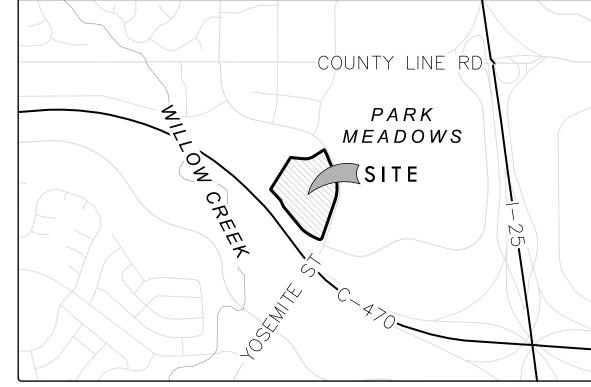


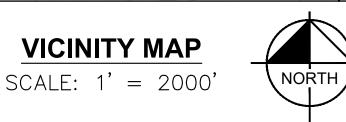
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

CITY OF LONE TREE STANDARD NOTES

- THE DOUGLAS COUNTY ENGINEERING DIRECTOR SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND THE DOUGLAS COUNTY SUBDIVISION RESOLUTION OR ACCEPTED VARIANCES TO THOSE REGULATIONS. THE DOUGLAS COUNTY ENGINEERING DIRECTOR, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- ALL CONSTRUCTION SHALL CONFORM TO DOUGLAS COUNTY STANDARDS. ANY CONSTRUCTION NOT SPECIFICALLY ADDRESSED BY THESE PLANS AND SPECIFICATIONS WILL BE BUILT IN COMPLIANCE WITH THE LATEST EDITION OF THE MOST STRINGENT OF THE FOLLOWING: THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS
 - THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - THE COLORADO DEPARTMENT OF TRANSPORTATION M STANDARDS
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DOUGLAS COUNTY ENGINEERING DIVISION AS APPLICABLE. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DOUGLAS COUNTY ENGINEERING INSPECTION DIVISION, 303-660-7487, A MINIMUM OF 24-HOURS AND A MAXIMUM OF 72-HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY DOUGLAS COUNTY ENGINEERING INSPECTION WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY THAT WILL BE CONVEYED TO THE COUNTY. URBAN DRAINAGE & FLOOD CONTROL DISTRICT, OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATERS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES). FAILURE TO NOTIFY THE ENGINEERING INSPECTION DIVISION TO ALLOW THEM TO INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITY/INFRASTRUCTURE BY THE COUNTY AND/OR URBAN DRAINAGE.
- CONSTRUCTION WILL NOT BEGIN UNTIL ALL APPLICABLE PERMITS HAVE BEEN ISSUED. IF A DOUGLAS COUNTY ENGINEERING INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE INSPECTOR'S ABSENCE. HOWEVER, DOUGLAS COUNTY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- THE LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: COLORADO 811, AT 1-800-922-1987 (WWW.COLORADO811.ORG).
- THE CONTRACTOR SHALL HAVE ONE (1) COPY OF THE PLANS SIGNED BY THE DOUGLAS COUNTY ENGINEERING DIRECTOR, ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS, AS AMENDED, AND ALL APPLICABLE PERMITS AT THE JOB SITE AT ALL
- . ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW: N/A
- A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SHALL BE SUBMITTED TO DOUGLAS COUNTY FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT APPLICATION. A RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN ACCEPTED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
- 10. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR THREE (3) YEARS FROM THE DATE OF COUNTY ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY DOUGLAS COUNTY.
- . DOUGLAS COUNTY STANDARD DETAILS SHALL NOT BE MODIFIED. ANY NON-STANDARD DETAILS WILL BE CLEARLY IDENTIFIED AS SUCH.
- 12. PAVING, INCLUDING CONSTRUCTION OF CURB AND GUTTER (WHEN USED), SHALL NOT START UNTIL A PAVEMENT DESIGN REPORT AND SUBGRADE COMPACTION TESTS ARE ACCEPTED BY THE ENGINEERING INSPECTION DIVISION FOR ALL PUBLIC AND PRIVATE ROADS. 13. STANDARD DOUGLAS COUNTY HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT MID-BLOCK LOCATIONS
- OPPOSITE OF ONE OF THE CURB RETURNS OF ALL "T" INTERSECTIONS AS IDENTIFIED ON THESE PLANS. 14. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- 15. ALL ELEVATIONS ARE ON UNITED STATES COAST AND GEODETIC SURVEY (USC&GS) (NAVD-88) DATUM WITH DATE. THE RANGE POINT OR
- 16. ALL STORM SEWER IMPROVEMENTS (PUBLIC AND PRIVATE) INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, RIPRAP, DETENTION BASINS, FOREBAYS, MICROPOOLS, AND WATER QUALITY FACILITIES REQUIRE PERMITTING AND INSPECTIONS. PLEASE CONTACT THE DOUGLAS COUNTY ENGINEERING INSPECTIONS DIVISION AT 303- 660-7487 FOR PERMITTING REQUIREMENTS AND INSPECTIONS SCHEDULING.
- TWO (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH.
- 18. EPOXY COATED REBAR IS REQUIRED ON ALL DRAINAGE STRUCTURES.
- \mid 19. DOUGLAS COUNTY REQUIRES CLASS D CONCRETE FOR ALL DRAINAGE STRUCTURES. 20. ALL RCP STORM SEWERS MUST USE ASTM C443 WATERTIGHT GASKETS PER THE CURRENT DOUGLAS COUNTY AND URBAN DRAINAGE
- DESIGN CRITERIA. 21. ALL RCP SHALL BE CLASS III STORM SEWER PIPE UNLESS OTHERWISE SPECIFIED.
- \mid 22. JOINT RESTRAINTS ARE REQUIRED FOR A MINIMUM OF THE LAST TWO PIPE JOINTS AND FLARED END SECTION OF AN RCP OUTFALL. 23. PRECAST INLETS AND MANHOLE BASES ARE NOT ALLOWED.
- lacksquare 24. Toe walls are required on flared end sections at the outlet end of culverts and storm sewer outfalls. 25. FILTER FABRIC IS REQUIRED UNDER ALL RIPRAP PADS.
- 🛮 26. THE PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF COLORADO, SIGNING THESE PLANS IS RESPONSIBLE FOR ENSURING THAT THE DETAILS INCLUDED ARE COMPATIBLE WITH THE STANDARD DOUGLAS COUNTY DETAILS CONTAINED IN THE LATEST VERSIONS OF THE CRITERIA MANUALS. THIS INCLUDES, BUT IS NOT LIMITED TO:
 - DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS
 - DOUGLAS COUNTY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA
 - DOUGLAS COUNTY GRADING. EROSION AND SEDIMENT CONTROL CRITERIA
 - CDOT M & S STANDARDS MUTCD
- URBAN STORM DRAINAGE CRITERIA MANUAL VOLUMES 1,2 & 3 TOUGHAN AGGEC DEDUIT FROM ROUGHAS GOUNTY MAY BE REQUIRED FOR ANY RROUGHAN

RARY CONSTRUCTION ACCESS	PERMIT FROM DOUGLAS COU	INTY MAY BE REQUIRED FO	R ANY PROJECT.				
SITE DATA TABLE							
ZONING: C-2 (COMMERCIAL)							
GROSS SITE AREA = 716,396 SF / PROJECT SITE AREA = 331,016 SF							
ITEM	SQUARE FOOTAGE (GROSS / PROJECT)	% OF GROSS SITE	% OF PROJECT SITE				
TOTAL BUILDING FOOTPRINT	171,130 SF / 81,920 SF	23.89%	24.75%				
PARKING/ROADS	344,573 SF / 169,612 SF	48.10%	51.24%				
LANDSCAPED/HARDSC	APED AREAS						
LANDSCAPED AREA	164,560 SF / 68,091 SF	22.97%	20.57%				
HARDSCAPED AREA	36,133 SF / 11,393 SF	5.04%	3.44%				
LAWN/TURF AREA	0	-	-				
NATIVE SEED AREA	0	-	-				
NATURAL AREA RETAINED	0	-	-				
BUILDING SIZE							
TOTAL FLOOR AREA	171,130 SF / 81,920 SF	-	-				
PARKING	REQUIRED (GROSS / PROJECT)	PROVIDED (GROSS / PROJECT)	-				
STANDARD SPACES	571 / 273	830 / 346	-				
ACCESSIBLE SPACES	11 / 7	22 / 10	-				
VAN ACCESSIBLE SPACES	1/1	6/2	-				
BICYCLE SPACES	11 / 5	5/5	-				
DELIVERY/LOADING SPACES	-	7 / 4	-				





LOT 1A, BLOCK 2 [SEE NOTE BELOW], PARKWAY SUBDIVISION FILING NO.3 -3RD AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED MAY 29, 1996 IN BOOK 1344 AT PAGE 1660, AND EXCEPT THAT PORTION DESCRIBED IN RULE AND ORDER OF CONDEMNATION RECORDED JUNE 14TH, 2007 AT RECEPTION NO. 2007047663, DOUGLAS COUNTY RECORDS, AND EXCEPT THAT PORTION DESCRIBED IN FINAL RULE AND ORDER RECORDED MARCH 7, 2022 AT RECEPTION NO. 2022-019687, DOUGLAS COUNTY RECORDS.

PARCEL B:

THE BENEFICIAL EASEMENTS DESCRIBED IN AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 7, 1994 IN BOOK 1217 AT PAGE 693. AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED NOVEMBER 22, 1996 IN BOOK 1388 AT PAGE 1830, SECOND AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED JANUARY 8. 1999 IN BOOK 1653 AT PAGE 1349, THIRD AMENDMENT TO EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED AUGUST 22, 2007 AT RECEPTION NO. 2007067078, AND FOURTH AMENDMENT TO AGREEMENT FOR RECEPTION NO. 2008063102, COUNTY OF DOUGLAS, STATE OF COLORADO. FOR INFORMATIONAL PURPOSES: TAX ID NO.: R0617340

SURVEYOR'S NOTE: THE LEGAL DESCRIPTION IN TITLE COMMITMENT NO. 100-N0040966-010-T02 DOES NOT INCLUDE THE BLOCK NUMBER. THE BLOCK NUMBER IS INCLUDED ABOVE]

BENCHMARK:

ELEVATIONS RE BASED UPON ARAPAHOE COUNTY VERTICAL CONTROL POINT "UAP2 19" A 3-1/4" ALUMINUM CAP IN THE MEDIAN OF E. COUNTY LINE ROAD (ELEVATION = 5735.89 NAVD

BASIS OF BEARING

BEARINGS ARE ASSUMED AND ARE BASED UPON THE WESTERLY NORTH LINE OF LOT 1A. BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT WITH AN ASSUMED BEARING OF N 30°26'33" E, A DISTANCE OF 524.41 FEET, AS MONUMENTED AT THE WESTERLY END BY A FOUND 1" YELLOW PLASTIC CAP, ILLEGIBLE, AND AT THE EASTERLY END BY A FOUND NAIL WITH WASHER STAMPED "PLS 23899"

ENGINEERING CERTIFICATION NOTE

THESE CONSTRUCTION PLANS FOR RETAIL FURNITURE, LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO.3 - 3RD AMENDMENT WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF DOUGLAS COUNTY'S ROADWAY DESIGN AND CONSTRUCTION STANDARDS, STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA, AND THE GRADING, EROSION AND SEDIMENT CONTROL MANUAL.

ENGINEER

SUITE 1500

SURVEYOR

DENVER, CO 80237

(720) 504-0942

KIMLEY-HORN

SHANNON L. PETERSEN, P.E. KIMLEY-HORN

CONTACTS

ARCHITECT

(631) 683-5588

OWNER/DEVELOPER FLOOR & DECOR

DANIEL ROPPOLI 2500 WINDY RIDGE PARKWAY SE ATLANTA, GA 30339 (404) 655-9774

SBLM ARCHITECTS CRAIG LLEWELLYN 33 WALT WHITMAN ROAD SUITE 300A

KIMLEY-HORN DARREN WOLTERSTORFF, P.L.S. 4582 SOUTH ULSTER STREET, **SUITE 1500** HUNTINGTON STATION, NY 11746 DENVER, CO 80237 (303) 228-2300

SHANNON PETERSEN, P.E.

4582 SOUTH ULSTER STREET,

LANDSCAPE ARCHITECT KIMLEY-HORN

EMILY JAGELS MCKEE, PLA 4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, CO 80237 (720) 943-5656

ADDITE VIA I	10110		
APPD	APPROVED	NO	NUMBER
APPROX	APPROXIMATE	NTS	NOT TO SCALE
ASTM	AMERICAN SOCIETY FOR TESTING AND	NW	NORTHWEST
	MATERIALS	OD	OUTSIDE DIAMETER
BLVD	BOULEVARD	PC	POINT OF CURVATURE
BW	FINISH GRADE AT BOTTOM OF WALL	PCC	PORTLAND CEMENT CONCRETE
CDOT	COLORADO DEPARTMENT OF	POC	POINT ON CURVE
	TRANSPORTATION	PP	POLYPROPYLENE
COM	COMMUNICATIONS	PRC	POINT OF REVERSE CURVE
CTV	CABLE TELEVISION	PSI	POUNDS PER SQUARE INCH
CY	CUBIC YARDS	PT	POINT OF TANGENCY
E	EAST OR ELECTRIC	PVC	POLYVINYL CHLORIDE
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RD	ROOF DRAIN
ELEC	ELECTRIC	REV	REVISION
EOP	EDGE OF PAVEMENT	ROW	RIGHT-OF-WAY
EX	EXISTING	RT	RIGHT
FFE	FINISH FLOOR ELEVATION	S	SOUTH
FG	FINISH GRADE	SB	SOUTHBOUND
FL	FLOW LINE	SD	STORM DRAIN
FO	FIBER OPTIC	SE	SOUTHEAST
G	GAS	SF	SQUARE FEET
HP	HIGH POINT	SS	SANITARY SEWER
ID	INSIDE DIAMETER	ST	STORM SEWER
IRR	IRRIGATION	STA	STATION
LF	LINEAR FEET	SW	SIDEWALK OR SOUTHWEST
LP	LOW POINT	SY	SQUARE YARDS
LS	LUMP SUM	T	TELEPHONE
LT	LEFT	TC	TOP OF CURB
MAX	MAXIMUM	TW	FINISH GRADE AT TOP OF WALL
MH	MANHOLE	TYP	TYPICAL
MIN	MINIMUM	VAR	VARIES

ABBREVIATIONS

NORTH

NORTHEAST

		04/28/23	1	2	3
		,78			
	SHEET INDEX	4			
SHEET NO.					
1	COVER SHEET	•			
2	SURVEY	•			
3	SURVEY	•			
4	SURVEY	•			
5	SITE DEMOLITION PLAN	•			
6	SITE PLAN	•			
7	OVERALL SITE ACCESS PLAN	•			
8	DETAILED SITE ACCESS PLAN	•			
9	OVERALL GRADING PLAN	•			
10	DETAILED GRADING PLAN	•			
11	UTILITY PLAN	•			
12	DRAINAGE PLAN	•			
13	DRAINAGE PLAN	•			
14	STANDARD DETAILS	•			
15	STANDARD DETAILS	•			
16	LANDSCAPING PLAN	•			
17	LANDSCAPE NOTES	•			
18	LANDSCAPE NOTES	•			
19	LANDSCAPE DETAILS	•			
20	IRRIGATION PLAN	•			
21	IRRIGATION NOTES	•			
22	IRRIGATION DETAILS	•			
23	AUTOTURN EXHIBIT	•			
24	GESC NOTES	•			
25	INITIAL GESC PLAN	•			
26	INTERIM GESC PLAN	•			
27	FINAL GESC PLAN	•			
28	GESC DETAILS	•			
29	BUILDING ELEVATIONS	•			
30	BUILDING RENDERINGS	•			
31	MATERIALS & FINISHES	•			
32	ENCLOSURE DETAILS	•			
33	BUILDING PHOTOMETRIC PLAN	•			
34	LIGHTING SPECIFICATIONS	•			
	LIGHTING OF EOIL TOATHORS				

WATER OR WEST

ISSUED

CITY OF LONE TREE
DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

DESIGNED BY: SLF DRAWN BY: JA CHECKED BY: SL DATE: 04/28/20:

LING | A, BL OF DOUG

PRELIMINARY FOR REVIEW ONL NOT FOR CONSTRUCTION Kimley » Horn

PROJECT NO. 096198011 DRAWING NAME 3198011 COVR I

Kimley-Horn and Associates, Inc

LARIMER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS LESSOR, AND AT RECEPTION NO. UPON THE TERMS AND CONDITIONS AS CONTAINED HEREIN ON AND TO THE FOLLOWING DESCRIBED LAND:

LOT 1A, BLOCK 2 [SEE NOTE BELOW], PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO

EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED MAY 29, 1996 IN BOOK 1344 AT PAGE 1660, AND EXCEPT THAT PORTION DESCRIBED IN RULE AND ORDER OF CONDEMNATION RECORDED JUNE 14, 2007 AT RECEPTION NO. 2007047663, DOUGLAS COUNTY RECORDS,

AND EXCEPT THAT PORTION DESCRIBED IN FINAL RULE AND ORDER RECORDED MARCH 7, 2022 AT RECEPTION NO 2022-019687, DOUGLAS COUNTY RECORDS.

THE BENEFICIAL EASEMENTS DESCRIBED IN AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND EXCEPTION NOS. 1-8 ARE STANDARD EXCEPTIONS. RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 7, 1994 IN BOOK 1217 AT PAGE 693, AMENDMENT TO (CONTAIN NO PLOTTABLE INFORMATION) AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED NOVEMBER 22, 1996 IN BOOK 1388 AT PAGE 1830, SECOND AMENDMENT TO AGREEMENT FOR EASEMENTS, 9. COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED JANUARY 8, 1999 IN BOOK 1653 AT PAGE 1349, THIRD AMENDMENT TO EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED AUGUST 22, 2007 AT RECEPTION NO. 2007067078, AND FOURTH AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 15, 2008 AT RECEPTION NO. 2008063102, COUNTY OF DOUGLAS, STATE OF COLORADO.

FOR INFORMATIONAL PURPOSES:

TAX ID NO.: R0617340

[SURVEYOR'S NOTE: THE LEGAL DESCRIPTION IN TITLE COMMITMENT NO. 100-N0040966-010-TO2 DOES NOT INCLUDE THE BLOCK NUMBER. THE BLOCK NUMBER IS INCLUDED ABOVE.]

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THE OBSERVED ADDRESS FOR THE SURVEYED PROPERTY IS 8585 S. YOSEMITE ST, LONE TREE, CO 80124.
- THIS PROPERTY IS LOCATED WITHIN ZONE X, OTHER AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR COUNTY OF DOUGLAS, COMMUNITY PANEL NUMBER 08035C0042G, MAP EFFECTIVE DATE MARCH 16, 2016 AND COMMUNITY PANEL NUMBER 08035C0034G, MAP EFFECTIVE DATE MARCH 16, 2016. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.
- THE SURVEYED PROPERTY CONTAINS A GROSS CALCULATED AREA OF 716,396 SQ. FT. OR 16.446 ACRES, MORE OR LESS. LESS EXCEPTION PARCELS THE SURVEYED PROPERTY CONTAINS A CALCULATED AREA OF 12. 699,673 SQ. FT. OR 16.062 ACRES, MORE OR LESS.
- NO ZONING REPORT WAS PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
- THERE WERE 804 REGULAR PARKING SPACES AND 21 ACCESSIBLE DESIGNATED PARKING SPACES FOR A TOTAL OF 825 PARKING SPACES OBSERVED ON THE SURVEYED PROPERTY AT THE TIME OF SURVEY. SURVEYOR'S NOTE: THERE WAS ACTIVE CONSTRUCTION IN THE SOUTHERN PORTION OF THE PROPERTY AT THE TIME OF FIELD WORK AND ANY SPACES IN THIS AREA WERE NOT COUNTED.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE AND SURFACE MARKINGS PLACED BY A UTILITY COMPANY OR UTILITY LOCATING SERVICE. FOR UNDERGROUND ALIGNMENTS, KIMLEY-HORN RELIED UPON THE EXPERTISE OF THE LOCATING TECHNICIAN TO PROPERLY AND ACCURATELY PLACE SURFACE MARKINGS FOR ALL BURIED UTILITIES. CONSEQUENTLY, KIMLEY-HORN CAN MAKE NO WARRANTY, EXPRESSED OR IMPLIED, THAT ALL BURIED UTILITIES ARE SHOWN OR THAT THOSE BURIED UTILITIES SHOWN WERE ACCURATELY MARKED. PRIOR TO ANY CONSTRUCTION YOU MUST CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987. CALL AT LEAST 2 BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES BEFORE YOU DIG, GRADE OR EXCAVATE. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT OR PAVING. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY UTILITY AND/OR DRAINAGE SERVICE. VERIFY INFO PRIOR TO ANY NEW DESIGN, DEVELOPMENT OR CONSTRUCTION.
- THERE WAS ACTIVE CONSTRUCTION WORK ON THE SOUTHERN PORTION OF THE SUBJECT PROPERTY, AS SHOWN AND NOTED ON SHEET 3, AT THE TIME OF SURVEY.
- 10. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES THAT THE SURVEYOR OF RECORD IS AWARE OF.
- BEARINGS ARE BASED ON THE WESTERLY NORTH LINE OF LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT WITH AN ASSUMED BEARING OF N 30°26'33" E, A DISTANCE OF 524.41 FEET, AS MONUMENTED AT THE WESTERLY END BY A FOUND 1" YELLOW PLASTIC CAP, ILLEGIBLE, AND AT THE EASTERLY END BY A FOUND NAIL WITH WASHER STAMPED "PLS 23899"
- 12. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET.
- 13. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT 15. ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT TRACT: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AGREEMENTS, LEASE AGREEMENTS AND OWNERSHIP TITLE EVIDENCE.
- ANY DECLARATION MADE HEREON OR HEREIN IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS igcupNOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 15. THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OF EXISTING WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND 16. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
- 16. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- AREAS OF POTENTIAL CONCERN:
- 1) FIRE HYDRANT OUTSIDE OF WATER EASEMENT (BOOK 1252, PAGE 75) 2) SIGNS, UTILITY CABINETS, TRAFFIC POLE WITHIN SIGHT TRIANGLE EASEMENT (REC. NO. 9545667)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

A LEASEHOLD INTEREST AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE BY AND BETWEEN BEL THIS ALTA/NSPS LAND TITLE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KIMLEY-HORN AND ASSOCIATES, (19.) , AS LESSEE, RECORDED INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY . IN $\,\,$ OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, KIMLEY-HORN AND ASSOCIATES, INC. RELIED UPON TITLE COMMITMENT FILE NO. 100-N0040966-010-TO2, EFFECTIVE DATE NOVEMBER 9, 2022, PREPARED BY FIDELITY NATIONAL TITLE, NATIONAL COMMERCIAL SERVICES.

> EXCEPT AS OTHERWISE EXPRESSLY NOTED IN NOTES BELOW, KIMLEY-HORN AND ASSOCIATES, INC. DID NOT EXAMINE OR ADDRESS THE EFFECTS, FEES OR ASSESSMENTS DUE, TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, RESERVATIONS AND/OR RESTRICTIONS CONTAINED IN THE DOCUMENTS REFERRED TO IN ANY ITEMS SHOWN IN THE TITLE COMMITMENT. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND STATED PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.

