

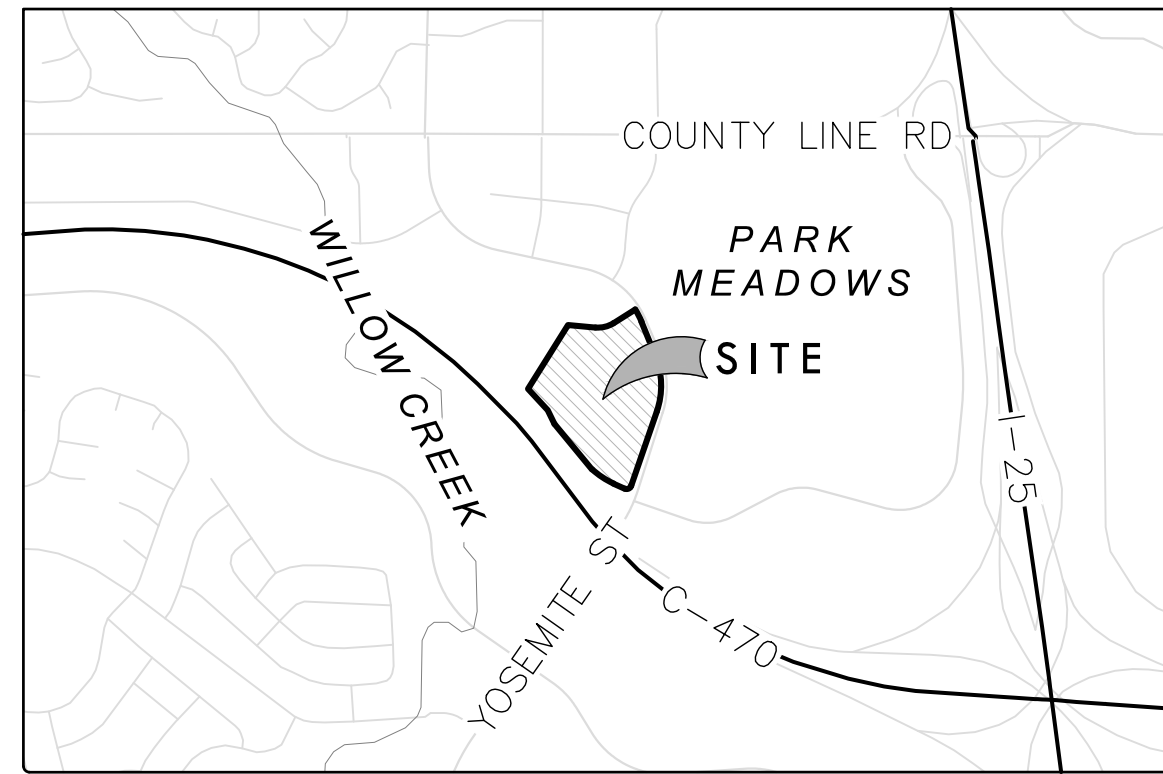


PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

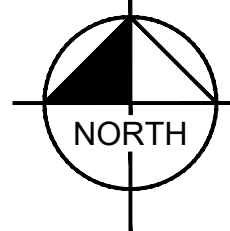
CITY OF LONE TREE STANDARD NOTES

- THE DOUGLAS COUNTY ENGINEERING DIRECTOR SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND THE DOUGLAS COUNTY SUBDIVISION RESOLUTION OR ACCEPTED VARIANCES TO THOSE REGULATIONS. THE DOUGLAS COUNTY ENGINEERING DIRECTOR, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- ALL CONSTRUCTION SHALL CONFORM TO DOUGLAS COUNTY STANDARDS. ANY CONSTRUCTION NOT SPECIFICALLY ADDRESSED BY THESE PLANS AND SPECIFICATIONS WILL BE BUILT IN COMPLIANCE WITH THE LATEST EDITION OF THE MOST STRINGENT OF THE FOLLOWING:
 - THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS
 - THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - THE COLORADO DEPARTMENT OF TRANSPORTATION M STANDARDS
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DOUGLAS COUNTY ENGINEERING DIVISION AS APPLICABLE. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DOUGLAS COUNTY ENGINEERING INSPECTION DIVISION, 303-660-7487, A MINIMUM OF 24-HOURS AND A MAXIMUM OF 72-HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY DOUGLAS COUNTY ENGINEERING INSPECTION WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY THAT WILL BE CONVEYED TO THE COUNTY, URBAN DRAINAGE & FLOOD CONTROL DISTRICT, OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATERS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES). FAILURE TO NOTIFY THE ENGINEERING INSPECTION DIVISION TO ALLOW THEM TO INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITY/INFRASTRUCTURE BY THE COUNTY AND/OR URBAN DRAINAGE.
- CONSTRUCTION WILL NOT BEGIN UNTIL ALL APPLICABLE PERMITS HAVE BEEN ISSUED. IF A DOUGLAS COUNTY ENGINEERING INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE INSPECTOR'S ABSENCE. HOWEVER, DOUGLAS COUNTY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- THE LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: COLORADO 811, AT 1-800-922-1987 (WWW.COLORADO811.ORG).
- THE CONTRACTOR SHALL HAVE ONE (1) COPY OF THE PLANS SIGNED BY THE DOUGLAS COUNTY ENGINEERING DIRECTOR, ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS, AS AMENDED, AND ALL APPLICABLE PERMITS AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW: N/A
- A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SHALL BE SUBMITTED TO DOUGLAS COUNTY FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT APPLICATION. A RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN ACCEPTED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
- THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR THREE (3) YEARS FROM THE DATE OF COUNTY ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY DOUGLAS COUNTY.
- DOUGLAS COUNTY STANDARD DETAILS SHALL NOT BE MODIFIED. ANY NON-STANDARD DETAILS WILL BE CLEARLY IDENTIFIED AS SUCH.
- PAVING, INCLUDING CONSTRUCTION OF CURB AND GUTTER (WHEN USED), SHALL NOT START UNTIL A PAVEMENT DESIGN REPORT AND SUBGRADE COMPACTION TESTS ARE ACCEPTED BY THE ENGINEERING INSPECTION DIVISION FOR ALL PUBLIC AND PRIVATE ROADS.
- STANDARD DOUGLAS COUNTY HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT MID-BLOCK LOCATIONS OPPOSITE OF ONE OF THE CURB RETURNS OF ALL "T" INTERSECTIONS AS IDENTIFIED ON THESE PLANS.
- ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE ON UNITED STATES COAST AND GEODETIC SURVEY (USC&GS) (NAVD-88) DATUM WITH DATE. THE RANGE POINT OR MONUMENTS SHALL BE SHOWN ON CONSTRUCTION DRAWINGS.
- ALL STORM SEWER IMPROVEMENTS (PUBLIC AND PRIVATE) INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, RIPRAP, DETENTION BASINS, FOREBAYS, MICROPOOLS, AND WATER QUALITY FACILITIES REQUIRE PERMITTING AND INSPECTIONS. PLEASE CONTACT THE DOUGLAS COUNTY ENGINEERING INSPECTIONS DIVISION AT 303- 660-7487 FOR PERMITTING REQUIREMENTS AND INSPECTIONS SCHEDULING.
- TWO (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH.
- EPOXY COATED REBAR IS REQUIRED ON ALL DRAINAGE STRUCTURES.
- DOUGLAS COUNTY REQUIRES CLASS D CONCRETE FOR ALL DRAINAGE STRUCTURES.
- ALL RCP STORM SEWERS MUST USE ASTM C443 WATERTIGHT GASKETS PER THE CURRENT DOUGLAS COUNTY AND URBAN DRAINAGE DESIGN CRITERIA.
- ALL RCP SHALL BE CLASS III STORM SEWER PIPE UNLESS OTHERWISE SPECIFIED.
- JOINT RESTRAINTS ARE REQUIRED FOR A MINIMUM OF THE LAST TWO PIPE JOINTS AND FLARED END SECTION OF AN RCP OUTFALL.
- PRECAST INLETS AND MANHOLE BASES ARE NOT ALLOWED.
- TOE WALLS ARE REQUIRED ON FLARED END SECTIONS AT THE OUTLET END OF CULVERTS AND STORM SEWER OUTFALLS.
- FILTER FABRIC IS REQUIRED UNDER ALL RIPRAP PADS.
- THE PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF COLORADO, SIGNING THESE PLANS IS RESPONSIBLE FOR ENSURING THAT THE DETAILS INCLUDED ARE COMPATIBLE WITH THE STANDARD DOUGLAS COUNTY DETAILS CONTAINED IN THE LATEST VERSIONS OF THE CRITERIA MANUALS. THIS INCLUDES, BUT IS NOT LIMITED TO:
 - DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS
 - DOUGLAS COUNTY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA
 - DOUGLAS COUNTY GRADING, EROSION AND SEDIMENT CONTROL CRITERIA
 - CDOT M & S STANDARDS
 - MUTCD
 - URBAN STORM DRAINAGE CRITERIA MANUAL VOLUMES 1,2 & 3
- A TEMPORARY CONSTRUCTION ACCESS PERMIT FROM DOUGLAS COUNTY MAY BE REQUIRED FOR ANY PROJECT.



VICINITY MAP

SCALE: 1" = 2000'



LEGAL DESCRIPTION

LOT 1A, BLOCK 2 [SEE NOTE BELOW], PARKWAY SUBDIVISION FILING NO.3 -3RD AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED MAY 29, 1996 IN BOOK 1344 AT PAGE 1660, AND EXCEPT THAT PORTION DESCRIBED IN RULE AND ORDER OF CONDEMNATION RECORDED JUNE 14TH, 2007 AT RECEPTION NO. 2007047663, DOUGLAS COUNTY RECORDS, AND EXCEPT THAT PORTION DESCRIBED IN FINAL RULE AND ORDER RECORDED MARCH 7, 2022 AT RECEPTION NO. 2022-019687, DOUGLAS COUNTY RECORDS.

PARCEL B: THE BENEFICIAL EASEMENTS DESCRIBED IN AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 7, 1994 IN BOOK 1217 AT PAGE 693, AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED NOVEMBER 22, 1996 IN BOOK 1358 AT PAGE 1830, SECOND AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED JANUARY 8, 1999 IN BOOK 1653 AT PAGE 1349, THIRD AMENDMENT TO EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED AUGUST 22, 2007 AT RECEPTION NO. 2007067078, AND FOURTH AMENDMENT TO AGREEMENT FOR RECEPTION NO. 2008063102, COUNTY OF DOUGLAS, STATE OF COLORADO. FOR INFORMATIONAL PURPOSES: TAX ID NO.: R0617340

[SURVEYOR'S NOTE: THE LEGAL DESCRIPTION IN TITLE COMMITMENT NO. 100-00040966-010-102 DOES NOT INCLUDE THE BLOCK NUMBER. THE BLOCK NUMBER IS INCLUDED ABOVE]

BENCHMARK:

ELEVATIONS RE BASED UPON ARAPAHOE COUNTY VERTICAL CONTROL POINT "UAP2 19" A 3-1/4" ALUMINUM CAP IN THE MEDIAN OF E. COUNTY LINE ROAD (ELEVATION = 5735.89 NAVD 88)

BASIS OF BEARING:

BEARINGS ARE ASSUMED AND ARE BASED UPON THE WESTERLY NORTH LINE OF LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT WITH AN ASSUMED BEARING OF N 30°26'33" E, A DISTANCE OF 524.41 FEET, AS MONUMENTED AT THE WESTERLY END BY A FOUND 1" YELLOW PLASTIC CAP, ILLEGIBLE, AND AT THE EASTERLY END BY A FOUND NAIL WITH WASHER STAMPED "PLS 23899"

ENGINEERING CERTIFICATION NOTE

THESE CONSTRUCTION PLANS FOR RETAIL FURNITURE, LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO.3 - 3RD AMENDMENT WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF DOUGLAS COUNTY'S ROADWAY DESIGN AND CONSTRUCTION STANDARDS, STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA, AND THE GRADING, EROSION AND SEDIMENT CONTROL MANUAL.

SHANNON L. PETERSEN, P.E.
KIMLEY-HORN

CONTACTS

OWNER/DEVELOPER
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33 WALT WHITMAN ROAD
SUITE 300A
HUNTINGTON STATION, NY 11746
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DENVER, CO 80237
(720) 943-5656

ABBREVIATIONS

APPD	APPROVED	NO	NUMBER
APPROX	APPROXIMATE	NTS	NOT TO SCALE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NW	NORTHWEST
BLVD	BOULEVARD	OD	OUTSIDE DIAMETER
BW	FINISH GRADE AT BOTTOM OF WALL	PC	POINT OF CURVATURE
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	PCC	PORTLAND CEMENT CONCRETE
COM	COMMUNICATIONS	POC	POINT ON CURVE
CTV	CABLE TELEVISION	PP	POLYPROPYLENE
CY	CUBIC YARDS	PRC	POINT OF REVERSE CURVE
E	EAST OR ELECTRIC	PSI	POUNDS PER SQUARE INCH
EA	EACH	PT	POINT OF TANGENCY
EL	ELEVATION	PVC	POLYVINYL CHLORIDE
ELEC	ELECTRIC	RCP	REINFORCED CONCRETE PIPE
EOP	EDGE OF PAVEMENT	RD	ROOF DRAIN
EX	EXISTING	REV	REVISION
FFE	FINISH FLOOR ELEVATION	ROW	RIGHT-OF-WAY
FG	FINISH GRADE	RT	RIGHT
FL	FLOW LINE	S	SOUTH
FO	FIBER OPTIC	SB	SOUTHBOUND
G	GAS	SD	STORM DRAIN
HP	HIGH POINT	SE	SOUTHEAST
ID	INSIDE DIAMETER	SF	SQUARE FEET
IRR	IRRIGATION	SS	SANITARY SEWER
LF	LINEAR FEET	ST	STORM SEWER
LP	LOW POINT	STA	STATION
LS	LUMP SUM	SW	SIDEWALK OR SOUTHWEST
LT	LEFT	SY	SQUARE YARDS
MAX	MAXIMUM	T	TELEPHONE
MH	MANHOLE	TC	TOP OF CURB
MIN	MINIMUM	TW	FINISH GRADE AT TOP OF WALL
N	NORTH	TYP	TYPICAL
NE	NORTHEAST	VAR	VARIABLE
		W	WATER OR WEST

SHEET INDEX		ISSUED		
		04/28/23	1	2
1	COVER SHEET	•		
2	SURVEY	•		
3	SURVEY	•		
4	SURVEY	•		
5	SITE DEMOLITION PLAN	•		
6	SITE PLAN	•		
7	OVERALL SITE ACCESS PLAN	•		
8	DETAILED SITE ACCESS PLAN	•		
9	OVERALL GRADING PLAN	•		
10	DETAILED GRADING PLAN	•		
11	UTILITY PLAN	•		
12	DRAINAGE PLAN	•		
13	DRAINAGE PLAN	•		
14	STANDARD DETAILS	•		
15	STANDARD DETAILS	•		
16	LANDSCAPING PLAN	•		
17	LANDSCAPE NOTES	•		
18	LANDSCAPE NOTES	•		
19	LANDSCAPE DETAILS	•		
20	IRRIGATION PLAN	•		
21	IRRIGATION NOTES	•		
22	IRRIGATION DETAILS	•		
23	AUTOTURN EXHIBIT	•		
24	GESC NOTES	•		
25	INITIAL GESC PLAN	•		
26	INTERIM GESC PLAN	•		
27	FINAL GESC PLAN	•		
28	GESC DETAILS	•		
29	BUILDING ELEVATIONS	•		
30	BUILDING RENDERINGS	•		
31	MATERIALS & FINISHES	•		
32	ENCLOSURE DETAILS	•		
33	BUILDING PHOTOMETRIC PLAN	•		
34	LIGHTING SPECIFICATIONS	•		



DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
COVER SHEET

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011

DRAWING NAME
096198011_COVR.DWG

1 OF 34

CITY OF LONE TREE
DATE
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.
ENGINEERING DIVISION ACCEPTANCE BLOCK

\\kimley-horn.com\mnt_dmv\DEN_Civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011_COVR.dwg Epstein, Molly 5/17/2023 11:41 AM

LEGAL DESCRIPTION PER TITLE COMMITMENT NO. 100-N0040966-010-T02:

A LEASEHOLD INTEREST AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE BY AND BETWEEN BEL LARIMER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS LESSOR, AND AS LESSEE, RECORDED UPON THE TERMS AND CONDITIONS AS CONTAINED HEREIN ON AT RECEPTION NO. IN AND TO THE FOLLOWING DESCRIBED LAND:

PARCEL A: LOT 1A, BLOCK 2 [SEE NOTE BELOW], PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, EXCEPT THAT PORTION CONVEYED BY WARRANTY DEED RECORDED MAY 29, 1996 IN BOOK 1344 AT PAGE 1660, AND EXCEPT THAT PORTION DESCRIBED IN RULE AND ORDER OF CONDEMNATION RECORDED JUNE 14, 2007 AT RECEPTION NO. 2007047693, DOUGLAS COUNTY RECORDS, AND EXCEPT THAT PORTION DESCRIBED IN FINAL RULE AND ORDER RECORDED MARCH 7, 2022 AT RECEPTION NO. 2022-019687, DOUGLAS COUNTY RECORDS.

PARCEL B: THE BENEFICIAL EASEMENTS DESCRIBED IN AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 7, 1994 IN BOOK 1217 AT PAGE 693, AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED NOVEMBER 22, 1996 IN BOOK 1388 AT PAGE 1830, SECOND AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED JANUARY 8, 1999 IN BOOK 1653 AT PAGE 1349, THIRD AMENDMENT TO EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED AUGUST 22, 2007 AT RECEPTION NO. 2007067078, AND FOURTH AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 15, 2008 AT RECEPTION NO. 2008063102, COUNTY OF DOUGLAS, STATE OF COLORADO. FOR INFORMATIONAL PURPOSES: TAX ID NO.: R0617340

[SURVEYOR'S NOTE: THE LEGAL DESCRIPTION IN TITLE COMMITMENT NO. 100-N0040966-010-T02 DOES NOT INCLUDE THE BLOCK NUMBER. THE BLOCK NUMBER IS INCLUDED ABOVE.]

NOTES:

- 1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THE OBSERVED ADDRESS FOR THE SURVEYED PROPERTY IS 8585 S. YOSEMITE ST, LONE TREE, CO 80124.
4. THIS PROPERTY IS LOCATED WITHIN ZONE X, OTHER AREAS - DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR COUNTY OF DOUGLAS, COMMUNITY PANEL NUMBER 08035C0042G, MAP EFFECTIVE DATE MARCH 16, 2016 AND COMMUNITY PANEL NUMBER 08035C0034G, MAP EFFECTIVE DATE MARCH 16, 2016. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.
5. THE SURVEYED PROPERTY CONTAINS A GROSS CALCULATED AREA OF 716,396 SQ. FT. OR 16.446 ACRES, MORE OR LESS. LESS EXCEPTION PARCELS THE SURVEYED PROPERTY CONTAINS A CALCULATED AREA OF 699,673 SQ. FT. OR 16.062 ACRES, MORE OR LESS.
6. NO ZONING REPORT WAS PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
7. THERE WERE 804 REGULAR PARKING SPACES AND 21 ACCESSIBLE DESIGNATED PARKING SPACES FOR A TOTAL OF 825 PARKING SPACES OBSERVED ON THE SURVEYED PROPERTY AT THE TIME OF SURVEY. SURVEYOR'S NOTE: THERE WAS ACTIVE CONSTRUCTION IN THE SOUTHERN PORTION OF THE PROPERTY AT THE TIME OF FIELD WORK AND ANY SPACES IN THIS AREA WERE NOT COUNTED.
8. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE AND SURFACE MARKINGS PLACED BY A UTILITY COMPANY OR UTILITY LOCATING SERVICE. FOR UNDERGROUND ALIGNMENTS, KIMLEY-HORN RELIED UPON THE EXPERTISE OF THE LOCATING TECHNICIAN TO PROPERLY AND ACCURATELY PLACE SURFACE MARKINGS FOR ALL BURIED UTILITIES. CONSEQUENTLY, KIMLEY-HORN CAN MAKE NO WARRANTY, EXPRESSED OR IMPLIED, THAT ALL BURIED UTILITIES ARE SHOWN OR THAT THOSE BURIED UTILITIES SHOWN WERE ACCURATELY MARKED. PRIOR TO ANY CONSTRUCTION YOU MUST CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987. CALL AT LEAST 2 BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES BEFORE YOU DIG, GRADE OR EXCAVATE. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT OR PAVING, LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY UTILITY AND/OR DRAINAGE SERVICE. VERIFY INFO PRIOR TO ANY NEW DESIGN, DEVELOPMENT OR CONSTRUCTION.
9. THERE WAS ACTIVE CONSTRUCTION WORK ON THE SOUTHERN PORTION OF THE SUBJECT PROPERTY, AS SHOWN AND NOTED ON SHEET 3, AT THE TIME OF SURVEY.
10. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES THAT THE SURVEYOR OF RECORD IS AWARE OF.
11. BEARINGS ARE BASED ON THE WESTERLY NORTH LINE OF LOT 1A, BLOCK 2, PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT WITH AN ASSUMED BEARING OF N 30°26'33" E, A DISTANCE OF 524.41 FEET, AS MONUMENTED AT THE WESTERLY END BY A FOUND 1" YELLOW PLASTIC CAP, ILLEGIBLE, AND AT THE EASTERLY END BY A FOUND NAIL WITH WASHER STAMPED "PLS 23899".
12. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET.
13. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT TRACT: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AGREEMENTS, LEASE AGREEMENTS AND OWNERSHIP TITLE EVIDENCE.
14. ANY DECLARATION MADE HEREON OR HEREIN IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
15. THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OF EXISTING WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
16. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
17. AREAS OF POTENTIAL CONCERN:
1) FIRE HYDRANT OUTSIDE OF WATER EASEMENT (BOOK 1252, PAGE 75)
2) SIGNS, UTILITY CABINETS, TRAFFIC POLE WITHIN SIGHT TRIANGLE EASEMENT (REC. NO. 9545667)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

THIS ALTA/NSPS LAND TITLE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KIMLEY-HORN AND ASSOCIATES, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, KIMLEY-HORN AND ASSOCIATES, INC. RELIED UPON TITLE COMMITMENT FILE NO. 100-N0040966-010-T02, EFFECTIVE DATE NOVEMBER 9, 2022, PREPARED BY FIDELITY NATIONAL TITLE, NATIONAL COMMERCIAL SERVICES.

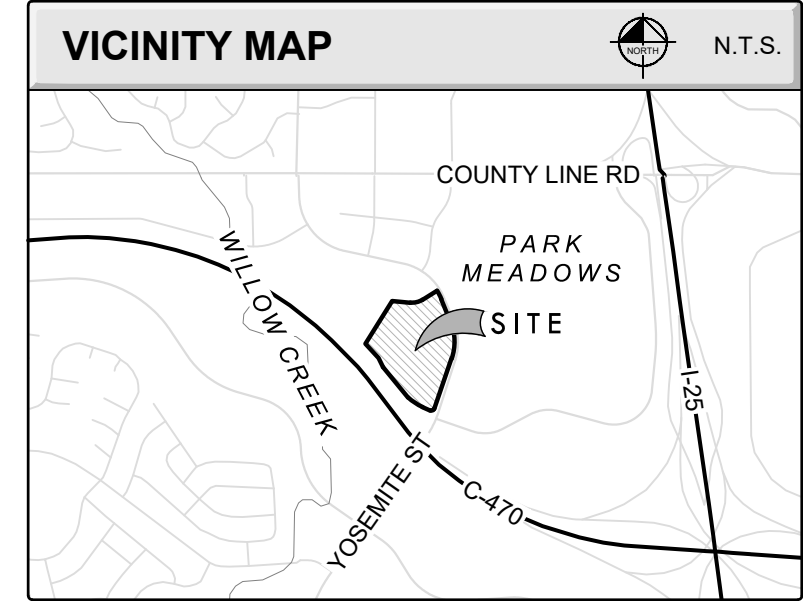
EXCEPT AS OTHERWISE EXPRESSLY NOTED IN NOTES BELOW, KIMLEY-HORN AND ASSOCIATES, INC. DID NOT EXAMINE OR ADDRESS THE EFFECTS, FEES OR ASSESSMENTS DUE, TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, RESERVATIONS AND/OR RESTRICTIONS CONTAINED IN THE DOCUMENTS REFERRED TO IN ANY ITEMS SHOWN IN THE TITLE COMMITMENT. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND STATED PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.

- # - INDICATES THE EXCEPTION NUMBER WITHIN SCHEDULE B OF THE ABOVE TITLE REPORT.
EXCEPTION NOS. 1-8 ARE STANDARD EXCEPTIONS. (CONTAIN NO PLOTTABLE INFORMATION)
9. ANY TAXES OR ASSESSMENTS BY REASON OF THE INCLUSION OF THE LAND IN THE PARK MEADOWS METROPOLITAN DISTRICT.
RECORDING DATE: AUGUST 12, 1982
RECORDING NO.: BOOK 448 AT PAGE 773
(AFFECTS - BLANKET IN NATURE)
10. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE DEVELOPMENT GUIDE PARKWAY PLAZA PLANNED DEVELOPMENT AS SET FORTH BELOW:
RECORDING DATE: SEPTEMBER 12, 1984
RECORDING NO.: BOOK 538 AT PAGE 946
DEVELOPMENT PLAN PARKWAY PLAZA:
RECORDING DATE: SEPTEMBER 12, 1984
RECORDING NO.: RECEPTION NO. 335615
DEVELOPMENT PLAN PARKWAY PLAZA:
RECORDING DATE: OCTOBER 9, 1984
RECORDING NO.: RECEPTION NO. 337263
DEVELOPMENT PLAN PARKWAY:
RECORDING DATE: DECEMBER 12, 1984
RECORDING NO.: RECEPTION NO. 342824
PARKWAY P.D. - 1ST AMENDMENT:
RECORDING DATE: JANUARY 9, 1996
RECORDING NO.: RECEPTION NO. 9601644
(AFFECTS - BLANKET IN NATURE)
11. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE COVENANT REGARDING DENSITY AS SET FORTH BELOW:
RECORDING DATE: NOVEMBER 5, 1984
RECORDING NO.: BOOK 546 AT PAGE 790
(AFFECTS - BLANKET IN NATURE)
12. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF PARKWAY SUBDIVISION FILING NO. 3.
RECORDING DATE: MAY 23, 1985
RECORDING NO.: RECEPTION NO. 353673
(AFFECTS - AS SHOWN)
13. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND AS SET FORTH BELOW:
RECORDING DATE: SEPTEMBER 7, 1994
RECORDING NO.: BOOK 1217 AT PAGE 693
AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND:
RECORDING DATE: NOVEMBER 22, 1996
RECORDING NO.: BOOK 1388 AT PAGE 1830
SECOND AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND:
RECORDING DATE: JANUARY 8, 1999
RECORDING NO.: BOOK 1653 AT PAGE 1349
THIRD AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND:
RECORDING DATE: AUGUST 22, 2007
RECORDING NO.: RECEPTION NO. 2007067078
FOURTH AMENDMENT TO AGREEMENT FOR EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING LAND:
RECORDING DATE: SEPTEMBER 15, 2008
RECORDING NO.: RECEPTION NO. 2008063102
(AFFECTS - BLANKET IN NATURE)
14. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: SOUTHGATE WATER DISTRICT
PURPOSE: WATER PIPELINES AND APPURTENANCES
RECORDING DATE: MARCH 15, 1995
RECORDING NO.: BOOK 1252 AT PAGE 75
(AFFECTS - AS SHOWN)
15. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO
PURPOSE: UTILITY EASEMENT
RECORDING DATE: MARCH 22, 1995
RECORDING NO.: BOOK 1253 AT PAGE 690
(AFFECTS - AS SHOWN. LOCATION IS APPROXIMATE BASED ON PLAT OF PARKWAY SUBDIVISION FILING NO. 3, 1ST AMENDMENT AND PLAT OF PARKWAY SUBDIVISION FILING NO. 3, 3RD AMENDMENT)
16. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF DOUGLAS, STATE OF COLORADO
PURPOSE: STORM DRAINAGE
RECORDING DATE: APRIL 26, 1995
RECORDING NO.: BOOK 1259 AT PAGE 534
(DOES NOT AFFECT SURVEYED PROPERTY. ADJOINS SUBJECT PROPERTY TO THE NORTH AS SHOWN HEREON)
17. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AGREEMENT AS SET FORTH BELOW:
RECORDING DATE: MAY 12, 1995
RECORDING NO.: BOOK 1262 AT PAGE 1913
(AFFECTS - BLANKET IN NATURE)
18. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO
PURPOSE: UTILITY EASEMENT
RECORDING DATE: MAY 25, 1995
RECORDING NO.: BOOK 1264 AT PAGE 2282
(DOES NOT AFFECT SUBJECT PROPERTY)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS (CONT.):

- 19. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF PARKWAY SUBDIVISION FILING NO. 3 - 1ST AMENDMENT:
RECORDING DATE: SEPTEMBER 27, 1995
RECORDING NO.: RECEPTION NO. 9545667
(AFFECTS - AS SHOWN)
20. ANY TAXES OR ASSESSMENTS BY REASON OF THE INCLUSION OF THE LAND IN THE SOUTH SUBURBAN PARK AND RECREATION DISTRICT:
RECORDING DATE: DECEMBER 21, 1995
RECORDING NO.: BOOK 1308 AT PAGE 350
(AFFECTS - BLANKET IN NATURE)
21. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE SPECIAL WARRANTY DEED AS SET FORTH BELOW:
RECORDING DATE: MAY 29, 1996
RECORDING NO.: BOOK 1344 AT PAGE 1663
(AFFECTS - AS SHOWN)
22. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. R-998-069 AS SET FORTH BELOW:
RECORDING DATE: JUNE 4, 1996
RECORDING NO.: BOOK 1346 AT PAGE 655
(AFFECTS - BLANKET IN NATURE)
23. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO
PURPOSE: SLOPE EASEMENT
RECORDING DATE: AUGUST 19, 1996
RECORDING NO.: BOOK 1364 AT PAGE 396
(AFFECTS - AS SHOWN)
24. EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT OF PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT:
RECORDING DATE: AUGUST 21, 1996
RECORDING NO.: RECEPTION NO. 9645526
(AFFECTS - NO PLOTTABLE EASEMENTS)
25. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF THE LAND IN THE SOUTHEAST PUBLIC IMPROVEMENT METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT(S):
RECORDING DATE: APRIL 8, 2004
RECORDING NO.: RECEPTION NO. 2004035426
(AFFECTS - BLANKET IN NATURE)
26. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE MEMORANDUM OF LEASE AS SET FORTH BELOW:
RECORDING DATE: MAY 27, 2021
RECORDING NO.: RECEPTION NO. 2021067693
(AFFECTS - BLANKET IN NATURE)
27. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RESOLUTION NO. R-021-087 AS SET FORTH BELOW:
RECORDING DATE: AUGUST 13, 2021
RECORDING NO.: RECEPTION NO. 2021095764
(NOT A SURVEY MATTER)
28. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS, EASEMENTS AND OBLIGATIONS CONTAINED IN THE FINAL RULE AND ORDER AS SET FORTH BELOW:
RECORDING DATE: MARCH 17, 2022
RECORDING NO.: RECEPTION NO. 2022019687
(REFERENCED DOCUMENT IS SAME AS EXCEPTION PARCEL - AS SHOWN)

ALTA/NSPS LAND TITLE SURVEY
LOT 1A, BLOCK 2, PARKWAY SUBDIVISION
FILING
NO. 3 - 3RD AMENDMENT
LOCATED IN THE NORTHWEST QUARTER OF
SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE 6TH P.M. CITY OF LONE TREE,
COUNTY OF DOUGLAS, STATE OF COLORADO



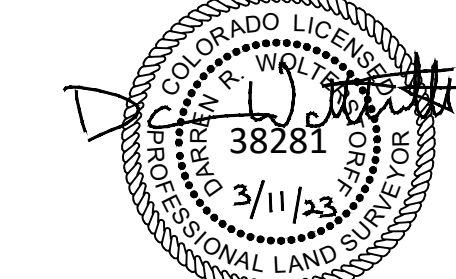
UTILITY PROVIDERS table with columns for provider name and phone number. Includes AT&T, Comcast, CDOT, Denver Water, City of Lone Tree, Century Link, MCI, Southgate Water & Sanitation, Unite Private Networks, Xcel Energy, and Zayo.

