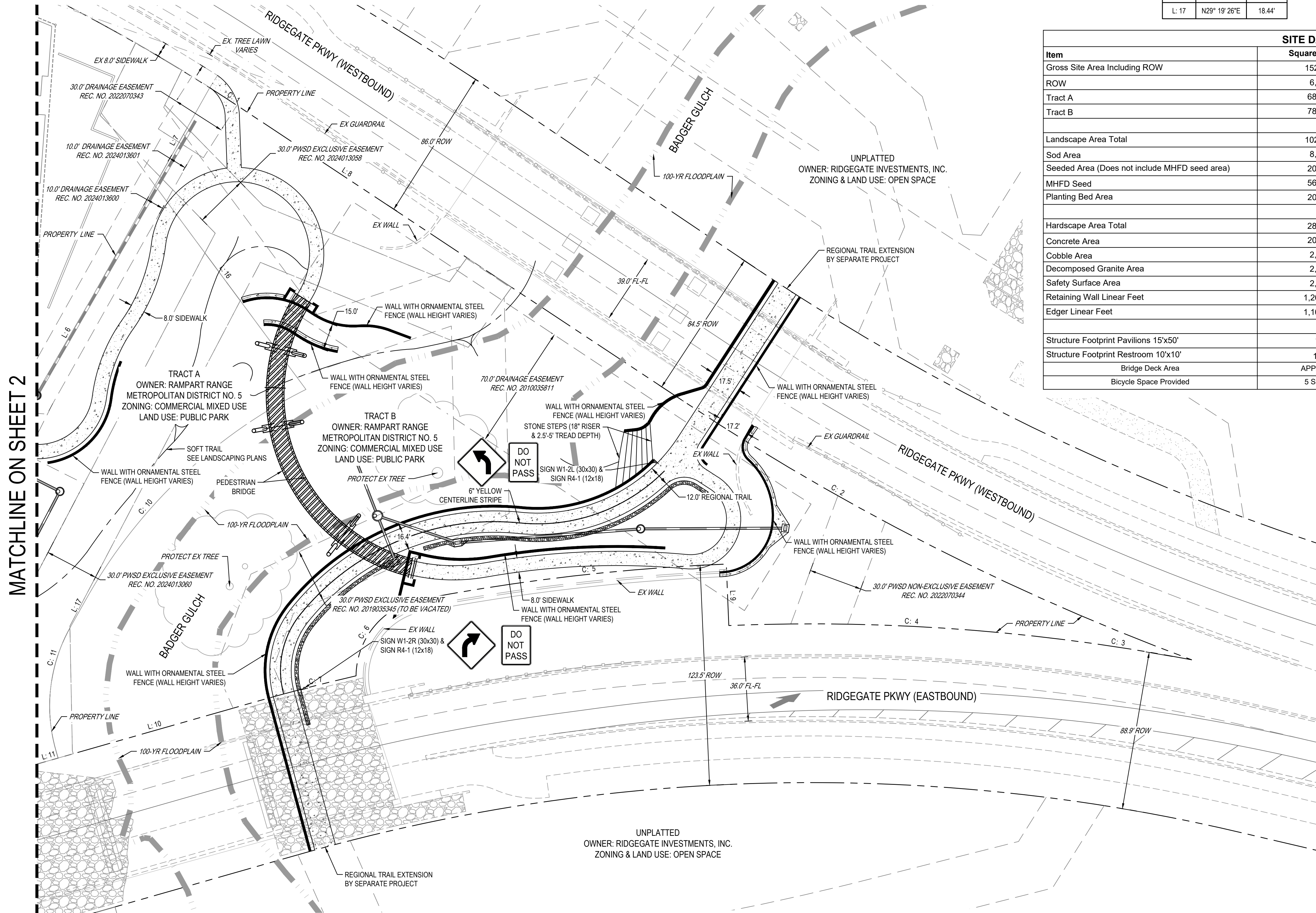
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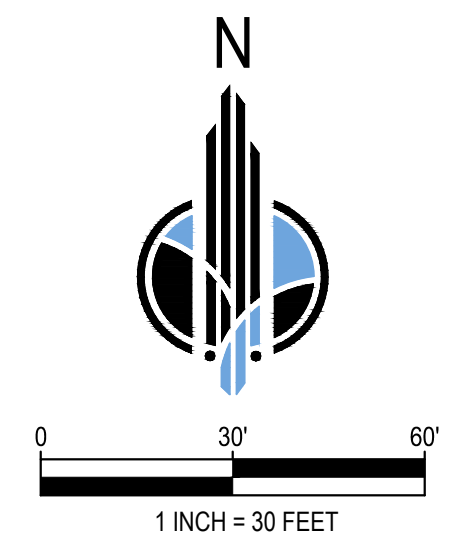
MATCHLINE ON SHEET 2

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Rampart Range Metro District
Lonetree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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SITE PLAN

Badger Gulch Park

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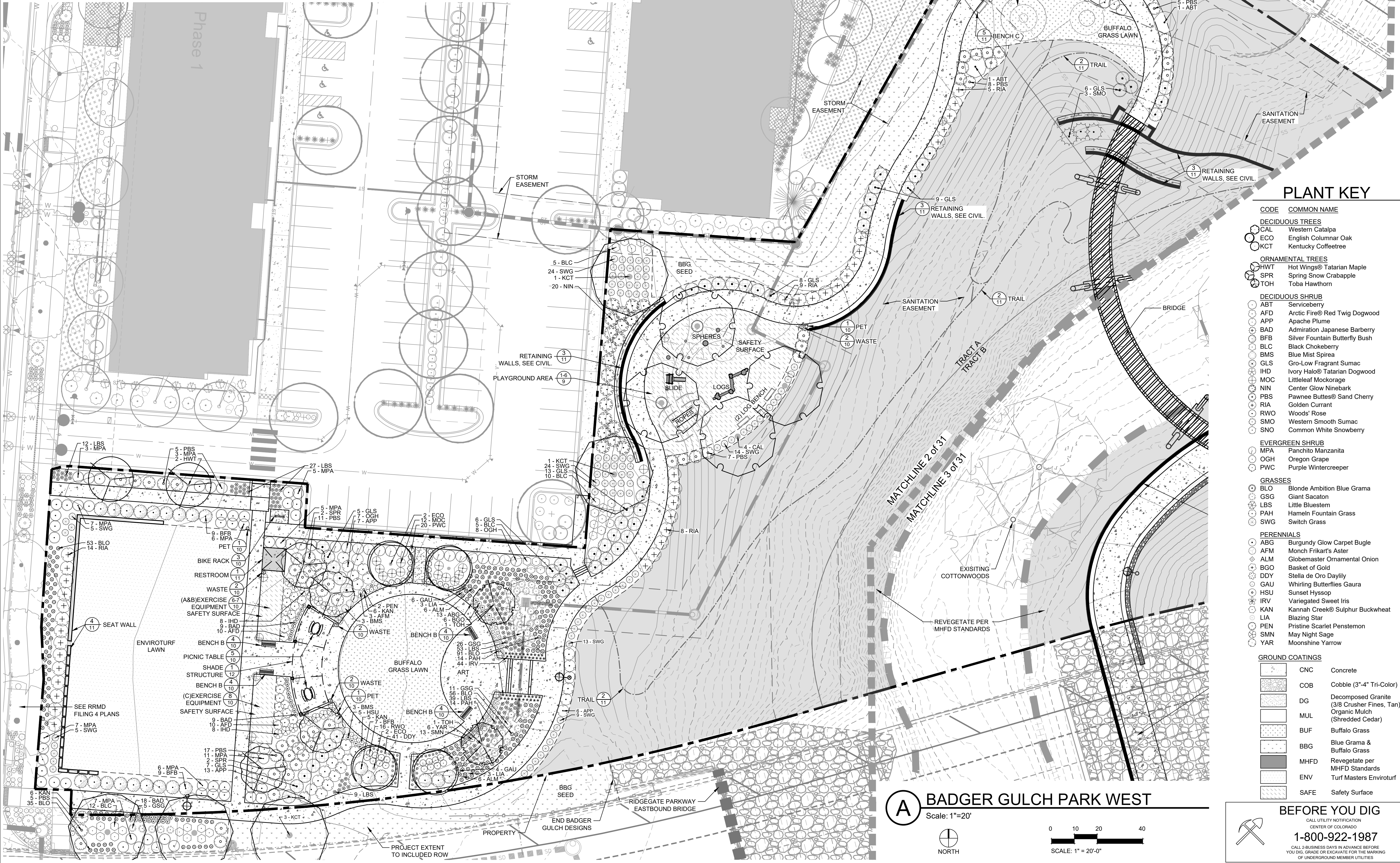
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CITY LANDSCAPING NOTES:

- All plants installed shall follow the plant schedule, installation instructions and the landscape drawings on the approved landscape plan included in this Site Improvement Plan. Any changes to the approved landscape plan, to include plant substitutions, must be approved by the City in advance of installation.
- All mulch and/or rock cobble shall be installed and maintained to the depth(s) provided on the approved landscape plan included in this Site Improvement Plan. Organic mulch shall not be placed within six (6) feet of storm inlets.
- The use of impermeable sheet plastic as a weed barrier is prohibited.



KEY MAP



PLANT KEY

CODE	COMMON NAME
DECIDUOUS TREES	
CAL	Western Catalpa
ECO	English Columnar Oak
KCT	Kentucky Coffeetree
ORNAMENTAL TREES	
HWT	Hot Wings® Tatarian Maple
SPR	Spring Snow Crabapple
TOH	Toba Hawthorn
DECIDUOUS SHRUB	
ABT	Serviceberry
AFD	Arctic Fire® Red Twig Dogwood
APP	Apache Plume
BAD	Admiration Japanese Barberry
BFB	Silver Fountain Butterfly Bush
BLC	Black Chokeberry
BMS	Blue Mist Spirea
GLS	Gro-Low Fragrant Sumac
IHD	Ivory Halo® Tatarian Dogwood
MOC	Littleleaf Mockorange
NIN	Center Glow Ninebark
PBS	Pawnee Buttes® Sand Cherry
RIA	Golden Currant
RWO	Woods' Rose
SNO	Western Smooth Sumac
SNO	Common White Snowberry
EVERGREEN SHRUB	
MPA	Panchito Manzanita
OGH	Oregon Grape
PWC	Purple Wintercreeper
GRASSES	
BLO	Blonde Ambition Blue Grama
GSG	Giant Sacaton
LBS	Little Bluestem
PAH	Hamelin Fountain Grass
SWG	Switch Grass
PERENNIALS	
ABG	Burgundy Glow Carpet Bugle
AFM	Monch Frikart's Aster
ALM	Globemaster Ornamental Onion
BGO	Basket of Gold
DDY	Stella de Oro Daylily
GAU	Whirling Butterflies Gaura
HSU	Sunset Hyssop
IRV	Variiegated Sweet Iris
KAN	Kannah Creek® Sulphur Buckwheat
LIA	Blazing Star
PEN	Pristine Scarlet Penstemon
SMN	May Night Sage
YAR	Moonshine Yarrow

GROUND COATINGS	
CNC	Concrete
COB	Cobble (3"-4" Tri-Color)
DG	Decomposed Granite (3/8 Crusher Fines, Tan)
MUL	Organic Mulch (Shredded Cedar)
BUF	Buffalo Grass
BBG	Blue Grama & Buffalo Grass
MHFD	Revegetate per MHFD Standards
ENV	Turf Masters Enviro turf
SAFE	Safety Surface

BEFORE YOU DIG
CALL UTILITY NOTIFICATION
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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

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PLANTING PLAN
WEST

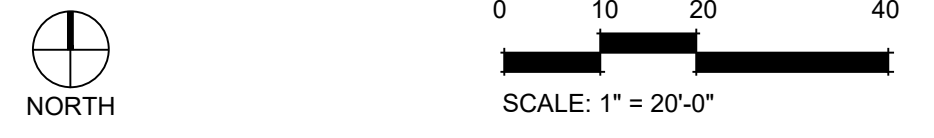


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USER: Richard Martin
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A BADGER GULCH PARK WEST
Scale: 1"=20'



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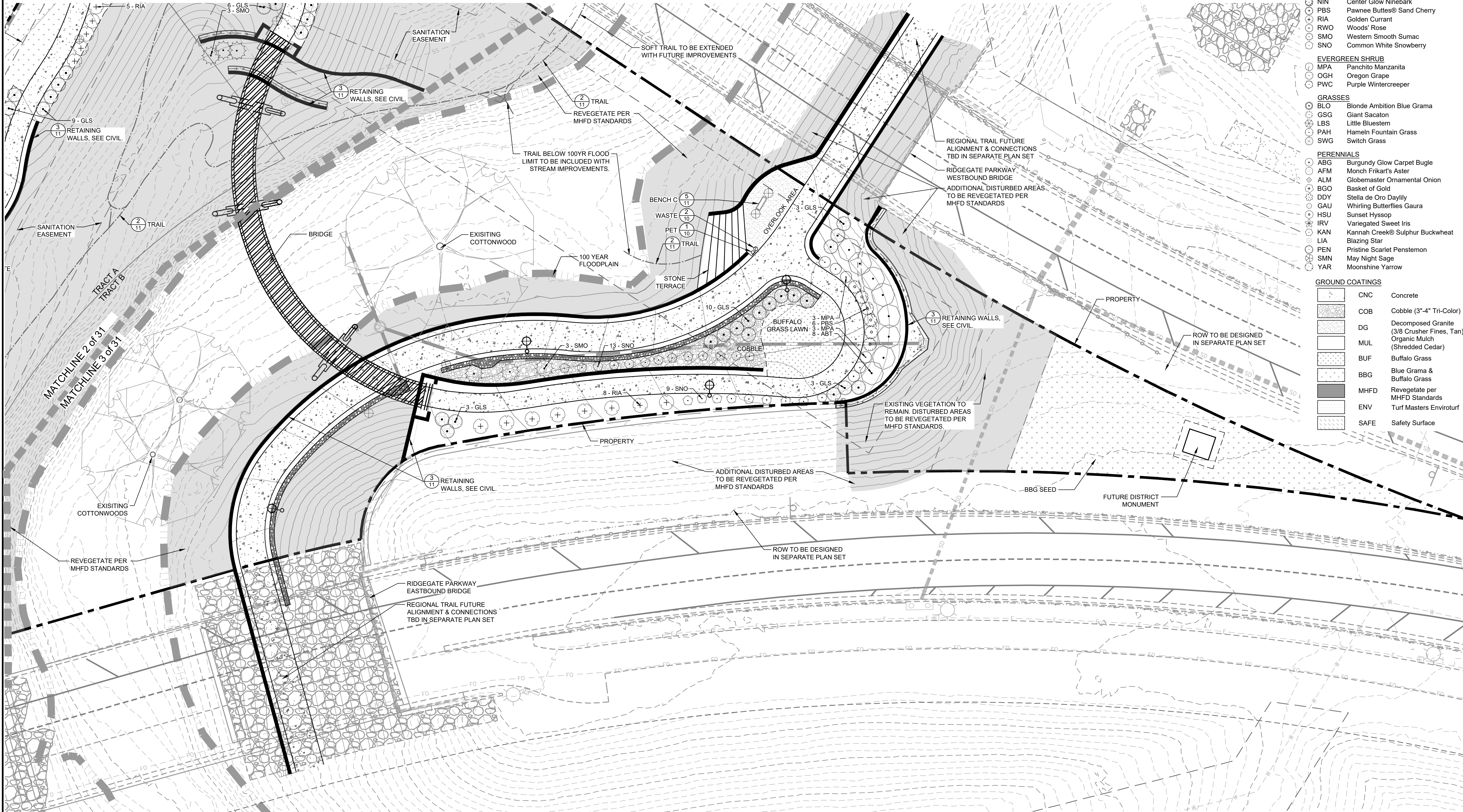


KEY MAP

PLANT KEY

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KCT	Kentucky Coffeetree
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HWT	Hot Wings® Tatarian Maple
SPR	Spring Snow Crabapple
TOH	Toba Hawthorn
DECIDUOUS SHRUB	
ABT	Serviceberry
AFD	Arctic Fire® Red Twig Dogwood
APP	Apache Plume
BAD	Admiration Japanese Barberry
BFB	Silver Fountain Butterfly Bush
BLC	Black Chokeberry
BMS	Blue Mist Spirea
GLS	Gro-Low Fragrant Sumac
IHD	Ivory Halo® Tatarian Dogwood
LMO	Littleleaf Mockorange
NIN	Center Glow Ninebark
PBS	Pawnee Buttes® Sand Cherry
RIA	Golden Currant
RWO	Woods' Rose
SNO	Western Smooth Sumac
SNT	Common White Snowberry
EVERGREEN SHRUB	
MPA	Panchito Manzanita
OGH	Oregon Grape
PWC	Purple Wintercreeper
GRASSES	
BLO	Blonde Ambition Blue Grama
GSG	Giant Sacaton
LBS	Little Bluestem
PAH	Hamelin Fountain Grass
SWG	Switch Grass
PERENNIALS	
ABG	Burgundy Glow Carpet Bugle
AFM	Monch Frikart's Aster
ALM	Globemaster Ornamental Onion
BGO	Basket of Gold
DDY	Stella de Oro Daylily
GAU	Whirling Butterflies Gaura
HSU	Sunset Hyssop
IRV	Variegated Sweet Iris
KAN	Kannah Creek® Sulphur Buckwheat
LIA	Blazing Star
PEN	Pristine Scarlet Penstemon
SMN	May Night Sage
YAR	Moonshine Yarrow

GROUND COATINGS	
CNC	Concrete
COB	Cobble (3"-4" Tri-Color)
DG	Decomposed Granite (3/8 Crusher Fines, Tan)
MUL	Organic Mulch (Shredded Cedar)
BUF	Buffalo Grass
BBG	Blue Grama & Buffalo Grass
MHFD	Revegetate per MHFD Standards
ENV	Turf Masters EnviroTurf
SAFE	Safety Surface



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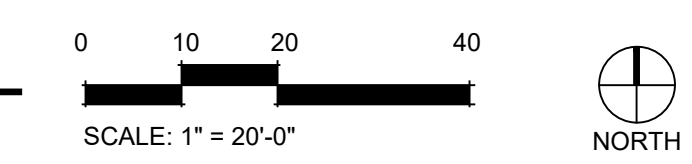
RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lonetree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
05/09/2024 • 1st SUBMITTAL
COMPLETENESS REVIEW
06/28/2024 • 1st SUBMITTAL
07/12/2024 • 1st SUBMITTAL - R1
09/23/2024 • 2nd SUBMITTAL

PLANTING PLAN
EAST

B BADGER GULCH EAST
Scale: 1"=20'



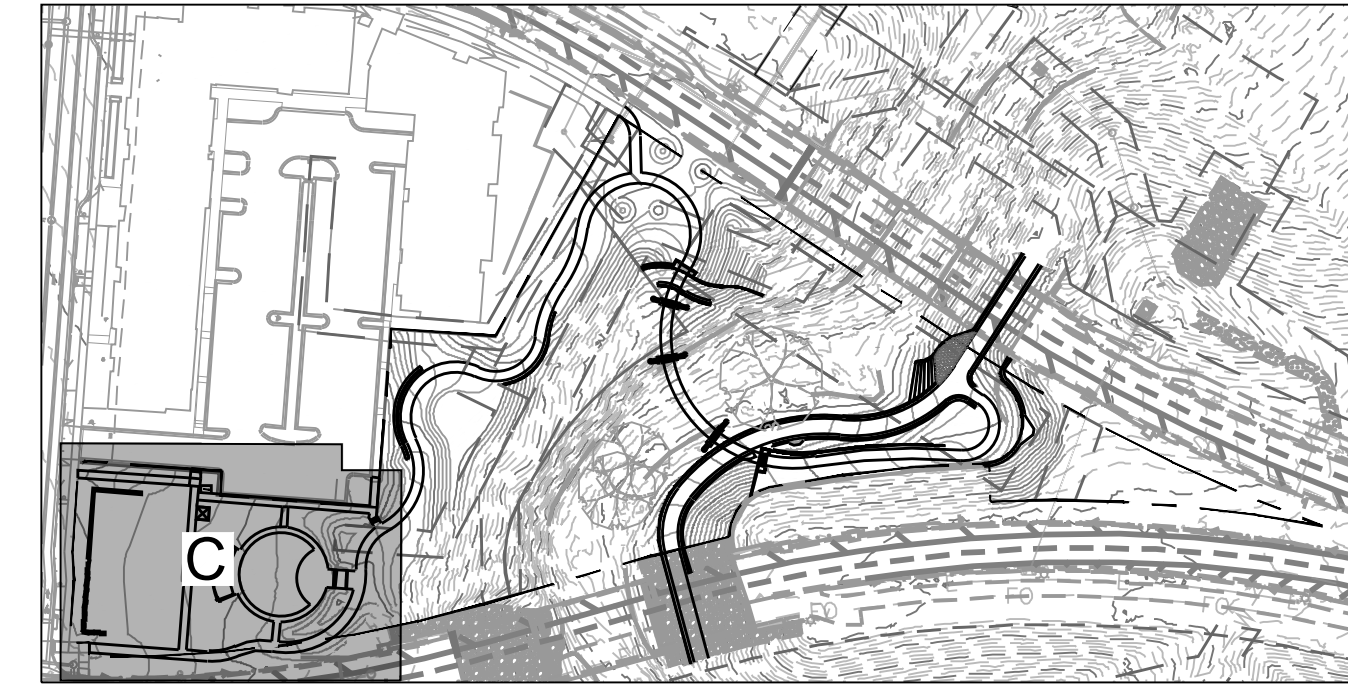
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USER: Richard Martin
PLOT DATE: 09/22/2024 9:41 PM

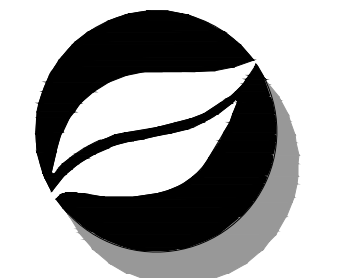
Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

3.36 ACRES
SP24-0016



KEY MAP

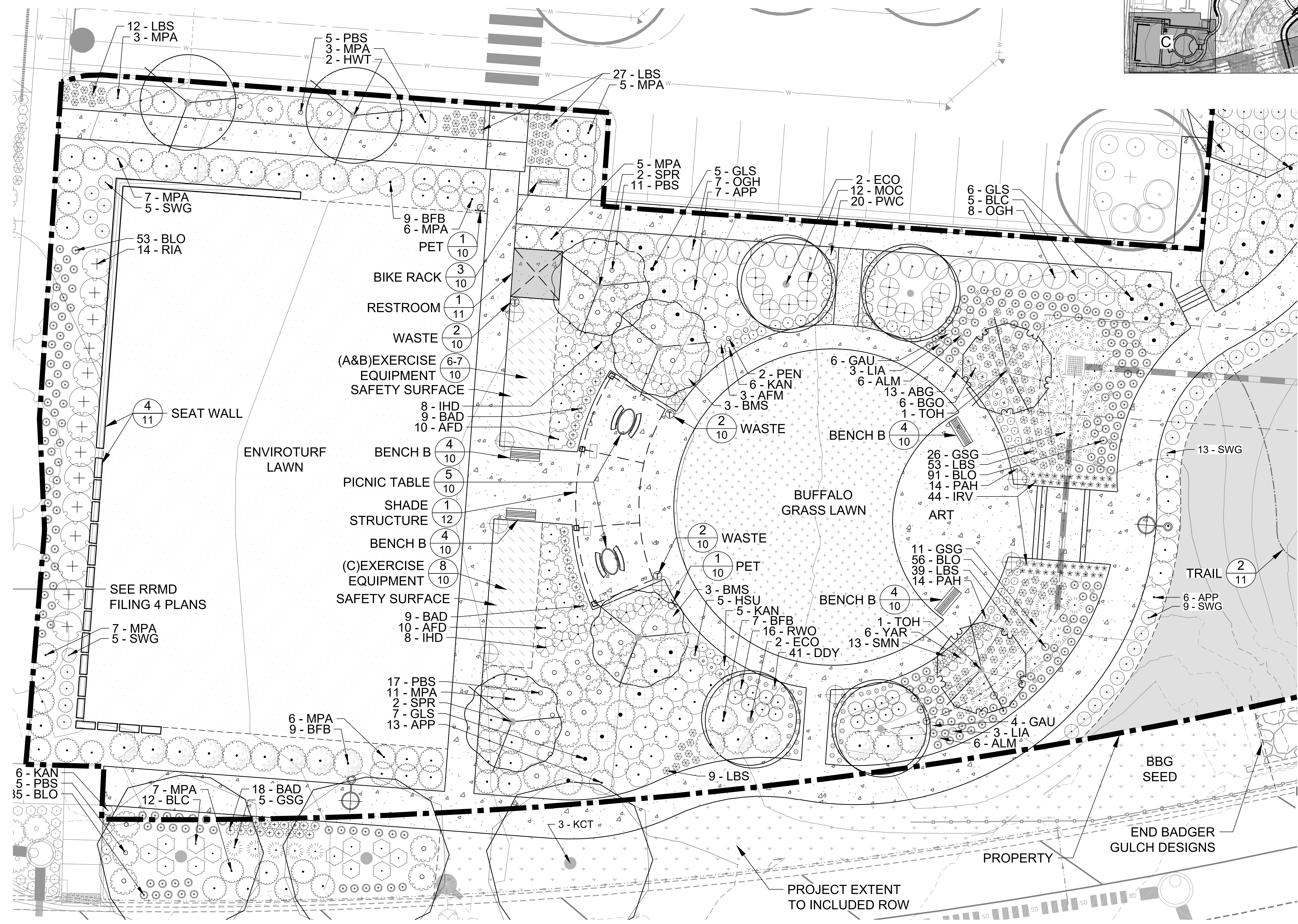


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PLANT KEY

CODE	COMMON NAME
DECIDUOUS TREES	
CAL	Western Catalpa
ECO	English Columnar Oak
KCT	Kentucky Coffeetree
ORNAMENTAL TREES	
HWT	Hot Wings® Tatarian Maple
SPR	Spring Snow Crabapple
TOH	Toba Hawthorn
DECIDUOUS SHRUB	
ABT	Serviceberry
AFD	Arctic Fire® Red Twig Dogwood
APP	Apache Plume
BAD	Admiration Japanese Barberry
BFB	Silver Fountain Butterfly Bush
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HSU	Sunset Hyssop
IRV	Variegated Sweet Iris
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LIA	Blazing Star
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MHFD	Revegetate per MHFD Standards
ENV	Turf Masters EnviroTurf
SAFE	Safety Surface

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lonetree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:

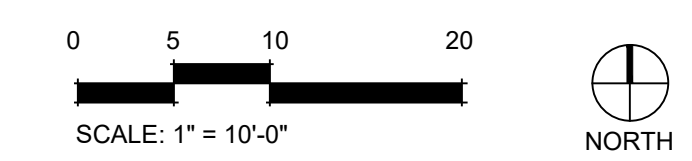
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06/28/2024	1st SUBMITTAL
07/12/2024	1st SUBMITTAL - R1
09/23/2024	2nd SUBMITTAL

PARK
ENLARGEMENT

PLOT DATE: 09/22/2024 9:41 PM

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USER: Richard Martin

C ENLARGEMENT
Scale: 1"=10'

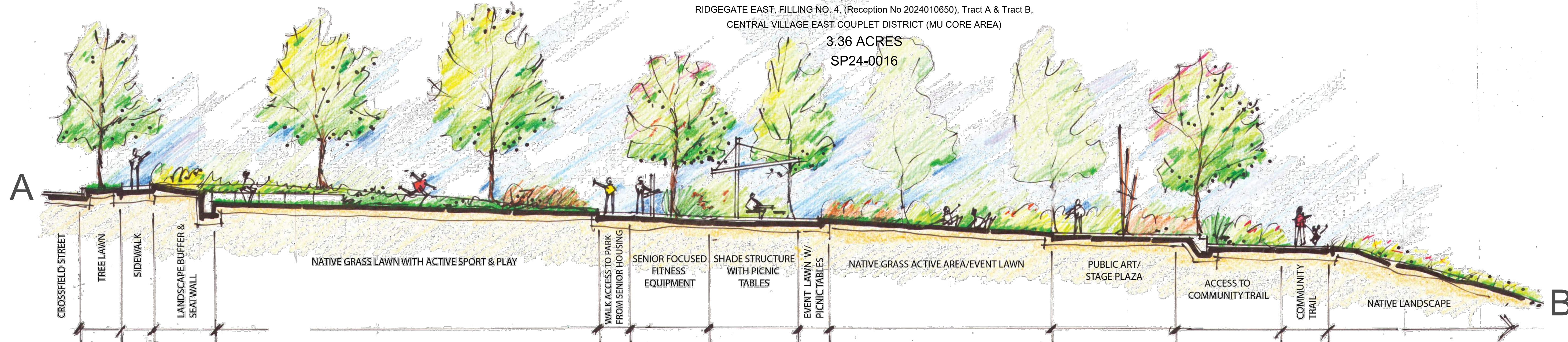


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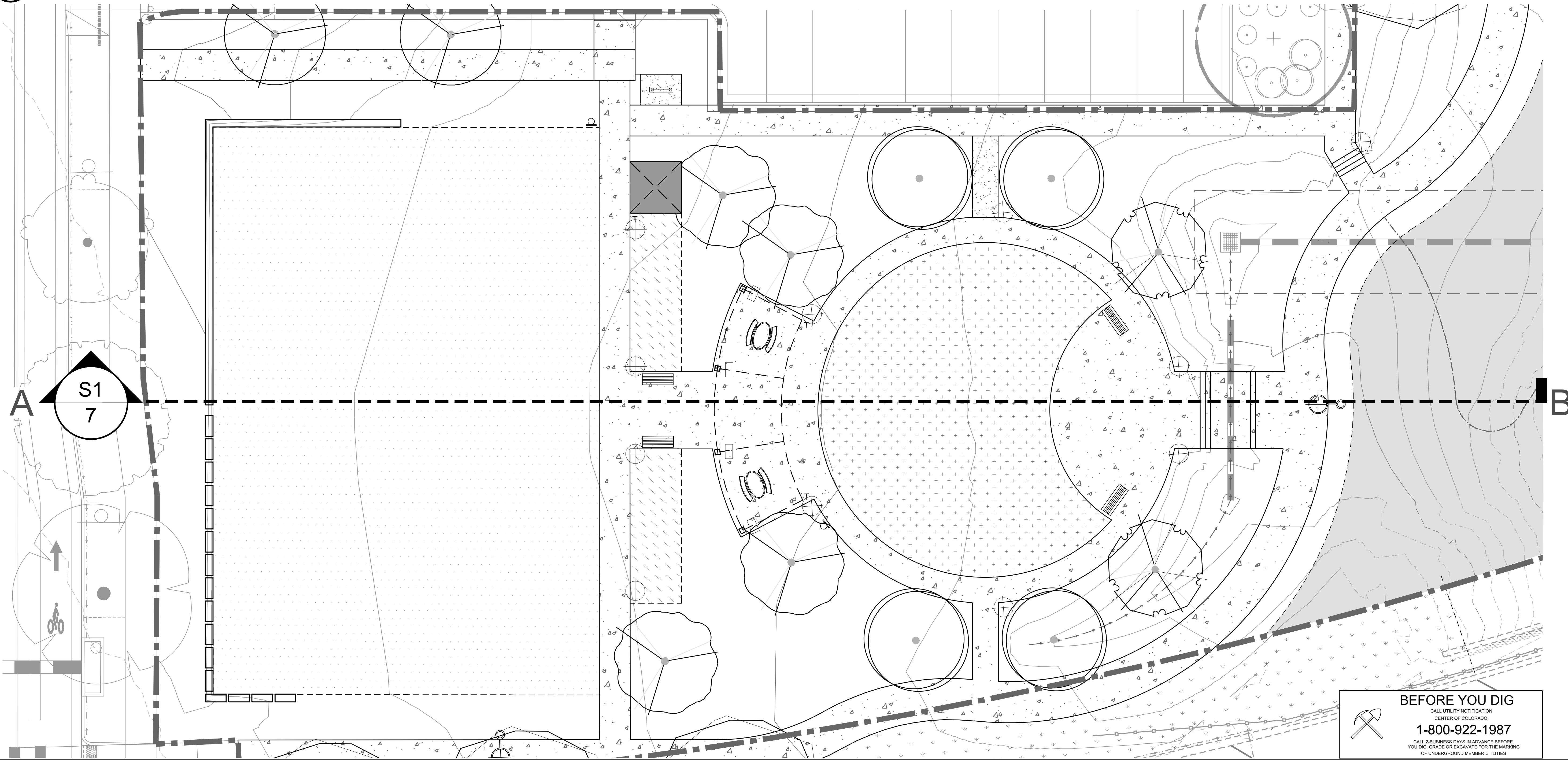
Badger Gulch Park

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3.36 ACRES
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S1 PARK SECTION
Scale: 1"=10'




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RIDGEGATE EAST, FILING NO 4
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LoneTree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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06/28/2024	• 1st SUBMITTAL
07/12/2024	• 1st SUBMITTAL - R1
09/23/2024	• 2nd SUBMITTAL

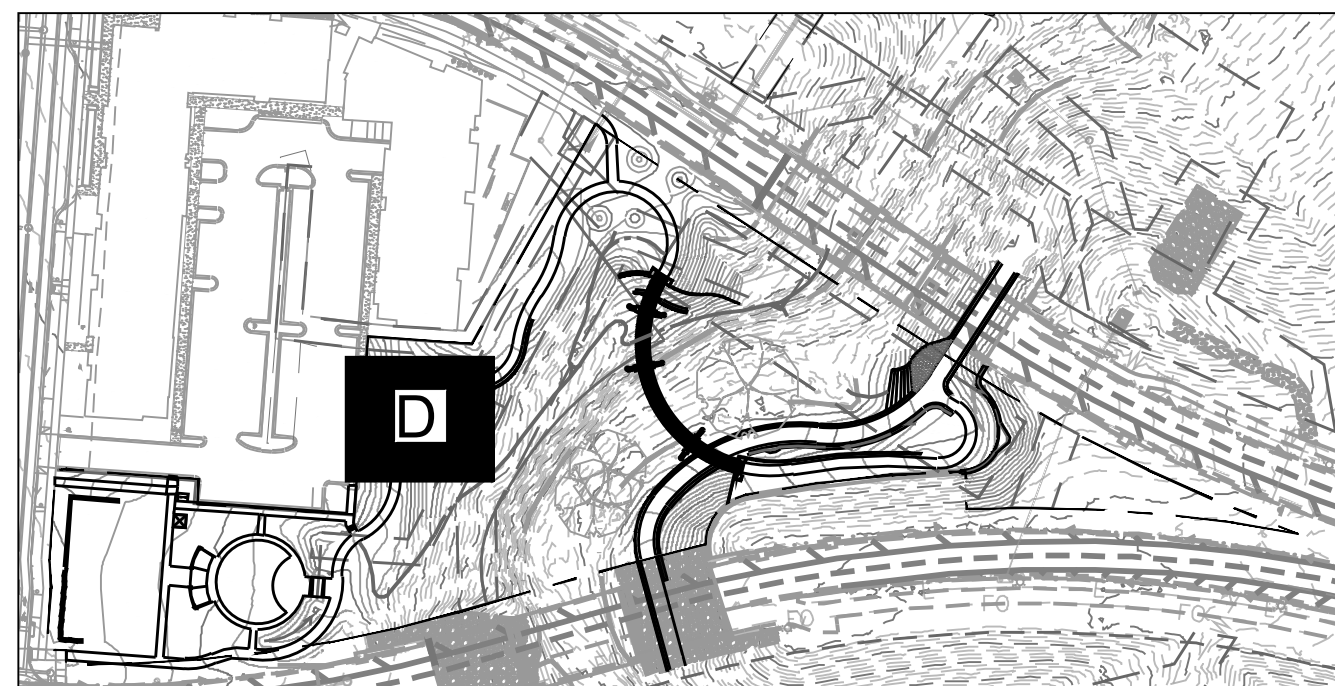
PARK SECTION

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PLOT DATE: 09/22/2024 9:41 PM