- INDICATES THE EXCEPTION NUMBER WITHIN SCHEDULE B OF THE ABOVE TITLE REPORT

- ANY TAXES OR ASSESSMENTS BY REASON OF THE INCLUSION OF THE LAND IN THE PARK MEADOWS METROPOLITAN DISTRICT RECORDING DATE: AUGUST 12, 1982 **RECORDING NO.: BOOK 448 AT PAGE 773**
- 10. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE DEVELOPMENT GUIDE PARKWAY PLAZA PLANNED DEVELOPMENT AS SET FORTH BELOW: RECORDING DATE: SEPTEMBER 12, 1984

DEVELOPMENT PLAN PARKWAY PLAZA: RECORDING DATE: SEPTEMBER 12, 1984 RECORDING NO.: RECEPTION NO. 335615

RECORDING NO.: BOOK 538 AT PAGE 946

(AFFECTS - BLANKET IN NATURE)

DEVELOPMENT PLAN PARKWAY PLAZA: RECORDING DATE: OCTOBER 9, 1984 **RECORDING NO.: RECEPTION NO. 337263**

DEVELOPMENT PLAN PARKWAY: RECORDING DATE: DECEMBER 12, 1984 RECORDING NO.: RECEPTION NO. 342824

PARKWAY P.D. - 1ST AMENDMENT: **RECORDING DATE: JANUARY 9, 1996** RECORDING NO.: RECEPTION NO. 9601644 (AFFECTS - BLANKET IN NATURE)

- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE COVENANT REGARDING DENSITY AS SET FORTH BELOW RECORDING DATE: NOVEMBER 5, 1984 RECORDING NO.: BOOK 546 AT PAGE 790
- EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF PARKWAY SUBDIVISION FILING NO. 3:
- RECORDING DATE: MAY 23, 1985 RECORDING NO.: RECEPTION NO. 353673 (AFFECTS - AS SHOWN)

(AFFECTS - BLANKET IN NATURE)

TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND AS SET FORTH BELOW: RECORDING DATE: SEPTEMBER 7, 1994 RECORDING NO.: BOOK 1217 AT PAGE 693

AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING

RECORDING NO.: BOOK 1388 AT PAGE 1830

RECORDING DATE: NOVEMBER 22, 1996

RECORDING NO.: BOOK 1653 AT PAGE 1349

SECOND AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND: RECORDING DATE: JANUARY 8, 1999

THIRD AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND:

RECORDING DATE: AUGUST 22, 2007 RECORDING NO.: RECEPTION NO. 2007067078

FOURTH AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND: RECORDING DATE: SEPTEMBER 15, 2008 RECORDING NO.: RECEPTION NO. 2008063102 (AFFECTS - BLANKET IN NATURE)

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO. AS GRANTED IN A DOCUMENT **GRANTED TO: SOUTHGATE WATER DISTRICT**
- PURPOSE: WATER PIPELINES AND APPURTENANCES RECORDING DATE: MARCH 15, 1995 RECORDING NO.: BOOK 1252 AT PAGE 75 (AFFECTS - AS SHOWN)
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO
- PURPOSE: UTILITY EASEMENT RECORDING DATE: MARCH 22, 1995 RECORDING NO.: BOOK 1253 AT PAGE 690

(DOES NOT AFFECT SUBJECT PROPERTY)

- (AFFECTS AS SHOWN. LOCATION IS APPROXIMATE BASED ON PLAT OF PARKWAY SUBDIVISION FILING NO. 3, 1ST AMENDMENT AND PLAT OF PARKWAY SUBDIVISION FILING NO. 3, 3RD AMENDMENT)
- DOCUMENT GRANTED TO: THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF DOUGLAS, STATE OF COLORADO PURPOSE: STORM DRAINAGE
- RECORDING DATE: APRIL 26, 1995 RECORDING NO.: BOOK 1259 AT PAGE 534 (DOES NOT AFFECT SURVEYED PROPERTY. ADJOINS SUBJECT PROPERTY TO THE NORTH AS SHOWN
- 17. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AGREEMENT AS SET FORTH BELOW: RECORDING DATE: MAY 12, 1995 RECORDING NO.: BOOK 1262 AT PAGE 1913 (AFFECTS - BLANKET IN NATURE)
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT **COUNTY SURVEYOR** GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO PURPOSE: UTILITY EASEMENT RECORDING DATE: MAY 25, 1995 RECORDING NO.: BOOK 1264 AT PAGE 2282

NOTES ADDRESSING SCHEDULE B EXCEPTIONS (CONT.):

(AFFECTS - AS SHOWN)

INDEXING STATEMENT

SURVEYS AT LSP NO.

(AFFECTS - BLANKET IN NATURE)

- EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF PARKWAY SUBDIVISION FILING NO. 3 – 1ST AMENDMENT: RECORDING DATE: SEPTEMBER 27, 1995 RECORDING NO.: RECEPTION NO. 9545667 (AFFECTS - AS SHOWN)
- 20. ANY TAXES OR ASSESSMENTS BY REASON OF THE INCLUSION OF THE LAND IN THE SOUTH SUBURBAN PARK AND RECREATION DISTRICT RECORDING DATE: DECEMBER 21, 1995 RECORDING NO.: BOOK 1308 AT PAGE 350 (AFFECTS - BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE SPECIAL WARRANTY DEED AS SET FORTH BELOW: RECORDING DATE: MAY 29, 1996 RECORDING NO.: BOOK 1344 AT PAGE 1663
- 22. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. R-996-069 AS SET FORTH BELOW: RECORDING DATE: JUNE 4, 1996 RECORDING NO.: BOOK 1346 AT PAGE 655
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO PURPOSE: SLOPE EASEMENT **RECORDING DATE: AUGUST 19, 1996**
- RECORDING NO.: BOOK 1364 AT PAGE 396 (AFFECTS - AS SHOWN) 24. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON
- THE PLAT OF PARKWAY SUBDIVISION FILING NO. 3 3RD AMENDMENT: RECORDING DATE: AUGUST 21, 1996 RECORDING NO.: RECEPTION NO. 9645526 (AFFECTS - NO PLOTTABLE EASEMENTS)
- 25. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF THE LAND IN THE SOUTHEAST PUBLIC IMPROVEMENT METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT(S): RECORDING DATE: APRIL 8, 2004 RECORDING NO.: RECEPTION NO. 2004035426 (AFFECTS - BLANKET IN NATURE)
- 26. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE MEMORANDUM OF LEASE AS SET FORTH BELOW: RECORDING DATE: MAY 27, 2021 RECORDING NO.: RECEPTION NO.2021067693 (AFFECTS - BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO.R-021-087 AS SET FORTH BELOW: RECORDING DATE: AUGUST 13, 2021 RECORDING NO.: RECEPTION NO.2021095764 (NOT A SURVEY MATTER)
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS, EASEMENTS AND OBLIGATIONS CONTAINED IN THE FINAL RULE AND ORDER AS SET FORTH BELOW: RECORDING DATE: MARCH 17, 2022 RECORDING NO.: RECEPTION NO.2022019687

DEPOSITED THIS _____ DAY OF _____, 20___, IN THE COUNTY SURVEYOR'S LAND SURVEY/RIGHT-OF-WAY

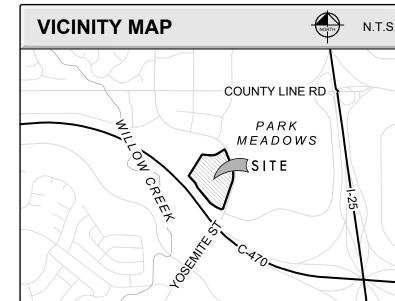
, IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER

(REFERENCED DOCUMENT IS SAME AS EXCEPTION PARCEL - AS SHOWN)

ALTA/NSPS LAND TITLE SURVEY LOT 1A, BLOCK 2, PARKWAY SUBDIVISION

NO. 3 - 3RD AMENDMENT

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE. COUNTY OF DOUGLAS, STATE OF COLORADO



	•
UTILITY PROVIDERS	
AT&T	800-252-1133
COMCAST	800-778-9140
CDOT - REGION 1	303-947-2325
CDOT - FIBER	720-202-6441
DENVER WATER	303-628-6666
CITY OF LONE TREE	303-662-8112
CENTURY LINK LEVEL 3	877-366-8344
MCI	800-289-3427
PARK MEADOWS METRO DISTRICT	303-761-9262
CENTURY LINK	800-778-9140
SOUTHGATE WATER & SANITATION	303-779-0261
UNITE PRIVATE NETWORKS	816-368-9039
XCEL ENERGY	303-716-2030
ZAYO	800-961-6500

CENTERPOINT INTEGRATED SOLUTIONS, LLC 1626 COLE BLVD, STE 125 LAKEWOOD, CO 80401

KIMLEY-HORN AND ASSOCIATES, INC. 4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, COLORADO 80237 PHONE: 303-228-2300

SURVEYOR'S CERTIFICATION

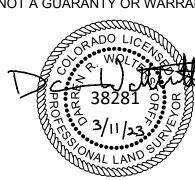
TO: BEL LARIMER, LLC, A DELAWARE LIMITED LIABILITY COMPANY; FLOOR AND DECOR OUTLETS OF AMERICA, INC., A DELAWARE CORPORATION;

FIDELITY NATIONAL TITLE, NATIONAL COMMERCIAL SERVICES:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS. JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3 4, 6(b), 7(a,b1), 8, 9, 11(b), 13, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 21, 2022.

DATE OF PLAT OR MAP: MARCH 11, 2023

PURSUANT TO COLORADO STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS ACCURATE TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



DARREN R. WOLTERSTORFF, PLS 38281 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC. DARREN.WOLTERSTORFF@KIMLEY-HORN.COM

CITY OF LONE TREE
DATE
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PRELIMINAR FOR REVIEW ONL

2 OF 34

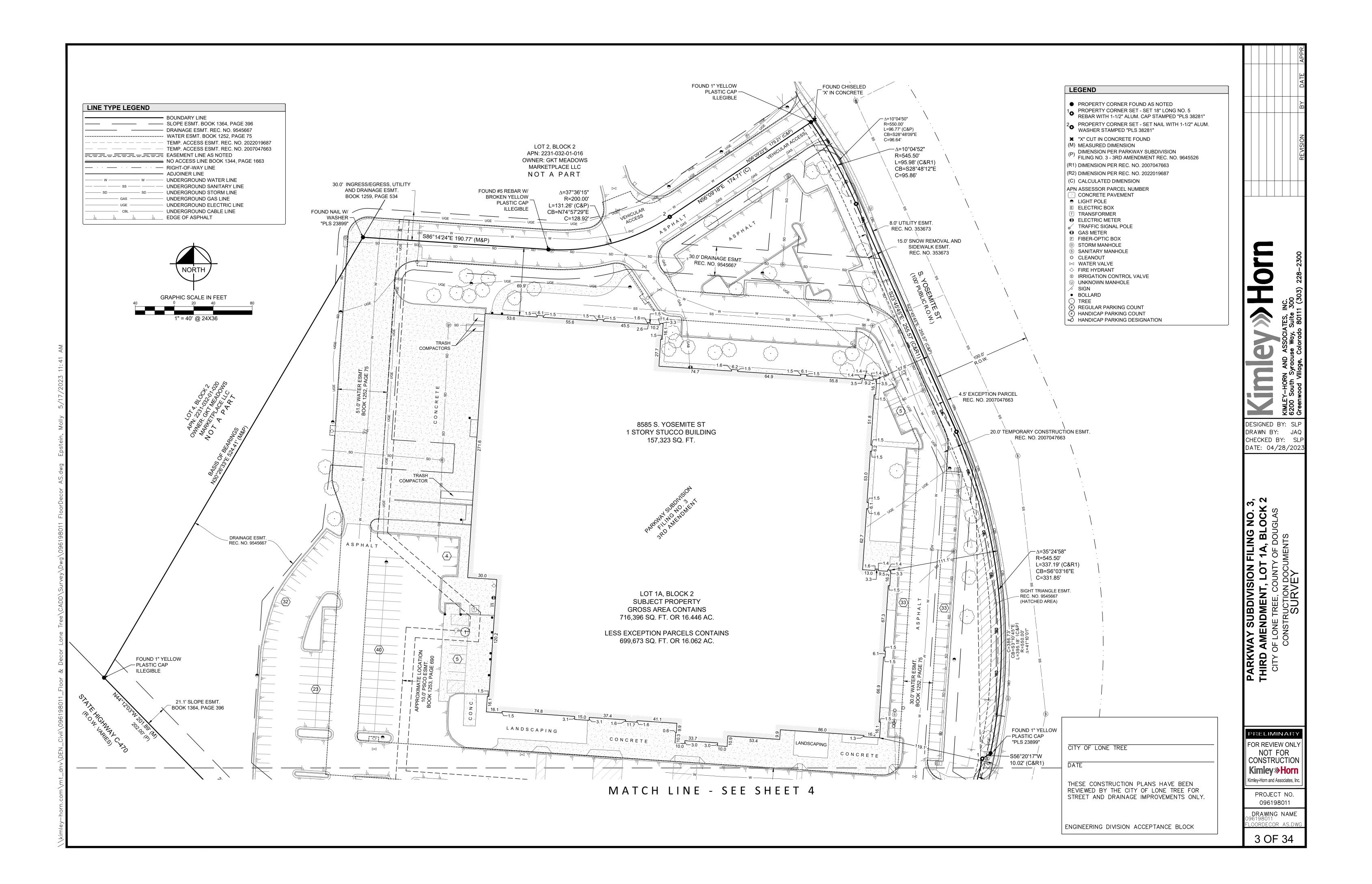
Copyright © 2023 Kimley-Horn and Associates, Inc All rights reserved

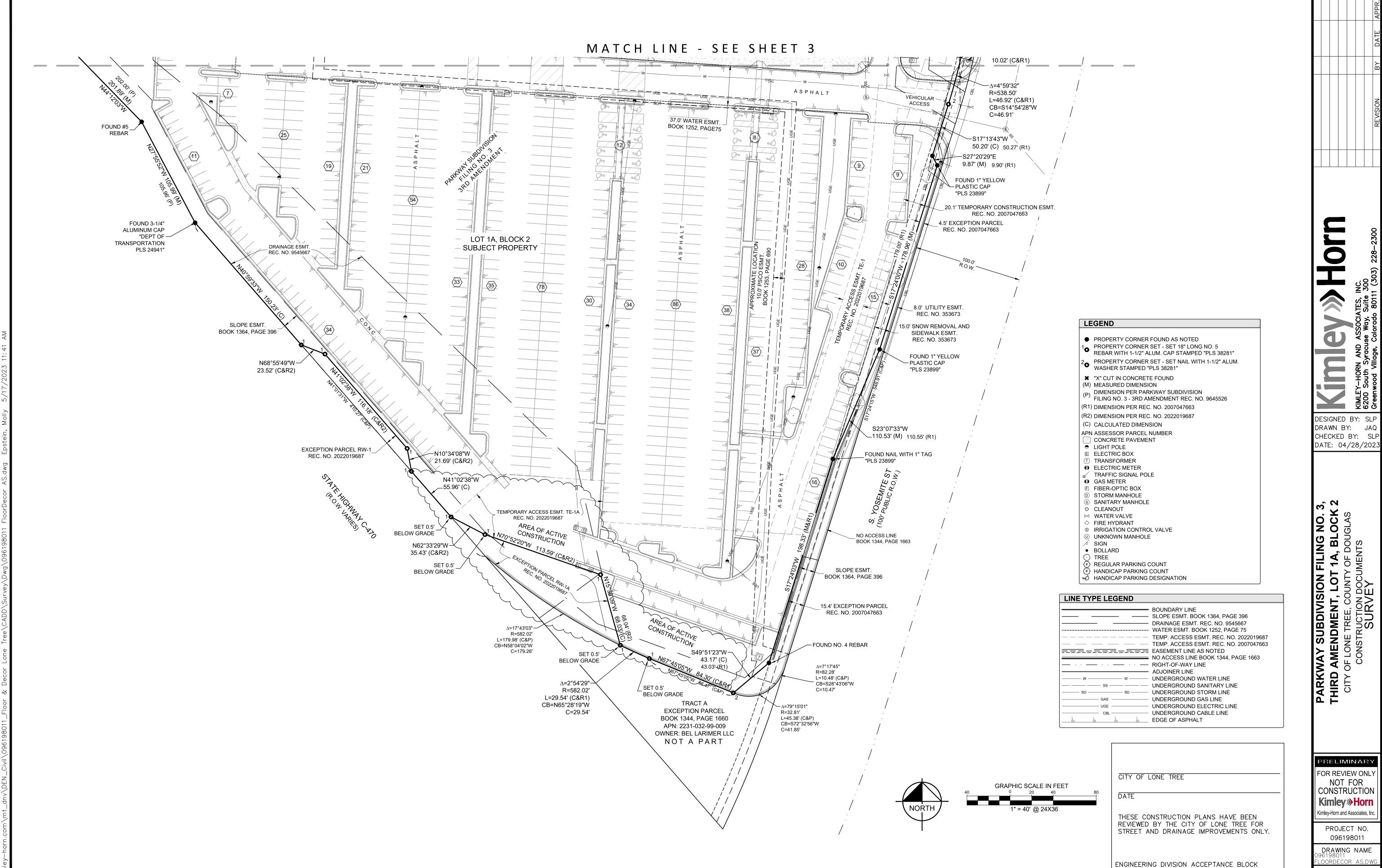
DESIGNED BY: SLF DRAWN BY: JA CHECKED BY: SL DATE: 04/28/202 CONTACT: DARREN R. WOLTERSTORFF, PLS

> BL DOUD AY SUBDIV MENDMEN LONE TREE, SONSTRUCTIC

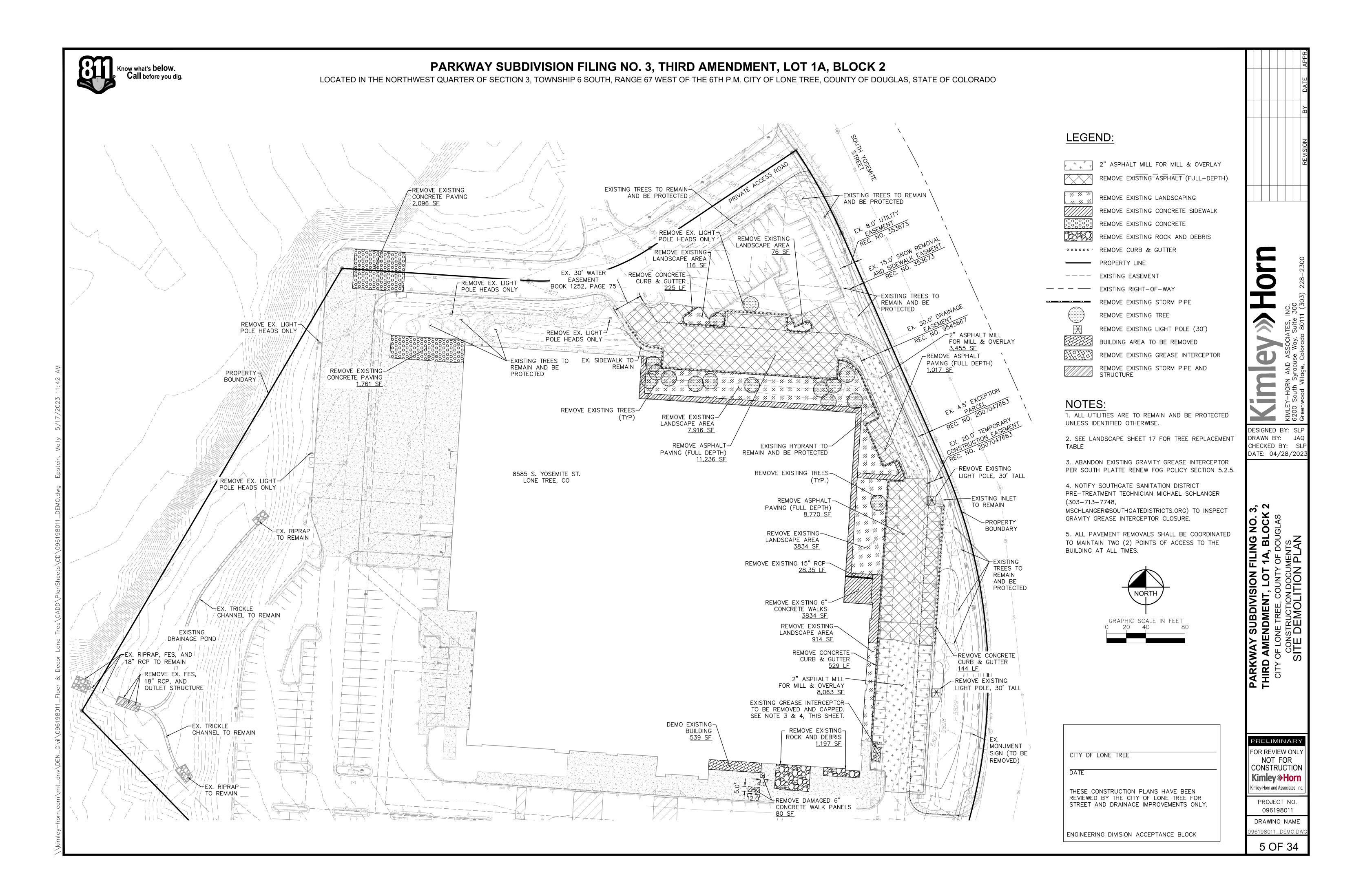
NOT FOR CONSTRUCTION Kimley » Horn (imley-Horn and Associates, Ir