PREPARED FOR: CENTERPOINT INTEGRATED SOLUTIONS, LLC
SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC.
1626 COLE BLVD, STE 125 LAKEWOOD, CO 80401
4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, COLORADO 80237
PHONE: 303-228-2300 CONTACT: DARREN R. WOLTERSTORFF, PLS

SURVEYOR'S CERTIFICATION
TO: BEL LARIMER, LLC, A DELAWARE LIMITED LIABILITY COMPANY; FLOOR AND DECOR OUTLETS OF AMERICA, INC., A DELAWARE CORPORATION; FIDELITY NATIONAL TITLE, NATIONAL COMMERCIAL SERVICES;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a,b1), 8, 9, 11(b), 13, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 21, 2022.

DATE OF PLAT OR MAP: MARCH 11, 2023
PURSUANT TO COLORADO STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS ACCURATE TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



DARREN R. WOLTERSTORFF, PLS 38281
FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.
DARREN.WOLTERSTORFF@KIMLEY-HORN.COM

Form for City of Lone Tree with fields for City Name, Date, and Engineering Division Acceptance Block.

Table with columns for REVISION, BY, and DATE.

Kimley-Horn logo and address: KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2 CITY OF LONE TREE, COUNTY OF DOUGLAS CONSTRUCTION DOCUMENTS SURVEY

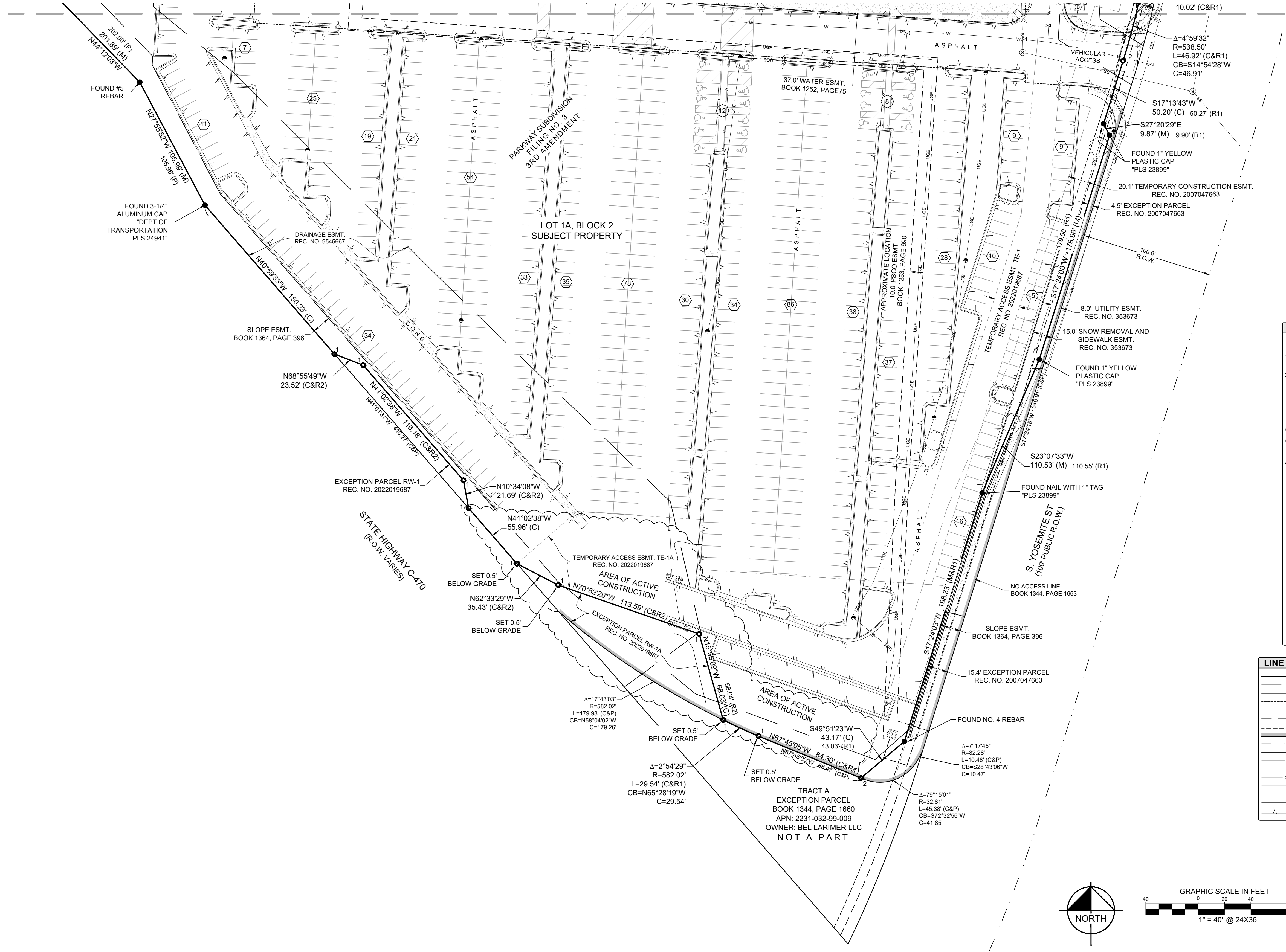
PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION
Kimley-Horn logo

PROJECT NO. 096198011

DRAWING NAME 096198011 FLOORDECOR AS.DWG

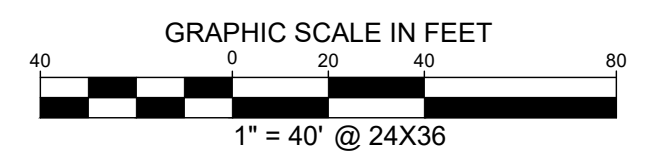
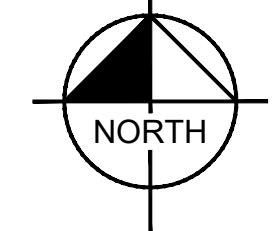
\\kimley-horn.com\mnt_dmv\DEN_Civil\096198011_Floor & Decor\One Tree\CADD\Survey\Drawg\096198011_FloorDecor_AS.dwg Epstein, Molly 5/17/2023 11:41 AM

MATCH LINE - SEE SHEET 3



- LEGEND**
- PROPERTY CORNER FOUND AS NOTED
 - PROPERTY CORNER SET - SET 18" LONG NO. 5 REBAR WITH 1-1/2" ALUM. CAP STAMPED "PLS 38281"
 - PROPERTY CORNER SET - SET NAIL WITH 1-1/2" ALUM. WASHER STAMPED "PLS 38281"
 - * "X" CUT IN CONCRETE FOUND
 - (M) MEASURED DIMENSION
 - (P) DIMENSION PER PARKWAY SUBDIVISION FILING NO. 3 - 3RD AMENDMENT REC. NO. 9645526
 - (R1) DIMENSION PER REC. NO. 2007047663
 - (R2) DIMENSION PER REC. NO. 2022019687
 - (C) CALCULATED DIMENSION
 - APN ASSESSOR PARCEL NUMBER
 - CONCRETE PAVEMENT
 - LIGHT POLE
 - ELECTRIC BOX
 - ⊞ TRANSFORMER
 - ⊞ ELECTRIC METER
 - ⊞ TRAFFIC SIGNAL POLE
 - ⊞ GAS METER
 - ⊞ FIBER-OPTIC BOX
 - ⊞ STORM MANHOLE
 - ⊞ SANITARY MANHOLE
 - ⊞ CLEANOUT
 - ⊞ WATER VALVE
 - ⊞ FIRE HYDRANT
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊞ UNKNOWN MANHOLE
 - ⊞ SIGN
 - BOLLARD
 - TREE
 - REGULAR PARKING COUNT
 - HANDICAP PARKING COUNT
 - HANDICAP PARKING DESIGNATION

- LINE TYPE LEGEND**
- BOUNDARY LINE
 - - - SLOPE ESMT. BOOK 1364, PAGE 396
 - - - DRAINAGE ESMT. REC. NO. 9545667
 - - - WATER ESMT. BOOK 1252, PAGE 75
 - - - TEMP. ACCESS ESMT. REC. NO. 2022019687
 - - - TEMP. ACCESS ESMT. REC. NO. 2007047663
 - - - EASEMENT LINE AS NOTED
 - - - NO ACCESS LINE BOOK 1344, PAGE 1663
 - - - RIGHT-OF-WAY LINE
 - - - ADJOINER LINE
 - - - UNDERGROUND WATER LINE
 - - - UNDERGROUND SANITARY LINE
 - - - UNDERGROUND STORM LINE
 - - - UNDERGROUND GAS LINE
 - - - UNDERGROUND ELECTRIC LINE
 - - - UNDERGROUND CABLE LINE
 - - - EDGE OF ASPHALT



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
SURVEY

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Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011

DRAWING NAME
096198011
FLOORDECOR AS.DWG

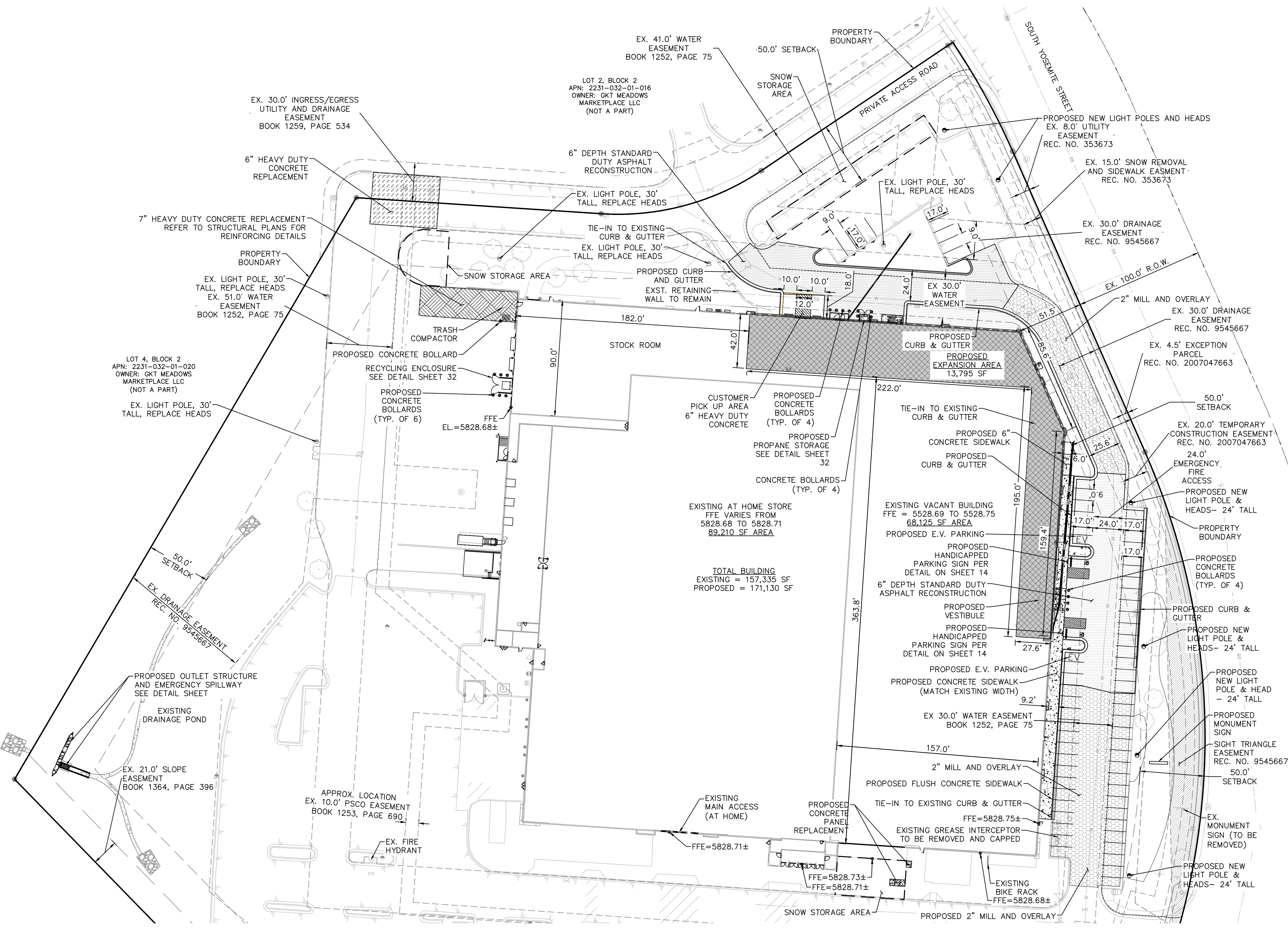
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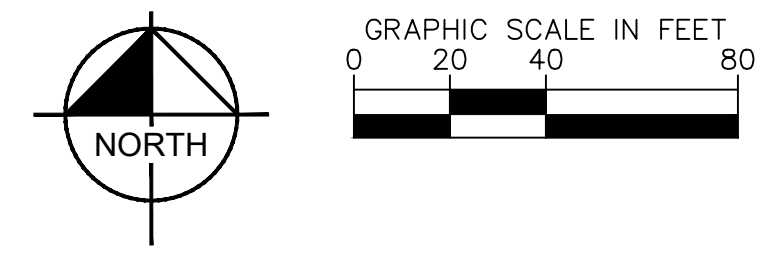
Know what's below.
Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND:**
- PROPOSED EXPANSION AREA
 - PROPOSED 2" MILL & OVERLAY
 - PROPOSED 6" FULL-DEPTH STANDARD DUTY ASPHALT RECONSTRUCTION
 - PROPOSED 6" PCCP HEAVY-DUTY CONCRETE RECONSTRUCTION
 - PROPOSED 7" PCCP HEAVY DUTY STRUCTURAL CONCRETE
 - PROPOSED 6" CONCRETE SIDEWALK
 - EXISTING EASEMENTS
 - PROPERTY LINE
 - EXISTING FIRE HYDRANT ASSEMBLY
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
 - EXISTING WALL
 - EXISTING STORM STRUCTURES
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING SANITARY MANHOLE
 - PROPOSED SIGHT TRIANGLE
 - EXISTING RIGHT-OF-WAY
 - PROPOSED LIGHT POLE/HEAD REPLACEMENT
 - EXISTING LIGHT POLE TO REMAIN
 - PROP. OUTLET STRUCTURE
 - PROP. EMERGENCY SPILLWAY
 - EX. RIPRAP



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
SITE PLAN

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PROJECT NO.
096198011
DRAWING NAME
096198011_SP.DWG

REVISION	BY	DATE

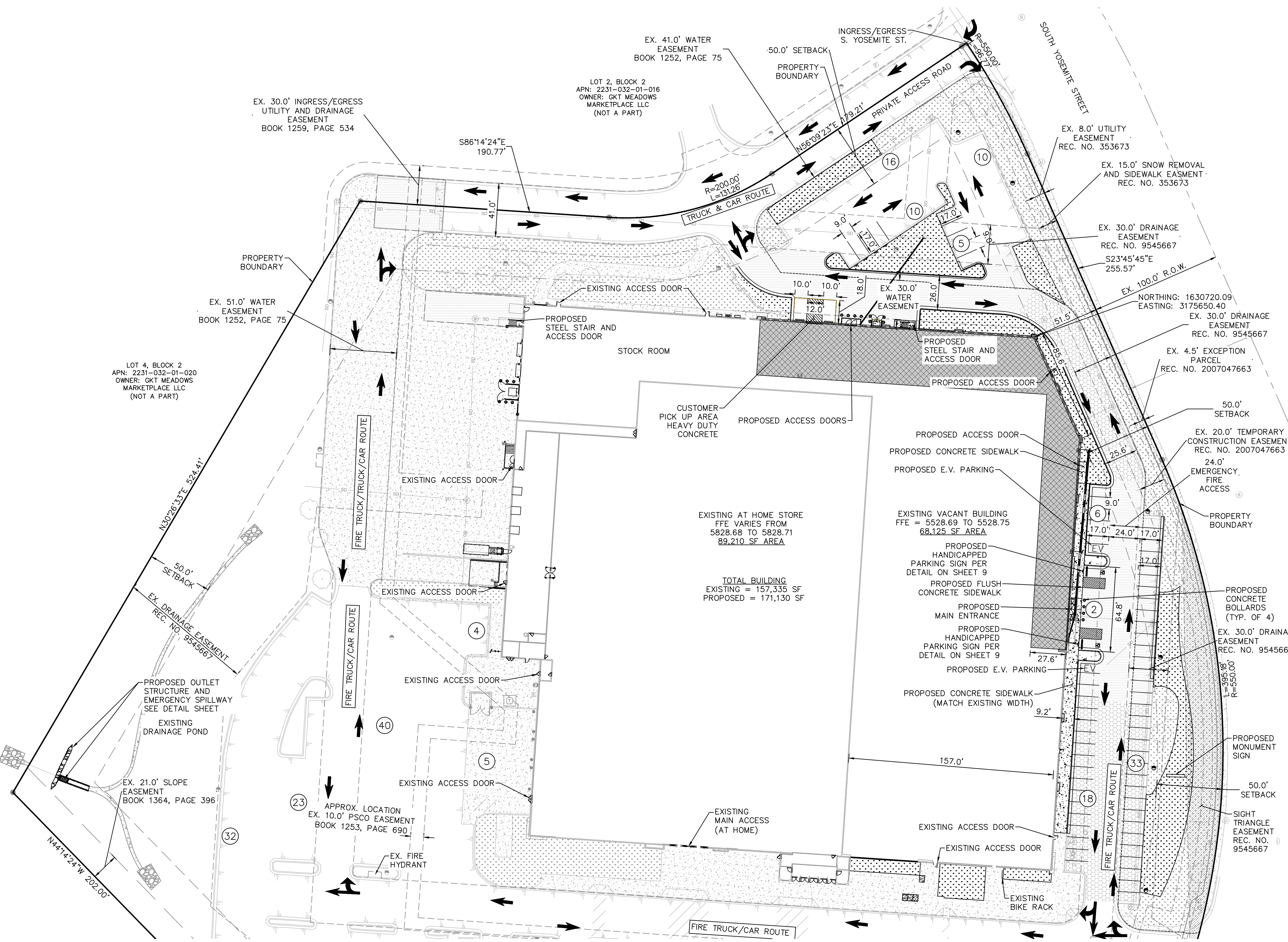
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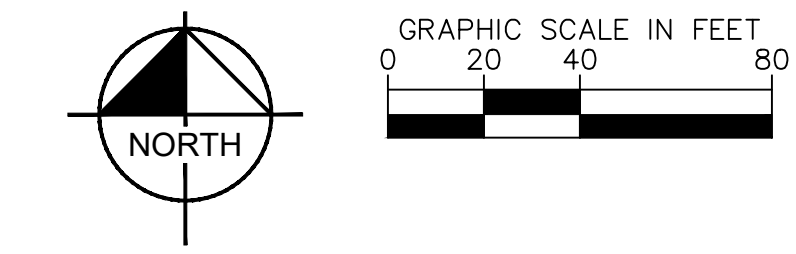
Know what's below.
Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND:**
- EXISTING LANDSCAPE
 - PROPOSED LANDSCAPE
 - PROPOSED MILL & OVERLAY
 - PROPOSED RECONSTRUCTION
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED EXPANSION AREA
 - EXISTING EASEMENTS
 - PROPERTY LINE
 - EXISTING FIRE HYDRANT ASSEMBLY
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
 - EXISTING STORM STRUCTURES
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING SANITARY MANHOLE
 - PROPOSED SIGHT TRIANGLE
 - EXISTING RIGHT-OF-WAY
 - PROPOSED LIGHT POLE/HEAD REPLACEMENT
 - EXISTING LIGHT POLE TO REMAIN
 - NUMBER OF PARKING STALLS
 - SNOW STORAGE
 - VEHICLE MOVEMENTS
 - PROP. OUTLET STRUCTURE
 - PROP. EMERGENCY SPILLWAY
 - EX. RIPRAP



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
DETAILED ACCESS

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Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011
DRAWING NAME
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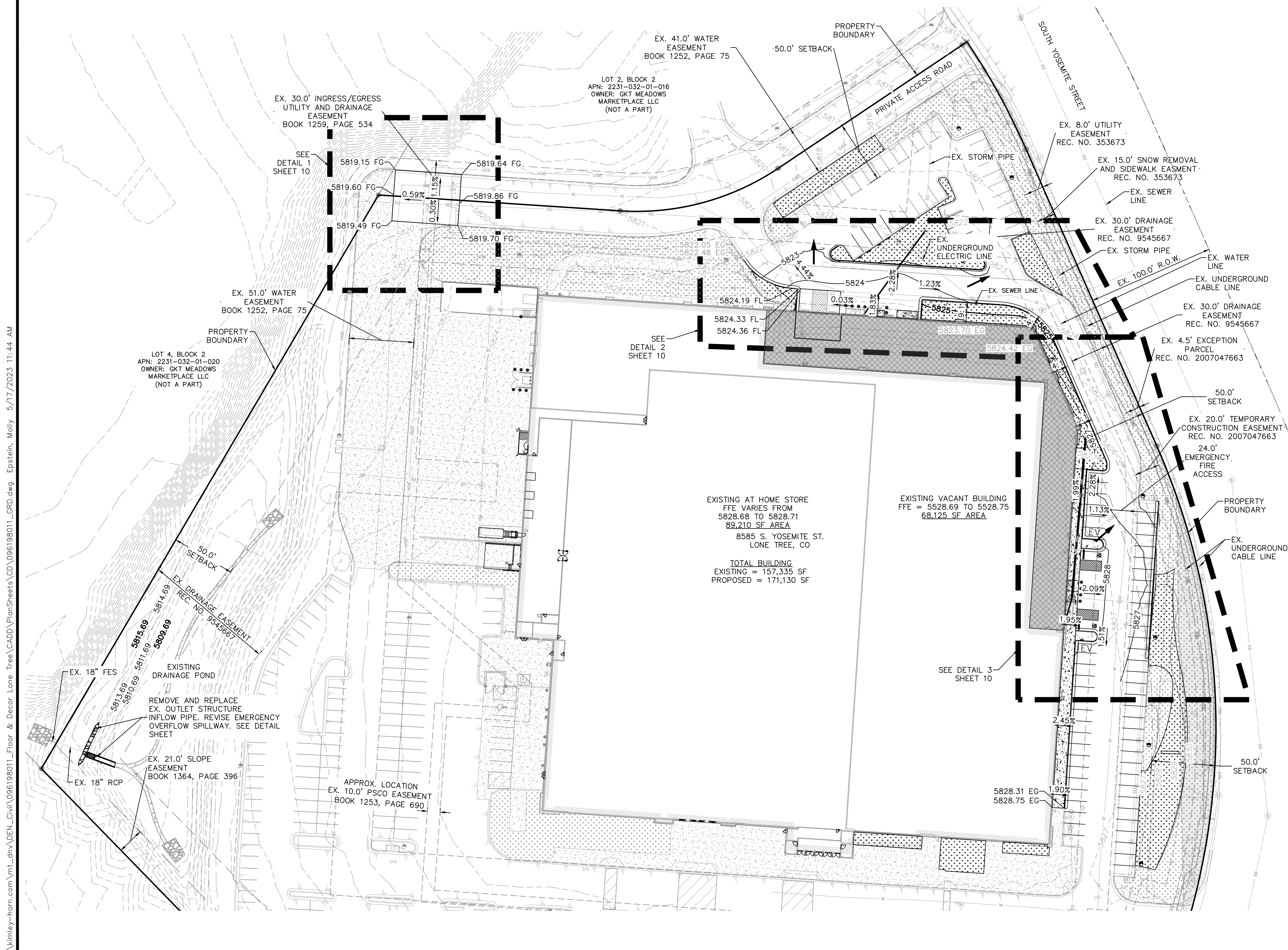
8 OF 34

REVISION	BY	DATE

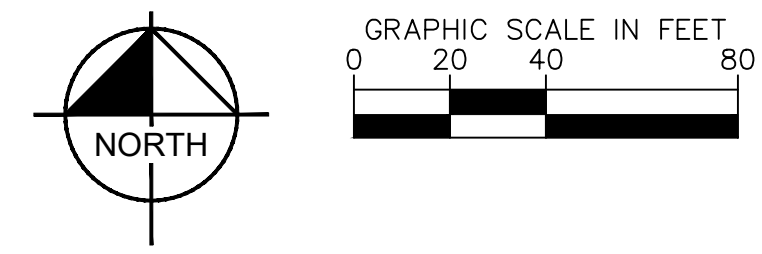
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PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND:**
- EXISTING LANDSCAPE
 - PROPOSED LANDSCAPE
 - PROPOSED EXPANSION AREA
 - PROPOSED 6" CONCRETE SIDEWALK
 - EXISTING FIRE HYDRANT ASSEMBLY
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
 - EXISTING STORM STRUCTURES
 - EXISTING STORM SEWER
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY SEWER
 - PROPERTY LINE
 - EASEMENT LINE
 - PROPOSED MAJOR CONTOUR LINE
 - PROPOSED MINOR CONTOUR LINE
 - EXISTING MAJOR CONTOUR LINE
 - EXISTING MINOR CONTOUR LINE
 - PROPOSED SLOPE LABEL
 - PROPOSED FLOW ARROW
 - EXISTING FLOW ARROW
 - PROPOSED SPOT ELEVATION
 - PROP. OUTLET STRUCTURE
 - PROP. EMERGENCY SPILLWAY
 - EX. RIPRAP