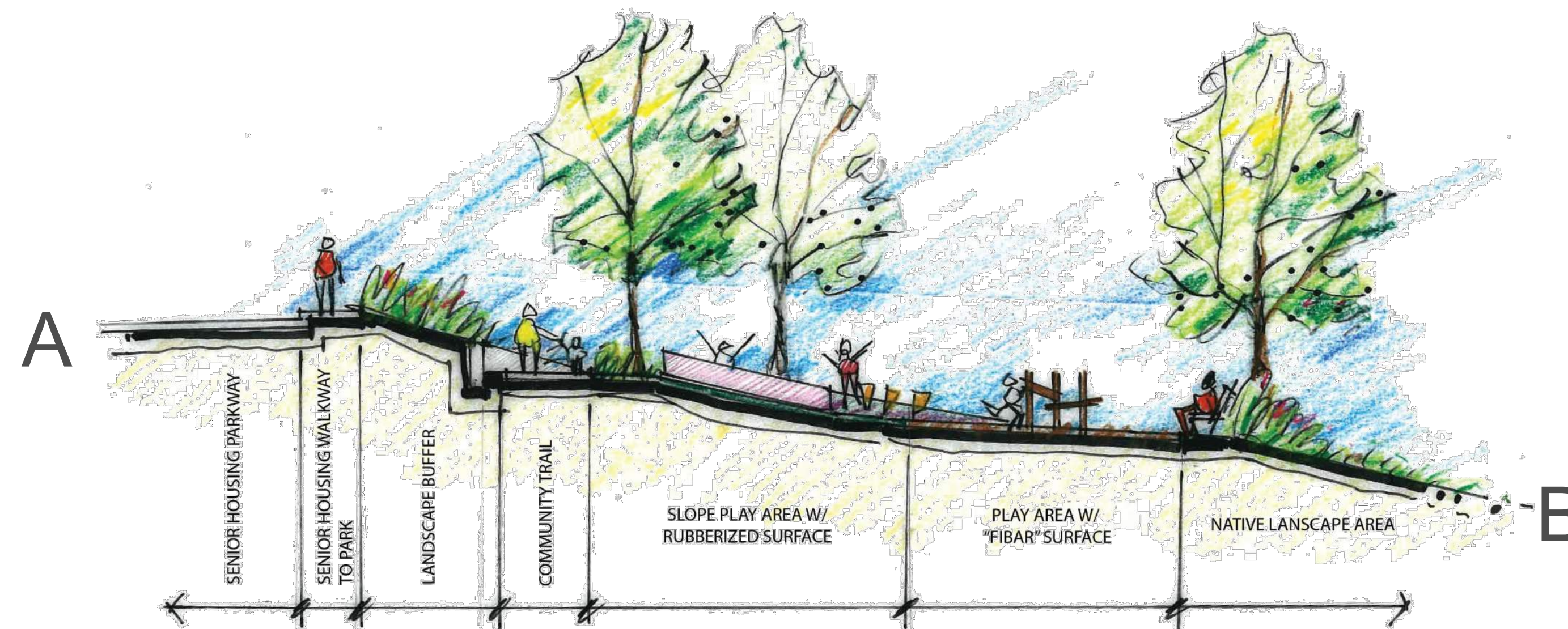
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Badger Gulch Park

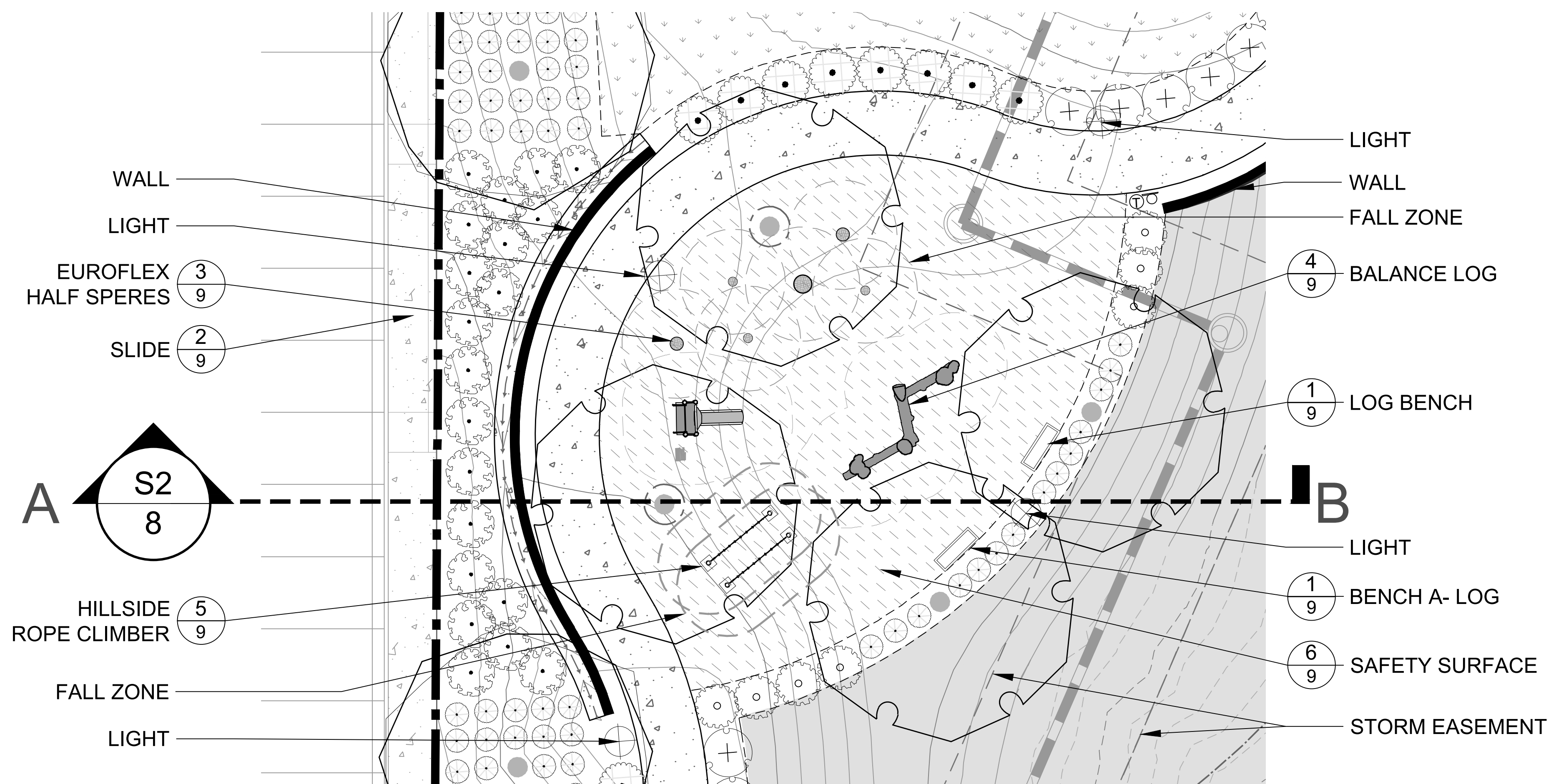
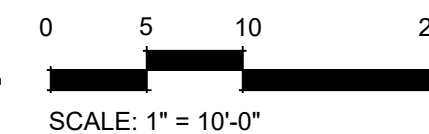
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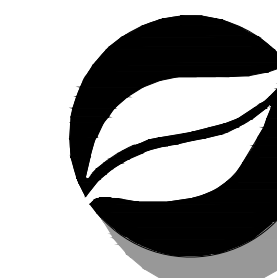
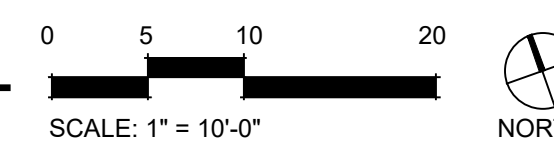
KEY MAP



S2 PLAYGROUND SECTION
Scale: 1"=10'



D PLAYGROUND ENLARGEMENT
Scale: 1"=10'



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RIDGEGATE EAST, FILING NO 4
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BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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PLAYGROUND
ENLARGEMENT
& SECTION

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

3.36 ACRES
SP24-0016



PRODUCT: CEDAR BENCH 6'
SKU: NP-SF004
QUANTITY: 2
FINISH: NATURAL
COLOR: NATURAL
SIZE: 6' x 2'-3" x 1'-6"
MANUFACTURER: DYNAMO PLAYGROUNDS
WEBSITE: WWW.DYNAMOPLAYGROUNDS.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM

1 BENCH A - LOG
Scale: NTS



PRODUCT: HILL SLIDE
SKU: DC-200412
QUANTITY: 1
AGE: 2-12
ADA: YES
COLOR SCHEME: NATURAL
SIZE: 3' ELEVATION, ADJUSTABLE TO SLOPE
MANUFACTURER: LITTLE TIKES COMMERCIAL
WEBSITE: LITTLETIKESCOMMERCIAL.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM

2 SLIDE
Scale: NTS



CAN BE MOUNTED ON SLOPES
PRODUCT: HALF EUROFLEX BALLS
AGE: 2+
ADA: YES
MOUNT: EMBEDDED
SIZE | QUANTITY | COLOR
SMALL (3) BRIGHT YELLOW (RAL 1012)
MEDIUM (2) EGGSHELL (RAL1015)
LARGE (1) BRIGHT ORANGE (RAL 2008)

MANUFACTURER: GORIC
WEBSITE: WWW.GORIC.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM

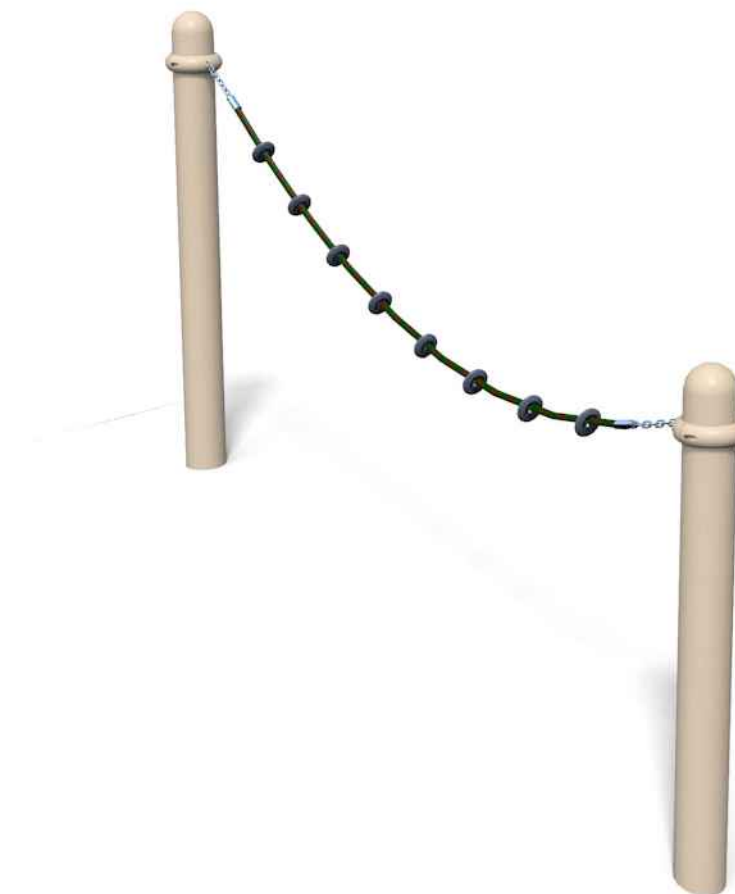
3 EUROFLEX HALF SPHERES
Scale: NTS



PRODUCT: LOG BALANCE COURSE
QUANTITY: 1
AGE: 5-12
ADA: TACTILE
SKU: NP-AP015
COLOR: NATURAL
SIZE: 19'-8 1/4" x 6'-2" x 3' 6 7/8"
MANUFACTURER: DYNAMO PLAYGROUNDS

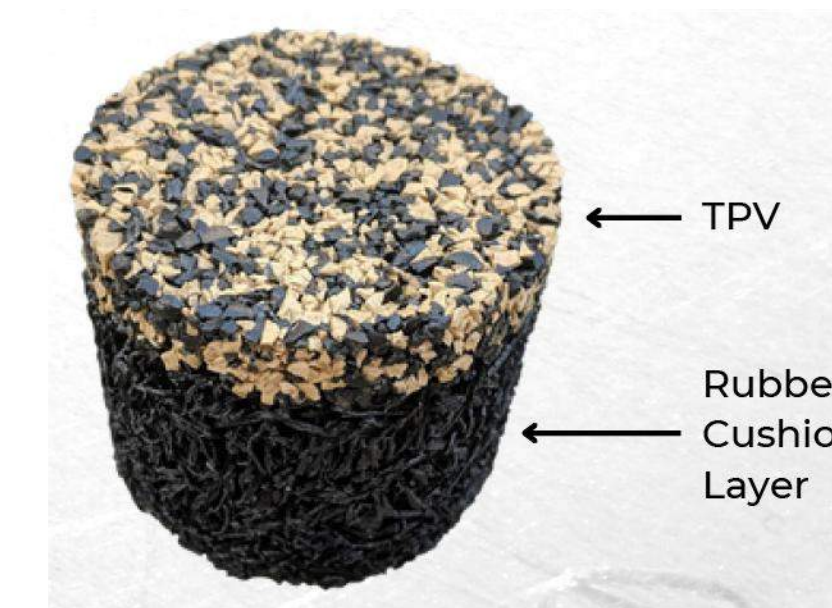
WEBSITE: WWW.DYNAMOPLAYGROUNDS.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM

4 BALANCE LOG
Scale: NTS



PRODUCT: HILLSIDE ROPE CLIMBER
SKU: DC-200412
QUANTITY: 2
AGE: 5-12
ADA: YES
COLOR: NATURAL
SIZE: 1' W x 12' L x 2' T
MANUFACTURER: DYNAMO PLAYGROUNDS
WEBSITE: DYNAMOPLAYGROUNDS.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM

5 HILLSIDE ROPE CLIMBER
Scale: NTS

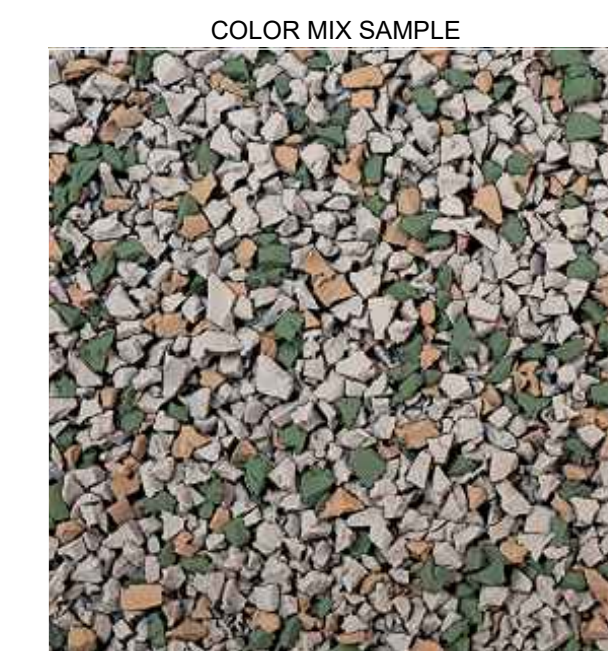


PRODUCT: FIBAR PIP RUBBER
TYPE: FLEXGROUND TPV GRANULES
AGE: ALL
ADA: YES. WHEELCHAIR ACCESSIBLE
& IPEMA CERTIFIED

FINISH: SMOOTH
DEPTH: 3IN FOR 6FT FALL HEIGHT
COLOR MIX:
70% CREAM RH31
15% STANDARD BEIGE RH30
15% STANDARD GREEN RH10

MANUFACTURER: FIBAR
WEBSITE: WWW.FIBAR.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS,
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6 SAFETY PLAY SURFACE
Scale: NTS




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BADGER GULCH PARK
SITE IMPROVEMENT PLAN

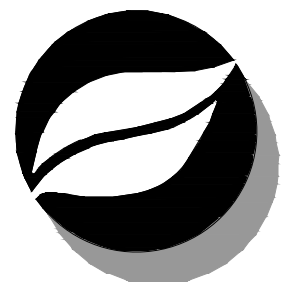
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PLAYGROUND
DETAILS

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

3.36 ACRES
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**SITE FURNISHINGS
& EXERCISE
EQUIPMENT**



1 DOG WASTE STATION
Scale: NTS

PRODUCT: DOG WASTE STATION W/ ONEPUL®
QUANTITY: 4
BAG SYSTEM - DEPOT- 022-B
COLOR: GREEN
MOUNT: IN-GROUND
WEBSITE: WWW.DOGWASTEDEPOT.COM



2 WASTE RECEPTACLES
Scale: NTS

PRODUCT: CHASE PARK LITTER - SIDE OPENING
QUANTITY: 5
FINISH: POWDER COATED METALLIC
COLOR: TITANIUM
SIZE: 24" X 39" X 36 GAL.
MANUFACTURER: LANDSCAPE FORMS
WEBSITE: WWW.LANDSCAPEFORMS.COM



3 ROLLING BIKE RACK
Scale: NTS

INFO:
PRODUCT: ROUND TUBE WAVE BIKE RACK
QUANTITY: 1
MODEL: CBBR-5UR-BK (ACCOMMODATES 5 BIKES)
FINISH: POWDERCOAT BLACK
INSTALLATION: SURFACE MOUNTED.
SIZE: 36" T x 2.5" OD x 63" L
MANUFACTURER: BELSON OUTDOORS
WEBSITE: BELSON.COM



4 BENCH B - BACKLESS WITH SKATE STOP
Scale: NTS

PRODUCT: PARC VUE BENCH
BACKLESS - NO ARMS - WITH SKATE STOP
FINISH: POWDER COATED METALLIC
COLOR: TITANIUM
SIZE: 22" X 72" X 18"
MANUFACTURER: LANDSCAPE FORMS
WEBSITE: WWW.LANDSCAPEFORMS.COM



5 PICNIC TABLE
Scale: NTS

PRODUCT: CHARLIE TABLE
TYPE: NO UMBRELLA HOLE
FINISH: POWDER COATED METALLIC
COLOR: TITANIUM
SIZE: 67" D. X 67" W. X 30" HEIGHT
MANUFACTURER: LANDSCAPE FORMS
WEBSITE: LANDSCAPEFORMS.COM
TABLE IS ADA COMPLIANT PER A117.1 SEC. 902



6 (A) EXERCISE EQUIPMENT - STATION ROW
Scale: NTS

PRODUCT: STATION ROW
SKU: 200203253
QUANTITY: 1
AGE: 14+
COLORS: SEE DETAIL 9, THIS SHEET
VINYL COATING COLOR: TAN
PLASTIC COLOR: GRAYSTONE
POLE & ACCENT COLOR: LIGHT GREY
MANUFACTURER: LITTLE TIKES COMMERCIAL
WEBSITE: LITTLETIKESCOMMERCIAL.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM
TO BE INSTALLED WITH AB BENCH ON SHARED POLE.



7 (B) EXERCISE EQUIPMENT - AB BENCH
Scale: NTS

PRODUCT: AB BENCH
SKU: 200203259
QUANTITY: 1
AGE: 14+
COLORS: SEE DETAIL 9, THIS SHEET
VINYL COATING COLOR: SAND
PLASTIC COLOR: GRAYSTONE
POLE & ACCENT COLOR: LIGHT GREY
MANUFACTURER: LITTLE TIKES COMMERCIAL
WEBSITE: LITTLETIKESCOMMERCIAL.COM
SUPPLIER: RECREATION PLUS
CONTACT: JESSE RODGERS, 303-278-1455,
JESSE@RECREATIONPLUS.COM
TO BE INSTALLED WITH STATION ROW ON SHARED POLE.



8 (C) EXERCISE EQUIPMENT
Scale: NTS

PRODUCT: TRIPLE FEATURE
DIP-LEG RAISE | ARCH LADDER | 2-STEP
SKU: FS19071098
QUANTITY: 1
AGE: 14+
COLORS: SEE DETAIL 9, THIS SHEET
VINYL COATING COLOR: SAND
PLASTIC COLOR: GRAYSTONE
POLE & ACCENT COLOR: LIGHT GREY
MANUFACTURER: LITTLE TIKES COMMERCIAL
WEBSITE: LITTLETIKESCOMMERCIAL.COM
SUPPLIER: RECREATION PLUS
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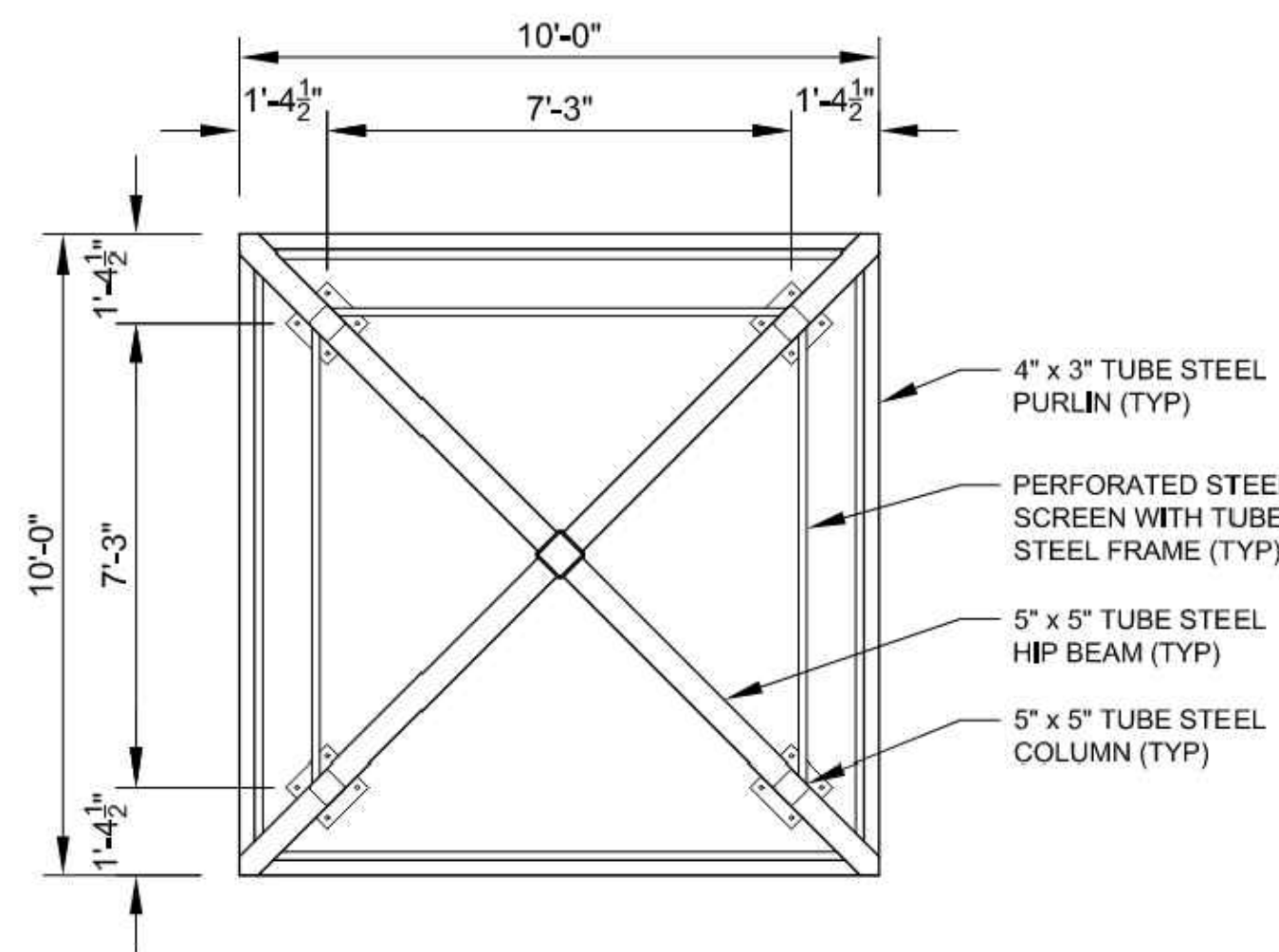
9 EXERCISE EQUIPMENT COLORS
Scale: NTS

Sand VINYL COATINGS
Graystone PLASTICS
Light Gray POLE & ACCENTS

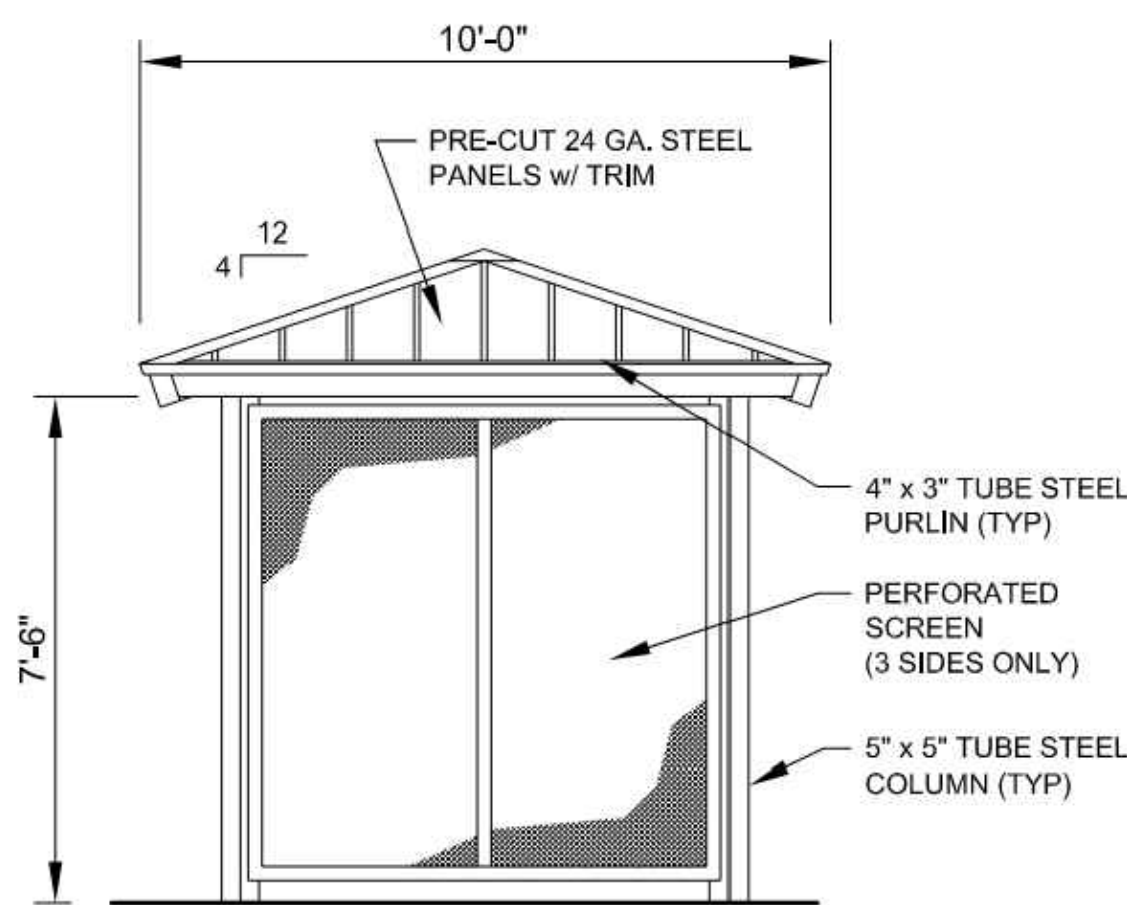
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USER: Richard Martin

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
 U CORE AREA)



FRAMING PLAN



ELEVATION



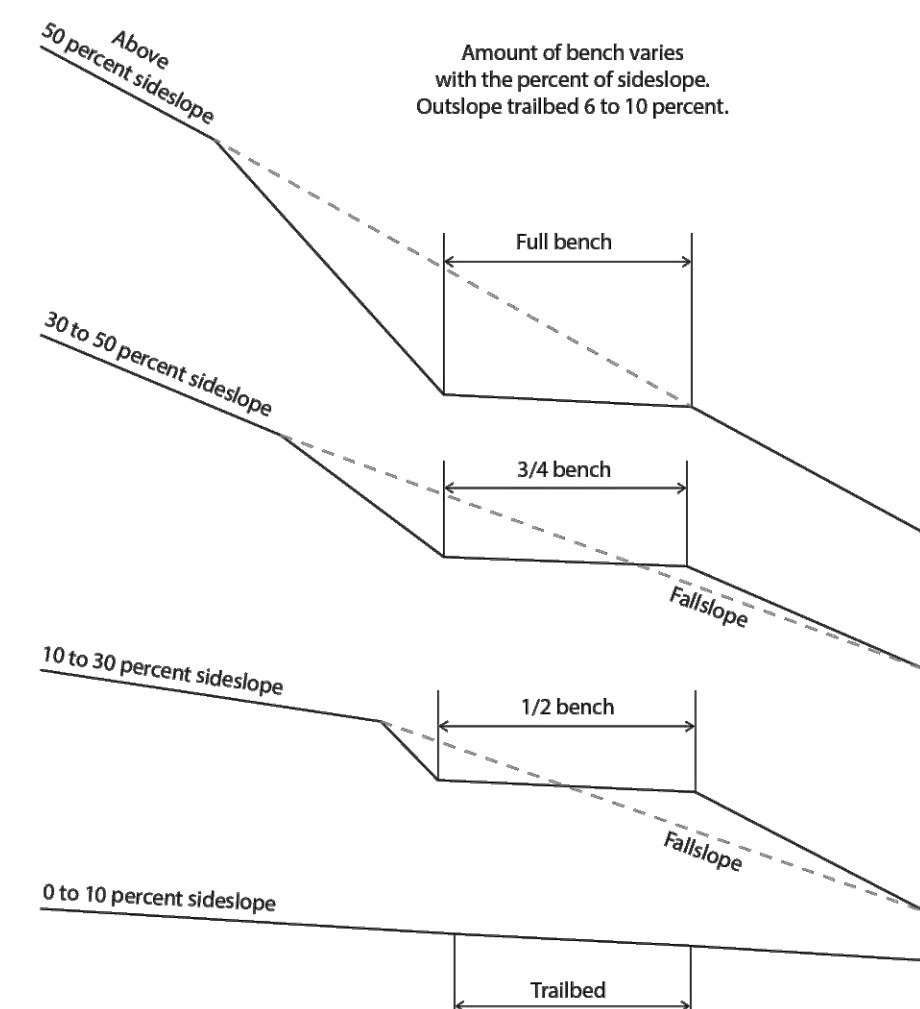
Galvalume Plus
Matte Black

INFO:
 PRODUCT: STEELWORX SQUARE PORTA ENCLASURE - 10' x 10' (ADA COMPLIANT)
 ADA PORTALET TYP. SIZE: 7'-5" T x 5'-7" W x 7'-3" D
 MODEL: SQ-10-SW-ENC
 INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS
 ROOF COLOR: GALVALUME PLUS
 STRUCTURE COLOR: MATTE BLACK
 COVERWORX RECREATIONAL ARCHITECTURE
 11800 EAST 8 MILE ROAD
 WARREN, MI 48089
 P: (586)866-1088
 W: WWW.COVERWORX.COM
 E: INFO@COVERWORX.COM

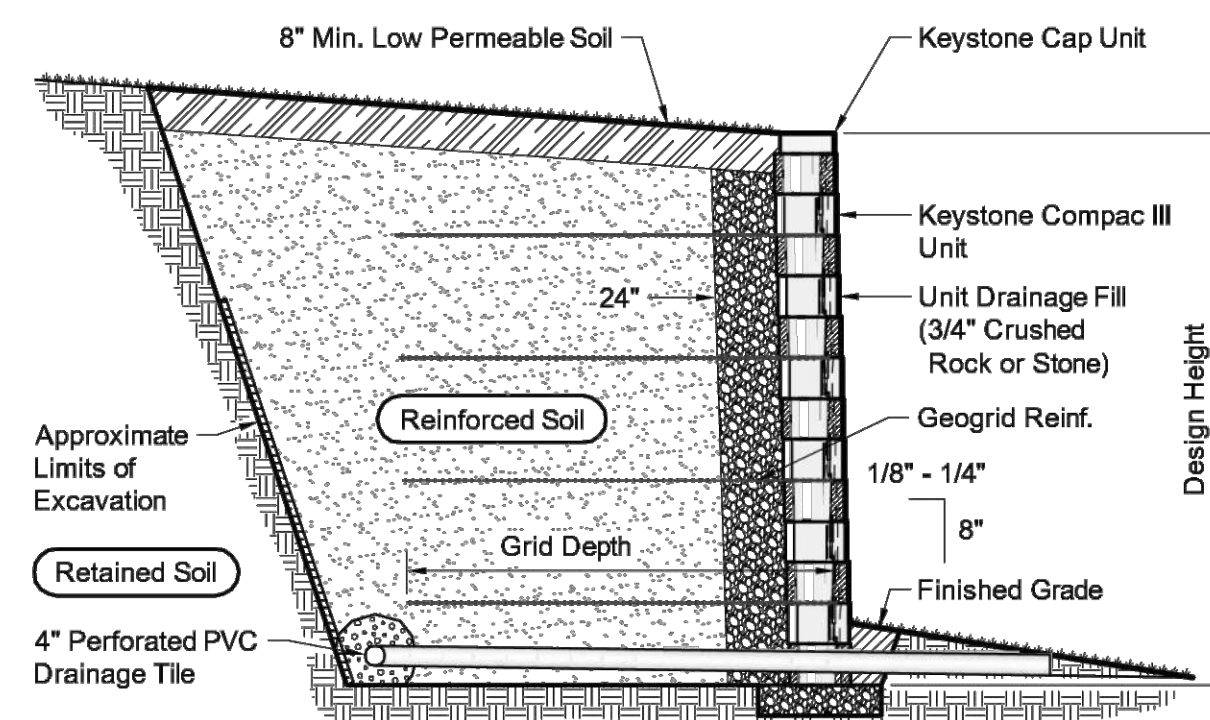
1 PORTABLE RESTROOM ENCLOSURE

Scale: NTS

Typical Trail Cross Sections



See plan for suggested Trail route.
 Final social trail locations to be determined on site by installing contractor and owner representative after all sidewalk installation, bridge installation, slope stabilization, and revegetation measures are complete to ensure effective and traversable placement with minimal disturbance. Trail width and slope will vary. ADA not required. Trail surface to be bare earth. Drainage features to be installed as needed every 100-200 linear feet.



