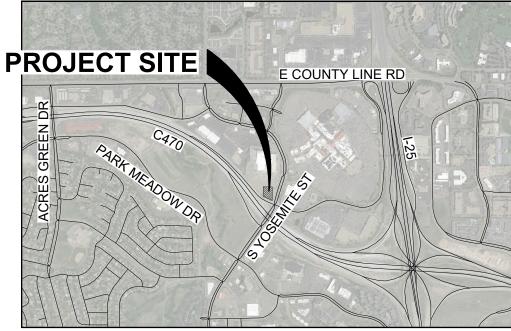
LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

SP23-0008 (SITE IMPROVEMENT PLAN)

## **GENERAL NOTES:**

- THE PROPERTY DESCRIBED HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE AND DESIGN STANDARDS, INCLUDING BUT NOT LIMITED TO, PROPERTY MAINTENANCE, LIGHTING, PARKING, SIGNAGE, LANDSCAPING AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED PLANNED DEVELOPMENT PLAN, SUBFAREA PLAN, OR OTHER APPLICABLE PLAN OR AGREEMENT APPROVED BY THE CITY.
- ASSOCIATED MATERIALS SAMPLE BOARDS AND FURTHER ASSUMES THE RISK ASSOCIATED WITH ANY CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL. MODIFICATIONS TO STRUCTURES OR SITES MAY REQUIRE AN AMENDMENT TO THE SIP AS DETERMINED BY THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR, PER SEC. 16-27-180. UNAUTHORIZED CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL CORRECTIVE ACTIONS, DELAY OF PERMITS OR CITATIONS FOR ZONING VIOLATIONS WITH ASSOCIATED FINES AND LEGAL MEASURES, BUILDING PLANS SHALL CONFORM TO THE APPROVED SIP.
- WITHIN SITE TRIANGLES. AS SHOWN. LIMITED LANDSCAPING SHALL BE ALLOWED WITH NO SOLID STRUCTURES PERMITTED AS STATED IN THE CITY OF LONE TREE'S LANDSCAPE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING. LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- THE OWNER IS RESPONSIBLE FOR THE INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING "NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND/OR THE FIRE DISTRICT. SUCH SIGNAGE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY
- SITE LANDSCAPING, SITE AMENITIES AND FURNISHINGS, AND ALL SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND PARKING AREAS SHALL BE MAINTAINED IN A STATE OF GOOD REPAIR CONSISTENT WITH THE APPROVED SIP AND THE LONE TREE MUNICIPAL CODE AND DESIGN GUIDELINES AND STANDARDS. SUCH MAINTENANCE SHALL INCLUDE THE REGULAR MAINTENANCE OF PET WASTE STATIONS (WHEN PRESENT), TO INCLUDE WASTE COLLECTION AND WASTE BAG REPLACEMENT, LANDSCAPE PLANTINGS MUST BE ALIVE AND ALL IRRIGATION MUST BE FUNCTIONAL. ALL MAINTENANCE OBLIGATIONS SHALL BE COMPLETED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT. AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SITE IMPROVEMENT PLAN IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER OR THE RESPONSIBLE MAINTENANCE
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LONE TREE, DOUGLAS COUNTY, COLORADO COMMUNITY PANEL NUMBER 08035C0042G, DATED MARCH 16,2016, THE SUBJECT PROPERTY LIES WITHIN ZONE ZONE X, "AREAS DETERMINED TO BE INSIDE/OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD."



VICINITY MAP 1" = 2000'

## PROJECT CONTACTS

1755 WITTINGTON PLACE FARMERS BRANCH, TX CONTACT: HEATHER HARRIS PHONE: 214-272-4416 EMAIL: HHARRIS@CORE-STATES.COM

LANDSCAPE ARCHITECT NATURAL DESIGN SOLUTIONS

5539 COLT DRIVE LONGMONT, CO 80503 CONTACT: JASON R OLDHAM PHONE: 970-420-9555 EMAIL: JASON@NDSCOLORADO.COM

4G DEVELOPMENT AND CONSULTING, INC. P.O. BOX 270571 SAN DIEGO, CA

CONTACT: BRANDI LOPER PHONE: 858-382-5814 EMAIL: BLOPER@4GDEV.COM

## CHICK-FIL-A, INC.

5200 BUFFINGTON ROAD ATLANTA, GA 30349-2732 CONTACT: MR. STEVE SCHWARTZ PHONE: (303) 519-7206 EMAIL: STEVE.SCHWARTZ@CFACORP.COM

MERRICK & COMPANY 5970 GREENWOOD PLAZA BLVD. GREENWOOD VILLAGE, CO 80111 CONTACT: MR. KELLAN BLACK PHONE: (303) 353-3590 KELLAN.BLACK@MERRICK.COM NEW SIP WITH CITY COUNCIL APPROVAL

THIS SITE IMPROVEMENT PLAN WAS APPROVED FOR FILING BY THE COUNCIL OF THE CITY \_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT OF LONE TREE, CO, ON THE TO ANY CONDITIONS SPECIFIED HERON.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING, CURBS, GUTTERS, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND NOT THE CITY.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY SITE SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

JACQUELINE A. MILLET, MAYOR, CITY OF LONE TREE

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OF 25	SITE PLAN
OF 25	FINAL LANDSCAPE PLAN
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.0 OF 25	GRADING PLAN
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4 OF 25	MANUFACTURER'S SPEC SHEET - FURNISHINGS
5 OF 25	FINISHES



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

**REVISION SCHEDULE** 

NO. DATE DESCRIPTION

65121141 03/22/24

Know what's below. Call before you dig.

(SIGNATURE)

LEGEND:

WATER METER

**IRRIGATION METER** 

SINGLE CLEANOUT

TRANSFORMER

STORM INLET

LIGHT POLE

STORM MANHOLE

PROPOSED TRAFFIC SIGN

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

EX STORM MANHOLE

EX STORM INLET

EX LIGHT POLE

EX GAS SERVICE

EX SANITARY SEWER

EX FIRE HYDRANT

EX TRAFFIC SIGN

EX MAJOR CONTOUR

EX MINOR CONTOUR

EX IRRIGATION VALVE

EX WATER VALVE

EX ELECTRIC BOX

ACCESSIBLE PATH

CONCRETE PAVEMENT

EX TREE

EX TELEPHONE SERVICE

EX WATER LINE

EX SANITARY MANHOLE

EX ELECTRIC SERVICE

PAVEMENT STRIPING

PARKING COUNT

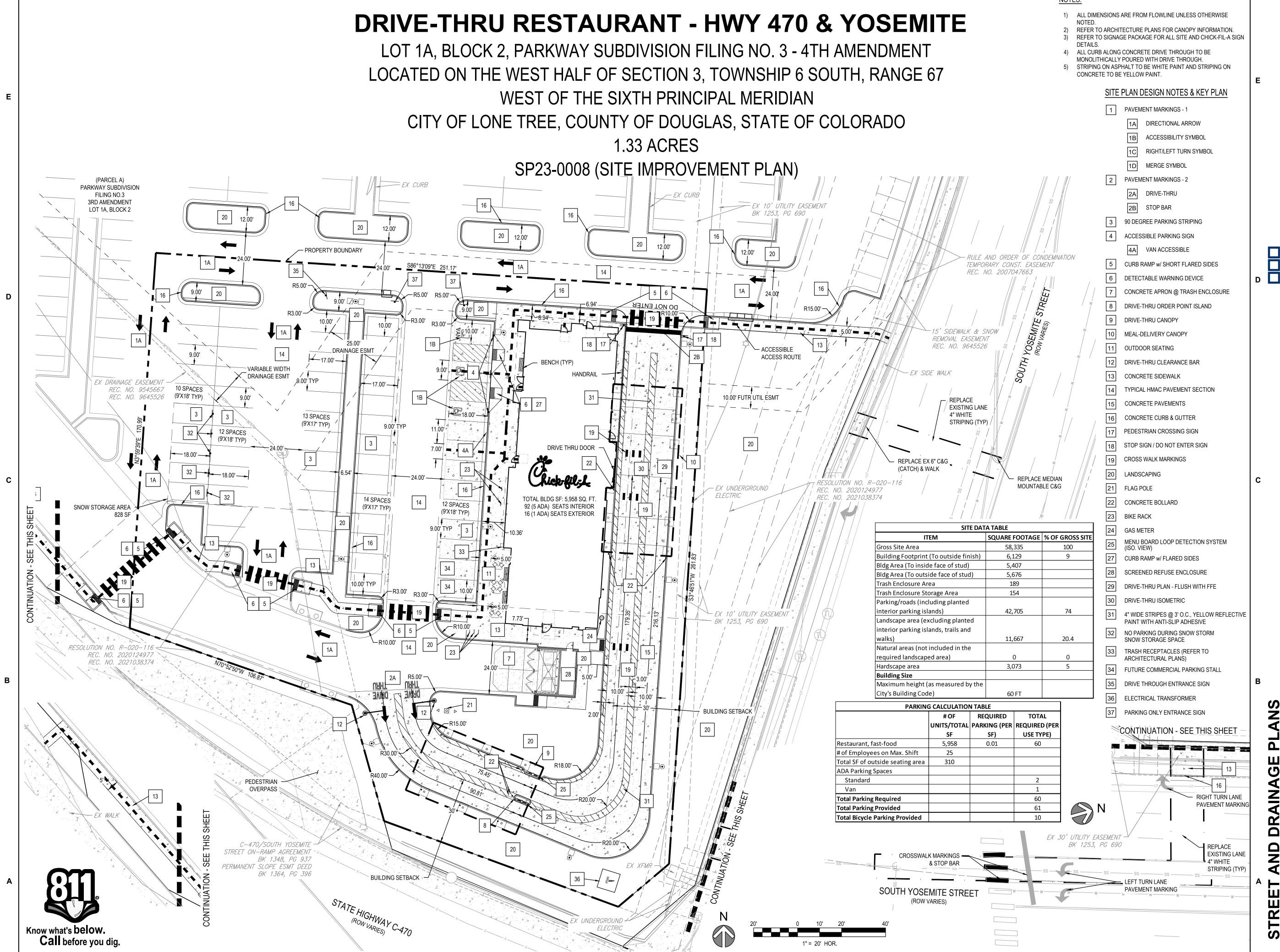
**GAS LINE** 

— *- 5555* — —

— *- 5555 –*  —

TWO-WAY CLEANOUT

**GREASE INTERCEPTOR** 



2



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

# K-FIL-A & YOSEMITE MITE ST.

HWY 470 & Y 8599 S. YOSEMITE LONE TREE, CO 80

SR#05190

DING TYPE / SIZE: P13 LS LRG (MODE ASSE: 22.05

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CONSULTANT PROJECT # 65121141

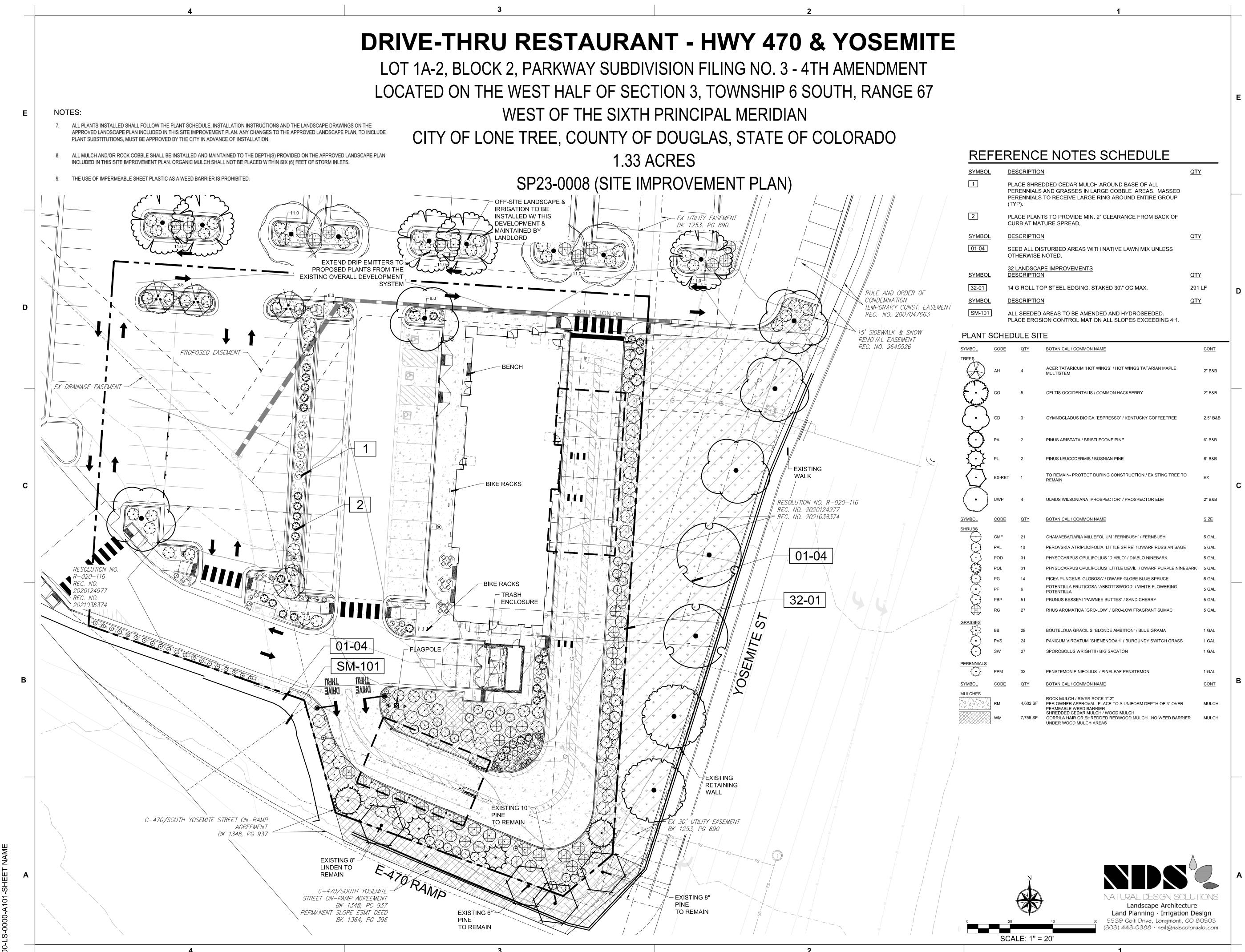
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SHEET

SITE PLAN







Chick-fil-A **5200 Buffington Road** Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

FSR#05190

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FINAL LANDSCAPE

LOT 1A-2, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

SP23-0008 (SITE IMPROVEMENT PLAN)

PLANT SCHEDULE SITE							
SYMBOL	SYMBOL CODE QTY BOTANICAL / COMMON NAME				MATURE SIZE H x W (feet)	HYDRO	SALT T <u>OLERAN</u> CE
TREES	АН	4 20%	ACER TATARICUM `HOT WINGS` / HOT WINGS TATARIAN MAPLE MULTISTEM	2" B&B	20 x 15	LOW	MODERATE
	со	5 25%	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" B&B	50 x 30	LOW	MODERATE
	GD	3 15%	GYMNOCLADUS DIOICA `ESPRESSO` / KENTUCKY COFFEETREE	2.5" B&B	50 x 30	LOW	MODERATE
	PA	2 10%	PINUS ARISTATA / BRISTLECONE PINE	6` B&B	30 x 15	LOW	LOW
\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.	PL	2 10%	PINUS LEUCODERMIS / BOSNIAN PINE	6` B&B	25 x 10	LOW	HIGH
	EX-RET	1	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX			
	UWP	4 20%	ULMUS WILSONIANA `PROSPECTOR` / PROSPECTOR ELM	2" B&B	50 x 30	LOW	HIGH
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>SIZE</u>			
SHRUBS	CMF	21 11%	CHAMAEBATIARIA MILLEFOLIUM `FERNBUSH` / FERNBUSH	5 GAL	5 x 5	LOW	HIGH
	PAL	10 4%	PEROVSKIA ATRIPLICIFOLIA `LITTLE SPIRE` / DWARF RUSSIAN SAGE	5 GAL	3 x 3	LOW	HIGH
$\sim$	POD	31 16%	PHYSOCARPUS OPULIFOLIUS `DIABLO` / DIABLO NINEBARK	5 GAL	7 x 7	LOW	MODERATE
Contraction of the Contraction o	POL	31 13%	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL	4 x 4	LOW	MODERATE
	PG	14 7%	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE	5 GAL	3 x 3	LOW	MODERATE
(*)	PF	6 3%	POTENTILLA FRUTICOSA `ABBOTTSWOOD` / WHITE FLOWERING POTENTILLA	5 GAL	3 x 6	LOW	MODERATE
(*)	PBP	51 29%	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	5 GAL	1.5 x 6	LOW	MODERATE
	RG	27 15%	RHUS AROMATICA `GRO-LOW` / GRO-LOW FRAGRANT SUMAC	5 GAL	1.5 x 7	VERY LOW	HIGH
GRASSES					2 2	LOW	FAIR
( )	ВВ	29 <sub>46%</sub>	BOUTELOUA GRACILIS `BLONDE AMBITION` / BLUE GRAMA	1 GAL	3 x 3	LOVV	FAIR
<b>€</b> • 3	PVS	24 9%	PANICUM VIRGATUM `SHENENDOAH` / BURGUNDY SWITCH GRASS	1 GAL	5 x 2	LOW	MODERATE
(·)	SW	27 46%	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	5 x 5	LOW	HIGH
PERENNIALS	PPM	32	PENSTEMON PINIFOLIUS / PINELEAF PENSTEMON	1 GAL	1.5 x 1.5	LOW	MODERATE
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT			
MULCHES	RM WM	4,602 SF 7,755 SF	ROCK MULCH / RIVER ROCK 1"-2" PER OWNER APPROVAL. PLACE TO A UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS	MULCH MULCH			