CITY OF LONE TREE
 DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

REVISION	BY	DATE

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
 DRAWN BY: JAQ
 CHECKED BY: SLP
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
 THIRD AMENDMENT, LOT 1A, BLOCK 2**
 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
OVERALL GRADING PLAN

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096198011
 DRAWING NAME
 096198011 GRD.DWG

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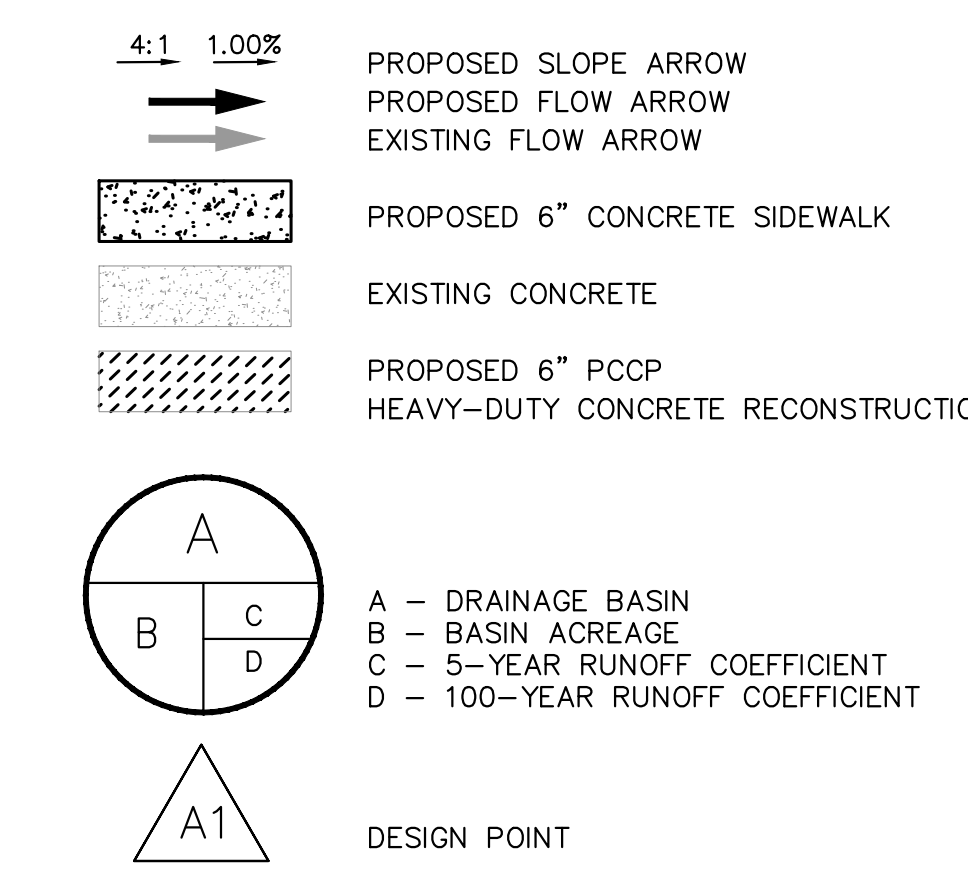


PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

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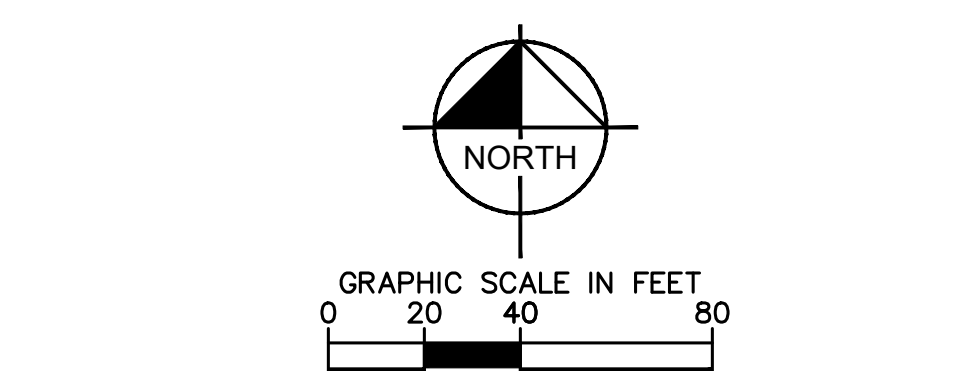
- LEGEND**
- PROPERTY LINE
 - - - EASEMENT LINE
 - - - - BASIN BOUNDARY
 - PROP. MAJOR CONTOUR
 - PROP. MINOR CONTOUR
 - PROP. CURB & GUTTER
 - PROP. OUTLET STRUCTURE
 - PROP. EMERGENCY SPILLWAY
 - EX. RIPRAP
 - EX. CONTOUR
 - EX. ASPHALT
 - EX. STORM SEWER
 - EX. STORM STRUCTURE
 - EX. WATER LINE
 - EX. SANITARY LINE
 - EX. GAS LINE
 - EX. FIRE HYDRANT
 - EX. WATER FIXTURE
 - EX. SS MANHOLE
 - EX. RIGHT OF WAY



Kimley»Horn
 PROJECT NAME: Floor & Decor DATE: 2/7/2023
 PROJECT NUMBER: 96198011
 CALCULATED BY: SWH
 CHECKED BY: SLP

RATIONAL CALCULATIONS SUMMARY

DESIGN POINT	TRIBUTARY BASINS	TRIBUTARY AREA (AC)	PEAK FLOWS (CFS)	
			G5	Q100
On-Site Basins				
1, 1A	A	6.01	17.43	37.76
2, 2A	B	1.99	7.13	14.63
3	C	1.08	0.04	3.31
4	D	1.49	4.26	10.20
5	E	1.76	6.32	13.20
6	F	2.14	7.68	16.04
7	G	0.45	0.95	2.63
8	H	0.52	1.23	3.10
9	I	0.58	1.99	4.69
10	J	0.28	1.05	2.14
TOTAL		16.40	48.08	107.91



CITY OF LONE TREE
 DATE _____
 THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.
 ENGINEERING DIVISION ACCEPTANCE BLOCK

MATCHLINE - SEE SHEET 13

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
 DRAWN BY: JAQ
 CHECKED BY: SLP
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
 THIRD AMENDMENT, LOT 1A, BLOCK 2**
 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
DRAINAGE PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096198011

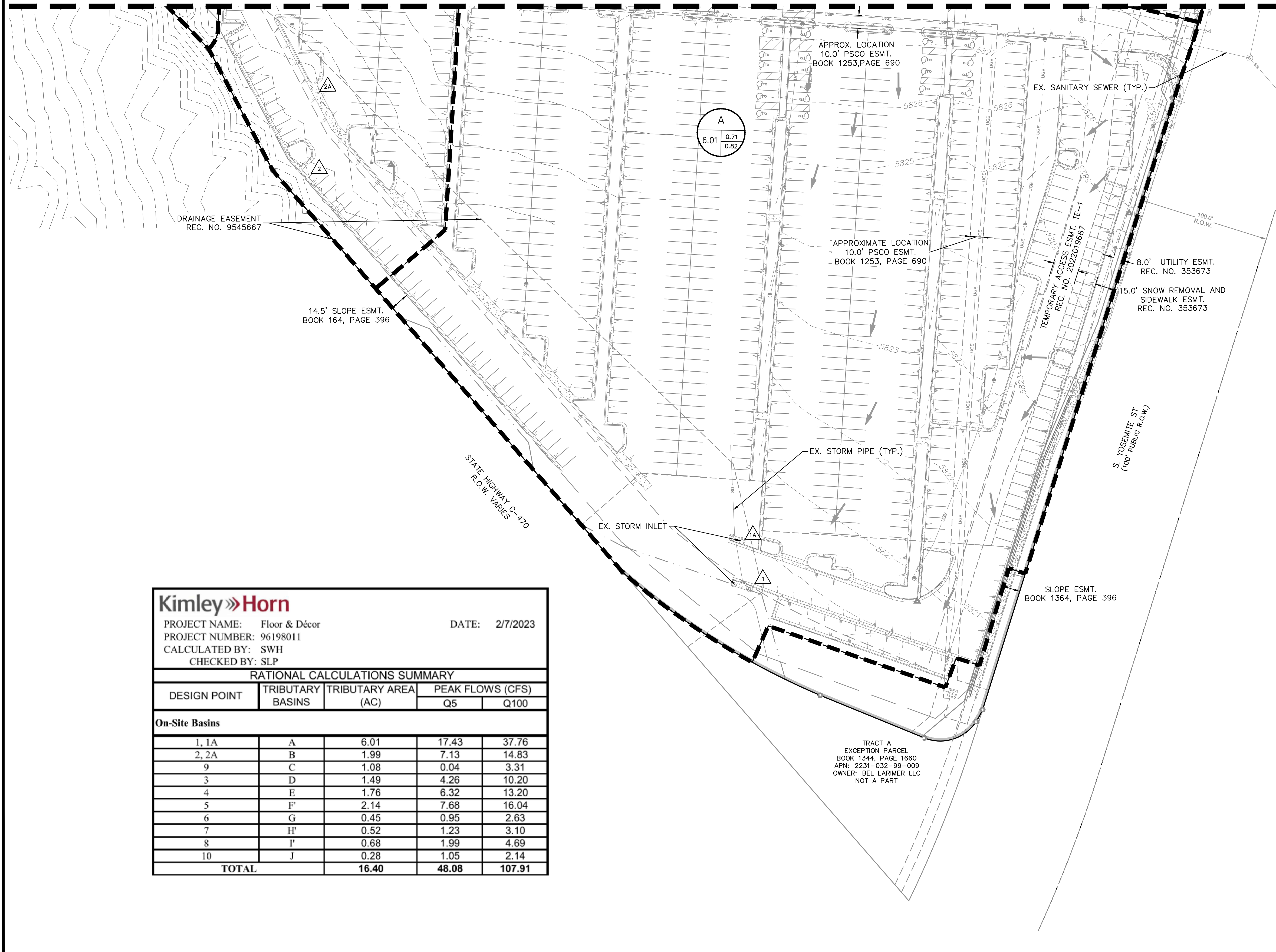
DRAWING NAME
 096198011_DRAINAGE.DWG

12 OF 34



PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE - SEE SHEET 12



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- BASIN BOUNDARY
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. CURB & GUTTER
- PROP. OUTLET STRUCTURE
- PROP. EMERGENCY SPILLWAY
- EX. RIPRAP
- EX. CONTOUR
- EX. ASPHALT
- EX. STORM SEWER
- EX. STORM STRUCTURE
- EX. WATER LINE
- EX. SANITARY LINE
- EX. GAS LINE
- EX. FIRE HYDRANT
- EX. WATER FIXTURE
- EX. SS MANHOLE
- EX. RIGHT OF WAY

4:1 1.00%
 → PROPOSED FLOW ARROW
 → EXISTING FLOW ARROW

--- PROPOSED 6" CONCRETE SIDEWALK
 --- EXISTING CONCRETE
 --- PROPOSED 6" PCCP
 --- HEAVY-DUTY CONCRETE RECONSTRUCTION

A B C D
 A - DRAINAGE BASIN
 B - BASIN ACREAGE
 C - 5-YEAR RUNOFF COEFFICIENT
 D - 100-YEAR RUNOFF COEFFICIENT

A1 DESIGN POINT

Kimley»Horn		PROJECT NAME: Floor & Décor		DATE: 2/7/2023	
		PROJECT NUMBER: 96198011			
		CALCULATED BY: SWH			
		CHECKED BY: SLP			
RATIONAL CALCULATIONS SUMMARY					
DESIGN POINT	TRIBUTARY BASINS	TRIBUTARY AREA (AC)	PEAK FLOWS (CFS)		
			Q5	Q100	
On-Site Basins					
1, 1A	A	6.01	17.43	37.76	
2, 2A	B	1.99	7.13	14.83	
9	C	1.08	0.04	3.31	
3	D	1.49	4.26	10.20	
4	E	1.76	6.32	13.20	
5	F	2.14	7.68	16.04	
6	G	0.45	0.95	2.63	
7	H	0.52	1.23	3.10	
8	I	0.68	1.99	4.69	
10	J	0.28	1.05	2.14	
TOTAL		16.40	48.08	107.91	

REVISION	BY	DATE

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
 DRAWN BY: JAQ
 CHECKED BY: SLP
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
 THIRD AMENDMENT, LOT 1A, BLOCK 2**
 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
DRAINAGE PLAN

PRELIMINARY
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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096198011
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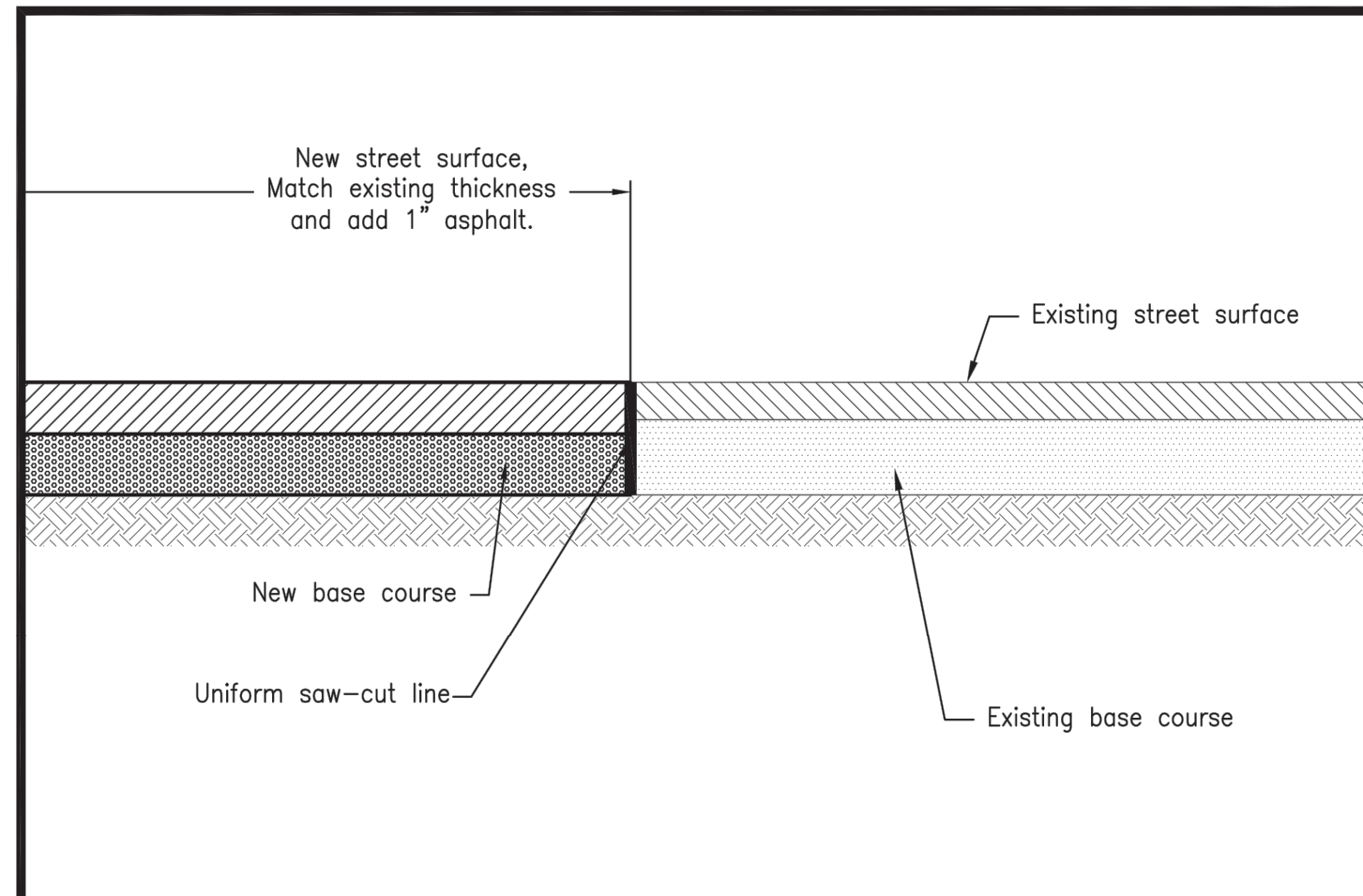
\\kimley-horn.com\mnt_dmv\DEN\Civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011_DRAINAGE.dwg Epstein, Molly 5/17/2023 11:46 AM



Know what's below.
Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



NOTES:

1. This Street Cut/Patching detail specifies requirements in addition to those specified in the latest edition of the Colorado Department of Transportation's Standard Specifications for Road and Bridge Construction.
2. A Construction Traffic Control Plan shall be submitted to and approved by Douglas County prior to issuance of Construction Permits in the County Right-Of-Way.
3. Pavement edges shall be saw-cut and kept to a neat vertical edge prior to paving.
4. Edges shall be tack coated prior to patching.

APPROVED BY DOUGLAS COUNTY

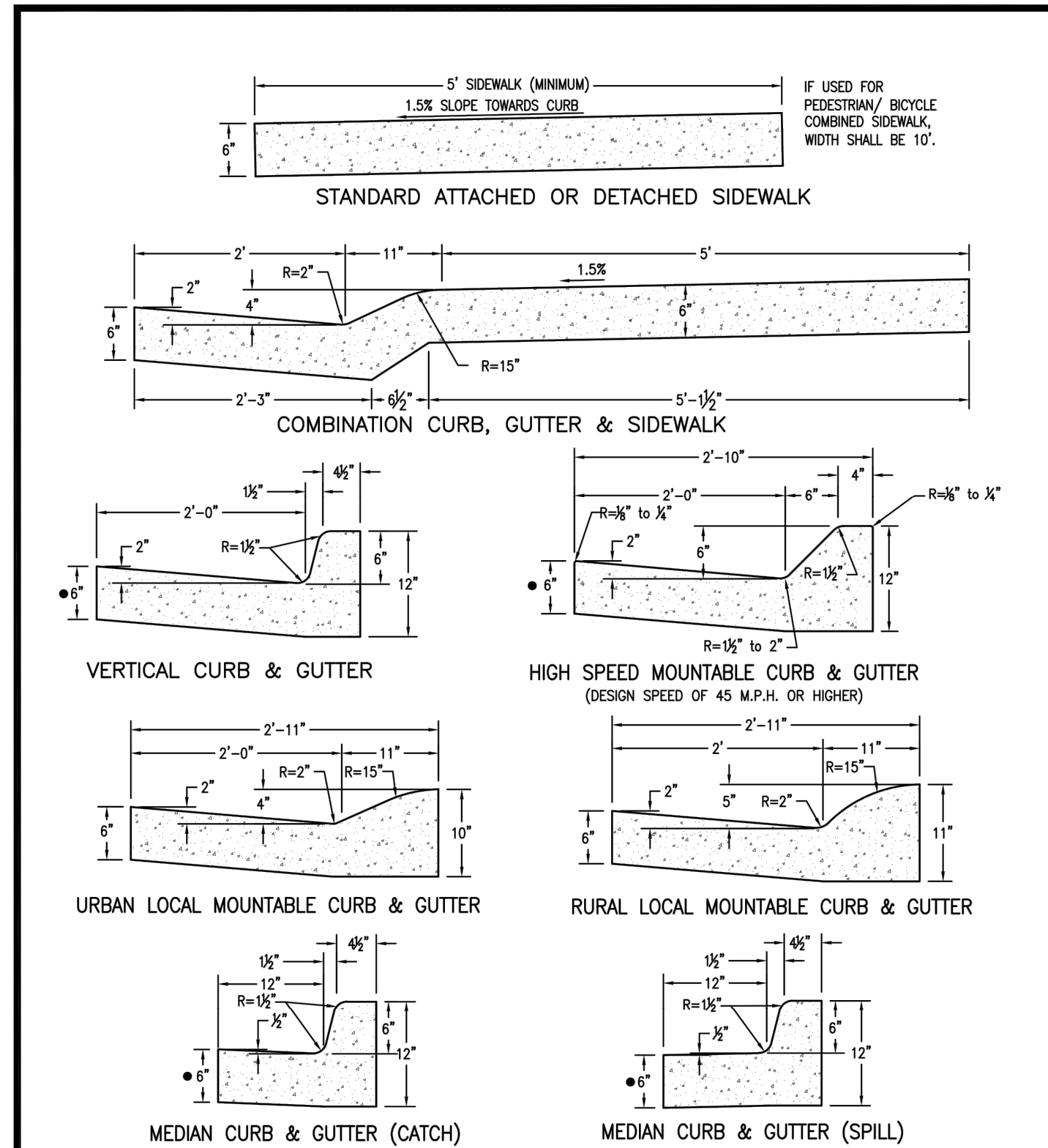
Janet Herman
JANET HERMAN, P.E.
DIRECTOR OF PUBLIC WORKS ENGINEERING

DATE 06/18/2021

ASPHALT STREET CUT/PATCHING

ISSUED: 05/2013
REVISED: 05/2021
DRAWING NO. **SP.62**

DOUGLAS COUNTY
COLORADO



NOTES:

1. IF A SIDEWALK IS PLACED BEHIND THE CURB BUT IS NOT PLACED MONOLITHICALLY, EXPANSION JOINT MATERIAL AND A SILICONE BASE SEALER MUST BE APPLIED BETWEEN THE SIDEWALK AND THE CURB.
2. SEE DRAWING NUMBER SP.23a AND SP.23b FOR TRENCH DRAIN.
3. SEE DRAWING NUMBER SP.31 AND SP.32 FOR CONCRETE JOINTS.
- GUTTER THICKNESS SHALL BE INCREASED TO MATCH CONCRETE PAVEMENT THICKNESS

APPROVED BY DOUGLAS COUNTY

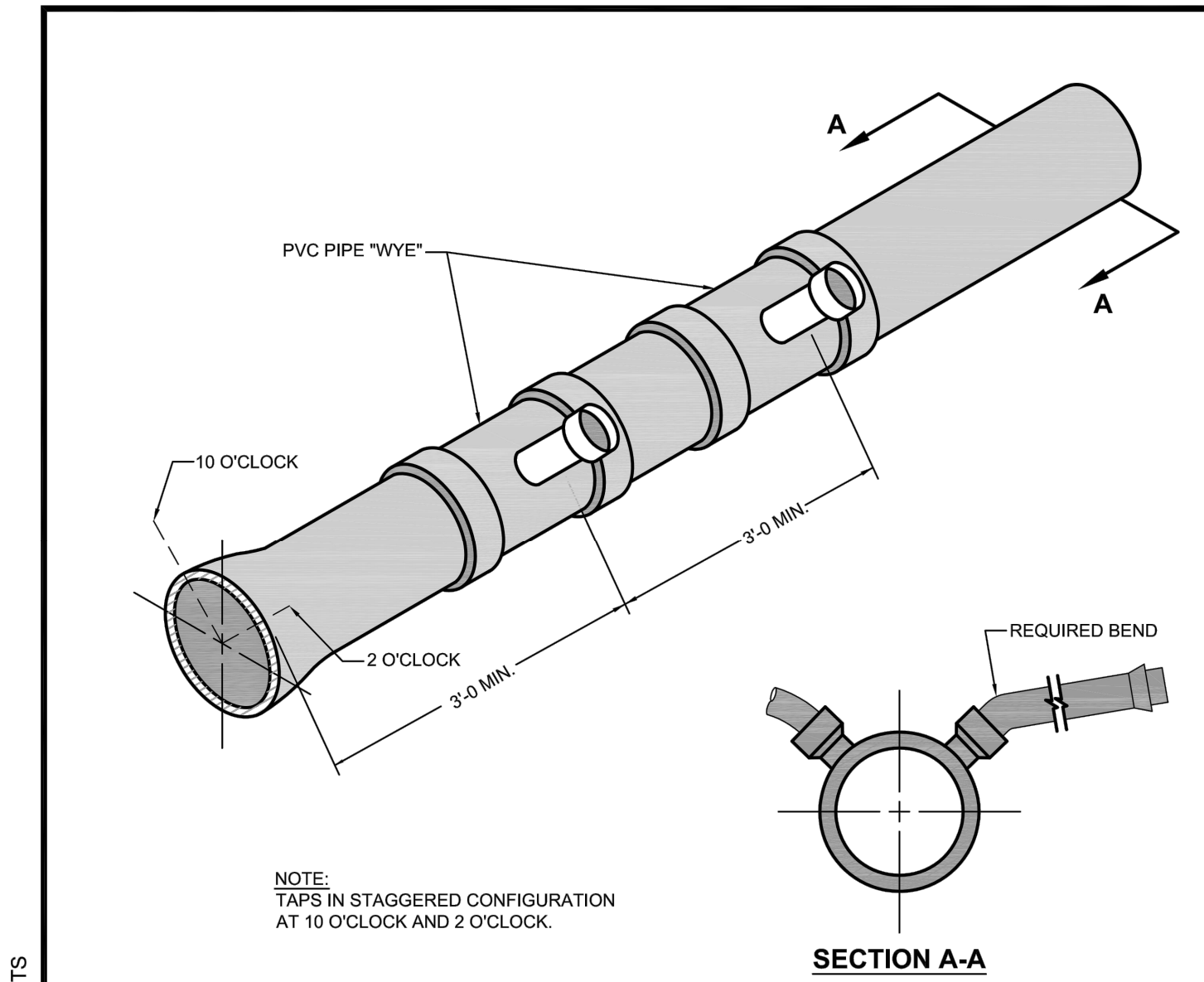
Janet Herman
JANET HERMAN, P.E.
DIRECTOR OF PUBLIC WORKS ENGINEERING

DATE 10/1/2021

CURB & GUTTERS AND SIDEWALKS

ISSUED: 05/2013
REVISED: 10/2021
DRAWING NO. **SP.17**

DOUGLAS COUNTY
COLORADO



NOTE:
TAPS IN STAGGERED CONFIGURATION AT 10 O'CLOCK AND 2 O'CLOCK.

NOTES:

1. SANITARY SEWER SERVICE TAPS SHALL BE LOCATED ON THE MAIN AT THE 2 O'CLOCK OR 10 O'CLOCK POSITION.
2. THE MINIMUM DISTANCE BETWEEN ANY TWO CONSECUTIVE FITTINGS SHALL BE 3 FEET, MEASURED BETWEEN FITTING CENTERLINES.
3. SANITARY SEWER SERVICE TAPS SHALL NOT BE MADE WITHIN 3 FEET OF A PIPE JOINT, OR 5 FEET FROM EDGE OF MANHOLE BASE.
4. A MAXIMUM OF FOUR SERVICE TAPS ARE ALLOWED PER 20 FOOT LENGTH OF PIPE.
5. ALL SANITARY SEWER TAPS SHALL USE "WYE" STYLE FITTINGS. TEES ARE NOT ALLOWED.