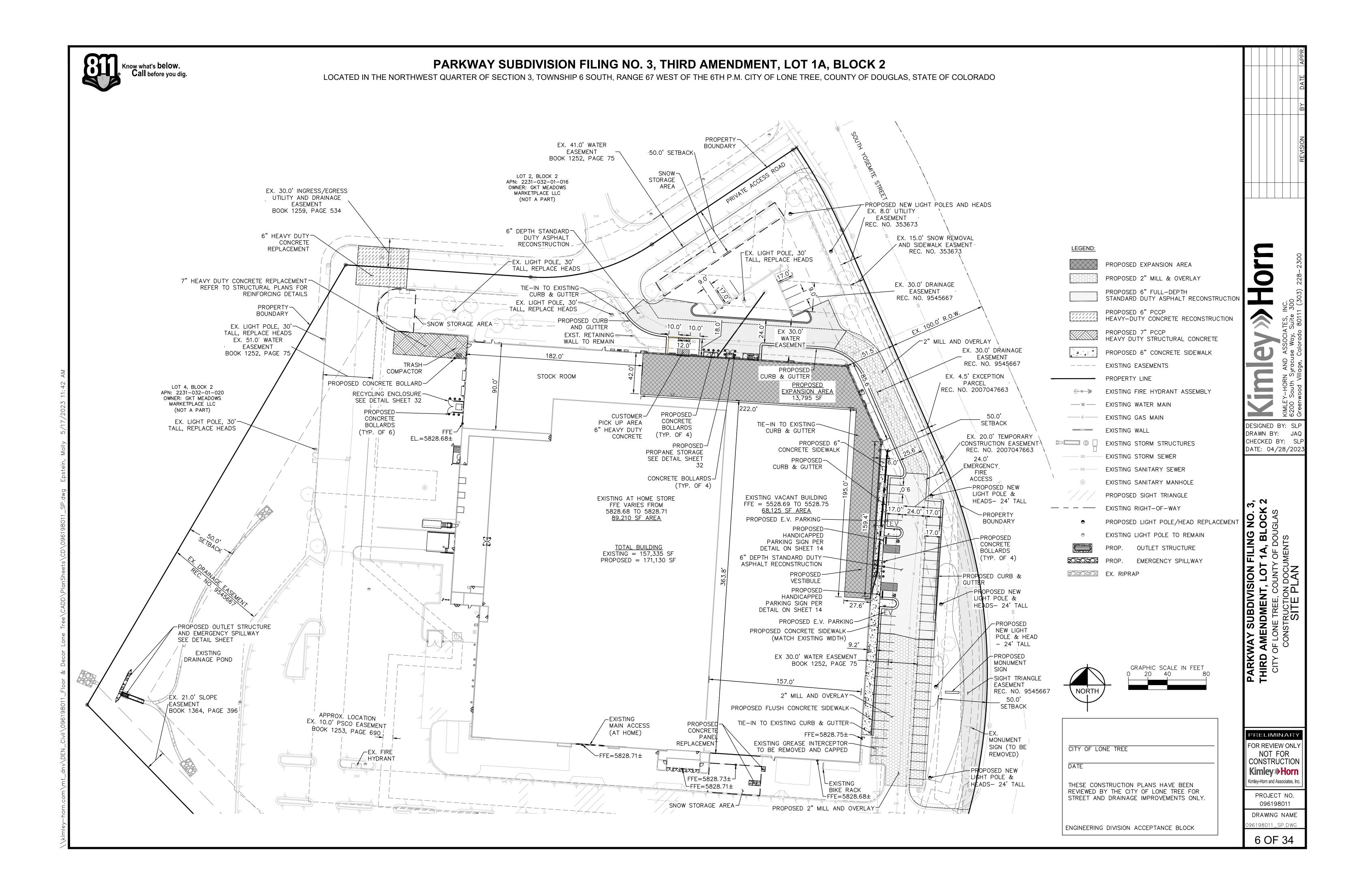
PROJECT NO. 096198011 DRAWING NAME





ORDECOR AS.DW







LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



ACCESSIBLE WALK PATH FROM PARK MEADOWS DRIVE TO PROPOSED MAIN ENTRANCE AT 8585 S. YOSEMITE

LEGEND: PROPOSED EXPANSION AREA PROPOSED CONCRETE SIDEWALK

DESIGNED BY: SLP DRAWN BY: JAQ CHECKED BY: SLP DATE: 04/28/2023

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn

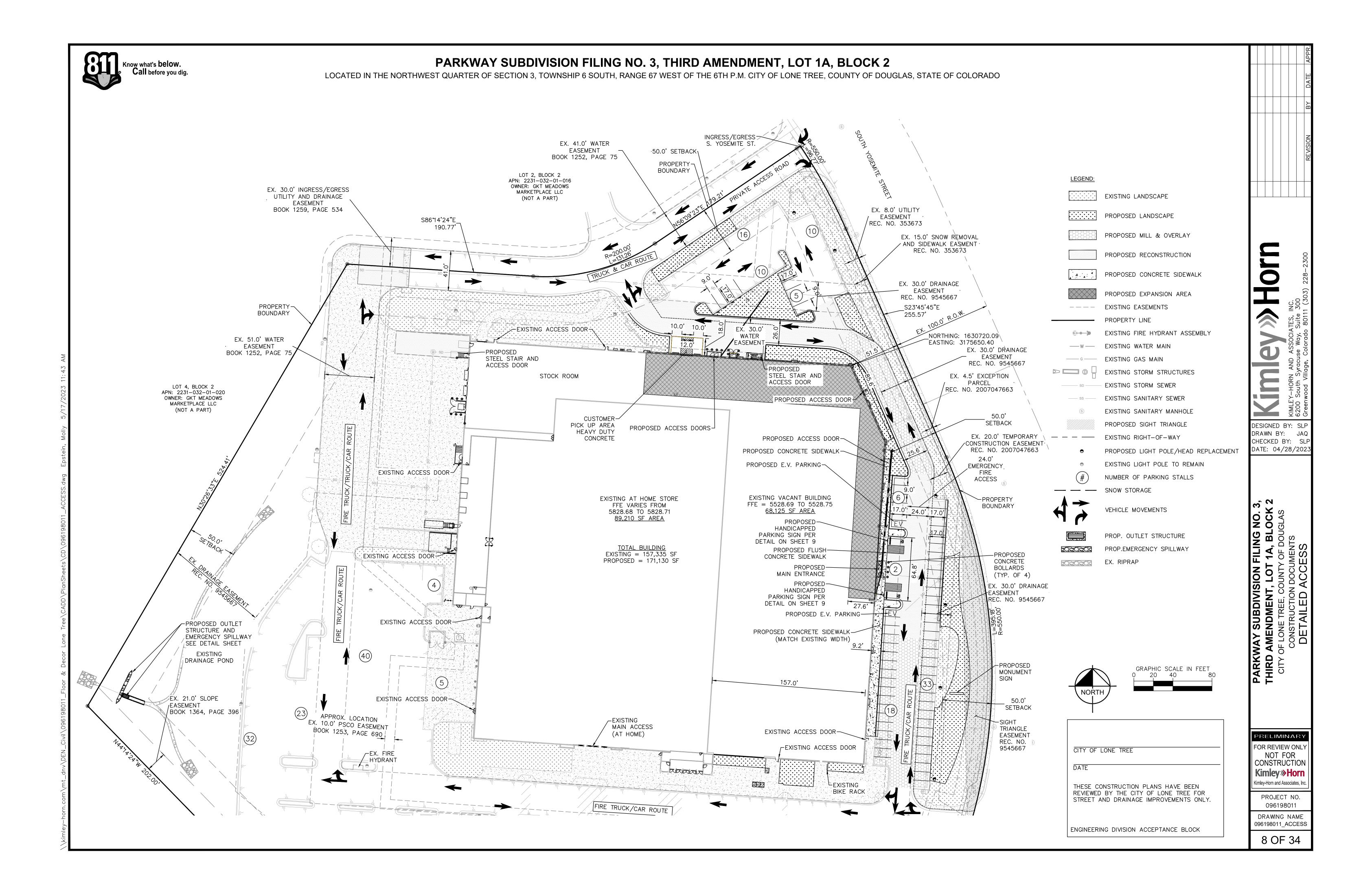
CITY OF LONE TREE

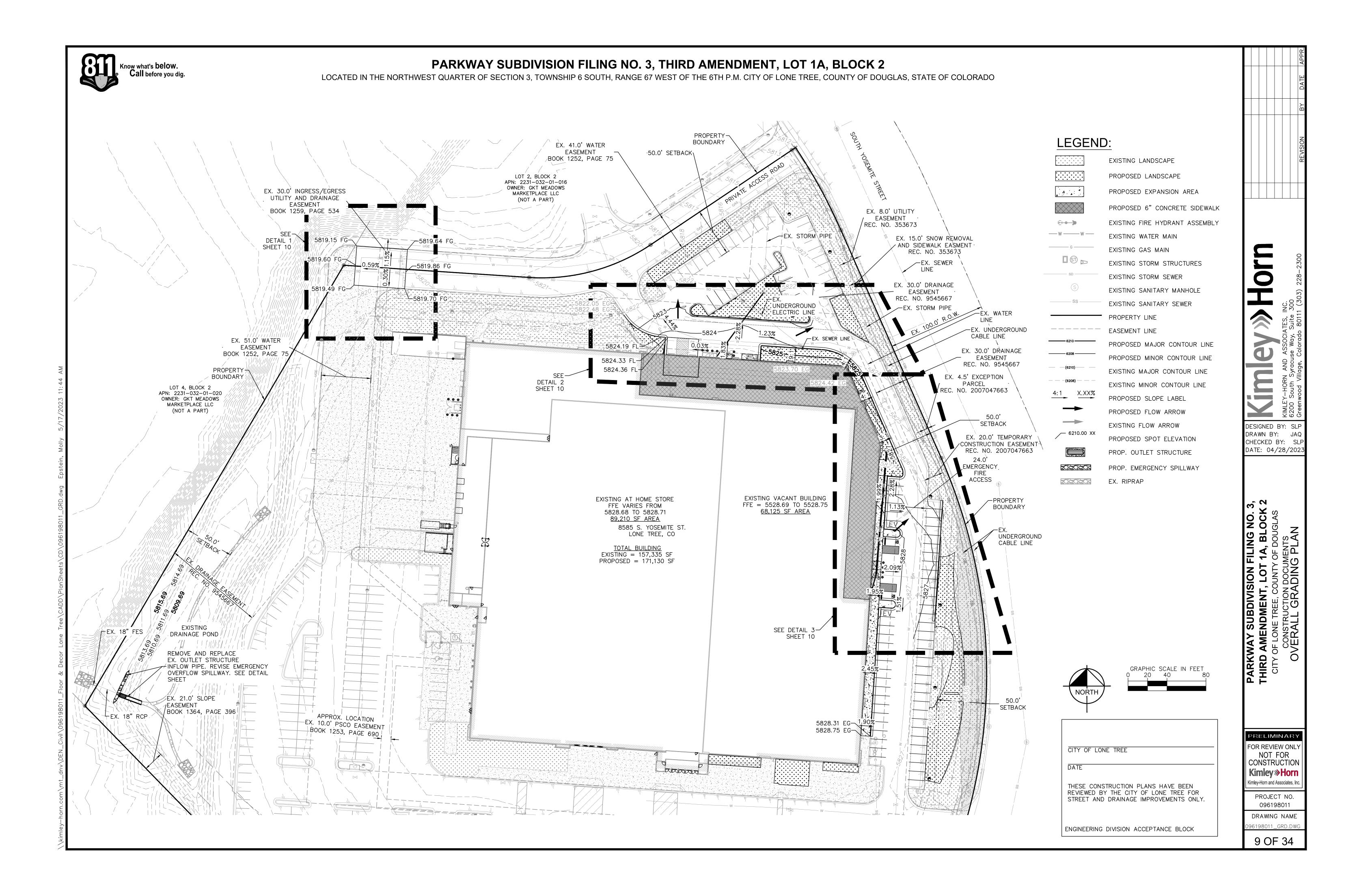
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

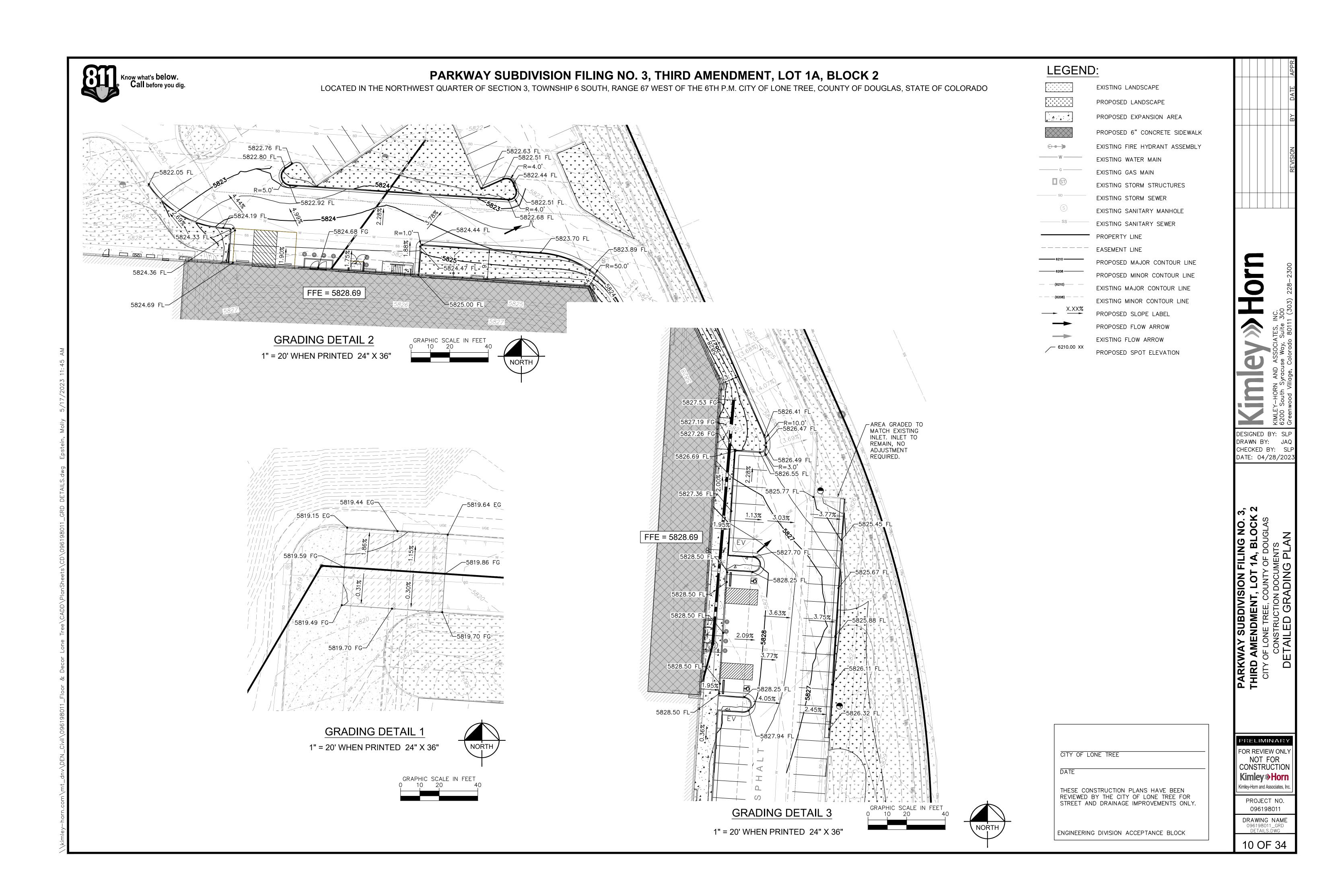
ENGINEERING DIVISION ACCEPTANCE BLOCK

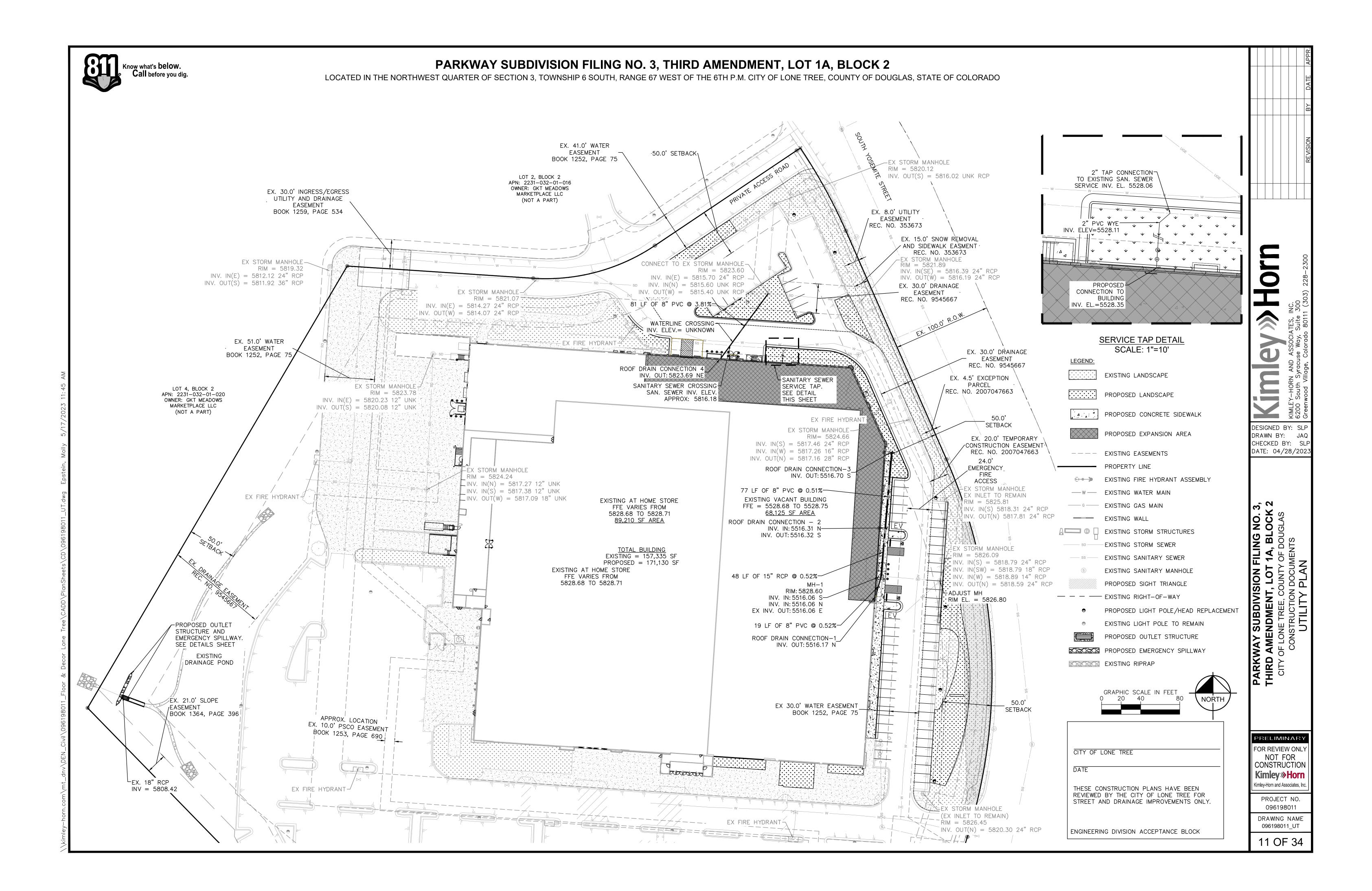
PROJECT NO. 096198011 DRAWING NAME

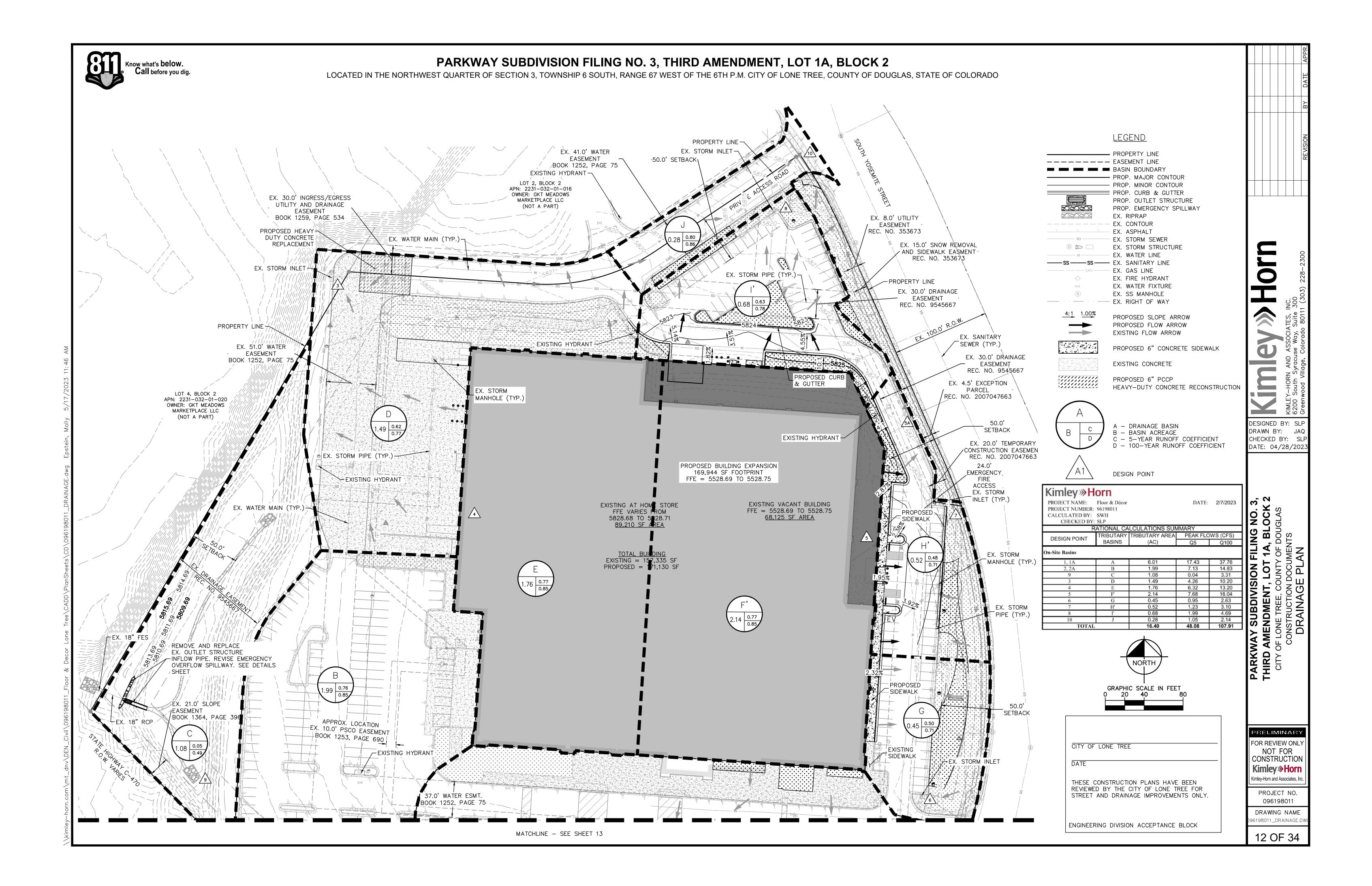
Kimley-Horn and Associates, Inc











	OT 1A, BLOCK 2 JULY OF DOUGLAS JULY OF	THIRD AMENDMENT, LOT CITY OF LONE TREE, COUNTY	OR REVIEW ON NOT FOR CONSTRUCT Kimley Horn and Associa PROJECT N
	EX. WATER FIXTURE EX. SS MANHOLE EX. RIGHT OF WAY PROPOSED SLOPE ARROW PROPOSED FLOW ARROW EXISTING FLOW ARROW PROPOSED 6" CONCRETE SIDEWALK EXISTING CONCRETE PROPOSED 6" PCCP HEAVY—DUTY CONCRETE RECONSTRUCTION A — DRAINAGE BASIN B — BASIN ACREAGE C — 5—YEAR RUNOFF COEFFICIENT D — 100—YEAR RUNOFF COEFFICIENT DAY DESIGN POINT	ARKWAY SUBDI	CITY OF LONE TREE DATE THESE CONSTRUCTION PLANS HAVE BEEN PEVIEWED BY THE CITY OF LONE TREE FOR
	EX. SANITARY SEWER (TYP.) 8.0' UTILITY ESMT. REC. NO. 353673 15.0' SNOW REMOVAL AND SIDEWALK ESMT. REC. NO. 353673	SLOPE ESMT. BOOK 1364, PAGE 396	
BDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 12 ON 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, SEE SHEET 12	APPROXIMATE LOCATION 10.0' PSCO ESMT. BOOK 1253, PAGE 690 APPROXIMATE LOCATION 10.0' PSCO ESMT. BOOK 1253, PAGE 690 EX. STORM PIPE (TYP.)	TRACT A EXCEPTION PARCEL BOOK 1344, PAGE 1660 APN: 2231–032–99–009 OWNER: BEL LARIMER LLC NOT A PART	NOT A PART
LOCATED IN THE NORTHWEST QUARTER OF	14.5' SLOPE ESMT. BOOK 164, PAGE 396	Floor & Décor DATE: 2/7/2023 : 96198011 SWH TENERATIONAL CALCULATIONS SUMMARY TRIBUTARY TRIBUTARY AREA PEAK FLOWS (CFS) BASINS (AC) Q5 Q100 A 6.01 17.43 37.76 B 1.99 7.13 14.83 C 1.08 0.04 3.31	D 1.49 4.26 10.20 E 1.76 6.32 13.20 F' 2.14 7.68 16.04 G 0.45 0.95 2.63 H' 0.52 1.23 3.10 I' 0.68 1.99 4.69 J 0.28 1.05 2.14 L 16.40 48.08 107.91
Know what's below. Call before you dig.	DRAINAGE EASE REC. NO. 954	Rimley >>> PROJECT NAME: PROJECT NUMBI CALCULATED B CHECKED DESIGN POINT On-Site Basins 1, 1A 2, 2A 9	3 4 5 6 7 8 10

V ONLY OR CTION

ciates, Inc.

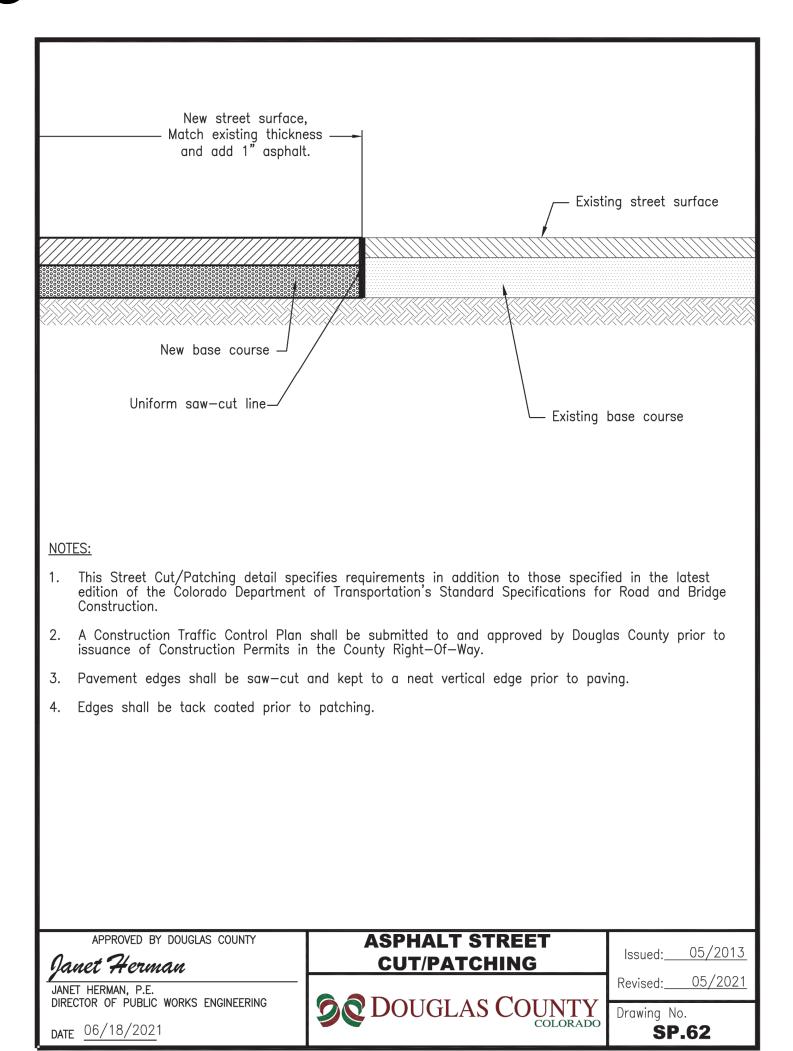
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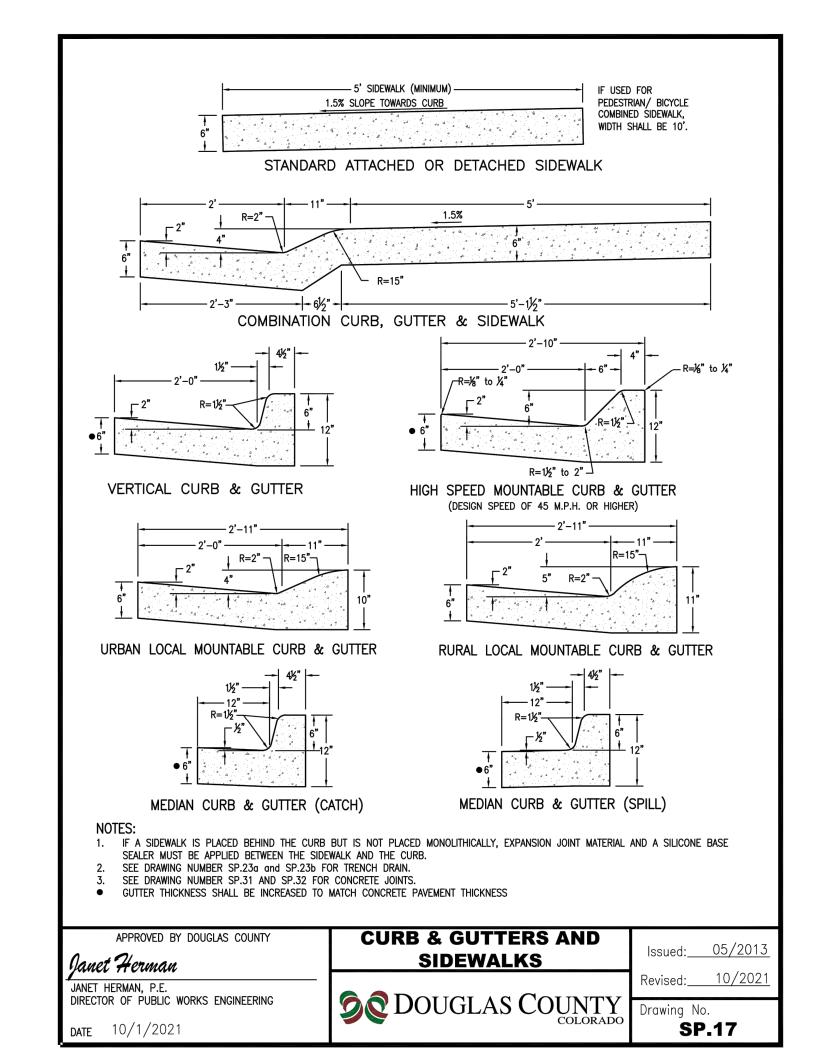
)96198011_DRAINAGE.D\ 13 OF 34