Typical Reinforced Wall Section
 Compac III Unit - Near Vertical Setback

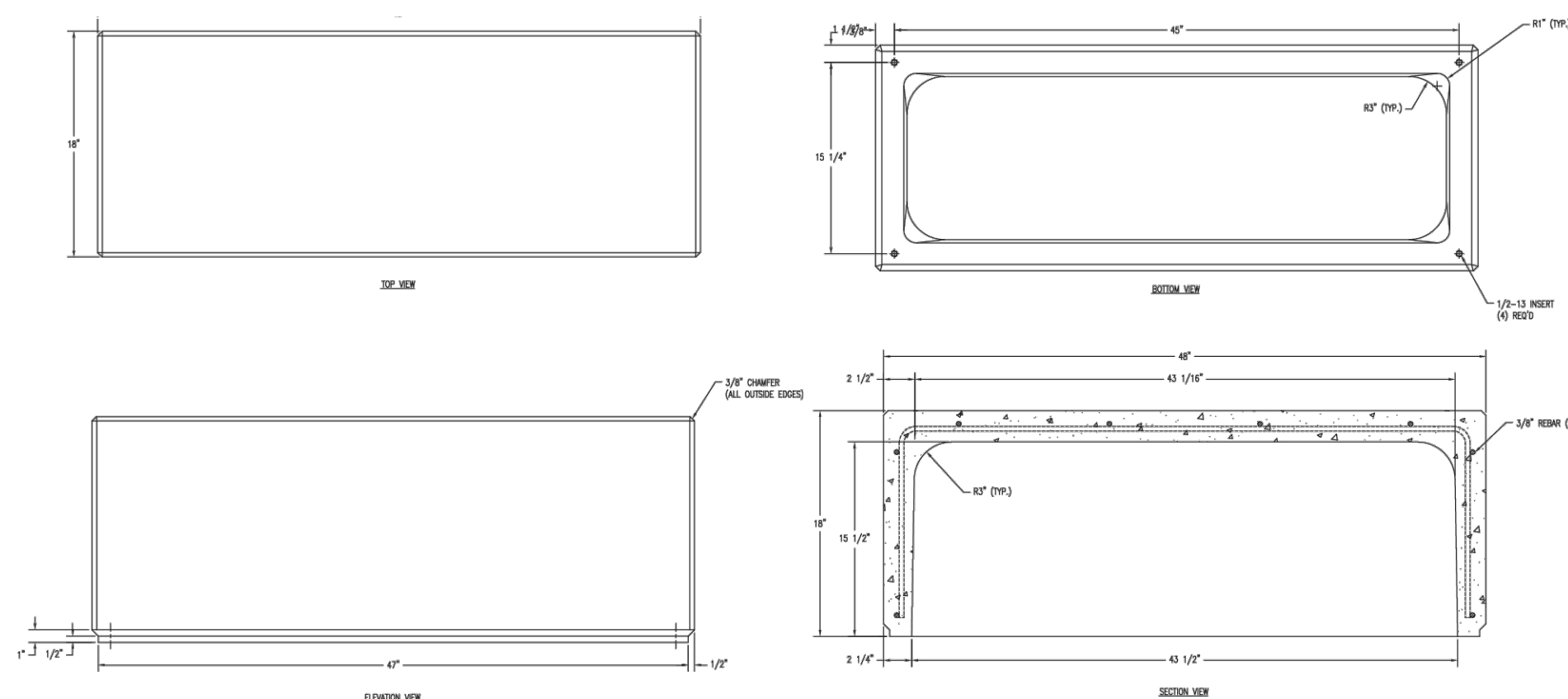
Note:
 When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

INFO:
 PRODUCT: KEYSTONE RETAINING WALL
 TYPE: COMPAC
 STYLE: STRAIGHT SPLIT
 COLOR: GREY
 SIZE: VARIES
 WEB: WWW.KEYSTONEWALLS.COM

INSTALLATION: INSTALL PER MANUFACTURERS SPECIFICATIONS
NOTE: SEE CIVIL PLANS FOR MORE INFORMATION.

2 TRAIL - BENCH CUT DETAILS

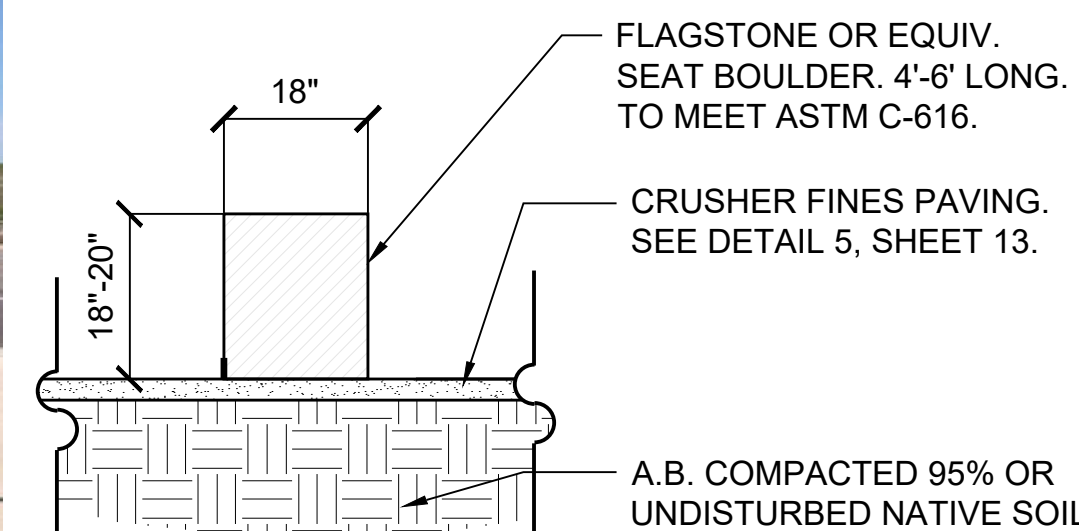
Scale: NTS



PRODUCT: CONCRETE BLOCK BENCH
 FINISH: SAND
 COLOR: ACID WASH
 SIZE: 48" L x 18" W x 18" H
 WEIGHT: 630 LBS
 MANUFACTURER: TREETOP PRODUCTS
 WEBSITE: THEBENCHFACTORY.COM

3 KEYSTONE RETAINING WALL

Scale: NTS



FLAGSTONE OR EQUIV. SEAT BOULDER. 4'-6" LONG. TO MEET ASTM C-616.

CRUSHER FINES PAVING. SEE DETAIL 5, SHEET 13.

A.B. COMPACTED 95% OR UNDISTURBED NATIVE SOIL.

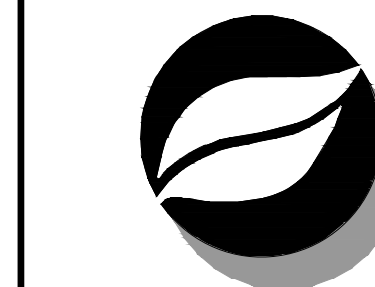
PRODUCT: NATURAL STONE BLOCK BENCH
 FINISH: CLEAVED OR SAW CUT
 COLOR: PREDOMINATELY TAN
 SIZE: 48" L x 18" W x 18" H
 SUPPLIER: TO BE CONFIRMED WITH OWNER PRIOR TO PROCUREMENT.
 TO BE WITHIN 250 MILES OF PROJECT SITE.

4 SEAT WALL - PREFAB CONCRETE BLOCKS

Scale: NTS

5 BENCH C - STONE

Scale: NTS



Consilium Design
 LAND PLANNING AND
 LANDSCAPE ARCHITECTURE

2755 SOUTH LOCUST ST,
 SUITE 236
 DENVER, CO 80222
 TEL 303.224.9520
 FAX 303.224.9524
 www.consiliumdesign.com

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NOT FOR CONSTRUCTION

RIDGEGATE EAST, FILING NO 4

Rampart Range Metro District
 Lone tree, Colorado

BADGER GULCH PARK
 SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
 05/09/2024 • 1st SUBMITTAL
 COMPLETENESS REVIEW
 06/28/2024 • 1st SUBMITTAL
 07/12/2024 • 1st SUBMITTAL - R1
 09/23/2024 • 2nd SUBMITTAL

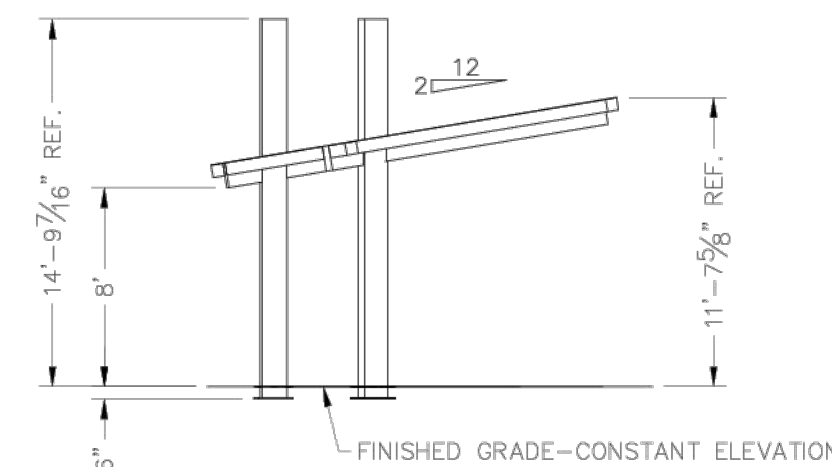
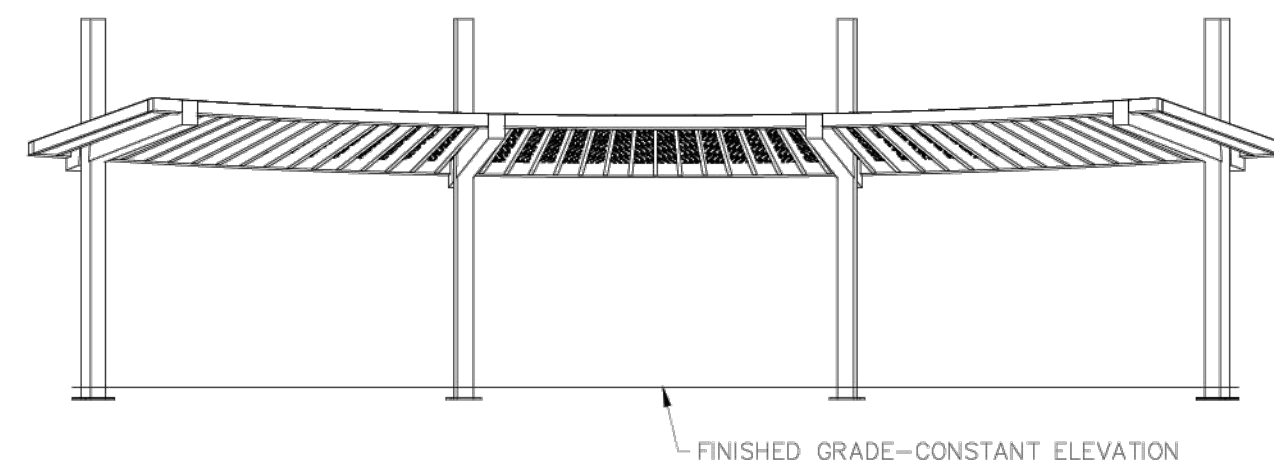
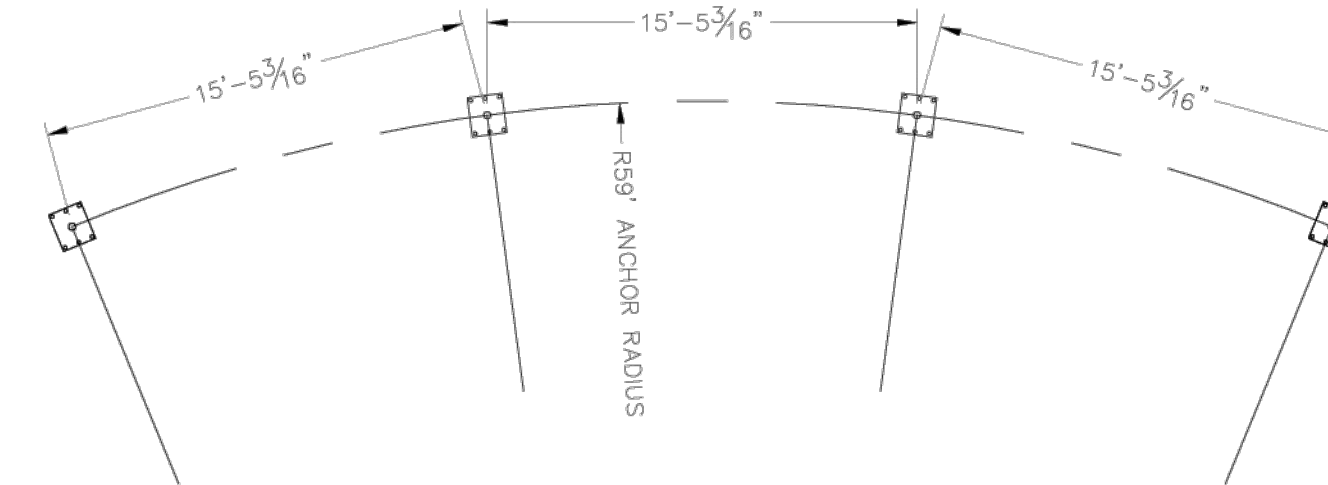
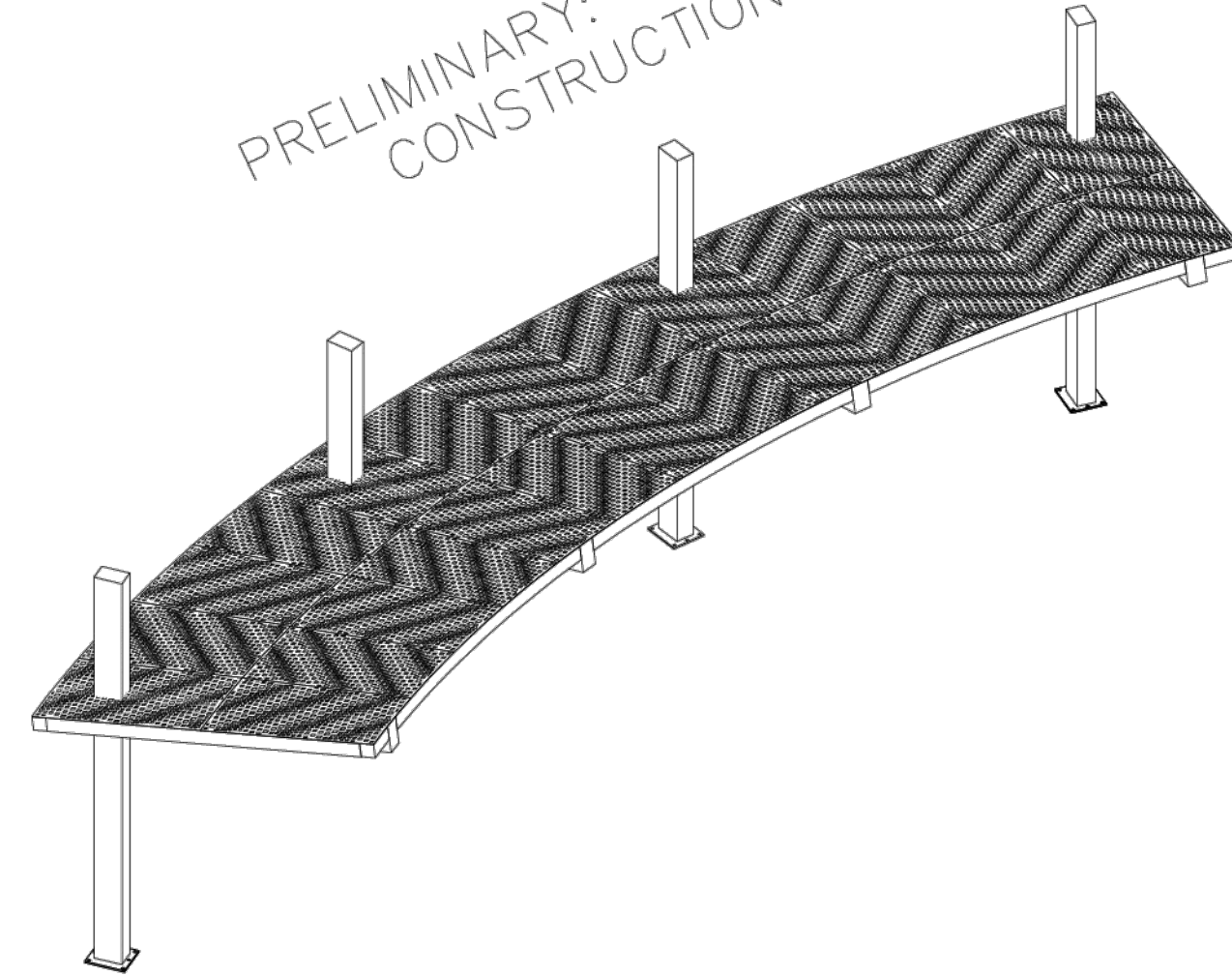
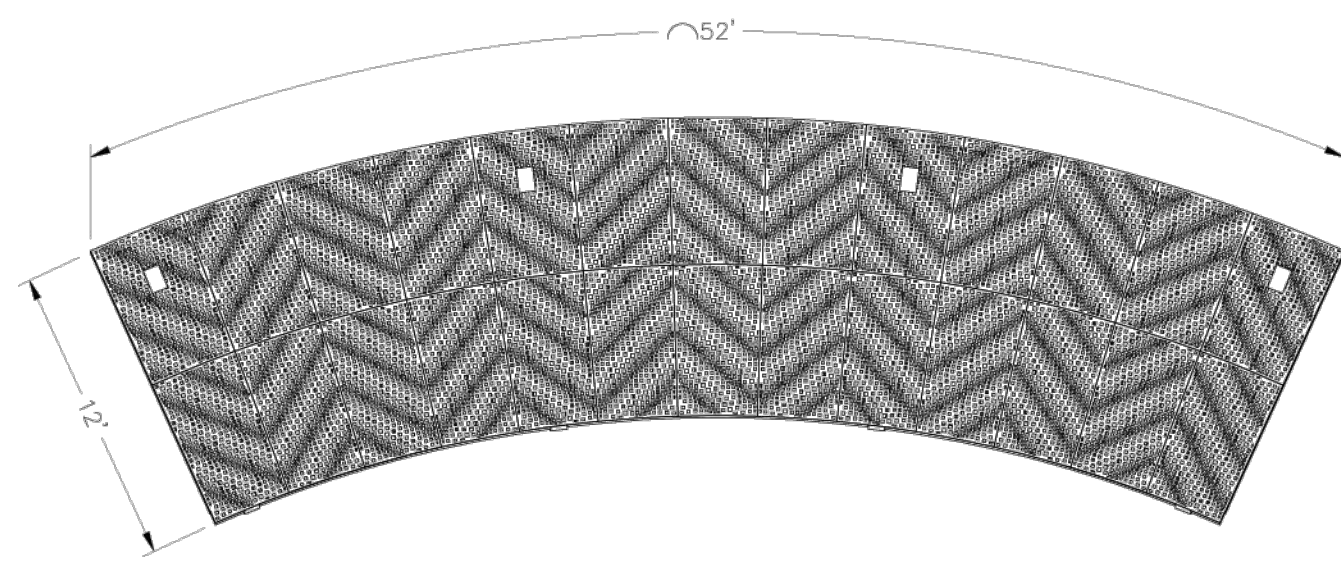
SITE FEATURE
 DETAILS

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

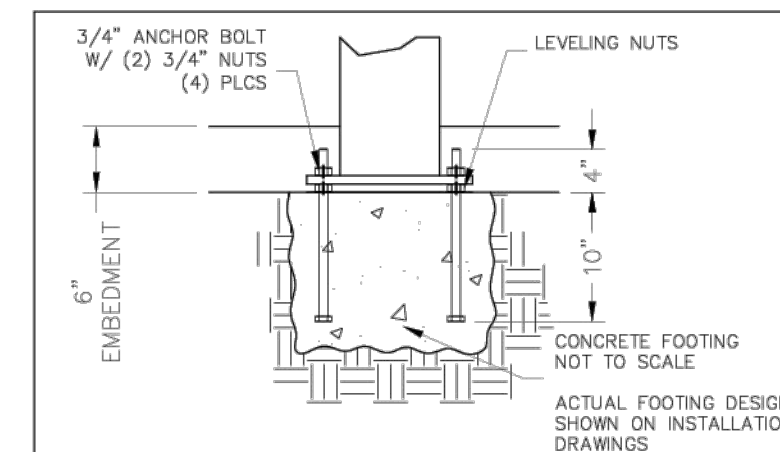
3.36 ACRES
SP24-0016

PRELIMINARY: NOT FOR CONSTRUCTION

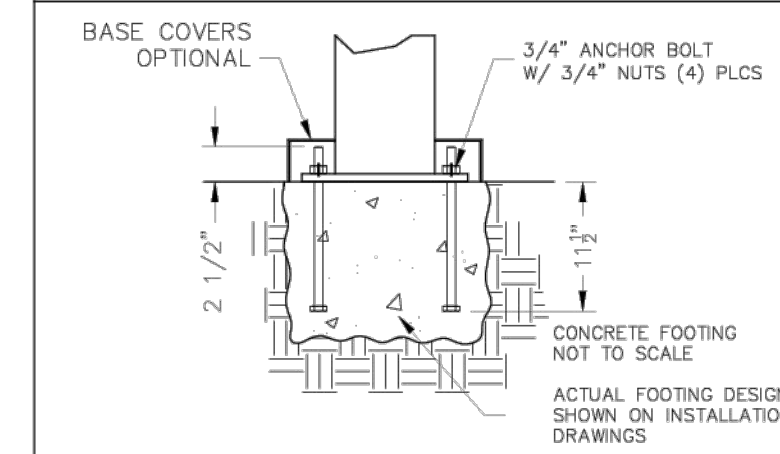


ALL STRUCTURAL COMPONENTS WILL BE
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW

NOTE:
COLUMN SIZE: HSS 12x6x5/16



PRELIMINARY DRAWINGS SHOWN AS 6\"/>



OPTIONAL BASE CONNECTION
COLUMN TYPE: B (SURFACE MOUNT W/ COVERS)

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
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SUITE 236
DENVER, CO 80222
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FAX 303.224.9524
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NOT FOR CONSTRUCTION

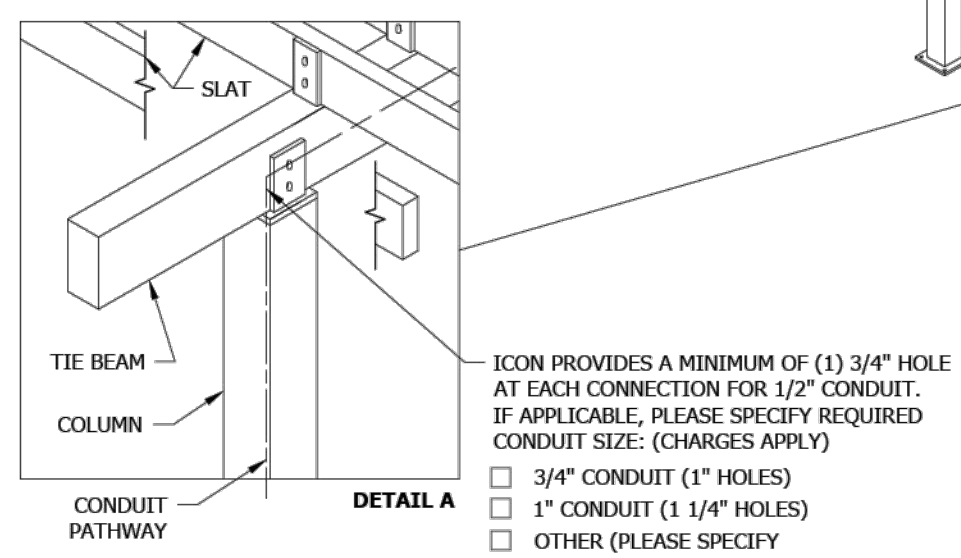
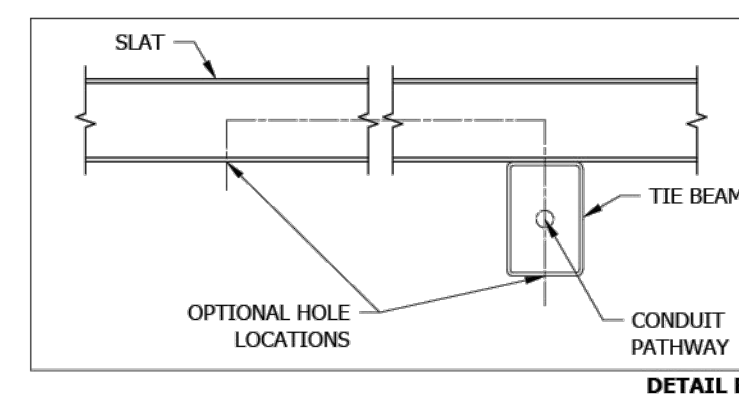
ELECTRICAL INFORMATION - ARBOR

ICON'S STANDARD ELECTRICAL IS DESIGNED TO ACCOMMODATE Ø1/2" CONDUIT WITH A Ø3" INLET HOLE ON THE BOTTOM OF EACH COLUMN. THE CONDUIT PATHWAY RUNS THROUGH THE COLUMN, RAFTER, AND RIDGE BEAM THROUGH ALL BOLTED CONNECTIONS AS SHOWN. IF YOU HAVE SPECIAL ELECTRICAL REQUIREMENTS, PLEASE OUTLINE ANY CHANGES BELOW AS DESCRIBED.

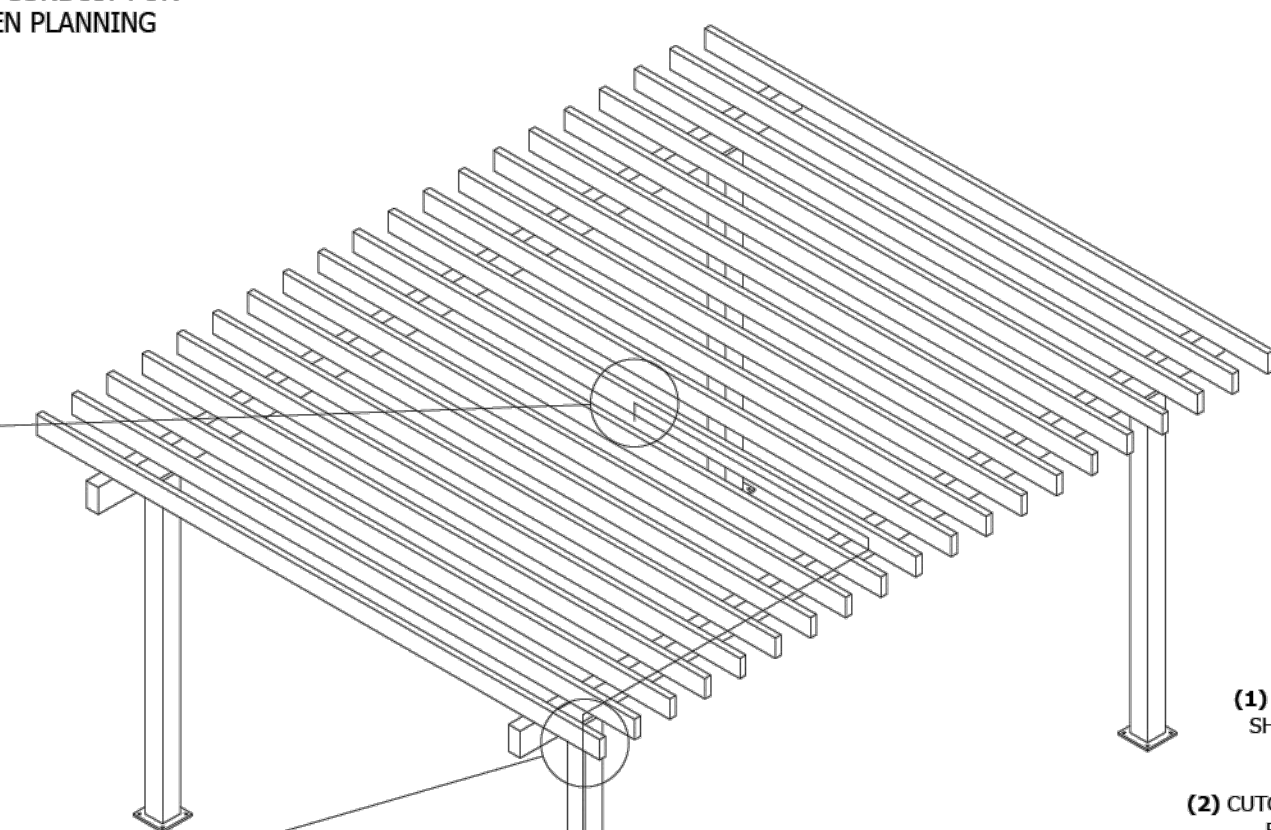
PLEASE NOTE: DESIGN LIMITATIONS ON HOLE/CUTOUT SIZES MAY APPLY. ICON WILL REACH OUT TO DISCUSS ANY SUCH LIMITATIONS AS NEEDED.

NOTE: ICON SHELTER FRAME IS NOT UL LISTED TO ACT AS A CONDUIT FOR ELECTRICAL WIRING. CONSULT LOCAL BUILDING CODES WHEN PLANNING YOUR ELECTRICAL SYSTEM.

OPTIONAL EXIT HOLES
IF REQUIRED, EXIT HOLES FOR LIGHTING, ETC. CAN BE PLACED IN THE TIE BEAM AND/OR SLAT (CHARGES APPLY). USE FRAME SHEET OF THIS PRELIMINARY TO SPECIFY REQUIRED EXIT HOLE LOCATIONS AND SIZE.

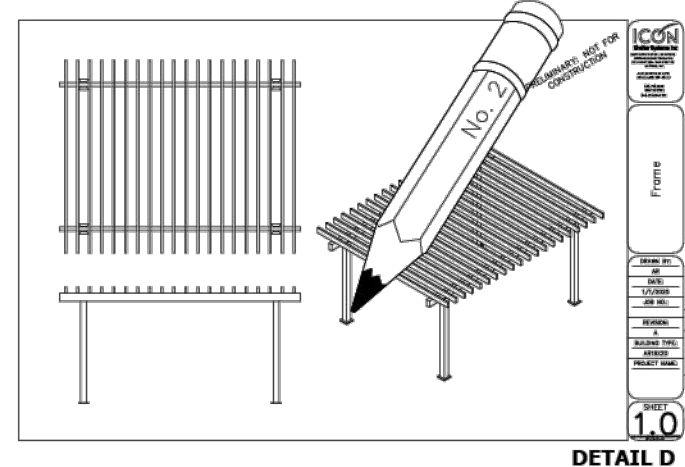


PRELIMINARY: NOT FOR CONSTRUCTION

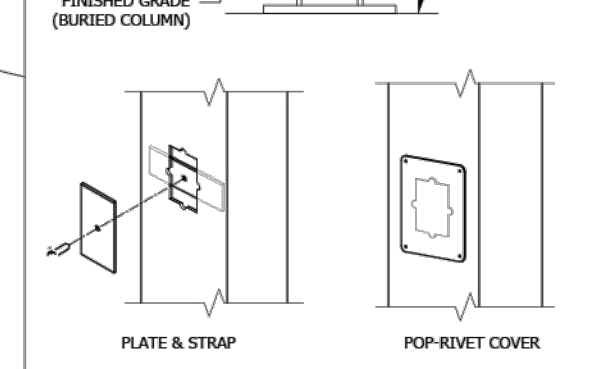
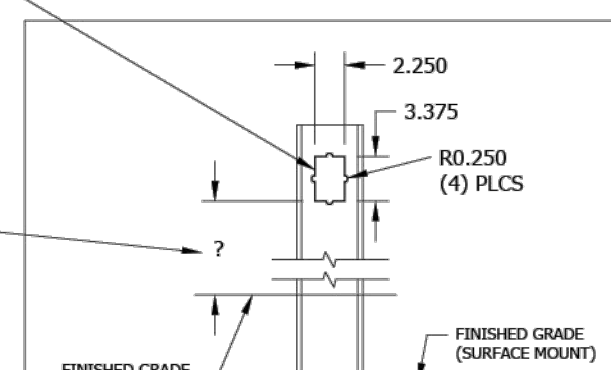


- STEPS:**
1. CONDUIT HOLE SIZE (DETAIL A)
 2. ELECTRICAL EXIT HOLES (DETAIL B)
 3. ELECTRICAL ACCESS & COVER PLATES (DETAIL C)
 4. ELECTRICAL CONDUIT PATHWAY (DETAIL D)

IF REQUIRED, PLEASE DRAW THE NECESSARY ELECTRICAL CONDUIT PATHWAY ON THE FRAME SHEET OF THIS PRELIMINARY.

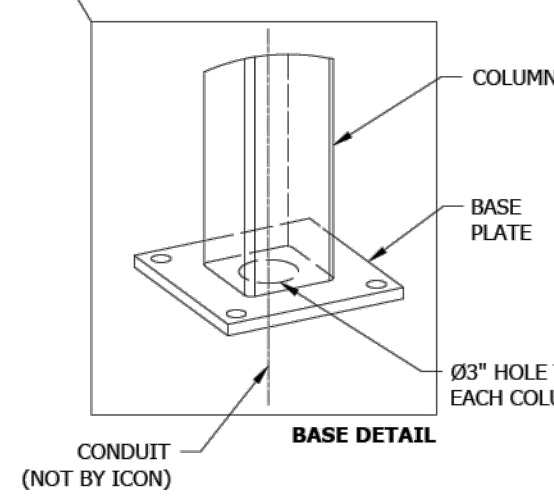


- OPTIONAL CUTOUTS**
USE FRAME SHEET OF THIS PRELIMINARY TO SPECIFY REQUIRED CUTOUT LOCATIONS (CHARGES APPLY) SEE REQUIRED INFO BELOW.
- (1) STANDARD CUTOUT SIZE SHOWN. SPECIFY IF OTHER SIZE REQUIRED.
 - (2) CUTOUTS WILL BE ON INSIDE FACE OF COLUMN UNLESS OTHERWISE INDICATED ON FRAME SHEET.
 - (3) SPECIFY HEIGHT ABOVE FINISHED GRADE FOR EACH CUTOUT AS SHOWN.