PLANT SCHEDULE ROW AREA						
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SALT T <u>OLERAN</u> CE	
TREES	cs	2	CATALPA SPECIOSA / NORTHERN CATALPA	2" B&B	MODERATE	
	GD	2	GYMNOCLADUS DIOICA `ESPRESSO` / KENTUCKY COFFEETREE	2.5" B&B	MODERATE	
	QM	2	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	2" B&B	MODERATE	
$\overline{\bigcirc}$	EX-RET	3	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX		
GROUND CO	VERS NLSM	10,937 SF	NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX.	SEED	MODERATE	
MULCHES	WM	1,907 SF	SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS	MULCH		

SITE CATEGORY REQUIREMENTS						
OVERALL LANDSCAF	⊃E Site Area = 58	s,335 SF *Some landscapi	ng occurs off-site	(2,230 sf)		
Total Site area per platted documents 58,335	Total Landscap Required (20%) 11,667 sf			Shrubs Provided 134 / 134	Outdoor Amenity Area 335 sf	
PARKING AREA LAND	SCAPING					
Parking Spaces Provided / Area	Parking Island Tree Provided	e Parking Island Shrub Required / Provided	Parking Islan Landscape A			
64	5	48	4,528			
RIGHT OF WAY LANDS	SCAPING BY OTHE	ERS				
Frontage Yosemite E 470	Length (LF) 300 130	Trees Provided 7 (1 existing) 6 (3 existing)				

Native Lawn Mix
(90%) Buffalograss
(10%) Blue Grama
Seed @ 2-3 lb / 1000 sf
ALL SEED MIXES AS
SPECIFIED BY PAWNEE
BUTTES SEED COMPANY



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

FSR#05190

RELEASE:

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CONSULTANT PROJECT #	65121141
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DATE	05/31/23
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SHEET	

LANDSCAPE NOTES

NUMBER

NATURAL DESIGN SOLUTIONS

Landscape Architecture

Land Planning · Irrigation Design

5539 Colt Drive, Longmont, CO 80503

(303) 443-0388 · neil@ndscolorado.com

- (Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S, PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS: A. 1" BELOW CURB FOR ALL SEEDED AREAS. B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
- C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
- CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/8" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.
- ALL AREAS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH, UNLESS NOTED OTHERWISE.

2 PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.

FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLARE AT GRADE.

ORANGE FLUORESCENT FLAGGING ON WIRE FOR

SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOI

6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

1. DO NOT REMOVE OR CUT LEADER.

WHENEVER POSSIBLE.

4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

5. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.

8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.

**EVERGREEN TREE PLANTING DETAIL** 

TREES IN COBBLE/ROCK MULCH, SOD AND SEEDED AREAS TO RECEIVE 4' DIAMETER OF WOOD MULCH RING, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH SOD AND SEEDED AREAS TO RECEIVE A WOOD MULCH RING AT 2X DIAMETER OF ROOT BALL, 3" DEPTH. NO FABRIC UNDERLAYMENT IN WOOD MULCH RINGS.

# DRIVE-THRU RESTAURANT - HWY 470 & YOSEMITE

LOT 1A-2, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

## SP23-0008 (SITE IMPROVEMENT PLAN)

- 10. SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- 11. REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- 12. CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
  - ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- 13. ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
- 14. STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- 15. CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- 16. ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 17. ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.

6. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.

MIN. 2X ROOTBALL

L2.0

**DECIDUOUS TREE PLANTING DETAIL** 

1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS

OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE

PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE

3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING

7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.

8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

- 19. CONTRACTOR IS TO PROVIDE A TWO (2) YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP PER CITY REQUIREMENTS. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS
- REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE
- 20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP. IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

## IRRIGATION NOTES

ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.

IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESTED RUN TIMES PROVIDED WITHIN THESE PLANS.

DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN SENSOR.

ALL NATIVE SEED AREAS TO BE PERMANENTLY IRRIGATED

The property herein is subject to all applicable requirements of Lone Tree Municipal Code, except as may otherwise be addressed in an approved Planned Development or Sub-Area plan, Site Improvement Plan, Preliminary Plan, Final Plat, or other improvements and/or maintenance agreements, as applicable.

The applicant assumes responsibility to ensure the project is completed in accordance with the approved Landscape and/or Irrigation Plan and further assumes the risk associated with any changes or omissions made without prior City approval. Modifications to the landscape plan may require a landscape plan amendment as determined by the Director. Unauthorized changes or omissions may result in corrective actions, delay of permits, or citations for zoning violations with associated fines and legal measures.

The City of Lone Tree requires that maintenance access be provided to all storm drainage facilities to ensure the continuous operational capabilities of the system. The property owner shall be responsible for the maintenance of all drainage facilities, including inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on their land, unless modified by an improvements agreement. Should the owner fail to adequately maintain said facilities, the City of Lone Tree shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property owner.

## Maintenance Responsibilities

It shall be the responsibility of the owner (or responsible association or district, as may be identified by maintenance agreements) to maintain all improvements on the property in a state of good repair, to ensure all irrigation is functional, and to ensure all plantings are alive, consistent with the approved landscape and irrigation plan and Lone Tree Municipal Code.

Within sight triangles and sight easements, as shown, limited landscaping shall be allowed with no solid structures permitted, as stated in the City of Lone Tree Landscape Design Guidelines and Standards. Landscaping within the sight triangle shall be maintained by the property owner or responsible association or district, as may be identified by maintenance agreements.

## PROTECTIVE FENCING:

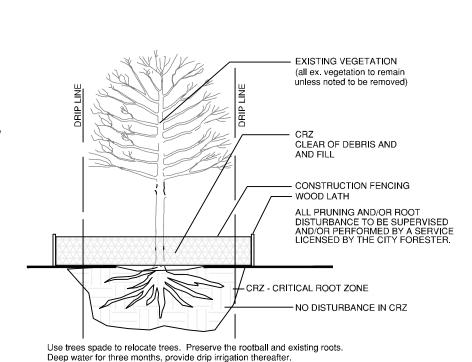
FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION

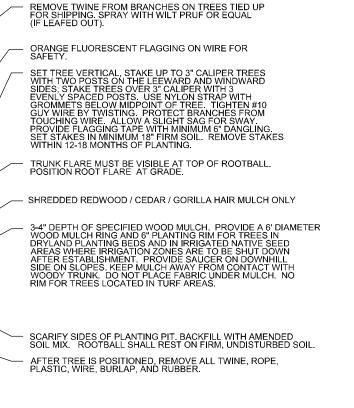
IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS

## WATERING, MULCHING, AND FERTILIZATION:

PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGREN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE)

TREE PROTECTION DETAIL





SET SHRUBS VERTICAL. SHRUB SPACING AS PER PLAN: LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO B 2" BELOW ADJACENT FINISH GRADE AT EDGE TO HOLD PLANT TOP OF ROOTBALL AT GRADE. SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATE! Y

SHRUB PLANTING DETAIL

SECTION





5200 Buffington Road Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

REVISION SCHEDULE

CONSULTANT PROJECT # 65121141 SIP 05/31/23 JRO

LANDSCAPE DETAILS

## IRRIGATION LEGEND SITE

MANUFACTURER/MODEL/DESCRIPTION HUNTER MP2000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY.

K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC. TURF ROTATOR, 6.0" POP-UP WITH FACTORY INSTALLED

CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.

MANUFACTURER/MODEL/DESCRIPTION

RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM. USE LOW FLOW MODEL FOR FLOWS UNDER 3 GPM

FLUSH VALVE

3/4" PVC BALL VALVE IN 10" VALVE BOX.

AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE. 1.0GPH=BLACK. AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET.

MANUFACTURER/MODEL/DESCRIPTION

1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE

CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"

> MANUAL DRAIN VALVE PROVIDE 10" ROUND BOX WITH 2" VALVE MARKER, PVC ACCESS SLEEVE, AND MINIMUM 6" DEPTH 3/4" WASHED RIVER ROCK SUMP FOR DRAINAGE. PROVIDE 3/4" MXF

SCH 40 PVC 90 ELL AND 3/4" X 4" SCH 80 PVC NIPPLE TO

SUMP FOR DRAINAGE. USE TEFLON TAPE ON ALL MALE THREADED PVC AND AND ALL NIPPLES REDUCED PRESSURE BACKFLOW PREVENTER - EXISTING

RAIN BIRD ESP8LXMEF 8 STATION CAPABLE COMMERCIAL CONTROLLER, EXPANDABLE. PLASTIC WALL MOUNT, LOCKING CABINET. FLOW SENSING AND WATER MANAGEMENT CAPABILITIES.

RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.

**GUARDSHACK EC-2** 

GUARDSHACK ECONOCAGE, WITH EP-1 AND FG-1. INSTALL PER MANUFACTURER REQUIREMENTS AND VERIFY LOCKING HARDWARE PRIOR TO TURNOVER.

CONNECT TO PROVIDED STUB OUT IN GENERAL LOCATION SHOWN. COORDINATE WITH CIVIL / MECHANICAL

POINT OF CONNECTION 3/4" CONNECT TO PROVIDED STUB OUT IN GENERAL LOCATION SHOWN. COORDINATE WITH CIVIL / MECHANICAL

IRRIGATION MAINLINE: PVC CLASS 200 SDR 21

PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING —————— AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 2X PIPE DIAMETER UNLESS OTHERWISE NOTED.EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR

## REFERENCE NOTES SCHEDULE

DESCRIPTION

DIAGRAMMATIC DRIPLINE. ROUTE AS NECESSARY IN FIELD. QUANTITIES WILL VARY FROM THOSE SHOWN ON PLAN.

PROVIDE TWO (2) SLEEVES AT ALL MAINLINE CROSSINGS--ONE FOR PIPE AND ONE FOR WIRING.

ALL LOCATIONS DIAGRAMMATIC FOR CLARITY. LOCATE IN LANDSCAPE BEDS. FIELD ADJUST AS NECESSARY AND PROVIDE

BARRIER FABRIC (WHERE APPLICABLE).

RECORD VIA AS-BUILTS. SEE NOTES. ALL DRIP SUPPLY TUBING TO BE 3/4". ALL MICRO TUBING TO BE 1/4" AND STAKED AT EDGE OF ROOTBALL. PROVIDE EMITTERS

PER SCHEDULE. PROVIDE BUG CAP AT TERMINUS OF ALL MICRO TUBING RUNS, ALL DRIP LINE TO BE PLACED OVER WEED

ADJUST HEADS AS NECESSARY TO AVOID OVERSPRAY WHILE MAINTAINING PROPER COVERAGE. RADII MUST BE ADJUSTED PRIOR TO INSPECTION. RADII MAY BE ADJUSTED UP TO 25%. PROVIDE ADDITIONAL HEADS IF REQUIRED. ADJUST LOCATIONS TO AVOID TREE CONFLICTS, ETC.

EXTEND TWO SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER TO GENERAL LOCATION SHOWN. PLACE IN QUICK



SCALE: 1" = 20'



Landscape Architecture Land Planning · Irrigation Design 5539 Colt Drive, Longmont, CO 80503 (303) 443-0388 · neil@ndscolorado.com





**5200 Buffington Road** Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

FSR#05190

**REVISION SCHEDULE** 

CONSULTANT PROJECT # 65121141 05/31/23 JRO

IRRIGATION

LOT 1A-2, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

1.33 ACRES SP23-0008 (SITE IMPROVEMENT PLAN)

SYSTEM IN GENERAL LOCATION SHOWN. SEE NOTE #1

INSTALLATION. ZONES TO BE ADDED TO OVERALL

DEVELOPMENT CONTROLLER.

FOR PSI AND GPM MINIMUMS. COORDINATE WITH CIVIL

## IRRIGATION LEGEND ROW AREA

MANUFACTURER/MODEL/DESCRIPTION HUNTER MP2000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC. HUNTER MP3000 PROS-04-CV TURF ROTATOR, 4" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.

HUNTER MP3500 PROS-06-CV TURF ROTATOR, 6.0" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.

MANUFACTURER/MODEL/DESCRIPTION

RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM. USE LOW FLOW MODEL FOR FLOWS UNDER 3 GPM

FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.

MANUFACTURER/MODEL/DESCRIPTION

1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW

OPERATING CAPABILITY, GLOBE CONFIGURATION.

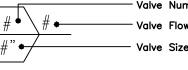
1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE

IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26

---- IRRIGATION MAINLINE: PVC CLASS 200 SDR 21

PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING \_\_\_\_ AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 2X PIPE DIAMETER UNLESS OTHERWISE NOTED.EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR

CONSTRUCTION.



## REFERENCE NOTES SCHEDULE

DIAGRAMMATIC DRIPLINE. ROUTE AS NECESSARY IN FIELD. QUANTITIES WILL VARY FROM THOSE SHOWN ON PLAN.

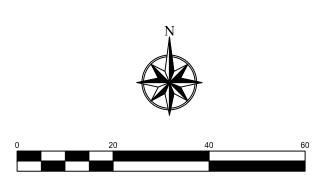
PROVIDE TWO (2) SLEEVES AT ALL MAINLINE CROSSINGS-ONE

ALL LOCATIONS DIAGRAMMATIC FOR CLARITY. LOCATE IN LANDSCAPE BEDS. FIELD ADJUST AS NECESSARY AND PROVIDE RECORD VIA AS-BUILTS. SEE NOTES.

ALL DRIP SUPPLY TUBING TO BE 3/4". ALL MICRO TUBING TO BE 1/4" AND STAKED AT EDGE OF ROOTBALL. PROVIDE EMITTERS PER SCHEDULE. PROVIDE BUG CAP AT TERMINUS OF ALL MICRO TUBING RUNS, ALL DRIP LINE TO BE PLACED OVER WEED BARRIER FABRIC (WHERE APPLICABLE).

ADJUST HEADS AS NECESSARY TO AVOID OVERSPRAY WHILE MAINTAINING PROPER COVERAGE. RADII MUST BE ADJUSTED PRIOR TO INSPECTION. RADII MAY BE ADJUSTED UP TO 25%. PROVIDE ADDITIONAL HEADS IF REQUIRED. ADJUST LOCATIONS TO AVOID TREE CONFLICTS, ETC.

EXTEND TWO SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER TO GENERAL LOCATION SHOWN. PLACE IN QUICK COUPLING VALVE BOX WITH QC VALVE FOR FUTURE EXPANSION.