REVISIONS

BY	DATE

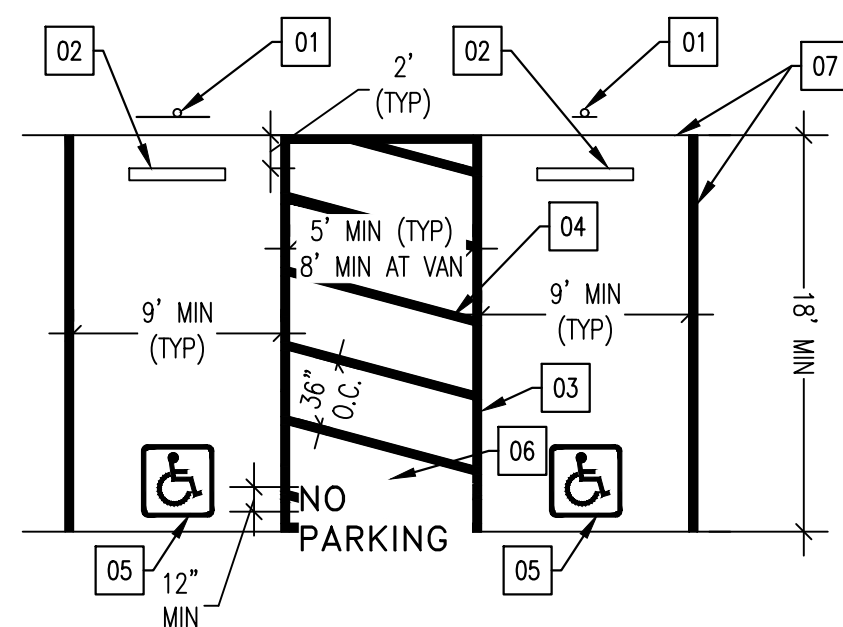
SCALE: NOT TO SCALE

ISSUE DATE: FEBRUARY 2016

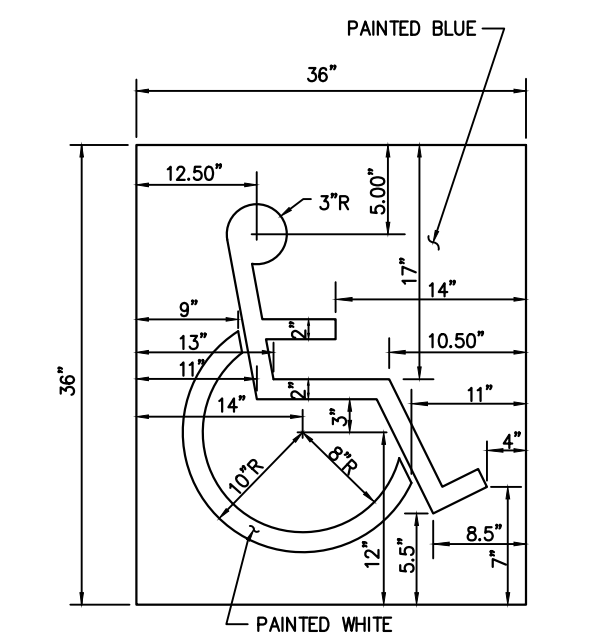
SHEET: 1 OF 1 DRAWING NO: SS-13

Southgate
WATER & SANITATION DISTRICTS

PVC PIPE SERVICE CONNECTION TO NEW CONSTRUCTION



- 01 ACCESSIBLE PARKING SIGN CENTERED ON PARKING SPACE, TYP.
- 02 REINSTALLED CONCRETE WHEELSTOP
- 03 LOADING AND UNLOADING ZONE ACCESS AISLE BORDER PAINTED BLUE STRIPING, 4" WIDE
- 04 4" STRIPES AT 36" MAXIMUM ON CENTER PAINTED WHITE
- 05 INTERNATIONAL SYMBOL OF ACCESSIBILITY @ END OF PARKING SPACE, TYP.
- 06 WITHIN THE ACCESSIBLE LOADING AISLE PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS, WHITE PAINT
- 07 IF CURB PRESENT ALONG EDGE OF ADA STALL, CURB SHALL BE PAINTED BLUE



ADA SYMBOL WITH BACKGROUND
LOCATED AT EDGE OF PARKING SPACE (PER CBC SECTION 11B-703.7.2.1)

DETAIL

ACCESSIBLE PARKING-STRIPING DETAIL AND ADA SYMBOL WITH BACKGROUND N.T.S.

REVISION	BY	DATE

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
STANDARD DETAILS

PRELIMINARY
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CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011

DRAWING NAME
096198011 STD
DETAILS.DWG

14 OF 34

CITY OF LONE TREE

DATE

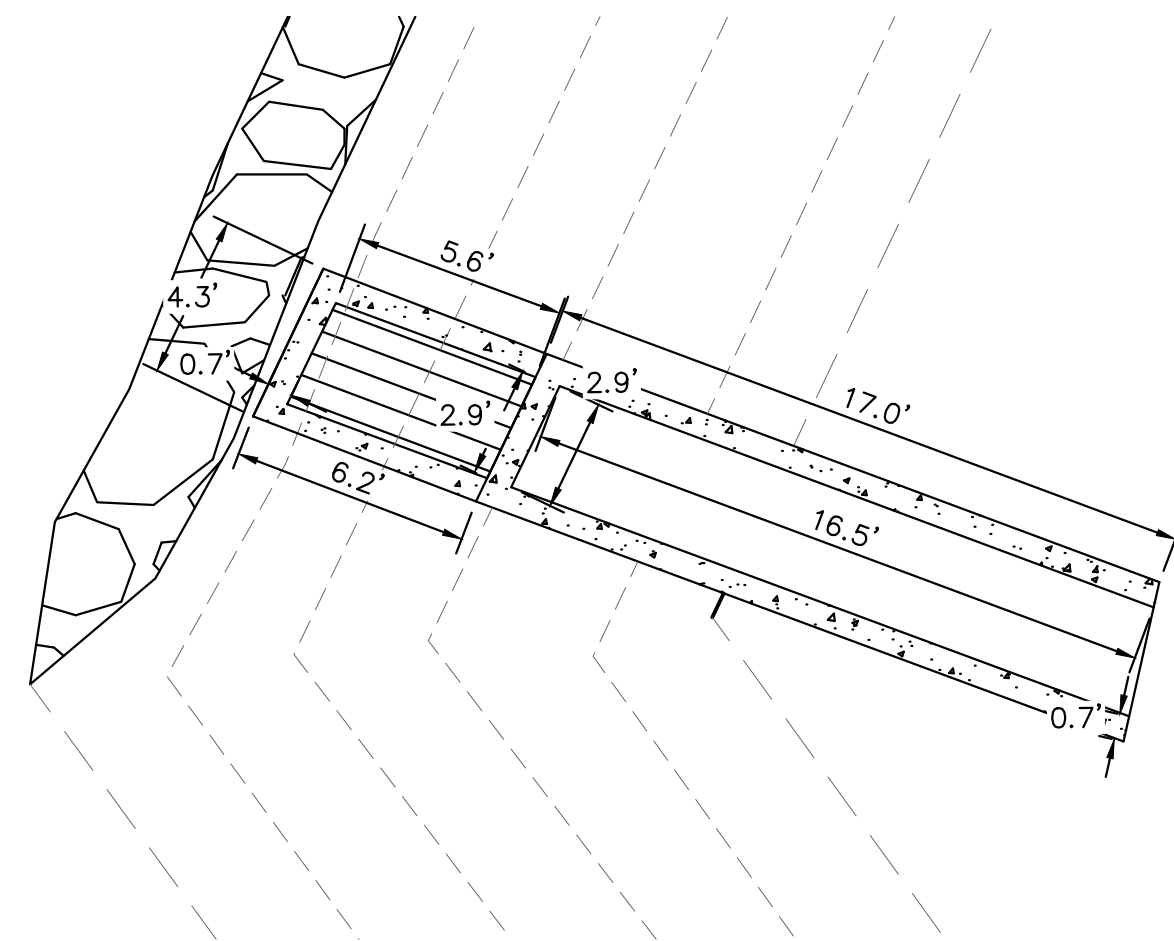
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

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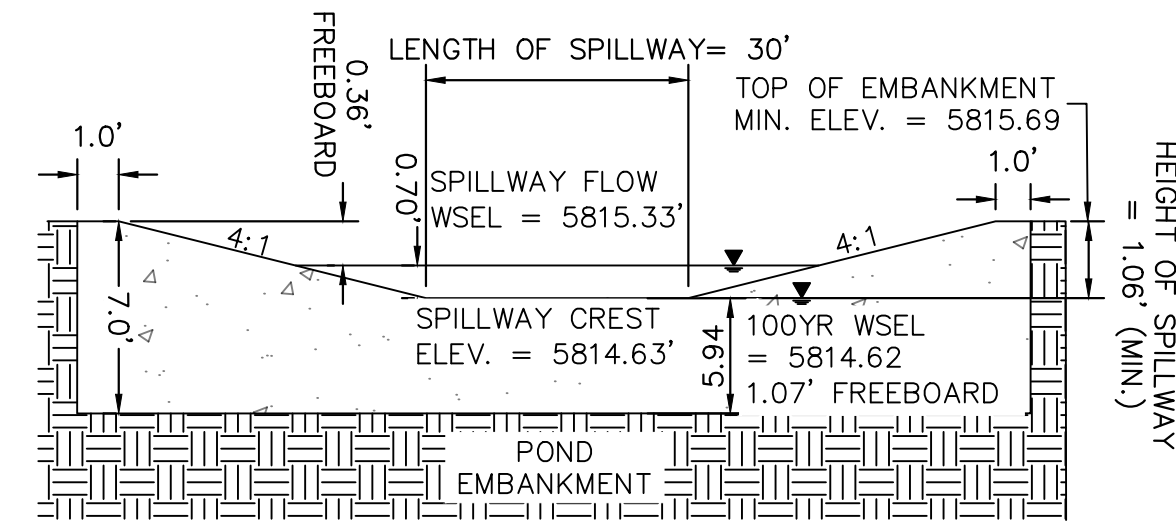


PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

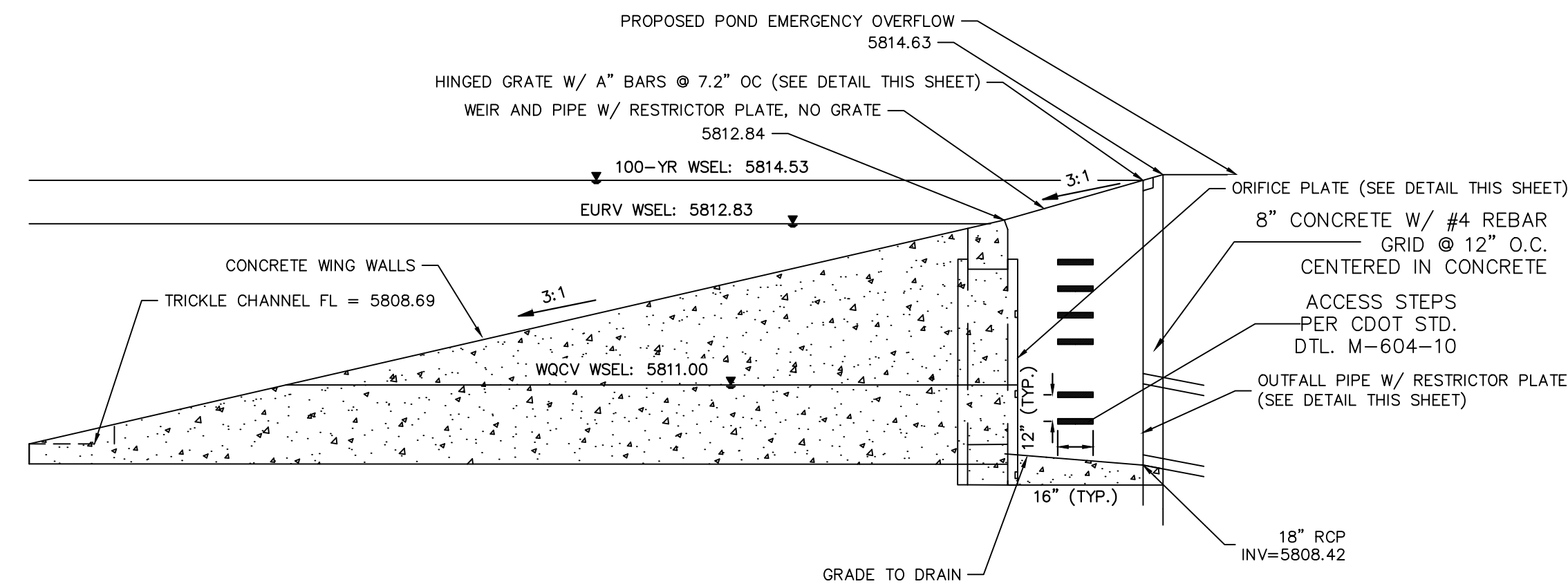


1 OUTLET STRUCTURE DIMENSIONS
N.T.S.

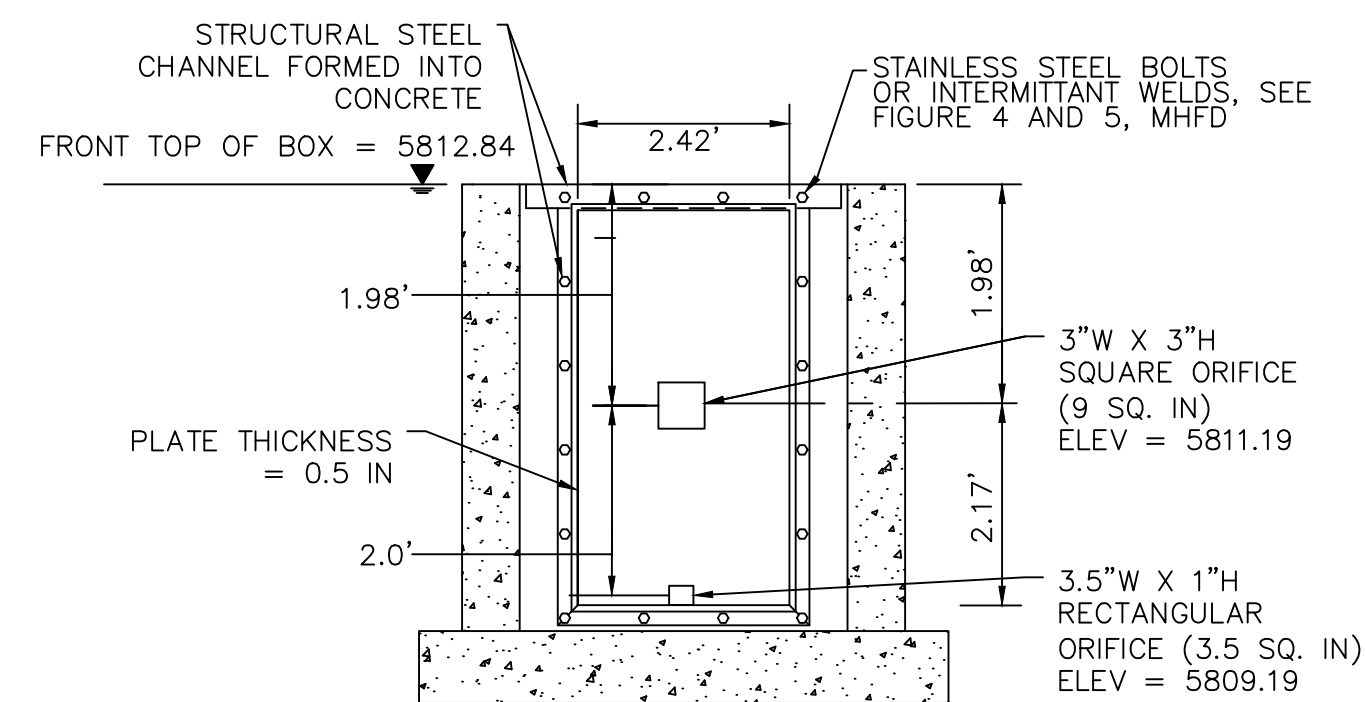
NOTE: CONTRACTOR TO ENSURE ACCESSIBILITY TO BOTH SECTIONS OF OUTLET STRUCTURE.



5 EMERGENCY SPILLWAY
N.T.S.



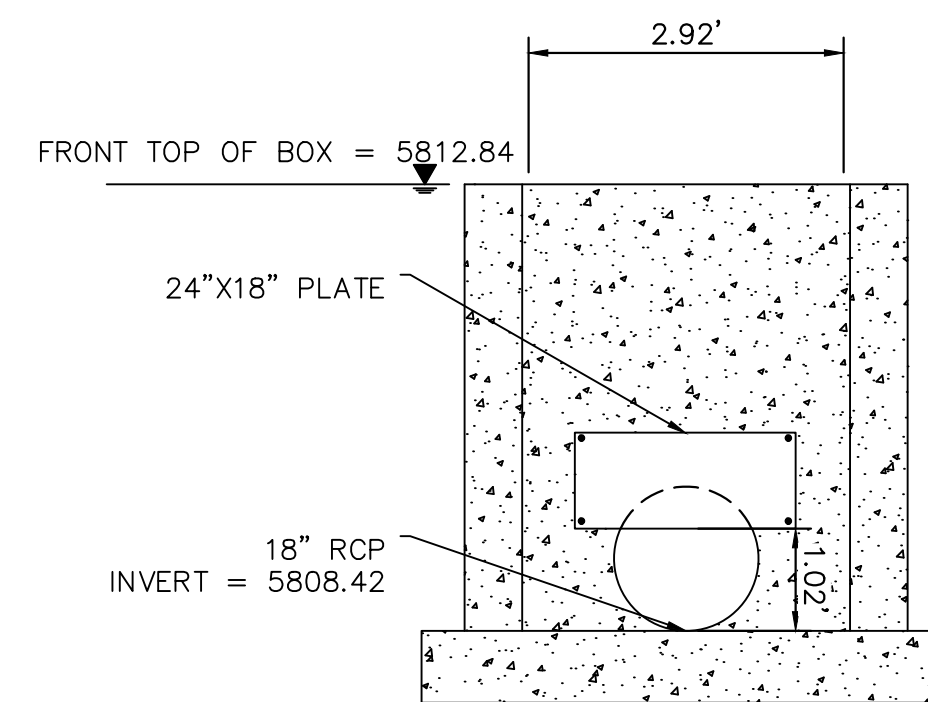
2 OUTLET STRUCTURE CROSS SECTION
N.T.S.



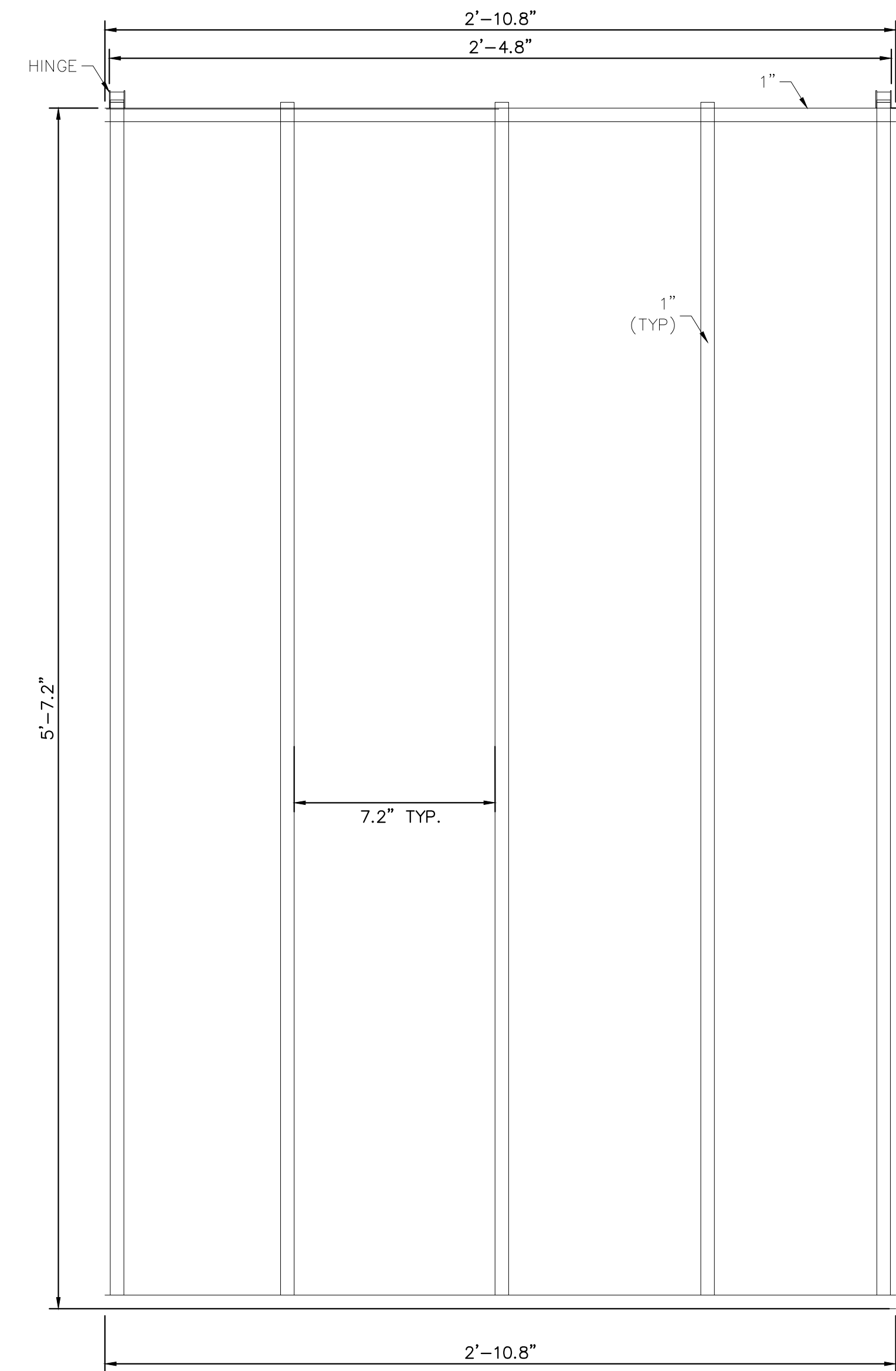
3 ORIFICE PLATE DETAIL
N.T.S.

ORIFICE PLATE NOTES

1. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE.
2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.



4 OUTFALL PIPE RESTRICTOR PLATE DETAIL
N.T.S.



6 TRASH RACK
N.T.S.

CITY OF LONE TREE
DATE
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.
ENGINEERING DIVISION ACCEPTANCE BLOCK



DESIGNED BY: SLP
 DRAWN BY: JAQ
 CHECKED BY: SLP
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
 THIRD AMENDMENT, LOT 1A, BLOCK 2**
 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
 STANDARD DETAILS

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PROJECT NO.
096198011
 DRAWING NAME
096198011 STD
DETAILS.DWG

REVISION	BY	DATE	APPR

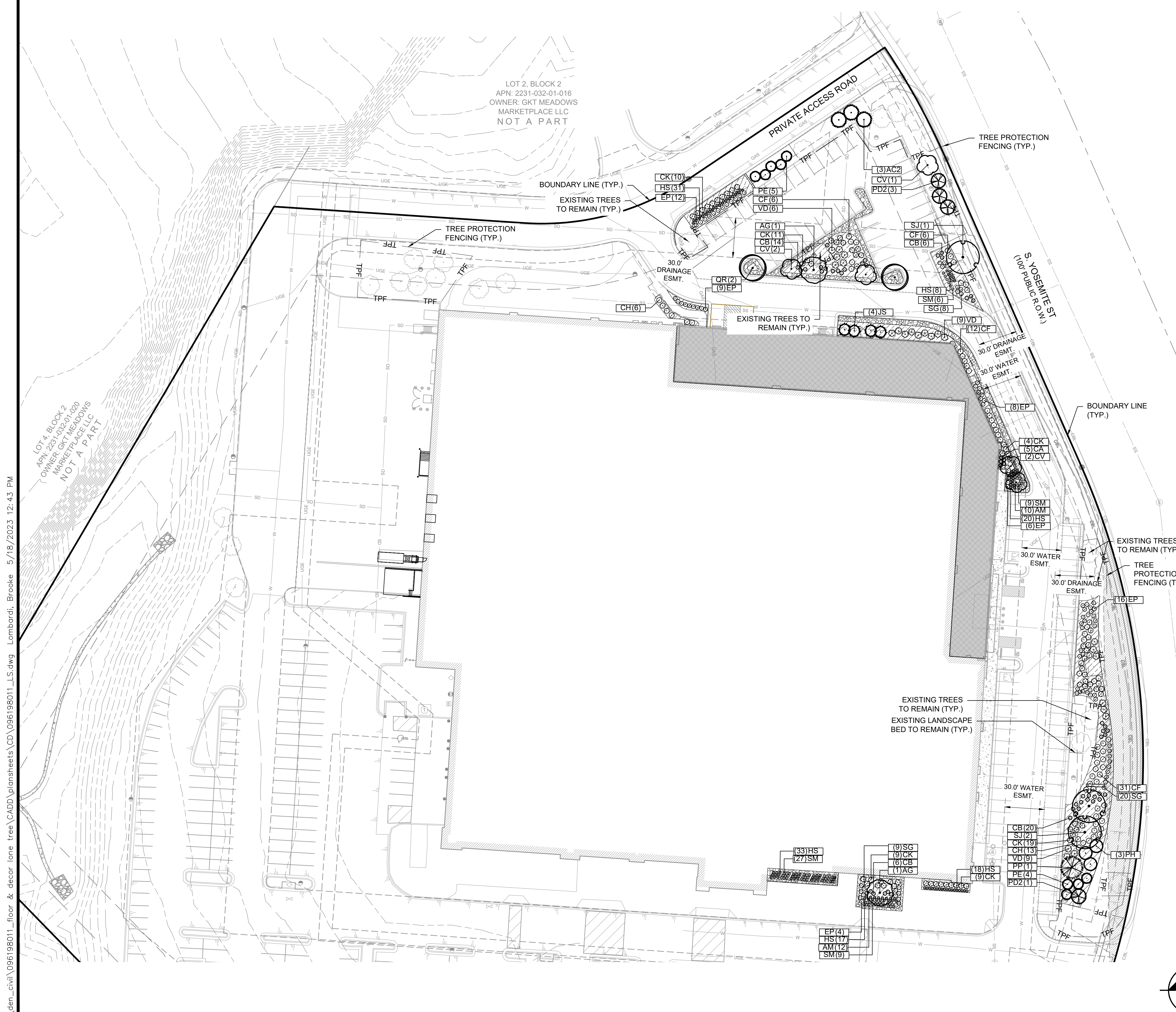
\\kimley-horn.com\mnt_dmv\DEN_Civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011 STD DETAILS.dwg Epstein, Molly 5/17/2023 11:47 AM



Know what's below.
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PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



PLANT SCHEDULE

CANOPY TREES	CODE	BOTANICAL / COMMON NAME
	AG	ACER TATARICUM 'GARANN' / HOT WINGS® TATARIAN MAPLE
	QR	QUERCUS RUBRA / NORTHERN RED OAK
	SJ	SOPHORA JAPONICA / JAPANESE PAGODA TREE
	AC2	ABIES CONCOLOR / WHITE FIR
	JS	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER
	PH	PICEA PUNGENS 'HOOPSII' / HOOPSII COLORADO SPRUCE
	PP	PINUS EDULIS / PINYON PINE
	PE	PINUS HELDREICHII 'EMERALD ARROW' / EMERALD ARROW BOSNIAN PINE
	PD2	PSEUDOTSUGA MENZIESII / DOUGLAS FIR
	CV	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN
	CB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD
	CF	COMBRETUM FRUTICOSUM / BURNING BUSH
	CH	CORNUS ALBA 'BAIHALO' / IVORY HALO® TATARIAN DOGWOOD
	CK	CORNUS SERICEA 'KELSEY' / KELSEY DWARF REDTWIG DOGWOOD
	EP	EUONYMUS COLORATUS / PURPLE WINTERCREEPER
	SG	SPIRAEA JAPONICA 'GOLDFLAME' / GOLDFLAME JAPANESE SPIREA
	VD	VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM
	CA	CALAMAGROSTIS X ACUTIFLORA / FEATHER REED GRASS
	HS	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS
	AM	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW
	SM	SALVIA NEMOROSA 'MAY NIGHT' / MAY NIGHT SAGE
	RM	2"-4" RIVER ROCK MULCH / TO MATCH EXISTING ON SITE
	MULCH	DOUBLE SHREDDED HARDWOOD MULCH / MATCH EXISTING ON SITE
	PROPOSED ASPHALT	
	TREE PROTECTION FENCING	

CITY OF LONE TREE LANDSCAPING NOTES

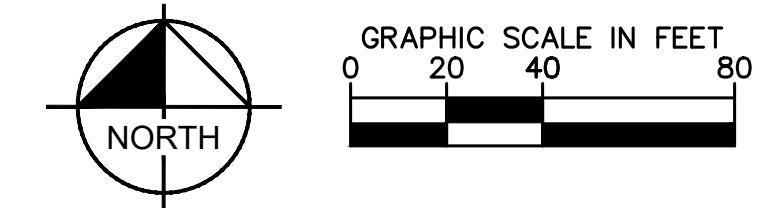
- ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION.
- ALL MULCH AND/OR ROCK COBBLE SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS
- THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



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LOT 4, BLOCK 2
APN: 2231-032-01-020
OWNER: GKT MEADOWS
MARKETPLACE LLC
NOT A PART

LOT 2, BLOCK 2
APN: 2231-032-01-016
OWNER: GKT MEADOWS
MARKETPLACE LLC
NOT A PART

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: JNL
DRAWN BY: JNL
CHECKED BY: EJM
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
LANDSCAPING PLAN

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CONSTRUCTION

PROJECT NO.
096198011

DRAWING NAME
096198011_LS.DWG

16 OF 34



Know what's below. Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

- 1. GENERAL. MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.