- (4) COVER PLATES PROVIDED UPON REQUEST (CHARGES APPLY)
PLEASE SPECIFY TYPE AND QUANTITY REQUIRED:
 PLATE & STRAP
 POP-RIVET COVER PLATE
HOW MANY REQUIRED? _____

NOTE: BUILDING DEPICTED ON THIS SHEET FOR ILLUSTRATION PURPOSES ONLY. ACTUAL LAYOUT AND FRAME MEMBER QUANTITIES VARY BY DESIGN. PLEASE REFER TO ELEVATION AND FRAME SHEETS IN THIS PRELIMINARY FOR ORDER-SPECIFIC CONFIGURATION.



1455 LINCOLN AVE.
HOLLAND MI 49423
616.396.0919
800.748.0963
616.396.0944 FX

PRODUCT: SHADE STRUCTURE
ID: 86924
BUILDING TYPE: AC15X36K-P2
ROOF TYPE: LIGHT FILTERING
ROOF PATTERN: #8-LEAF
ROOF COLOR: GALVALUME PLUS
FINISH: POWDER COAT
STRUCTURE COLOR: JET BLACK (MATTE)
SIZE: 15' X 30' X 14'-10"
MANUFACTURER: ICON SHELTERS
WEBSITE: WWW.ICONSHelters.COM
CONTACT: JESSE@RECREATIONPLUS.COM

ROOF COLOR	STRUCTURE COLOR
Galvalume Plus	RAL 005 Jet Black (Matte)

1 SHADE STRUCTURE

Scale: NTS

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lonetree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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09/23/2024 • 2nd SUBMITTAL

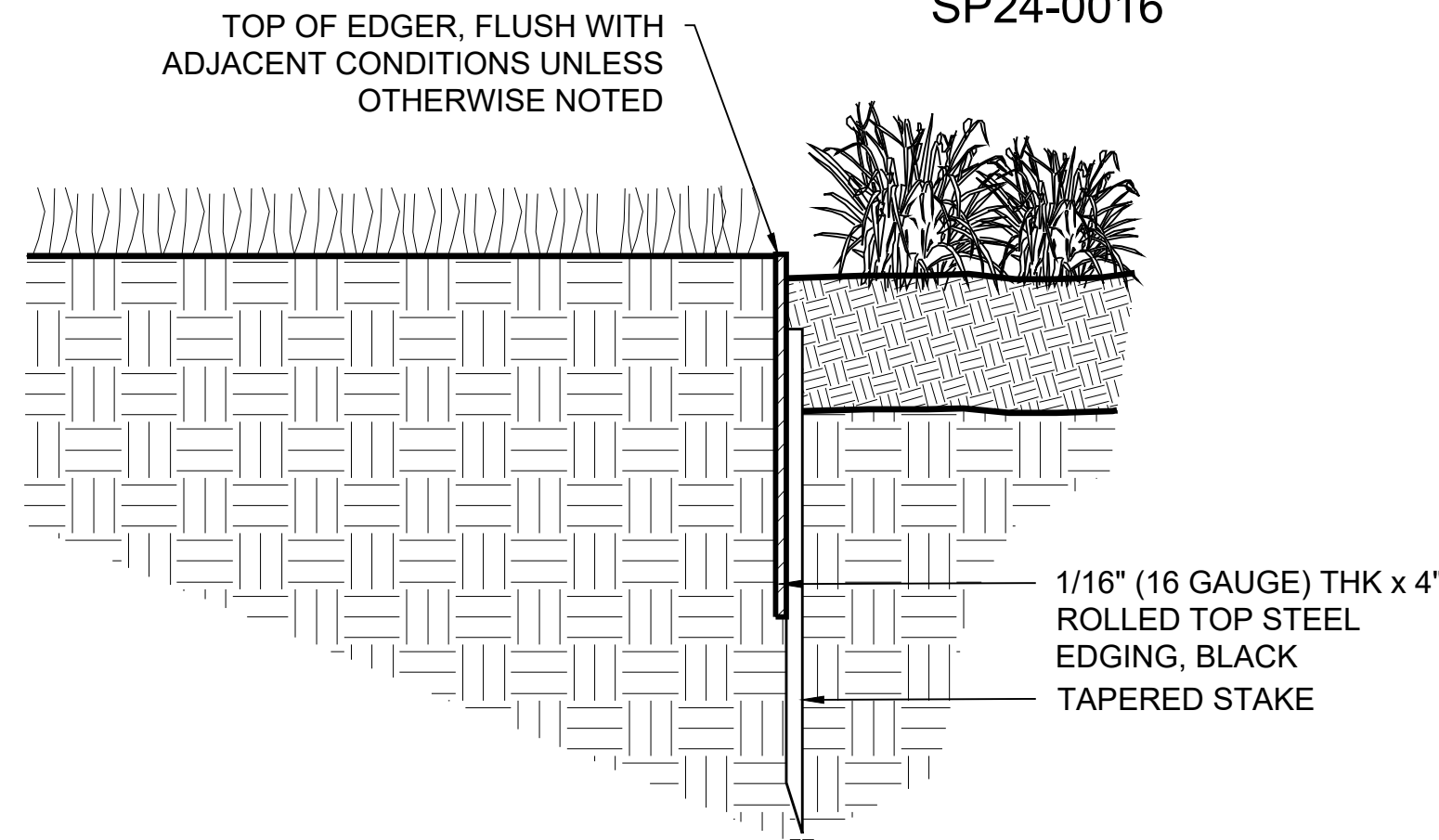
SHADE STRUCTURE

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USER: Richard Martin
PLOT DATE: 9/23/2024 3:52 PM

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)

3.36 ACRES
SP24-0016

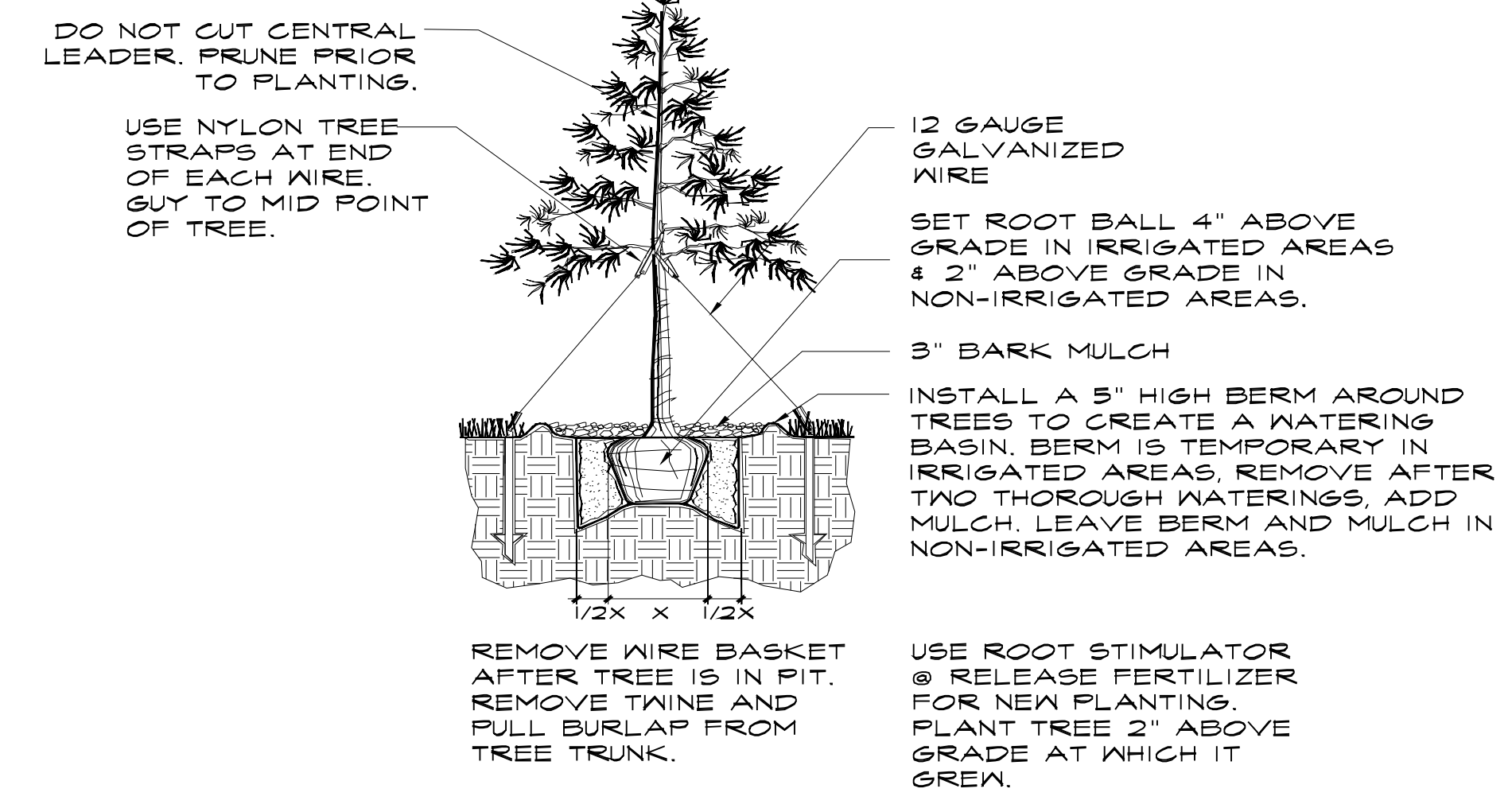
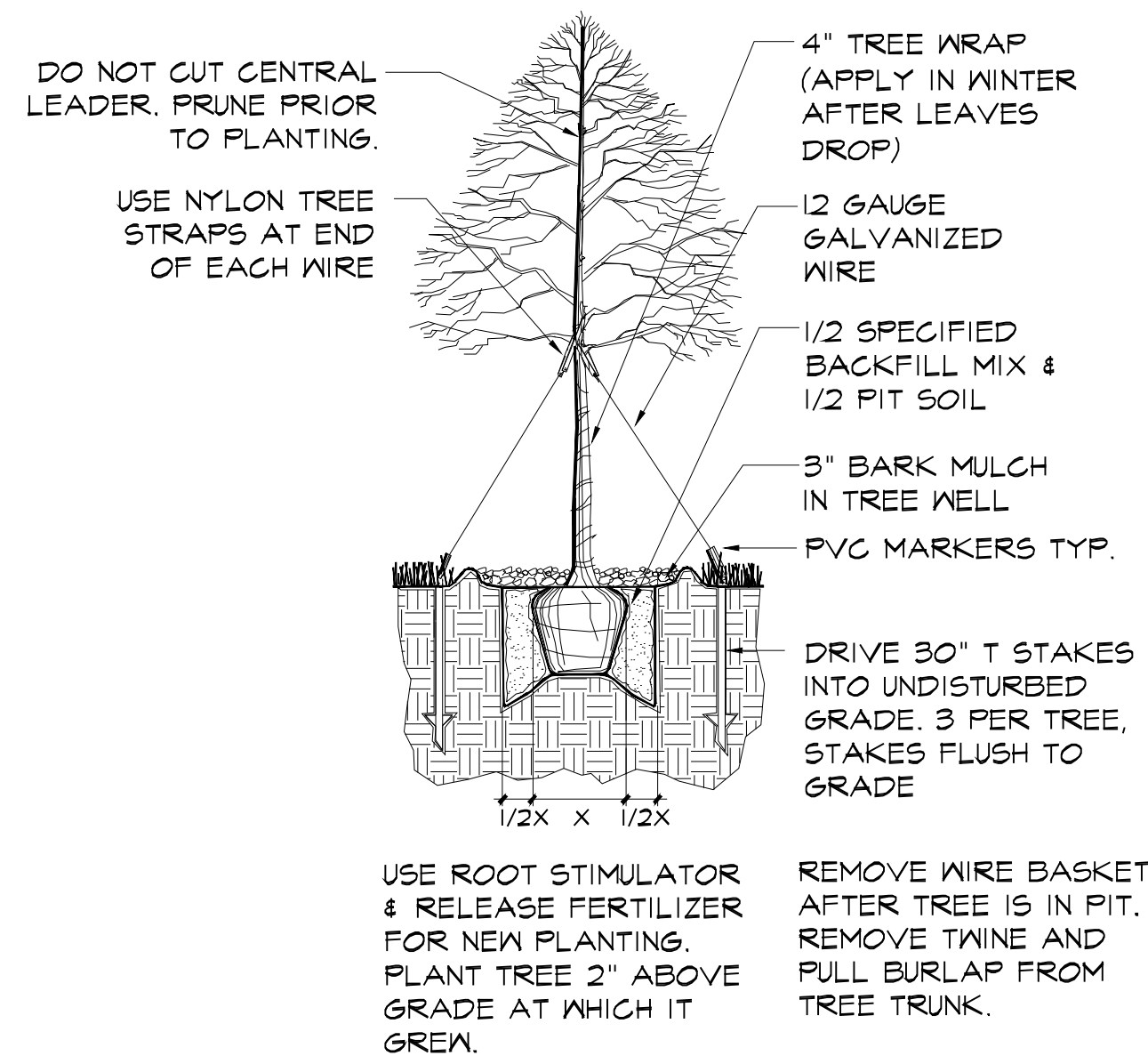


4 METAL EDGER

Scale: 1/2" = 1' - 0"

1 DECIDUOUS TREE PLANTING

Scale: 1/2" = 1' - 0"

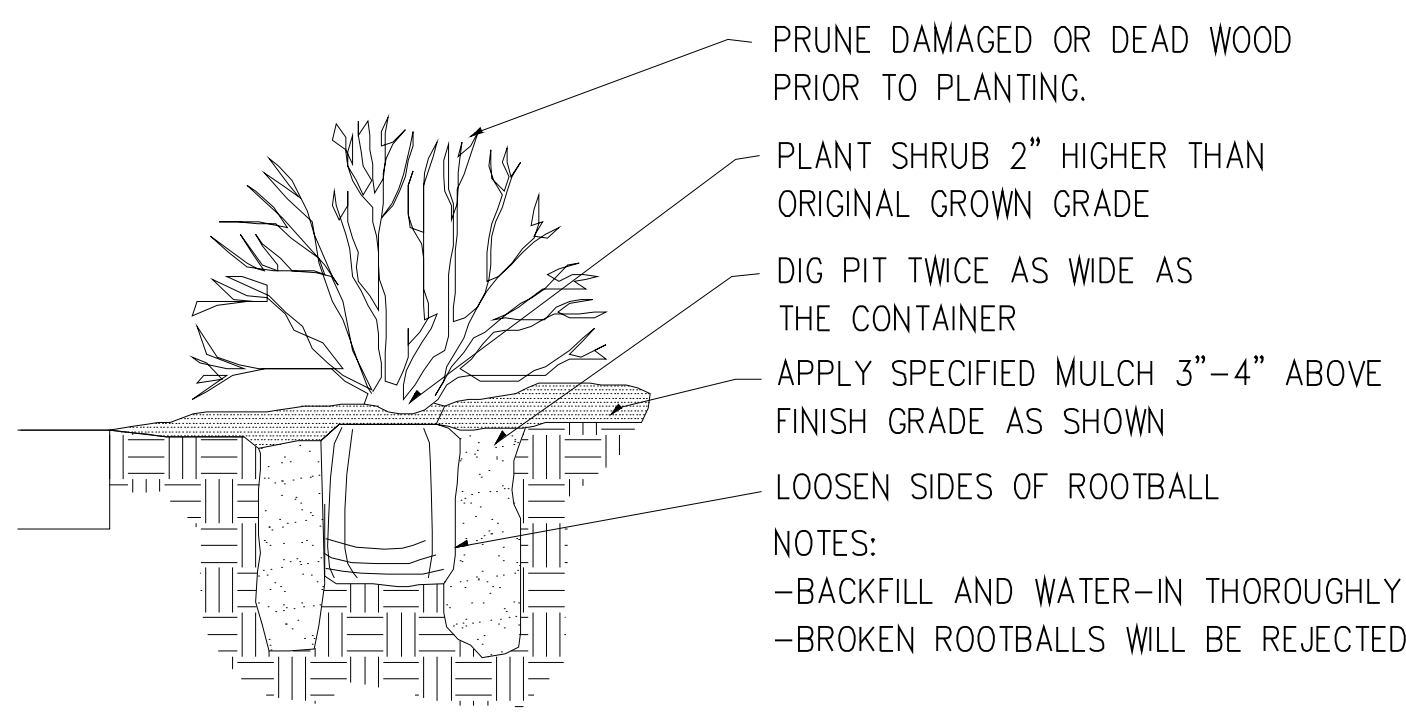
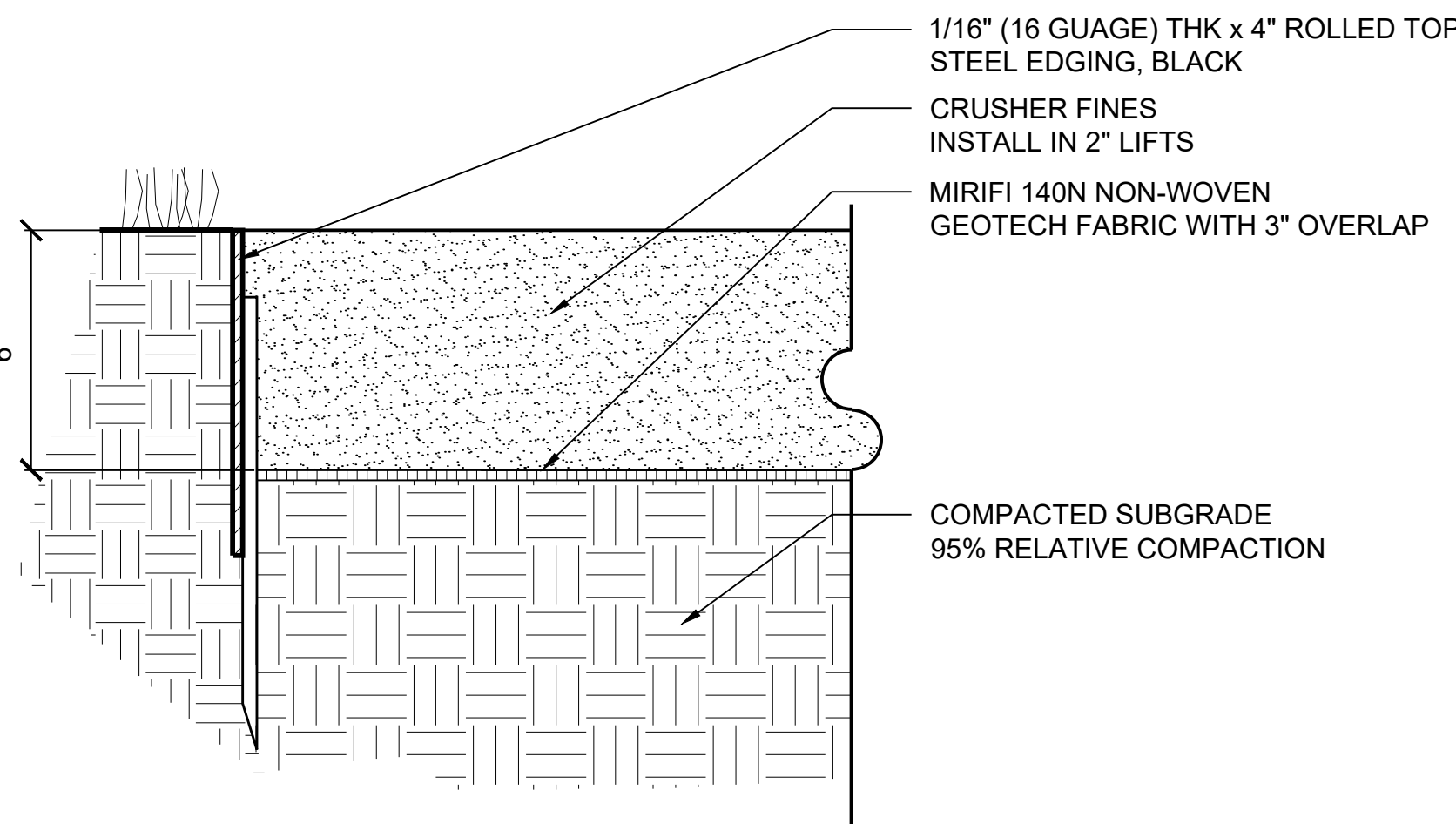


2 EVERGREEN TREE PLANTING

Scale: 1/2" = 1' - 0"

5 CRUSHER FINES

Scale: 1/2" = 1' - 0"



3 SHRUB PLANTING

Scale: 1/2" = 1' - 0"

6 SOD & SEED TYPES

Scale: N/A

SOD: ENVIROTURF(TM)
SOD BLEND: PROPRIETARY BLEND OF OF ROCKY MOUNTAIN AND WESTERN U.S. NATIVE AND INDIGENOUS GRASSES ADAPTED TO ALL SOIL TYPES
SUN: FULL SUN TO 60% SHADE
MOWING HEIGHT: 2" TO 3"
INFORMATION: VERY GOOD TOLERANCE TO SALINITY. EXTREMELY DURABLE, DEEP ROOTING, CONTAINS ENDOPHYTES, USES 40% LESS WATER THAN BLUE GRASS, USES 50% LESS NITROGEN THAN BLUEGRASS.
USES: PARKS, SPORTS FIELDS, COMMERCIAL SITES, GOLF COURSE ROUGHS, RESIDENTIAL LAWNS

SEED: BLUE GRAMA / BUFFALO GRASS MIX
SEED BLEND: 50% BLUE GRAMA, 50% BUFFALO GRASS.
SEE SPECIFICATIONS FOR MORE INFORMATION & INSTALLATION DETAILS.

SEED: BUFFALO GRASS
SEED BLEND: 100% BUFFALO GRASS.
SEE SPECIFICATIONS FOR MORE INFORMATION & INSTALLATION DETAILS.

TURF MASTERS
3327 N Giddings Rd
Fort Collins, CO 80524
W: www.turfmastersod.com
P: (970) 364-2747

PAWNEE BUTTES SEED INC.
605 25th Street
Greeley, CO 80631
W: www.pawneebutteseed.com
P: (970) 356-7002

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	TYPE	H X W	WATER	PET/SALT	ZONE	PI
DECIDUOUS TREES											
	CAL	4	Western Catalpa	Catalpa speciosa	2" Cal.	B&B	60' x 40'	Low	P & S	5-8	
	ECO	4	English Columnar Oak	Quercus robur fastigiata	2" Cal.	B&B	40' x 20'	Med.	P	5-8	
	KCT	7	Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" Cal.	B&B	60' x 40'	Low	P & S	3-8	
ORNAMENTAL TREES											
	HWT	2	Hot Wings® Tatarian Maple	Acer tataricum 'GarAnn'	2" Cal.	B&B	25' x 20'	Low	P & S	3-10	
	SPR	4	Spring Snow Crabapple	Malus x 'Spring Snow'	2" Cal.	B&B	20' x 20'	Low	N/A	4-8	
	TOH	2	Toba Hawthorn	Crataegus x mordenensis 'Toba'	2" Cal.	B&B	20' x 20'	Low	P & S	3-6	
DECIDUOUS SHRUB											
	ABT	12	Serviceberry	Amelanchier x grandiflora	5 gal.	Container	20' x 10'	Low	N/A	2-8	
	AFD	20	Arctic Fire® Red Twig Dogwood	Cornus sericea 'Farrow'	5 gal.	Container	4' x 4'	Med.	N/A	2-8	
	APP	26	Apache Plume	Fallugia paradoxa	5 gal.	Container	5' x 5'	Low	S	4-9	
	BAD	36	Admiration Japanese Barberry	Berberis thunbergii 'Admirator'	5 gal.	Container	2' x 2'	Low	P & S	4-8	
	BFB	25	Silver Fountain Butterfly Bush	Buddleja alternifolia 'Argentea'	5 gal.	Container	8' x 7'	Low	N/A	5-9	
	BLC	32	Black Chokeberry	Aronia melanocarpa	5 gal.	Container	6' x 4'	Low	S	3-9	
	BMS	6	Blue Mist Spirea	Caryopteris x clandonensis 'Blue Mist'	5 gal.	Container	3' x 3'	Low	N/A	5-9	
	GLS	73	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	5 gal.	Container	2' x 8'	Low	P & S	4-9	
	IHD	16	Ivory Halo® Tatarian Dogwood	Cornus alba 'Bailho'	5 gal.	Container	5' x 5'	Med.	N/A	3-7	
	MOC	12	Littleleaf Mockorange	Philadelphus microphyllus 'Littleleaf'	5 gal.	Container	4' x 4'	Low	N/A	3-8	
	NIN	20	Center Glow Ninebark	Physocarpus opulifolius 'Center Glow'	5 gal.	Container	8' x 8'	Low	S	3-8	
	PBS	68	Pawnee Buttes® Sand Cherry	Prunus besseyi 'P011S'	5 gal.	Container	18" x 6"	Low	P & S	4-8	
	RIA	44	Golden Currant	Ribes aureum	5 gal.	Container	6' x 6'	Low	P & S	3-9	
	RWO	16	Woods' Rose	Rosa woodsii ultramontana	5 gal.	Container	4' x 4'	Low	N/A	4-8	
	SMO	6	Western Smooth Sumac	Rhus glabra	5 gal.	Container	10' x 8'	Low	P & S	3-9	
	SNO	22	Common White Snowberry	Symphoricarpos albus	5 gal.	Container	6' x 4'	Low	S	3-7	
EVERGREEN SHRUB											
	MPA	73	Panchito Manzanita	Arctostaphylos x coloradensis 'Panchito'	5 gal.	Container	2' x 6'	Low	P & S	4-8	
	OGH	15	Oregon Grape	Mahonia aquifolium	5 gal.	Container	6' x 6'	Low	S	3-7	
	PWC	20	Purple Wintercreeper	Euonymus coloratus	5 gal.	Container	2' x 3'	Low	P & S	4-9	
GRASSES											
	BLO	235	Blonde Ambition Blue Grama	Bouteloua gracilis 'Blonde Ambition'	5 gal.	Container	2' x 2'	Low	P & S	4-10	
	GSG	42	Giant Sacaton	Sporobolus wrightii	5 gal.	Container	6' x 4'	Low	P & S	5-11	
	LBS	140	Little Bluestem	Schizachyrium scoparium	5 gal.	Container	2' x 2'	Low	P & S	3-9	
	PAH	28	Hameli Fountain Grass	Pennisetum alopecuroides 'Hameli'	5 gal.	Container	2' x 2'	Low	S	4-10	
	SWG	94	Switch Grass	Panicum virgatum	5 gal.	Container	5' x 3'	Low	P & S	5-9	
PERENNIALS											
	ABG	13	Burgundy Glow Carpet Bugle	Ajuga reptans 'Burgundy Glow'	1 gal.	Container	12" x 18"	Low	P & S	3-10	
	AFM	3	Monch Frikart's Aster	Aster x frikartii 'Monch'	1 gal.	Container	36" x 24"	Low	N/A	5-10	
	ALM	12	Globemaster Ornamental Onion	Allium x 'Globemaster'	Bulb	Blub	1' x 3'	Low	P	5-8	
	BGO	6	Basket of Gold	Aurinia saxatilis	1 gal.	Container	18" x 36"	Low	P	4-8	
	DDY	41	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	1 gal.	Container	12" x 12"	Low	P & S	3-10	
	GAU	10	Whirling Butterflies Gaura	Gaura lindheimeri 'Whirling Butterflies'	1 gal.	Container	2' x 3'	Low	N/A	5-9	
	HSU	5	Sunset Hyssop	Agastache rupestris	1 gal.	Container	36" x 30"	Low	S	4-10	
	IRV	44	Variegated Sweet Iris	Iris pallida 'Variegata'	1 gal.	Container	36" x 18"	Med.	P & S	3-9	
	KAN	17	Kannah Creek® Sulphur Buckwheat	Eriogonum umbellatum aureum 'Psdowns'	1 gal.	Container	24" x 24"	Low	P & S	3-8	
	LIA	6	Blazing Star	Liatris spicata	1 gal.	Container	2' x 4'	Low	S	3-8	
	PEN	2	Pristine Scarlet Penstemon	Penstemon barbatus praecox 'Pristine Scarlet'	1 gal.	Container	18" x 16"	Low	S	4-8	
	SMN	13	May Night Sage	Salvia nemorosa 'May Night'	1 gal.	Container	24" x 18"	Low	S	3-8	
	YAR	6	Moonshine Yarrow	Achillea 'moonshine'	1 gal.	Container	24" x 24"	Low	S	3-8	
GROUND COATINGS											
	CNC	20,800 sf	Concrete								
	COB	2,020 sf	Cobble, Tri-Color (3"-4")								
	DG	685 sf	Decomposed Granite, Tan (3/8" Crusher Fines)								
	MUL	20,450 sf	Organic Mulch (Shredded Cedar)								
SEED											
	BBG	14,500 sf	Blue Grama & Buffalo Grass								
	BUF	5,525 sf	Buffalo Grass								
	MHFD	56,425 sf	Revegetate per MHD Standards								
SOD											
	ENV	8,264 sf	Turf Masters Enviro turf								
SPECIALTY											
	SAFE	3,631 sf	Safety Surface								
PLANT SCHEDULE NOTES:											
1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AND MATERIAL SQUARE FOOTAGES.											
2. GRAPHIC SYMBOLS AND HATCHES ON LANDSCAPE DRAWINGS TAKE PRECEDENCE OVER PLANT QUANTITIES AND AREA SQUARE FOOTAGES LISTED IN THE PROVIDE PLANT SCHEDULE ABOVE.											
3. SHRUB, GRASS, AND PERENNIAL INSTALLATION SIZES MAY VARY DUE TO AVAILABILITY, INDUSTRY STANDARDS, AND INSTALLATION APPLICABILITY.											

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

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NOT FOR CONSTRUCTION

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lonetree, Colorado
BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
05/09/2024 • 1st SUBMITTAL
COMPLETENESS REVIEW
06/28/2024 • 1st SUBMITTAL
07/12/2024 • 1st SUBMITTAL - R1
09/23/2024 • 2nd SUBMITTAL

PLANT SCHEDULE & DETAILS

PLOT DATE: 09/22/2024 9:41 PM
FILE PATH: C:\Users\Richard\OneDrive\OneDrive\Projects\RRWD_Badger Gulch Park\CAD\03_SIP\Bases\File\BADGER_GULCH_LS-SHEETS.dwg
USER: Richard Martin

PLANTING NOTES

- WEED FABRIC SHALL NOT BE INSTALLED IN PLANTING BEDS WITH ORGANIC MULCH UNLESS SPECIFICALLY SPECIFIED ON PLANS. PLANTING DESIGN IS INTENDED TO ALLOW PLANTS TO SPREAD THROUGHOUT PLANTING BEDS.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATION. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIAL DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- TREES SHALL NOT BE LOCATED IN UTILITY OR OTHER EASEMENTS. TREES MAY BE PLACED IN DRAINAGE SWALES OR DRAINAGE AREAS AS SPECIFIED ON PLANS AND AS APPROVED THROUGH ADMINISTRATIVE REVIEW WITH THE JURISDICTION. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- ALL EXISTING TREES SHALL BE SAVED AND PROTECTED (TRANSPLANTED IF NECESSARY), UNLESS OTHERWISE NOTED.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED PRIOR TO CONSTRUCTION SHALL BE COLLECTED, SAVED, AND PROTECTED FOR LATER USE ON AREAS REQUIRING REVEGETATION (SEED) AND/OR LANDSCAPING.
- ALL TURF AND BED AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT A RATE OF (4) FOUR CUBIC YARDS PER 1000 SQUARE FEET TILLED TO A DEPTH OF SIX (6) INCHES OR AS NOTED IN THE TECHNICAL SPECIFICATIONS. ALL SEEDED AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT A RATE RECOMMENDED BY SEED PRODUCER. SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION. ADDITIONAL AMENDMENTS MAY BE NEEDED AS DESCRIBED IN THE SOILS REPORT.
- PRIOR TO INSTALLING OF PLANT MATERIALS, ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED, REPAIRED AND SEEDED IF NECESSARY. SEE SPECIFIED SEED MIX INFORMATION.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY'S SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE (SPECIFICATIONS AND DETAILS PROVIDED WITH THE PLANS VERSUS THE CITY AND COUNTY'S SPECIFICATIONS AND DETAILS).
- ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC SYMBOLS ON LANDSCAPE DRAWINGS TAKES PRECEDENCE OVER WRITTEN PLANT QUANTITIES.
- ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.
- ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE ON THE APPROVED LANDSCAPE DRAWINGS. SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. CITY APPROVALS MAY ALSO BE REQUIRED.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT AND/ OR OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
- THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT AND/OR OWNER.
- ALL PLANTS SHALL BE WATERED, CARED FOR, AND PROTECTED FROM DAMAGING WEATHER EFFECTS WHEN NECESSARY.
- ALL PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO THE PROJECT SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO HELP PREVENT ANY DAMAGE.
- ALL TREES ARE TO BE STAKED WITH WOOD STAKES AND GUYED FOR A PERIOD OF ONE YEAR PER THE DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING WOOD STAKES AT THE END OF ONE (1) YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- TREE WRAP SHALL BE APPLIED IN LATE FALL AFTER INSTALLATION AND REMOVED THE FOLLOWING SPRING. TREES GREATER THAN FOUR (4") INCH CALIPER MAY NOT REQUIRE TREE WRAP IF BARK IS SUFFICIENTLY DEVELOPED. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE WRAPPED.

Badger Gulch Park

RIDGEGATE EAST, FILLING NO. 4, (Reception No 2024010650), Tract A & Tract B, CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)

3.36 ACRES
SP24-0016

GENERAL NOTES

- ALL WORK SHALL CONFORM TO FEDERAL, STATE, CITY, AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS.
- RECIPIENTS OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR SHALL CALL FOR UTILITY LOCATES AND VERIFY LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.
- CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE RIGHT-OF-WAY AND/OR PUBLIC PROPERTY AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTED BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATION TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- SITE TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS, AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.