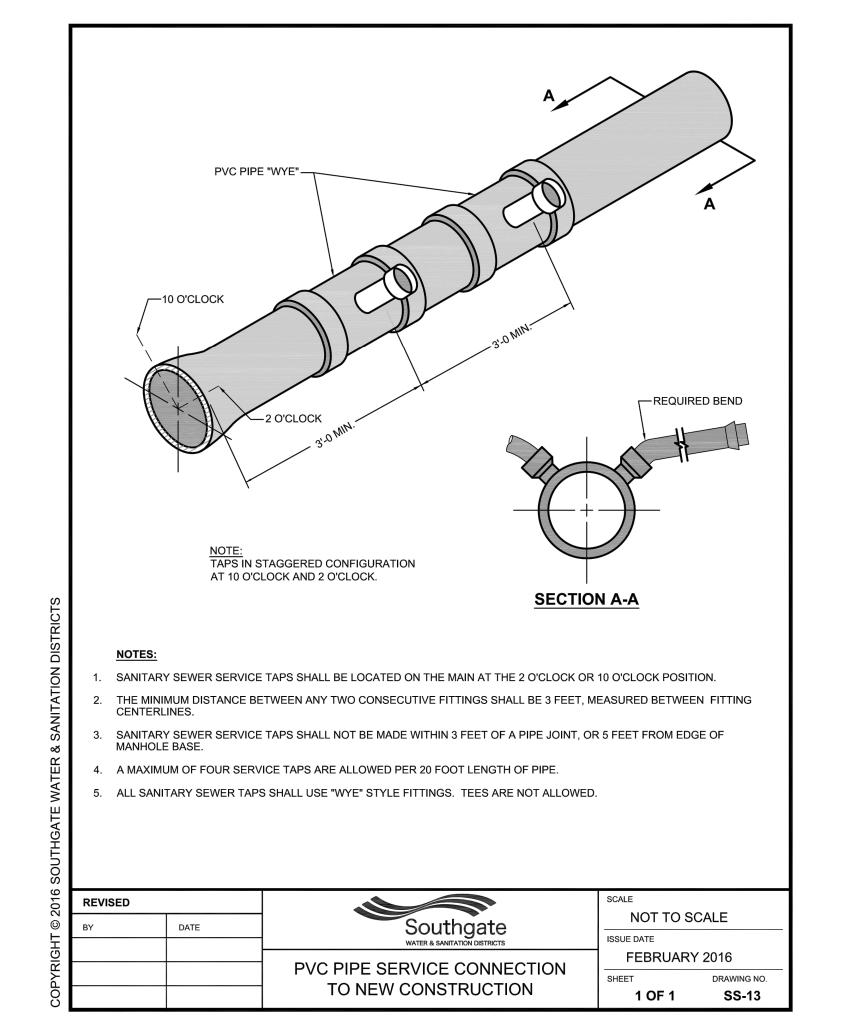
ENGINEERING DIVISION ACCEPTANCE BLOCK

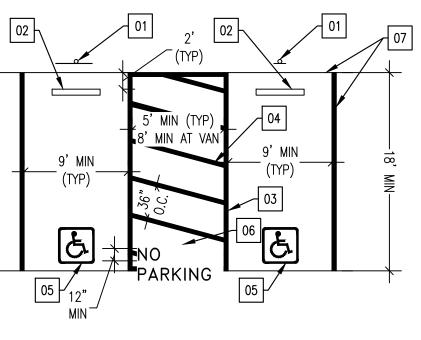


LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO









01 ACCESSIBLE PARKING SIGN CENTERED ON PARKING SPACE,

02 REINSTALLED CONCRETE WHEELSTOP

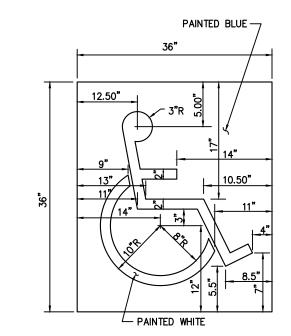
03 LOADING AND UNLOADING ZONE ACCESS AISLE BORDER PAINTED BLUE STRIPING, 4" WIDE

4" STRIPES AT 36" MAXIMUM ON CENTER PAINTED WHITE

05 INTERNATIONAL SYMBOL OF ACCESSIBILITY @ END OF PARKING SPACE, TYP.

06 WITHIN THE ACCESSIBLE LOADING AISLE PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS, WHITE PAINT

07 IF CURB PRESENT ALONG EDGE OF ADA STALL. CURB SHALL BE PAINTED BLUE



ADA SYMBOL WITH BACKGROUND LOCATED AT EDGE OF PARKING SPACE (PER CBC SECTION 11B-703.7.2.1)

DETAIL

ACCESSIBLE PARKING-STRIPING DETAIL AND ADA SYMBOL WITH BACKGROUND N.T.S.

CITY OF LONE TREE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

DESIGNED BY: SLF

DRAWN BY: JAC

CHECKED BY: SL

DATE: 04/28/202

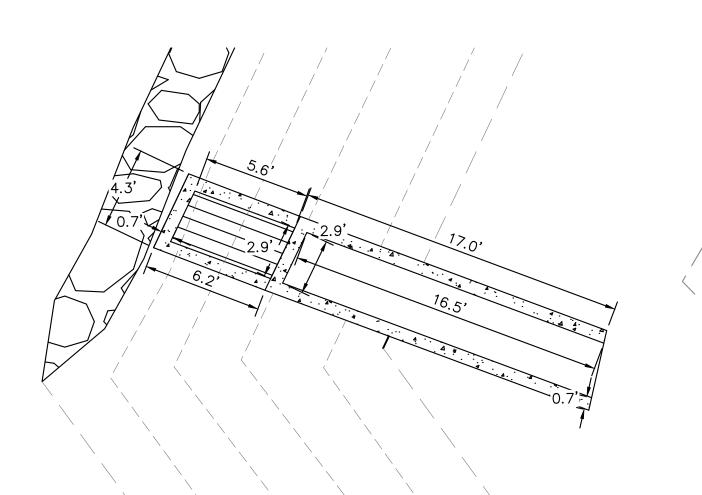
FOR REVIEW ONL' NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

PRELIMINARY

PROJECT NO. 096198011 DRAWING NAME



LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

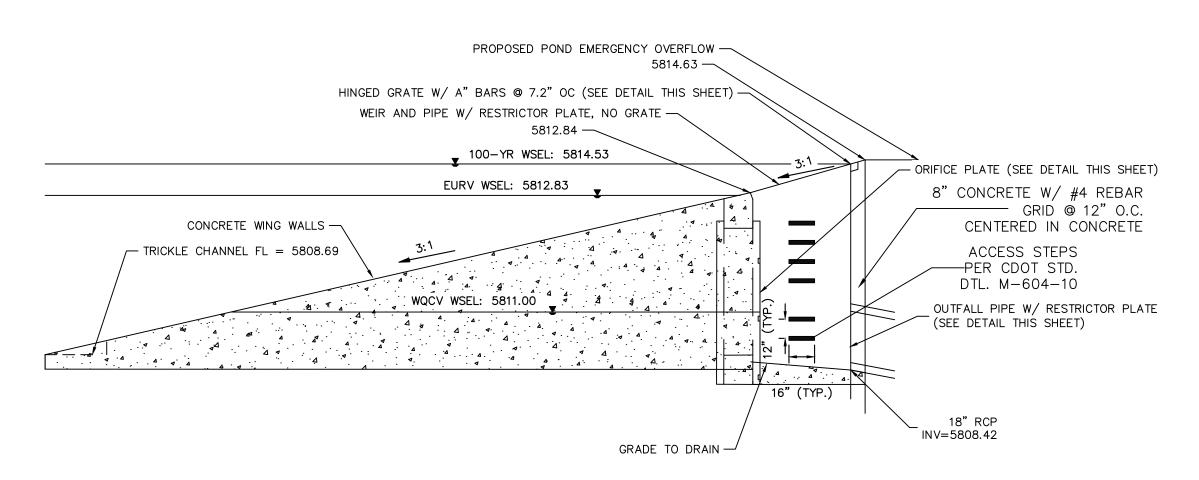


LENGTH OF SPILLWAY= 30' TOP OF EMBANKMENT MIN. ELEV. = 5815.69 SPILLWAY FLOW $\frac{1}{2}$ WSEL = 5815.33 SPILLWAY CREST 100YR WSEL ELEV. = 5814.63 = 5814.62 POND EMBANKMENT

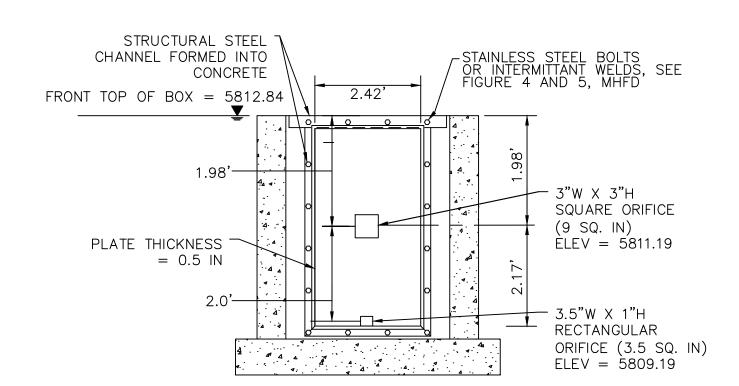
EMERGENCY SPILLWAY

OUTLET STRUCTURE DIMENSIONS

NOTE: CONTRACTOR TO ENSURE ACCESSIBILITY TO BOTH SECTIONS OF OUTLET STRUCTURE.



OUTLET STRUCTURE CROSS SECTION N.T.S.



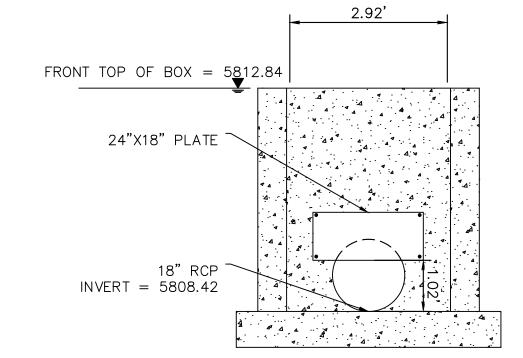
1. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN

ORIFICE PLATE DETAIL

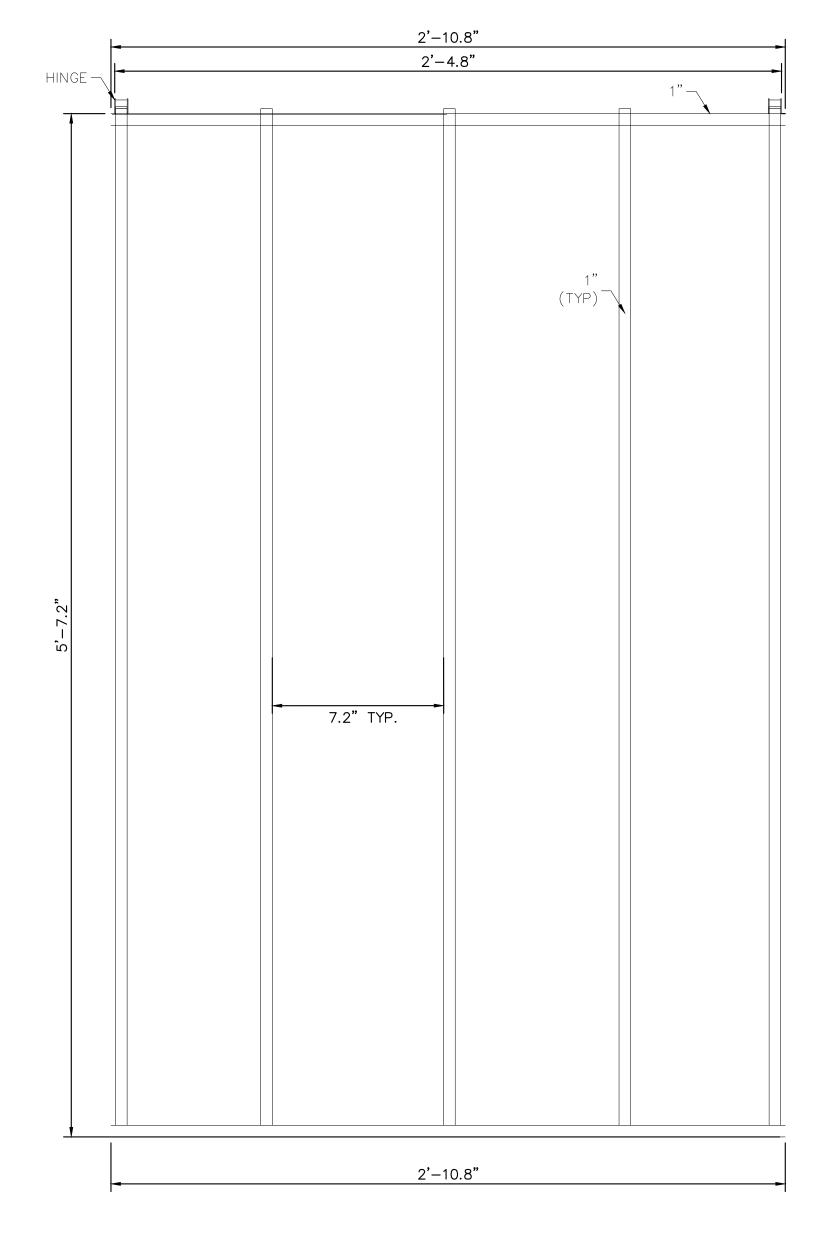
THE ORIFICE PLATE AND CONCRETE.

2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.

ORIFICE PLATE NOTES







TRASH RACK

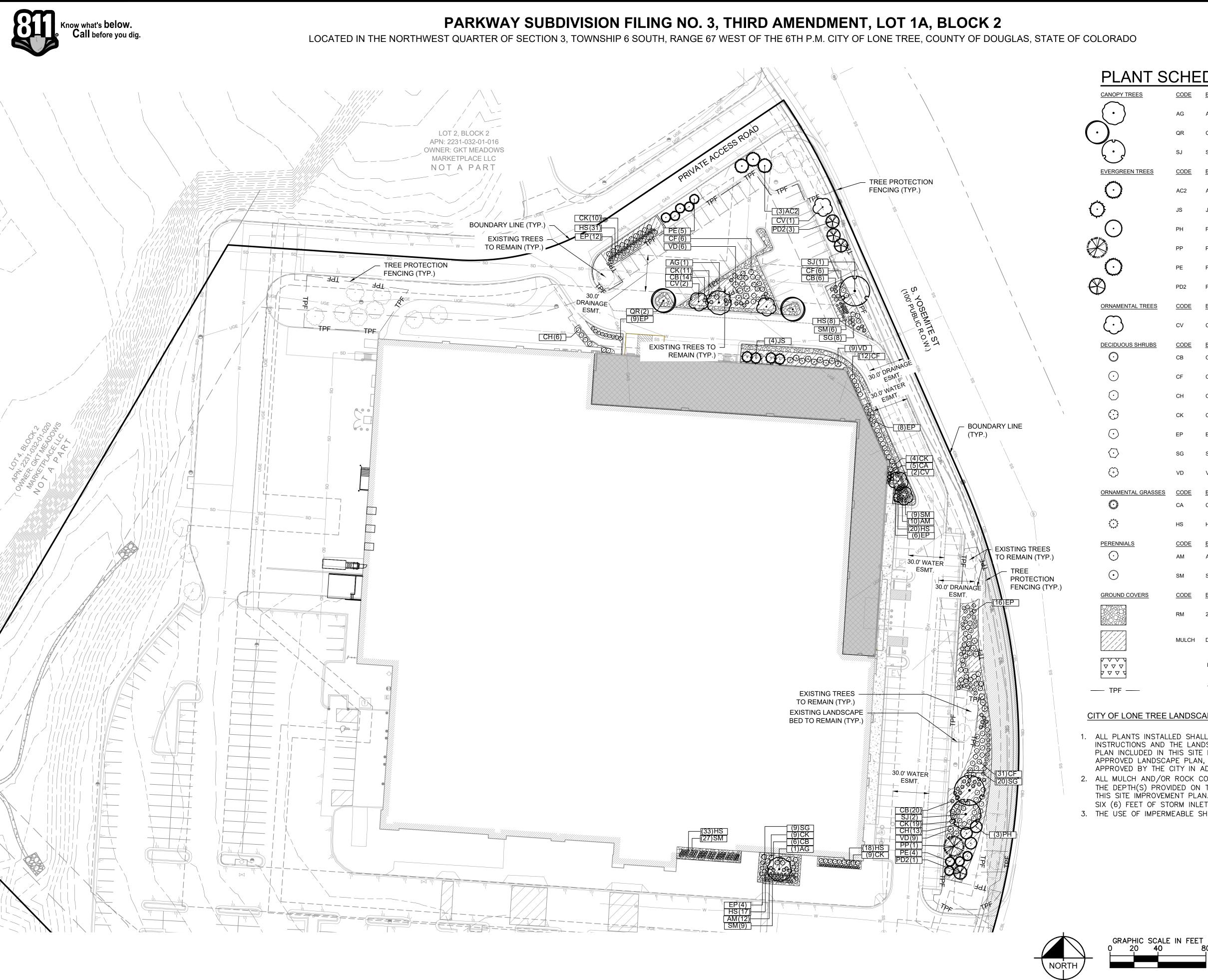
CITY OF LONE TREE THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

DESIGNED BY: SLP DRAWN BY: JAC CHECKED BY: SLF DATE: 04/28/202

PRELIMINARY FOR REVIEW ONL' CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

PROJECT NO. 096198011 DRAWING NAME 096198011_STD DETAILS.DWG





CANOPY TREES	CODE	BOTANICAL / COMMON NAME
(\cdot)	AG	ACER TATARICUM 'GARANN' / HOT WINGS® TATARIAN MAPLE
(\cdot)	QR	QUERCUS RUBRA / NORTHERN RED OAK
$\left(\begin{array}{c} \cdot \\ \cdot \end{array}\right)$	SJ	SOPHORA JAPONICA / JAPANESE PAGODA TREE
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
\odot	AC2	ABIES CONCOLOR / WHITE FIR
0	JS	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER
\odot	PH	PICEA PUNGENS 'HOOPSII' / HOOPSII COLORADO SPRUCE
The state of the s	PP	PINUS EDULIS / PINYON PINE
O	PE	PINUS HELDREICHII 'EMERALD ARROW' / EMERALD ARROW BOSNIAN PINE
Θ	PD2	PSEUDOTSUGA MENZIESII / DOUGLAS FIR
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
\odot	CV	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
O	СВ	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD
\odot	CF	COMBRETUM FRUTICOSUM / BURNING BUSH
\odot	СН	CORNUS ALBA 'BAILHALO' / IVORY HALO® TATARIAN DOGWOOD
\odot	СК	CORNUS SERICEA 'KELSEYI' / KELSEYI DWARF REDTWIG DOGWOOD
\odot	EP	EUONYMUS COLORATUS / PURPLE WINTERCREEPER
\bigcirc	SG	SPIRAEA JAPONICA 'GOLDFLAME' / GOLDFLAME JAPANESE SPIREA
(+)	VD	VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME
A CONTRACTOR OF THE PROPERTY O	CA	CALAMAGROSTIS X ACUTIFLORA / FEATHER REED GRASS
**	HS	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS
PERENNIALS	CODE	BOTANICAL / COMMON NAME
\odot	AM	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW
\odot	SM	SALVIA NEMOROSA 'MAY NIGHT' / MAY NIGHT SAGE
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	RM	2"-4" RIVER ROCK MULCH / TO MATCH EXISTING ON SITE
	MULCH	DOUBLE SHREDDED HARDWOOD MULCH / MATCH EXISTING ON SITE
		PROPOSED ASPHALT
—— TPF ——		TREE PROTECTION FENCING

CITY OF LONE TREE LANDSCAPING NOTES

- 1. ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION.
- 2. ALL MULCH AND/OR ROCK COBBLE SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS
- 3. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED

CITY OF LONE TREE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PRELIMINARY FOR REVIEW ONL' NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

DESIGNED BY: JN DRAWN BY: J CHECKED BY: EJ DATE: 04/28/202

PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
LANDSCAPING PLAN

PROJECT NO. 096198011 DRAWING NAME 6198011_LS.DW

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	<u>CAL</u>	SIZE
$\left(\cdot\right)$	AG	2	ACER TATARICUM 'GARANN'	HOT WINGS® TATARIAN MAPLE	B & B	2" CAL MIN	
(\cdot)	QR	2	QUERCUS RUBRA	NORTHERN RED OAK	B & B	2" CAL MIN	
	SJ	3	SOPHORA JAPONICA	JAPANESE PAGODA TREE	В&В	2" CAL MIN	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
0	AC2	3	ABIES CONCOLOR	WHITE FIR	B & B	5" CAL MIN	6`-8` HT MIN
\odot	JS	4	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	4" CAL MIN	6`-8` HT MIN
<u></u>	PH	3	PICEA PUNGENS 'HOOPSII'	HOOPSII COLORADO SPRUCE	B & B	4" CAL MIN	6`-8` HT MIN
A South Maria Mari	PP	1	PINUS EDULIS	PINYON PINE	B & B	5" CAL MIN	8` - 10` HT. MIN.
0	PE	9	PINUS HELDREICHII 'EMERALD ARROW'	EMERALD ARROW BOSNIAN PINE	B & B	4" CAL MIN	
igotimes	PD2	4	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B & B	4" CAL MIN	6`-8` HT MIN
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
\odot	CV	5	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	B & B	2" CAL MIN	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	<u>SPACING</u>	SIZE
0	СВ	46	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	5 GAL	SEE PLAN	24" HT MIN
\odot	CF	55	COMBRETUM FRUTICOSUM	BURNING BUSH	5 GAL	SEE PLAN	24" HT MIN
\odot	СН	19	CORNUS ALBA 'BAILHALO'	IVORY HALO® TATARIAN DOGWOOD	5 GAL	SEE PLAN	24" HT MIN
\odot	CK	62	CORNUS SERICEA 'KELSEYI'	KELSEYI DWARF REDTWIG DOGWOOD	5 GAL	SEE PLAN	12" FULL
\odot	EP	55	EUONYMUS COLORATUS	PURPLE WINTERCREEPER	5 GAL	SEE PLAN	18" HT MIN
\bigcirc	SG	37	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME JAPANESE SPIREA	5 GAL	SEE PLAN	12" HT MIN
(+)	VD	24	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	5 GAL	SEE PLAN	24" HT MIN
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	<u>SPACING</u>	SIZE
Andrew Comments	CA	5	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL	SEE PLAN	24" HT MIN
*	HS	127	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	SEE PLAN	12" HT MIN
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
\odot	AM	22	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL	SEE PLAN	12" HT MIN
\odot	SM	51	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL	SEE PLAN	12" HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING 5
	RM	2,447 SF	2"-4" RIVER ROCK MULCH	TO MATCH EXISTING ON SITE	-		
	MULCH	11,164 SF	DOUBLE SHREDDED HARDWOOD MULCH	MATCH EXISTING ON SITE	-		
— TPF —			TREE PROTECTION FENCING				

LANDSCAPE REQUIREMENTS

REMOVED LANDSCAPE AREA: PROPOSED ENHANCED LANDSCAPE AREA:	12,371 SF		
PROPOSED ENHANCED LANDSCAPE AREA:	13,079 SF	-	
TREE MITIGATION	REMOVED	PROVIDED	
	TREES	TREES	
TREES REMOVED (INCHES)	15	34	
LANDSCAPE ISLANDS	REQUIRED	PROVIDED	
	TREES	TREES	
(1) TWO-INCH CAL. CANOPY TREE W/ SHRUBS AND/OR ORN. GRASSES & GROUNDCOVER	2	2*	
PROPOSED TOTAL		PROVIDED	
TREES		36	
SHRUBS (5-GAL)		301	

NOTE: * DUE TO ELECTRIC CHARGING STATIONS IN ISLANDS, REQUIRED TREES HAVE BEEN PLACED ELSEWHERE ON SITE. EXISTING MULCH THROUGHOUT SITE TO BE REPLACED AND/OR ADDED TO IN ORDER TO IMPROVE OVERALL SITE.