Table with 2 columns: MATERIAL, SAMPLE SIZE. Includes MULCH, TOPSOIL MIX, PLANTS.

2. PLANT MATERIALS

- a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT... b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.

E. SOIL MIXTURE

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW. 2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

F. WATER

- 1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC...

G. FERTILIZER

- 1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

H. MULCH

- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANTS CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAWTREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

- 1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT. 2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

J. CONTAINER GROWN STOCK

- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

K. MATERIALS LIST

- 1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION. 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.

M. PLANTING PROCEDURES

- 1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR. 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. 3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL. 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE. 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEATED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANKLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED. 6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS. 7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK. 8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. 9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. 10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL. 11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. 12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6". 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION. 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES. 15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'. 16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING). 17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

- 18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE, DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

- 19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

- 20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

- 23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

N. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER. THE CONTRACTOR SHALL BRING THE GROUND TO AN EVEN GRADE. THE END OF THE SODDING AREA SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY. 4. SODDING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

- 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADEING IF NECESSARY.

- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"x4" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

- 1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

- 1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

- 1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

- 2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

- 3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

Table with columns: REVISION, BY, DATE

Kimley»Horn logo and contact information: KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: JNL DRAWN BY: JNL CHECKED BY: EJM DATE: 04/28/2023

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2 CITY OF LONE TREE, COUNTY OF DOUGLAS CONSTRUCTION DOCUMENTS LANDSCAPE NOTES

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn Kimley-Horn and Associates, Inc.

PROJECT NO. 096198011

DRAWING NAME 096198011_LS.DWG

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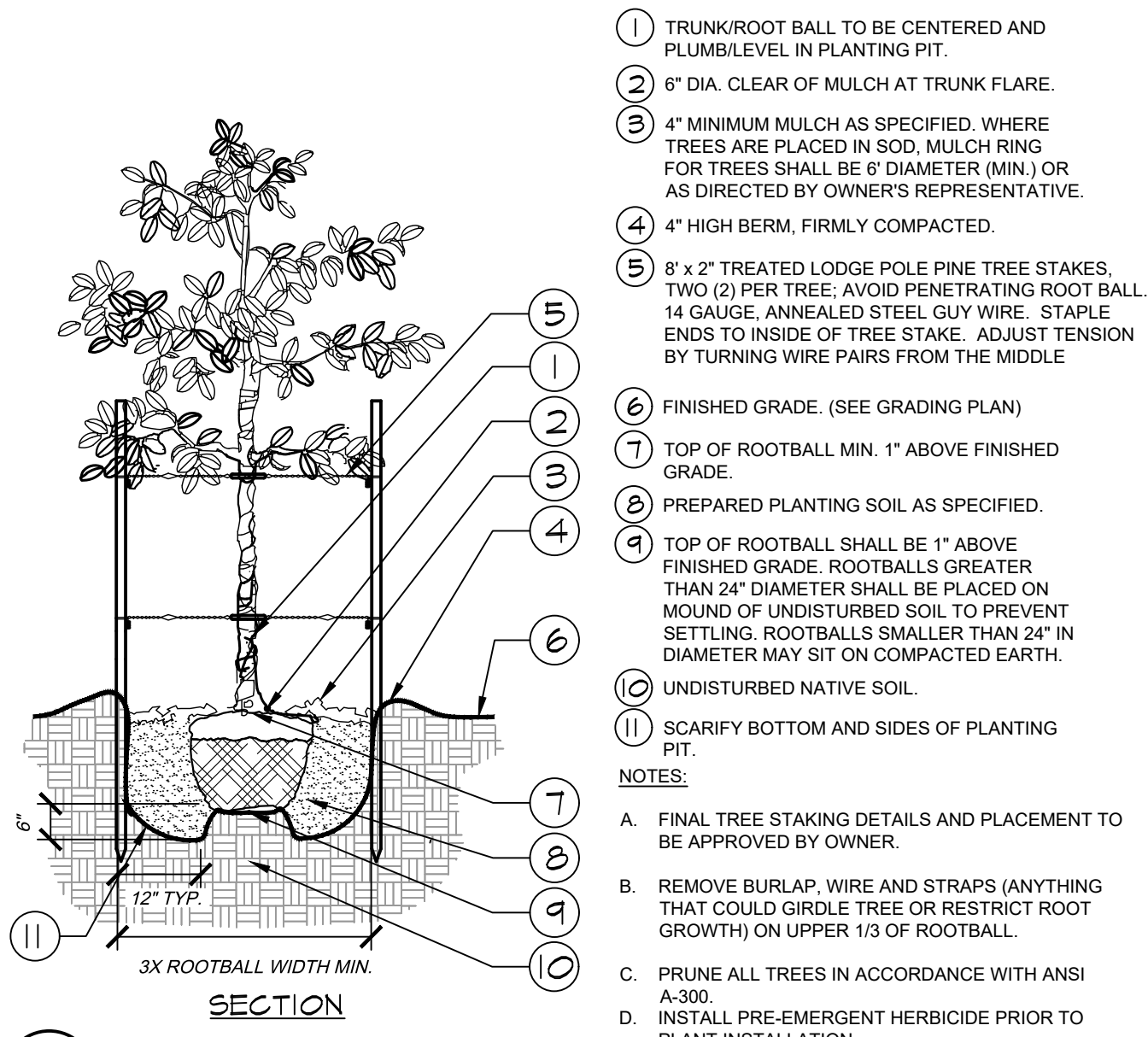
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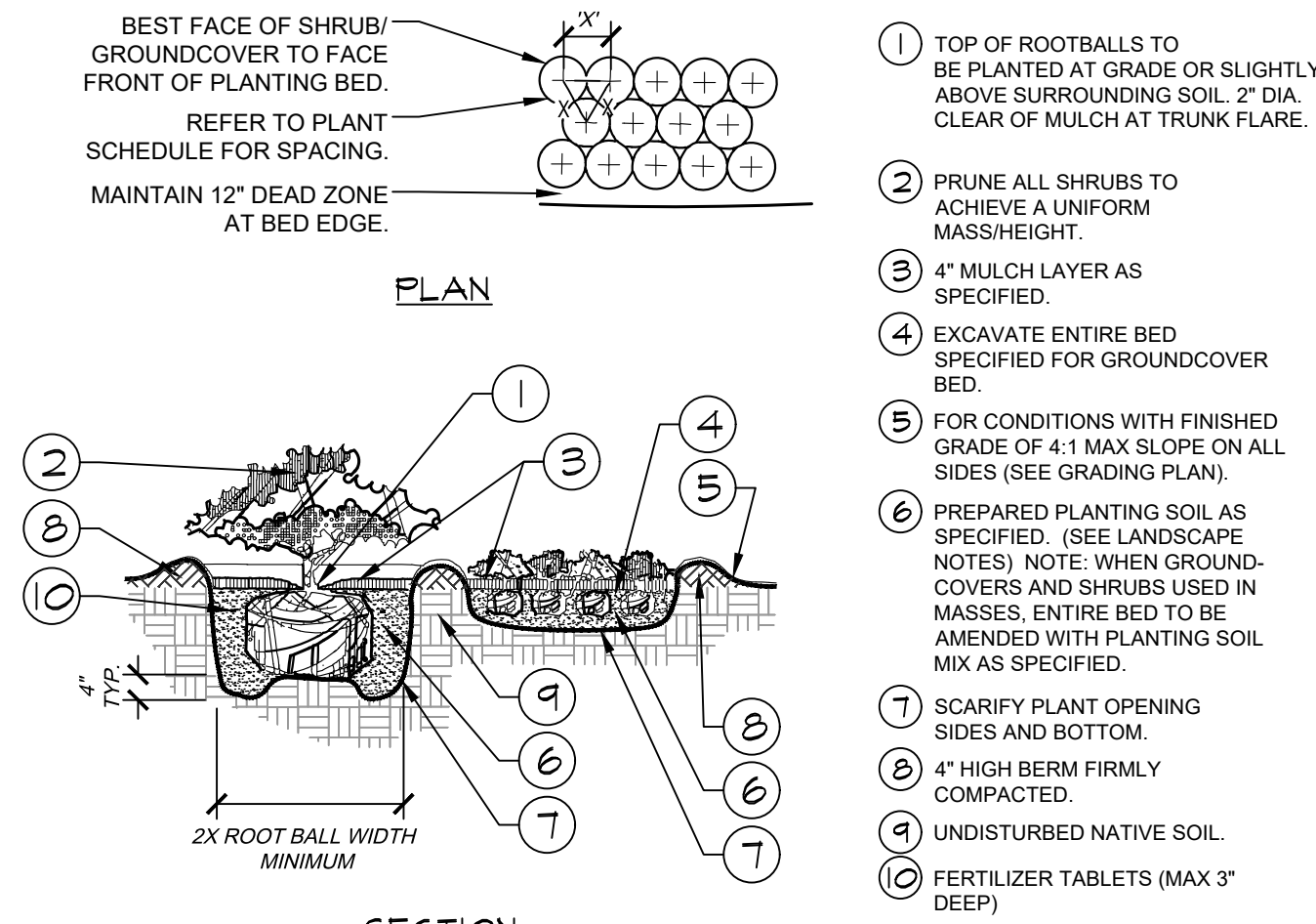


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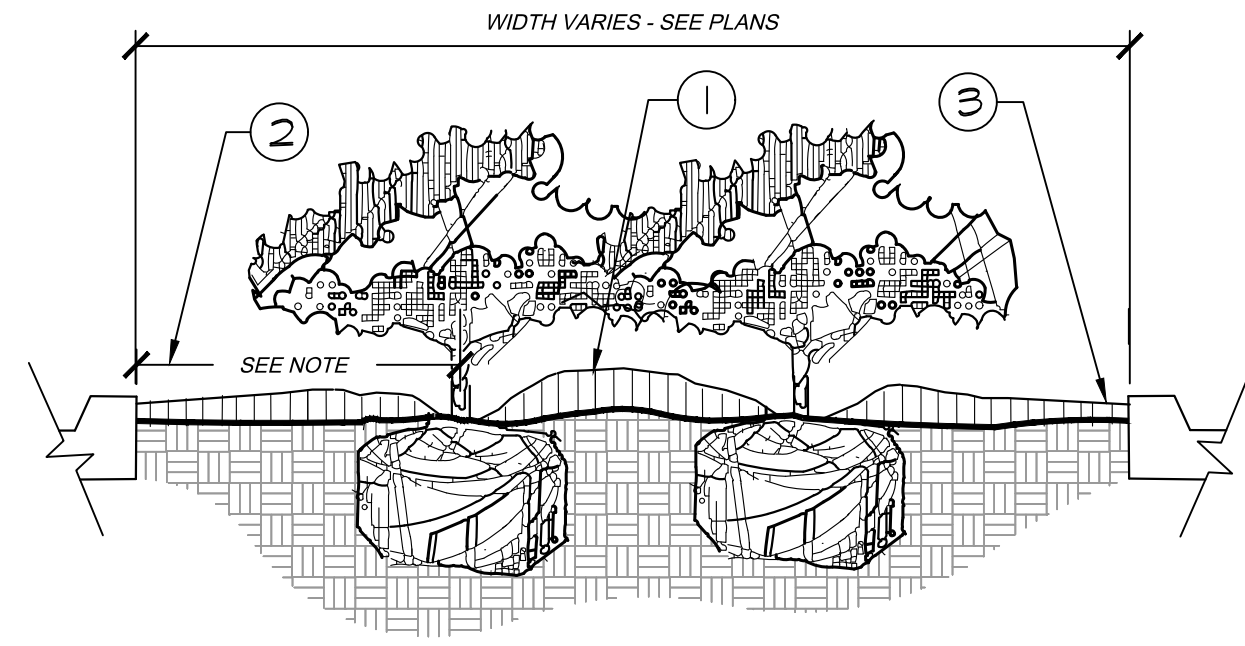
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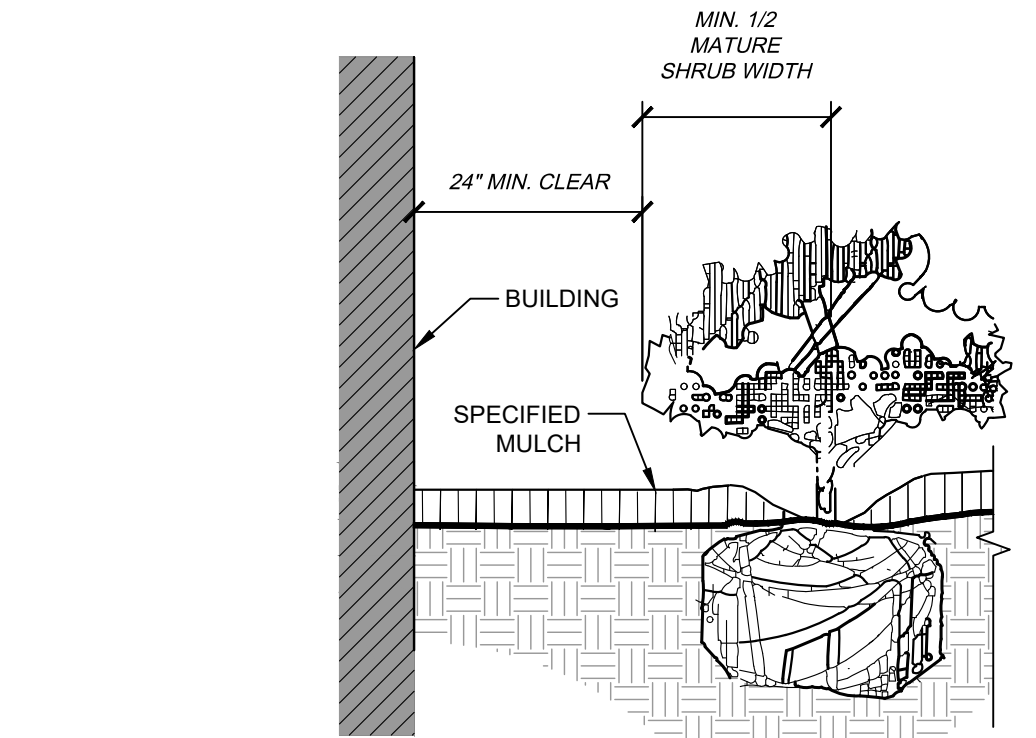
1 TREE PLANTING - STAKING
SECTION / PLAN NTS



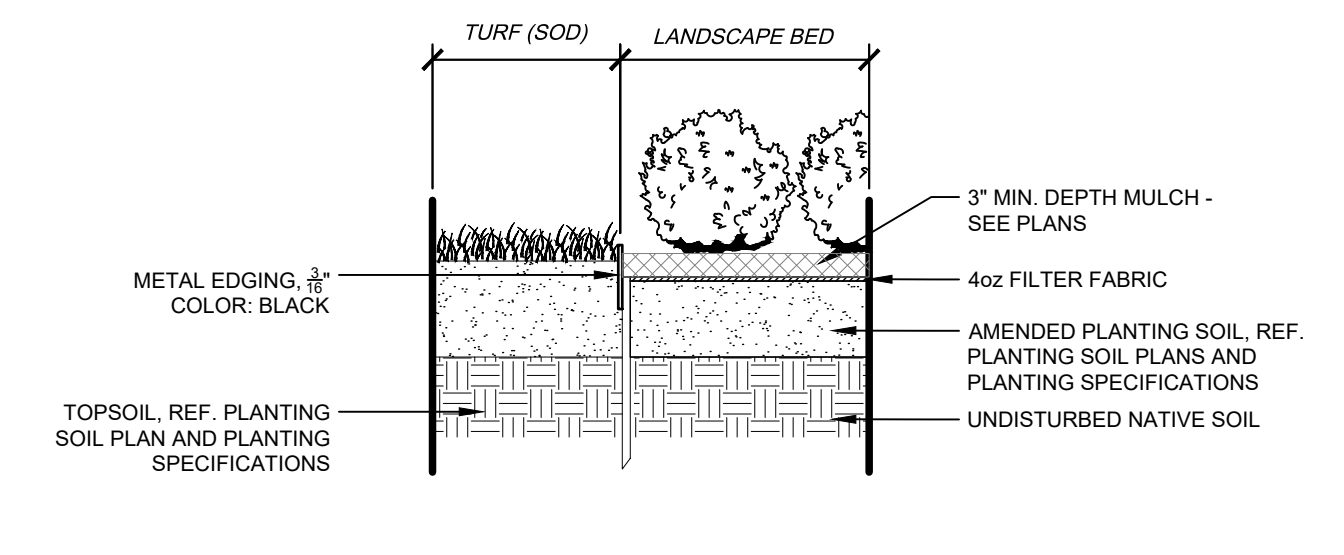
2 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN NTS



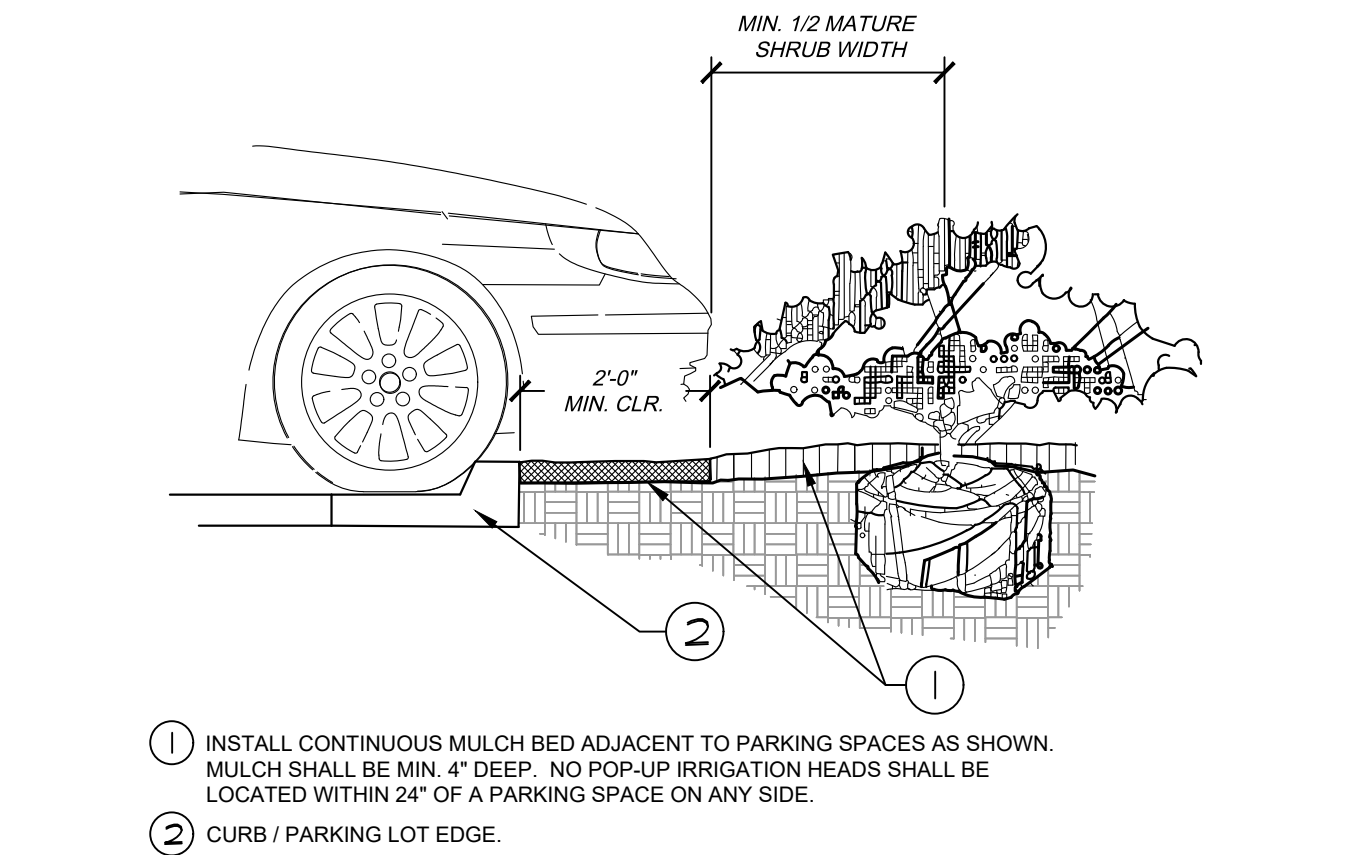
3 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION NTS



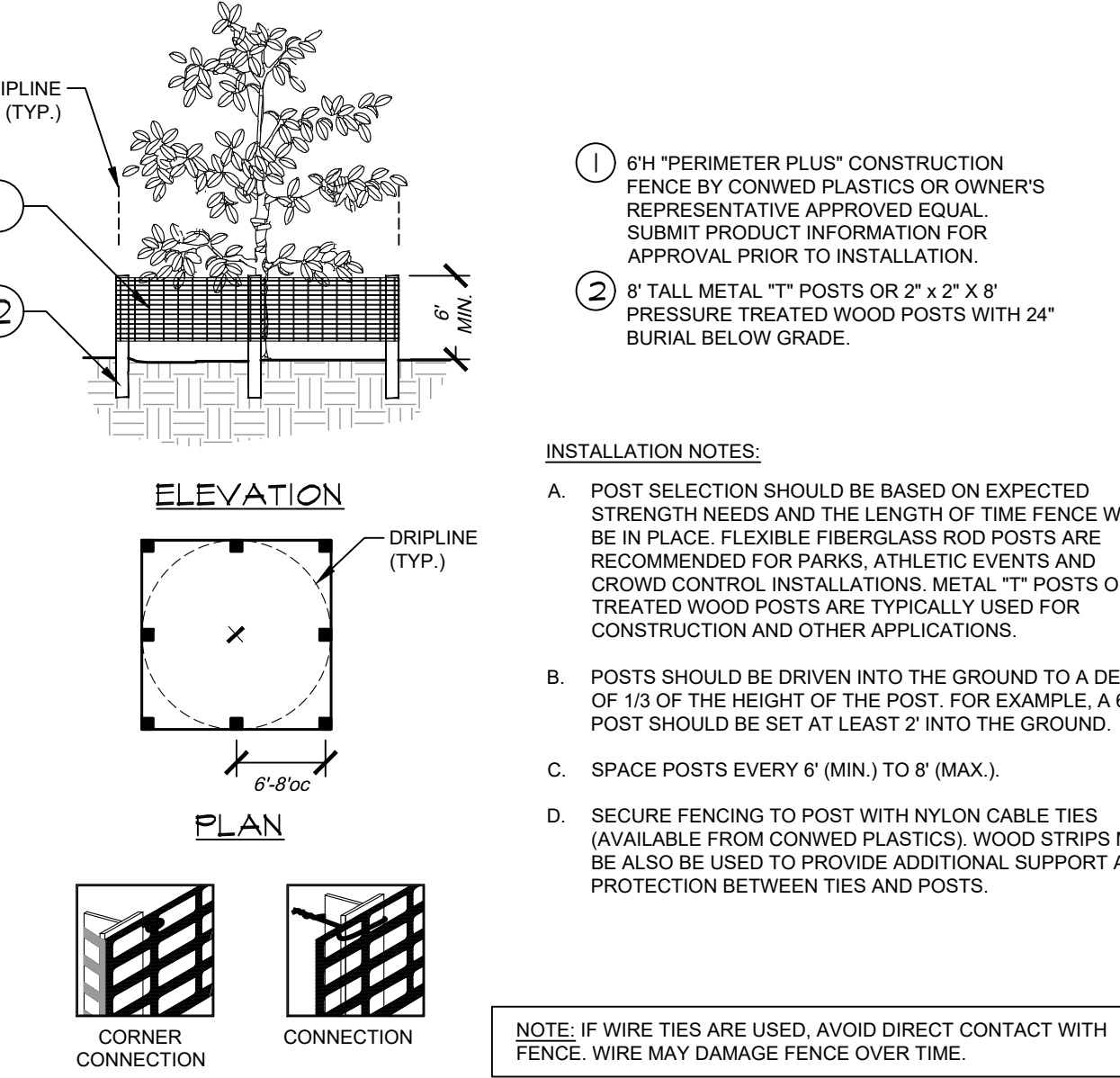
4 PLANTINGS ADJACENT TO BUILDINGS
SECTION NTS



5 METAL EDGER AT PLANTING BED
SECTION NTS



6 PARKING SPACE/CURB PLANTING
SECTION NTS



7 TREE PROTECTION FENCING
ELEVATION / PLAN NTS

NO.	REVISION	BY	DATE

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: JNL
DRAWN BY: JNL
CHECKED BY: EJM
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
LANDSCAPE DETAILS

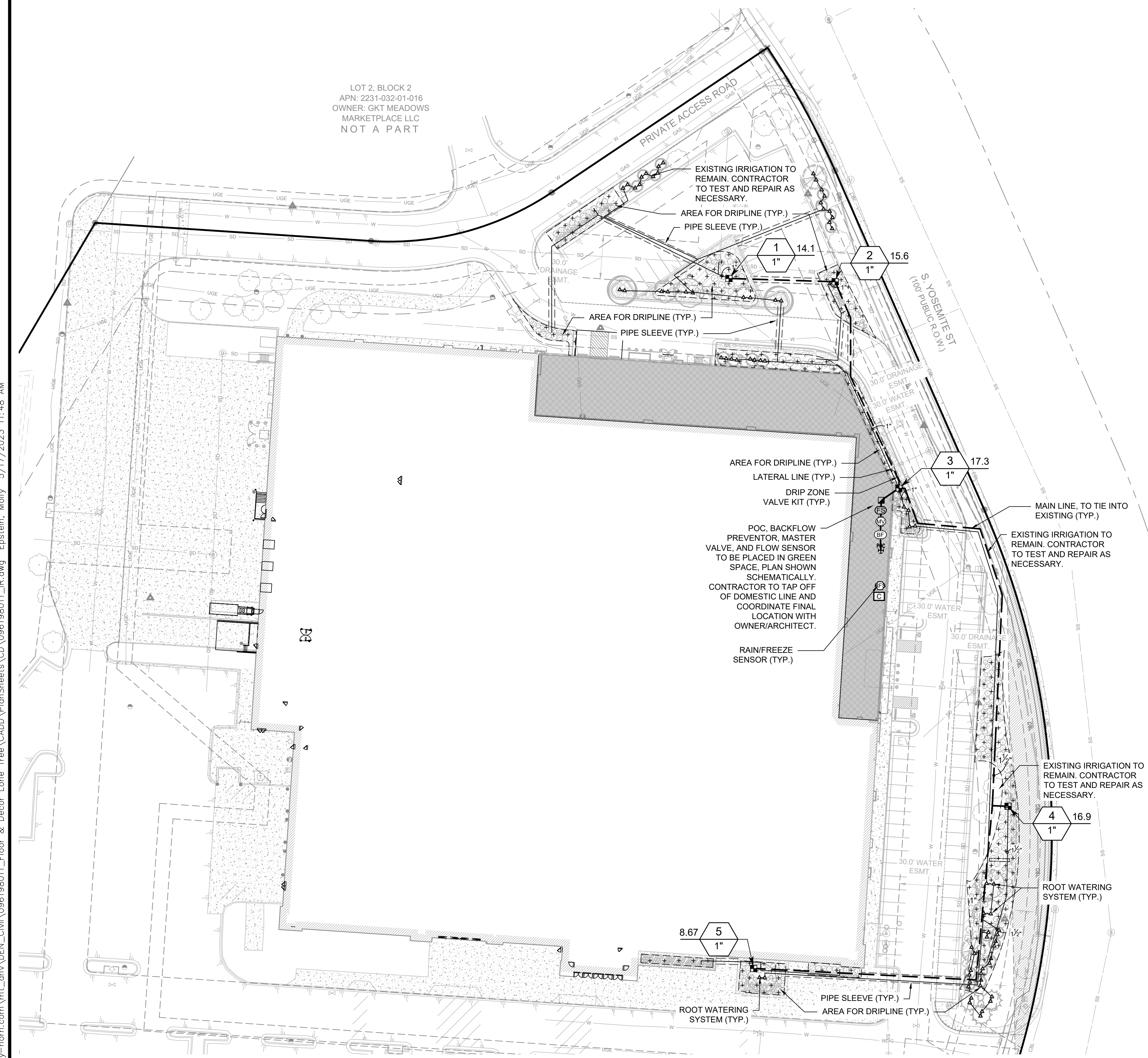
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Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011
DRAWING NAME
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CITY OF LONE TREE _____
DATE _____
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ENGINEERING DIVISION ACCEPTANCE BLOCK

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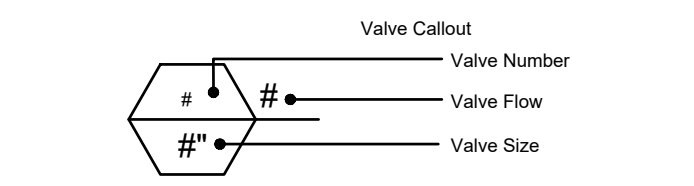
PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



LOT 2, BLOCK 2
 APN: 2231-032-01-016
 OWNER: GKT MEADOWS
 MARKETPLACE LLC
 NOT A PART

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
△ 1401	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1400 SERIES MINI ROOT WATERING SYSTEM WITH 4IN. DIAMETER X 18IN. LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	72	30
■	RAIN BIRD XCZ-100-PRB-R WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. PURPLE CAP DESIGNATES FOR RECLAIMED WATER, NON-POTABLE USE. 1IN. PRESS. VALVE AND 1IN. PRESSURE REGULATING 40PSI BASKET FILTER. 0.3-20 GPM.	5	
+	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD PC-1032-DIFF-PPL SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS WITH 10-32 THREADED INLET. WITH PURPLE DIFFUSER CAP FOR NON-POTABLE USE. FLOW RATE: 5 GPH=LIGHT BROWN, 7 GPH=VIOLET, 10 GPH=GREEN. Emitter Notes: PC-05-1032 emitters (2 assigned to each 1 GAL. plant) PC-05-1032 emitters (2 assigned to each 5 GAL. plant)	10,840 S.F.	
■	RAIN BIRD 44-LRC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1	
MV	RAIN BIRD PESS 1" 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION. WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	1	
BF	WATTS LF909 1" LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER.	1	
C	RAIN BIRD ESPLXME2-LXMSS (3) 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMSS STAINLESS STEEL CABINET.	1	
RFS	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1	
FS	RAIN BIRD FS-100-B 1IN. FLOW SENSOR, BRASS MODEL. SUGGESTED OPERATING RANGE 2.0 GPM TO 40.0 GPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. RAIN BIRD COMPATIBLE CONTROLLERS: ESP-LXIV(MP) LXI LXME2(P) ME3. OR CONTROLLERS ACCEPTING CUSTOM K-FACTOR AND OFFSET. INSTALL IN RAIN BIRD VALVE BOX.	1	
POC	POINT OF CONNECTION 1"	1	
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE, ONLY LATERAL TRANSITION PIPE SIZES 1.851 L.F. 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	1,851 L.F.	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	826.4 L.F.	
---	PIPE SLEEVE: PVC SCHEDULE 40	444.3 L.F.	