MAINTENANCE

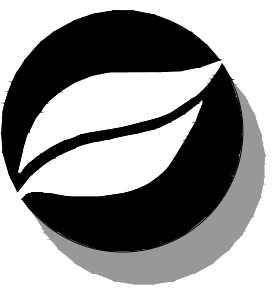
- WITHIN THE SIGHT TRIANGLE, NO OBJECTS ABOVE 24" (MEASURED FROM THE FLOWLINE) SHALL BE PERMITTED EXCEPT FOR DECIDUOUS TREE TRUNKS AND TREE CANOPIES OVER THE STREET SHALL BE NO LOWER THAN 14'.
- WITH THE EXCEPTION OF WATERING FOR NEW PLANT ESTABLISHMENT, IRRIGATION SHALL BE SET FOR NIGHTTIME OR EARLY MORNING TO MINIMIZE EVAPORATIVE LOSS AND REDUCE CONFLICTS WITH PEDESTRIANS.
- IRRIGATION SCHEDULES TO BE PROVIDED TO OWNERSHIP. SCHEDULES TO DEFINE EACH ZONE TYPE, GENERAL ZONE LOCATION, AND ZONE RUN TIMES. SCHEDULES TO BE UPDATED AND ADJUSTED AS NEEDED FOR TIME OF YEAR AND ENVIRONMENTAL CONDITIONS. RUN TIMES TO ACCOUNT FOR SPRING/FALL AND SUMMER. INITIAL ESTABLISHMENT PERIOD TO LAST NO LONGER THAN SIX (6) WEEKS BEFORE ADJUSTING RUN TIMES FOR APPROPRIATE TIME OF YEAR.
- INSTALLING CONTRACTOR SUBJECT TO BEING RESPONSIBLE FOR IRRIGATION WATER USAGE CHARGES AFTER THE INITIAL SIX (6) WEEK ESTABLISHMENT PERIOD IF RUN TIMES NOT ADJUSTED IN TIMELY MANNER OR AS DEFINED IN CONTRACT DOCUMENTS AND SPECIFICATIONS.
- PLANTINGS ARE SELECTED FOR DROUGHT TOLERANCE AND CONTRACTOR TO REPLACE PLANT MATERIAL LOST DUE TO OVERWATERING AT NO CHARGE TO OWNERSHIP UNTIL MAINTENANCE PERIOD IS SATISFIED.
- WINTER WATERING OF TREES SHALL BE PROVIDED MONTHLY FOR THE FIRST THREE YEARS, AND IN SUBSEQUENT YEARS DURING DROUGHT PERIODS, AS DESIGNATED BY THE NATIONAL INTEGRATED DROUGHT INFORMATION SYSTEM.

SOIL AMENDMENT

- ALL SOILS FOR GENERAL LANDSCAPING AREAS OR ON WHICH ANY COOL-SEASON LAWN, TURF OR SOD IS TO BE INSTALLED MUST BE PROPERLY AMENDED WITH ORGANIC MATTER SUCH AS COMPOST AND AGED MANURE. A MINIMUM OF FOUR (4) CUBIC YARDS OF COMPOST PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SOIL SHOULD BE INCORPORATED TO A DEPTH OF AT LEAST SIX (6) INCHES BY ROTOTILLING OR OTHER SUITABLE MEASURE. SOIL AMENDMENTS FOR NATIVE PLANTS AND GRASSES ARE NOT REQUIRED.
- STRUCTURED SOILS THAT INCLUDE ROCK AND SAND TO REDUCE COMPACTION AND INCREASE POROSITY FOR ROOT GROWTH MAY BE REQUIRED WHERE TREE GRATES ARE PROPOSED.
- CONTRACTOR SHALL OBTAIN SOIL SAMPLES BEFORE AND AFTER AMENDMENTS ARE INCORPORATED FROM A MINIMUM OF 5-10 SUITABLE LOCATIONS AS DETERMINED BY THE LANDSCAPE ARCHITECT. TOTAL NUMBER OF SAMPLES TO BE DEFINED IN CONTRACT DOCUMENTS. SAMPLES TO BE SUBMITTED TO A STATE-LICENSED SOIL TESTING LABORATORY, SUCH AS COLORADO ANALYTICAL OR COLORADO STATE UNIVERSITY SOILS LAB, SPECIALIZING IN THE ANALYSIS OF SOIL AND IN MAKING RECOMMENDATIONS FOR THE INTRODUCTION OF ORGANIC AMENDMENTS IN LANDSCAPE PLANTING AREAS. THE RESULTS OF THE SOIL ANALYSIS AND RECOMMENDATIONS SHALL BE FORWARDED TO THE OWNER'S REPRESENTATIVE ALONG WITH THE CONTRACTOR'S RECOMMENDATIONS FOR SOIL AMENDMENT MATERIALS AND QUANTITIES. ADDITIONAL ADDITIVES MAY BE NECESSARY THROUGHOUT THE YEAR AS DEFINED BY THE SOILS REPORT.

MULCH, GROUND COATINGS, AND EDGING

- ORGANIC MULCH SUCH AS WOOD/BARK SHALL BE INSTALLED AND MAINTAINED TO A DEPTH OF FOUR (4) INCHES.
- ROCK MULCH IS DISCOURAGED AS MULCH EXCEPT IN AREAS OF HIGH WINDS OR AREAS PRONE TO EROSION AS EVALUATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. WHERE ROCK MULCH IS USED, PLACE TO A DEPTH OF FOUR (4) INCHES. ROCK TYPE TO BE SPECIFIED ON PLANS. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL BY THE OWNER OR OWNER REPRESENTATIVE.
- COBBLE: 3"-4" COBBLE TO BE TRI-COLOR STONE. PREDOMINATELY GRAY AND TAN WITH MINIMAL RED. USE IN AREAS SHOWN ON PLANS. INSTALL AND MAINTAIN TO A DEPTH OF FOUR (4) INCHES.
- THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS NOT PERMITTED. SEE PLANTING NOTE 1 FOR MORE INFORMATION ON PLACEMENT OF WEED BARRIER.
- WEED FABRIC SHALL BE INSTALLED UNDER INORGANIC (ROCK) MULCH PLANTING BEDS.
- COBBLE AND METAL EDGING REQUIRED AROUND STORM DRAINS.
- EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TO TURF AREAS AND BETWEEN TURF AREAS AND SEEDED AREAS. EDGER SHALL BE PROVIDED BETWEEN ORGANIC AND INORGANIC (ROCK) MULCHES.
- EDGER SHALL BE 4"x14 GAUGE GALVANIZED STEEL, ROLLED TOP, INTERLOCKING TYPE EDGER, RYERSON, OR EQUAL. SEE EDGER DETAILS PROVIDED IN THESE PLANS FOR MORE INSTALLATION INFORMATION.
- EDGER IS NOT REQUIRED ADJACENTLY-PARALLEL TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE.



Consilium Design

LAND PLANNING AND LANDSCAPE ARCHITECTURE

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RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lone tree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
05/09/2024 • 1st SUBMITTAL COMPLETENESS REVIEW
06/28/2024 • 1st SUBMITTAL 07/12/2024 • 1st SUBMITTAL - R1 09/23/2024 • 2nd SUBMITTAL

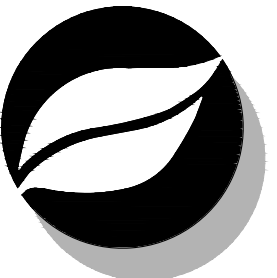
LANDSCAPE NOTES

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Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

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IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
	RP BACKFLOW PREVENTER	1
	FLOW SENSOR	2
	MASTER VALVE	3
	GATE VALVE	4
	QUICK COUPLING VALVE	5
	PVC MAINLINE	6
	PVC SLEEVING	7
	ELECTRIC CONTROLLER	8
	WEATHER SENSOR DEVICE	
	EXISTING MAINLINE	
	EXISTING SLEEVING	
	EXISTING METER	

IRRIGATION DESIGN STRATEGY				
HATCH	DESCRIPTION	AREAS < 6'	AREAS 6'-25'	AREAS > 25'
	TURF GRASS	INLINE SUBSURFACE DRIP	6" POPUP SPRAY	6" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP	POINT SOURCE DRIP
	NATIVE GRASS	N/A	12" POPUP SPRAY	12" ROTOR

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

IRRIGATION DEVELOPMENT DESIGN NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN SIX NIGHT, TEN HOURS PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 PM AND 6:00 AM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
- THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 40 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 69 PSI.
- THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
- IRRIGATION DESIGN APPROACH
 - TURF AREAS
 - SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
- IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND INCLUDE A WEATHER SENSING DEVICE.
- ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.

RIDGEGATE EAST, FILING NO 4

Rampart Range Metro District
LoneTree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
05/09/2024 • 1st SUBMITTAL
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06/28/2024 • 1st SUBMITTAL
07/12/2024 • 1st SUBMITTAL - R1
09/23/2024 • 2nd SUBMITTAL

IRRIGATION NOTES
& SCHEDULE

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Know what's below.
Call before you dig.

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

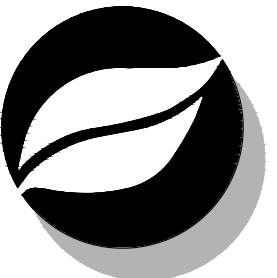


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Badger Gulch Park

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CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)

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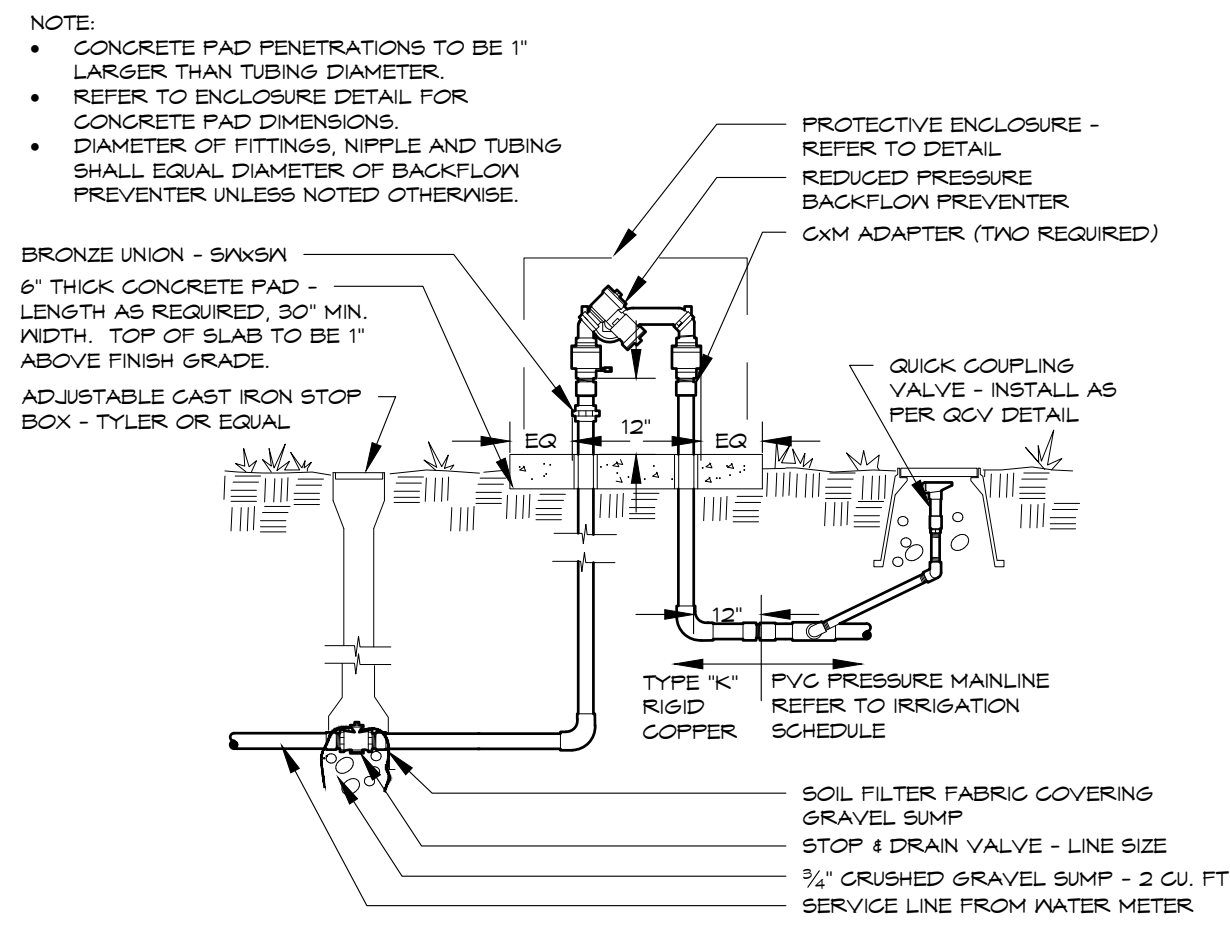
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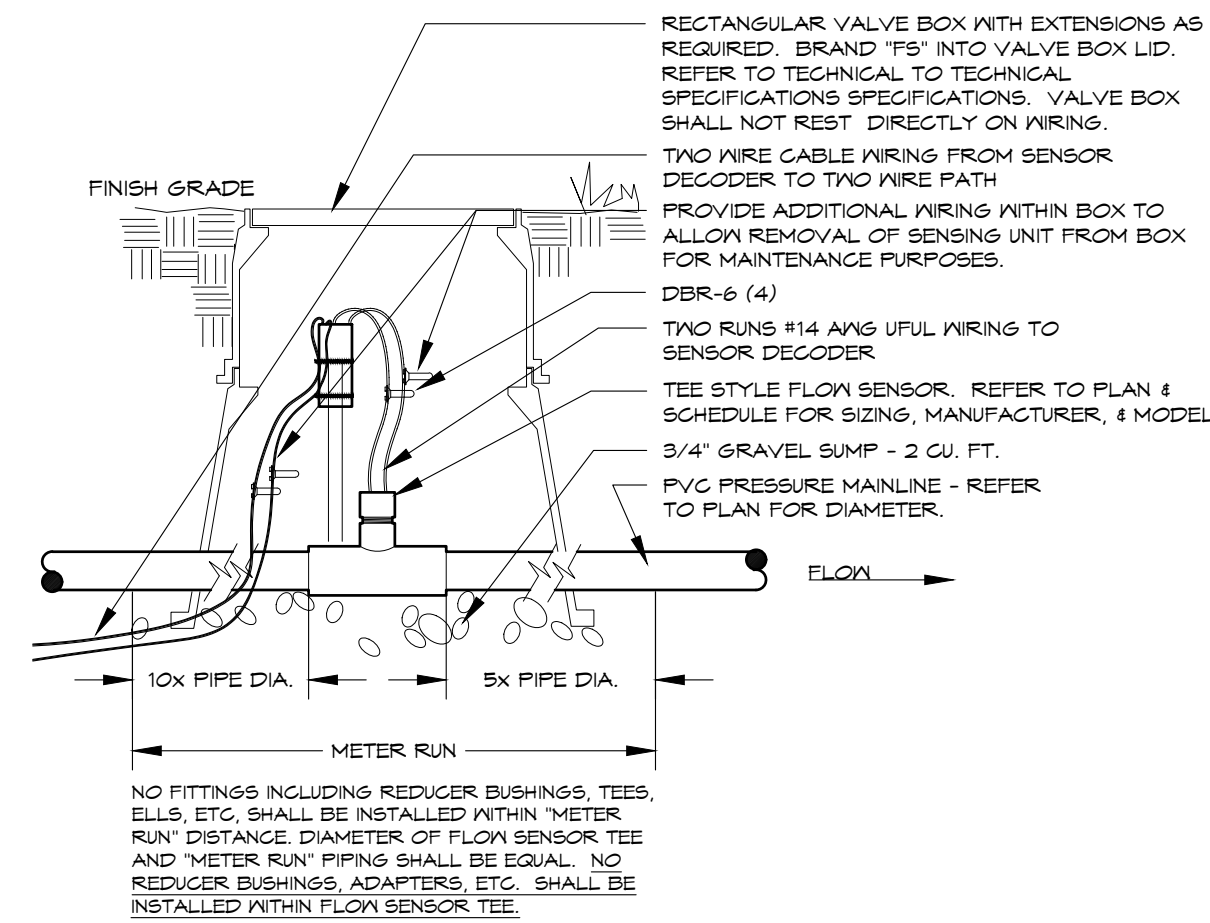
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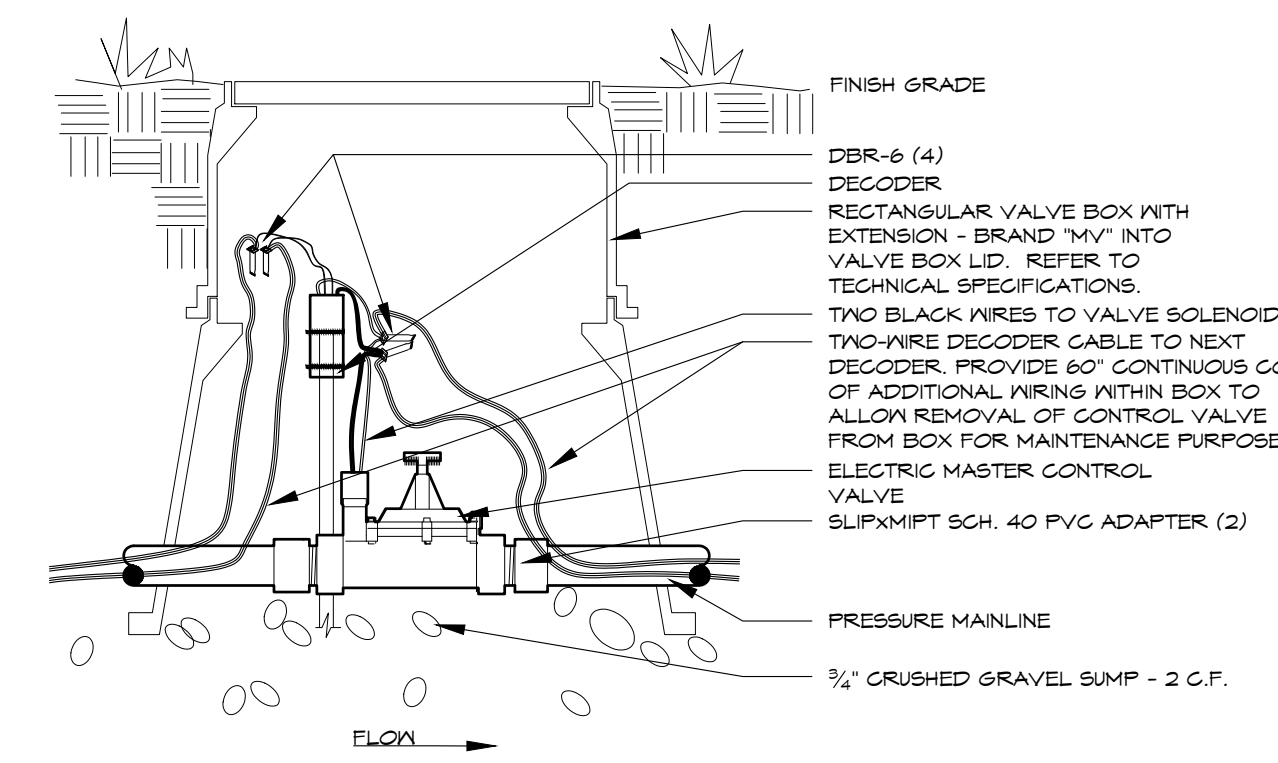
BACKFLOW PREVENTER
3/4" - 2" SYSTEMS WITH PVC CONNECTION

1



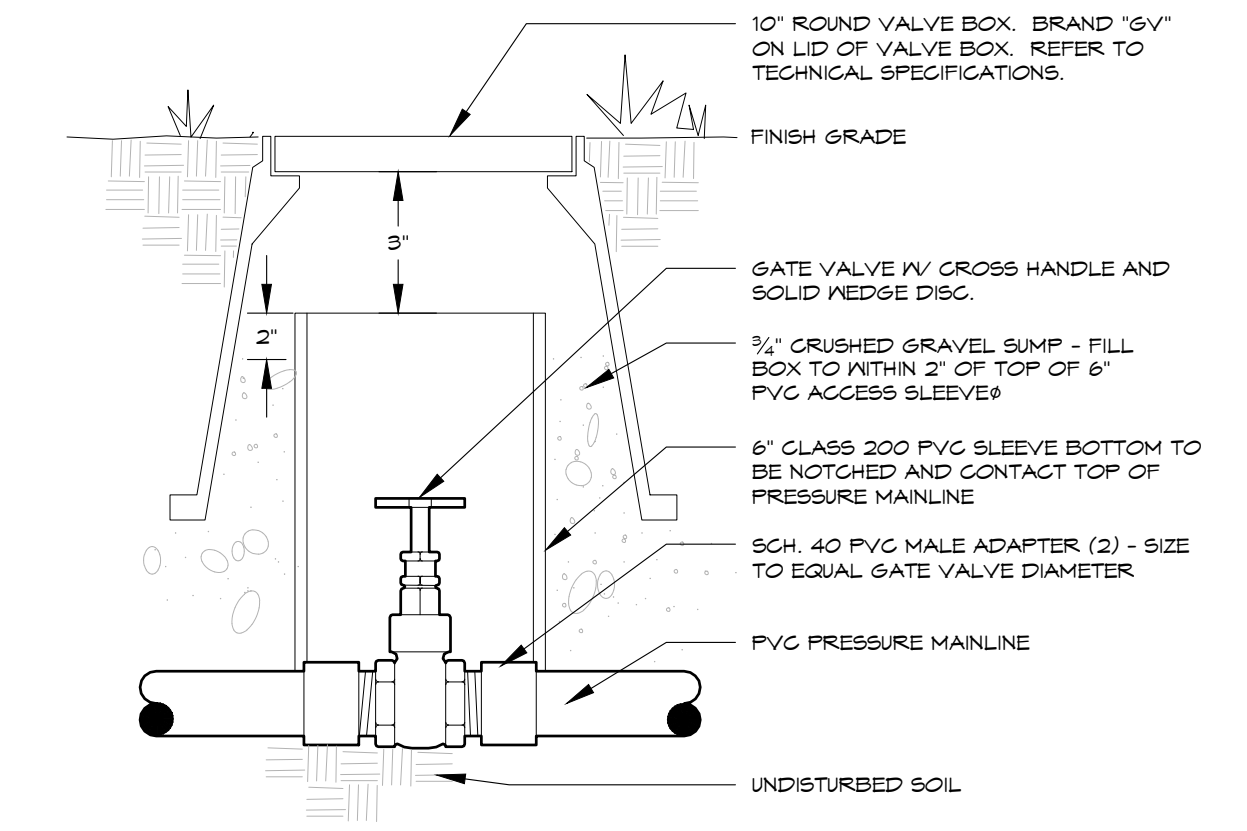
FLOW SENSOR
VIA DECODER - TEE STYLE - POTABLE

2



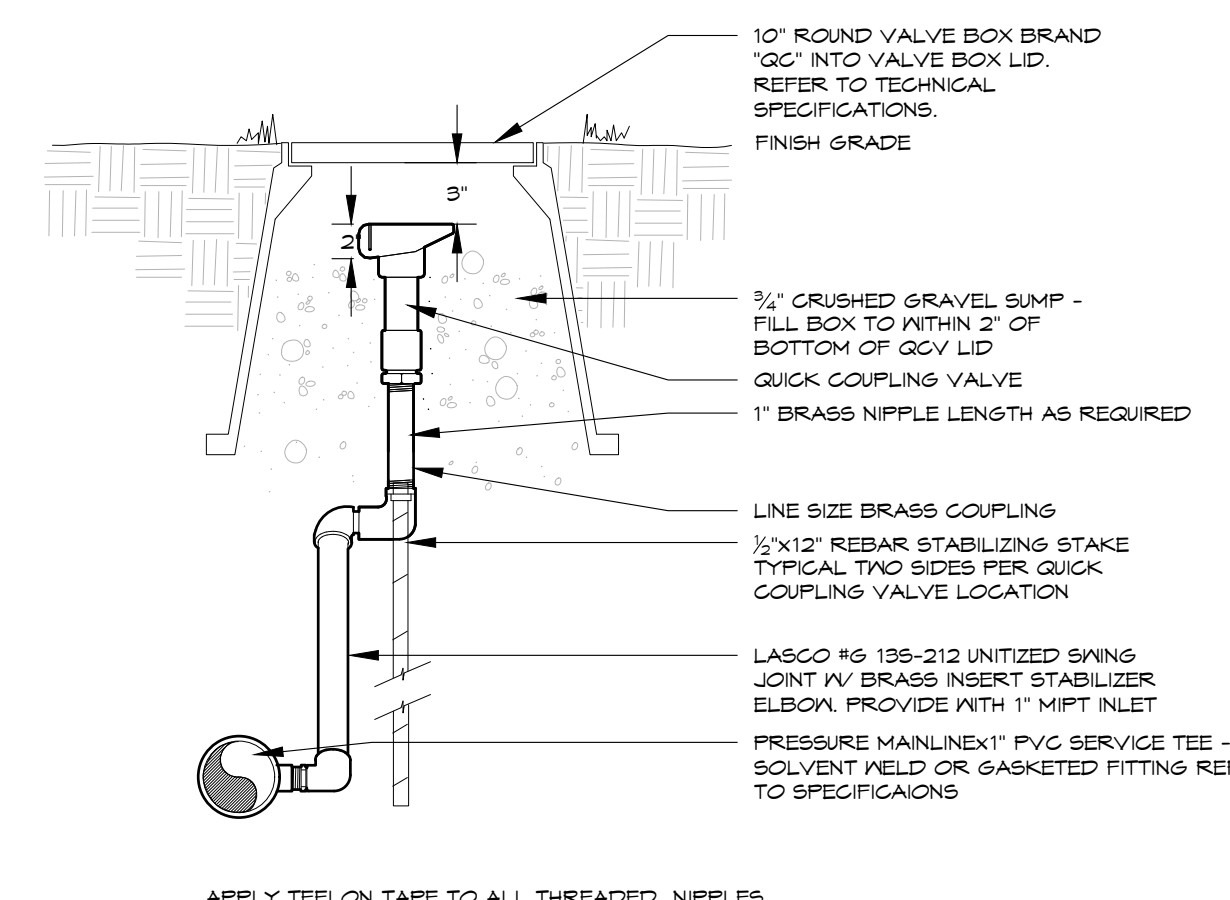
MASTER VALVE
VIA DECODER - TAPS 2" & SMALLER

3



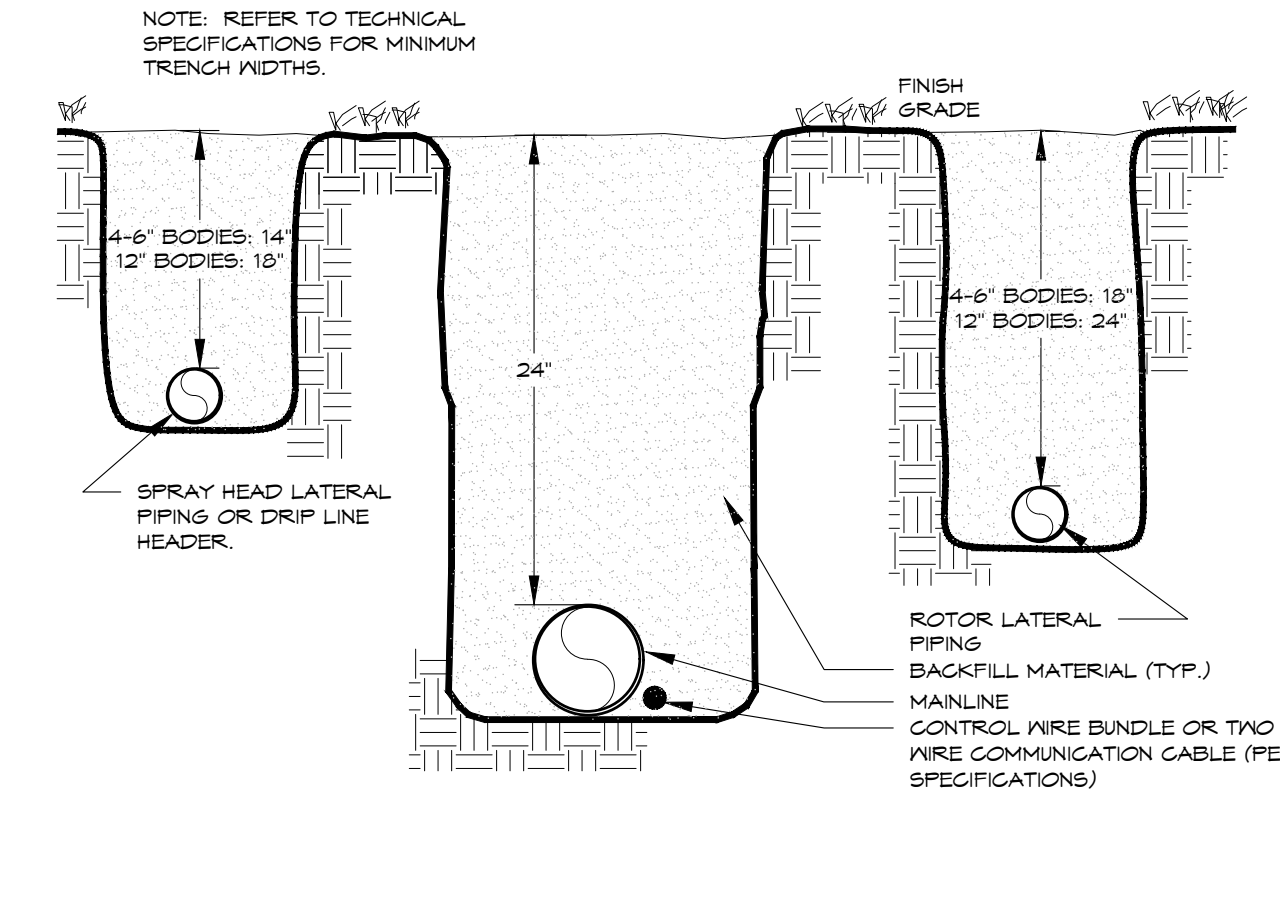
GATE VALVE
2.5" & SMALLER - X-HANDLE

4



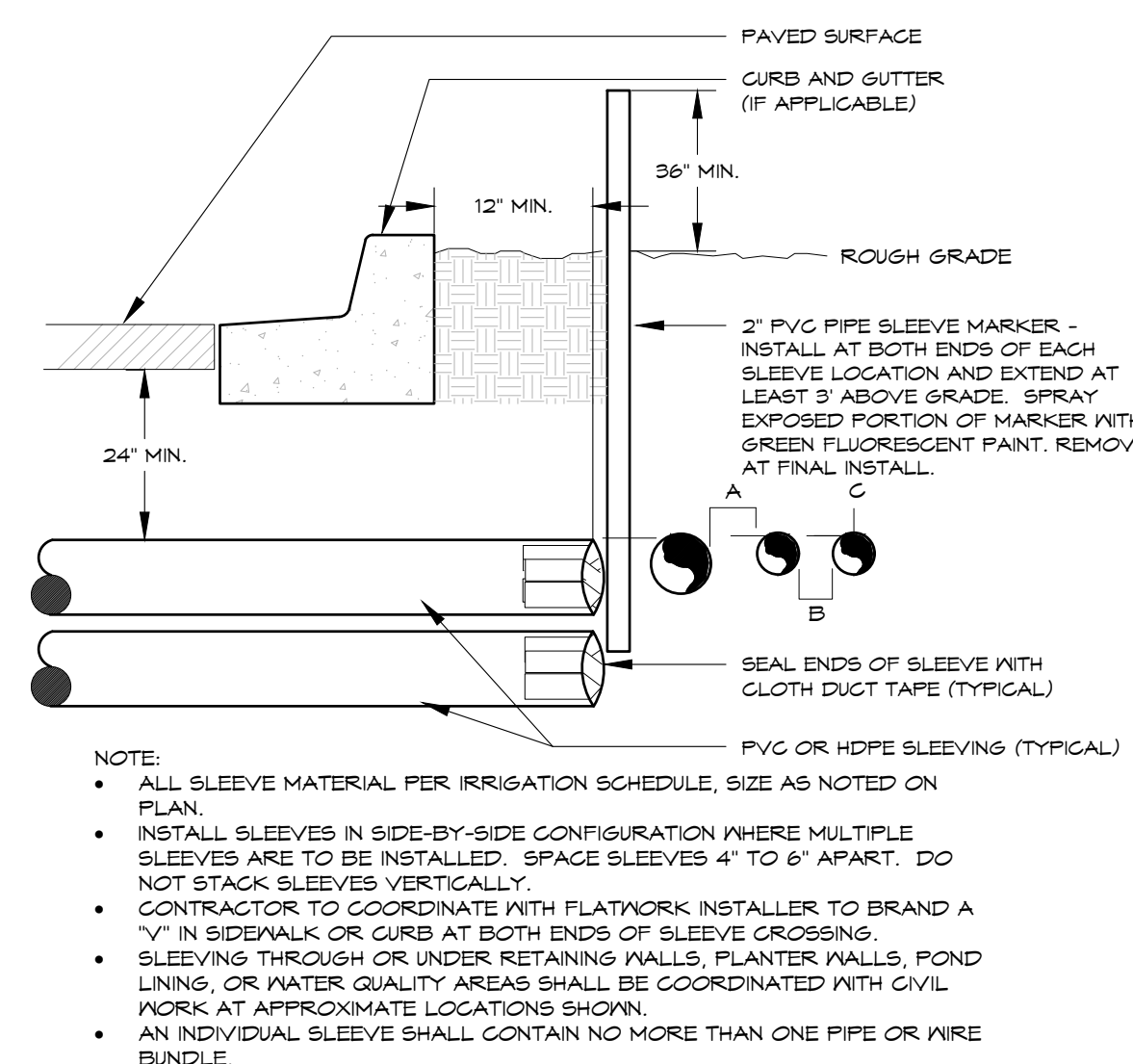
QUICK COUPLING VALVE
LASCOSWING - TYPICAL