Chick-fil-A **5200 Buffington Road** Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

FSR#05190

**REVISION SCHEDULE** NO. DATE

CONSULTANT PROJECT # 65121141 SIP 05/31/23 JRO

IRRIGATION

LOT 1A-2, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

SP23-0008 (SITE IMPROVEMENT PLAN)

QTY

## **IRRIGATION NOTES**

Note: QUANTITIES ARE LISTED FOR REFERENCE ONLY. CONTRACTOR TO USE GRAPHIC QUANTITIES TO DETERMINE TOTAL EQUIPMENT TYPES AND QUANTITIES, (SEE PLAN GRAPHIC AND EQUIPMENT SCHEDULE), PROVIDE ADDITIONAL IRRIGATION LABOR & COMPONENTS TO PROVIDE HEAD TO HEAD COVERAGE IN THE FIELD FOR ALL SODDED IRRIGATION ZONES AND (90%) OF HEAD TO HEAD COVERAGE FOR SEEDED TURFGRASS AND DRIP TO ALL PLANTINGS

1. THE IRRIGATION SYSTEM P.O.C. TO BE LOCATED IN THE LANDSCAPE OFF OF THE BUILDING WATER SUPPLY AS SHOWN WATER PRESSURE OF 75 PSI. CONNECTION IS ASSUMED TO PROVIDE MINIMUM 10 GPM. COORDINATE WITH OWNER'S INSTALLED. NOTIFY DESIGN OF ANY DEVIATIONS IN PRESSURE OR GPM. FAILURE TO NOTIFY LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR ASSUMING LIABILITY FOR ANY UNAUTHORIZED CHANGES MADE. 2. THE SYSTEM CONTROLLER IS TO BE A WALL MOUNT IN GENERAL LOCATION SHOWN, COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNER. CONNECT CONTROLLER TO POWER SUPPLY (COORDINATE WITH

PROVIDE LIGHTNING PROTECTION FOR ALL CONTROLLERS (TYPICAL). 3. COORDINATE ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND

INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES. SHOWN PER PLAN. SLEEVING FOR LATERAL LINES IS TO BE 24" UNDERGROUND. MAINLINE SLEEVING TO BE 36" UNDERGROUND. ALL SLEEVING IS TO EXTEND 18" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION. SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED/STAMPED.

ADJUSTING PRESSURE AT VALVES. CONTRACTOR TO REPAIR ALL IRRIGATION EROSION/GULLIES IN SEEDED AREAS

CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPING DEPTH IS TO BE 24". LATERAL LINE DEPTH IS TO BE 12". POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE. POLY LINE SHALL BE COMPLETELY COVERED WITH MULCH WITH NO LINE EXPOSED. GRAPHIC OTY'S. PREVAIL OVER WRITTEN OTY'S. INSTALL MAINLINE AND LATERALS AS CLOSE TO CURBS AND SIDEWALKS AS POSSIBLE TO ALLOW FOR MORE PLANTING ROOM.

INSTALL THREE EXTRA WIRES FROM THE CONTROLLER ALONG THE MAINLINE IN EACH DIRECTION FROM THE

9. NOTIFY LANDSCAPE ARCHTIECT OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS. 10.CONTRACTOR TO KEEP ALL PRESSURIZED IRRIGATION SUPPLY PIPE, (INCLUDING MAIN LINE, LATERALS, AND DRIP SUPPLY TUBING) AS WELL AS POP-UP SPRAY OR GEAR DRIVE HEADS A MIN. OF 5' AWAY FROM THE BUILDING OR AS NOTED BY THE SOILS ENGINEERS REPORT. THE MOST STRINGENT REQUIREMENT SHALL PREVAIL. ENSURE THAT POSITIVE DRAINAGE IS PROVIDED AND THAT NO IRRIGATION COMPONENTS NEGATIVELY IMPACT HARD SURFACES

AND/OR BUILDING FOUNDATIONS. 11. CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY ON ALL IRRIGATION PARTS AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE AS-BUILT DRAWINGS TO OWNER ALONG WITH QUICK-COUPLER KEYS WITHIN 30 DAY OF FINAL ACCEPTANCE FROM OWNER OR LANDSCAPE ARCHITECT.

12. THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR IRRIGATION HEAD REPLACEMENT, RAIN SENSOR ADJUSTMENT, IRRIGATION CONTROLLER ADJUSTMENTS, DRIP IRRIGATION MAINTENANCE AND VERIFICATION THAT ALL LANDSCAPE AREAS ARE NOT OVER-WATERED OR UNDER-WATERED. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT THE LANDSCAPE MAINTENANCE CONTRACTOR, LANDSCAPE CONSTRUCTION CONTRACTOR, OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS

RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE. 13. SHOULD LOCAL UTILITIES, WATER OR SPECIAL DISTRICTS DESIGNATE SPECIFIC WATER CONTROLS, IRRIGATION SCHEDULES SHALL BE ADJUSTED PURSUANT TO JURISDICTION REQUIREMENTS. 14. ADJUST IRRIGATION ZONE RUN TIMES WITH SEASONAL CONDITIONS. REDUCE RUN TIMES ACCORDING TO SEASONAL

ADJUSTMENT SCHEDULE AND BASED ON SMART CONTROLLER ADJUSTMENTS (EXCEPT FOR NEW INSTALLATIONS 15. PROVIDE DRIP IRRIGATION TO ALL EXISTING TREES AND SHRUBS IMPACTED BY CONSTRUCTION. PROVIDE ONE-HALF

THE AMOUNT OF EMITTER DEVICES THAT ARE DESIGNATED FOR NEW PLANT MATERIAL 16. DRIP ZONES REQUIRE PRESSURE REGULATORS AND FILTERS WITH A MIN. 150 MESH SCREEN OR APPROVED EQUAL. 17. PRESSURE COMPENSATING EMITTER OR APPROVED EQUAL MAY BE USED WITH MICRO-TUBING AND INSECT CAPS TO

DIRECT WATER TO AREAS THAT REQUIRE SPOT IRRIGATION. 18. LINE FLUSHING VALVES ARE TO BE LOCATED AT THE END OF EACH DRIP ZONE. INSTALL IN A 6" VALVE BOX W/ FILTER FABRIC & 4" OF CLEAN GRAVE BELOW EACH VALVE.

19. USE MICRO-SPRAY EMISSION DEVICES OR DRIPLINE FOR IRRIGATION OF ALL ANNUAL, AND GROUND COVER BEDS. LOCATED ON FLEXIBLE RISERS/STAKES. ADJUST SPRAY OUTPUT FOR PLANT COMMUNITY WATER INTAKE

20. NEW SOD WATER REQUIREMENTS: 1" OF WATER/DAY FOR 7 DAYS. TOTAL AMOUNT SPLIT UP OVER 4 TO 5 WATERING PERIODS. DURING WARMER PERIODS APPLY 1.25-1.50"/DAY. AFTER WEEK 2 APPLY 1/4" TO 1/2" PER DAY FOR 9 DAYS. SPLIT UP OVER 1 TO 3 WATERING PERIODS/DAY. IF WATERING RESTRICTIONS ALLOW WATER 1/4"/DAY EVERY OTHER DAY FOR 7 DAYS. AFTER TURF ESTABLISHMENT TIME REFER TO SCHEDULE AND LOCAL RESTRICTIONS FOR RUN

21. MOVE SPRINKLER HEADS OR TREE LOCATIONS IF SPRAY OR GEAR DRIVE HEADS ARE IN CONFLICT WITH ONE ANOTHER (I.e., within 5' of sprinkler head).

22. US HARCO SCH 40 RATED FITTINGS FOR ALL SYSTEMS. USE EPOXY DUCTILE IRON FITTINGS AND ADJUSTABLE PIPE CLAMPS FOR SYSTEMS USING OVER 80 PSI AT POINT.

## **VALVE SCHEDULE**

NUMBER	MODEL	SIZE	TYPE	<u>GPM</u>	<u>PSI</u>	PSI @ POC
1	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	TBD	25.0	36.0
2	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	TBD	25.0	35.9

## MANUFACTURER/MODEL/DESCRIPTION RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM. USE LOW FLOW MODEL FOR 3/4" PVC BALL VALVE IN 10" VALVE BOX.

RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. **Emitter Notes:** Perennials to receive one of 0.5 GPH emitters Grasses to receive one of 1.0 GPH emitters Shrubs to receive two of 1.0 GPH emitters

IRRIGATION SCHEDULE\_SITE

Trees to receive to receive minimum four of 2.0 GPH emitters MANUFACTURER/MODEL/DESCRIPTION 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE

MANUAL DRAIN VALVE PROVIDE 10" ROUND BOX WITH 2" VALVE MARKER, PVC ACCESS SLEEVE, AND MINIMUM 6" DEPTH 3/4" WASHED RIVER ROCK SUMP FOR DRAINAGE. PROVIDE 3/4" MXF SCH 40 PVC 90 ELL AND 3/4" X 4" SCH 80 PVC NIPPLE TO SUMP FOR DRAINAGE. USE TEFLON TAPE ON ALL MALE

THREADED PVC AND AND ALL NIPPLES REDUCED PRESSURE BACKFLOW PREVENTER - EXISTING

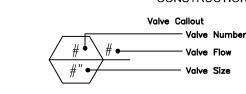
8 STATION CAPABLE COMMERCIAL CONTROLLER, EXPANDABLE, PLASTIC WALL MOUNT, LOCKING CABINET, FLOW SENSING AND WATER MANAGEMENT CAPABILITIES. WIRELESS RAIN/FREEZE SENSOR. GUARDSHACK EC-2 GUARDSHACK ECONOCAGE, WITH EP-1 AND FG-1. INSTALL 1

POINT OF CONNECTION 3/4" CONNECT TO PROVIDED STUB OUT IN GENERAL LOCATION SHOWN. COORDINATE WITH CIVIL / MECHANICAL IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PIPE SLEEVE: PVC SCHEDULE 40

LOCKING HARDWARE PRIOR TO TURNOVER.

PER MANUFACTURER REQUIREMENTS AND VERIFY

PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 334.8 L.F. 2X PIPE DIAMETER UNLESS OTHERWISE NOTED.EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.



- SLEEVE SIZE —SLEEVE DEPTH Provide seperate 1" wire sleeve along all all mainline crossings, of equal length to length of pipe sleeve

Emitter Notes: Perennials to receive one of 0.5 GPH emitters Grasses to receive one of 1.0 GPH emitters Shrubs to receive two of 1.0 GPH emitters Trees to receive to receive minimum four of 2.0 GPH emitters

## VALVE SCHEDULE - ROW

NUMBER	MODEL	SIZE	<u>TYPE</u>	<u>GPM</u>	<u>PSI</u>	PSI @ F
R-1	RAIN BIRD PEB	1"	TURF ROTARY	7.99	43.9	44.5
R-2	RAIN BIRD PEB	1"	TURF ROTARY	7.2	42.7	43.2
R3	RAIN BIRD PEB	1"	TURF ROTARY	9.31	43.5	44.4
R-4	RAIN BIRD PEB	1"	TURF ROTARY	7.87	43.9	45.2
R-5	RAIN BIRD PEB	1"	TURF ROTARY	9.34	43.2	45.0
R-6	RAIN BIRD PEB	1"	TURF ROTARY	7.55	44.3	45.5
R-7	RAIN BIRD XCZ-100-PRF	1"	DRIP - TREES	TBD	25.00	32.65

## IRRIGATION SCHEDULE ROW AREA

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	<u>PSI</u>
⟨K⟩⟨G⟩⟨R⟩	HUNTER MP2000 PROS-04-CV TURF ROTATOR, 4" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	6	40
<b>√</b> B <b>〉√</b> Y <b>〉√</b> A <b>〉</b>	HUNTER MP3000 PROS-04-CV TURF ROTATOR, 4" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	6	40
<b>(B)</b>	HUNTER MP3500 PROS-06-CV TURF ROTATOR, 6.0" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.	12	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
•	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM. USE LOW FLOW MODEL FOR FLOWS UNDER 3 GPM	1	
Ф	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	1	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	6	
	RAIN BIRD 5-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.	2	
*	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"	1	
POC2	POINT OF CONNECTION 3/4" CONNECT TO PROVIDED STUB OUT IN GENERAL LOCATION SHOWN. COORDINATE WITH CIVIL / MECHANICAL	1	
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26	632.7 L.F.	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	149.8 L.F.	

PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING \_\_\_\_\_ AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM

12.4 L.F. 2X PIPE DIAMETER UNLESS OTHERWISE NOTED.EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR

CONSTRUCTION. Valve Callout

Loss for Backflow:

Pressure Available:

Critical Station Pressure at POC:

Residual Pressure Available:

———SLEEVE SIZE —SLEEVE DEPTH Provide seperate 1" wire sleeve along all all mainline crossings, of equal length to length of pipe sleeve

## CRITICAL ANALYSIS - ROW

2023-06-02 13:24	
	OVIDED STUB OUT IN CIVIL / MECHANICAL
3/4" 10.2 GPM	CONFIRM MINIMUM PRESSURE LISTED PRIOR TO
55 PSI	COMMENCEMENT OF INSTALLATION
9.34 GPM 10.2 GPM	
0.86 GPM	
40 PSI 2.32 PSI 0.23 PSI 0 PSI 1.75 PSI 44.3 PSI 0 PSI 1.22 PSI	
	CONNECT TO PRECOORDINATE WITH  3/4" 10.2 GPM  55 PSI 55 PSI  9.34 GPM 10.2 GPM 0.86 GPM  40 PSI 2.32 PSI 0.23 PSI 0 PSI 1.75 PSI 44.3 PSI 0 PSI

45.5 PSI

9.5 PSI

Generated:	2023-02-28 12:31	l
P.O.C. NUMBER: 02 Water Source Information: GENERAL LOCATION SHOWN. CO		ROVIDED STUB OUT I I CIVIL / MECHANICAI
FLOW AVAILABLE Point of Connection Size: Flow Available	3/4" 10.2 GPM	CONFIRM MINIMUM PRESSURE LISTED PRIOR TO COMMENCEMENT OF INSTALLATION
PRESSURE AVAILABLE Static Pressure at POC: Pressure Available:	75 PSI 75 PSI	OF INSTALLATION
DESIGN ANALYSIS Maximum Station Flow: Flow Available at POC: Residual Flow Available:	4.97 GPM 10.2 GPM 5.23 GPM	
Design Pressure: Friction Loss: Fittings Loss: Elevation Loss: Loss through Valve: Pressure Req. at Critical Station: Loss for Fittings: Loss for Main Line: Loss for POC to Valve Elevation: Loss for Backflow: Loss for Master Valve: Critical Station Pressure at POC:	20 PSI 0.3 PSI 0.03 PSI 0 PSI 2.9 PSI 23.2 PSI 0 PSI 0.04 PSI 0 PSI 11.3 PSI 1.4 PSI 36.0 PSI	
Pressure Available: Residual Pressure Available:	75 PSI 39.0 PSI	

A SEASONAL MAINTENANCE SCHEDULE SHALL BE PERFORMED ON THE

CHECK HEADS FOR COVERAGE AND LEAKAGE

 REPLACE ALL BROKEN HEADS RE-PROGRAM CONTROLLERS MONTHLY OR MORE OFTEN IF NECESSARY ACCORDING TO THE SEASONAL NEEDS

 INSPECT THE BACKFLOW PREVENTION DEVICE TO DETERMINE IF IT IS WORKING CORRECTLY

 CHECK HEADS AND EMITTERS FOR DEBRIS ENSURE DRIP EMITTERS ARE NOT BROKEN OR CLOGGED

Month	Seasonal Adjustment Factor
April	60%
May	75%
June	90%
July	100%
August	90%
September	60%
October	50%

## CRITICAL ANALYSIS

Generated:	2023-02-28 12:3	1
P.O.C. NUMBER: 02 Water Source Information: GENERAL LOCATION SHOWN. Co		ROVIDED STUB OUT IN H CIVIL / MECHANICAL
FLOW AVAILABLE Point of Connection Size: Flow Available	3/4" 10.2 GPM	CONFIRM MINIMUM PRESSURE LISTED PRIOR TO COMMENCEMENT
PRESSURE AVAILABLE		OF INSTALLATION
Static Pressure at POC:	75 PSI	
Pressure Available:	75 PSI	
DESIGN ANALYSIS Maximum Station Flow:	4.97 GPM	
Flow Available at POC:	10.2 GPM	
Residual Flow Available:	5.23 GPM	
Desire Bresser	00 DOI	
Design Pressure:	20 PSI	
Friction Loss:	0.3 PSI	
Fittings Loss: Elevation Loss:	0.03 PSI 0 PSI	
Loss through Valve: Pressure Req. at Critical Station:	2.9 PSI 23.2 PSI	
Loss for Fittings:	0 PSI	
Loss for Main Line:	0.04 PSI	
Loss for POC to Valve Elevation:	0.04 P31 0 PSI	
Loss for Backflow:	11.3 PSI	
Loss for Master Valve:	1.4 PSI	
Critical Station Pressure at POC:	36.0 PSI	
Pressure Available:	75 PSI	
Pacidual Procesure Assailables	20 0 DCI	