CRITICAL ANALYSIS

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P.O.C. NUMBER: 01
 Water Source Information:

FLOW AVAILABLE
 Point of Connection Size: 1"
 Flow Available: 18.2 GPM

PRESSURE AVAILABLE
 Static Pressure at POC: 75 PSI
 Pressure Available: 75 PSI

DESIGN ANALYSIS
 Maximum Station Flow: 17.25 GPM
 Flow Available at POC: 18.2 GPM
 Residual Flow Available: 0.95 GPM

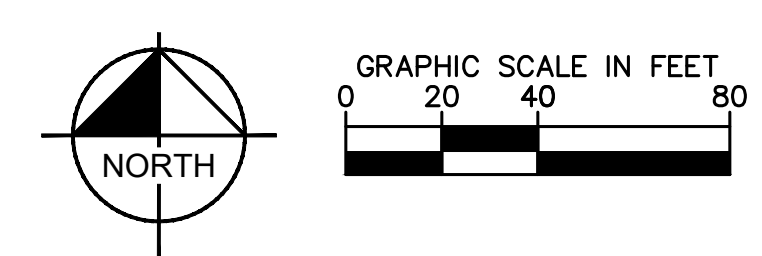
Critical Station: 3
 Design Pressure: 30 PSI
 Friction Loss: 2.81 PSI
 Fittings Loss: 0.28 PSI
 Elevation Loss: 0 PSI
 Loss through Valve: 17.3 PSI
 Pressure Req. at Critical Station: 50.4 PSI
 Loss for Fittings: 0.04 PSI
 Loss for Main Line: 0.43 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Loss for Backflow: 14.3 PSI
 Loss for Master Valve: 2.6 PSI
 Critical Station Pressure at POC: 67.7 PSI
 Pressure Available: 75 PSI
 Residual Pressure Available: 7.3 PSI

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRIP EMITTERS	14.14	306.3	43.6	62.2	1.57 in/h
2	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRIP EMITTERS	15.61	233.0	46.0	64.5	1.87 in/h
3	RAIN BIRD XCZ-100-PRB-R	1"	BUBBLER	17.25	81.1	50.4	67.7	0.98 in/h
4	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRIP EMITTERS	16.94	358.5	47.4	67.3	1.23 in/h
5	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRIP EMITTERS	8.67	622.1	36.4	59.4	2.38 in/h
	Common Wire				826.4			

CITY OF LONE TREE IRRIGATION NOTES

- IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00PM AND 6:00AM.
- ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

REVISION BY DATE
 APPR
 Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: JNL
 DRAWN BY: JNL
 CHECKED BY: EJM
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
 THIRD AMENDMENT, LOT 1A, BLOCK 2**
 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
IRRIGATION PLAN

PRELIMINARY
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 CONSTRUCTION
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 Kimley-Horn and Associates, Inc.

PROJECT NO.
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20 OF 34

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PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

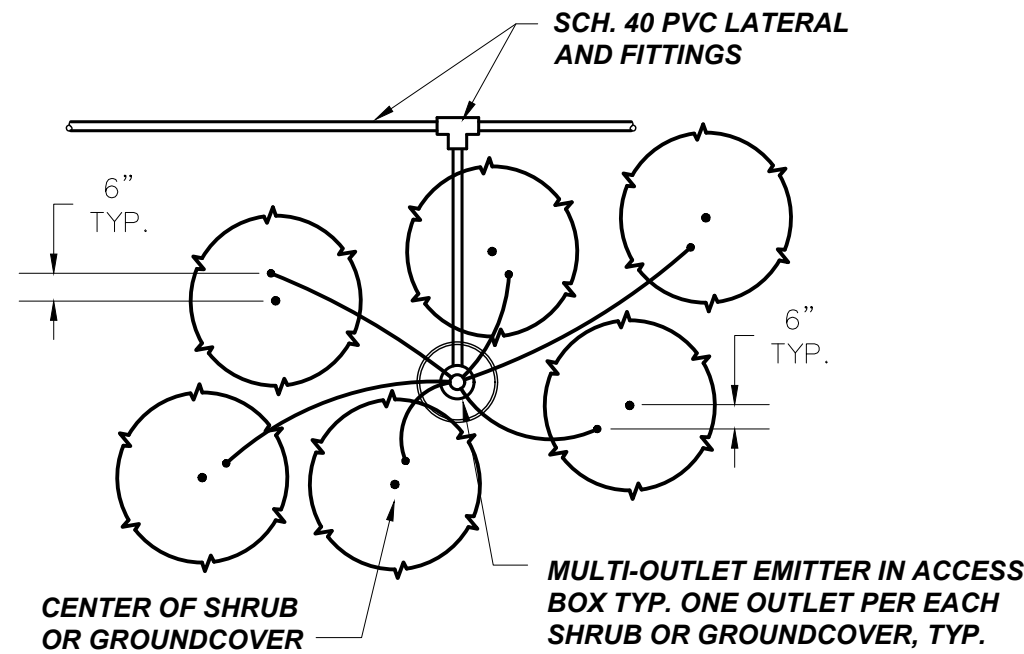
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL IRRIGATION SPECIFICATIONS AND NOTES

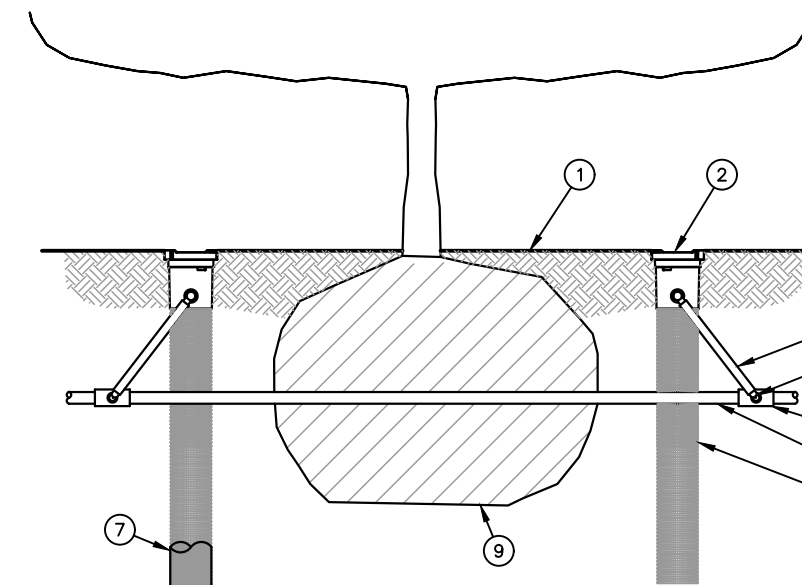
- THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
- CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE. REFER TO CRITICAL ANALYSIS FOR ASSUMED STATIC PRESSURE.
- CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
- IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL CONTRACTOR.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
- THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES. ALL IRRIGATION SLEEVINGS TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
- NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB," LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
- THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
- ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN VALVE BOXES.
- ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
- LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINES RUN PARALLEL TO PAVEMENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
- IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIPLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
- ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
- IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION. (INDOOR VS. OUTDOOR USE)
- IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- LOCATE THE AUTOMATIC RAIN / FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOBSTRUCTED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD, INCLUDING OFF-SITE IRRIGATION. CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.
- CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.
HYDRO-TESTING TO BE PERFORMED AS LISTED:
THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. PRIOR TO BACKFILLING, CONTRACTOR SHALL FILL PIPING WITH WATER. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO PURGE THE AIR FROM IT. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE PIPING AND SET SO AS TO MAINTAIN 125 PSI FOR TWO (2) HOURS WITHOUT INTERRUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND.
- ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
- ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 1/2" ELECTRICAL CONDUIT.
- CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
- ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

NOTES:

- LENGTH OF DISTRIBUTION TUBING SHALL NOT EXCEED 12'-0". REFER TO LOCAL JURISDICTIONAL REQUIREMENTS; MAXIMUM ALLOWABLE LENGTH MAY BE LESS.
- LAYOUT DISTRIBUTION TUBING AS SHOWN AND LOCATE DISCHARGE POINT 2" ABOVE FINISHED GRADE.



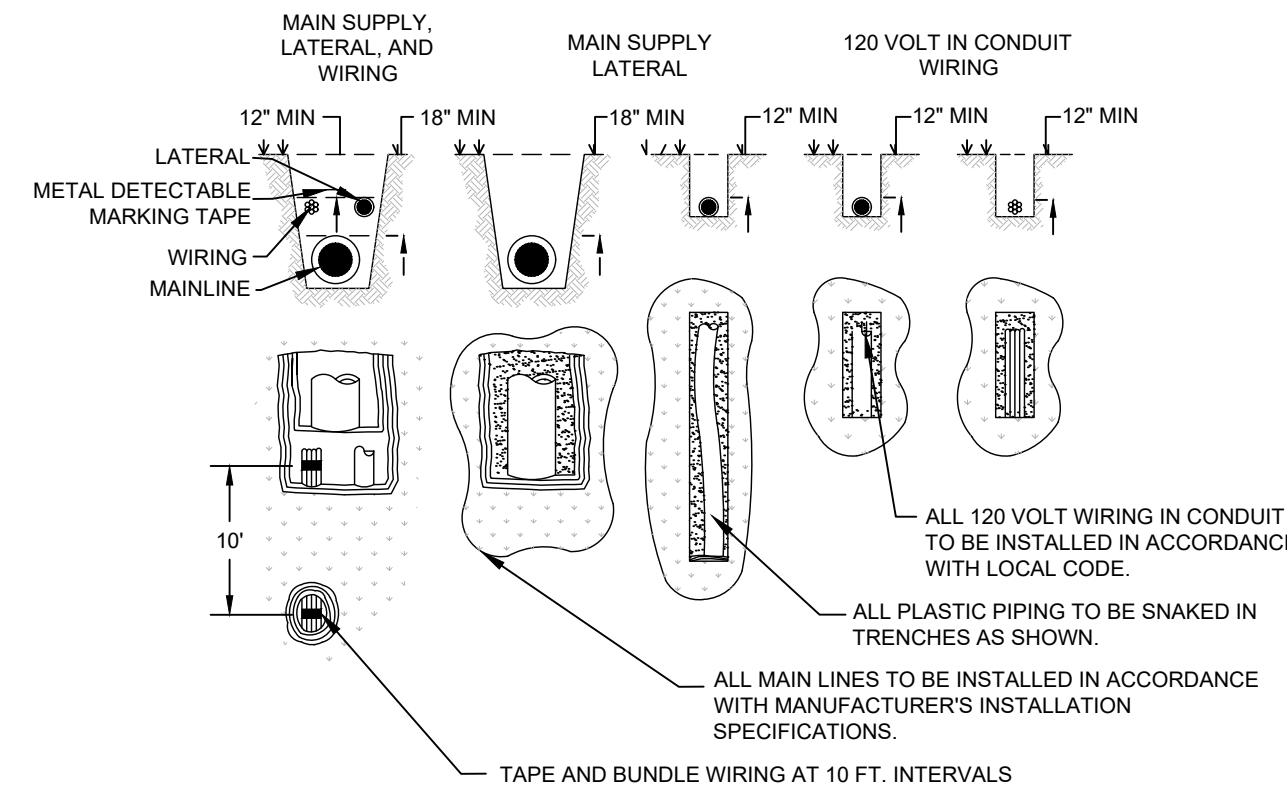
2 MULTI-OUTLET DRIP EMITTER LAYOUT 1" = 1" 096-198-011-28



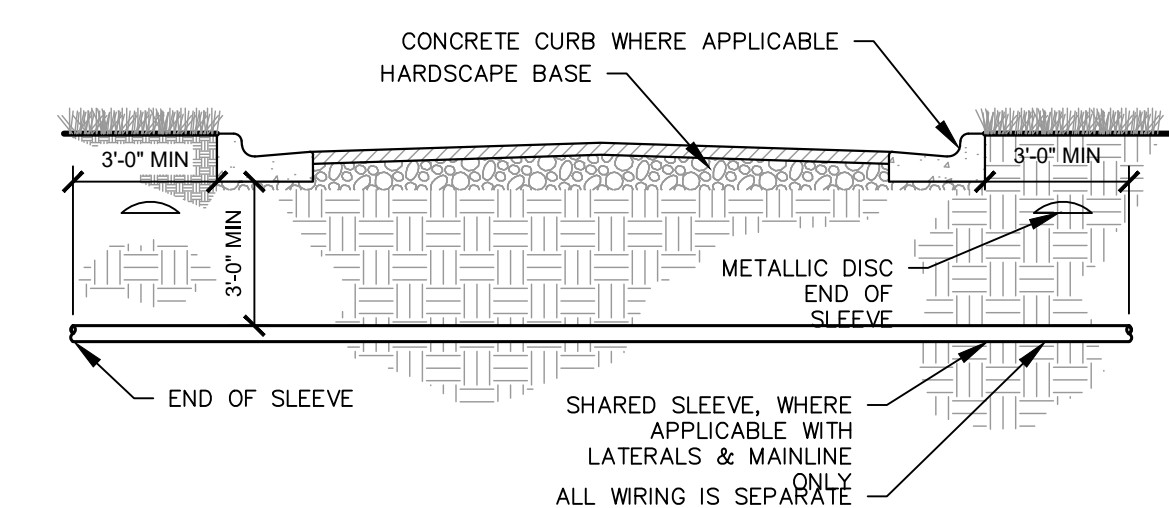
- FINISH GRADE/TOP OF MULCH
- ROOT WATERING SYSTEM: RAIN BIRD RWS
- SWING ASSEMBLY (INCLUDED)
- 1/2" (1.3 CM) MALE NPT INLET (INCLUDED)
- PVC SCH 40 TEE OR EL
- PVC OR POLYETHYLENE LATERAL PIPE
- OPTIONAL SOCK (RWS-SOCK) FOR SANDY SOILS
- 4" (10.2 CM) WIDE X 36" (91.4 CM) LONG RIGID BASKET WEAVE CANISTER (INCLUDED)
- PLANT ROOT BALL

- NOTES:
- POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
 - INSTALL PRODUCT WITH TOP OPEN WITH GROUND SURFACE.
 - RWS SERIES AVAILABLE IN THE FOLLOWING MODELS:
RWS-B-C-1401: 0.25 GPM (0.95 L/M), CHECK VALVE
RWS-B-1401: 0.25 GPM (0.95 L/M)
RWS-B-X-1401: 0.25 GPM (0.95 L/M), 18" (45.7 CM) SWING ASSEMBLY
RWS-B-C-1402: 0.5 GPM (1.9 L/M), CHECK VALVE
RWS-B-1402: 0.5 GPM (1.9 L/M)
RWS-B-C-1404: 1.0 GPM (3.8 L/M), CHECK VALVE
 - WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 - ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
 - OPTIONAL RWS-SOCK FOR USE IN SANDY SOILS.

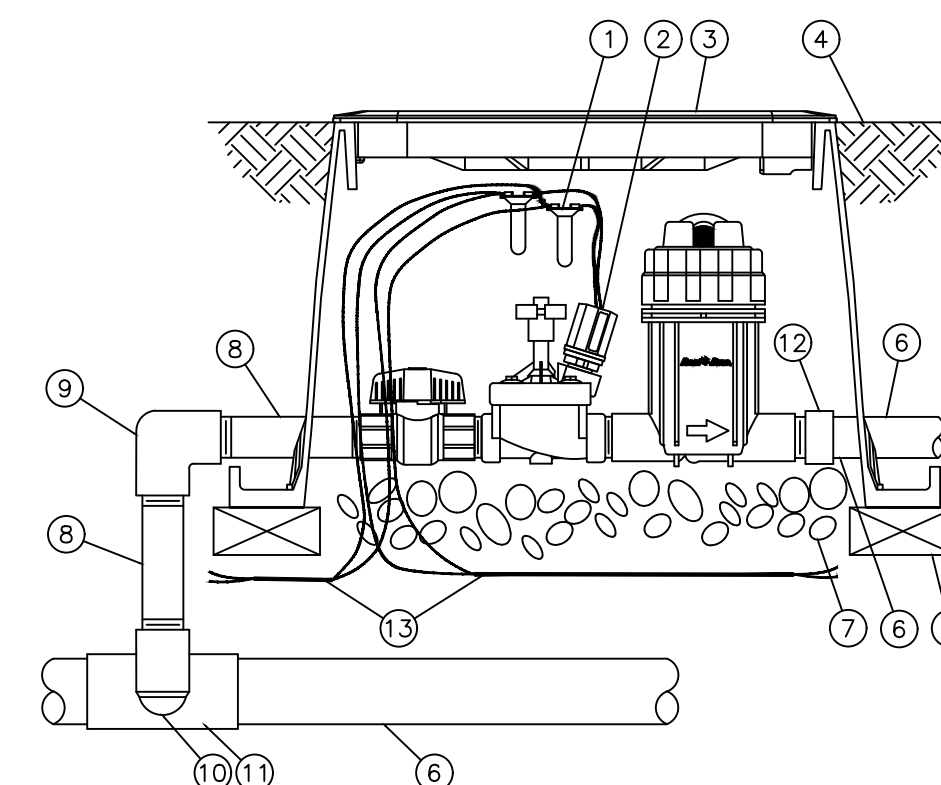
3 ROOT WATERING SYSTEM NTS 096-198-011-28



4 TYPICAL TRENCHING SECTION NTS



5 TYPICAL SLEEVING SECTION NTS



- WATERPROOF SPLICE CONNECTION: RAIN BIRD WC20 (TWO REQUIRED)
- RAIN BIRD DRIP KIT: XCZ-100-PRB-COM WITH IVM-SOL
- VALVE BOX WITH COVER: RAIN BIRD VB-STD
- FINISH GRADE OR TOP OF MULCH
- BRICK (1 OF 4)
- PVC PIPE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- PVC SCH 80 NIPPLE 1"
- PVC SCH 80 ELBOW
- PVC SCH 80 NIPPLE (2" LENGTH, HIDDEN) AND PVC SCH 80 ELBOW
- PVC SCH 80 TEE OR ELBOW
- PVC SCH 40 MALE ADAPTER
- TWO-WIRE CABLE BETWEEN DEVICES (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR CONTROLLER)

6 DRIP ZONE VALVE KIT - 0-15 GPM SECTION NTS

CITY OF LONE TREE

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: JNL
DRAWN BY: JNL
CHECKED BY: EJM
DATE: 04/28/2023

PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
IRRIGATION NOTES

PRELIMINARY

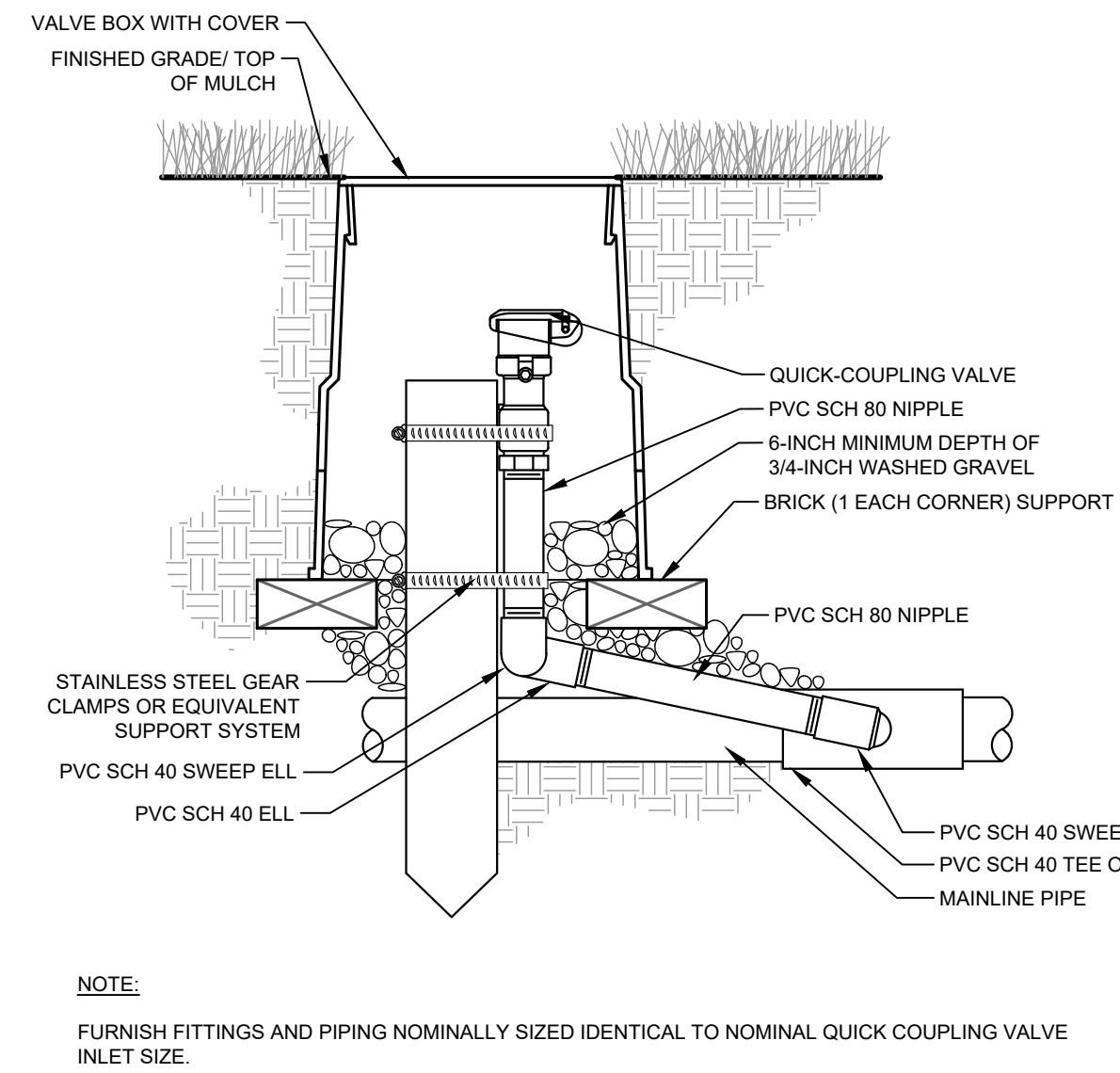
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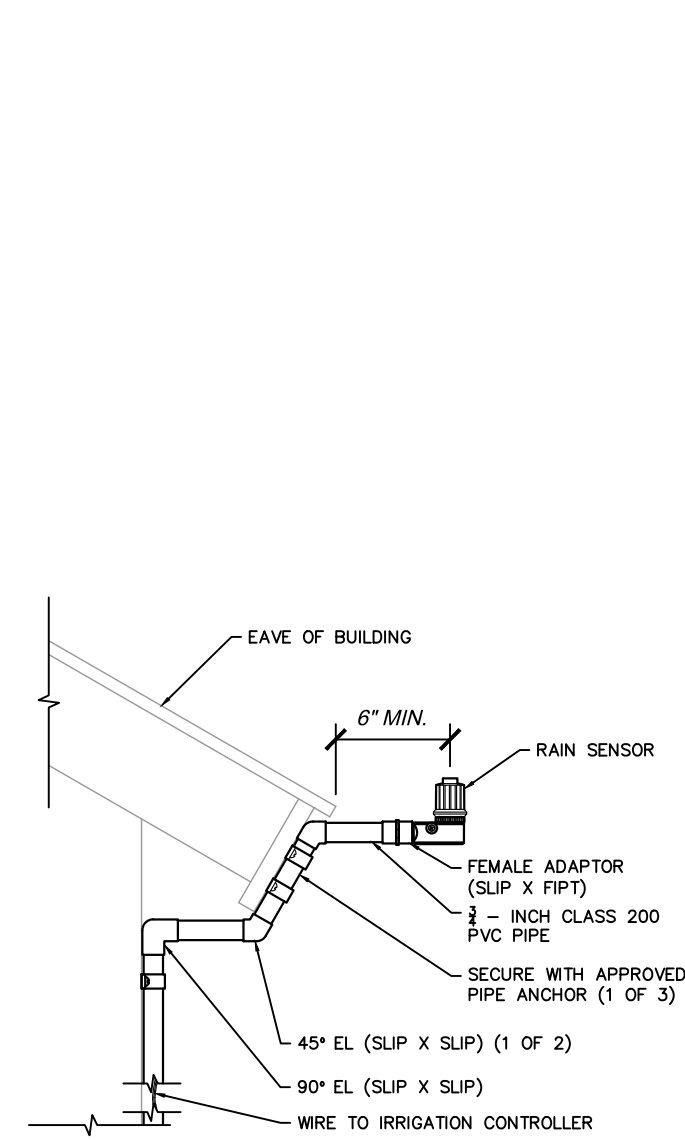
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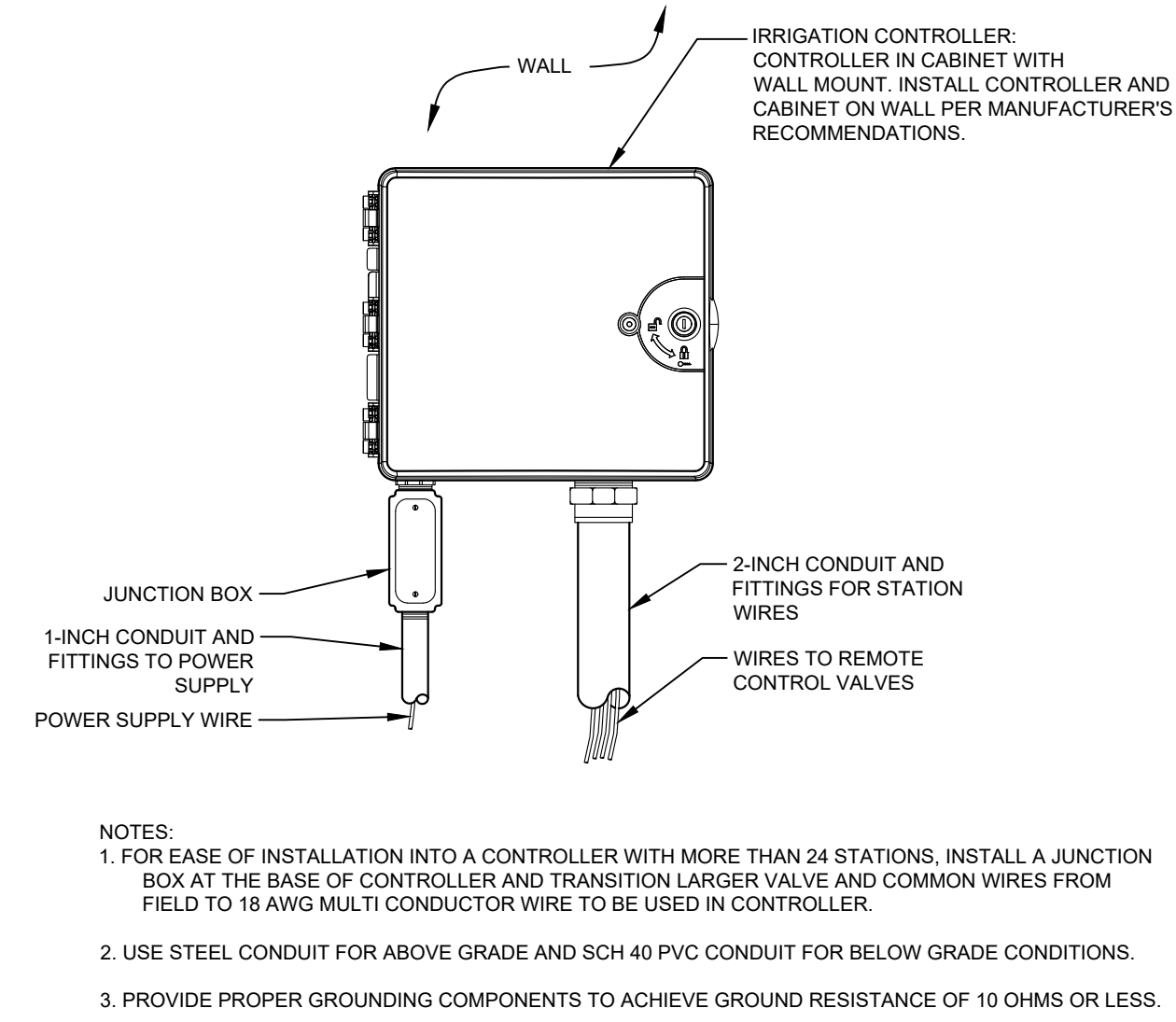
PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