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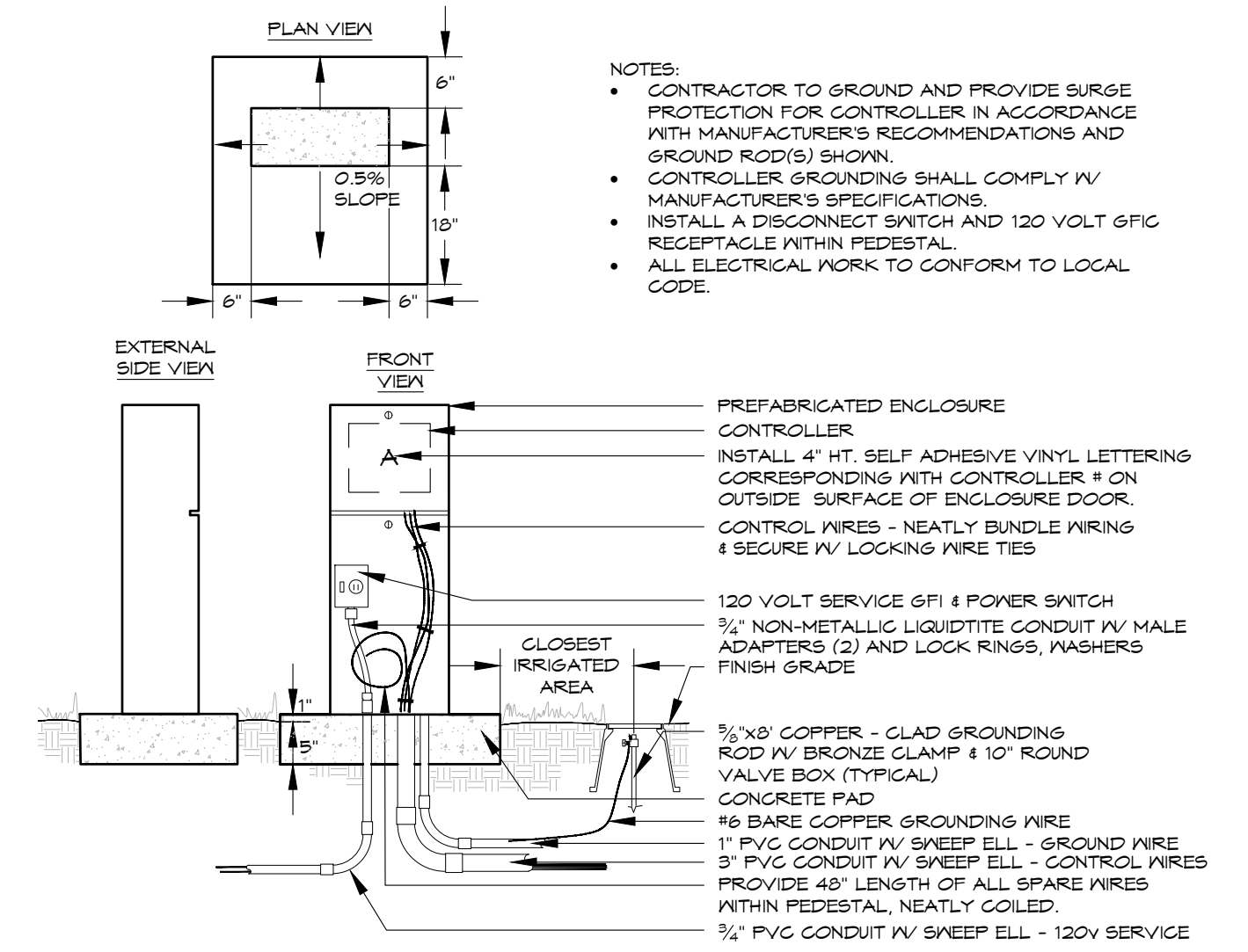
TRENCH
24" MAINLINE

6



IRRIGATION SLEEVING
TYPICAL

7



ELECTRIC CONTROLLER
PEDESTAL - FRONT OPENING - TYPICAL

8

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lonetree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:

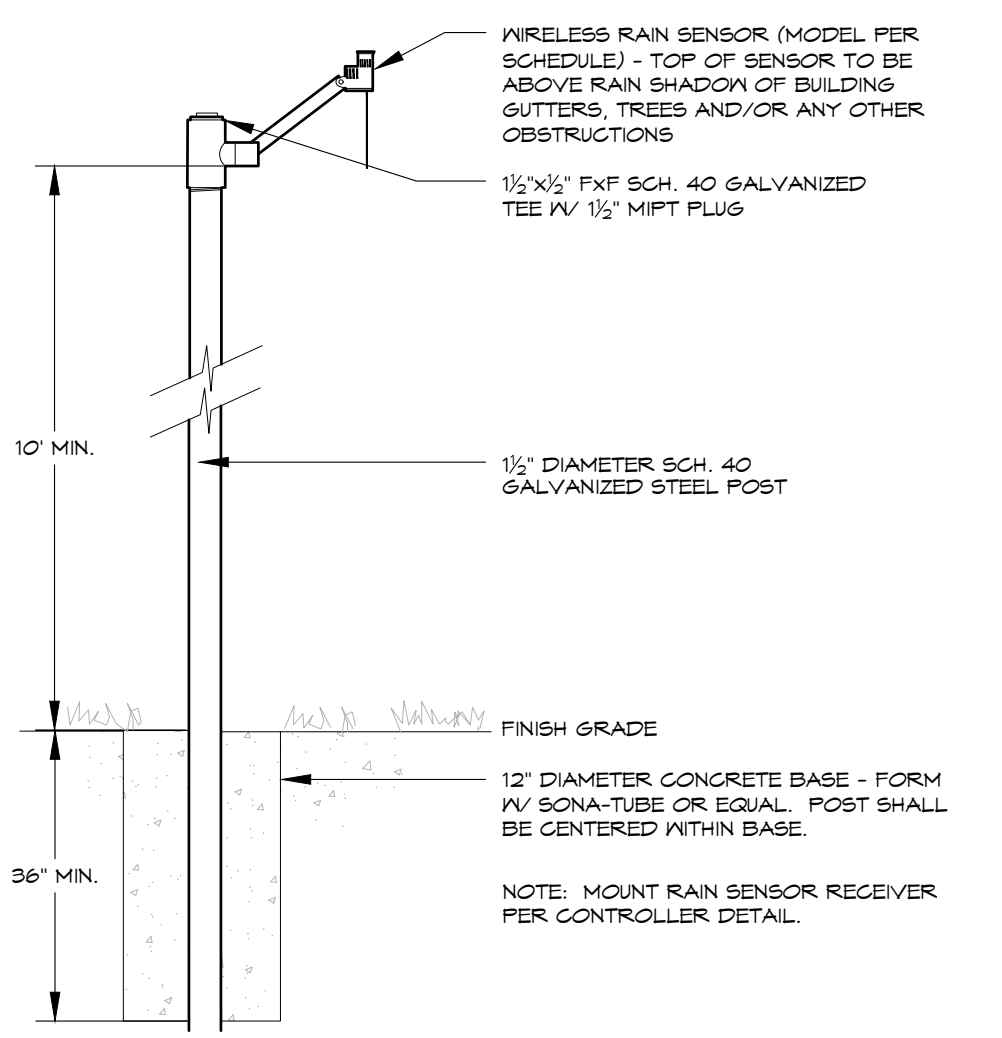
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	COMPLETENESS REVIEW
06/28/2024	• 1st SUBMITTAL
07/12/2024	• 1st SUBMITTAL - R1
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IRRIGATION DETAILS

WEATHER SENSOR
POLE MOUNTED - Wireless

9



FILE PATH: T:\8000-0009_Johns\8026-Badger Gulch\IRR-DD-REV1.dwg
USER: JJI
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CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



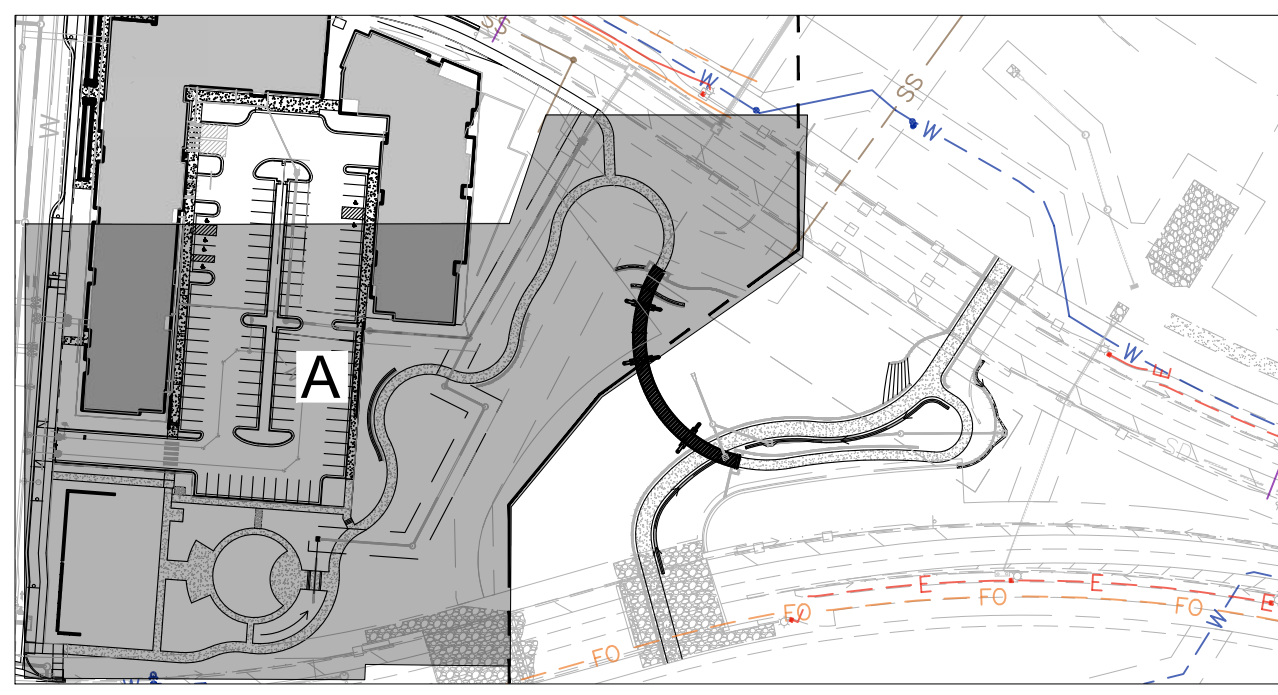
HydroSystems
Irrigation Consulting & Water Management
13949 W. Cofax Ave., Suite 260 Lakewood, Colorado 80401
303.980.5327 www.hydrosystemskd.com



Badger Gulch Park

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CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

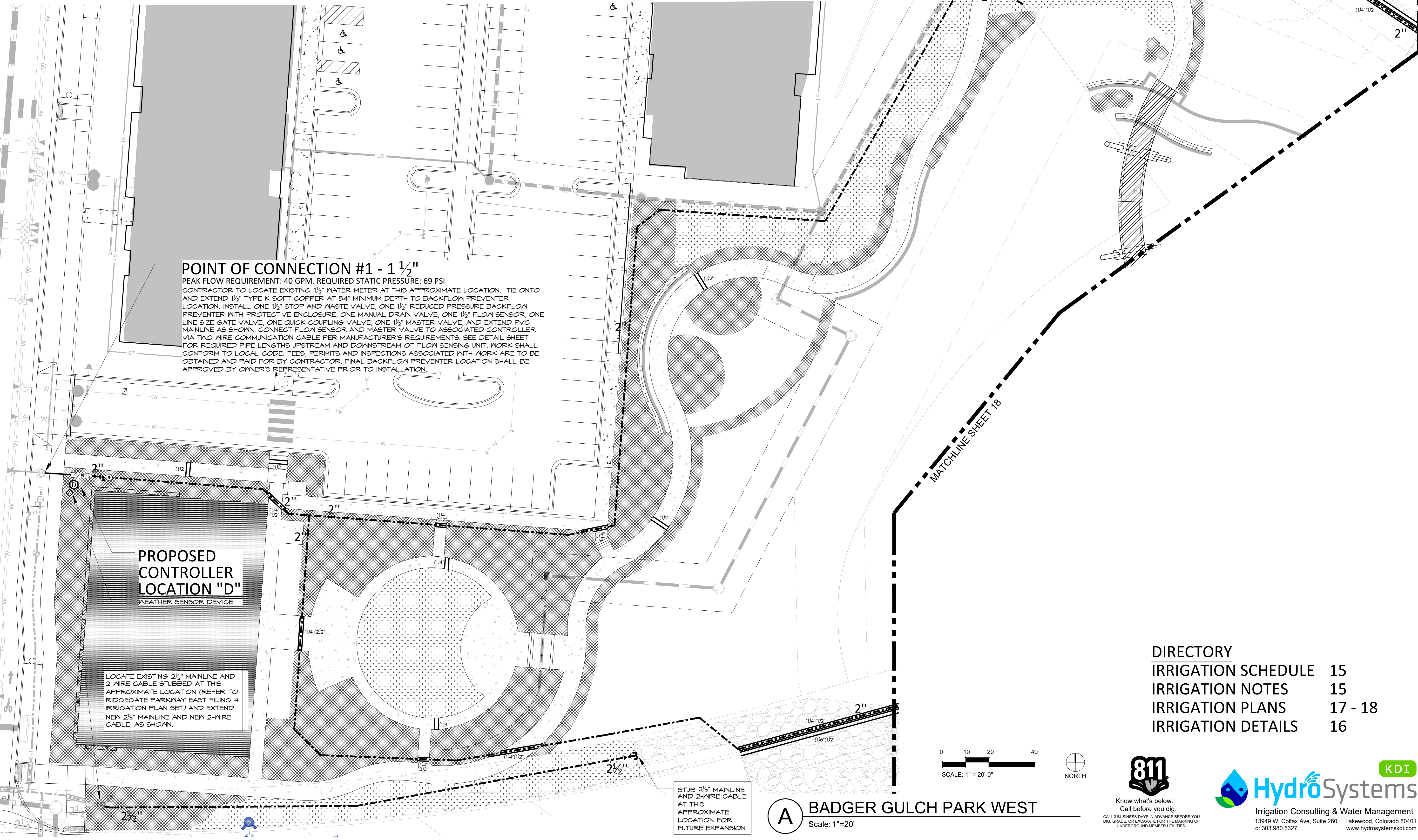
3.36 ACRES
SP24-0016



KEY MAP

LOCATE EXISTING 2 1/2" MAINLINE AND 2-WIRE CABLE STUBBED AT THIS APPROXIMATE LOCATION (REFER TO RIDGEGATE PARKWAY EAST FILING 4 IRRIGATION PLAN SET) AND EXTEND NEW 2 1/2" MAINLINE AND NEW 2-WIRE CABLE, AS SHOWN.

STUB 2 1/2" MAINLINE AND 2-WIRE CABLE AT THIS APPROXIMATE LOCATION FOR FUTURE EXPANSION.



NOT FOR CONSTRUCTION

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
LoneTree, Colorado

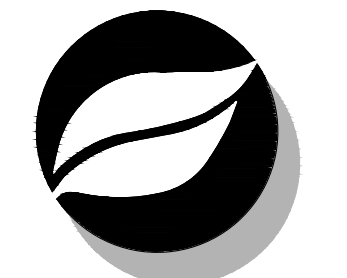
BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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09/23/2024	• 2nd SUBMITTAL

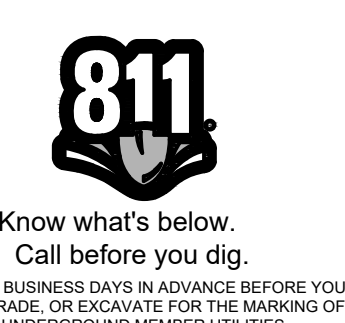
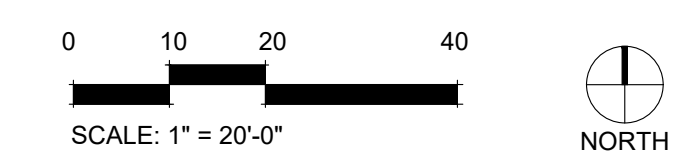
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IRRIGATION PLAN WEST



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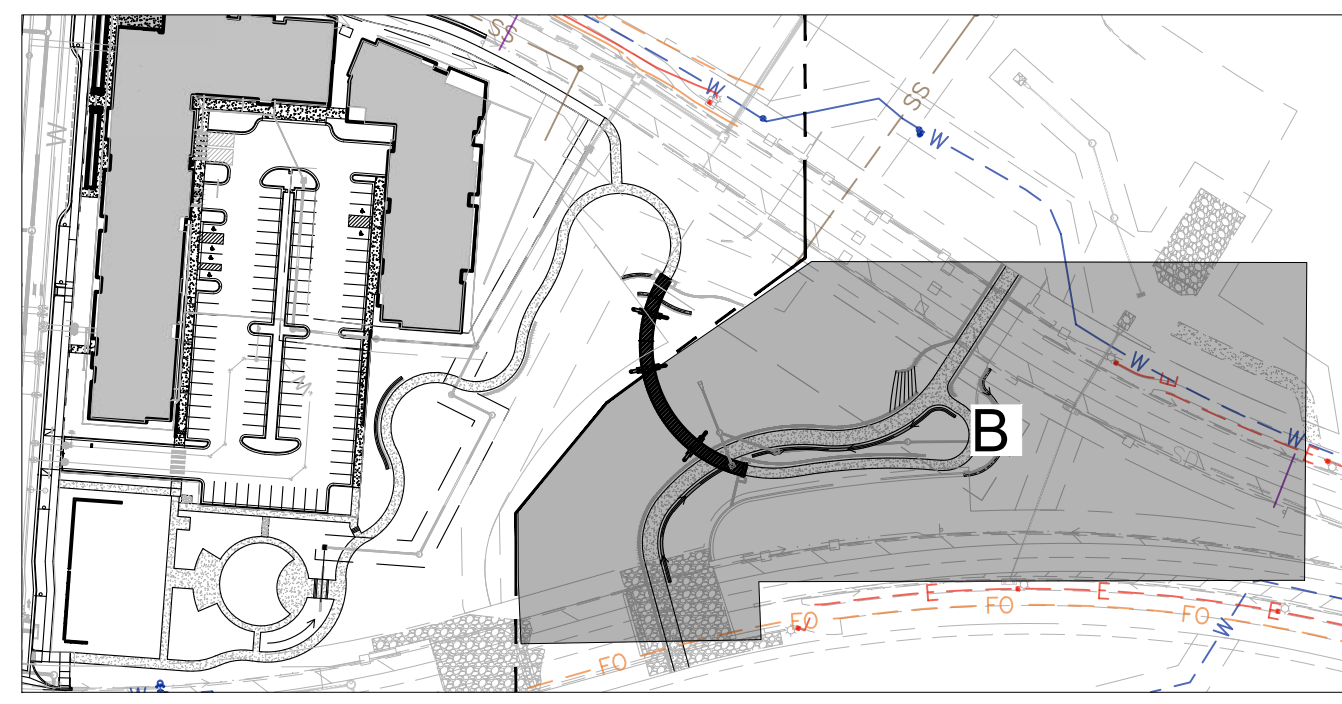
A BADGER GULCH PARK WEST
Scale: 1"=20'

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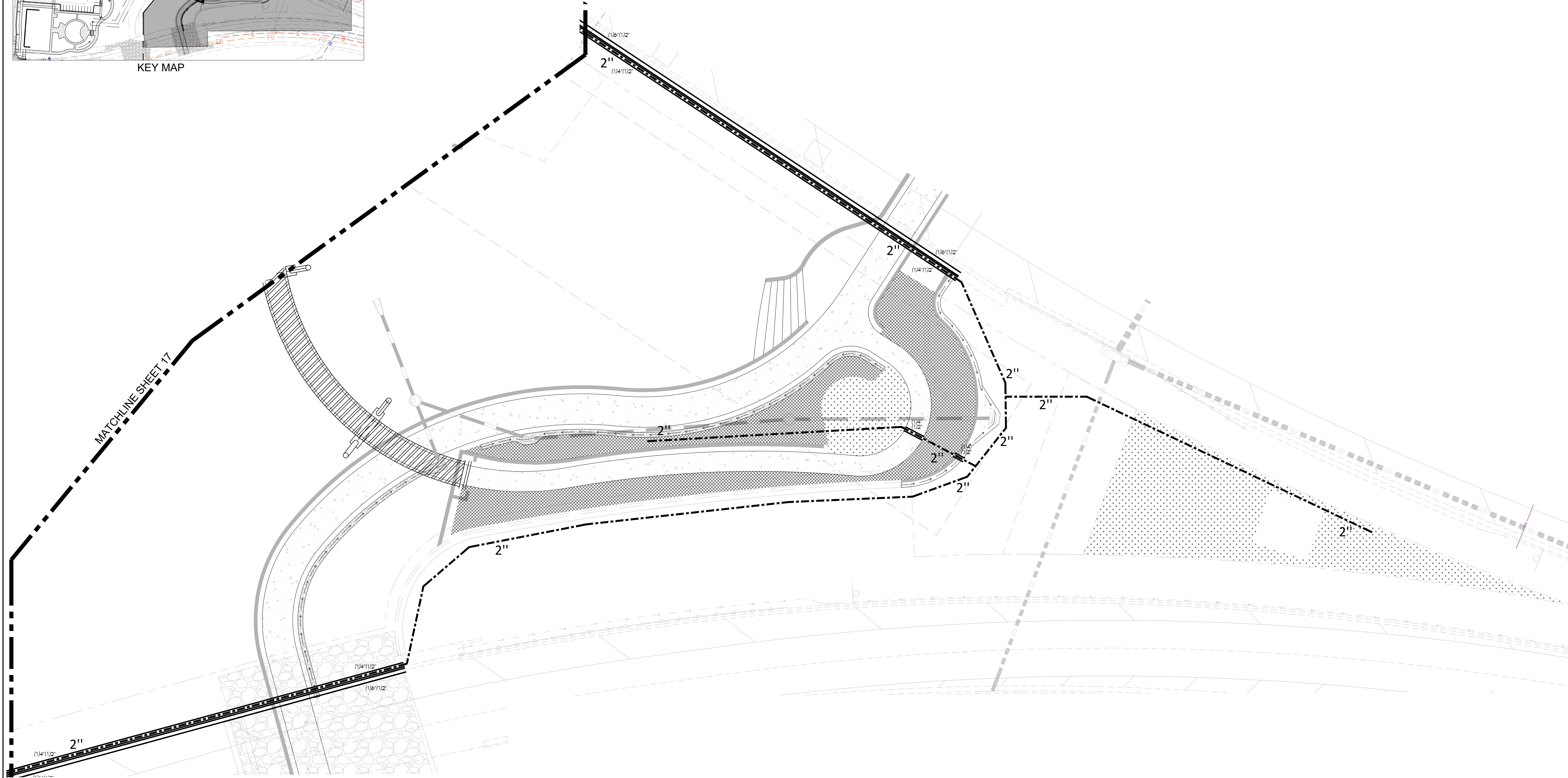
Badger Gulch Park

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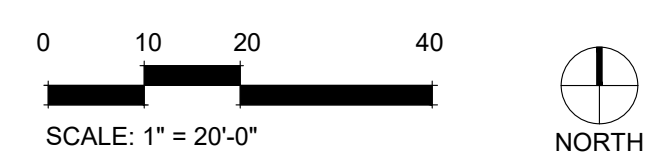
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KEY MAP



B BADGER GULCH EAST
Scale: 1"=20'




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IRRIGATION PLAN
EAST

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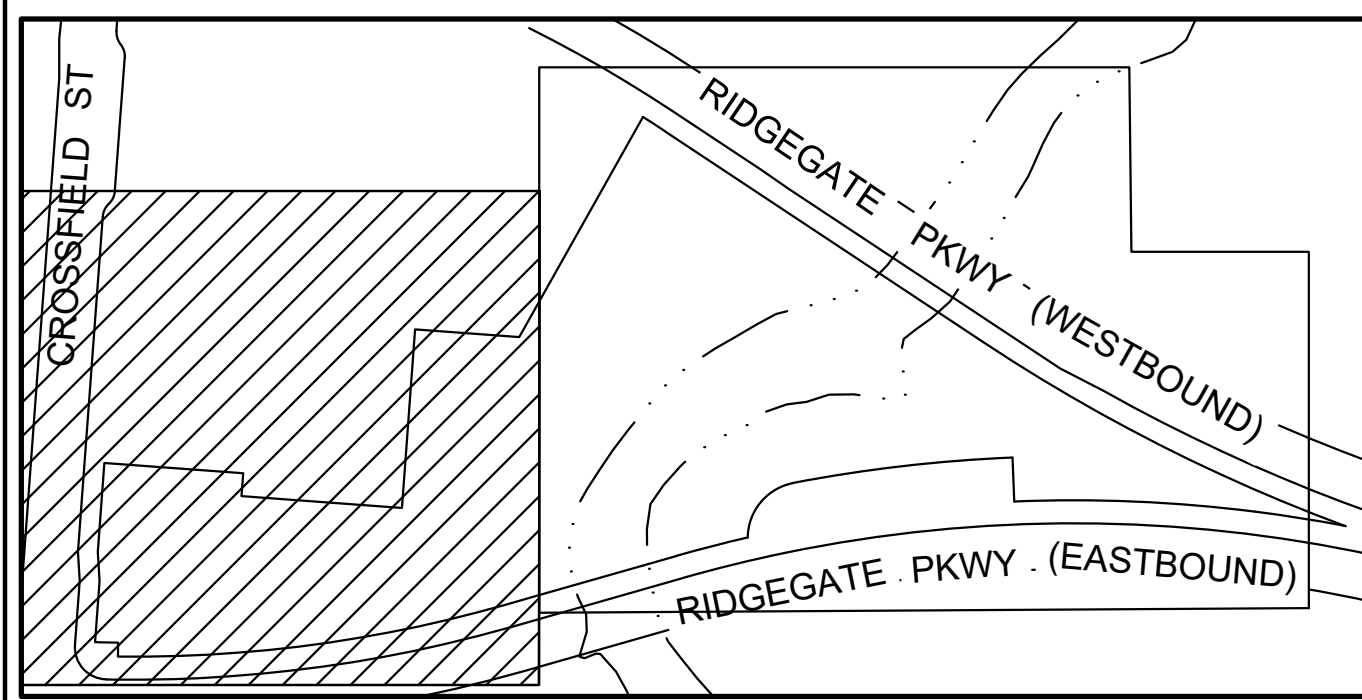


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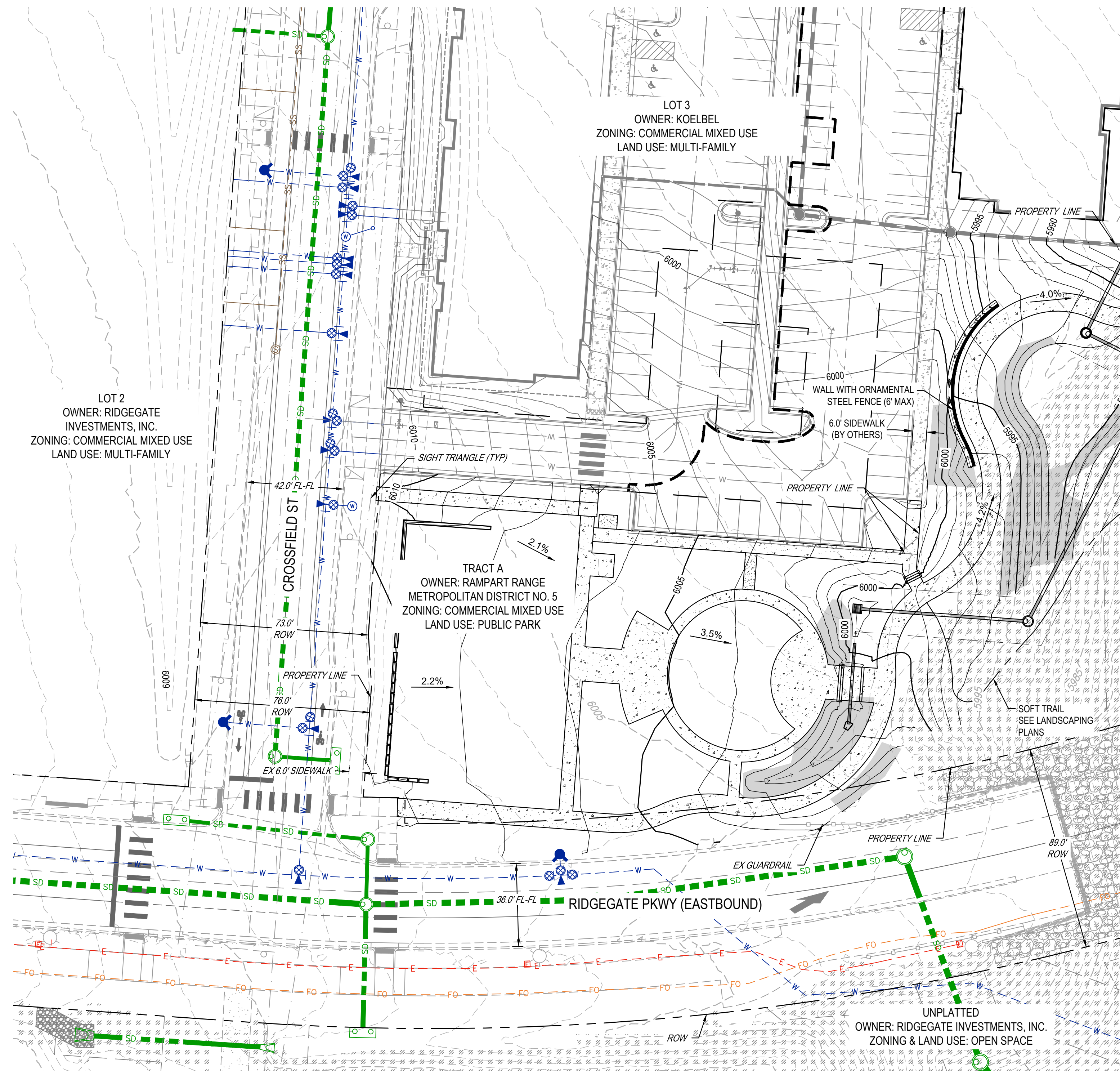
Badger Gulch Park

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CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

3.36 ACRES
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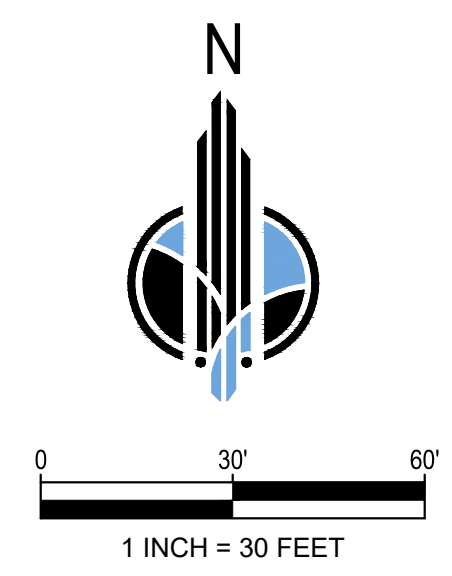
KEY MAP



MATCHLINE ON SHEET 20

LEGEND

	EXISTING MAJOR CONTOUR		PROPOSED MAJOR CONTOUR
	EXISTING MINOR CONTOUR		PROPOSED MINOR CONTOUR
	EXISTING CURB AND GUTTER		PROPOSED STORM
	EXISTING SANITARY SEWER		PROPOSED 4:1 SLOPES OR GREATER
	EXISTING BURIED ELECTRIC		EXISTING STORM
	EXISTING WATER		EXISTING 5:1 SLOPES OR GREATER




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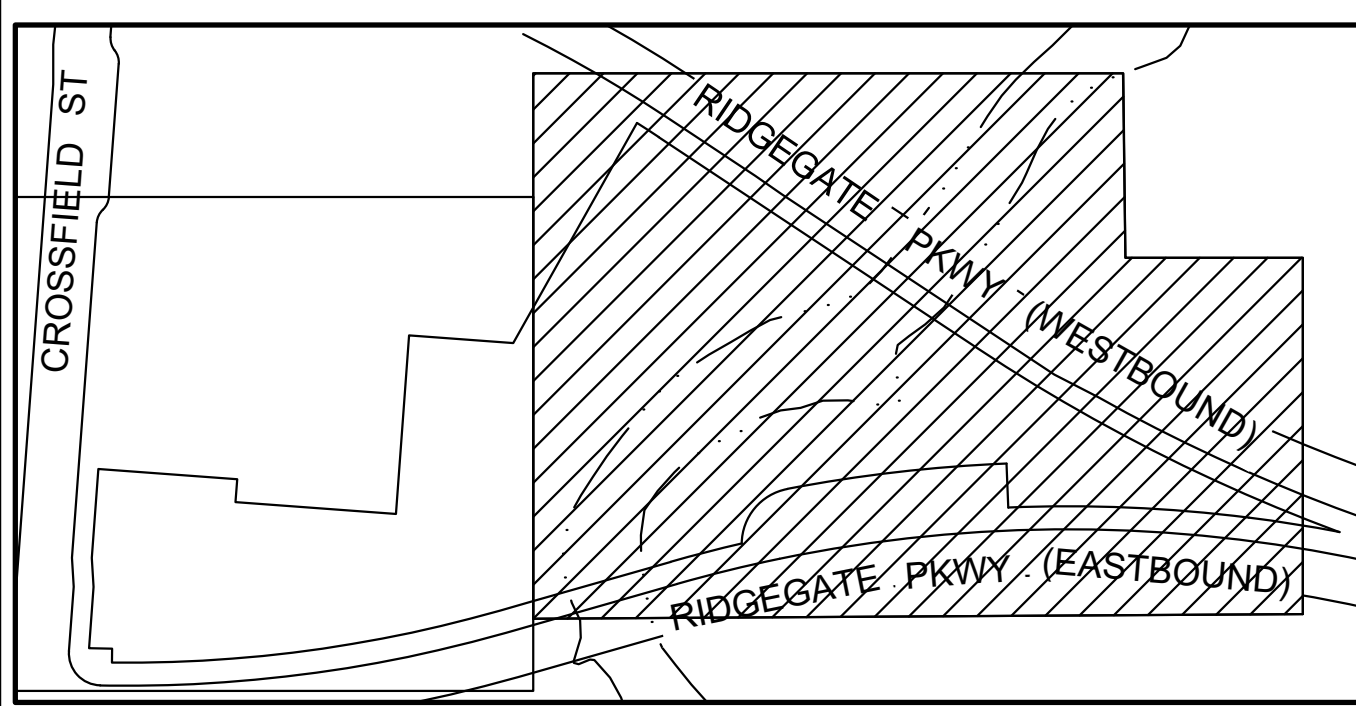
GRADING
PLAN

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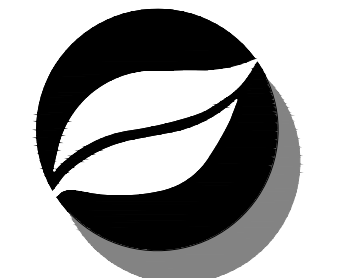
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KEY MAP