IRRIGATION SYSTEMS AND SHALL CONSIST OF THE FOLLOWING ITEMS:

• VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE

 PERIODICALLY VERIFY THAT SENSORS IN THE IRRIGATION SYSTEM ARE WORKING PROPERLY CHECK VALVES TO MAKE SURE THEY ARE FUNCTIONING PROPERLY

ADJUST COMPONENTS AS NECESSARY OR AS PLANT GROWTH DICTATES

Month	Seasonal Adjustment Factor
April	60%
Мау	75%
June	90%
July	100%
August	90%
September	60%
October	50%



(303) 443-0388 · neil@ndscolorado.com

5200 Buffington Road

Atlanta, Georgia 30349-

2998

FOR AND AND ON-BEHALF OF

MERRICK AND COMPANY

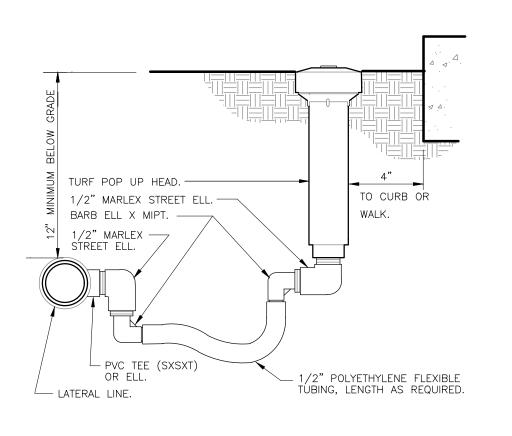
**REVISION SCHEDULE** 

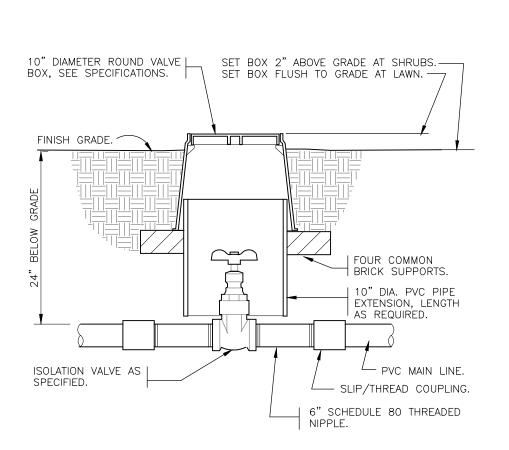
CONSULTANT PROJECT # 65121141 SIP 05/31/23 DRAWN BY JRO

IRRIGATION

LOT 1A-2, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

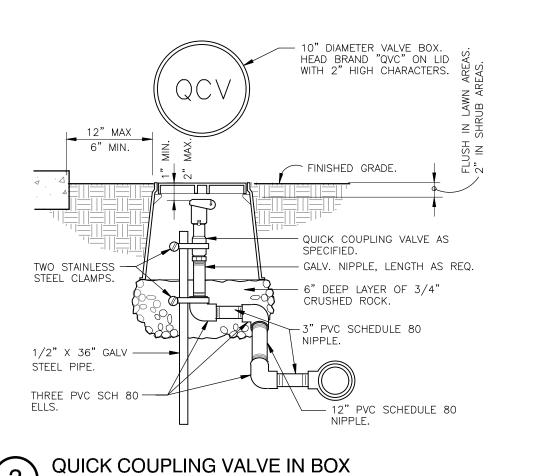
SP23-0008 (SITE IMPROVEMENT PLAN)

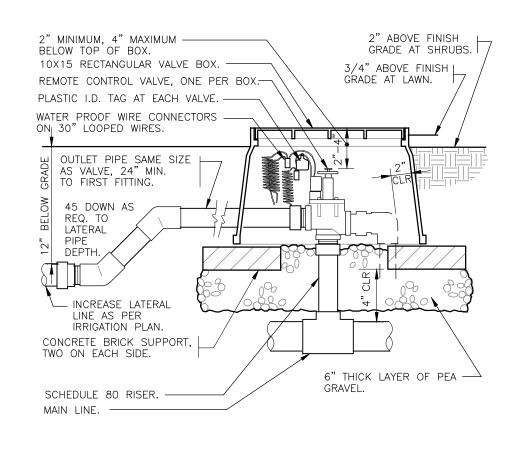




**BRASS ISOLATION VALVE** 

WALL MOUNT CONTROLLER





**ELECTRIC REMOTE CONTROL VALVE** 

DIFFUSER BUG CAP.

1/4" TUBING STAKE.

1/4" DISTRIBUTION TUBING.

TOP OF MULCH ELEVATION.

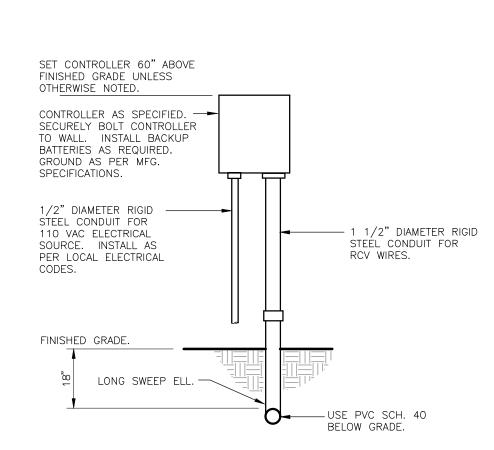
SINGLE-OUTLET EMITTER.

3/4" POLY DRIP TUBING.

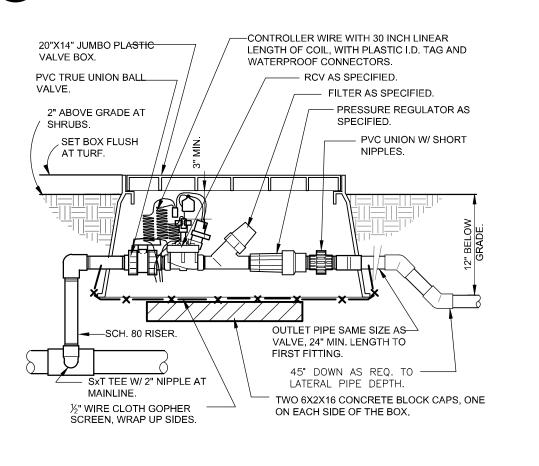
PLACE DRIPLINE OVER WEED BARRIER (IF PLACED)

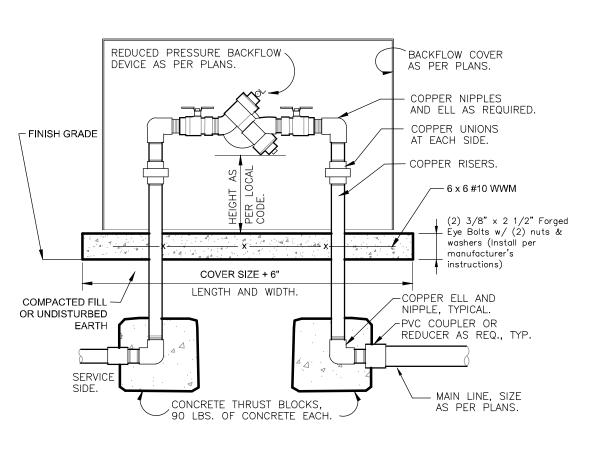
TIE-DOWN STAKE FOR DRIP SUPPLY TUBING

TURF SPRAY FLEX ASSEMBLY



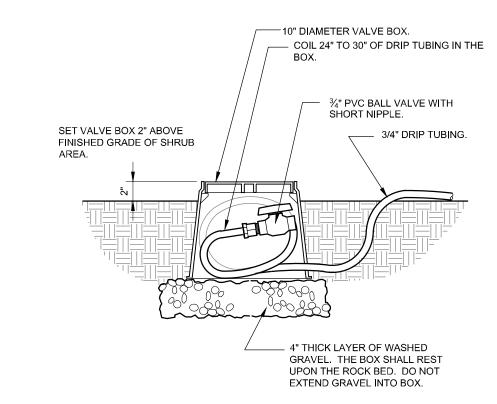
328406.33-01





32 8406 13-01

328409.46-03



9 DRIP FLUSH VALVE

1 1/2" = 1'-0" 32 8413.49-03



8 RP BACKFLOW W/ ENCLOSURE

NATURAL DESIGN SOLUTIONS

Landscape Architecture

Land Planning · Irrigation Design

5539 Colt Drive, Longmont, CO 80503

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Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

# HICK-FIL-A WY 470 & YOSEMITE 9 S. YOSEMITE ST. NE TREE. CO 80124

FSR#05190
BUILDING TYPE / SIZE: P13 LS LRG (MOD)
RELEASE: 22.05

REVISION SCHEDULE

IRRI

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 65121141

PRINTED FOR SIP

DATE 05/31/23

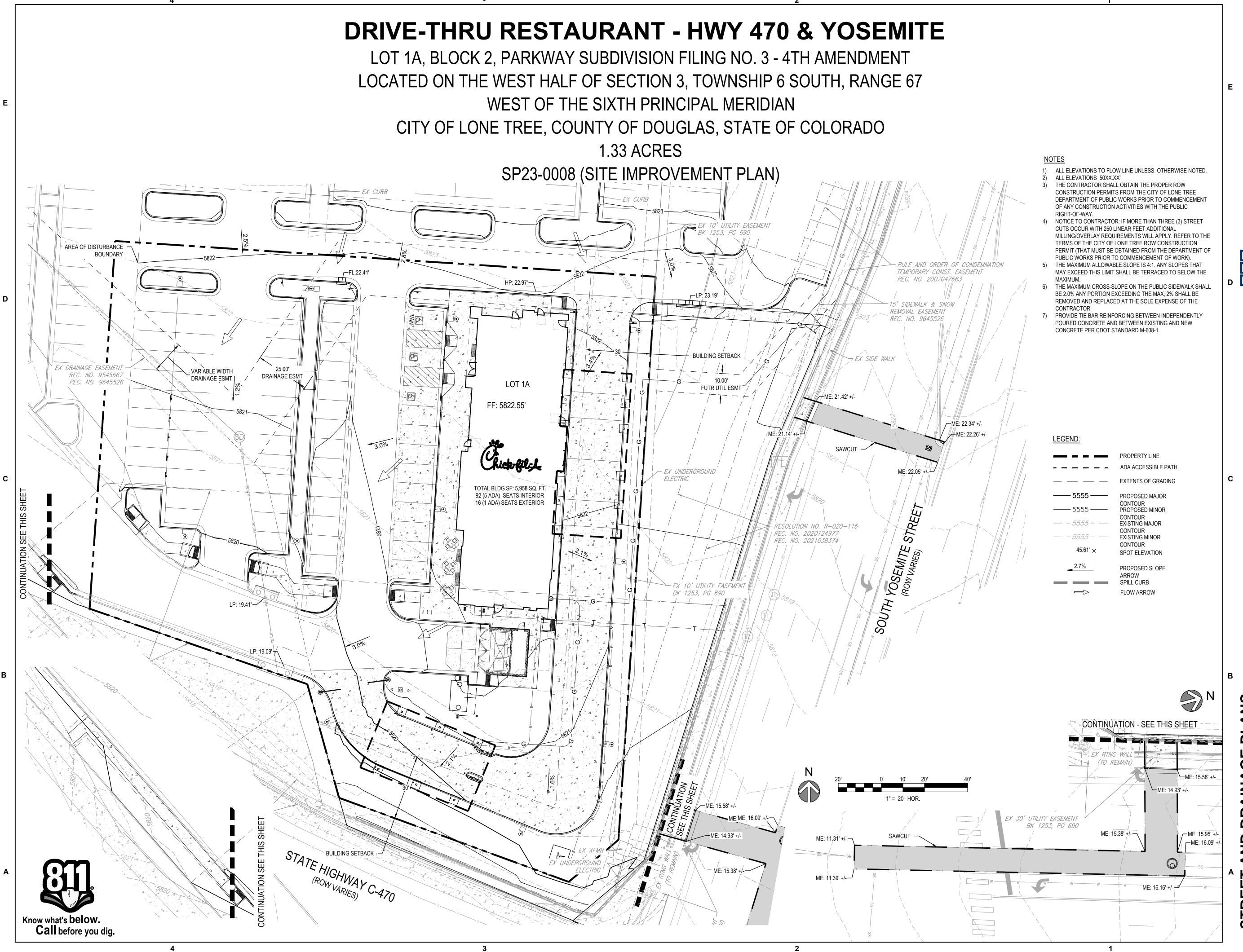
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SHEET

IRRIGATION

MBER

**DETAIL;S** 





Chick-fil-A **5200 Buffington Road** Atlanta, Georgia 30349-



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

NO. DATE DESCRIPTION

65121141 03/22/24

**GRADING PLAN** 

DRIVE-THRU RESTAURANT - HWY 470 & YOSEMITE LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES LEGEND: SP23-0008 (SITE IMPROVEMENT PLAN) PROPERTY LINE WATER METER IRRIGATION METER **GREASE INTERCEPTOR** SINGLE CLEANOUT EX CURB (TYP) -TWO-WAY CLEANOUT TRANSFORMER TEMPORARY CONST. EASEMENT REC. NO. 2007047663 STORM INLET INLET TRIPLE STORM MANHOLE REMOVAL EASEMENT VARIABLE WIDTH 2" TYPE K COPPER -WATER SERVICE DRAINAGE ESMT DRAINAGE 8" DIP FIRE SERVICE LINE EX DRAINAGE EASEMENT REC. NO. 9545667 TELEPHONE SERVICE MULTIPLE UTILITY CROSSINGS - 8" X 2" DOMESTIC SERVICE PER DW STD DTL 33262 EX STORM MANHOLE \_\_\_\_ EX 36" RCP = 2" WATER METER (TO REMAIN) EX SANITARY MANHOLE EX 24" DI WATER MAIN EX STORM INLET 12"X8" TAPPING SLEEVE EX UNDERGROUND ELECTRIC EX 4' SD MH EX GAS SERVICE EX 12" CA WATER MAIN — EX WATER LINE TOTAL BLDG SF: 5,958 SQ. FT. 92 (5 ADA) SEATS INTERIOR | REC. NO. 2020124977 16 (1 ADA) SEATS EXTERIOR EX COMMUNICATION SERVICE EX TREE EX IRRIGATION VALVE RESOLUTION NO. R-020-116  $\otimes$   $\stackrel{\mathbb{W}}{\bowtie}$   $\otimes$ EX WATER VALVE REMAIN) REC. NO. 2020124977 REC. NO. 2021038374 3/4" WT SERVICE TO TRASH ENCLOSURE (TO REMAIN) EX TELEPHONE BOX GAS METER SAN SERVICE EX ELECTRIC BOX - CONNECT TO CONNECTION SERVICE EX 10' TYPE R EX STORM SEWER CURB INLET EX 30" RCP 6" SDR-35 SAN SERVICE ±62.20 LF CLEAN OUT (TYP) **CONTINUATION - SEE PLAN** SIDE OF EX 1500 GAL GREASE INTERCEPTOR 15' TYPE R - 8" SDR-35 SAN MAIN (TO REMAIN) CONTRACTOR TO BORE UNDER EX RTNG WALL & PROTECT IN 4' SS MH -C-470/SOUTH YOSEMITE STREET ON-RAMP AGREEMENT PERMANENT SLOPE ESMT DEED BK 1364, PG 396 BUILDING SETBACK EX 8" PVC SANITARY 6" SDR-35 SAN SERVICE COORDINATE WITH LOCAL SELEC AUTHORITY Know what's below. Call before you dig. CONTINUATION - SEE DETAIL ON THIS SHEET



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FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