- The property herein is subject to all applicable requirements of Lone Tree Municipal Code, except as may otherwise be addressed in an approved Planned Development or Sub-Area plan, Site Improvement Plan, Preliminary Plan, Final Plat, or other improvements and/or maintenance agreements, as applicable.
- The applicant assumes responsibility to ensure the project is completed in accordance with the approved Landscape and/or Irrigation Plan and further assumes the risk associated with any changes or omissions made without prior City approval. Modifications to the landscape plan may require a landscape plan amendment as determined by the Director. Unauthorized changes or omissions may result in corrective actions, delay of permits, or citations for zoning violations with associated fines and legal measures.
- The City of Lone Tree requires that maintenance access be provided to all storm drainage facilities to ensure the continuous operational capabilities of the system. The property owner shall be responsible for the maintenance of all drainage facilities, including inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on their land, unless modified by an improvements agreement. Should the owner fail to adequately maintain said facilities, the City of Lone Tree shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property owner. Maintenance Responsibilities
- It shall be the responsibility of the owner (or responsible association or district, as may be identified by maintenance agreements) to maintain all improvements on the property in a state of good repair, to ensure all irrigation is functional, and to ensure all plantings are alive, consistent with the approved landscape and irrigation plan and Lone Tree Municipal Code.
- Within sight triangles and sight easements, as shown, limited landscaping shall be allowed with no solid structures permitted, as stated in the City of Lone Tree's Landscape Design Guidelines and Standards. Landscaping within the sight triangle shall be maintained by the property owner or responsible association or district, as may be identified by maintenance agreements.

TREE REPLACEMENTS

TREES REMOVED	REMOVED)
	TREES	DBH
Per city comments from City Forester, trees removed to be		
mitigated with (4) 5" caliper pine trees and (18) 4" caliper	1	9"
pine trees	2	N/A*
	3	12-1/2
	4	13"
	5	12-1/4
	6	12-1/2
	7	13"
	8	14-1/2
	9	9-1/2'
	10	15-1/2
	11	10"
	12	6"
	13	10-1/4
	14	16-1/2

TREE WAS CUT DOWN PRIOR TO TREE OBSERVATION

CITY OF LONE TREE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PROJECT NO.

17 OF 34

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

DESIGNED BY: JN

DRAWN BY: JI

CHECKED BY: EJ

DATE: 04/28/202

096198011 DRAWING NAME 6198011_LS.DW



LOCATED IN THE NORTHWEST QUARTER OF SECTION 3. TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

PROTECTION OF EXISTING STRUCTURES

- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER. AT NO COST TO THE OWNER
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SLICH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

PROTECTION OF EXISTING PLANT MATERIALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- 2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

TOPSOIL MIX

ONE (1) CUBIC FOOT

ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

- a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN $\frac{3}{4}$ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE
- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES, CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED. GROUND COVER, VINE BED, AND TREE RING (6' MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

DIGGING AND HANDLING

- 1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE
- 2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS
- 3. B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS

CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR FRRORS, SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY. THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

PLANTING PROCEDURES

- 1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK LIPON ARRIVAL AT THE SITE PLANTS SHALL BE THOROLIGHLY WATERED AND PROPERLY MAINTAINED LINTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- 6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL
- 9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMEN.
- 10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- 11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- 12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL
- 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING

15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.

- 16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION

- 18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- 19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER
- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE
- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 4. SODDING
- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED, IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS. THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED. SUNKEN OR BARE SPOTS (LARGER TH 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

a. CONTRACTOR SHALL INSTALL 4"Xg" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK, ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- PLANT MATERIAL MAINTENANCE
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING. CULTIVATING SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S

FINAL INSPECTION AND ACCEPTANCE OF WORK

- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- WARRANTY
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- 2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- 3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

DESIGNED BY: JN DRAWN BY: CHECKED BY: E DATE: 04/28/20:

PRELIMINARY

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

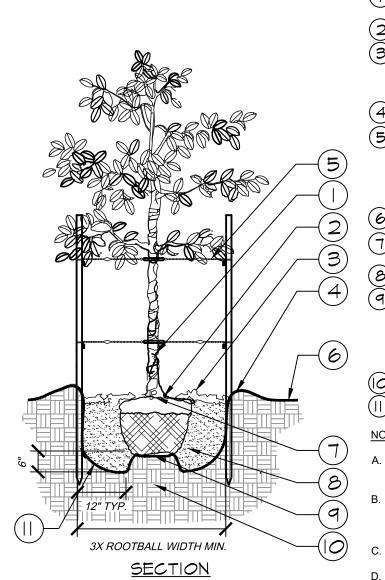
CITY OF LONE TREE

FOR REVIEW ONL CONSTRUCTION Kimley»Horr Kimley-Horn and Associates, Ir

096198011 DRAWING NAME 198011 LS.DV

PROJECT NO.

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



TREE PLANTING - STAKING

METAL EDGING, $\frac{3}{16}$ COLOR: BLACK

TOPSOIL, REF. PLANTING -

5 METAL EDGER AT PLANTING BED

SOIL PLAN AND PLANTING SPECIFICATIONS TURF (SOD)

(|) TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT. (2) 6" DIA. CLEAR OF MULCH AT TRUNK FLARE. (3) 4" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE. (4) 4" HIGH BERM, FIRMLY COMPACTED.

5) 8' x 2" TREATED LODGE POLE PINE TREE STAKES, TWO (2) PER TREE: AVOID PENETRATING ROOT BALL. 14 GAUGE, ANNEALED STEEL GUY WIRE. STAPLE ENDS TO INSIDE OF TREE STAKE. ADJUST TENSION BY TURNING WIRE PAIRS FROM THE MIDDLE

(6) FINISHED GRADE. (SEE GRADING PLAN) TOP OF ROOTBALL MIN. 1" ABOVE FINISHED

 $(oldsymbol{\mathcal{S}})$ PREPARED PLANTING SOIL AS SPECIFIED. (9) TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH. (IO) UNDISTURBED NATIVE SOIL.

(||) SCARIFY BOTTOM AND SIDES OF PLANTING

- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL. PRUNE ALL TREES IN ACCORDANCE WITH ANSI
- D. INSTALL PRE-EMERGENT HERBICIDE PRIOR TO

— 3" MIN. DEPTH MULCH -

· 4oz FILTER FABRIC

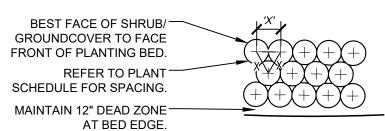
AMENDED PLANTING SOIL, REF.

PLANTING SOIL PLANS AND

PLANTING SPECIFICATIONS

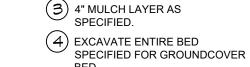
— UNDISTURBED NATIVE SOIL

SEE PLANS



2X ROOT BALL WIDTH

ABOVE SURROUNDING SOIL. 2" DIA. CLEAR OF MULCH AT TRUNK FLARE. 2 PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.



) TOP OF ROOTBALLS TO

BE PLANTED AT GRADE OR SLIGHTLY

- (5) FOR CONDITIONS WITH FINISHED GRADE OF 4:1 MAX SLOPE ON ALL SIDES (SEE GRADING PLAN). (6) PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL
- (7) SCARIFY PLANT OPENING SIDES AND BOTTOM.

MIX AS SPECIFIED.

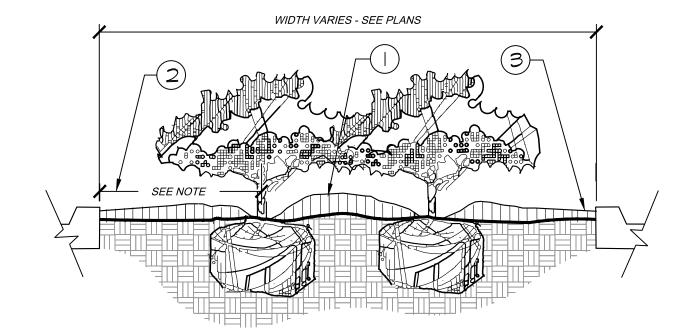
- (8) 4" HIGH BERM FIRMLY COMPACTED. (9) UNDISTURBED NATIVE SOIL.
- (O) FERTILIZER TABLETS (MAX 3"

A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING AREAS PRIOR TO INSTALLATION.

- B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
- C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY PROJECT
- D. PRE-EMERGENT HERBICIDE TO BE APPLIED PRIOR TO PLANT INSTALLATION.

B/GROUNDCOVER PLANTING

<u>SECTION</u>

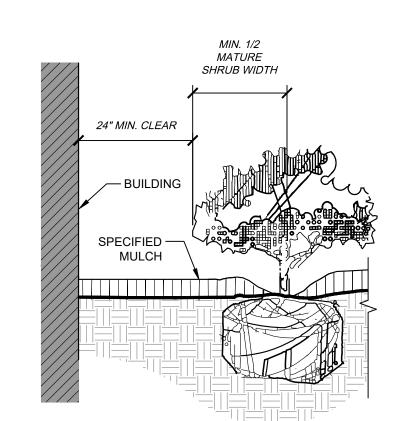


(|) CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).

- 2) CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 4" CONTINUOUS MULCH OR TURF, SEE PLANS.
- (3) 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

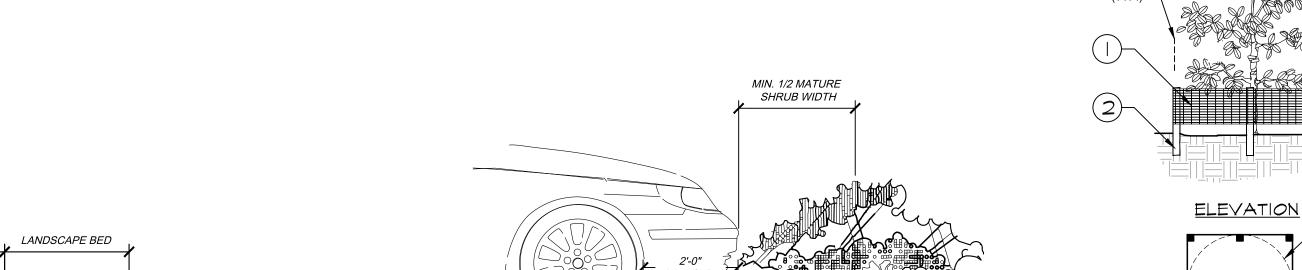
PLANTED PARKING LOT ISLANDS/MEDIANS

- A. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- B. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- C. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR



- 1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
- 2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 4" (MIN.)





6 PARKING SPACE/CURB PLANTING

INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN.
MULCH SHALL BE MIN. 4" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE
LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE. (2) CURB / PARKING LOT EDGE.

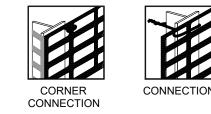
SUBMIT PRODUCT INFORMATION FOR 2) 8' TALL METAL "T" POSTS OR 2" x 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

) 6'H "PERIMETER PLUS" CONSTRUCTION

FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL.

INSTALLATION NOTES:

- A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
- B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
- C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
- D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE PROTECTION FENCING

6'-8'oc

AAY SUBDIVISION FILING NO AMENDMENT, LOT 1A, BLOC FLONE TREE, COUNTY OF DOUGLAS CONSTRUCTION DOCUMENTS LANDSCAPE DETAILS

DESIGNED BY: JN DRAWN BY: JI CHECKED BY: E.

DATE: 04/28/202

CITY OF LONE TREE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

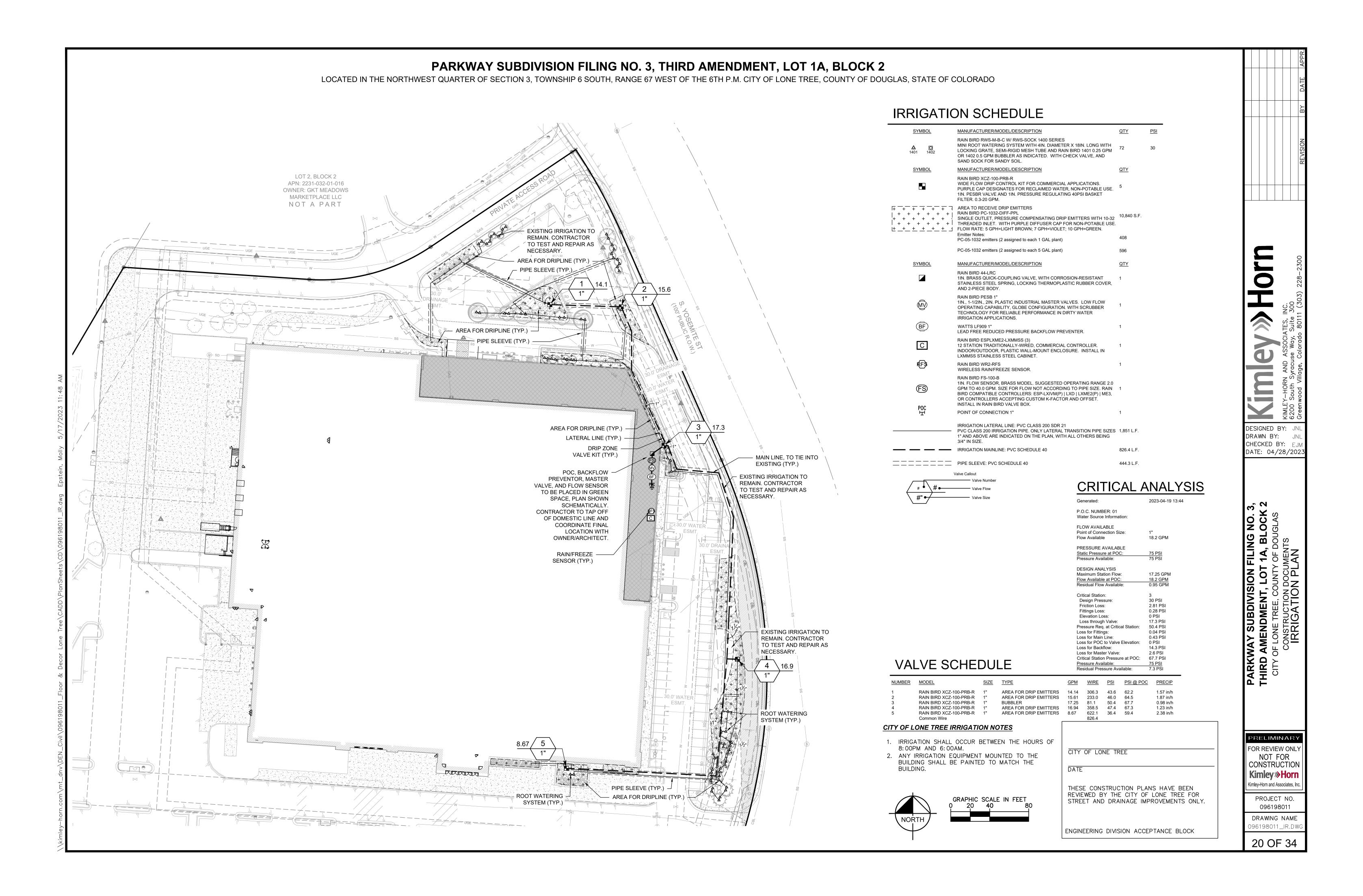
PRELIMINARY FOR REVIEW ONL' NOT FOR CONSTRUCTION Kimley » Horn

> PROJECT NO. 096198011

Kimley-Horn and Associates, Inc

DRAWING NAME

6198011 LS.DW 19 OF 34



- 1. THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- 2. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- 3. ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY
- 4. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
- CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE. REFER TO CRITICAL ANALYSIS FOR ASSUMED STATIC PRESSURE.
- 6. CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
- 7. IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
- 8. CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
- 9. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- 10. IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL
- 11. IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
- 12. IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN, ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE
- 13. LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.
- 12. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- 13. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE
- 14. INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- 15. CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
- 16. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- 17. EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- 18. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE. TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES SEE SLEEVING DETAIL.
- 19. ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- 20. SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
- 21. NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB". LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
- 22. THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH
- 23. ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN VALVE BOXES.
- 24. ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
- 25. LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINES RUN PARALLEL TO PAVEMENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
- 26. IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIPLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
- 27. ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
- 28. IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION. (INDOOR VS.
- 29. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- 30. LOCATE THE AUTOMATIC RAIN / FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOBSTRUCTED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD, INCLUDING OFF-SITE IRRIGATION. CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.
- 31. CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.
- HYDRO-TESTING TO BE PERFORMED AS LISTED:

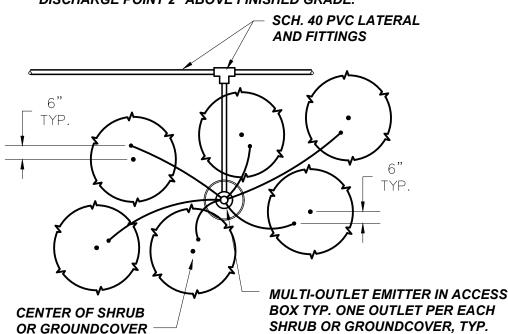
CONDITION BY THE CONTRACTOR.

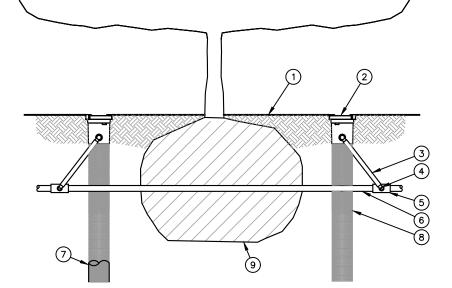
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. PRIOR TO BACKFILLING, CONTRACTOR SHALL FILL PIPING WITH WATER, IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO PURGE THE AIR FROM IT. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE PIPING AND SET SO AS TO MAINTAIN 125 PSI FOR TWO (2) HOURS WITHOUT INTERRUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND.
- 32. ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
- 33. ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 ¹/₄" ELECTRICAL CONDUIT.
- 34. CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
- 35. ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL
- 36. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL

LENGTH OF DISTRIBUTION TUBING SHALL NOT EXCEED 12'-0".

REFER TO LOCAL JURISDICTIONAL REQUIREMENTS; MAXIMUM

ALLOWABLE LENGTH MAY BE LESS. 2. LAYOUT DISTRIBUTION TUBING AS SHOWN AND LOCATE DISCHARGE POINT 2" ABOVE FINISHED GRADE.





1) FINISH GRADE/TOP OF MULCH

3) SWING ASSEMBLY (INCLUDED)

5) PVC SCH 40 TEE OR EL

(9) PLANT ROOT BALL

2) ROOT WATERING SYSTEM: RAIN BIRD RWS

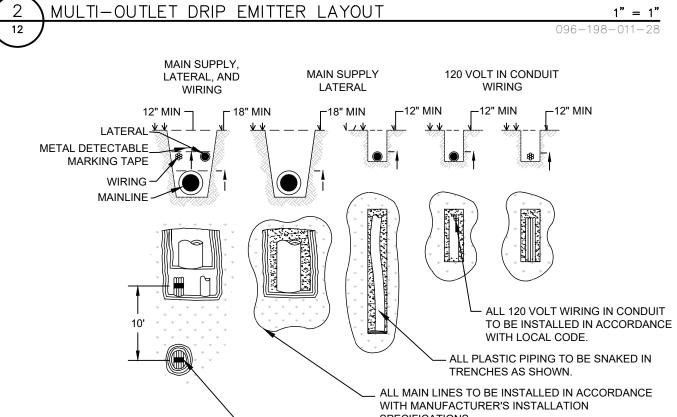
4) 1/2" (1,3 CM) MALE NPT INLET (INCLUDED)

6) PVC OR POLYETHYLENE LATERAL PIPE

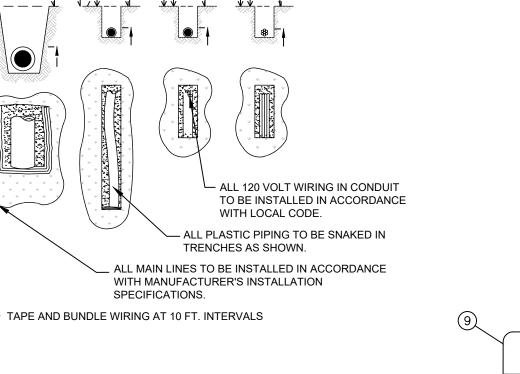
7) OPTIONAL SOCK (RWS-SOCK) FOR SANDY SOILS

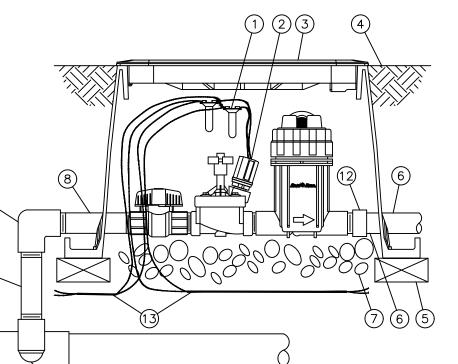
8 4" (10,2 CM) WIDE X 36" (91,4 CM) LONG RIGID BASKET

- 1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
 2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
- RWS-B-C-1401: 0.25 GPM (0.95 L/M), CHECK VALVE
- RWS-B-X-1401: 0.25 GPM (0.95 L/M), 18" (45.7 CM) SWING ASSEMBLY
- RWS-B-C-1402: 0.5 GPM (1,9 L/M), CHECK VALVE RWS-B-1402: 0.5 GPM (1.9 L/M)
- RWS-B-C-1404: 1.0 GPM (3,8 L/M), CHECK VALVE 4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1,9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION 5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID. 6. OPTIONAL RWS-SOCK FOR USE IN SANDY SOILS.



SPECIFICATIONS.





- (1) WATERPROOF SPLICE CONNECTION: RAIN BIRD WC20 (TWO REQUIRED)
- (2) RAIN BIRD DRIP KIT: XCZ-100-PRB-COM WITH IVM-SOL
- VALVE BOX WITH COVER: RAIN BIRD VB-STD
- FINISH GRADE OR TOP OF MULCH
- BRICK (1 OF 4) PVC PIPE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- (7) PVC SCH 80 NIPPLE 1"
- 8 PVC SCH 80 ELBOW
- 9) PVC SCH 80 NIPPLE (2" LENGTH, HIDDEN) AND PVC SCH 80 ELBOW
- PVC SCH 80 TEE OR ELBOW
- (11) PVC SCH 40 MALE ADAPTER 12) TWO-WIRE CABLE BETWEEN DEVICES (FIELD DECODER,
- SENSOR DECODER, LINE SURGE PROTECTOR CONTROLLER)

CITY OF LONE TREE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FOR REVIEW ONL' CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

DESIGNED BY: JN

DRAWN BY: JI

CHECKED BY: E

DATE: 04/28/20:

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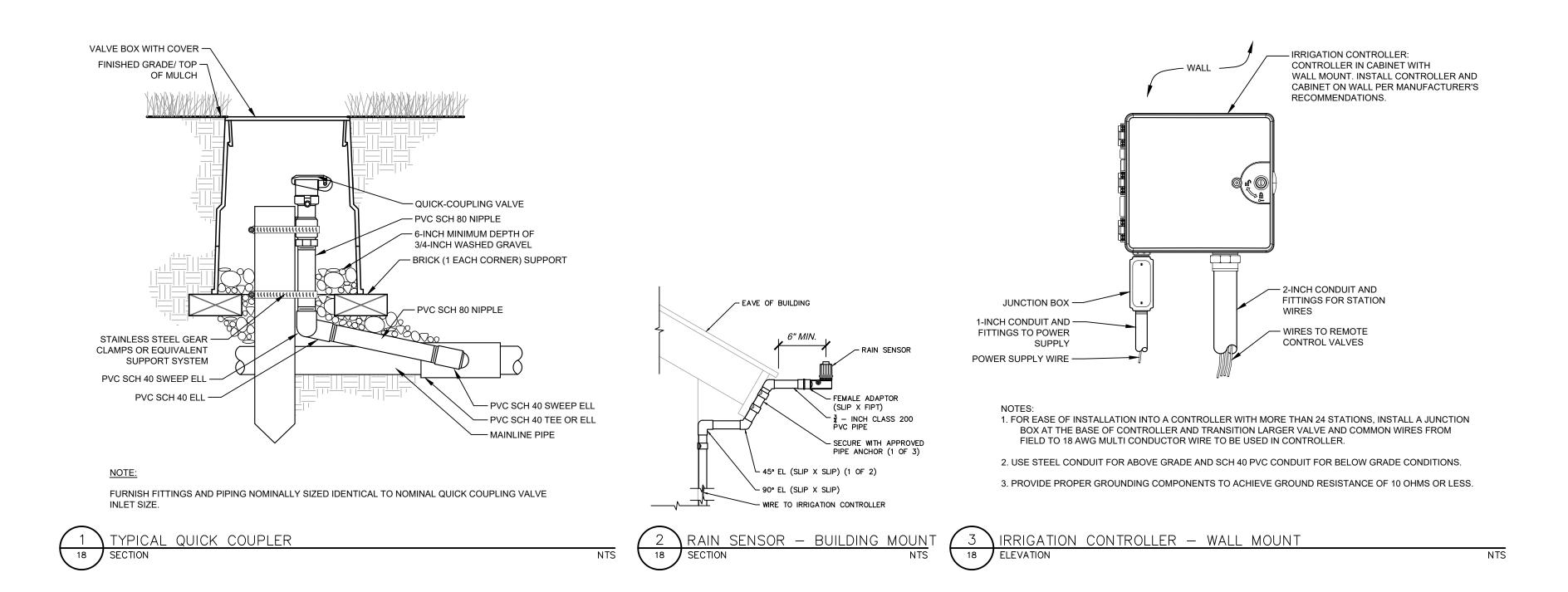
CONCRETE CURB WHERE APPLICABLE HARDSCAPE BASE -END OF END OF SLEEVE SHARED SLEEVE, WHERE -APPLICABLE WITH LATERALS & MAINLINE ALL WIRING IS SEPARATE -CONDUIT

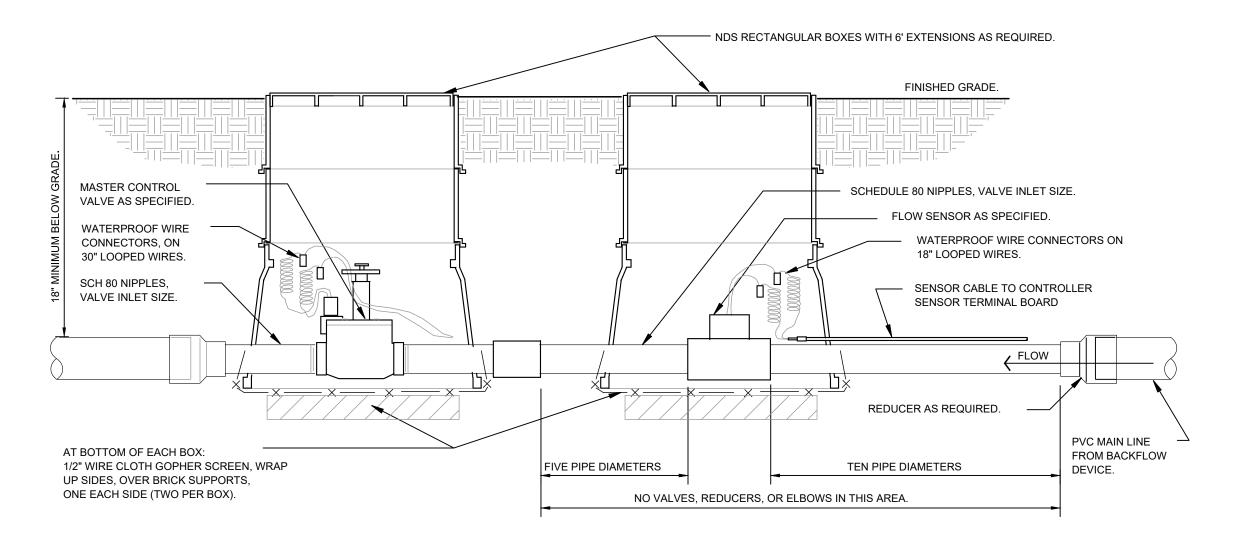
1. COIL AN ADDITIONAL 3-FEET OF TWO-WIRE CABLE IN VALVE BOX FOR EASY SERVICING.