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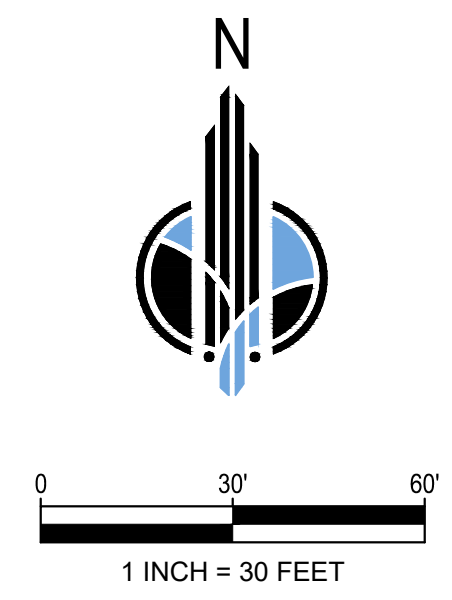
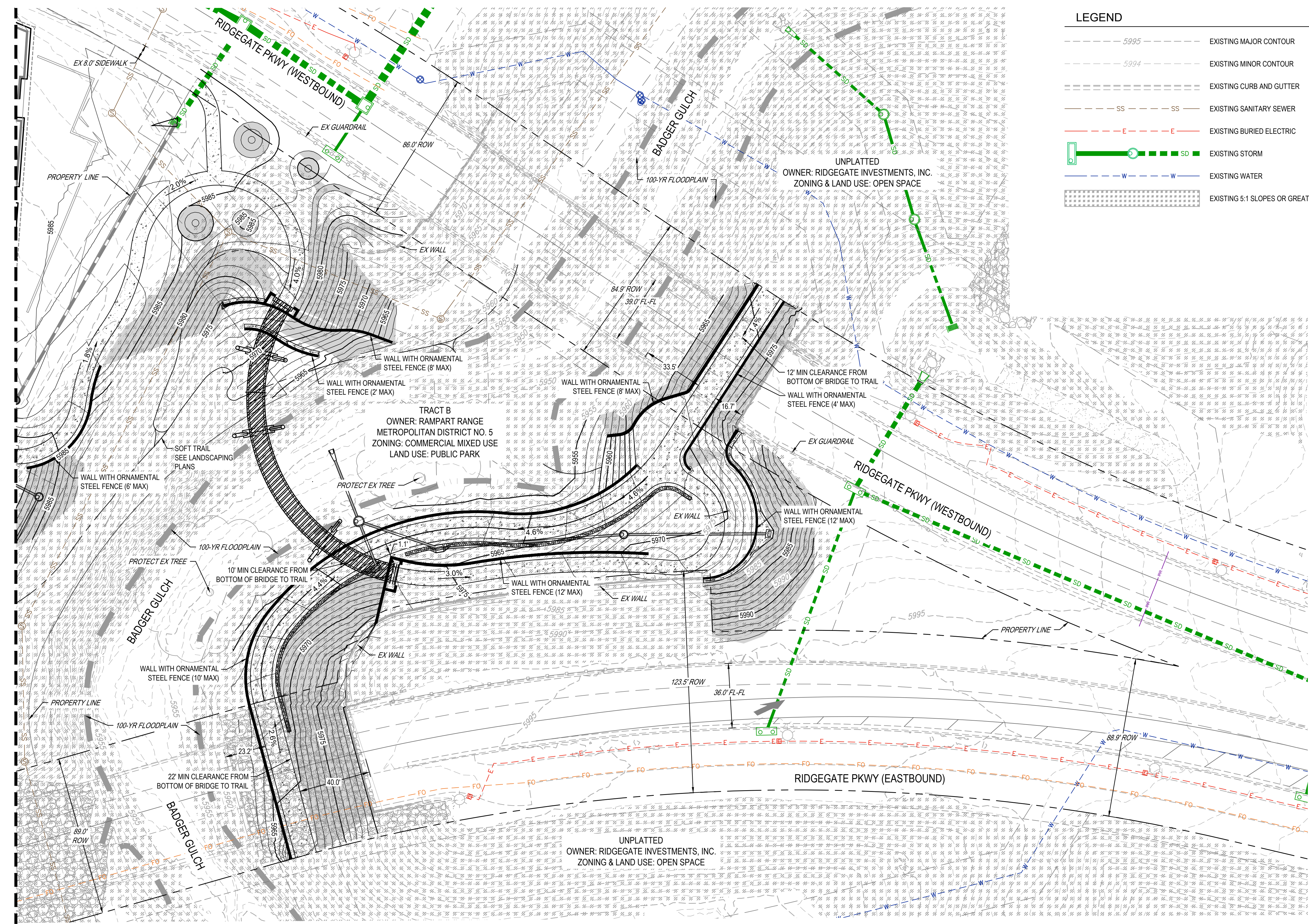
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SITE IMPROVEMENT PLAN

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GRADING
PLAN

MATCHLINE ON SHEET 19

LEGEND			
	EXISTING MAJOR CONTOUR		PROPOSED MAJOR CONTOUR
	EXISTING MINOR CONTOUR		PROPOSED MINOR CONTOUR
	EXISTING CURB AND GUTTER		PROPOSED STORM
	EXISTING SANITARY SEWER		PROPOSED 4:1 SLOPES OR GREATER
	EXISTING BURIED ELECTRIC		
	EXISTING STORM		
	EXISTING WATER		
	EXISTING 5:1 SLOPES OR GREATER		

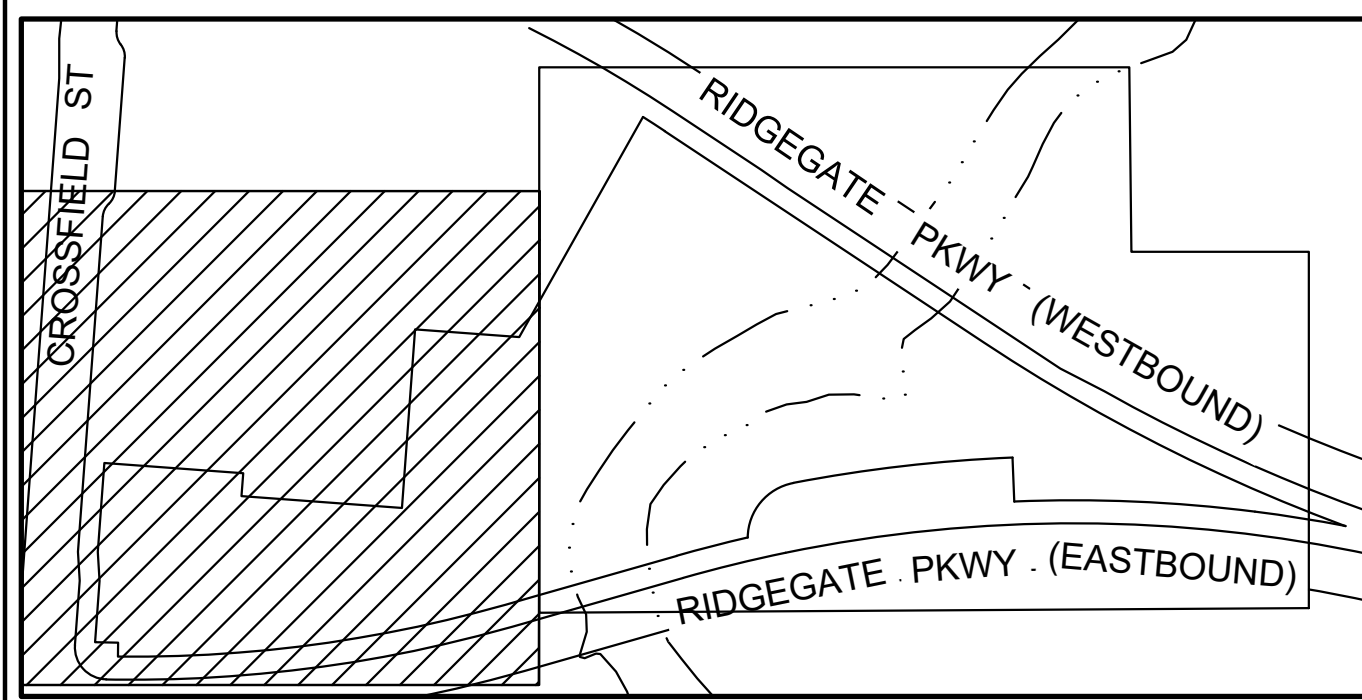


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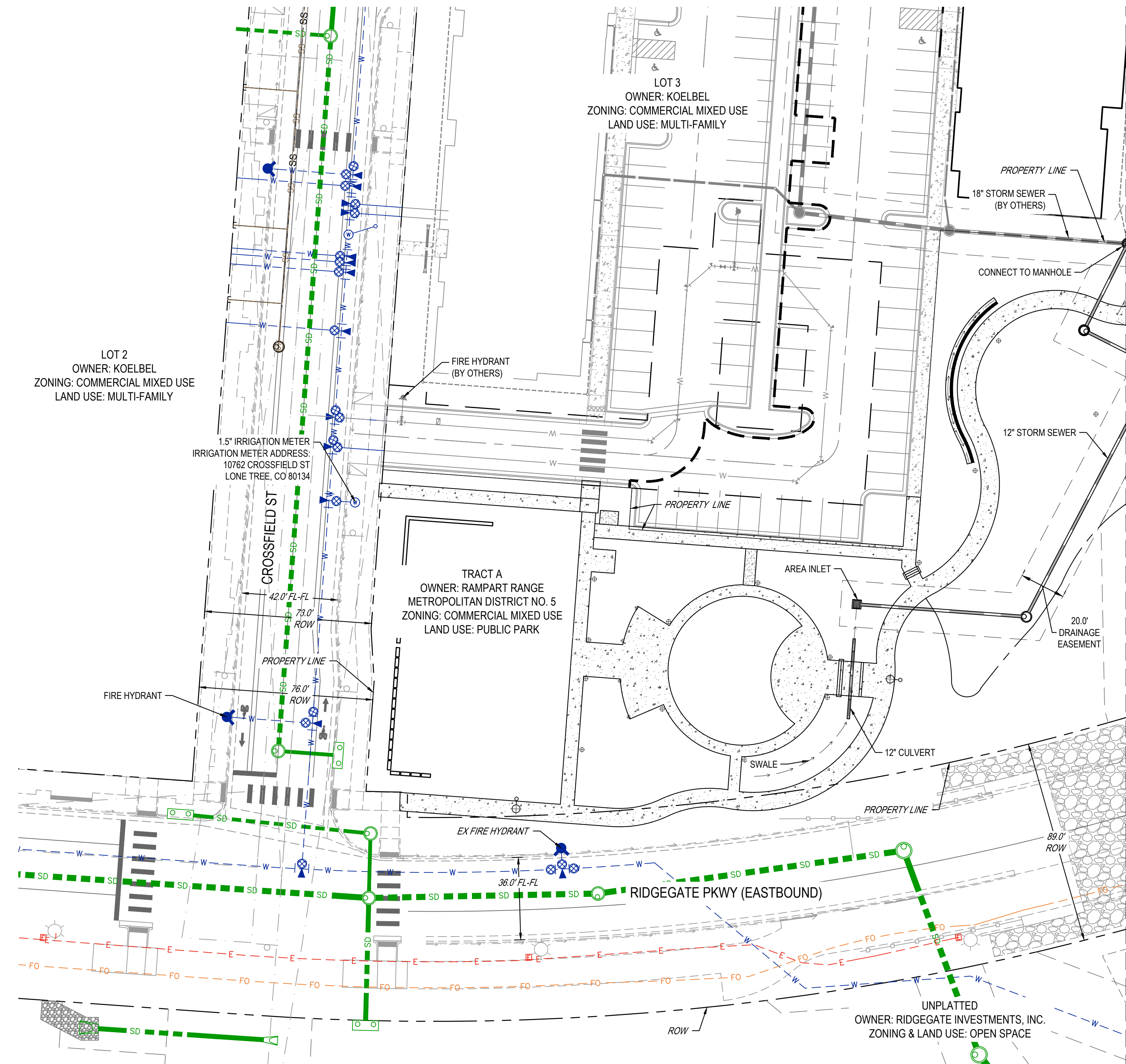
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CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)

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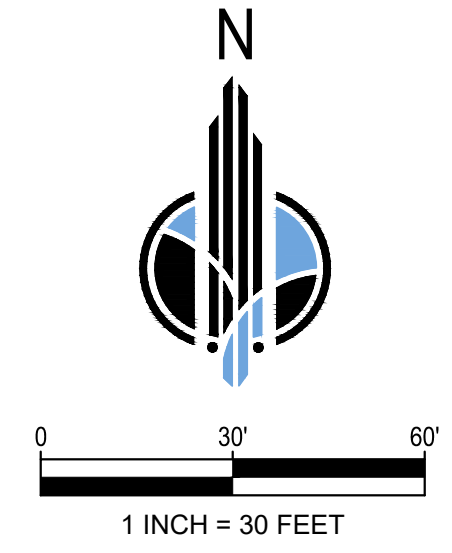
KEY MAP



MATCHLINE ON SHEET 19

LEGEND

	5995	EXISTING MAJOR CONTOUR		5995	PROPOSED MAJOR CONTOUR
	5994	EXISTING MINOR CONTOUR		5994	PROPOSED MINOR CONTOUR
		EXISTING CURB AND GUTTER			PROPOSED STORM
	SS	EXISTING SANITARY SEWER			
	E	EXISTING BURIED ELECTRIC			
	SD	EXISTING STORM			
	W	EXISTING WATER			




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Lonetree, Colorado

BADGER GULCH PARK
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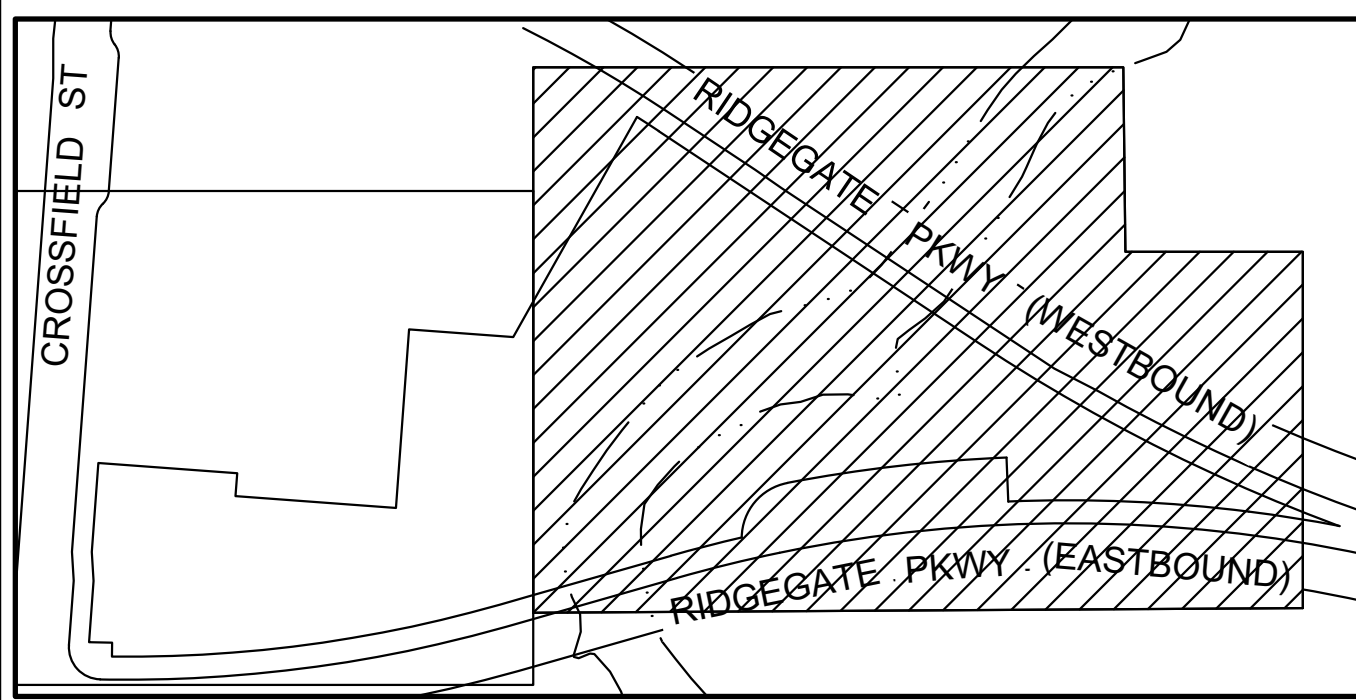
UTILITY
PLAN

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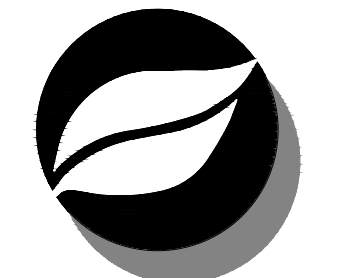
Badger Gulch Park

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3.36 ACRES
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KEY MAP



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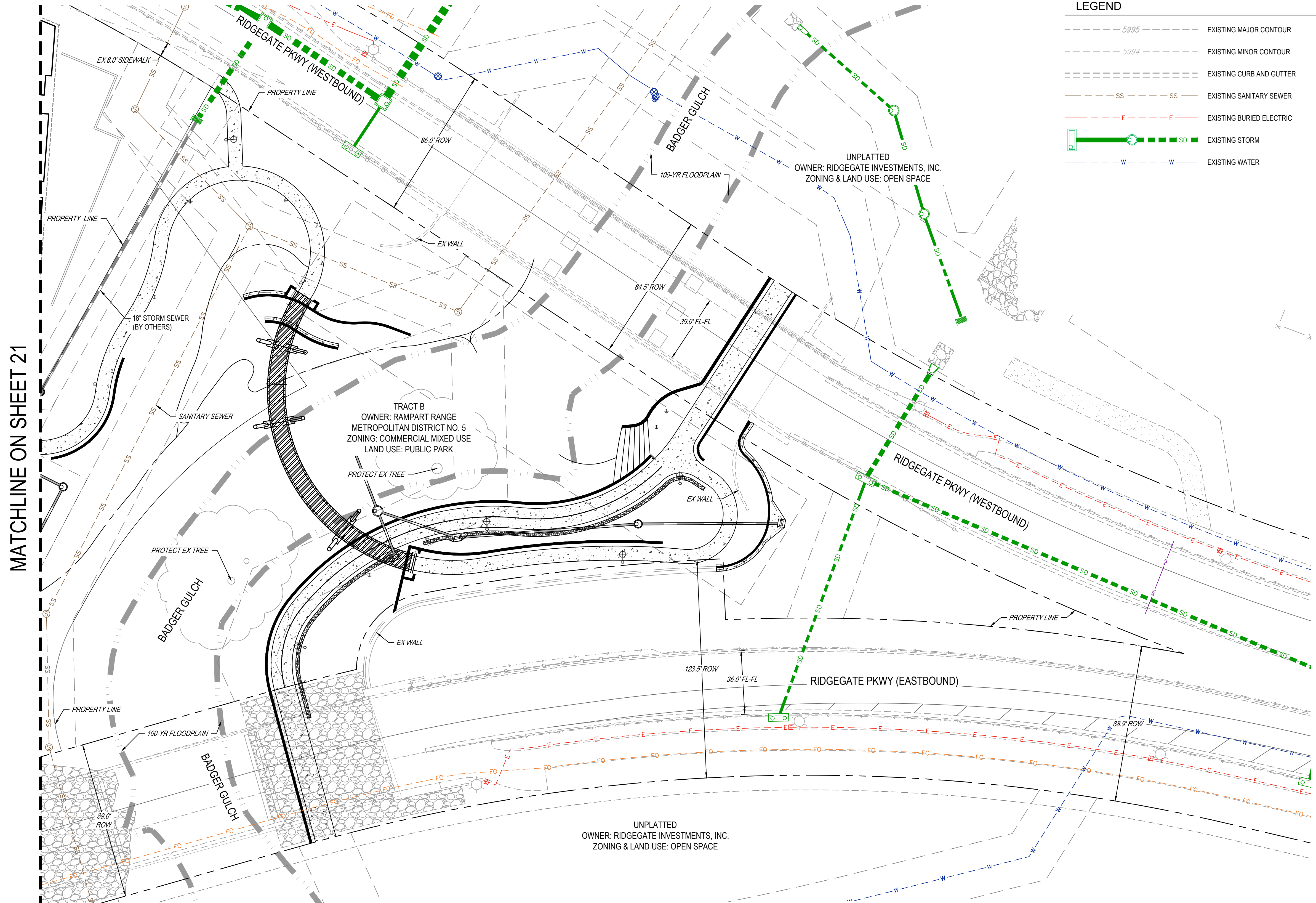
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LEGEND

	5995	EXISTING MAJOR CONTOUR		5995	PROPOSED MAJOR CONTOUR
	5994	EXISTING MINOR CONTOUR		5994	PROPOSED MINOR CONTOUR
		EXISTING CURB AND GUTTER			PROPOSED STORM
	SS	EXISTING SANITARY SEWER			
	E	EXISTING BURIED ELECTRIC			
	SD	EXISTING STORM			
	W	EXISTING WATER			

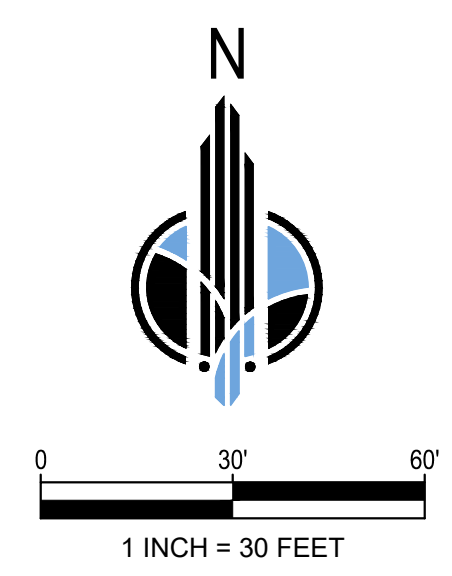


MATCHLINE ON SHEET 21

RIDGEGATE EAST, FILING NO 4
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LoneTree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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UTILITY
PLAN

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USER: Madelyn Stoffer
PLOT DATE: 9/23/2024 1:02 PM

GENERAL NOTES

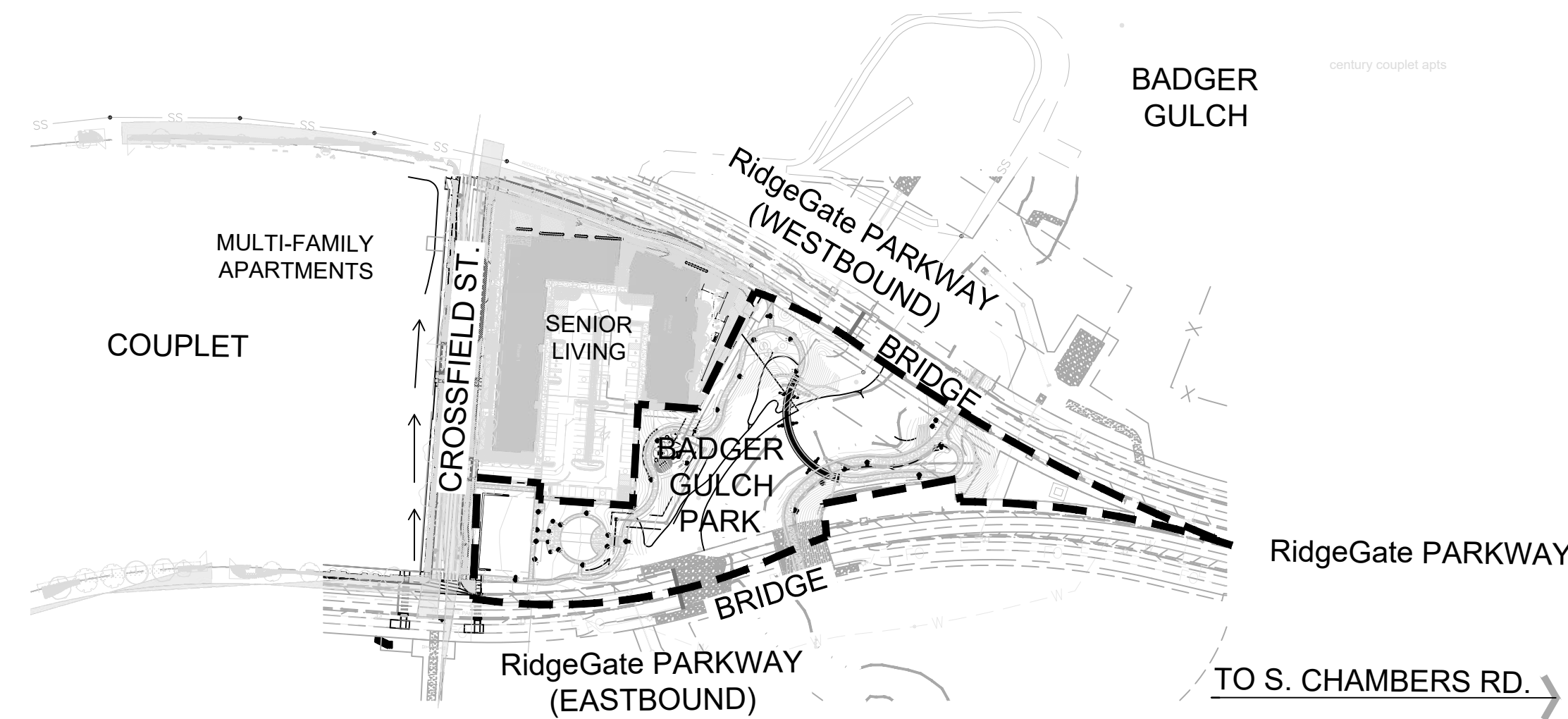
- UNLESS OTHERWISE NOTED, THE WORK DESCRIBED ON THE PLANS SHALL INCLUDE PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR COMPLETE AND OPERATIONAL ELECTRICAL SYSTEMS. FURNISH ALL REQUIRED ITEMS WHETHER SUCH ARE SPECIFICALLY SHOWN OR NOT.
- INFORMATION SHOWN ON THE DRAWINGS IS DIAGRAMMATIC ONLY AND SHALL NOT BE SCALED. OBTAIN AND VERIFY EXACT LOCATIONS, MEASUREMENTS, LEVELS, SPACE REQUIREMENTS, POTENTIAL CONFLICTS AMONG TRADES, ETC. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND FOR ADJUSTING THE WORK AS REQUIRED BY THE ACTUAL CONDITIONS OF THE PROJECT.
- COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES, AND THE LATEST APPLICABLE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) OF THE NATIONAL FIRE PREVENTION ASSOCIATION AS INTERPRETED BY THE LOCAL INSPECTION AUTHORITY HAVING JURISDICTION.
- SECURE AND PAY FOR ALL PERMITS, FEES, TAXES, LICENSES AND INSPECTIONS IN CONNECTION WITH THE ELECTRICAL WORK INCLUDING ANY CONNECTION FEES OR SERVICE MODIFICATION COSTS BY LOCAL UTILITIES.

LIGHTING AND ELECTRICAL LEGEND

- TYPE 'PL' LED PEDESTRIAN POST TOP LUMINAIRE, NOMINAL 2,000 LUMENS, 3000K, TYPE II LIGHT DISTRIBUTION. REFER TO LUMINAIRE SCHEDULE ON THIS SHEET FOR MORE INFORMATION.
 PL _____ LUMINAIRE ID NUMBER
 # _____ ELECTRICAL CIRCUIT NUMBER
- TYPE 'BL' ILLUMINATED BOLLARD, NOMINAL 2,000 LUMENS, 3000K. REFER TO LUMINAIRE SCHEDULE ON THIS SHEET FOR MORE INFORMATION.
 BL _____ LUMINAIRE ID NUMBER
 # _____ ELECTRICAL CIRCUIT NUMBER
- TYPE 'SL' SURFACE MOUNTED LED DIRECT INDIRECT LUMINAIRE, NOMINAL 1,100 LUMENS, 3000K, NOMINAL 780 LUMENS, 4000K. REFER TO LUMINAIRE SCHEDULE ON THIS SHEET FOR MORE INFORMATION.
 SL # _____ LUMINAIRE ID NUMBER
 # _____ ELECTRICAL CIRCUIT NUMBER
- SCHEDULE 80 PVC CONDUIT BURIED IN 24" DEEP TRENCH AND COMPACTION BACKFILL UNLESS NOTED OTHERWISE. REFER TO FEEDER SCHEDULE FOR WIRING AND CONDUIT SIZE.
- CIRCUIT HOMERUN. NUMBER OF ARROWS INDICATE NUMBER OF CIRCUITS. REFER TO PANEL SCHEDULES.
- CAST POLYMER CONCRETE SPLICEBOX INSTALLED FLUSH TO GRADE OR SIDEWALK WITH HEAVY DUTY TRAFFIC RATED COVER.
 S1 = SMALL BOX (18"x11") ANSI TIER 22. QUAZITE PART# PG1118BA12.
 S2 = MEDIUM BOX (24"x13") ANSI TIER 22. QUAZITE PART# PG1324BA12.
- 3" SCHEDULE 80 PVC OR HDPE SLEEVE UNDER ROADWAY OR DRIVEWAY TERMINATING IN SPLICE BOXES AT EACH END.
- IRRIGATION CONTROLLER
 # _____ ELECTRICAL CIRCUIT NUMBER
- NEW LIGHTING CONTROL CENTER WITH METER
- DUPLEX RECEPTACLE IN PEDESTRIAN POLE TYPE 'SL' OR IN PAVILION STRUCTURE WITH WEATHERPROOF WHILE IN USE COVER. TAYMAC #ML-450-G OR APPROVED EQUAL.
 # _____ ELECTRICAL CIRCUIT NUMBER
- NEW TRANSFORMER. COORDINATE EXACT LOCATION WITH XCEL ENERGY.
- FEEDER IDENTIFICATION TAG. REFER TO FEEDER SCHEDULE.

Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
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 SP24-0016



LUMINAIRE SCHEDULE

TYPE	LOCATION	MANUFACTURER	DESCRIPTION / NOTES	FINISH	LIGHT SOURCE	POWER SOURCE	LUMINAIRE INPUT WATTS	VOLTAGE
PL	Pathway	Signify Pureform PPT-C-A01-830-T2M-UNV Mountain States Lighting CAT# MSRTA12-TT-DG060718C-P805-BLACK	Pedestrian Light Standard New post top pedestrian LED luminaire on 12'-0" aluminum pole with new concrete foundation. Type V distribution, B2-U0-G1 BUG rating, with 0-10V dimmable driver and 7 pin photocell with shorting cap mounted on the top of the pole. Finish shall be confirmed with Landscape Architect. Luminaire to be UL listed for wet location.	TBD	Integral LED Initial Luminaire Lumens: 2,806 CCT: 3000K CRI: 80+ Rated Life: 100,000 at L70	Integral LED Driver Electronic 0-10V Dimming	23W	120-277V
BL	Pathway	Zaneen Tris E9B027-30K	Site & Area Bollard New LED bollard, 3000K, 80 CRI, B1-U0-G1 BUG rating, IP66, 2.75" tall, roughly 6" in diameter. Finish shall be confirmed with Landscape Architect. Luminaire to be UL listed for wet location.	TBD	Integral LED Initial Luminaire Lumens: 2,070 CCT: 3000K CRI: 80+ Rated Life: 60,000 at L70	Remote LED Driver Electronic No Dimming	21W	120-277V
SL	Pavilion	We-ef QLS410LED 131-9409	Wall-Mount Cylinder 6.3" x 3.62" Cylindrical fixture with symmetric medium beam with equal up and down light, 3000K, 80 CRI, B1-U4-G0 maximum BUG rating, IP66. Finish shall be confirmed with Landscape Architect. Luminaire to be UL listed for wet location.	TBD	Integral LED Initial Luminaire Lumens: 1,173 CCT: 3000K CRI: 80+ Rated Life: 90,000 at L70	Remote LED Driver Electronic 0-10V Dimming	15W	120-277V

SHEET INDEX:

- 23 COVER
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RIDGEGATE EAST, FILING NO 4
 Rampart Range Metro District
 Lonetree, Colorado
BADGER GULCH PARK
 SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
 05/09/2024 • 1st SUBMITTAL
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COVER

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FILE PATH: Z:\242020 Badger Gulch Park (RRMD)\CAD\BADGER GULCH_Lighting-Sheets.dwg
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 PLOT DATE: 9/20/2024 11:22 AM

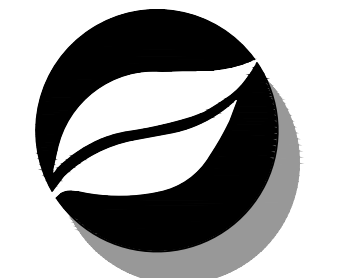
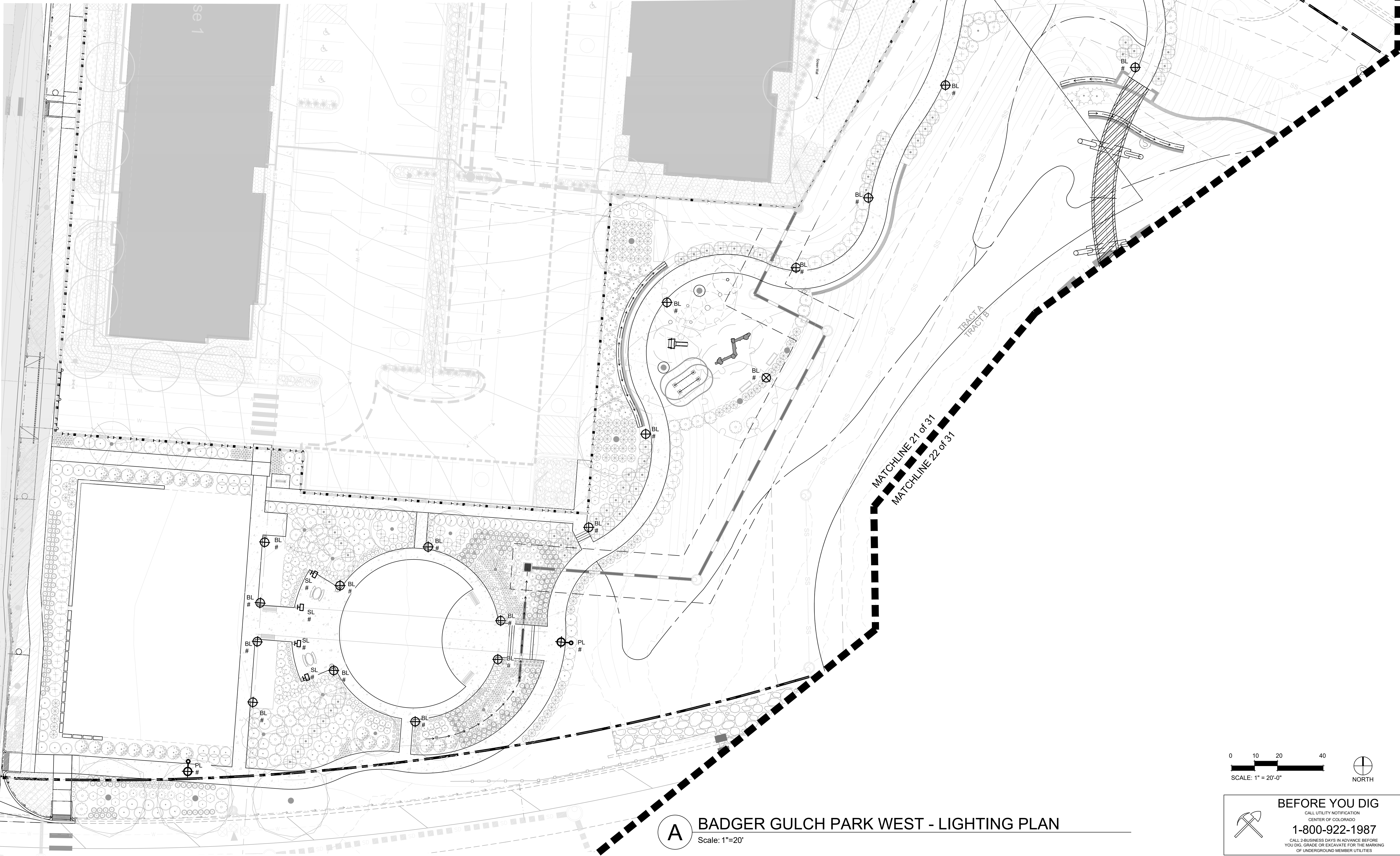
Badger Gulch Park