# K-FIL-A & YOSEMITE ATTENTE

HWY 470 & Y(8599 S. YOSEMITE SLONE TREE, CO 801

FSR#05190
BUILDING TYPE / SIZE: P13 LS LRG (MOD)
RELEASE: 22.05

VISION SCHEDULE D. DATE DESCR

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 65121141

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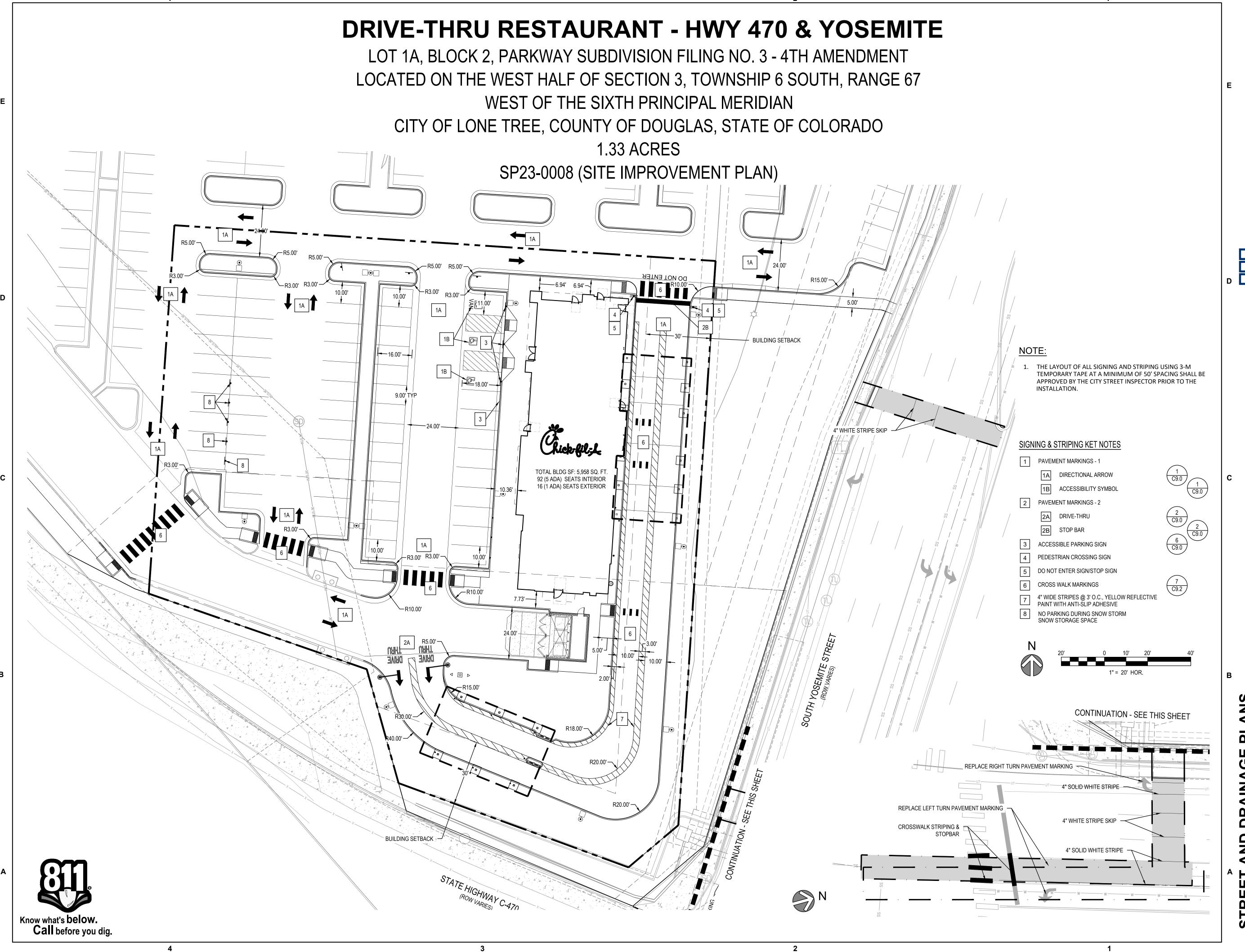
DATE 03/22/24

DRAWN BY KEA

SHEET

UTILITY PLAN

EET NUMBER



File Path: Q:\DEN\Projects\1141-00 CFA 4 PLAN.dwg Last Saved By: KELLAN.BLACK



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FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

# **K-FIL-A**& YOSEMITE MITE ST.

HWY 470 & Y
8599 S. YOSEMITE
LONE TREE, CO 80

FSR#05190
BUILDING TYPE / SIZE: P13 LS LRG (MOD)

VISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 65121141

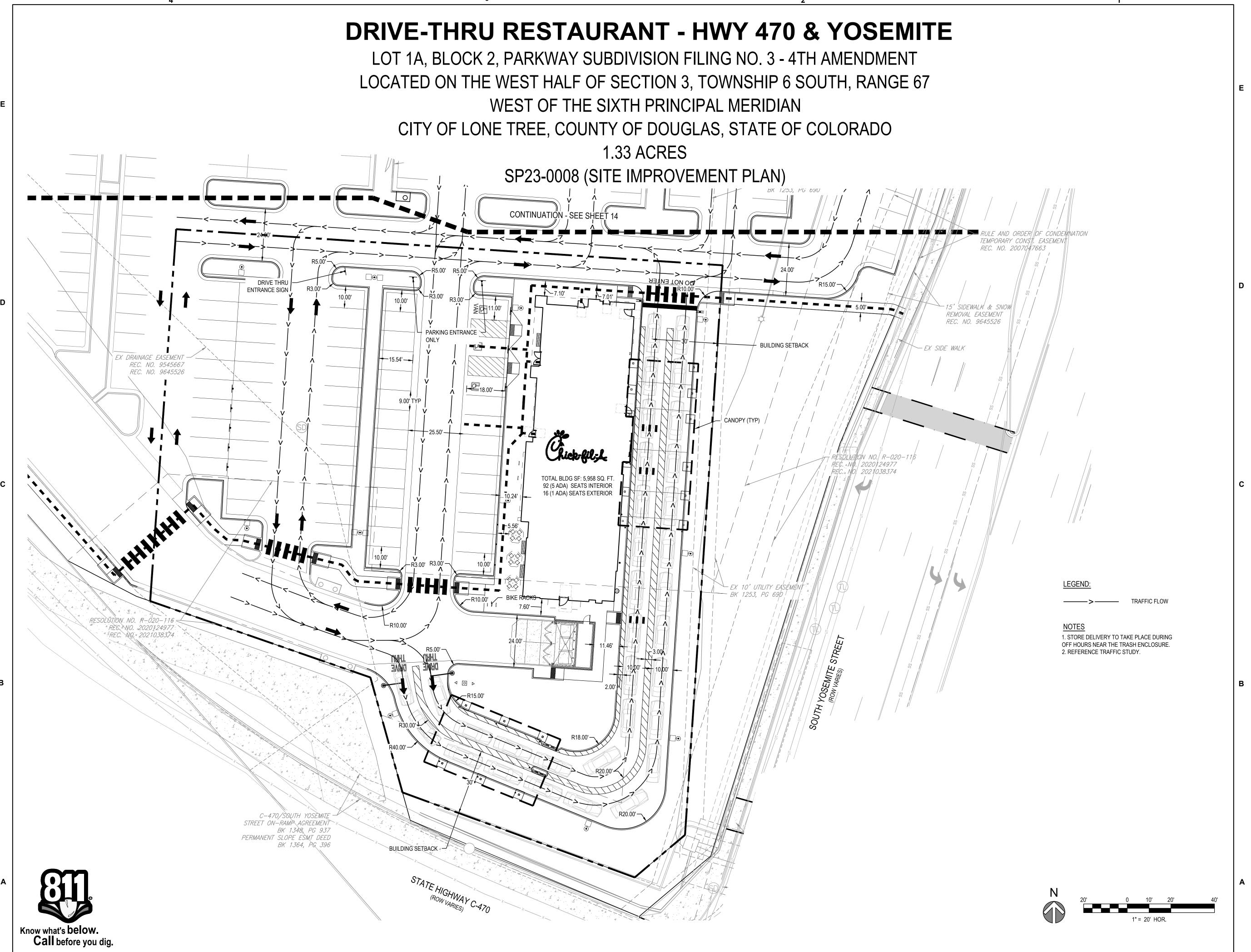
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DATE 03/22/24

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SHEET

SIGNING AND STRIPING
PLAN





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FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

# K-FIL-A & YOSEMITE SMITE ST.

HWY 470 & 8599 S. YOSEMITE LONE TREE, CO 8

SR#05190

VISION SCHEDULE

D. DATE DESCR

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 65121141

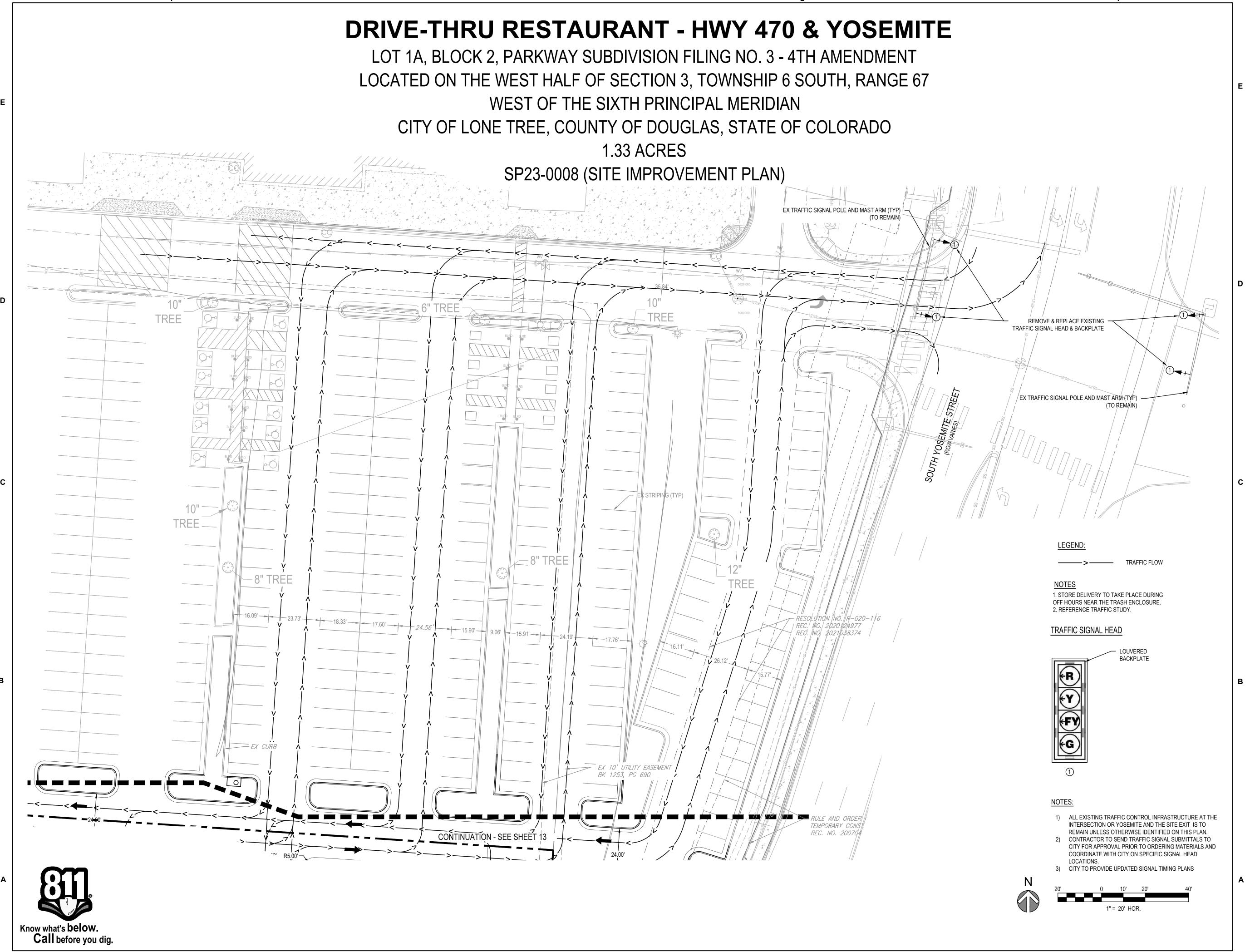
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TRAFFIC CIRCULATION





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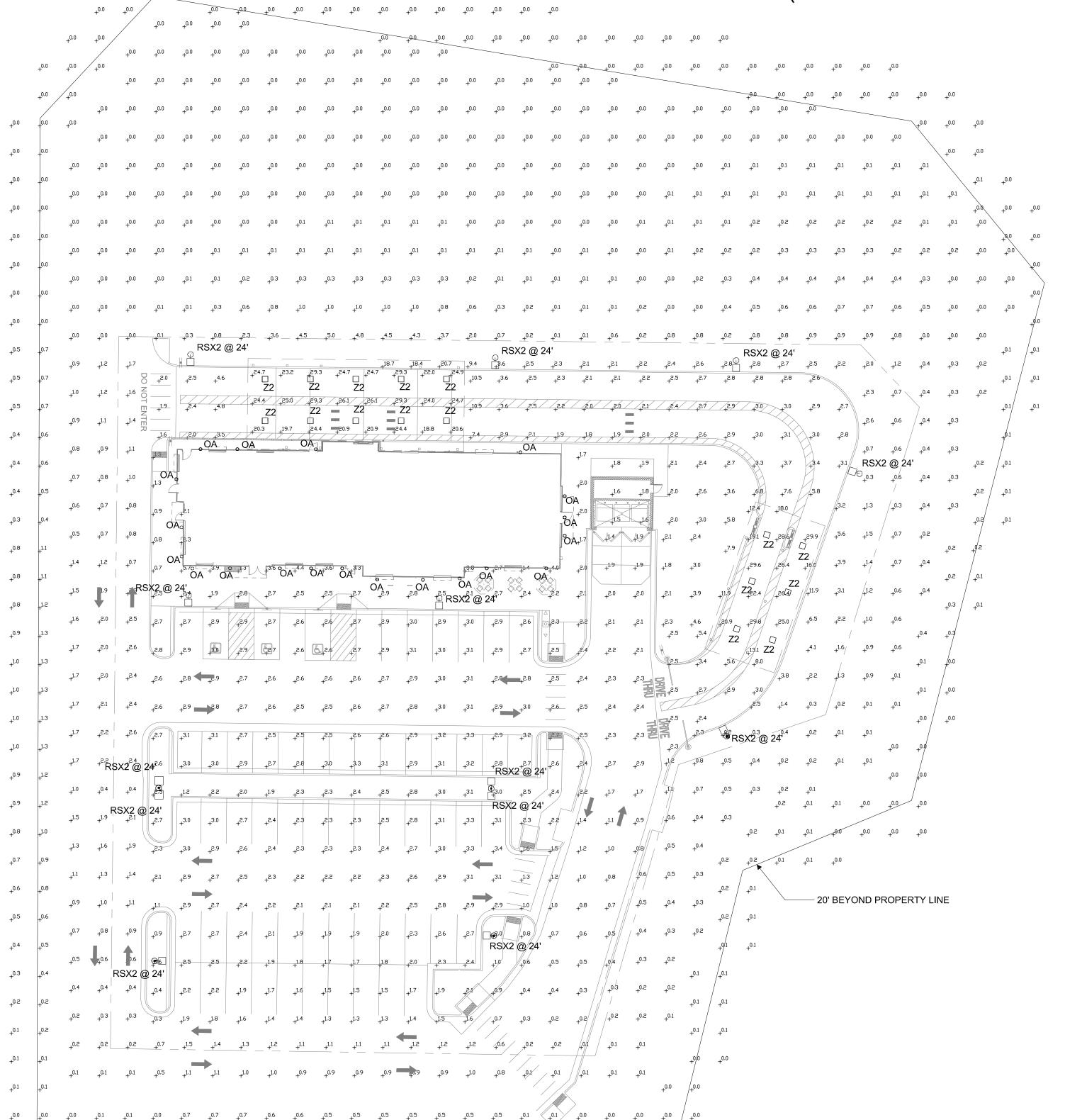
FOR AND AND ON-BEHALF OF

NO. DATE DESCRIPTION

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DATE	03/22/24
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CONSULTANT PROJECT #	65121141

LOT 1A-2, BLOCK 1 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

SP23-0008 (SITE IMROVEMENT PLAN)