1
18 SECTION
TYPICAL QUICK COUPLER

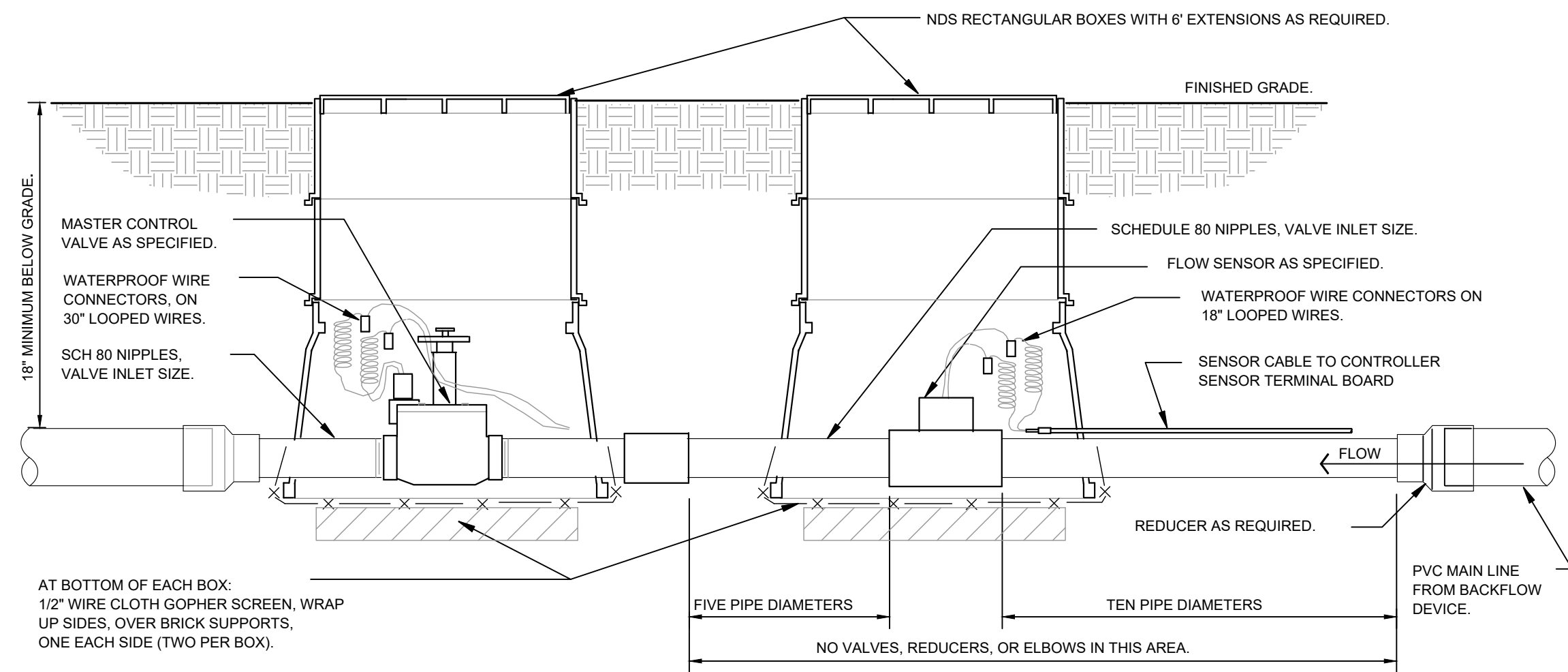


2
18 SECTION
RAIN SENSOR - BUILDING MOUNT

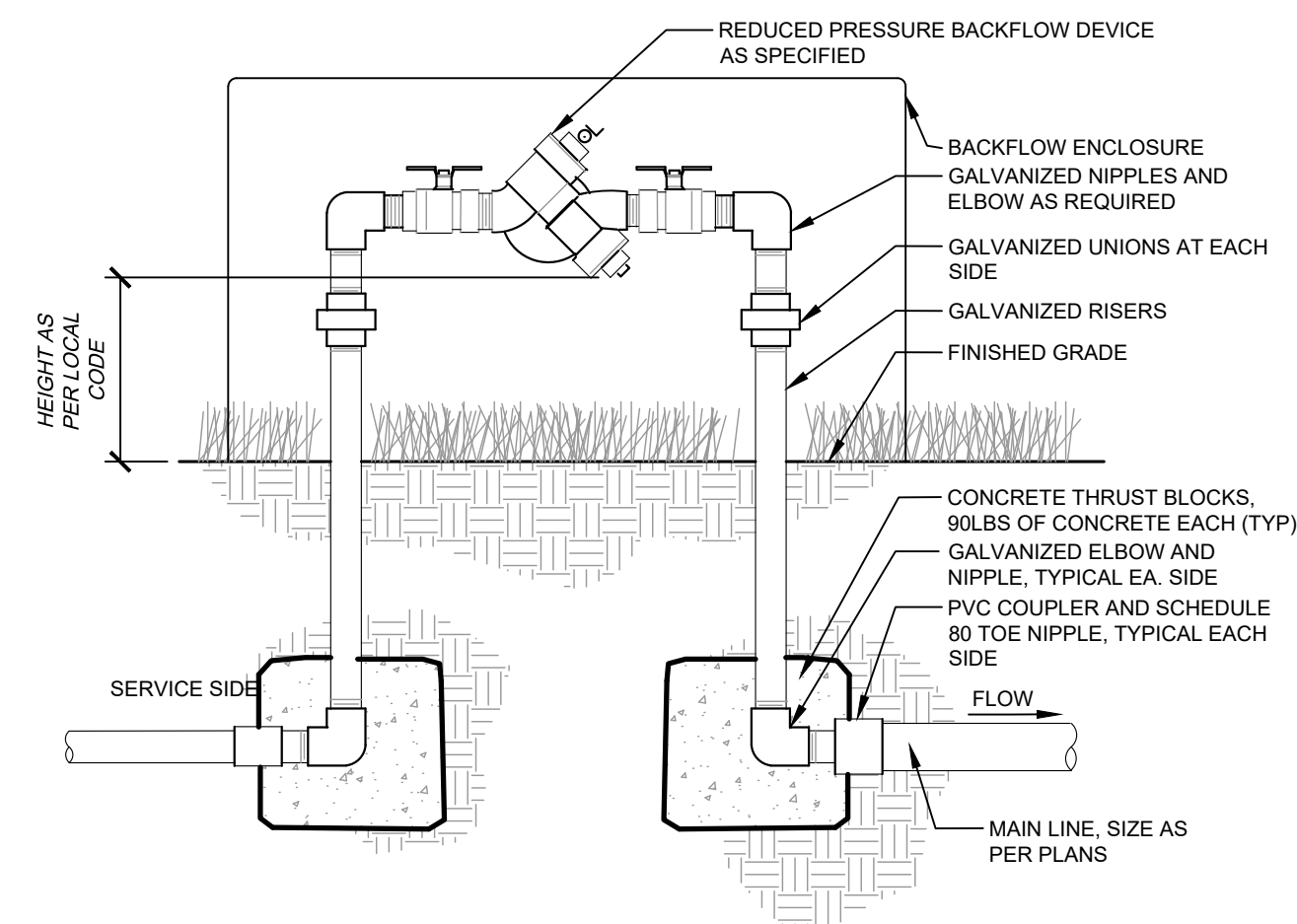


3
18 ELEVATION
IRRIGATION CONTROLLER - WALL MOUNT

NOTES:
 1. FOR EASE OF INSTALLATION INTO A CONTROLLER WITH MORE THAN 24 STATIONS, INSTALL A JUNCTION BOX AT THE BASE OF CONTROLLER AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 18 AWG MULTI CONDUCTOR WIRE TO BE USED IN CONTROLLER.
 2. USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.
 3. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



4
18 SECTION
MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY



5
18 SECTION
BACKFLOW PREVENTER

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: JNL
 DRAWN BY: JNL
 CHECKED BY: EJM
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
 THIRD AMENDMENT, LOT 1A, BLOCK 2**
 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
 IRRIGATION DETAILS

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PROJECT NO.
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 DRAWING NAME
 096198011_JR.DWG

22 OF 34

CITY OF LONE TREE
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 ENGINEERING DIVISION ACCEPTANCE BLOCK

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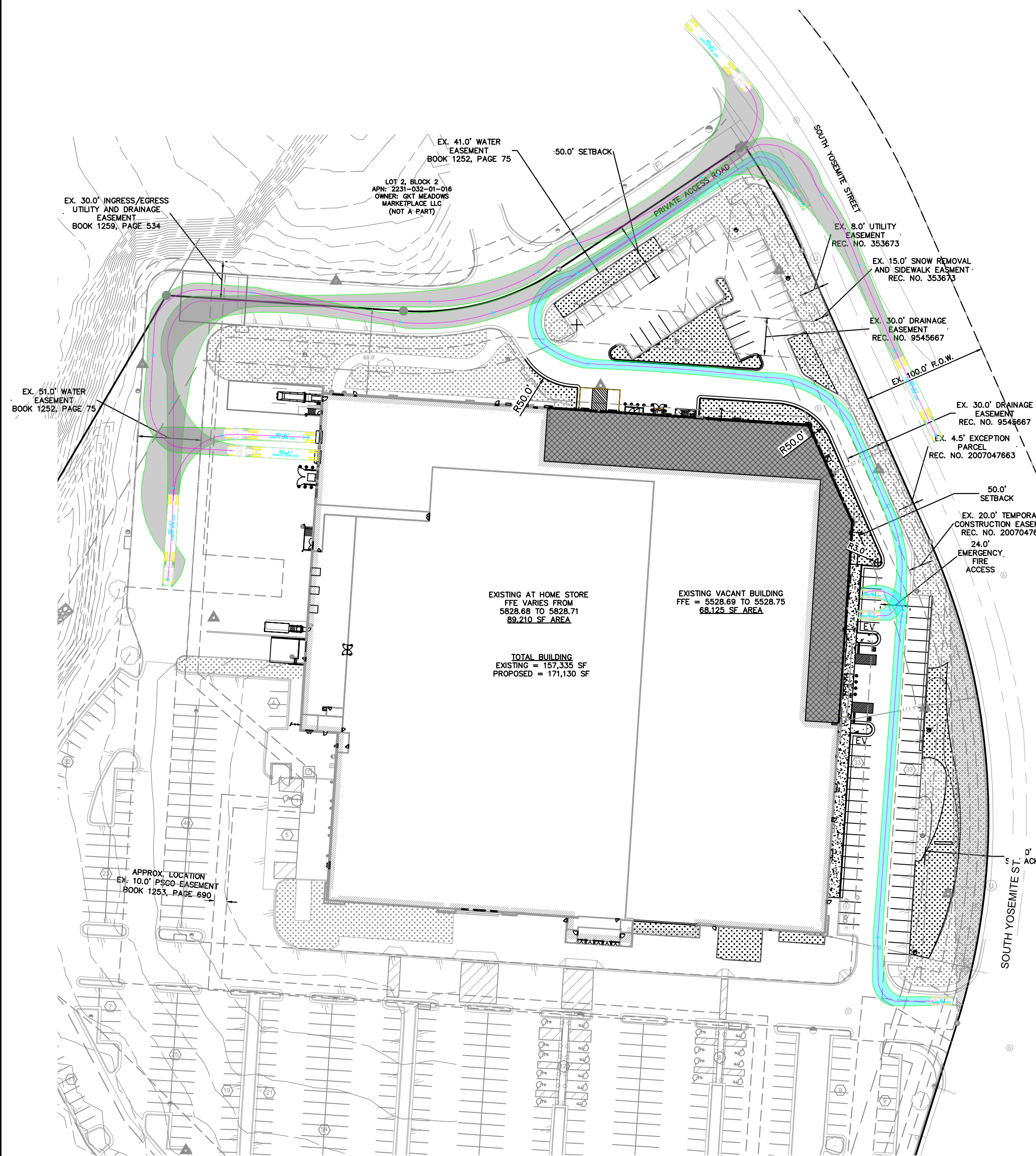


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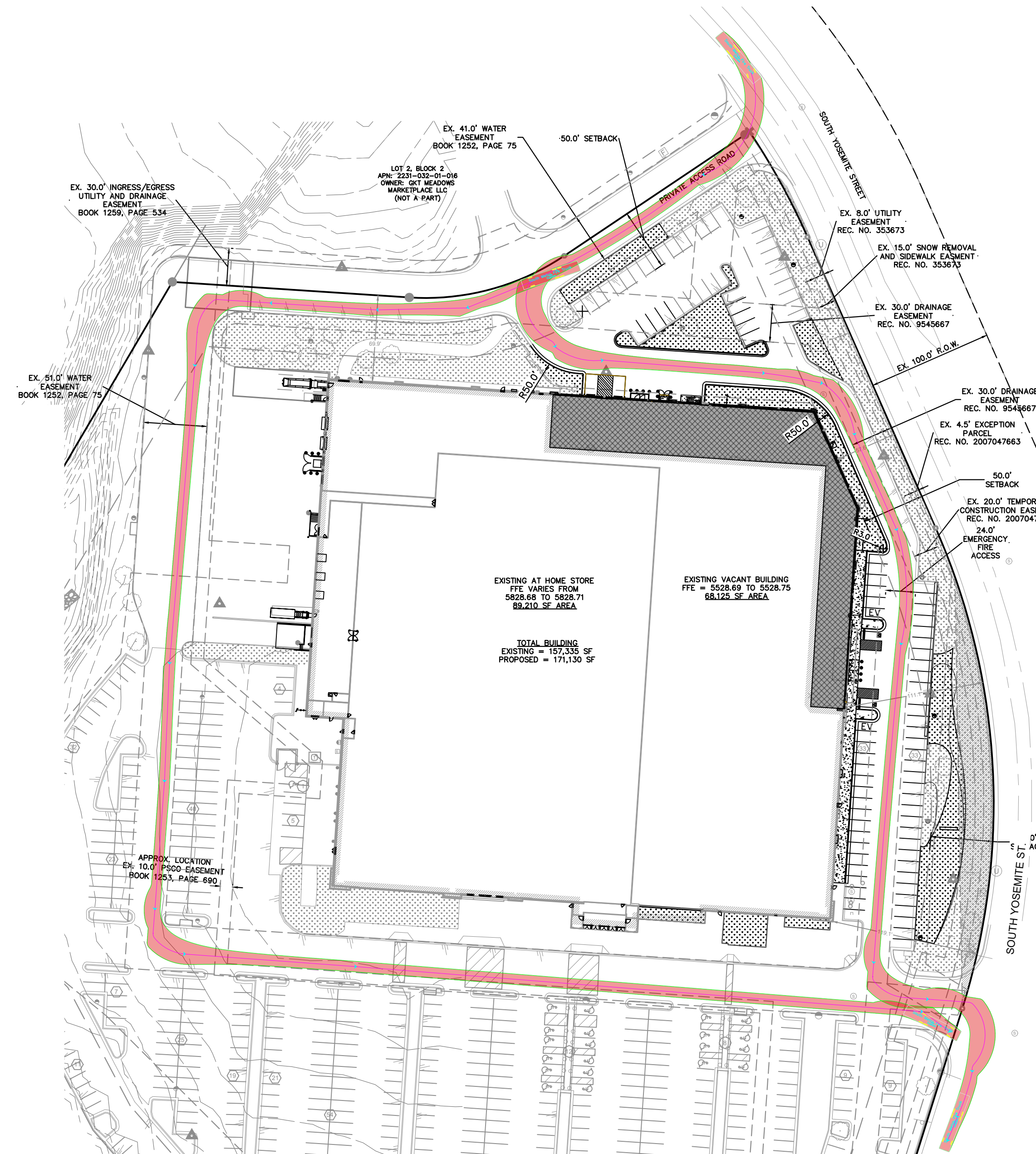
PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

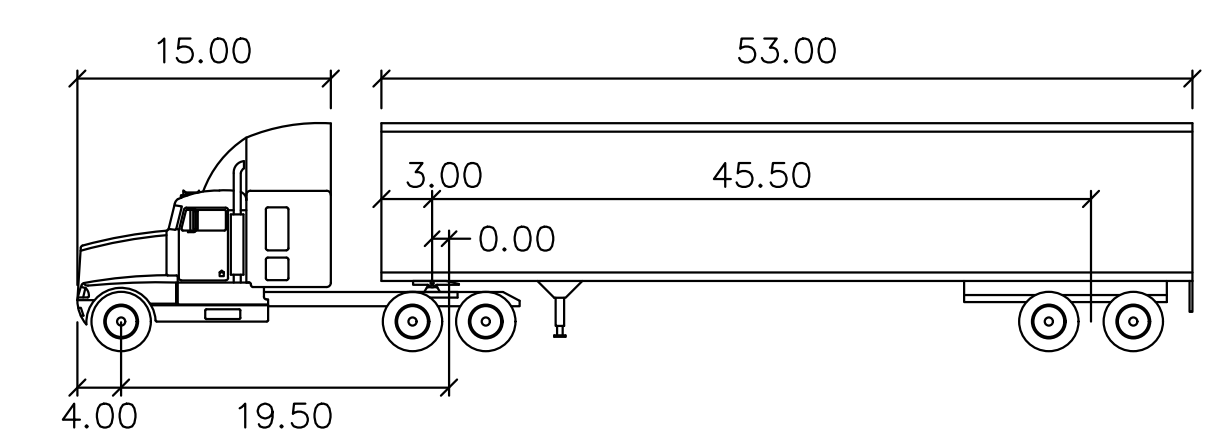
	WB-67 TRUCK ROUTE
	FIRE TRUCK ROUTE
	PASSENGER VEHICLE ROUTE



WB-67 TRUCK & PASSANGER DETAIL INGRESS/EGRESS
N.T.S



FIRE TRUCK ROUTES
N.T.S



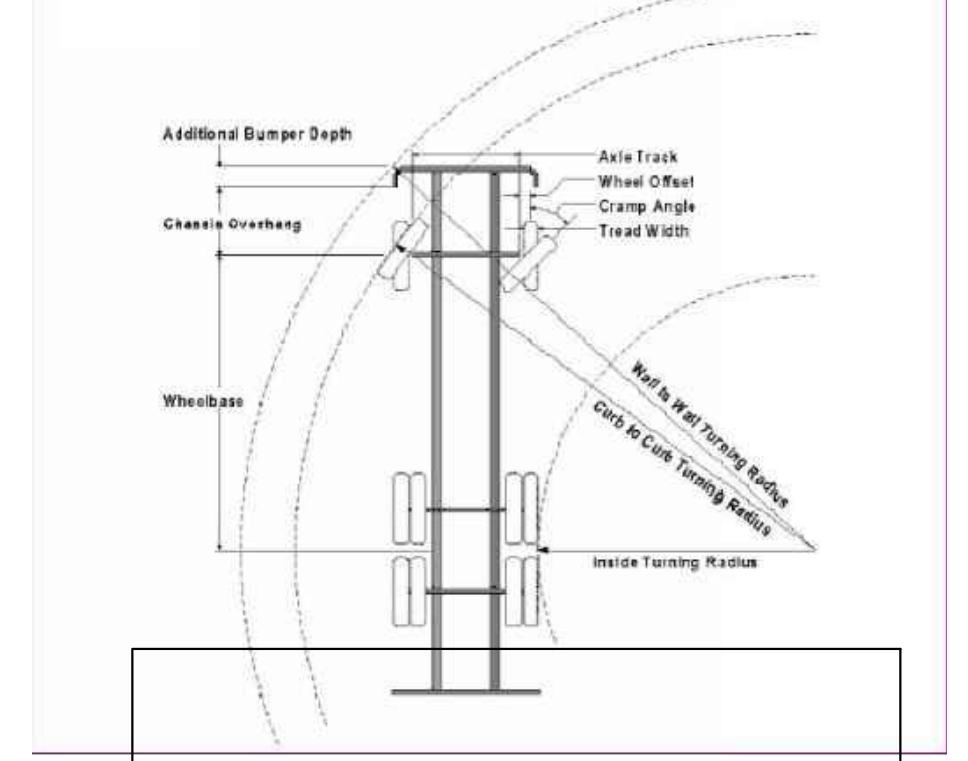
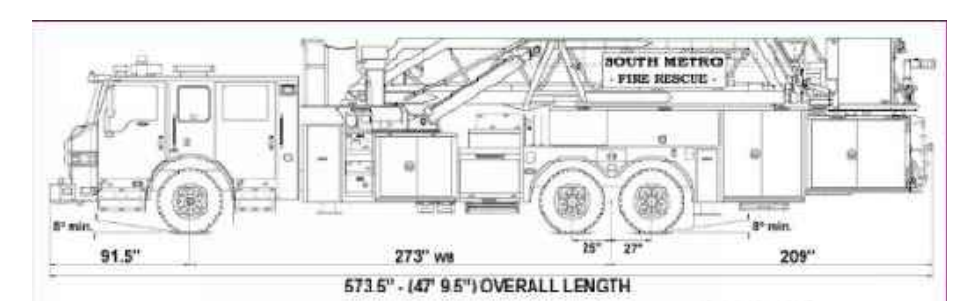
WB-67

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.4
Articulating Angle	: 75.0

TRUCK DETAIL
N.T.S

NOTES

1. THESE MOVEMENTS ARE BASED OFF AASHTO 2018 FOR A WB-67 SEMI
2. THE MOVEMENTS FOR THE FIRE TRUCK ARE BASED ON SPECIFICATIONS FROM SOUTH METRO FIRE
3. THE MOVEMENTS SHOWN HERE ARE FOR:
 - 3.1. A WB-67 HEADING SOUTH ON SOUTH YOSEMITE STREET AND ENTERING THROUGH THE NORTH ENTRANCE, THEN BACKING INTO THE LOADING DOCK.
 - 3.2. A WB-67 LEAVING THE LOADING DOCK AND EXITING THROUGH THE NORTH ENTRANCE, TURNING RIGHT ON SOUTH YOSEMITE STREET.
 - 3.3. A PASSENGER VEHICLE ENTERING THE PROPERTY THROUGH THE SOUTH ENTRANCE, TURNING RIGHT TOWARDS THE MAIN ENTRANCE AND PARKING.
 - 3.4. A PASSENGER VEHICLE EXITING THE PARKING SPACE, HEADING NORTH TO LEAVE THROUGH THE NORTH ENTRANCE
 - 3.5. A FIRE TRUCK ENTERING THE SITE THROUGH THE NORTH ENTRANCE, THEN HEADING SOUTH ALONG THE EAST FACE OF THE BUILDING TO EXIT BY TURNING RIGHT ONTO SOUTH YOSEMITE STREET.
- 3.5. A FIRE TRUCK ENTERING THE SITE THROUGH THE NORTH ENTRANCE, THEN HEADING WEST ALONG THE NORTH AND WEST FACE OF THE BUILDING THEN EXITING THROUGH THE SOUTH ENTRANCE BY TURNING RIGHT ONTO SOUTH YOSEMITE STREET



CITY FIRE TRUCK DETAIL
N.T.S

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE GRAPHIC ENGINEER FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
AUTOTURN EXHIBIT

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Kimley-Horn and Associates, Inc.

PROJECT NO.
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DRAWING NAME
AUTOTURN EXHIBIT

REVISION	BY	DATE

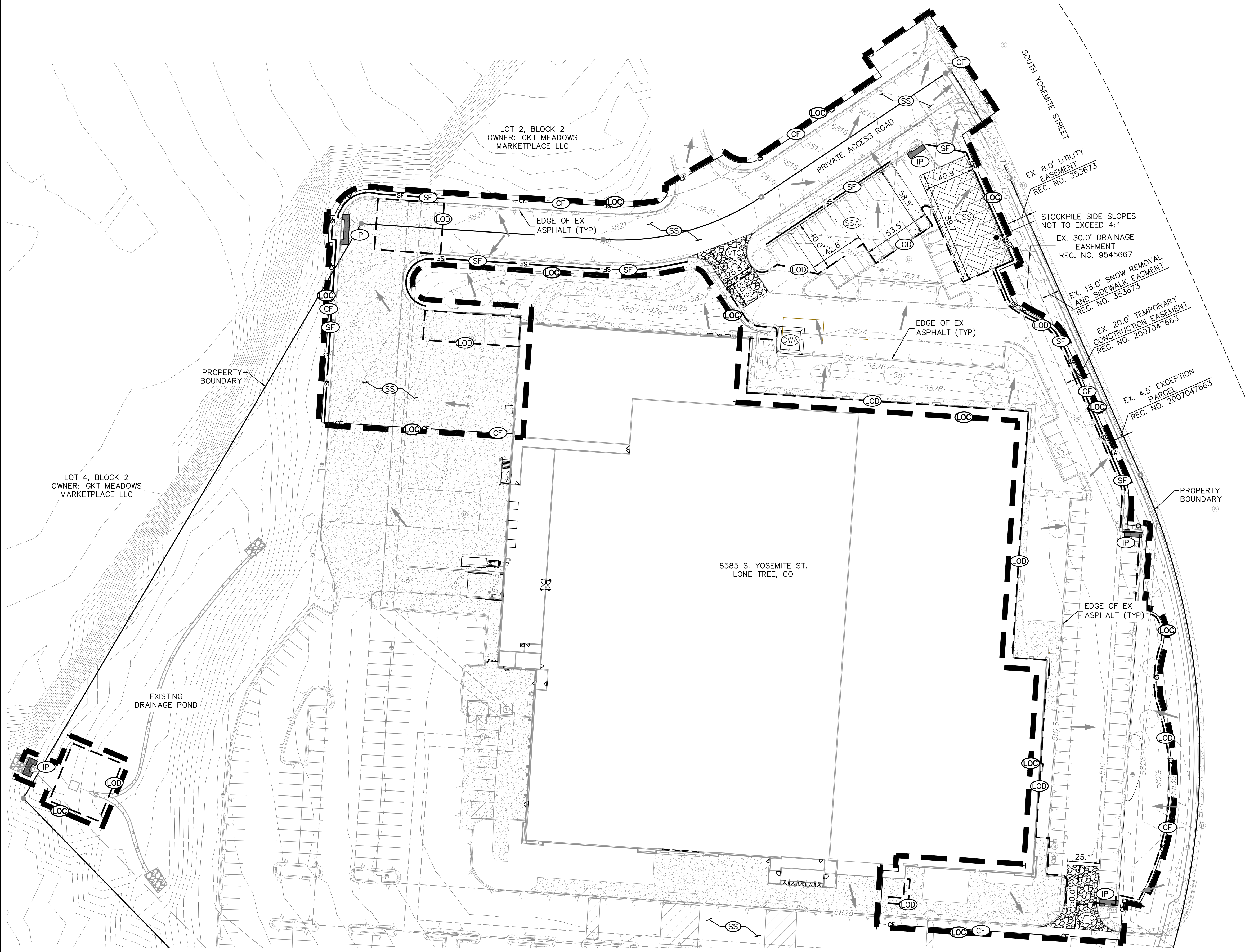
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Know what's below.
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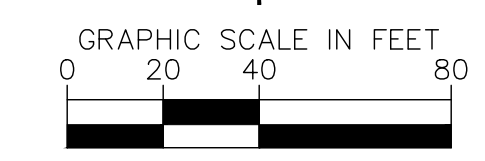
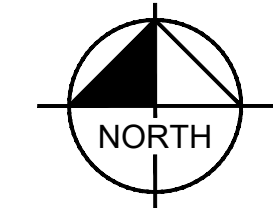


LEGEND

- PROPERTY LINE
- - - 5300 EXISTING CONTOUR
- - - 5300
- LOC LIMITS OF CONSTRUCTION
- LOD LIMITS OF DISTURBANCE
- SF SILT FENCE
- CF CONSTRUCTION FENCE
- SF EDGE OF EX ASPHALT
- CWA CONCRETE WASHOUT
- IP ONGRADE INLET PROTECTION
- SSA STABILIZED STAGING AREA
- TSS STOCKPILE
- VTC VEHICLE TRACKING CONTROL
- SS STREET SWEEPING
- ← EXISTING FLOW ARROW
- EX. STORM INLET

NOTES

1. SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
2. SEE COVER SHEET FOR BENCHMARK INFORMATION.
3. ALL ADJACENT PAVED SURFACES SHALL BE CLEANED IMMEDIATELY UPON TRACKOUT OF MUD/DIRT FROM SITE USING DRY METHODS ONLY.
4. PORTABLE TOILETS SHALL BE PLACED ON PERVIOUS SURFACES AND STAKED DOWN ON ALL FOUR SIDES.