RIDGEGATE EAST, FILING NO. 4, (Reception No 2024010650), Tract A & Tract B,
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)

3.36 ACRES
SP24-0016



KEY MAP



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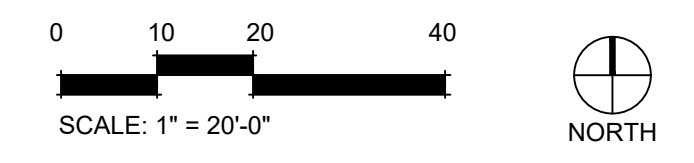
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LIGHTING PLAN
WEST

24 of 31



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A BADGER GULCH PARK WEST - LIGHTING PLAN
Scale: 1"=20'

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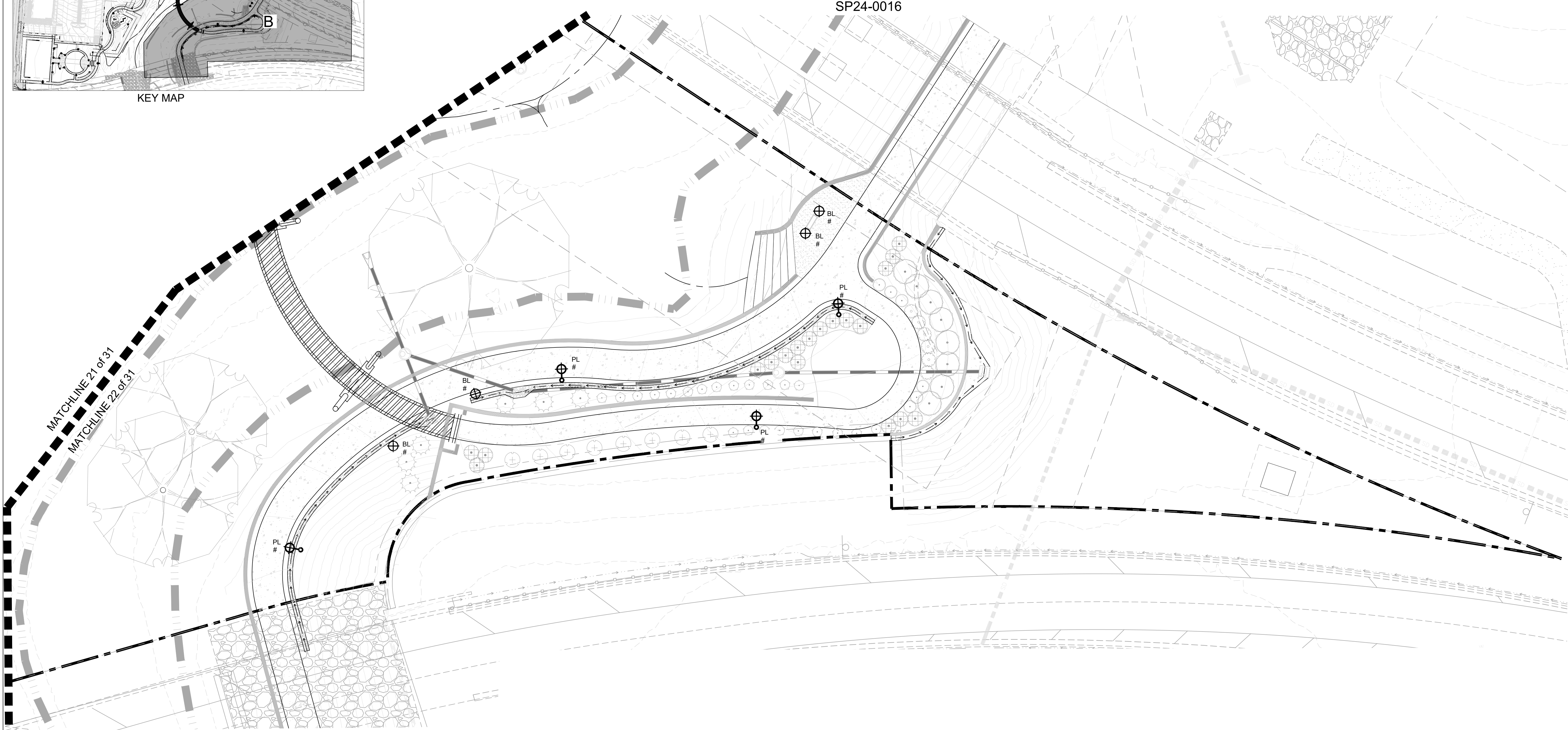
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KEY MAP



B BADGER GULCH EAST - LIGHTING PLAN
Scale: 1"=20'



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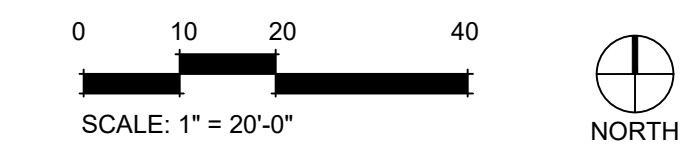
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SITE IMPROVEMENT PLAN

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LIGHTING PLAN
EAST

25 of 31



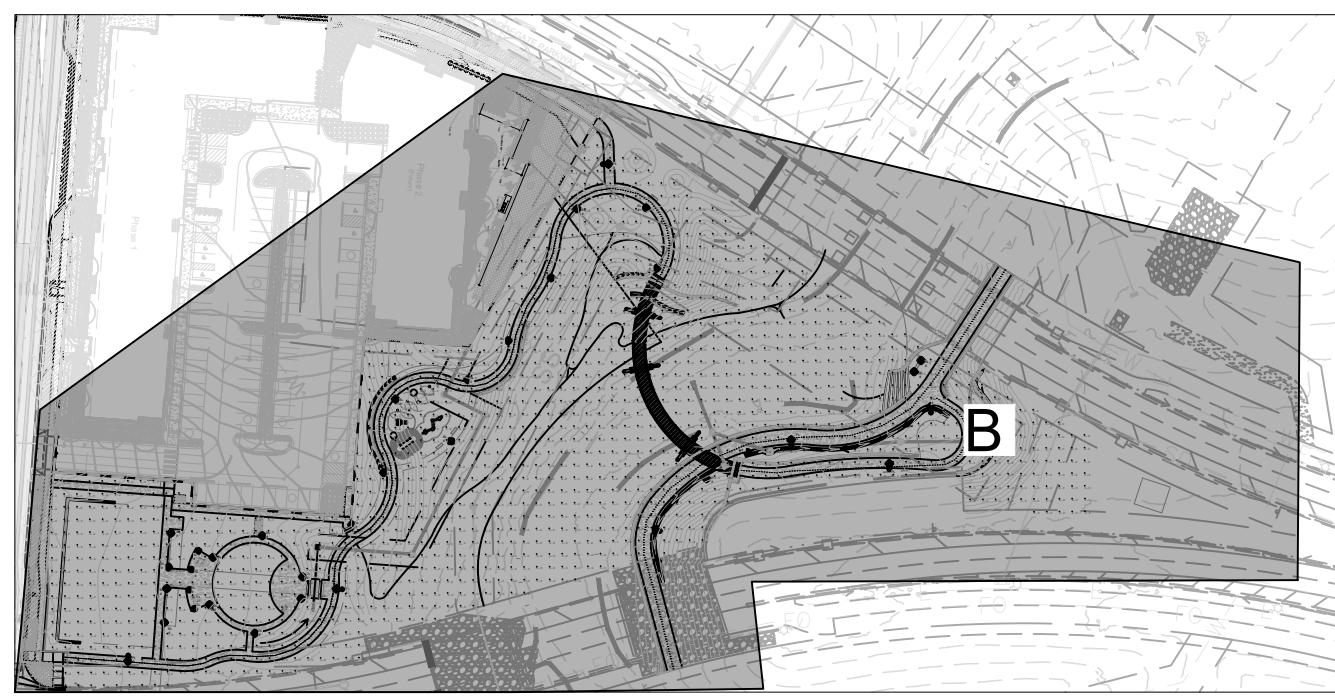
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LIGHTING
PHOTOMETRIC

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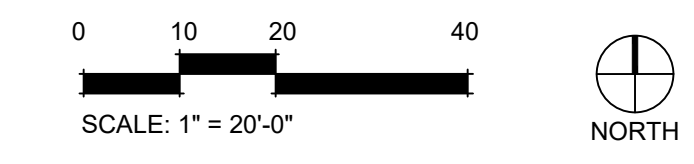


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C PHOTOMETRIC - LIGHTING PHOTOMETRIC
Scale: 1"=25'

Badger Gulch					
STATISTICAL AREA	LIGHTING CALCULATIONS				
	Criteria				
	Eavg (fc)	E _{max} (fc)	E _{min} (fc)	Eavg/E _{min} (fc)	E _{max} /E _{min} (fc)
Average Sidewalks throughout Site	0.4	11.6	0.0	4.6	9.0
Sidewalk West	0.5	0.9	0.1	4.6	9.0
Sidewalk East	0.3	39.2	0.0	N.A	N.A
Sidewalk North of Bridge	0.3	0.9	0.0	N.A	N.A
Sidewalk South of Bridge	0.6	5.2	0.0	N.A	N.A



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Lone tree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

ZANEEN.

TRIS POST

E9B027-

base number Color Finish
Temperature Options

1. To build a product code in our configurator select the specify button on the base model # product page
2. To build a manual product code on this datasheet choose from the options listed below in blue font and add the suffix to the base model #

GENERAL
Series: Tris
Brand: Plank
Division: Exterior
Mounting Type: Post
Mounting Location: Above Ground
Subcategory: Bollard


PHYSICAL
Shape: Cylinder
Diameter (mm): 160
Diameter (in): 6 3/8
Height (mm): 900
Height (in): 35 3/8
Light Distribution: Omnidirectional
Screws: A4 stainless steel
Diffuser: Clear tempered glass
Fixture Finish: BLK / WH / GR / CDR / ANT / BRZ
Fixture Material: Extruded Aluminum

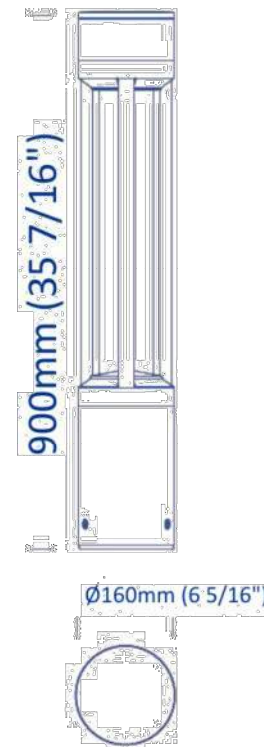
ELECTRICAL
Lamp Type: LED
Input Wattage (W): 21
Total Output Wattage (W): 17
Dimming: Non-Dimming / Phase Dimming (120vac Only)
Driver Included: Yes
Driver Location: Integrated
Driver Type: Constant Current - Universal
Driver Class: Class 2
Input Voltage (V): 120 - 277
Constant Current (mA): 500
Upon Request: (IP65 or higher enclosure to be supplied by others)
Remote: 0-10Vdc dimming

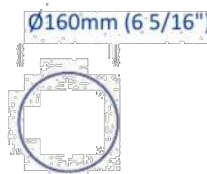
LED
Number of LEDs: 1
Color Temperature (°K): 3000 / 4000
Max. Delivered Lumen (lm): 2070 / 2150
Nominal Lumen (lm): 2600 / 2705
CRI: >80 CRI
Lamp Life (hrs): 60000

RATINGS AND CERTIFICATIONS
Certified By: Certified for North American Standards
IP Rating: IP66
IK Rating: IK30
Bug Rating: B1 U0 G1


PROJECT _____
TYPE _____
SPECIFIER _____
QUANTITY _____
DATE _____








Page 1/10
June 25, 2024, 11:21 am



Site & Area

PureForm

PPT PureForm LED post top



Gardco PureForm LED post top features a sleek, low profile design and is available with two light engines. ComfortEdge optics provide a unique and lower glare lighting solution designed to enhance visual comfort for pedestrian applications, while precision optics maximize efficiency and spacing. PureForm post top is available with multiple optical distributions with output up to 17,000 lumens. A full range of control options provides additional energy savings. Optional integral emergency battery backup is available for path-of-egress illumination.





Ordering guide Example: PPT-P-A09-840-TSM-T3-120-DALI-CS30-PCB-BZ

Profile	Catalog Code	Lumen Selection	Optic/CR	Distribution	Shielding	Mounting	Voltage
PPT PureForm post top comfort optics	A01* 2500 A02* 3500 A03* 5000 A04 7000 A05 9000	A06 11000 A07 13000 A08 16000 A09 17000	750 70CRI, 3000K 760 70CRI, 4000K 770 70CRI, 5000K 830 80CRI, 3000K 840 80CRI, 4000K 827 80CRI, 2700K (ETOR)	T2M Area optic type 2 T3M Area optic type 3 T4M Area optic type 4 T5M Area optic type 5 BLC Back light control	None HIS Internal housing (clip-on)	T3 Mounts to a 3"x4" tenon (standard) T2 Post top tenon adapter for 2-3/8" x 4" (ships separately)	120 120V 208 208V 240 240V 277 10-277V 120-277V 347 347V 480 480V HVU 374-480V
C Comfort optics	A01* 2000 A02 3500 A03 5000 A04 7000 A05 9000	A06 11000 A07 13000 A08 16000 A09* 17000	830 80CRI, 3000K 840 80CRI, 4000K 827 80CRI, 2700K (ETOR) 838* 80CRI, 3500K (ETOR) 760* 70CRI, 5000K (ETOR)	T2M Comfort optic type 2M T3M Comfort optic type 3M T4M Comfort optic type 4M T5M Comfort optic type 5M	None Comfort etching must be ordered as separate item (see PPT-ESP-BK)		

Driver type	Dimming Controls (only one may be selected)	Lighting controls (only one may be selected)	Emergency	Finish
0-10V	None DLEA Dimming leads externally accessible (controls by others) FAWS Field adjustable wattage selector BL60L2* PIR motion response dim to 50% L2 lens BL50L3* PIR motion response dim to 50% L3 lens BL30MW* Microwave motion sensor factory set at 50% dimming	None PCB** Photocontrol button TLRS 5-pin twist lock w/ 0-10V driver TLR7 7-pin twist lock w/ 0-10V driver (non-D4) TLRPC** 7-pin twist lock w/ 0-10V driver (non-D4) & on/off photocell	None EM** Emergency battery backup (0°C to +40°C/32°F to +104°F) EMC* Emergency battery pack cool rated (20°C to +40°C/4°F to +104°F)	Standard textured finish BK Black WH White BC Bronze DG Dark grey MG Medium grey
DALI SR/ DALI	None CS50** Security 50 % dimming, 7 hours CM50** Median 50 % dimming, 8 hours CS30** Security 30 % dimming, 7 hours CM30** Median 30 % dimming, 8 hours SRDR** SR driver connected to Zhaga socket (D4) WIAPL** Wireless interact outdoor low mounting (7-15), white housing WIAPL** Wireless interact outdoor low mounting (7-15), black housing WIAPH** Wireless interact outdoor low mounting (15-40), white housing WIAPH** Wireless interact outdoor low mounting (15-40), black housing	None PCB** Photocontrol button TR5** 5-pin twist lock SR/DALI driver TR7** 7-pin twist lock SR/DALI driver (D4) TRRPC** 7-pin twist lock SR/DALI driver (D4) & on/off photocell	None F1* Single Fuse (120V, 277V, or 347V) F2* Double Fuse (208V, 240V, or 480V) F3* Double Fuse Canadian double pole (208V, 240V, or 480V)	OC Optional color (specify optional color or RAL, contact factory) SC Special color (must supply color chip, requires factory quote)
			Surge Protection None SP1 Surge Protector 10kV / 10kA (standard) SP2 Surge Protector 20kV / 10kA (option)	

1. Extended lead times apply. Contact factory for details.
 2. Available with Area optics only. Not allowed with Comfort optics.
 3. Available with Comfort optics only at 120-347V. Not allowed with Area optics.
 4. Not available at 347-480V(HV).
 5. Not available at 347-480V(HV) for Planelated (P-Axx) optic lumen packages.
 A01-A02 and Comfort (C-Axx) optic lumen packages A01-A09.
 6. Not available at 120-277V(UV) for Planelated (P-Axx) optic lumen packages.
 A01-A02 and Comfort (C-Axx) optic lumen packages A01-A02.
 7. EMC only compatible with DLEA and Dymatimes (CSXX, CMXX) Dimming control options.
 8. Not available with Microwave Motion Sensor BL30MW.
 9. Not available with Comfort (C-Axx) optic lumen packages A01-A09.
 10. If selected with Dimming control, DM leads from receptacle will not be connected to driver.
 11. Available only with Comfort optics.
 12. Must specify input voltage.
 13. BL50MW options and Twistlock photocell options (TLRS, TLR7, TLRPC, PCB) are not compatible due to mechanical conflict.
 14. Not available with emergency options.
 15. EMC limited to 50°C max ambient with shielding and A09. All other configurations listed to 40°C ambient.
 16. For Comfort PPT, emergency cold-pack conflicts with BL50xx & PCB/TLRS & Zhaga & FAWS.


PPT PureForm post top Gen 2 04/24 page 1 of 6







QLS410 LED

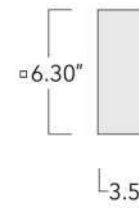
Surface Mounted Wall Luminaires

we-ef






6.30"



3.54"



5.79"

0.24"

4.72"

Description
IP66, Class I, IK07. Surface mounted LED wall luminaire. Marine-grade, die-cast aluminum alloy. 5CE superior corrosion protection including PCS hardware. Silicone CCG® Controlled Compression Gasket. Safety glass lens. Integral driver. CAD-optimized optics for superior illumination and glare control. OLC® One LED Concept. Factory installed LED circuit board. 0-10V Dimming on request. Suitable for installation over 4" recessed junction box. Optional 2200 K version up to max. 1050mA available. To be specified at time of ordering.

ADA (American Disabilities Act) Compliant.

WE-EF LIGHTING USA, LLC
 410-D Keystone Drive, 15086 Warrendale, PA 15086 - Phone: +1 724 742 0030
 customersupport.us@we-ef.com - https://we-ef.com/us
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1 TYPE 'BL'
Scale: NOT TO SCALE

2 TYPE 'PL'
Scale: NOT TO SCALE

3 TYPE 'SL'
Scale: NOT TO SCALE

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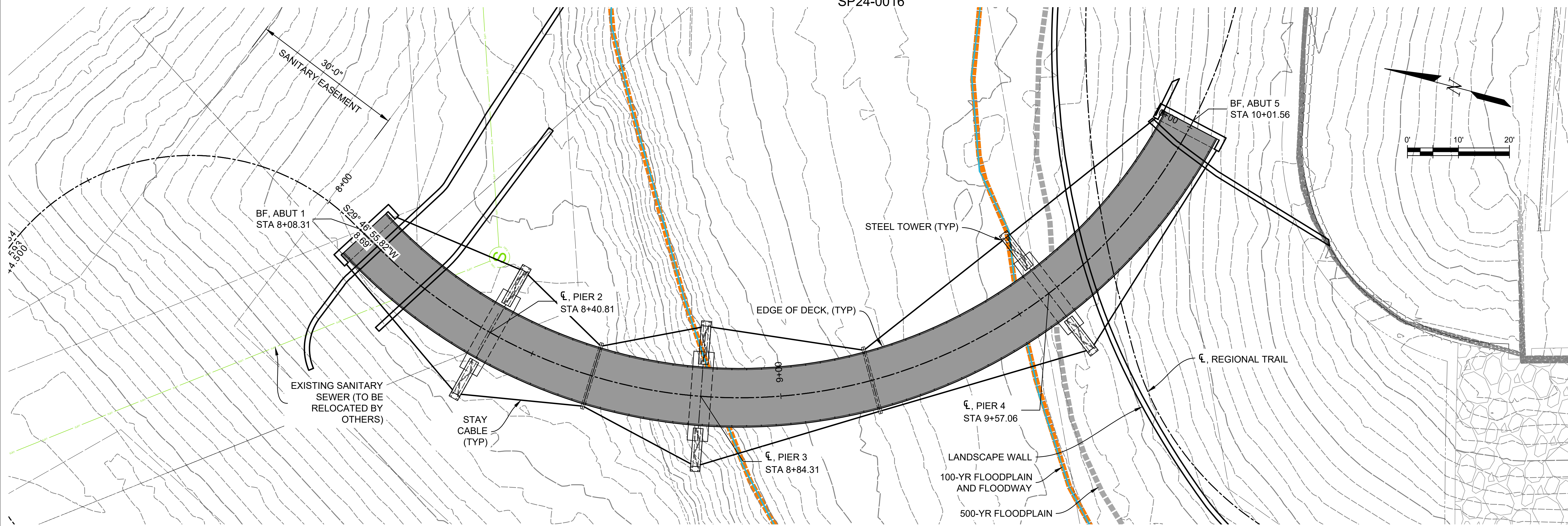
LIGHTING
CUTSHEETS

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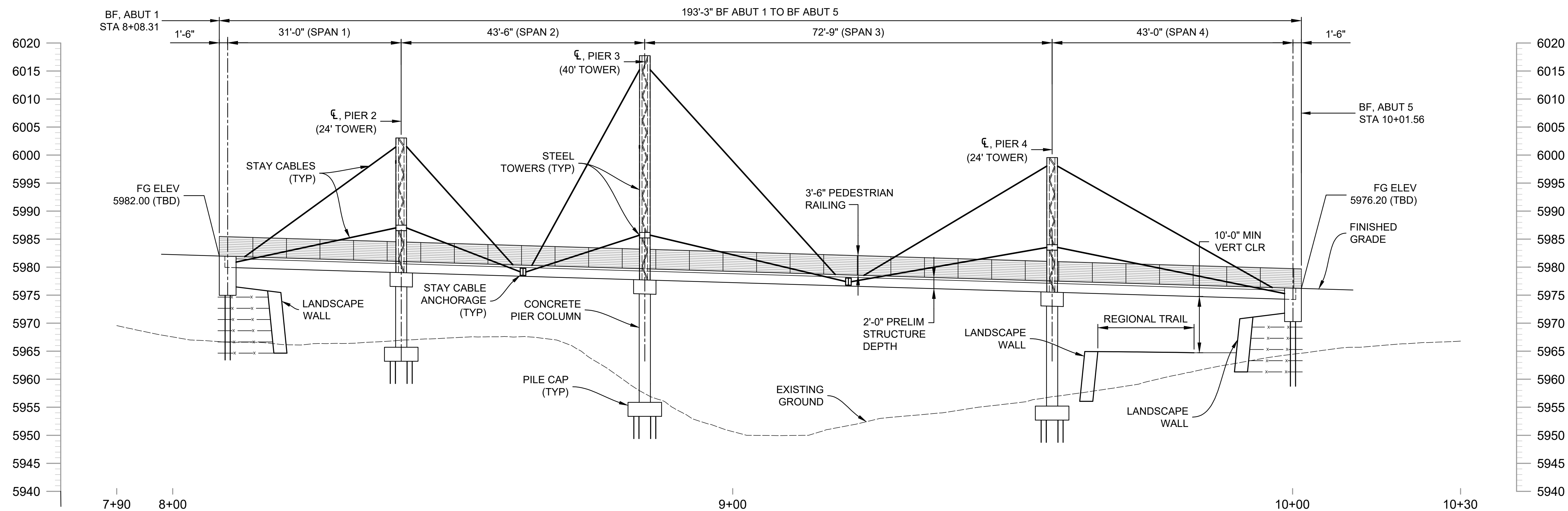
Badger Gulch Park

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PLAN



ELEVATION
(LOOKING EAST)



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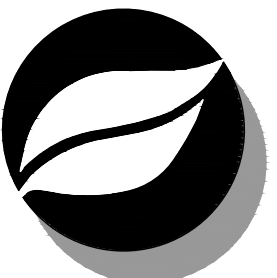
BRIDGE:
PLAN AND
ELEVATION

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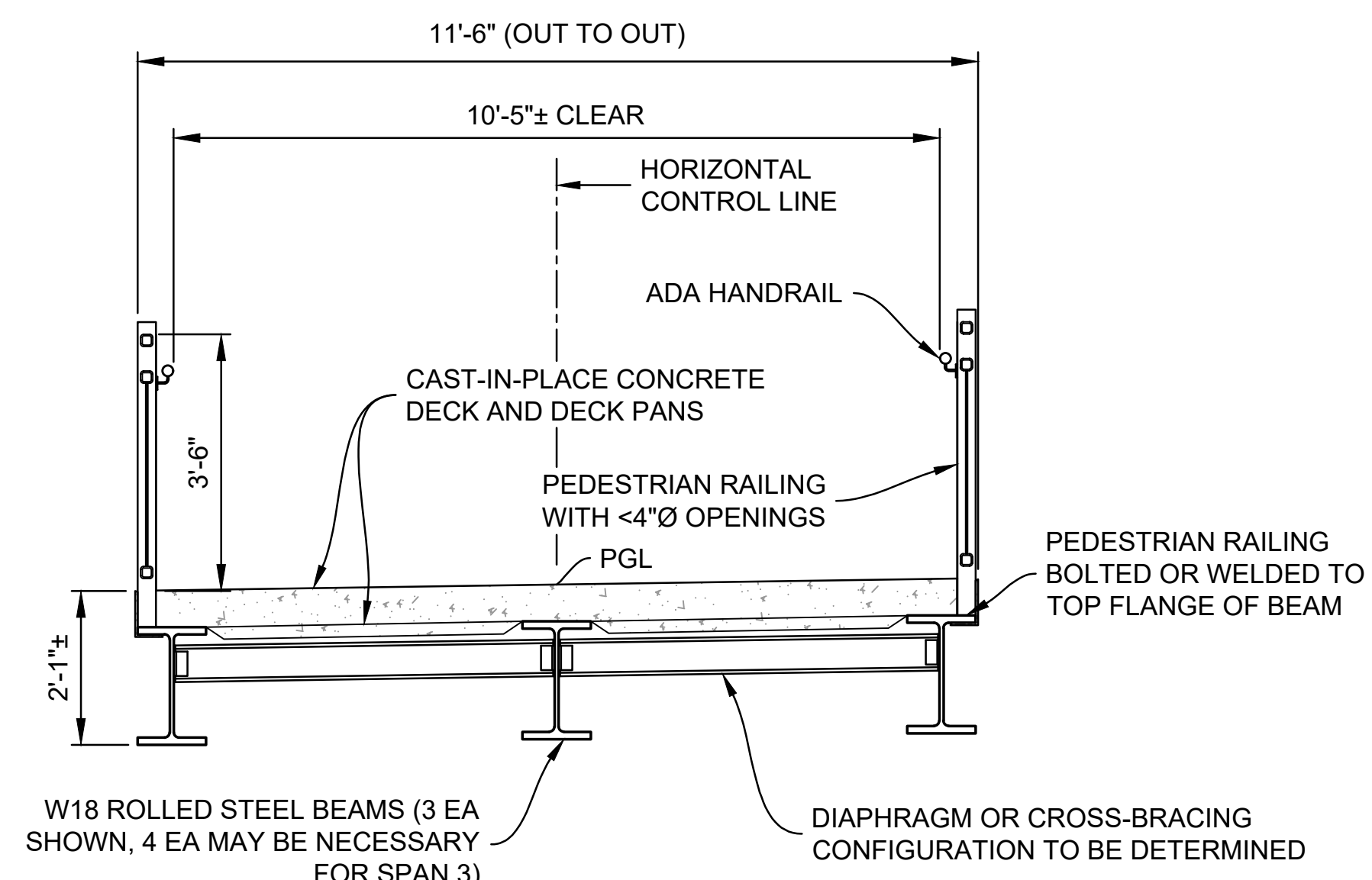
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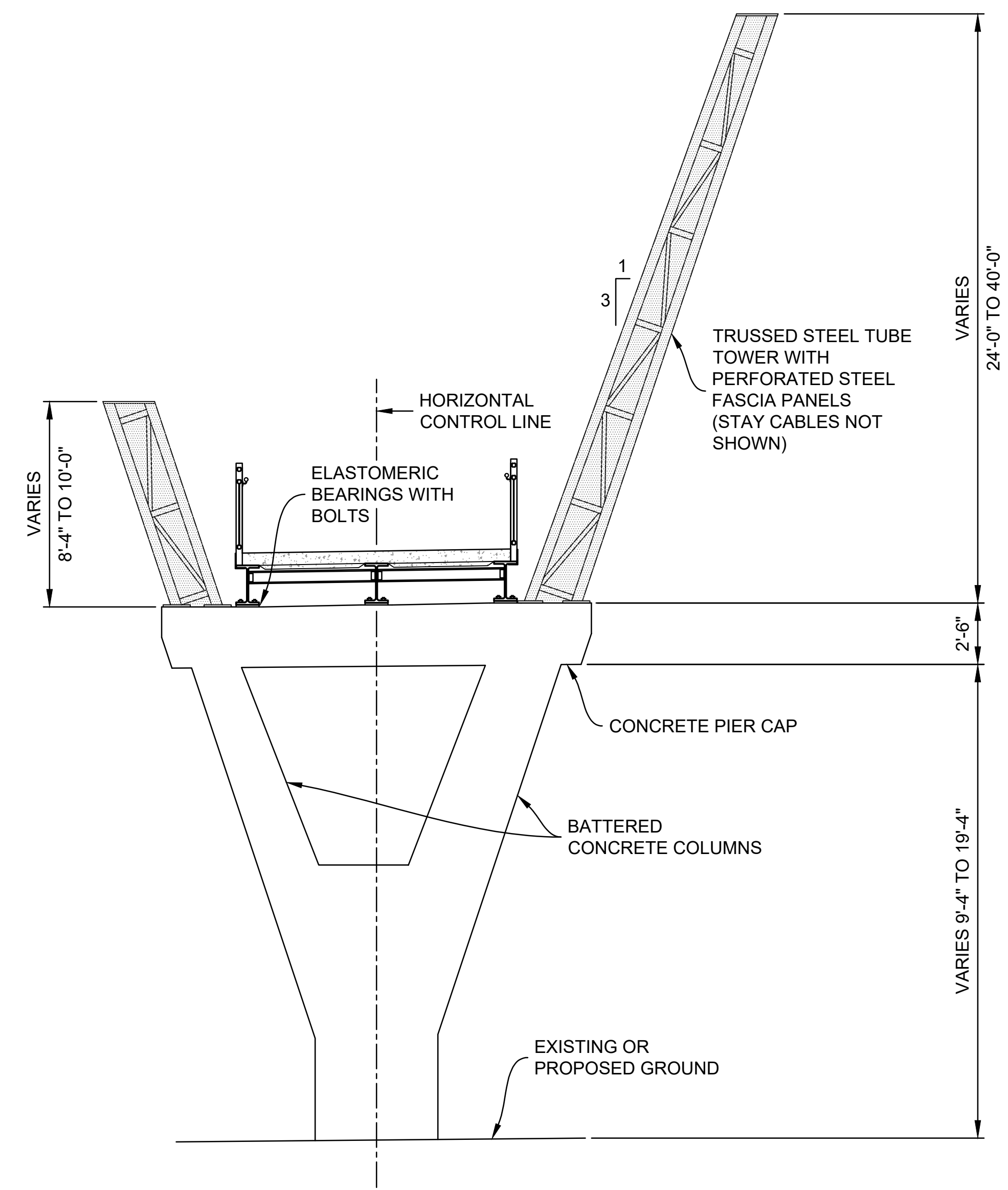
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TYPICAL SECTION
(LOOKING UPSTATION)



TYPICAL PIER ELEVATION
(LOOKING UPSTATION)

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BADGER GULCH PARK
SITE IMPROVEMENT PLAN

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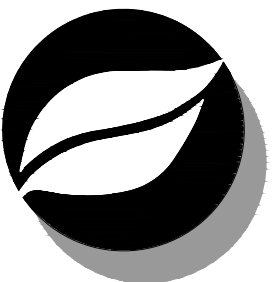
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TYPICAL
SECTION

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BRIDGE:
MATERIALITY



TOWER FACADE (TYP. OF ALL): PERFORATED GALVANIZED STEEL
STRINGERS (TYP. OF ALL): GLOSSY WHITE EPOXY-PAINTED STEEL TUBE, WRINKLE FINISH

KEYSTONE MSE WALL, COMPAC, GREY

PIER (TYP. OF ALL): GRAY CONCRETE
RAILING POSTS (TYP. OF ALL): MATTE BLACK EPOXY-PAINTED STEEL, WRINKLE FINISH
RAILING CABLES (TYP. OF ALL): 1/2 GALVANIZED STEEL CABLE
PLATFORM EDGER (TYP. OF ALL): MATTE BLACK EPOXY-PAINTED ROLLED STEEL
PLATFORM : GRAY CONCRETE

1 BRIDGE MATERIALITY

NOT TO SCALE

FILE PATH: S:\CEI\BadgerGulch2 DESIGN\05 CAD\Sheet Files\SLSA_BadgerGulchBridge-SIP\Submittal - Submittal 2.dwg
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NOT FOR
CONSTRUCTION

RIDGEGATE EAST, FILING NO 4
Rampart Range Metro District
Lonetree, Colorado

BADGER GULCH PARK
SITE IMPROVEMENT PLAN

SUBMITTAL / REVISIONS:
05/09/2024 • 1st SUBMITTAL
COMPLETENESS REVIEW
06/28/2024 • 1st SUBMITTAL
07/12/2024 • 1st SUBMITTAL - R1
09/23/2024 • 2nd SUBMITTAL

BRIDGE:
TOWERS &
LIGHTING



1 BRIDGE TOWERS & FORM

NOT TO SCALE



2 BRIDGE LIGHTING

NOT TO SCALE

- NOTES:
1. LIGHTING IS CAST DOWN FROM RAILINGS ON TO DECK.
 2. PERFORATED STEEL TOWERS WILL HAVE LIGHTING HOUSED WITHIN THE STRUCTURAL FRAME TO CREATE AN INTERIOR GLOW WITHIN THE PERFORATED PATTERN.
 3. CONCRETE PIERS ARE ILLUMINATED BY WITH DOWN LIGHTING FROM BELOW THE DECK.

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USER: Derek
PLOT DATE: 09/19/2024 3:14 PM