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30349-2998



1755 WITTINGTON PLACE SUITE 190 FARMERS BRANCH, TX 75234 www.core-states.com

# **HIGK-FILL-A Y 470 & YOSEMITE**OF HWY 470 & YOSEMITE E TREE, CO 80124

# FSR#05190

RELEASE:

REVISION SCHEDULE

REVISION SCHEDULE

NO. DATE DESCR

CONSULTANT PROJECT # 65121141

DATE 09/27/23

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SHEET

SITE PHOTOMETRIC PLAN

15 OF 25

01 January, 2000 00-LS-0000-A101-SHEET N

1 SITE PHOTOMETRIC PLAN
1" = 24'-0"

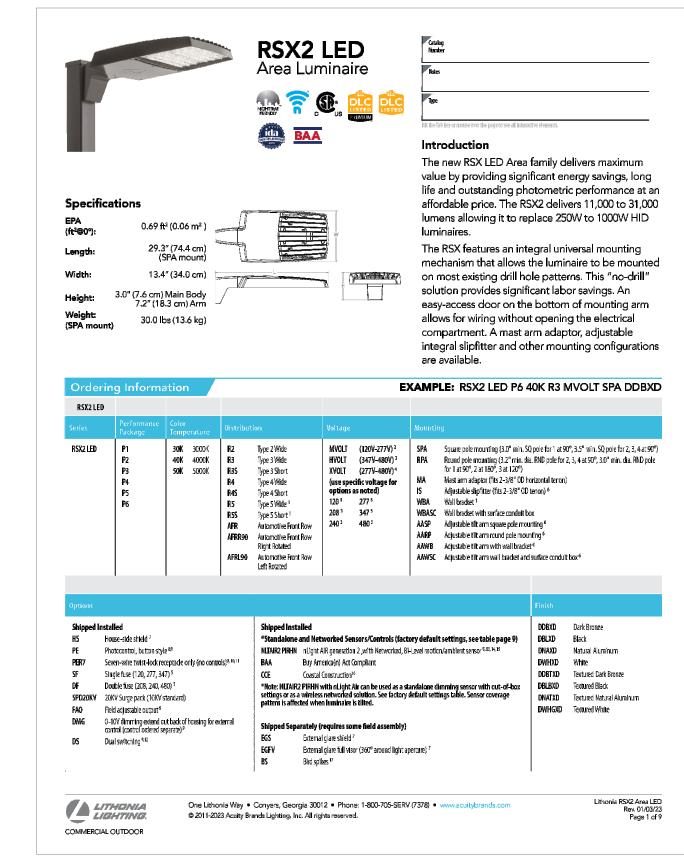
LOT 1A-2, BLOCK 1 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES SP23-0008 (SITE IMROVEMENT PLAN)



FIXTURE "OA" - BUILDING SCONCES



FIXTURE "Z2" - CANOPY LIGHT



FIXTURE "RSX2" - LOT LIGHT

Lamp					
Symbol	Label	QTY	Catalog Number	Number Lamps	Wattage
0	OA	20	P5675-3130K	1	24
•	RSX2	13	RSX2 LED-P3-40K-R5-MVOLT-HS	1	150
	Z2	16	CRUS-SC-LED-LW-50	1	74

Statistics		П	11		11	
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
20' Past Property Line (Right of Way)	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
20' Past Property Line (Remainder of Perimeter)	+	0.3 fc	1.0 fc	0.0 fc	N/A	N/A
CFA Area	+	0.7 fc	20.7 fc	0.0 fc	N/A	N/A
Parking Area	+	2.3 fc	3.0 fc	0.2 fc	15.0:1	11.5:1
Canopy #1	+	24.2 fc	29.3 fc	18.8 fc	1.6:1	1.3:1
Canopy #2	+	22.0 fc	29.9 fc	11.9 fc	2.5:1	1.8:1
Building Exterior	+	2.4 fc	5.7 fc	0.7 fc	8.1:1	3.4:1
Drive Thru Area	+	3.2 fc	10.9 fc	1.5 fc	7.3:1	2.1:1



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**K-FIL-A & YOSEMITE**470 & YOSEMITE
0 80124

0

# FSR#05190

RELEASE:

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 65121141

DATE 09/27/23

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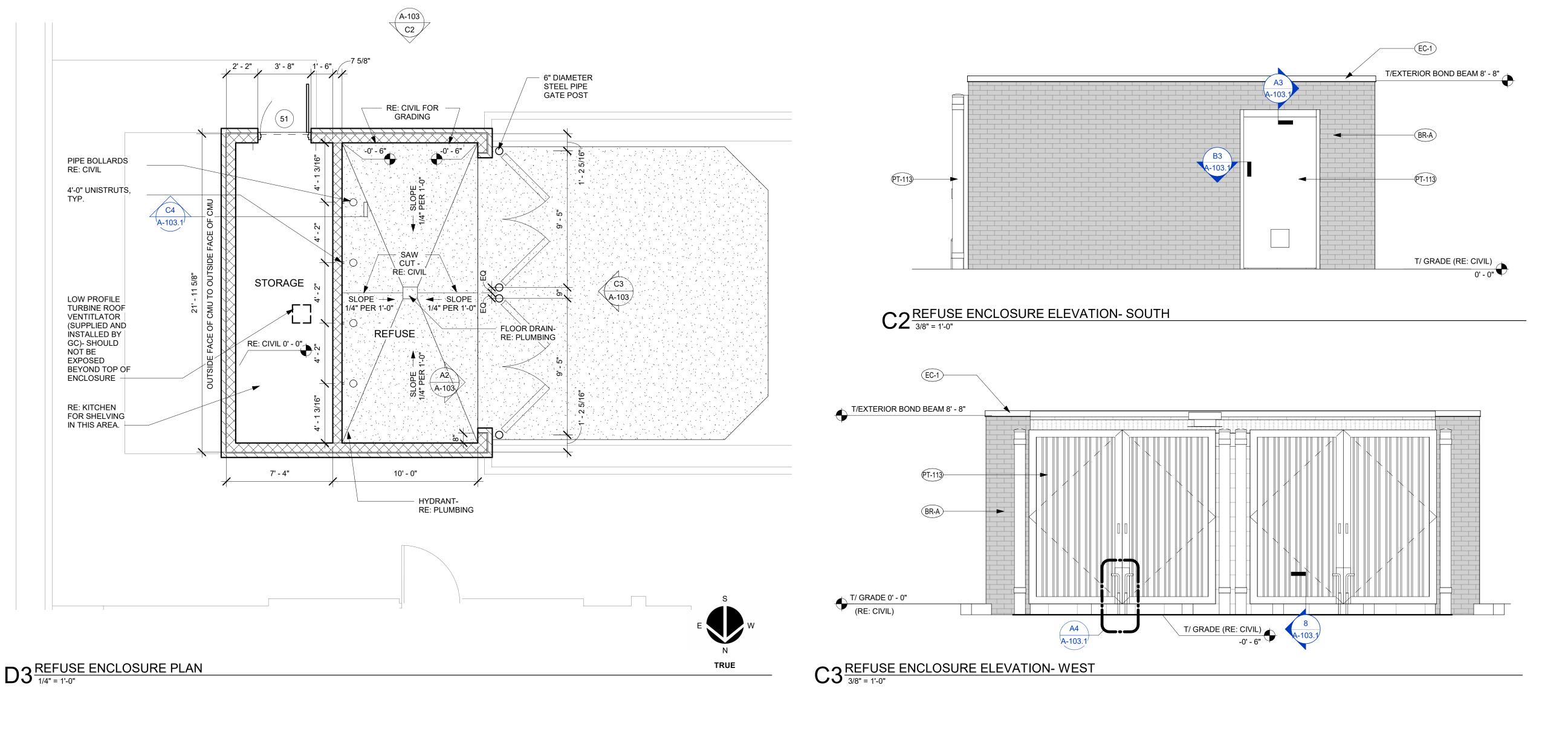
LIGHTING FIXTURE SPEC

SHEET NUMBER

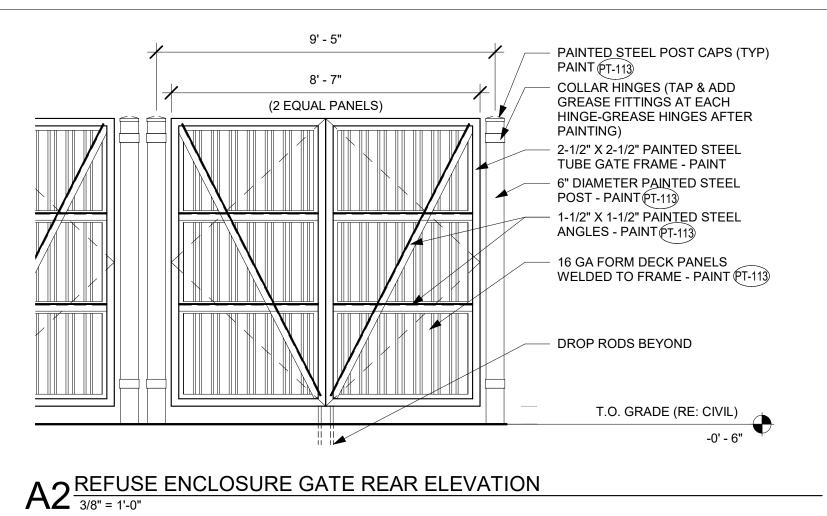
16 OF 25

01 January, 2000 00-1 S-0000-A101-SHEET NAME

LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES SP23-0008 (SITE IMPROVEMENT PLAN)



2



# REFUSE ENCLOSURE NOTES

- 1. \*\*\*IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS. \*\*\*DESIGN STANDARD (CS-I) (B) REQUIRES THAT ALL TRASH ENCLOSURES ARE 18" OR HIGHER THAN THE DUMPSTER THEY ARE SCREENING - GC TO NOTIFY ARCHITECT OF ANY CONCERNS
- \*\*\*ALL ROOF MOUNTED EQUIPMENT SHOULD BE SCREENED BY **ENCLOSURE WALLS**

## TRASH ENCLOSURE FINISHES



PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE

17 OF 25

Ξ Σ

REVISION SCHEDULE

Chick-fil-A

**5200 Buffington Road** 

Atlanta, Georgia

30349-2998

1755 WITTINGTON PLACE

FARMERS BRANCH, TX 75234

П ST

SUITE 190

GROUP

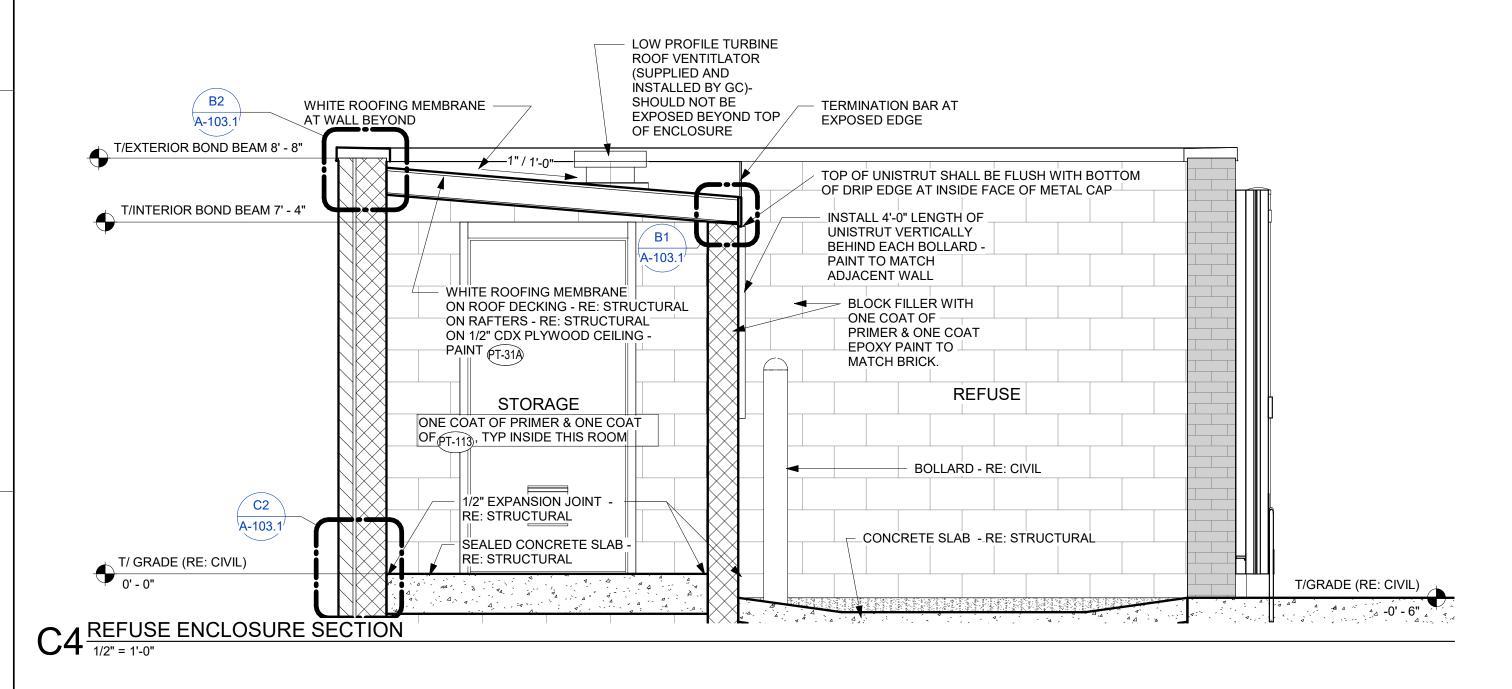
NO. DATE DESCRIPTION

CONSULTANT PROJECT # CFA.32538.001 09/26/2023

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**REFUSE ENCLOSURE** 

LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO **1.33 ACRES** SP23-0008 (SITE IMPROVEMENT PLAN)



16 GA FORM DECK PANELS

GATE PULLS AS APPROVED

WELDED TO FRAME - PAINT (PT-113)

GRAY INDICATES PAINT (PT-113) IN

STEEL PLATE AND ANCHORAGE

1" DIAMETER STEEL DROP ROD

STEEL BENT CLIP BOLTED TO

STEEL MAIN FRAME - PAINT (PT-113)

1-1/4" DIAMETER DRILLED HOLE

1/2" EXPANSION JOINT - RE: CIVIL

VERTICAL EDGE OF CONCRETE SLAB

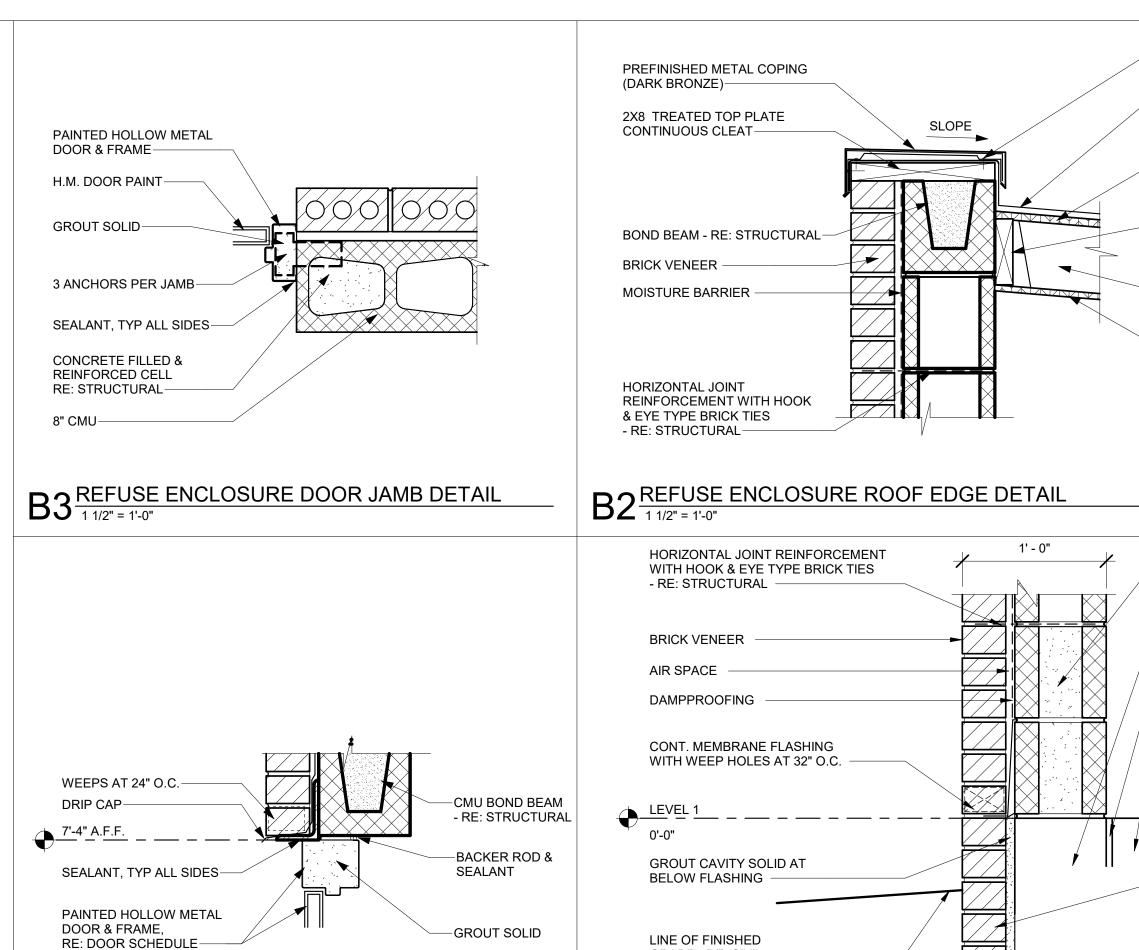
IN CONCRETE DRIVE.