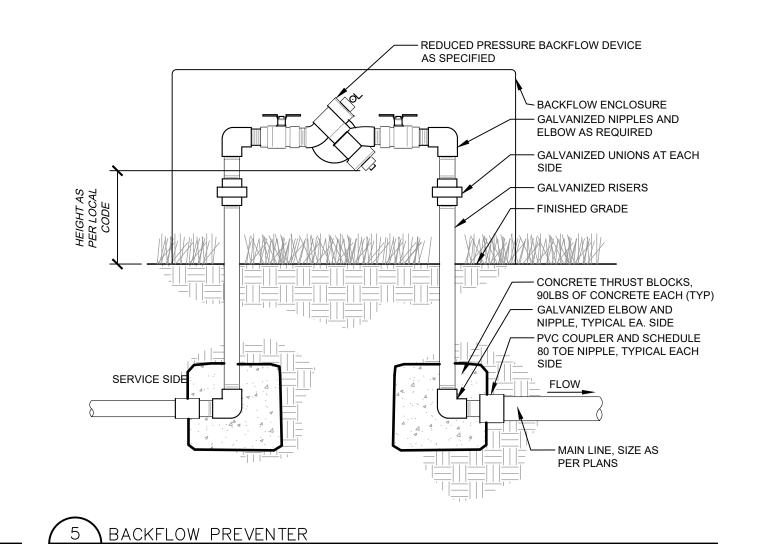
PRELIMINARY

PROJECT NO. DRAWING NAME

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO







MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY

CITY OF LONE TREE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

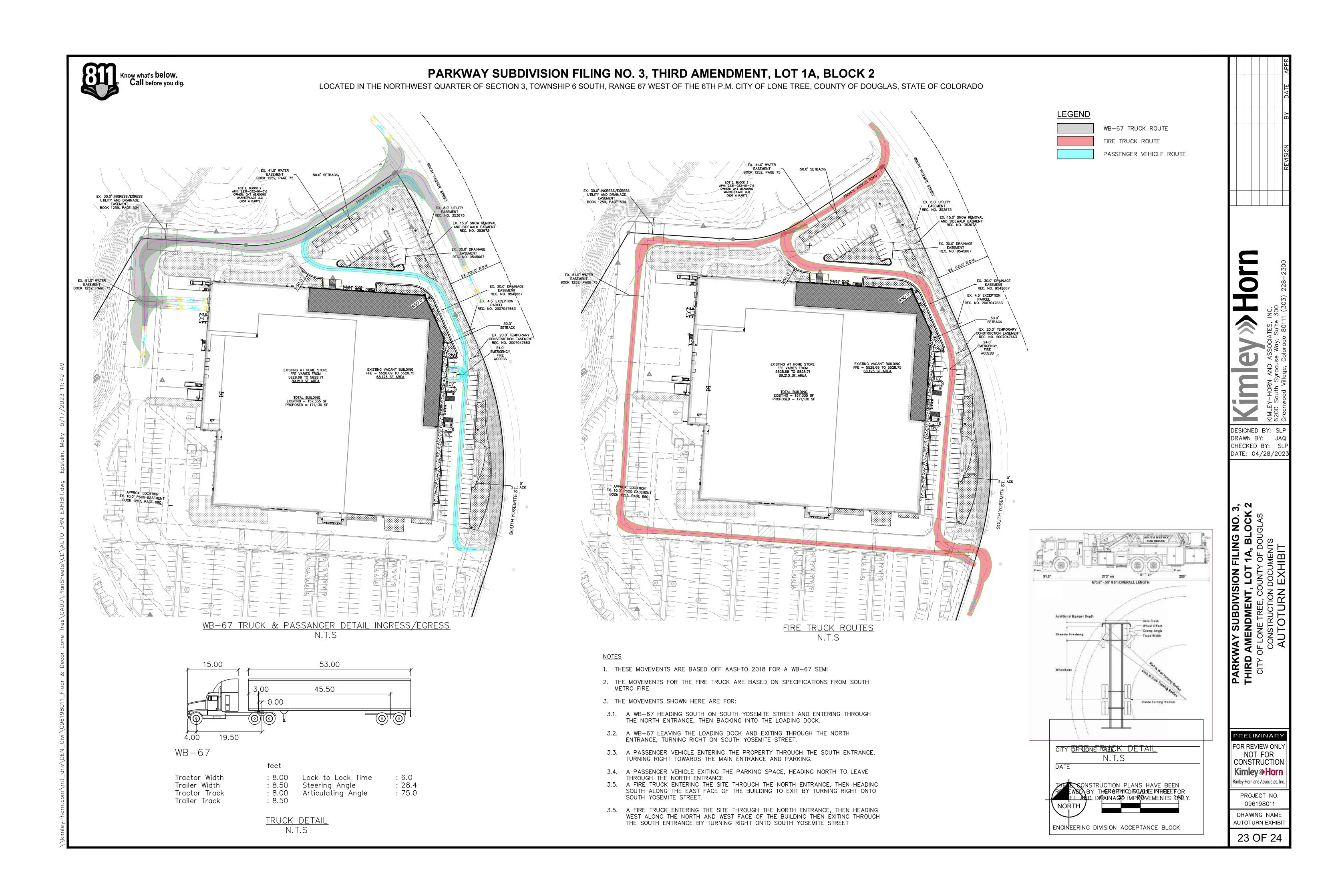
PRELIMINARY FOR REVIEW ONL' CONSTRUCTION Kimley » Horn

DESIGNED BY: JN DRAWN BY: JN CHECKED BY: EJ DATE: 04/28/202

> PROJECT NO. 096198011

Kimley-Horn and Associates, Inc

DRAWING NAME D96198011_IR.DW





LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

- 1. THE GRADING, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PLACED IN THE CITY OF LONE TREE FILE FOR THIS PROJECT AND APPEARS TO FULFILL APPLICABLE LONE TREE GRADING, EROSION AND SEDIMENT CONTROL CRITERIA, AS AMENDED. ADDITIONAL GRADING, EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE PERMITTEES DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE PERMITTEES, UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED OR VOIDED.
- 2. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY (SIGNED BY BOTH DESIGN ENGINEER AND CITY OF LONE TREE) OF THE CONSTRUCTION PLANS AND GESC REPORT AND PLAN, AND ONE (1) COPY OF THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AT THE JOB SITE AT ALL TIMES.

PLAN PREPARER SIGNATURE BLOCK

THE GRADING, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING, EROSION, AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL OF DOUGLAS COUNTY AS AMENDED.

SHANNON PETERSEN, PE #59369 - KIMLEY-HORN AND ASSOCIATES. INC.

GRADING, EROSION, AND SEDIMENT CONTROL (GESC) GENERAL NOTES

- THE CITY OF LONE TREE ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY OF LONE TREE PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL COMPLIANCE WITH THE CITY OF LONE TREE SUBDIVISION REGULATIONS AND/OR THE GRADING, EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL. THE CITY OF LONE TREE ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS.
- THE ADEQUACY OF THIS GESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER.
- THE GESC PLAN SHALL BE CONSIDERED VALID FOR TWO (2) YEARS FROM THE DATE OF ACCEPTANCE BY THE CITY OF LONE TREE, AFTER WHICH TIME THE PLAN SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LONE TREE.
- 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LONE TREE ENGINEERING DIVISION. THE CITY OF LONE TREE RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND
- THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ACCORDANCE WITH THE CITY OF LONE TREE - ACCEPTED GESC PLAN AND THE CITY OF LONE TREE GESC MANUAL.
- ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMPs FROM THE CITY OF LONE TREE - ACCEPTED GESC PLAN WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE
- AFTER THE GESC PLAN HAS BEEN ACCEPTED, THE GESC PERMIT APPLIED FOR, FEES AND FISCAL SECURITY SUBMITTED TO THE CITY, AND THE GESC FIELD MANUAL OBTAINED AND REVIEWED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs INDICATED ON THE ACCEPTED GESC PLAN.
- 8. THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM
- AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPs, THE PERMITTEE SHALL CALL THE CITY OF LONE TREE CONSTRUCTION INSPECTOR AT (303) 662-8112 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE REQUESTED MEETING TIME. NO CONSTRUCTION ACTIVITIES SHALL BE PLANNED WITHIN 24 HOURS AFTER THE PRECONSTRUCTION MEETING.
- 10. THE OWNER OR OWNER'S REPRESENTATIVE, THE GESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING, OR IF THE GESC FIELD MANUAL IS NOT ON SITE, OR IF THE INSTALLATION OF THE INITIAL BMPs ARE NOT APPROVED BY THE CITY OF LONE TREE GESC INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE START OF CONSTRUCTION. THE CITY OF LONE TREE STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING. FAILURE OF THE ENGINEER OF RECORD TO ATTEND MAY RESULT IN A DELAY OF THE START OF CONSTRUCTION.
- 11. CONSTRUCTION SHALL NOT BEGIN UNTIL THE CITY OF LONE TREE GESC INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMPs AND THE APPROVED GESC PERMIT IS PICKED UP FROM THE CITY AND IS IN-HAND ON THE SITE. THE COMPLETED PERMIT WILL BE AVAILABLE WITHIN 24-HOURS AFTER THE INSTALLATION OF THE INITIAL BMPs ARE
- 12. THE GESC MANAGER SHALL STRICTLY ADHERE TO THE CITY OF LONE TREE-APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE CITY OF LONE TREE ENGINEERING DIVISION MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
- 13. THE MAXIMUM AREA OF CONSTRUCTION SHALL BE LIMITED TO 40 ACRES (70 ACRES IF APPROVED FOR SOIL MITIGATION OPERATIONS) TO REDUCE THE AMOUNT OF LAND DISTURBED AT ANY ONE TIME. LARGER SITES SHALL BE DIVIDED INTO PHASES THAT ARE EACH 40 (OR 70) ACRES OR LESS IN SIZE. THESE PROJECTS SHALL CONDUCT GRADING ACTIVITIES IN ACCORDANCE WITH THE ACCEPTED GESC PLAN. BMP INSTALLATION AND APPROVAL BY THE CITY OF LONE TREE AT THE START AND COMPLETION OF EACH PHASE SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GESC MANUAL AND/OR GESC FIELD MANUAL.
- 14. PRIOR TO ACTUAL CONSTRUCTION, THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES. FOR INFORMATION, CONTACT THE DENVER INTER-UTILITY GROUP AT 1-800-922-1987 OR FAX AT (303) 534-6700.
- 15. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
- 16. THE GESC PERMIT SHALL BE VALID FOR A PERIOD OF ONE (1) YEAR, UNLESS EXTENDED.
- 17. A COPY OF THE GESC PERMIT, ACCEPTED GESC PLANS AND THE GESC FIELD MANUAL SHALL BE ON SITE AT ALL
- 18. THE GESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE GESC PERMIT AND SHALL BE THE PERMITTEE'S CONTACT PERSON WITH THE CITY FOR ALL MATTERS PERTAINING TO THE GESC PERMIT. THE GESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER. IN THE EVENT THAT THE CONTRACTOR'S GESC MANAGER IS NOT ON SITE AND CANNOT BE REACHED DURING A VIOLATION, THE ALTERNATE GESC MANAGER SHALL BE CONTACTED. IF NEITHER THE GESC MANAGER NOR ALTERNATE GESC MANAGER CAN BE CONTACTED DURING ANY VIOLATION, A STOP WORK ORDER SHALL BE ISSUED.
- 19. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE CITY OF LONE TREE-APPROVED ACCESS POINT. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL ACCESS POINTS ON THE SITE. ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE CITY OF LONE TREE
- 20. THE GESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS. PAVED AREAS INCLUDING STREETS ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED, WITH A STREET SWEEPER OR SIMILAR DEVICE, AT FIRST NOTICE OF ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE CITY OF LONE TREE GESC INSPECTOR. STREET WASHING IS NOT ALLOWED. THE CITY OF LONE TREE RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS.

- APPROVED EROSION AND SEDIMENT CONTROL BMPS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE GESC MANAGER SHALL INSPECT ALL BMPS IN ACCORDANCE WITH THE ACCEPTED GESC PLAN AND GESC MANUAL. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED WITHIN 48 HOURS FOR LEVEL III VIOLATIONS, AND IMMEDIATELY FOR LEVEL II VIOLATIONS, OR AS DIRECTED BY A CITY OF LONE TREE GESC INSPECTOR. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED.
- 22. STRAW BALES ARE NOT A GESC-ACCEPTED SEDIMENT CONTROL BMP.
- 23. TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN THE LOCATION SHOWN ON THE ACCEPTED GESC PLAN. THE GESC MANAGER SHALL SCHEDULE AN INSPECTION WITH THE CITY OF LONE TREE GESC INSPECTOR AS SOON AS TOPSOIL STRIPPING IS COMPLETED. FAILURE TO SCHEDULE SUCH INSPECTION OR FAILURE TO STOCKPILE TOPSOIL SHALL RESULT IN ISSUANCE OF A STOP WORK ORDER. THE STOP WORK ORDER SHALL REMAIN IN PLACE UNTIL TOPSOIL IS STOCKPILED ON SITE OR APPROPRIATE SOIL AMENDMENTS ARE STOCKPILED ON SITE.
- 24. THE ACCEPTED GESC PLAN MAY REQUIRE CHANGES OR ALTERATIONS AFTER APPROVAL TO MEET CHANGING SITE OR PROJECT CONDITIONS OR TO ADDRESS INEFFICIENCIES IN DESIGN OR INSTALLATION. THE GESC MANAGER SHALL OBTAIN PRIOR APPROVAL FROM THE DESIGN ENGINEER AND THE CITY OF LONE TREE ENGINEERING FOR ANY
- 25. LINING OF TEMPORARY SWALES AND DITCHES SHALL BE IN ACCORDANCE WITH THE GESC CRITERIA MANUAL.
- 26. NO PERMANENT EARTH SLOPES GREATER THAN 3:1 SHALL BE ALLOWED.
- 27. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE GESC MANAGER, THE GESC MANAGER SHALL BE HELD RESPONSIBLE FOR OBTAINING ACCESS RIGHTS TO ADJACENT PROPERTY, IF NEEDED, AND REMEDIATING ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- 28. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- 29. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION, NO STOCKPILES SHALL BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGE WAY UNLESS APPROVED BY THE CITY OF LONE TREE ENGINEERING DIVISION.
- 30. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS WHICH MAY ENTER WATERS OF THE STATE OF COLORADO. WHICH NCLUDE BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER AND DRY GULLIES OR STORM SEWER LEADING O SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE CDPHE PER CRS 25-8-601, AND THE CITY OF LONE TREE. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AS WELL AS THE CDPHE. THE APPLICABLE CONTACT INFORMATION (SEE APPENDIX A, DOUGLAS COUNTY GESC MANUAL - SUBJECT TO CHANGE) IS: COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT TOLL-FREE 24-HOUR ENVIRONMENTAL EMERGENCY SPILL REPORTING LINE 1-877-518-5608; NATIONAL RESPONSE CENTER (24-HOUR NATIONAL SPILL RESPONSE) 1-800-424-8802; CITY OF LONE TREE PUBLIC WORKS (303) 662-8112. SPILLS THAT POSE AN IMMEDIATE RISK TO HUMAN LIFÉ SHALL BE REPORTED TO 911. FAILURE TÓ REPORT AND CLEAN UP ANY SPILL SHALL RESULT IN ISSUANCE OF A STOP WORK ORDER.
- ALL WORK ON SITE SHALL STAY A MINIMUM OF ONE HUNDRED (100) FEET AWAY FROM ANY DRAINAGE WAY, WETLAND, ETC. UNLESS OTHERWISE NOTED ON AN ACCEPTED CITY OF LONE TREE GESC PLAN.
- 32. ALL PROJECTS SHALL BALANCE EARTHWORK QUANTITIES ON SITE. IN THE EVENT A VARIANCE IS GRANTED BY THE CITY ENGINEER TO ALLOW IMPORT OR EXPORT OF MATERIAL, THE PERMITEE SHALL HAVE A GESC PERMIT IN HAND FOR THE IMPORT OR EXPORT SITE PRIOR TO ANY TRANSPORTING OF EARTHEN MATERIAL. THE GESC MANAGER SHALL NOTIFY THE CITY OF LONE TREE GESC INSPECTOR OF THE LOCATION AND GESC PERMIT NUMBERS OF BOTH THE EXPORTING AND IMPORTING SITES PRIOR TO ANY IMPORT/EXPORT OPERATIONS.
- 33. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING OR SUPPORT OF ANY EROSION OR SEDIMENT CONTROL BMP IS PROHIBITED (EXCEPT STEEL TEE-POSTS FOR USE IN SUPPORTING CONSTRUCTION
- THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED CONCRETE WASH OUT LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED, ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED AT AN APPROPRIATE LOCATION.
- 35. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH A CITY OF LONE TREE GESC INSPECTOR AND BE FREE OF SEDIMENT IN ACCORDANCE WITH THE GESC CRITERIA MANUAL.
- 36. ALL PERMANENT INSTALLATIONS OF PIPES FOR STORM SEWERS, SLOPE DRAINS, AND CULVERTS. TOGETHER WITH RIPRAP APRONS OR OTHER INLET AND OUTLET PROTECTION, REQUIRE INSPECTION BY THE CITY OF LONE TREE ENGINEERING (SEPARATE FROM GESC INSPECTIONS).
- 37. ALL DISTURBED AREAS SHALL BE DRILL SEEDED AND CRIMP MULCHED IN ACCORDANCE WITH THE DOUGLAS COUNTY GESC MANUAL CRITERIA AND THE CITY OF LONE TREE SEEDING AND MULCHING DETAIL (#17) INCLUDED HEREIN WITHIN THIRTY DAYS OF INITIAL EXPOSURE OR WITHIN SEVEN DAYS OF SUBSTANTIAL COMPLETION (AS DEFINED BY THE CITY OF LONE TREE) OF AN AREA, WHICHEVER IS LESS. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS FOR
- 38. HYDRAULIC SEEDING AND HYDRAULIC MULCHING ARE NOT AN ACCEPTABLE METHOD OF SEEDING OR MULCHING IN THE CITY OF LONE TREE.
- 39. NO CURB AND GUTTER PERMITS SHALL BE ISSUED UNTIL ALL DISTURBED AREAS ARE DRILL SEEDED AND CRIMP
- 40. NO PAVING PERMITS SHALL BE ISSUED UNTIL ALL INTERIM INLET PROTECTION IS INSTALLED AND APPROVED BY THE
- 41. A FINAL GESC INSPECTION SHALL BE CONDUCTED A MINIMUM OF TWO WEEKS PRIOR TO THE ANTICIPATED REQUEST FOR CERTIFICATE OR TEMPORARY CERTIFICATE OF OCCUPANCY OR INITIAL ACCEPTANCE.

<u>NO.</u> 84034034034034 (1) \triangle ____ _ _ __ (DW) (2) (ECB) 2 2 (SM)(SSA) 20 (SR) \sim 22 (3) (TSC) (TER) (3) 25 (3) /B\ 26

BMP LEGEND (CD) CHECK DAM (CB) COMPOST BLANKET (CFB) COMPOST FILTER BERM (CWA) CONCRETE WASHOUT AREA (CF) CONSTRUCTION FENCE (CM) CONSTRUCTION MARKERS DEWATERING (DD) DIVERSION DITCH EROSION CONTROL BLANKET (IP) INLET PROTECTION (RCD) REINFORCED CHECK DAM (RRB) REINFORCED ROCK BERM (RRC) RRB FOR CULVERT PROTECTION (SB) SEDIMENT BASIN DRAWN BY: JA CHECKED BY: SL (SCL) SEDIMENT CONTROL LOG DATE: 04/28/202 (ST) SEDIMENT TRAP SEEDING AND MULCHING (SF) SILT FENCE STABILIZED STAGING AREA SURFACE ROUGHENING (TSD) TEMPORARY SLOPE DRAIN O. A TEMPORARY STREAM CROSSING TERRACING PARKWAY SUBDIVISION FILING N
THIRD AMENDMENT, LOT 1A, BLO
CITY OF LONE TREE, COUNTY OF DOUGL
CONSTRUCTION DOCUMENTS
GESC NOTES (VTC) VEHICLE TRACKING CONTROL (WW) VTC WITH WHEEL WASH (CS) CURB SOCK ROCK AND RIPRAP GRADATIONS LOC LIMITS OF CONSTRUCTION

CITY OF LONE TREE

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PRELIMINARY FOR REVIEW ONL' NOT FOR CONSTRUCTION Kimley » Horn