BEHIND & BELOW GATE

CONCRETE DRIVE - RE: CIVIL

6" LONG DROP ROD GUIDE

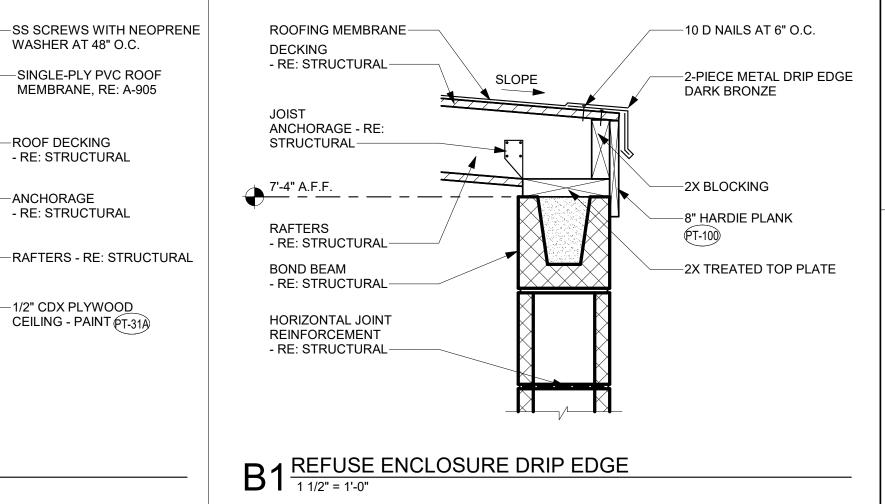
THIS DRAWING, TYP



A3 REFUSE ENCLOSURE DOOR HEAD DETAIL 1/2" = 1'-0"

GRADE - RE: CIVIL

 $C2^{\frac{\text{REFUSE ENCLOSURE BASE DETAIL}}{1\ 1/2"\ =\ 1'\text{-}0"}}$ 



**GROUT BOTTOM TWO COURSES** 

DOWNWARD INTO FOOTING AS

FOOTING - RE: STRUCTURAL

1/2" EXPANSION JOINT

CONCRETE SLAB,

RE: STRUCT.

FINISH GRADE.

2

SOLID, TYP AND EXTEND GROUTING

SHOWN ON STRUCTURAL DRAWINGS

EXTEND BRICK VENEER TO FOOTING

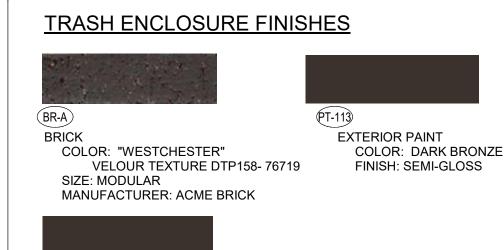
BELOW. CONTRACTOR SHALL HAVE

INSTEAD OF BRICK AT AREAS BELOW

OPTION TO USE 4" THICK CMU

# **REFUSE ENCLOSURE NOTES**

- \*\*\*IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS. \*\*\*DESIGN STANDARD (CS-I) (B) REQUIRES THAT ALL TRASH ENCLOSURES ARE 18" OR HIGHER THAN THE DUMPSTER THEY ARE SCREENING - GC TO
- NOTIFY ARCHITECT OF ANY CONCERNS \*\*\*ALL ROOF MOUNTED EQUIPMENT SHOULD BE SCREENED BY ENCLOSURE WALLS



PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE

18 OF 25

REVISION SCHEDULE NO. DATE

Chick-fil-A

5200 Buffington Road

Atlanta, Georgia

30349-2998

1755 WITTINGTON PLACE

www.core-states.com

FARMERS BRANCH, TX 75234

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SUITE 190

GROUP

CORESTATES INC.

**DESCRIPTION** 

CONSULTANT PROJECT # CFA.32538.001 Information contained on this drawing and in all digital files

any manner without express written or verbal consent from **REFUSE ENCLOSURE** 

DRIVE-THRU RESTAURANT HWY 470 & YOSEMITE LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES SP23-0008 (SITE IMPROVEMENT PLAN) CM-1: 692 SQ FT = 25% SC-1: 1234 SQ FT = 45% BR-A: 530 SQ FT = 19% Other: 302 SQ FT= 11% TOTAL= 2758 SQ FT Chick-fil-A SC-1 T/ FRAMING 22'-10 1/2" signage under separate permit Atlanta, Georgia T/ FRAMING 20'-4 1/2" 30349-2998 CONTROL JOINT 13'-0" (C1-C) B/ CANOPY 9'-8" 1755 WITTINGTON PLACE SUITE 190 WATER TABLE 3'-0 FARMERS BRANCH, TX 75234 www.core-states.com T/ SLAB 0" ST-1 ST-1 PT-113 PT-113 BR-A ST-1 BR-A - fixture "OA" per lighting specs, typ. spandrel glass ightharpoonupspandrel glass — D1 EXTERIOR ELEVATION- EAST CM-1: 643 SQ FT = 22% SC-1: 1144 SQ FT = 38% signage under separate permit BR-A: 855 SQ FT = 29% BR-A signage under separate permit Other: 342 SQ FT = 11% TOTAL= 2984 SQ FT T/ FRAMING 24'-10 1/2" 🛓 H ST. T/ FRAMING 22'-10 1/2" T/ FRAMING 20'-4 1/2" CONTROL JOINT 13'-0" (C1-A) (C1-X) B/ CANOPY 9'-8", WATER TABLE 3'-0" T/ SLAB 0" ST-1 ST-1 BR-A CM-1 BR-A fixture "OA" per lighting specs, typ. EXTERIOR ELEVATION- WEST 3/16" = 1'-0" FINISH SCHEDULE - EXTERIOR ATTACHED CANOPY SCHEDULE Overall Overall Tie Back Mounting Integral Width Depth (Offset From Top) Lighting MODEL NUMBER DESCRIPTION MANUFACTURER MODEL NAME <u>LEGEND</u> BR-A BRICK VENEER OIL EXTRACTION WESTCHESTER VELOUR TEXTURE DTP158 MODULAR C1-A Exterior Canopy PORT ACCESS BOX C1-C Exterior Canopy 6 6'-4" EXPANSION JOINT, REVISION SCHEDULE 1 26'-10" WOOD CLADDING TIMBERTECH ADVANCED PVC MAHOGANY C1-X Exterior Canopy SEALANT COLOR TO (BR-A) BY AZEK; VINTAGE COLLECTION CLOSED-JOINT CLADDING NO. DATE DESCRIPTION C3-B Exterior Canopy MATCH MORTAR COLOR (TONGUE AND GROOVE) CP-1 CANOPY METAL FASCIA DURA COAT DC19ST-2703 | DARK BRONZE OIL RUBBED BRONZE ME CARD READER BY METALLIC TEXTURE PVD SECURITY LIGHT FIXTURE CP-2 CANOPY METAL DECK SMOOTH WHITE, HIGH VENDOR - RE: ELEC RE: ELECTRICAL GENERAL NOTES

1. ALL SIGNAGE PROVIDED BY OTHERS EC-1 PARAPET WALL COPING DUROLAST MIDNIGHT BRONZE 2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION EXCEPTIONAL METALS DISCHARGE NOZZLE - PT-113 CT CABINET - (PT-113) SHERWIN WILLIAMS SHER-CRYL HIGH PT-113 EXTERIOR PAINT FINISH: SEMI-GLOSS RE: ELECTRICAL RE: DETAILS PERFORMANCE ACRYLIC **CANOPY NOTES:** #B66-350 A2/A-503 & A3/A-503 Information contained on this drawing and in all digital files SC-1 STUCCO POWERWALL FINISH: SAND MEDIUM BUILDING MOUNTED CANOPIES - 8" THICK CANOPY WESTHIGHLAND any manner without express written or verbal consent from - KYNAR FINISH OF STRUCTURE, FASCIA, & WHITE MDP - PT-113 DECKING TO MATCH (CP-1) DARK BRONZE ST-1 STOREFRONT RE: ELECTRICAL - 10" THICK CANOPY - FINISH OF STRUCTURE TO BE CP-1 **EXTERIOR ELEVATIONS** (MATTE) COLUMN MOUNTED CANOPIES - FINISH OF DECKING TO BE (CP-2)

2

3

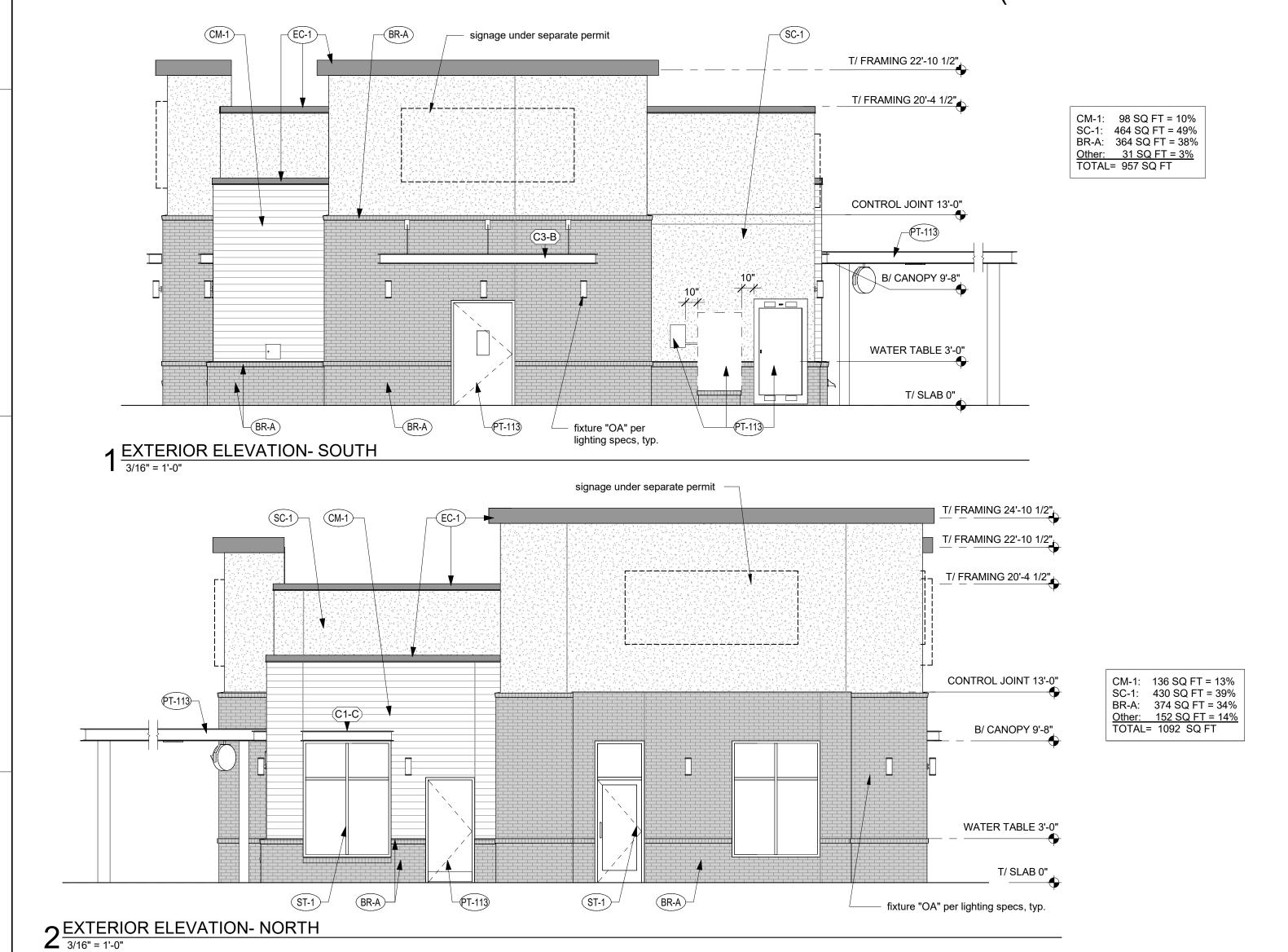
**5200 Buffington Road** 



CONSULTANT PROJECT # CFA.32538.001 10/02//2023

LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

SP23-0008 (SITE IMPROVEMENT PLAN)

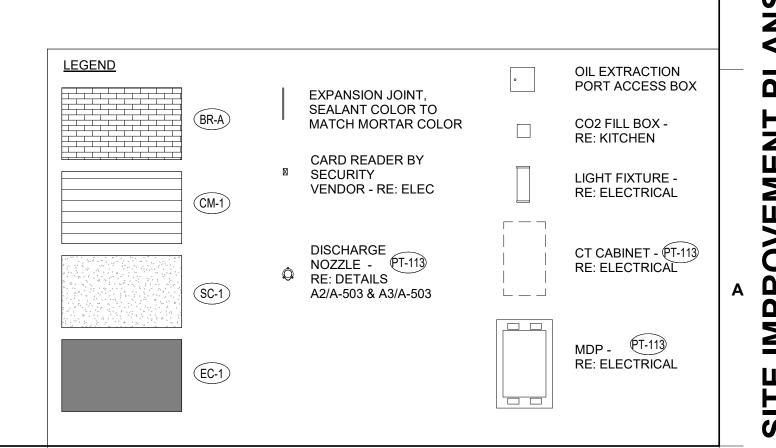


	FINISH SCHEDULE - EXTERIOR									
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE				
BR-A	BRICK VENEER	ACME BRICK	MODULAR		WESTCHESTER	VELOUR TEXTURE DTP158- 76719				
CM-1	WOOD CLADDING	AZEK EXTERIORS	TIMBERTECH ADVANCED PVC BY AZEK; VINTAGE COLLECTION		MAHOGANY	MITERED CORNER; CLOSED-JOINT CLADDING (TONGUE AND GROOVE)				
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD				
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS				
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE					
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS				
SC-1	STUCCO	STO	POWERWALL		SW7566- WESTHIGHLAND WHITE	FINISH: SAND MEDIUM				
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)					

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting	
C1-A	Exterior Canopy	1	3'-8 1/2"	1'-0"	0"	No	
C1-C	Exterior Canopy	6	6'-4"	1'-0"	0"	No	
C1-X	Exterior Canopy	1	26'-10"	1'-0"	0"	No	
С3-В	Exterior Canopy	1	15'-0"	4'-0"	2'-4"	No	
Grand	total	9					
1.	<u>IERAL NOTES</u> ALL SIGNAGE PF REF FLOOR PLA				FOR STOREFRONT I	INFORMA	TION
1. 2.	ALL SIGNAGE PF				FOR STOREFRONT I	INFORMA	TION
1. 2. CAI	ALL SIGNAGE PF REF FLOOR PLA	N AND	DPIES -	B" THICK (			

2

ATTACHED CANOPY SCHEDULE



Chick fil A

Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



1755 WITTINGTON PLACE SUITE 190 FARMERS BRANCH, TX 75234 www.core-states.com

MITE ST.

HWY 470 & YOSEMITE NWC of HWY 470 & YOSEMITE LONE TREE, CO 80124

FSR#05190

RELEASE: 22

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # CFA.32538.001

DATE 10/02//2023

DRAWN BY HHARRIS

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SHEET

EXTERIOR ELEVATIONS

20 OF 25

3

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REVISION SCHEDULE NO. DATE DESCRIPTION

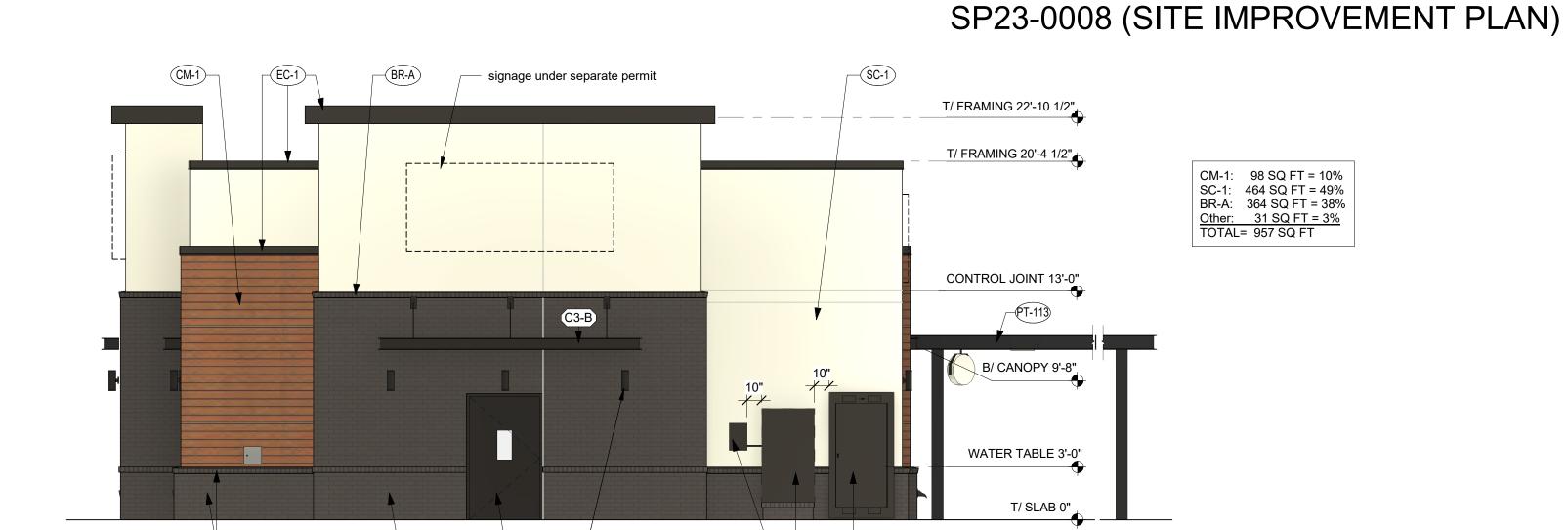
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anv manner without express written or verbal consent from **EXTERIOR ELEVATIONS** 

21 OF 25

(COLOR)

LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES





FINISH SCHEDULE - EXTERIOR

MODEL NAME

TIMBERTECH ADVANCED PVC

PERFORMANCE ACRYLIC

BY AZEK; VINTAGE COLLECTION

MODULAR

DURA COAT

#B66-350

YES 45

POWERWALL

SHERWIN WILLIAMS SHER-CRYL HIGH

MODEL NUMBER

COLOR

MIDNIGHT BRONZE

DARK BRONZE

WESTHIGHLAND

DARK BRONZE

WESTCHESTER

MAHOGANY

DC19ST-2703 DARK BRONZE

fixture "OA" per

lighting specs, typ.

NOTE		Ma
VELOUR TEXTURE DTP158- 76719		C1-
MITERED CORNER; CLOSED-JOINT CLADDING (TONGUE AND GROOVE)		C1-
OIL RUBBED BRONZE METALLIC TEXTURE PVD	_	Gra
SMOOTH WHITE, HIGH GLOSS		<u>GEN</u> 1. 2.
		۷.
FINISH: SEMI-GLOSS		CA
FINIOLI CAND MEDIUM		BU
FINISH: SAND MEDIUM		
		CC

Mark	Description	Count	Overall Width	Overall	Tie Back Mounting	Integra
Mark	Description	Count		Depth	(Offset From Top)	Lighting
C1-A	Exterior Canopy	1	3'-8 1/2"	1'-0"	0"	
	Exterior Canopy	6	6'-4"	1'-0"	0"	No
C1-X	Exterior Canopy	1	26'-10"	1'-0"	0"	No
С3-В	Exterior Canopy	1	15'-0"	4'-0"	2'-4"	No
I. ALI	RAL NOTES L SIGNAGE PRO					
1. ALI	L SIGNAGE PRO				R STOREFRONT INF	FORMA
1. ALI 2. RE CANC	L SIGNAGE PRO	AND WI	NDOW LE  IES - 8" - KY	THICK CA		

**EXTERIOR FINISHES EXTERIOR PAINT** WOOD CLADDING MANUFACTURER: AZEK EXTERIORS COLOR: DARK BRONZE COLOR: "WESTCHESTER" COLLECTION: TIMBERTECH FINISH: SEMI-GLOSS VELOUR TEXTURE DTP158- 76719 COLOR: MAHOGANY SIZE: MODULAR MANUFACTURER: ACME BRICK STUCCO SYSTEM- STO POWERWALL PREFINISHED METAL COPING STOREFRONT COLOR: MIDNIGHT BRONZE COLOR: SW7566 COLOR: DARK BRONZE "WESTHIGHLAND WHITE" FINISH: SAND MEDIUM

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22 OF 25

(COLOR)

DESCRIPTION

EC-1 PARAPET WALL COPING DUROLAST

BR-A BRICK VENEER

CM-1 WOOD CLADDING

CP-1 | CANOPY METAL FASCIA

CP-2 CANOPY METAL DECK

PT-113 EXTERIOR PAINT

STOREFRONT

SC-1 STUCCO

MANUFACTURER

METALS

1 EXTERIOR ELEVATION- SOUTH
3/16" = 1'-0"

2

ALL BUILDING-MOUNTED SIGNAGE SHOWN ON RENDERINGS WILL BE UNDER SEPARATE PERMIT; SIGNAGE SHOWN ON RENDERINGS FOR **VISUALIZATION PURPOSES ONLY** 

## DRIVE-THRU RESTAURANT HWY 470 & YOSEMITE

LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES SP23-0008 (SITE IMPROVEMENT PLAN)



**⊿** 3D VIEW- EAST



23D VIEW- SOUTH



3 3D VIEW- NORTH



3D VIEW- WEST

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1755 WITTINGTON PLACE

SUITE 190 FARMERS BRANCH, TX 75234

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# LOT 1A-2, BLOCK 2 PARKWAY SUBDIVISION FILING NO.3 - 4TH AMENDMENT

LOCATED ON THE WEST HALF OF SECTION 3 TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 1.33 ACRES

SP23-0008 (SITE IMPROVEMENT PLAN)



sales@belson.com Standard Description: Orion In-ground or surface mount steel bike rack Dimensions: 40"L x 33"H x 2-3/8" round tube Finish: Black Powder Coated

**Product Used In:** Concepts: FSR, In-Line, Licensee Prototype: All Palette: All Ordering Information: In Ground: ORN-2-IG-P

Surface Mount: ORN-2-SF-P

Manufacturer:

**Belson Outdoors** 

**Contact Information** 

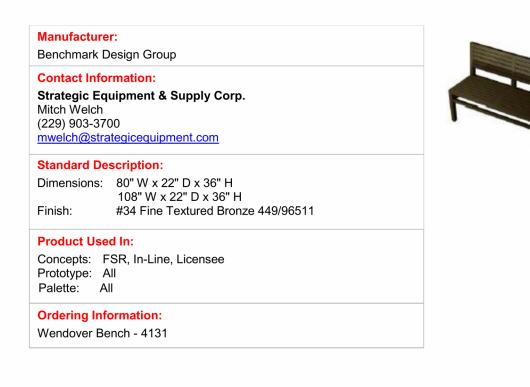
**Belson Outdoors** 

800-323-5664

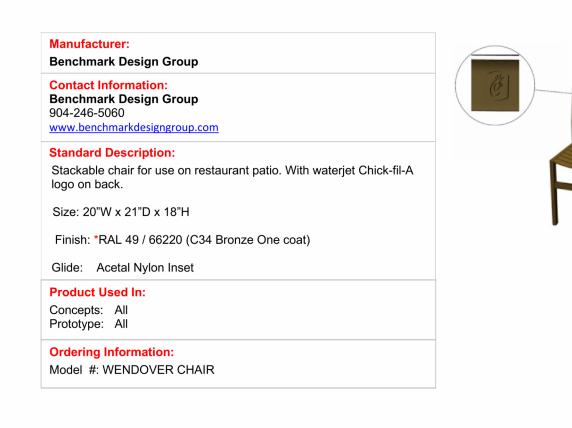
## TRASH RECEPTACLE- BENCHMARK

Benchmark Design Group **Contact Information:** Benchmark Design Group 904-246-5060 www.benchmarkdesigngroup.com Standard Description: For use at Restaurant entrance and on exterior patio Dimensions: 24" W x 24" D x 47" H Aluminum Powdercoat RAL 49/66220 (C34 Bronze) **Product Used In:** Concepts: FSR, In-Line, Licensee Prototype: All Palette: All Ordering Information: CFA-AL-2444

## **BENCH**

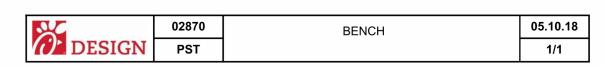


## PATIO CHAIR- WENDOVER



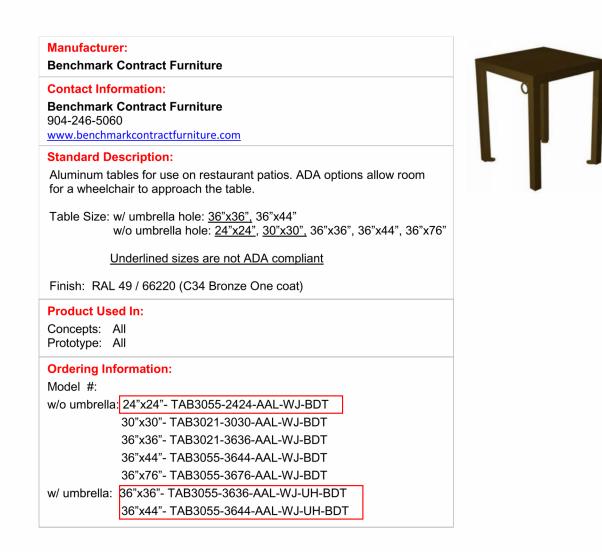




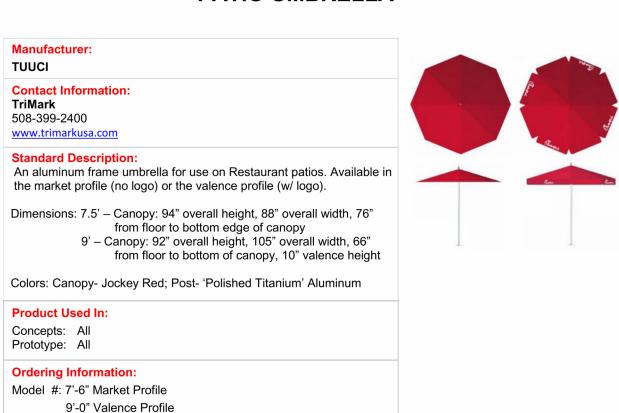




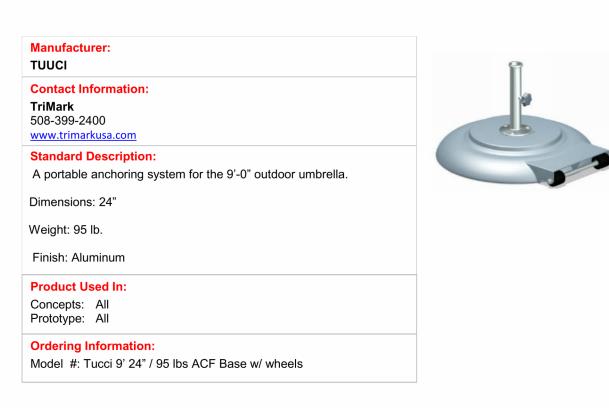
## **EXTERIOR FURNITURE –TABLE**



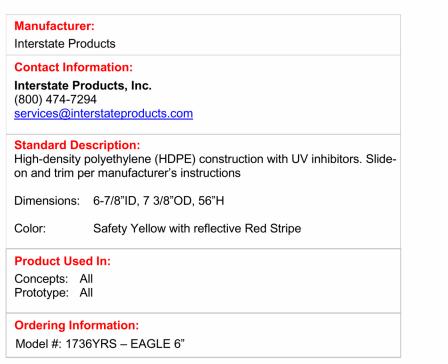
## PATIO UMBRELLA



## PORTABLE UMBRELLA BASE



## **BOLLARD SLEEVE**

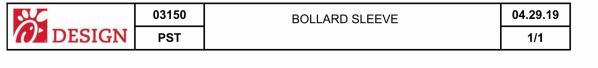




## 09.17.18 **TABLE**

340	12500	PATIO UMBRELLA	09.17.18
DESIGN	PST		1/1

300	12500	PORTABLE UMBRELLA BASE	09.17.18	
(C) DESIGN	PST		1/1	
				•



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MANUFACTURER'S SPEC SHEET- FURNISHINGS

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24 OF 25

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SC-1 (Stucco) Manufacturer: STO

Type: Powerwall Color: SW7566 "Westhighland White"

Finish: Sand Medium

https://www.stocorp.com/standard-finishes-us/



**BR-A (Brick Veneer)** Manufacturer: Acme Brick Size: Modular Color: Westchester Blend DTP058

Texture: Velour

764719 | brick.com



\*YB5N Dark Bronze

## **ST-1 (Storefront)**

Manufacturer: YKK AP

Type: YKK AP YES/ YES 45 TU Center Set Storefront System Finish: YKK- YB5N Dark Bronze Anodized Plus (matte) http://ftp.envisionky.com/MALCO/DIV%2008-Openings/Aluminum%20Color%20Selection.pdf



## PT-113 (Exterior Paint)

Manufacturer: Sherwin Williams Model Name: Sher-Cryl High Performance Acrylic #B66-350

Finish: Semi-gloss on door frames, Satin on walls

Color: Dark Bronze (from "SW Bronzetone Collection")



## **ST-1 (Storefront- Alternate)**

Manufacturer: Kawneer Trifab VG 451T Framing System Type: Trifab VG 451T Framing System

Finish: #40- Dark Bronze (matte)

https://www.kawneer.com/kawneer/north\_america/catalo g/pdf/Finishes/Anodize-finish-chart--F.pdf



Midnight Bronze

## EC-1 (Parapet Metal Wall Coping)

Color: Midnight Bronze MATTE (in lieu of "Dark Bronze")

https://exceptionalmetals.com/media/colors/color\_chart\_edge.pdf



**Bollard Paint** Color: SW7600- "Bolero" Bolero SW 7600 | Red Paint Colors | **Sherwin-Williams** 



## **CM-1 (Wood Cladding)**

Manufacturer: AZEK Exteriors

Collection: Timber Tech Advanced PVC by AZEK; The Vintage Collection Color: Mahogany (highly color-blended with complex, multitonal designs)

Finish: Wire-brushed finish

Multi-Width options: (3.5", 5.5", 7.25") WUI-Compliant & Class A Flame Spread Index

https://endicott.com/colorPop.html

Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



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**REVISION SCHEDULE** 

DATE

CONSULTANT PROJECT # CFA.32538.001 09/26/2023 **HHARRIS** 

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**FINISHES** 

25 OF 25

Manufacturer: Exceptional Metals/ Durolast