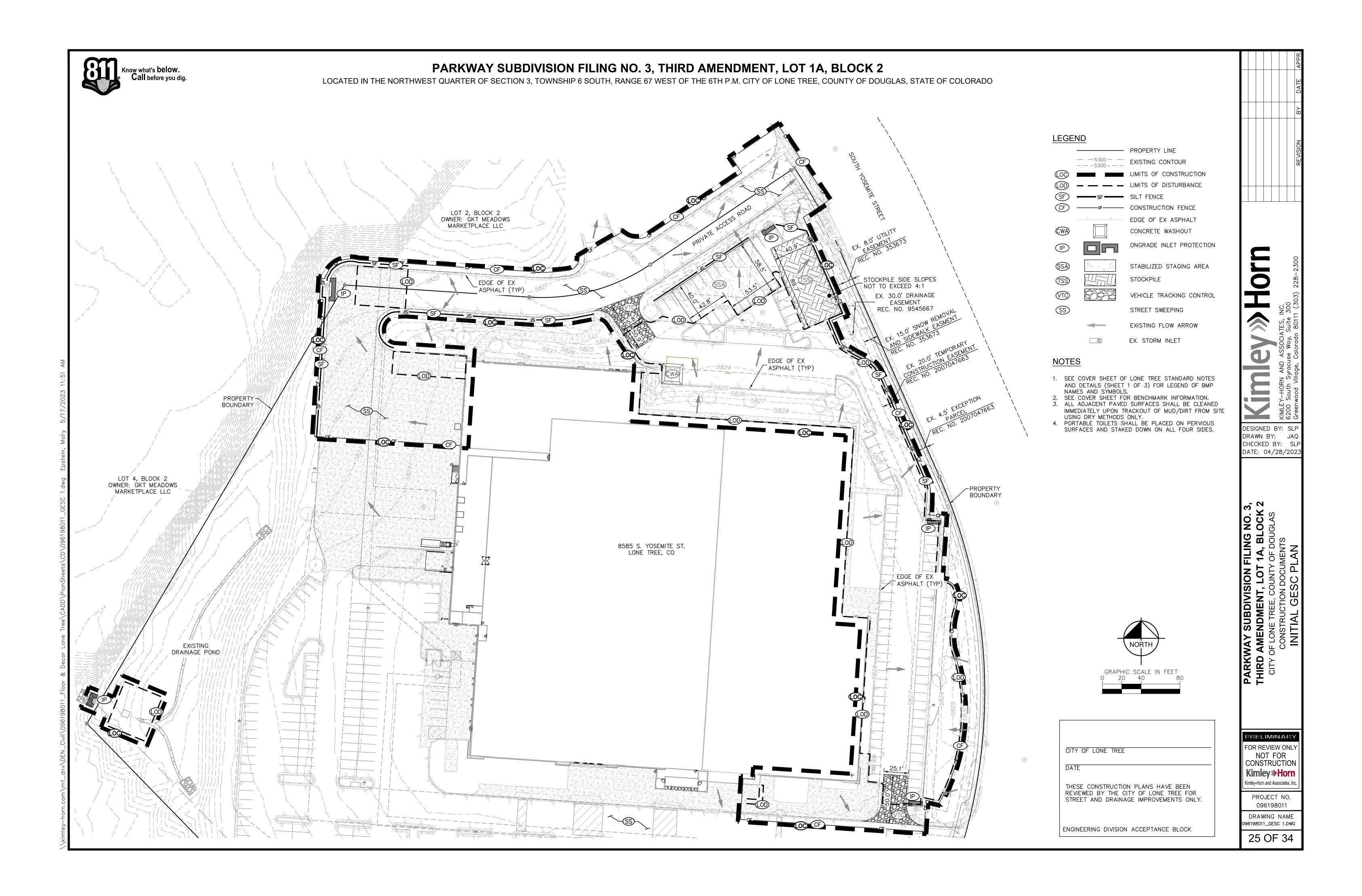
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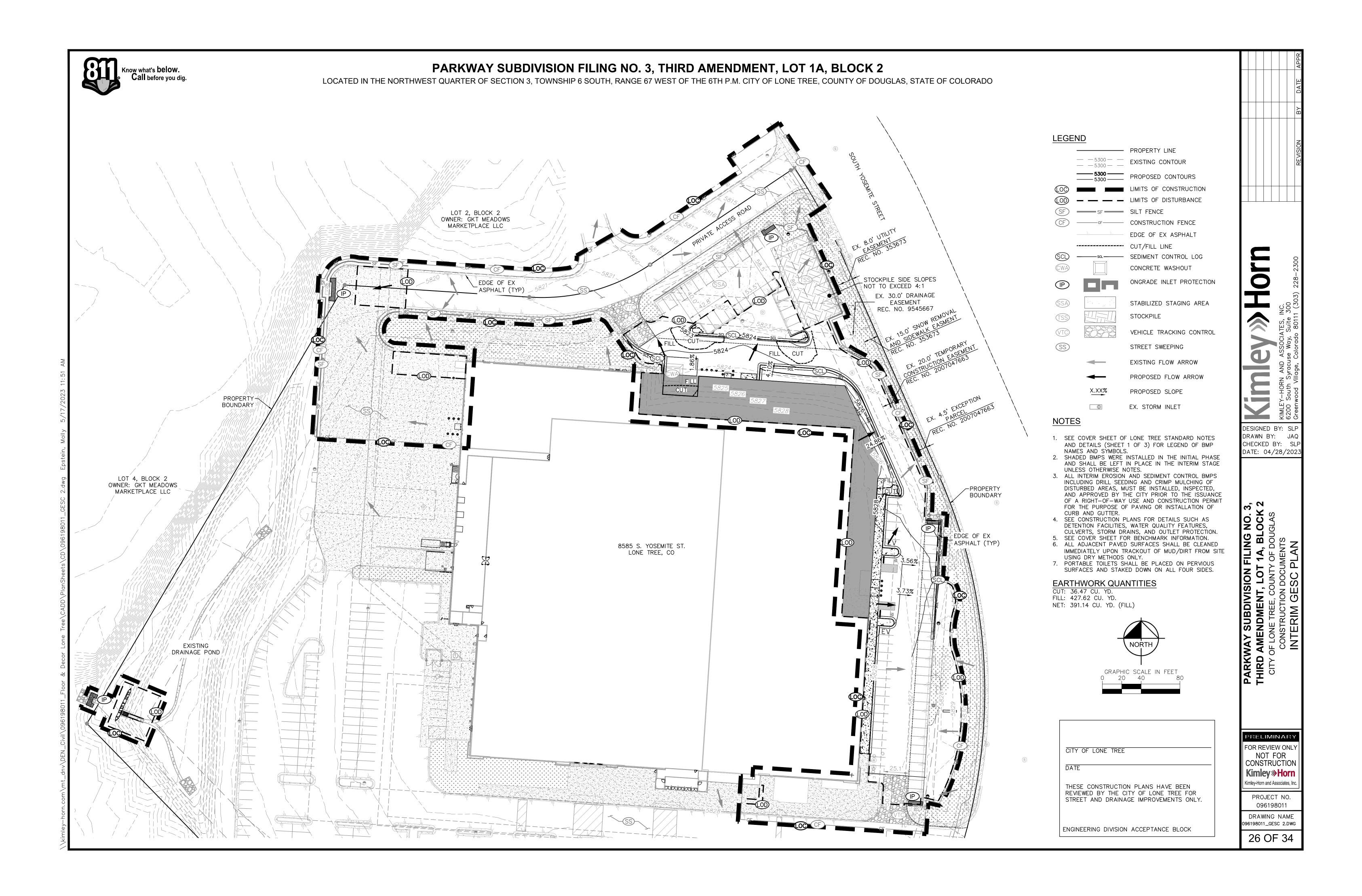
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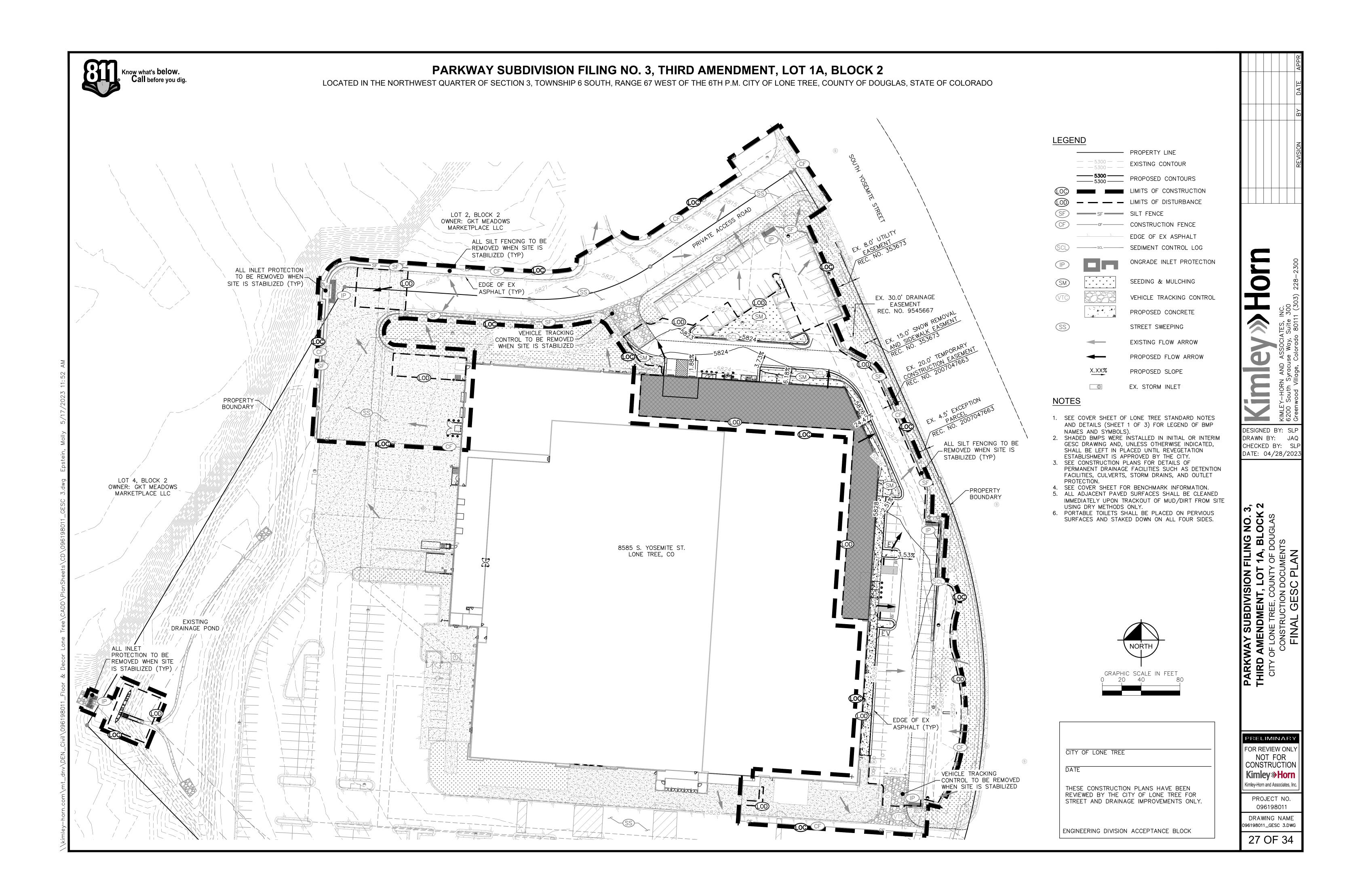
PROJECT NO. 096198011 DRAWING NAME

Kimley-Horn and Associates, Inc

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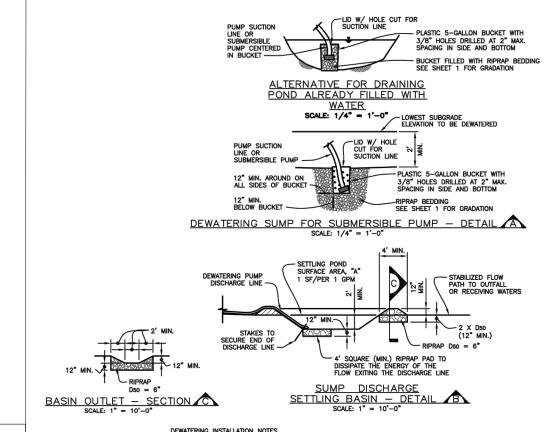








LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



4. A 4' SQUARE (MIN) RIPRAP PAD SHALL BE PLACED AT DISCHARGE POINT. 5. THE DISCHARGE END OF THE LINE SHALL BE STAKED IN PLACES TO PREVENT MOVEMENT OF RIPRAP PAD.

 THE GESC MANAGER SHALL INSPECT DEWATERING SYSTEMS AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A HOURLY BASIS. TEMPORARY SETTLING BASINS SHALL BE REMOVED WHEN NO LONGER NEEDED FOR DEWATERING OPERATIONS. ANY DISTURBED AREA SHALL BE DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY.

DW DEWATERING (7) A

STOP SIGN PER MUTCD STANDARDS - CONSTRUCTION FENCE, TYP., TO DISCOURAGE VEHICLE ACCESS EXCEPT AT VTC

 $\frac{PLAN}{SCALE: 1" = 20'-0"}$ MIN. 10% MAX. 12" MIN. 12" MIN - NO MATERIAL INCLUDING WOOD, PIPES, GRAVEL,
OR ASPHALT, SHALL BE PLACED IN GUTTER TO
FACILITATE MOUNTING CURB; HOWEVER, CURB
MAY BE CUT DOWN TO A HEIGHT OF 2" OR
HIGHER FOR EASIER ACCESS AND REPLACED
AT PROJECT COMPLETION: ISSUANCE OF A
CITY OF LONE TREE RIGHT-OF-WAY USE AND
CONSTRUCTION PERMIT IS REQUIRED; CITY OF
LONE TREE TEMPORARY CONSTRUCTION
ACCESS PERMIT IS REQUIRED FOR ALL VTCS

<u>SECTION</u> A SCALE: 1/4" = 1'-0" VEHICLE TRACKING CONTROL INSTALLATION NOTES VEHICLE TRACKING CONTROL PADS SHALL BE INSTALLED AT EVERY ACCESS POINT TO SITE.

2. VEHICLE TRACKING CONTROL PADS SHALL CONSIST OF HARD, DENSE, DURABLE STONE, ANGULAR IN SHAPE AND RESISTANT TO WEATHERING. ROUNDED STONE OR BOULDERS WILL NOT BE ACCEPTABLE. THE STONES SHALL BE 3" WITH A MAXIMUM SIZE OF 6". THE STONE SHALL HAVE A SPECIFIC GRAVITY OF AT LEAST 2.6. CONTROL OF GRADATION WILL BE BY VISUAL INSPECTIONS. 3. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE VTC STONE TO HELP MINIMIZE MIGRATION OF THE STONE INTO THE UNDERLYING MATERIAL.

4. ANY CRACKED OR DAMAGED CURB AND GUTTER AND SIDEWALK SHALL BE REPLACED BY PERMITTEE. 5. A CITY OF LONE TREE TEMPORARY CONSTRUCTION ACCESS PERMIT IS REQUIRED FOR EACH ACCESS/EXIT POINT FROM THE SITE.

 A STOP SIGN INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS AMENDED, SHALL BE INSTALLED FOR EXITING TRAFFIC AT THE VTC. VEHICLE TRACKING CONTROL MAINTENANCE NOTES

1. GESC MANAGER SHALL INSPECT VEHICLE TRACKING CONTROL PADS DAILY.
ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM PAD SURFACE. STONE SURFACE SHALL BE CLEAN AND LOOSE ENOUGH TO RUY SUJETLY UNDER WHEEL LOADS SUFFICIENTLY TO CAUSE LOOSE GRAVEL TO DISLODGE MUD/SEDIMENT FROM VEHICLE TIRES. WHEN STONE BECOMES COMPACTED AND/OR FILLED WITH SEDIMENT SO THAT THE FFFECTIVENESS OF THE PAD IS DIMINISHED, CONTRACTOR SHALL RIP, TURN OVER, OR OTHERWISE LOOSEN THE STONE, PLACE ADDITIONAL NEW STONE, OR REPLACE STONE AS NECESSARY TO RESTORE EFFECTIVENESS.

VTC VEHICLE TRACKING CONTROL 24

CITY OF LONE TREE

THESE CONSTRUCTION PLANS HAVE BEEN

SEEDING AND MULCHING INSTALLATION NOTES

3. MULCH SHALL BE APPLIED WITHIN 24-HOURS OF SEEDING.

REQUIRED COVERAGE FOR STANDARD, OPEN SPACE AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:

THREE (3) PLANTS PER SQUARE FOOT WITH A MINIMUM HEIGHT OF 3 INCHES THE 3 PLANTS PER SQUARE FOOT SHALL BE OF THE VARIETY AND SPECIES FOUND IN THE CITY OF LONE TREE—APPROVED MIX. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).

 FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4
OF THE GESC CRITERIA MANUAL. 3. REQUIRED COVERAGE FOR TURF GRASS AREAS SHALL BE DEFINED AS FOLLOWS:

1. AT LEAST 80% VEGETATIVE COVER OF GRASS SPECIES PLANTED. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).

3. FREE OF ERODED AREAS.

FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4
OF THE GESC CRITERIA MANUAL.

RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY THE CITY.

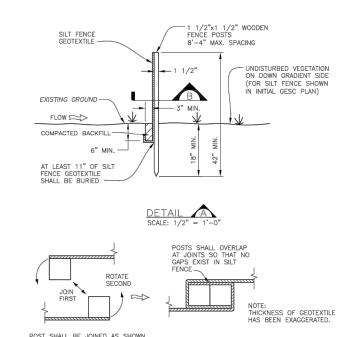


			TOTAL	9.2
CITY OF	LONE TREE TEMP	ORARY D	RILL SEEDIN	NG MIX
SPECIES	VARIETY	NOTES	% IN MIX	POUNDS OF PL PER ACRE
MOOTH BROMEGRASS	LINCOLN	PICS	30	3.9
INTERMEDIATE WHEATGRASS	OAHE	PICS	30	4.5
PUBESCENT WHEATGRASS	LUNA	PICS	30	4.2
ANNUAL RYEGRASS	N/A	AICB	10	0.8
			TOTAL	13.4

CITY OF LONE TREE LOW-GROWTH DRILL SEEDING MIX				
SPECIES	VARIETY	NOTES	% IN MIX	POUNDS OF PLS PER ACRE
BUFFALOGRASS	TEXOKA	PNWS	20	3.2
BLUE GRAMA	HACHITA	PNWB	20	0.6
WESTERN WHEATGRASS	ARRIBA	PNCS	20	3.2
SIDEOATS GRAMA	VAUGHN	PNWB	20	1.8
THICKSPIKE WHEATGRASS	CRITANA	PNCS	10	1
STREAMBANK WHEATGRASS	SODAR	PNCS	10	1.2
			TOTAL	11.0



EROSION CONTROL BLANKET INSTALLATION NOTES



JOINTS — SECTION B SCALE: N.T.S.

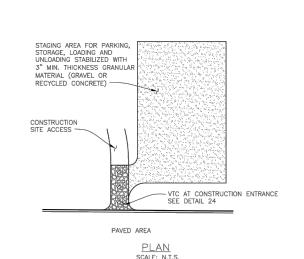
SILT FENCE INSTALLATION NOTES

 SEE PLAN VIEW FOR:
 LOCATION AND LENGTH OF FENCE. ANCHOR TRENCH SHALL BE EXCAVATED WITH TRENCHER, OR WITH SILT FENCE INSTALLATION
MACHINE; NO ROAD GRADERS, BACKHOES, ETC. SHALL BE USED. TRENCH SHALL BE COMPACTED
BY HAND, WITH "JUMPING JACK", OR BY WHEEL ROLLING, COMPACTION SHALL BE SUCH THAT SILT
FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND. 3. SILT FENCE GEOTEXTILE SHALL MEET THE FOLLOWING REQUIREMENTS:

 6-TO 12-GALLONS PER MINUTE PER SQUARE FOOT FLOW CAPACITY.
 90 LB. TENSILE STRENGTH PER ASTM D4622.
 UV DESIGN AT 500 HRS MIN. 70% STRENGTH RETAINED PER ASTM D 4355 SILT FENCE INDICATED ON INITIAL GESC PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES. SILT FENCE MAINTENANCE NOTES

 THE GESC MANAGER SHALL INSPECT SILT FENCE DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY. SEDIMENT ACCUMULATED UPSTREAM OF SILT FENCE SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT REACHES A DEPTH OF 6-INCHES.

SF SILT FENCE (18) SSA STABILIZED STAGING AREA 19 A



STABILIZED STAGING AREA INSTALLATION NOTES SEE PLAN VIEW FOR GENERAL LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH CITY APPROVAL.

STABILIZED STAGING AREA MAINTENANCE NOTES . THE GESC MANAGER SHALL INSPECT THE STABILIZED STAGING AREA WEEKLY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.

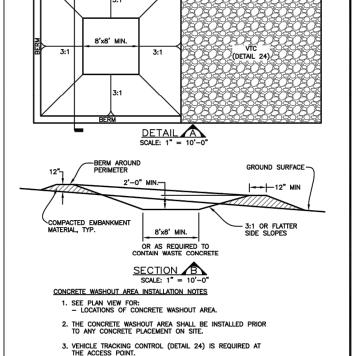
GESC MANAGER SHALL PROVIDE ADDITIONAL THICKNESS OF GRANULAR MATERIAL IF ANY RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

 STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING AND LOADING 4. ANY ACCUMULATED DIRT OR MUD SHALL BE REMOVED FROM THE SURFACE OF THE STABILIZED STAGING AREA. 5. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE CITY, USED ON SITE, AND THE AREA TOPSOILED, DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE

CONCRETE BLOCK WITH CAVITIES UP

<u>SECTION</u> A SCALE: 1/4" = 1'-0"

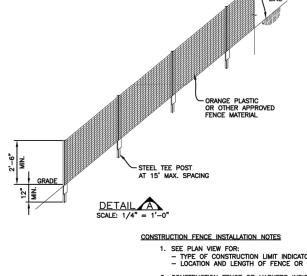
AREA INLET - PLAN SCALE: 1/4" = 1'-0"



CONCRETE WASHOUT AREA MAINTENANCE NOTES

 THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY.

4. INSPECT WEEKLY, DURING AND AFTER ANY STORM EVENT. CWA CONCRETE WASHOUT AREA (4)



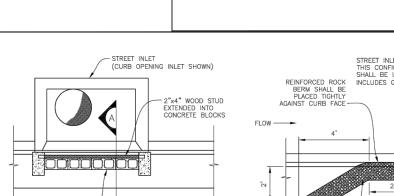
SEE PLAN VIEW FOR:
 TYPE OF CONSTRUCTION LIMIT INDICATOR (FENCE OR MARKERS).
 LOCATION AND LENGTH OF FENCE OR LINE OF MARKERS.

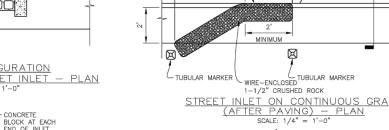
2. CONSTRUCTION FENCE OR MARKERS INDICATED ON INITIAL GESC PLAN SHALL BE INSTALLED PRIOR TO OTHER BMPS AND ANY LAND—DISTURBING ACTIVITIES. STEEL TEE POSTS SHALL BE UTILIZED FOR SUPPORT OF CONSTRUCTION FENCE. MAXIMUM SPACING FOR TEE POSTS SHALL BE 15'. CONSTRUCTION FENCE MAINTENANCE NOTES

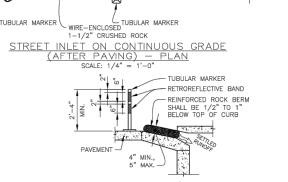
1. ANY DAMAGED FENCE OR MARKERS SHALL BE REPAIRED ON A DAILY BASIS. 2. FENCE OR MARKERS SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER FENCE REMOVAL, IT SHALL BE DRILL SEEDED AND CRIMF MULCHED OR OTHERWINS STABILIZED IN A MANNER APPROVED BY THE CITY.

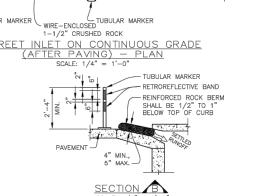
---- CF CONSTRUCTION FENCE 5

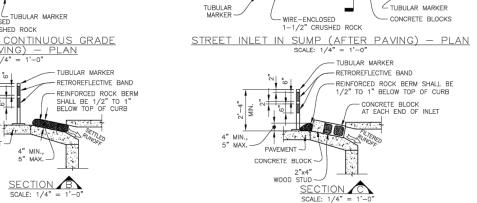
CM CONSTRUCTION MARKERS 6

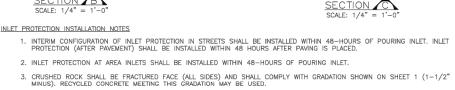












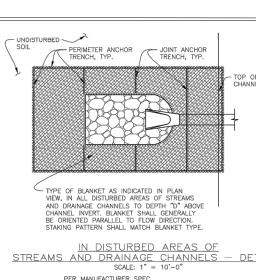
4. WIRE MESH SHALL BE FABRICATED OF 10 GAUGE WIRE TWISTED INTO A MESH WITH A MAXIMUM OPENING OF 1.0 INCH (COMMONLY TERMED "CHICKEN WIRE"). ROLL WIDTH SHALL BE 48-INCHES. 5. WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6-INCH CENTERS ALONG ALL JOINTS AND AT 2-INCH CENTERS ON ENDS OF BERM. 6. REINFORCED ROCK BERM SHALL BE CONSTRUCTED IN ONE PIECE OR SHALL BE CONSTRUCTED USING JOINT DETAIL. 7. TUBULAR MARKERS SHALL MEET REQUIREMENTS OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS AMENDED.

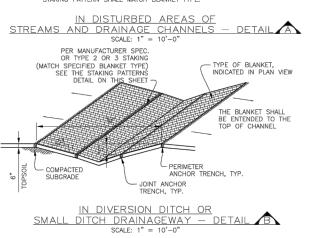
8. THE TOP OF REINFORCED ROCK BERM SHALL BE 1/2"-1" BELOW TOP OF CURB. INLET PROTECTION MAINTENANCE NOTES

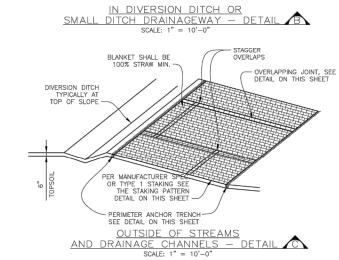
THE GESC MANAGER SHALL INSPECT INLET PROTECTION WEEKLY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT AS NECESSARY. MORE FREQUENT INSPECTIONS AND REPAIRS SHALL BE REQUIRED DURING WINTER CONDITIONS DUE TO FREEZE/THAW PROBLEMS.

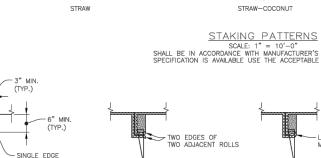
2. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED WHEN THE SEDIMENT DEPTH UPSTREAM OF ROCK BERM IS WITHIN 2-1/2 INCHES OF THE CREST. 3. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS APPROVED, UNLESS THE CITY APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.

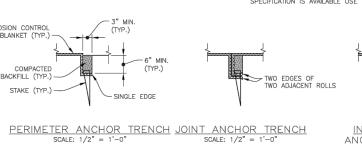
IP INLET PROTECTION (10)

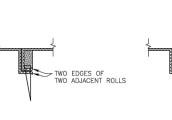


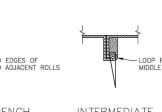


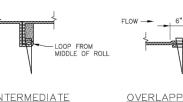


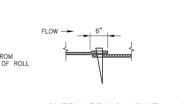


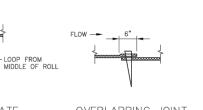




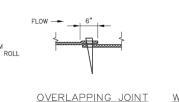


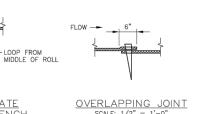


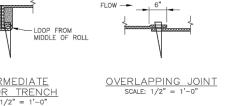




COCONUT OR EXCELSIOR







 SEE PLAN VIEW FOR:
 LOCATION OF PERIMETER OF EROSION CONTROL BLANKET,
 TYPE OF BLANKET (STRAW, STRAW-COCONUT, COCONUT, OR EXCELSIOR).
 AREA "A" IN SQUARE YARDS OF EACH TYPE OF BLANKET. ALL EROSION CONTROL BLANKETS AND NETTING SHALL BE MADE OF 100% NATURAL AND BIODEGRADABLE MATERIAL; NO PLASTIC OR OTHER SYNTHETIC MATERIAL, EVEN IF PHOTO DEGRADABLE, SHALL BE ALLOWED.

3. IN AREAS WHERE EROSION CONTROL BLANKET IS SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING BELOW THE BLANKET IN ACCORDANCE WITH THE REQUIREMENTS OF DETAIL 17, SEEDING AND MULCHING, SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO BLANKET INSTALLATION AND THE BLANKET SHALL BE IN FULL CONTACT WITH SUBGRADE, NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET. 4. PERIMETER ANCHOR TRENCH SHALL BE USED AT OUTSIDE PERIMETER OF ALL BLANKET AREAS.

 JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF BLANKETS TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL BLANKETS EXCEPT STRAW, WHICH MAY USE AN OVERLAPPING JOINT. 6. INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE—HALF THE ROLL LENGTH FOR COCONUT AND EXCELSIOR BLANKETS. 7. THE OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF BLANKETS TOGETHER FOR BLANKETS ON SLOPES.

8. MATERIAL SPECIFICATIONS OF EROSION CONTROL BLANKET SHALL CONFORM TO TABLE 7.1.

ROSION CONTROL BLANKET INSTALLATION NOTES - CONTINUED 9. ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING EROSION CONTROL BLANKET SHALL BE RESEEDED AND MULCHED IN ACCORDANCE WITH DETAIL 17. 10. SEE DRAINAGE DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION MEASURES THAT MAY EXCEED THE DESIGN CONDITIONS ASSOCIATED WITH THE DETAILS ABOVE.

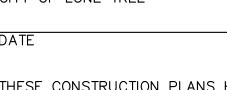
EROSION CONTROL BLANKET MAINTENANCE NOTES THE GESC MANAGER SHALL INSPECT EROSION CONTROL BLANKETS WEEKLY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS AS NECESSARY.

2. EROSION CONTROL BLANKET IS TO BE LEFT IN PLACE UNLESS REQUESTED TO BE REMOVED BY THE CITY. 3. ANY EROSION CONTROL BLANKET PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE RE—INSTALLED. ANY SUBGRADE AREAS BELOW THE BLANKET THAT HAVE ERODED TO CREATE A VOID UNDER THE BLANKET, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEEDED AND MULCHED AND THE EROSION CONTROL BLANKET REINSTALLED.

ECB EROSION CONTROL BLANKET 9

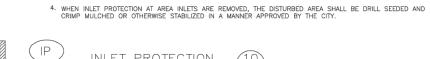


ANY GAP AT JOINT SHALL BE
FILLED WITH 1-1/2" CRUSHED
ROCK AND WRAPPED WITH
ADDITIONAL WIRE MESH
SECURED TO ENDS OF ROCK
REINFORCED BERM



REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



PROJECT NO. 096198011 DRAWING NAME

28 OF 34

PRELIMINARY

FOR REVIEW ONL'

NOT FOR

CONSTRUCTION

Kimley » Horn

Kimley-Horn and Associates, Inc

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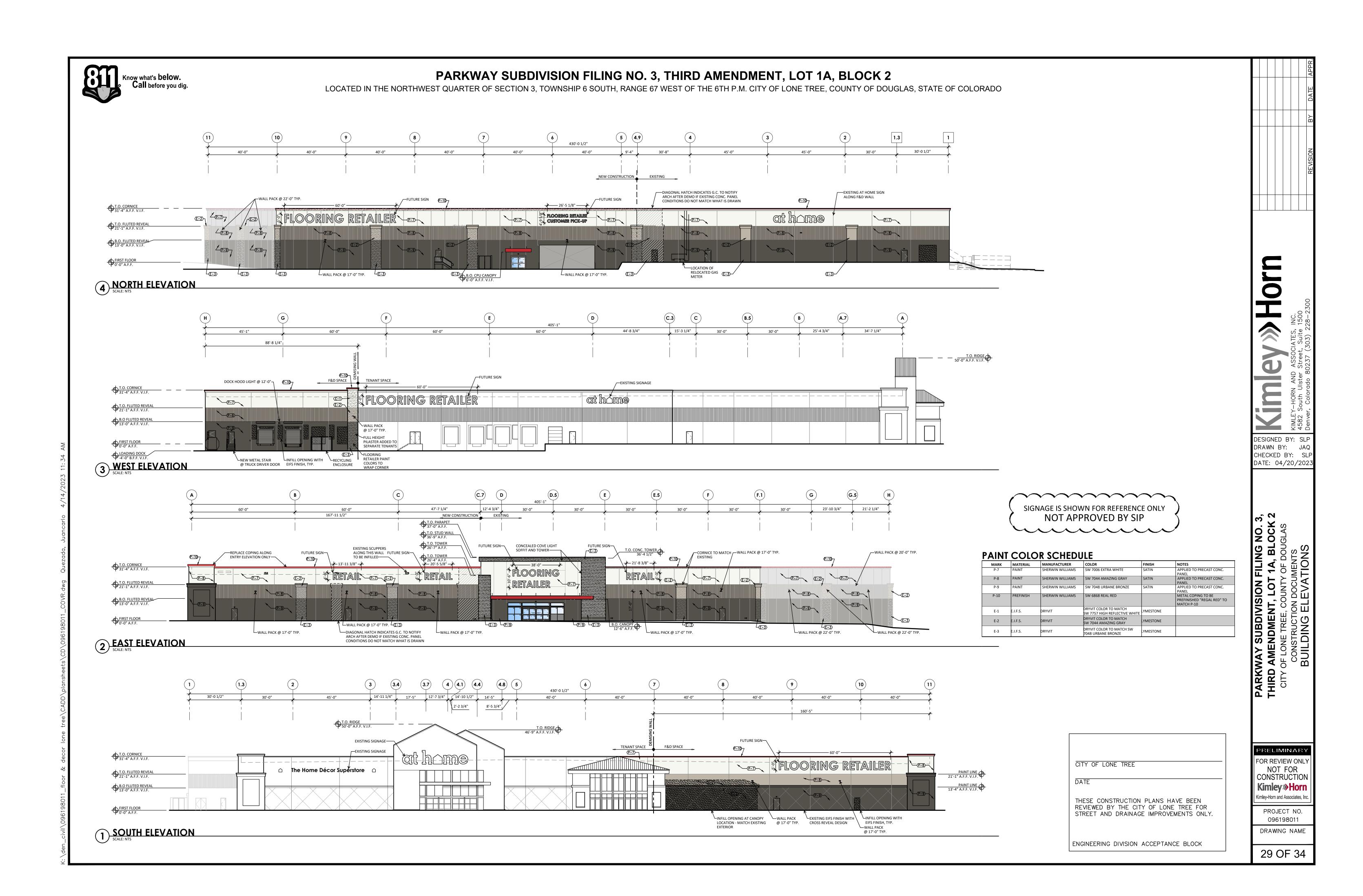
DESIGNED BY: SLP

DRAWN BY: JAC

DATE: 04/28/202

PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
GESC DETAILS

CHECKED BY: SLF





LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



EAST (FRONT ELEVATION)



SOUTH EAST FROM S YOSEMITE ST



EAST FROM S YOSEMITE ST



NORTH FROM S YOSEMITE ST

 $\sim\sim\sim\sim\sim\sim\sim$ SIGNAGE IS SHOWN FOR REFERENCE ONLY NOT APPROVED BY SIP

 $\sim\sim\sim\sim\sim\sim$ RENDERINGS DO NOT REFLECT ALL PROPOSED SITE IMPROVEMENTS

CITY OF LONE TREE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

DESIGNED BY: SLP DRAWN BY: JAQ CHECKED BY: SLF DATE: 04/28/202

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> PROJECT NO. 096198011

DRAWING NAME



LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

SHERWIN WILLIAMS PAINT COLORS

FINISH: CANOPIES AND MISC. METALS

P-7 SW 7006 EXTRA WHITE

P-10 SW 6868 REAL RED

P-8 SW 7044 AMAZING GREY

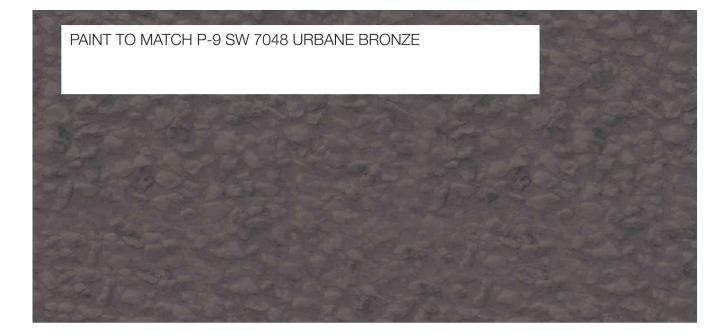
P-9 SW 7048 URBANE BRONZE

CONCRET PANEL

FINISH: CONCRETE PANEL FINISH





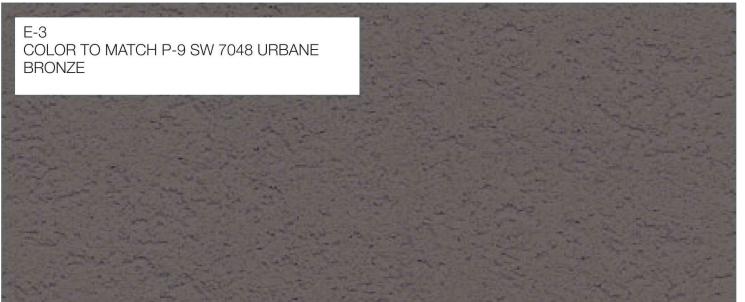


EIFS

FINISH: LYMESTONE DRYVIT OUTSULATION PLUS MD SYSTEM







CITY OF LONE TREE

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500

DATE: 04/28/202

AY SUBDIVISION FILING NO. 3, MENDMENT, LOT 1A, BLOCK 2 LONE TREE, COUNTY OF DOUGLAS ONSTRUCTION DOCUMENTS

FOR REVIEW ONLY

NOT FOR

CONSTRUCTION

Kimley Horn

Kimley-Horn and Associates, Inc.

PROJECT NO. 096198011 DRAWING NAME

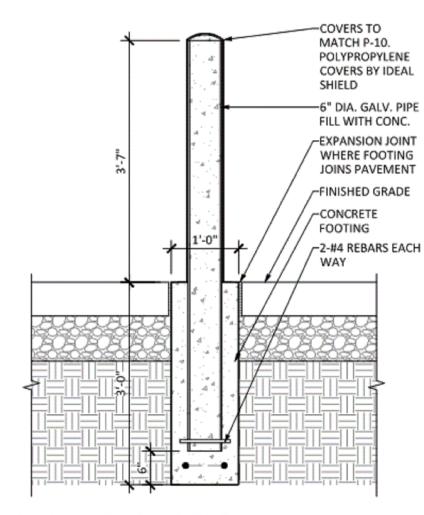
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K:\den_civil\096198011_floor & decor lone tree\CADD\plan

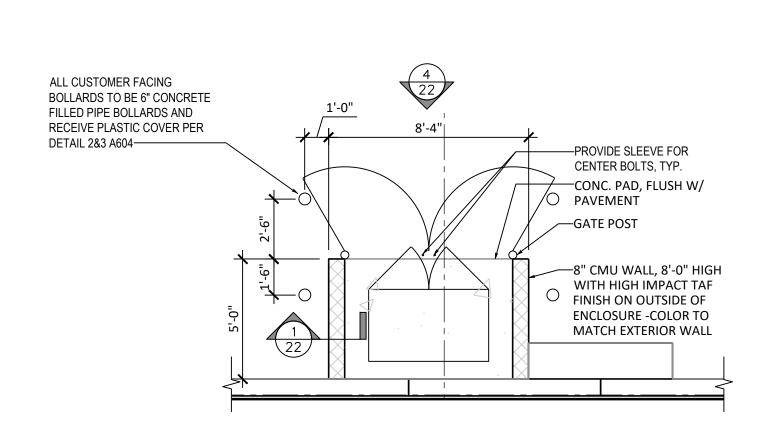
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

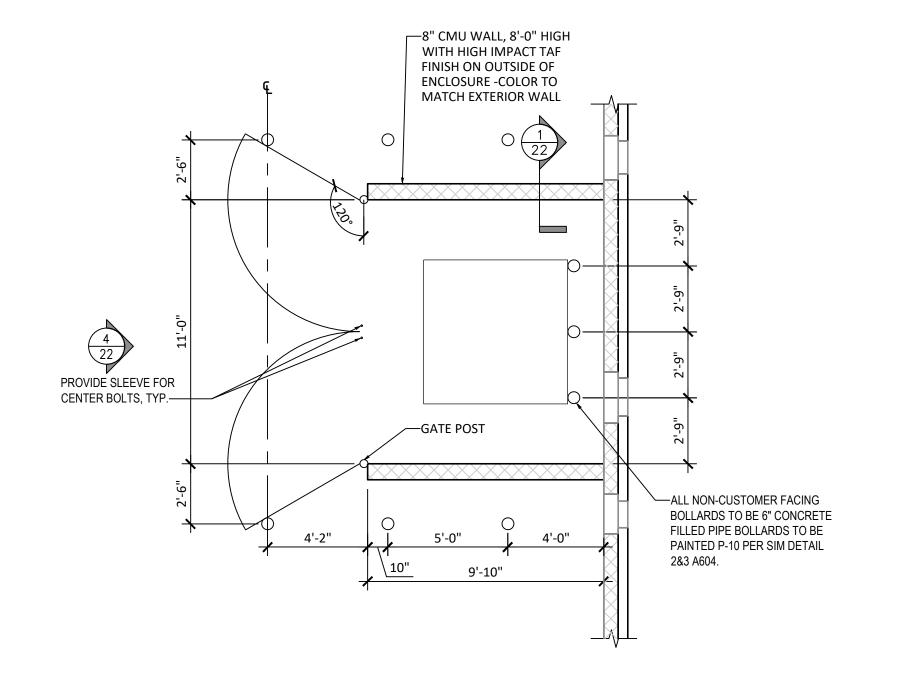
PER PLAN -TOP CAP PLATE-PAINT -2"X2"X1/4" ANGLE FRAME ALL AROUND WITH MITERED CORNERS PAINTED P-9 -1/4"X2" FLAT BAR **BRACING PAINTED P-9** RIBBED STEEL DECK SPOT WELDED TO ANGLE FRAME @2'-0" O.C. PER DOOR) W/SIS BALL BEARING & GREASE FITTING VERIFY LOAD CAPACITY (120" SWING AT RECYCLING STORAGE) —GATE POST: 4"X 4"X 1/4" HSS, PAINTED P-9, TYP. NOTES:
PAINT ALL METAL COLOR TO 48" MININMUM ─3/4" ø CANE BOLT(S) TO BE CONCRETE BURIAL SET IN 1 1/2" DEEP SLEEVE(S)

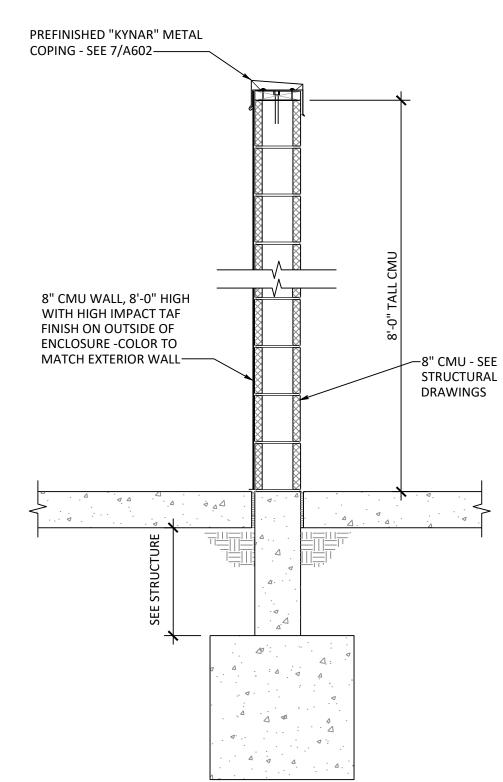
RECYCLING ENCLOSURE GATES



BOLLARD SECTION







STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

CITY OF LONE TREE

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DESIGNED BY: SLP DRAWN BY: JAC CHECKED BY: SL DATE: 04/28/202

PRELIMINARY FOR REVIEW ONLY CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

> PROJECT NO. 096198011 DRAWING NAME

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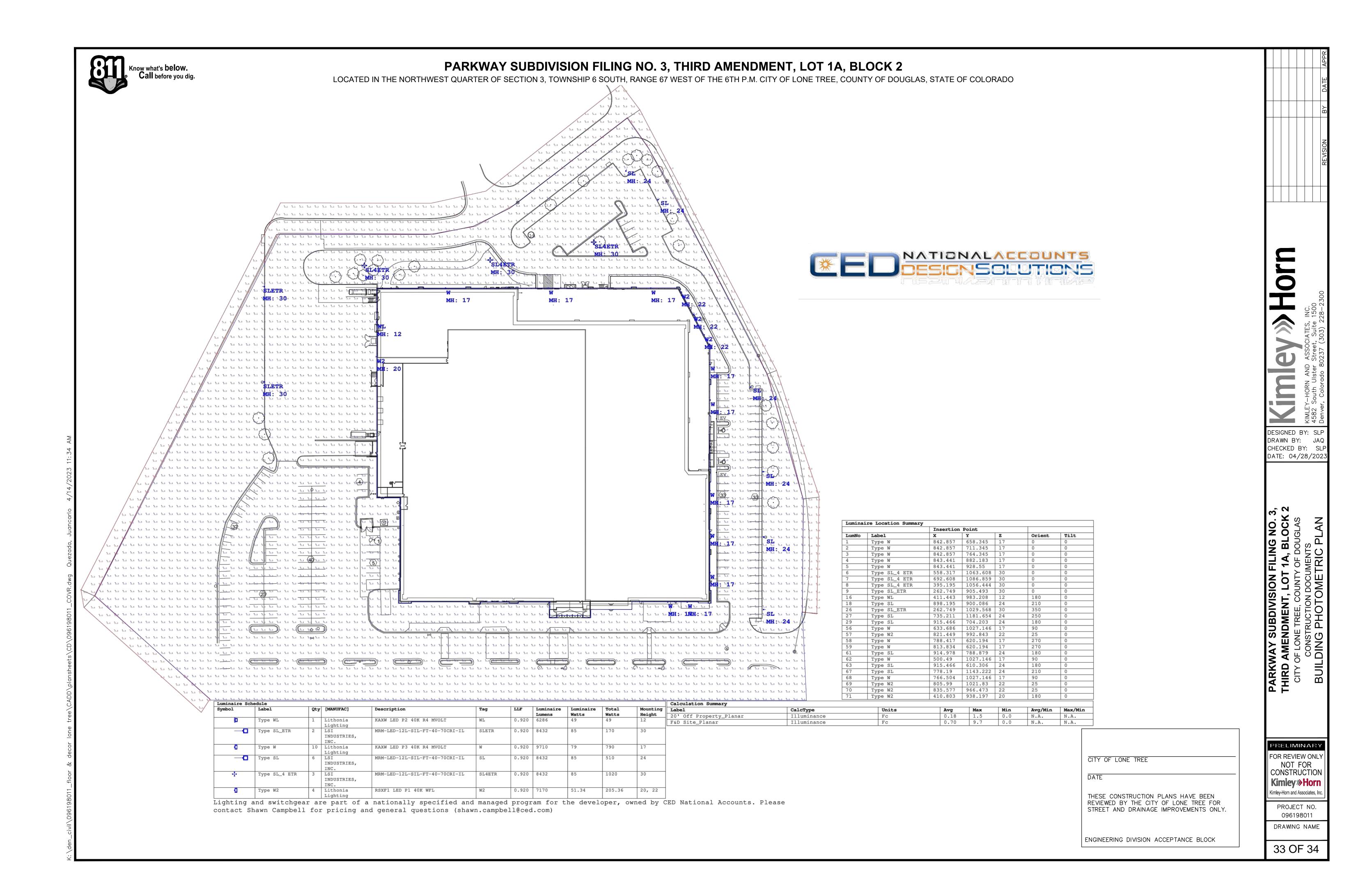
ENLARGED PROPANE ENCLOSURE PLAN



2 ENLARGED RECYCLING ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



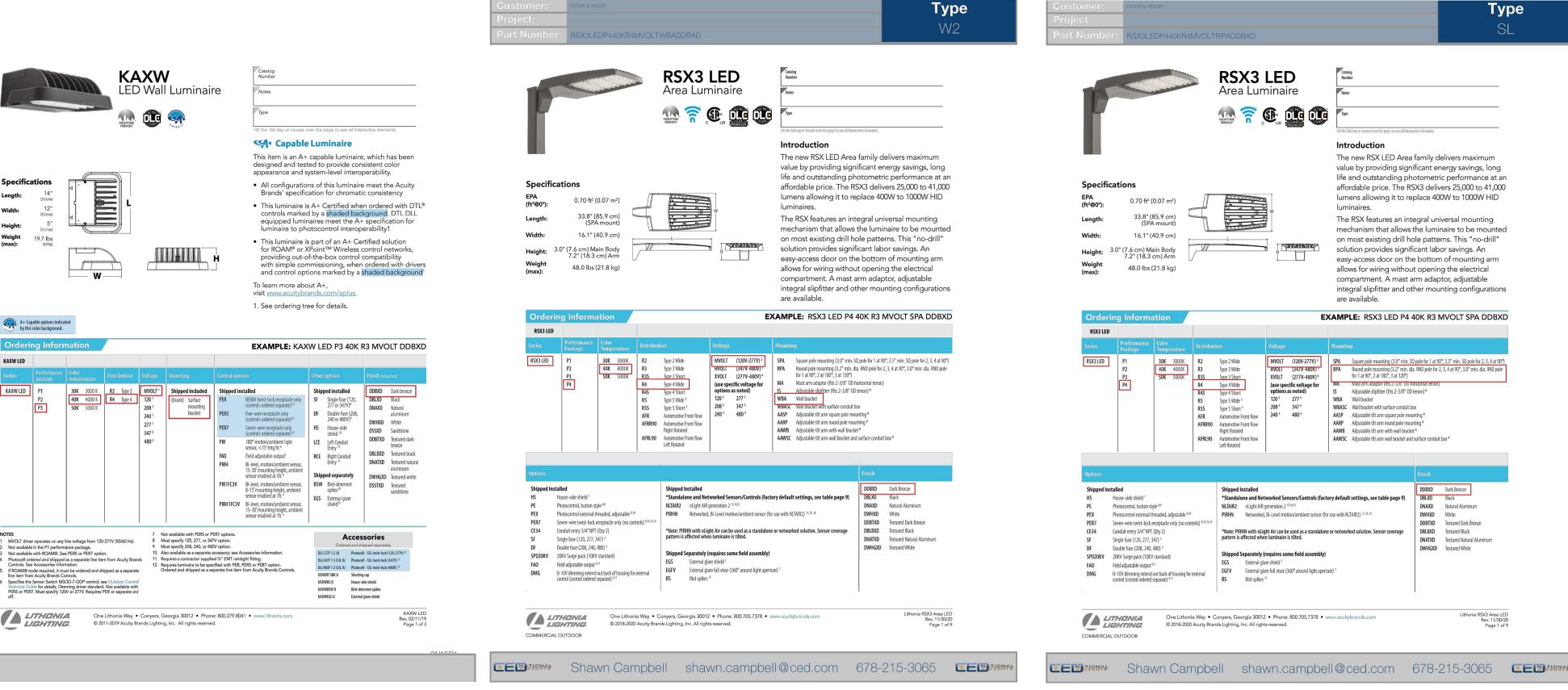




Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



Back to Quick Links



DESIGNED BY: SLF DRAWN BY: JA CHECKED BY: SL DATE: 04/28/202 ~ N

CITY OF LONE TREE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

PRELIMINARY FOR REVIEW ONL' NOT FOR CONSTRUCTION Kimley » Horn

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096198011 DRAWING NAME

PROJECT NO.

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34 OF 34

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Fixtures operate independently and can

be commissioned via iOS or Android

LSI's AirLink™ wireless control system

SPEC.1020.B.0422

10,816,165 B2)

• IKO8 rated luminiare per IEC 66262

mechanical impact code

Patented Silicone Optics (US Patent NO.

Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed. . Not available with 5W distribution 8. Factory installed CR7P option required. See Options. 9. "CLR" denotes finish. See Finish options.
10. Only available with ALSC/ALSCH control options.
11. Fusing must be located in hand hole of pole. See <u>Fusing Accessory Guide</u> for compatability. Consult Factory for availability. Control device or shorting cap must be ordered separately. See Accessory Ordering Information. 12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com SPEC.1020.B.0422