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

REVISION	BY	DATE	APPR

Kimley»Horn
 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
 DRAWN BY: JAQ
 CHECKED BY: SLP
 DATE: 04/28/2023

**PARKWAY SUBDIVISION FILING NO. 3,
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 CITY OF LONE TREE, COUNTY OF DOUGLAS
 CONSTRUCTION DOCUMENTS
INITIAL GESC PLAN

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 Kimley-Horn and Associates, Inc.

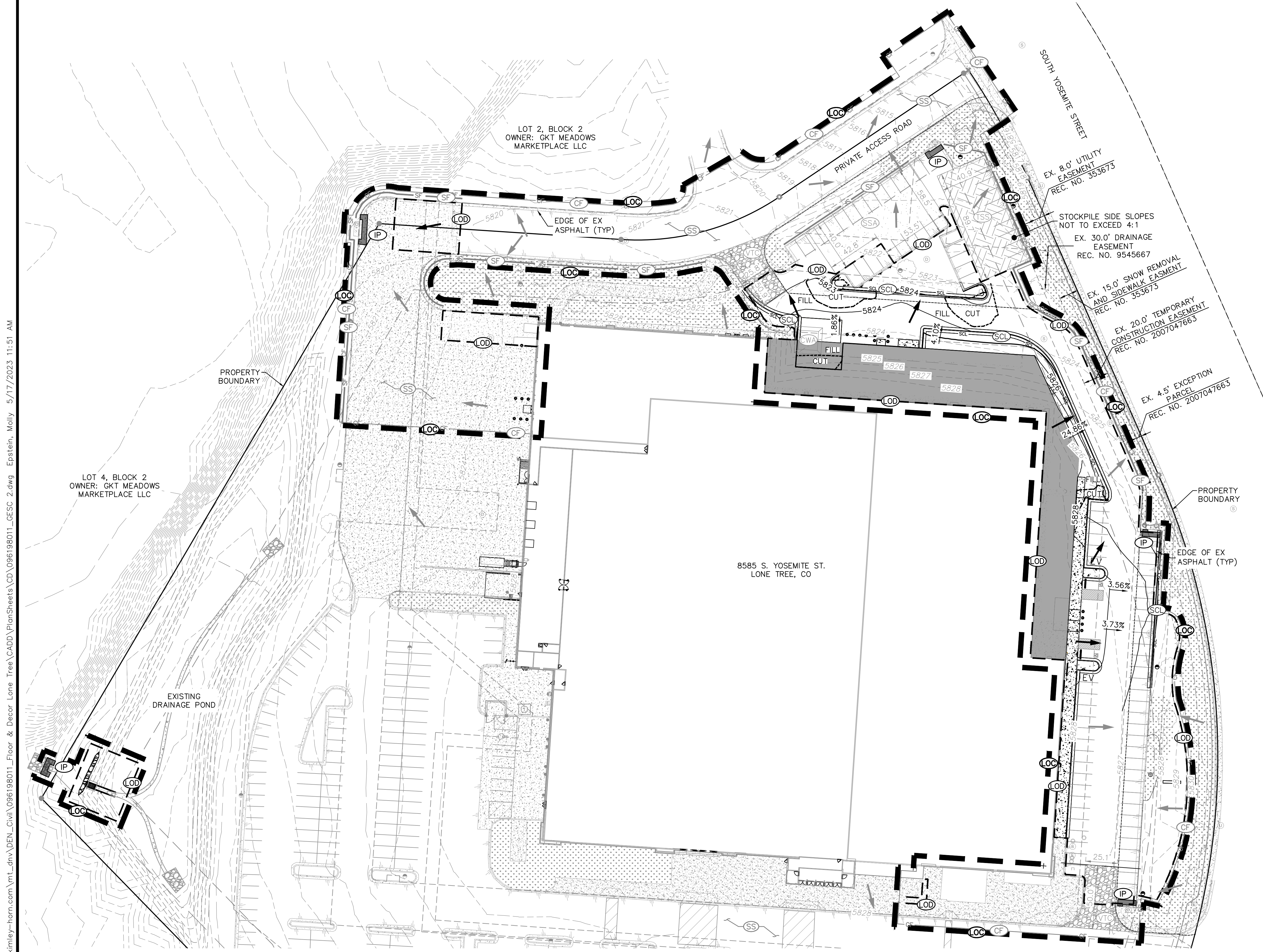
PROJECT NO.
096198011
 DRAWING NAME
096198011_GESC 1.DWG

\\kimley-horn.com\mnt\den_civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011_GESC 1.dwg Epstein, Molly 5/17/2023 11:51 AM



Know what's below.
Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

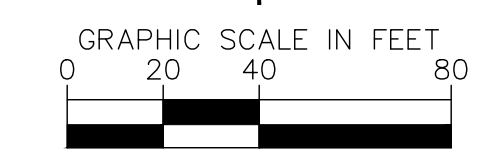
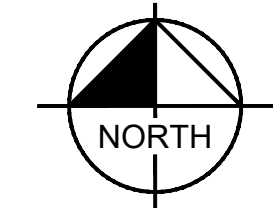
- PROPERTY LINE
- - - EXISTING CONTOUR
- 5300 — PROPOSED CONTOURS
- 5300 —
- 5300 —
- LIMITS OF CONSTRUCTION
- LIMITS OF DISTURBANCE
- SF — SILT FENCE
- CF — CONSTRUCTION FENCE
- EDGE OF EX ASPHALT
- CUT/FILL LINE
- SCL — SEDIMENT CONTROL LOG
- CWA — CONCRETE WASHOUT
- IP — ONGRADE INLET PROTECTION
- SSA — STABILIZED STAGING AREA
- TSS — STOCKPILE
- VTC — VEHICLE TRACKING CONTROL
- SS — STREET SWEEPING
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW
- X.XX% — PROPOSED SLOPE
- EX. STORM INLET

NOTES

1. SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
2. SHADED BMPs WERE INSTALLED IN THE INITIAL PHASE AND SHALL BE LEFT IN PLACE IN THE INTERIM STAGE UNLESS OTHERWISE NOTED.
3. ALL INTERIM EROSION AND SEDIMENT CONTROL BMPs INCLUDING DRILL SEEDING AND CRIMP MULCHING OF DISTURBED AREAS, MUST BE INSTALLED, INSPECTED, AND APPROVED BY THE CITY PRIOR TO THE ISSUANCE OF A RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT FOR THE PURPOSE OF PAVING OR INSTALLATION OF CURB AND GUTTER.
4. SEE CONSTRUCTION PLANS FOR DETAILS SUCH AS DETENTION FACILITIES, WATER QUALITY FEATURES, CULVERTS, STORM DRAINS, AND OUTLET PROTECTION.
5. SEE COVER SHEET FOR BENCHMARK INFORMATION.
6. ALL ADJACENT PAVED SURFACES SHALL BE CLEANED IMMEDIATELY UPON TRACKOUT OF MUD/DIRT FROM SITE USING DRY METHODS ONLY.
7. PORTABLE TOILETS SHALL BE PLACED ON PERVIOUS SURFACES AND STAKED DOWN ON ALL FOUR SIDES.

EARTHWORK QUANTITIES

CUT: 36.47 CU. YD.
FILL: 427.62 CU. YD.
NET: 391.14 CU. YD. (FILL)



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

**PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2**
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
INTERIM GESC PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011
DRAWING NAME
096198011_GESC 2.DWG

26 OF 34

REVISION	BY	DATE	APPR

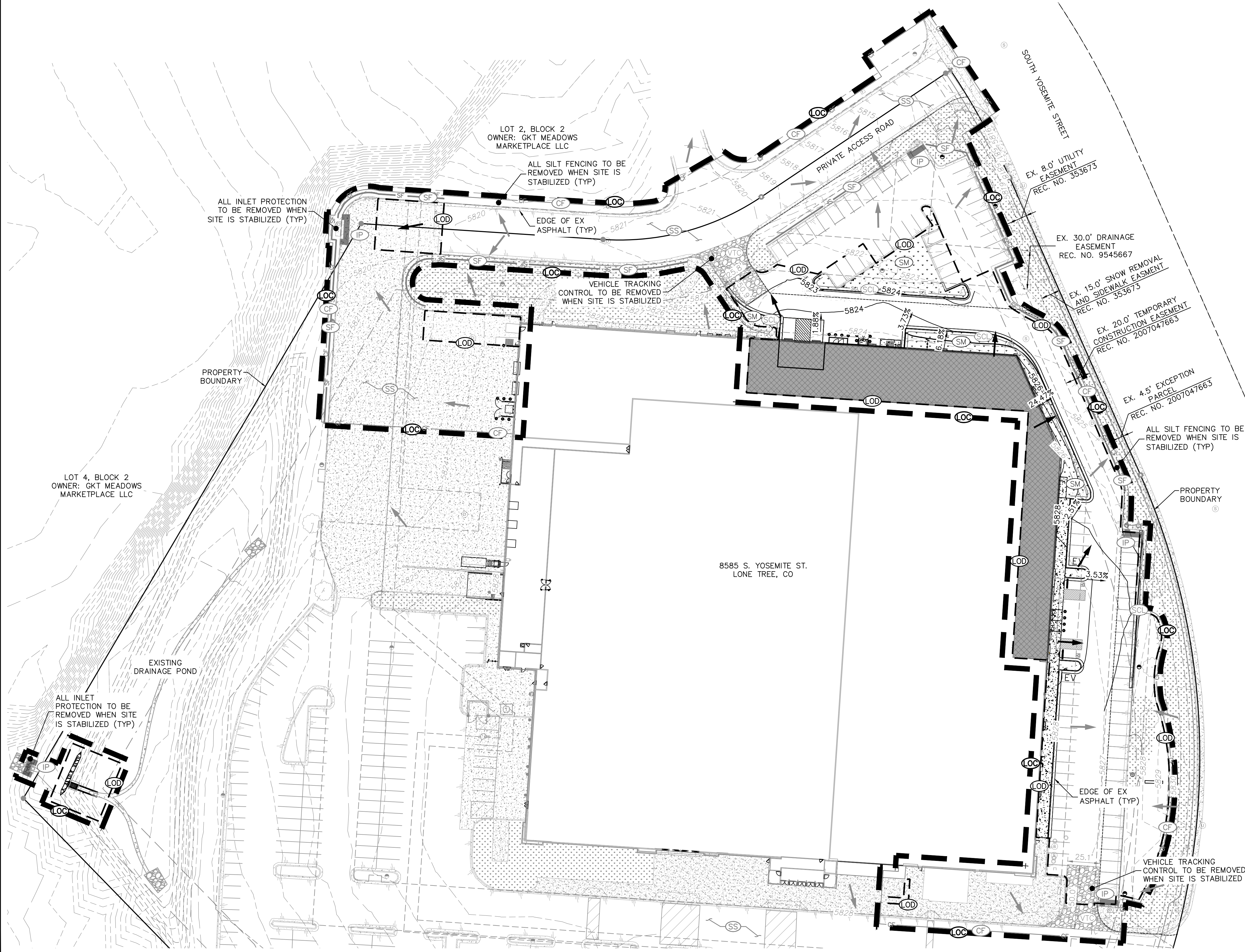
\\kimley-horn.com\mnt_dmv\DEN_Civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011_GESC 2.dwg Epstein, Molly 5/17/2023 11:51 AM



Know what's below.
Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2

LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

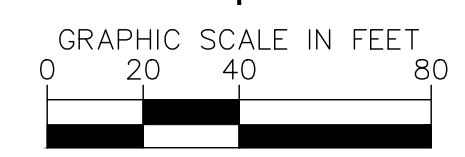
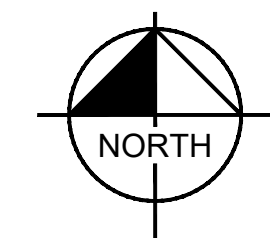


LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- 5300 — PROPOSED CONTOURS
- 5300 —
- LOC LIMITS OF CONSTRUCTION
- LOD LIMITS OF DISTURBANCE
- SF SILT FENCE
- CF CONSTRUCTION FENCE
- CF —
- SCL EDGE OF EX ASPHALT
- SCL SEDIMENT CONTROL LOG
- IP ONGRADE INLET PROTECTION
- SM SEEDING & MULCHING
- VTC VEHICLE TRACKING CONTROL
- SS PROPOSED CONCRETE
- SS STREET SWEEPING
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW
- X.XX% PROPOSED SLOPE
- EX. STORM INLET

NOTES

- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
- SHADED BMPs WERE INSTALLED IN INITIAL OR INTERIM GESC DRAWING AND, UNLESS OTHERWISE INDICATED, SHALL BE LEFT IN PLACE UNTIL REVEGETATION ESTABLISHMENT IS APPROVED BY THE CITY.
- SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND OUTLET PROTECTION.
- SEE COVER SHEET FOR BENCHMARK INFORMATION.
- ALL ADJACENT PAVED SURFACES SHALL BE CLEANED IMMEDIATELY UPON TRACKOUT OF MUD/DIRT FROM SITE USING DRY METHODS ONLY.
- PORTABLE TOILETS SHALL BE PLACED ON PERVIOUS SURFACES AND STAKED DOWN ON ALL FOUR SIDES.



CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

PARKWAY SUBDIVISION FILING NO. 3,
THIRD AMENDMENT, LOT 1A, BLOCK 2
CITY OF LONE TREE, COUNTY OF DOUGLAS
CONSTRUCTION DOCUMENTS
FINAL GESC PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096198011
DRAWING NAME
096198011_GESC 3.DWG

27 OF 34

REVISION	BY	DATE

\\kimley-horn.com\mt_dmv\DEN_Civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011_GESC 3.dwg Epstein, Molly 5/17/2023 11:52 AM

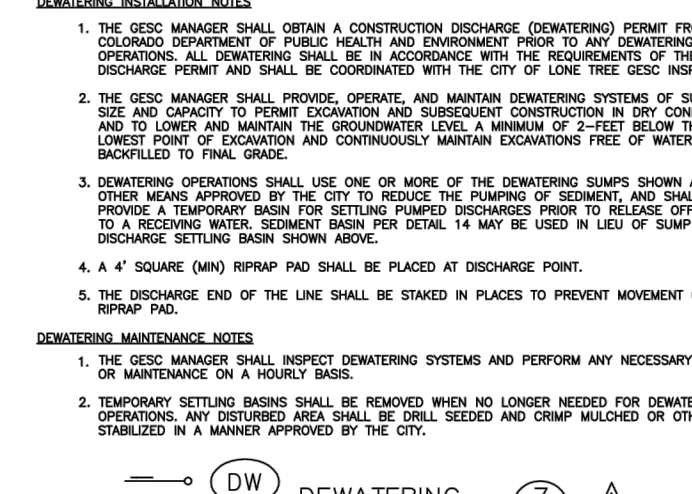
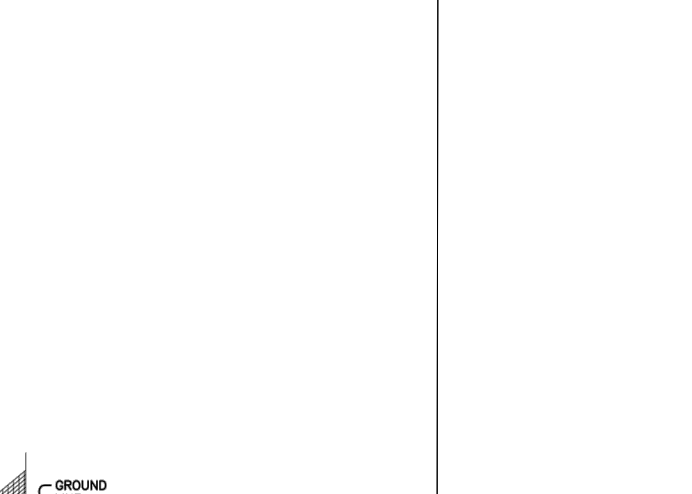
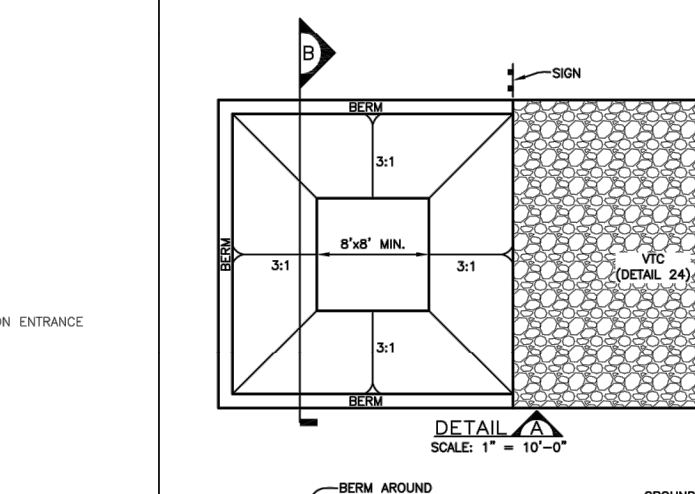
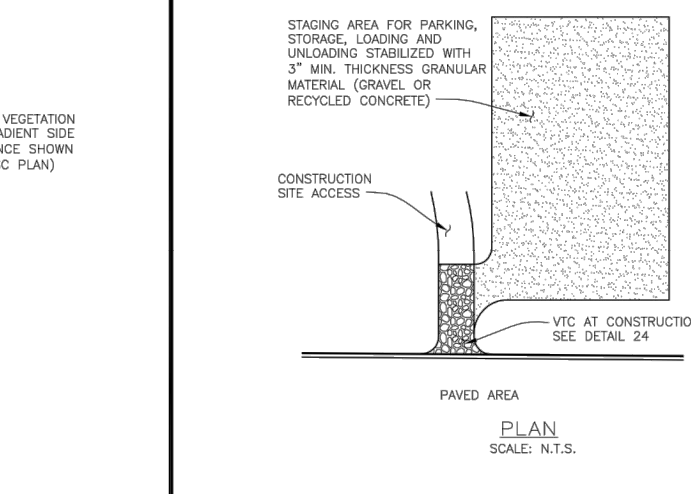
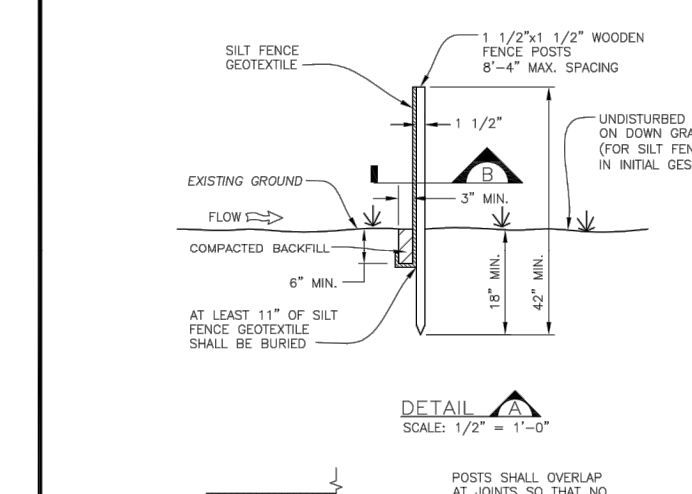


Know what's below. Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

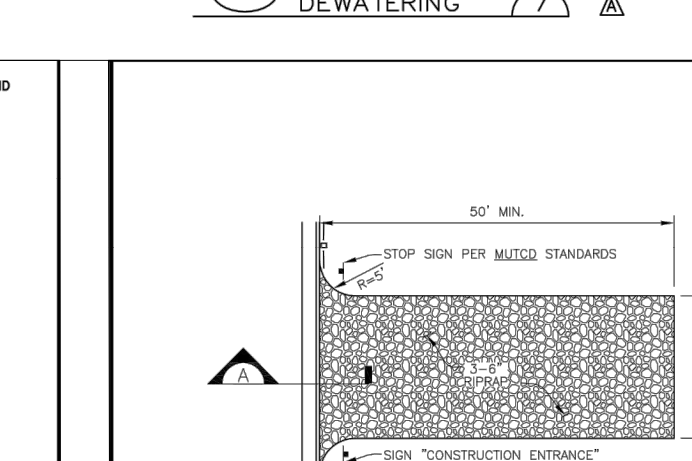
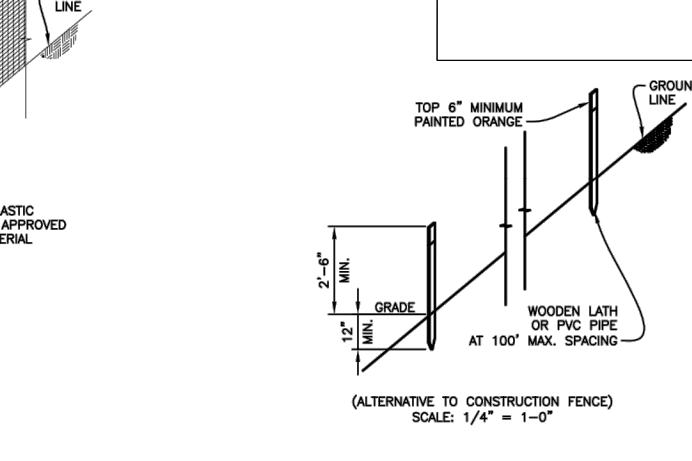
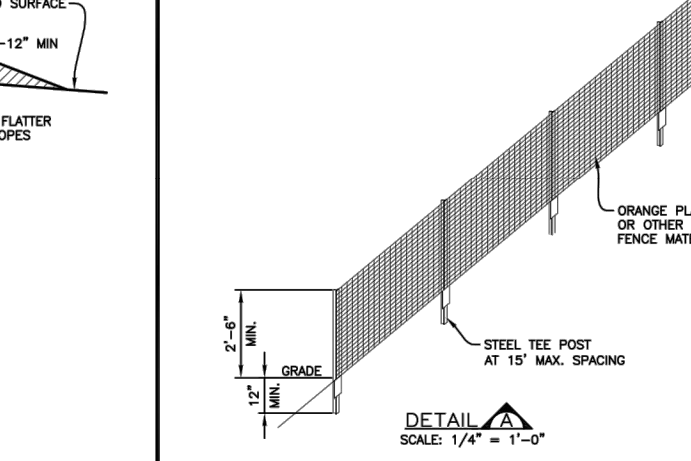
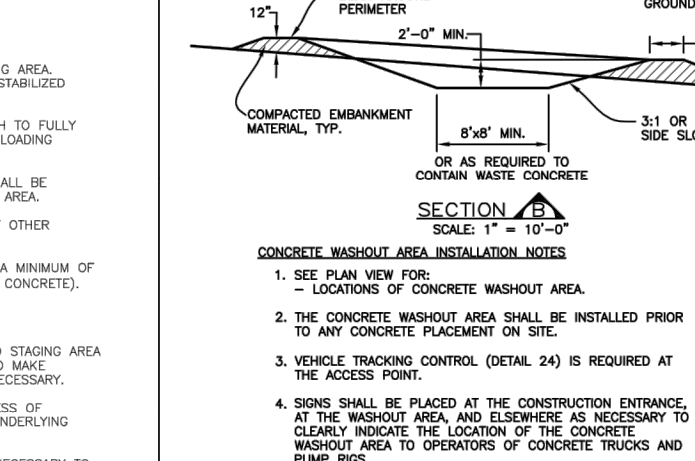
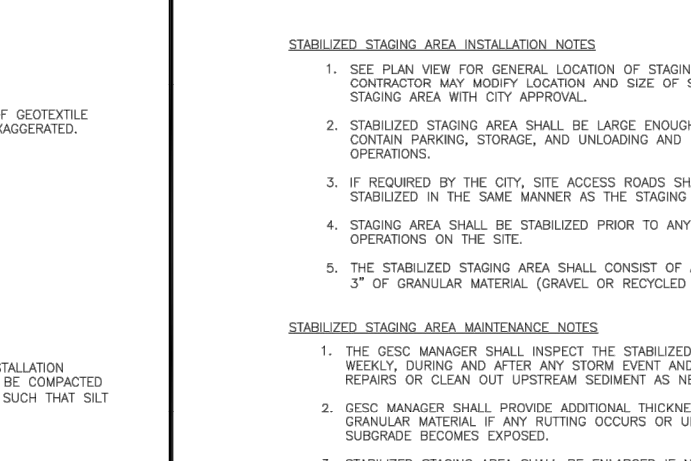
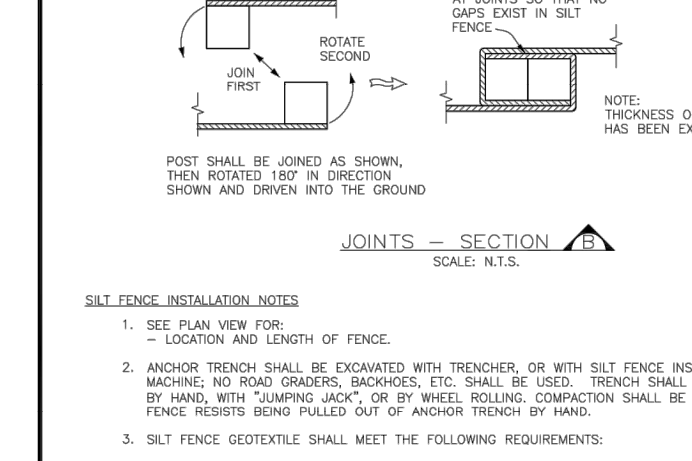
SEEDING AND MULCHING INSTALLATION NOTES
1. SEE PLAN VIEW FOR...
2. ALL BRANDS...
3. THE SEEDER...
4. DRILL SEEDING...
5. ALL AREAS...
6. MULCHING...
7. MULCHING...
8. MULCHING...

Table with 5 columns: SEEDS, VARIETY, NOTES, S.U.M. MAX, RANGE OF PLS PER ACRE. Includes City of Lone Tree Permanent Drill Seeding Mix and Temporary Drill Seeding Mix.



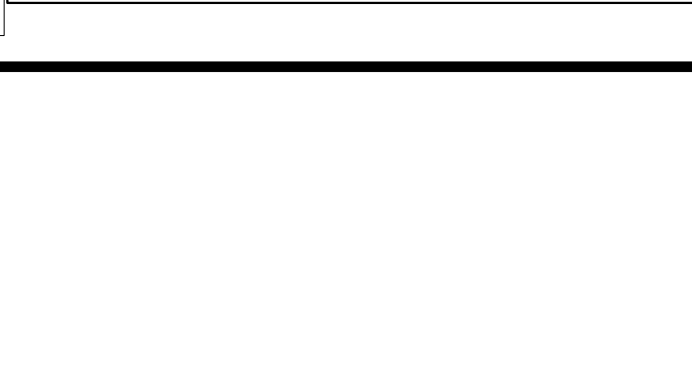
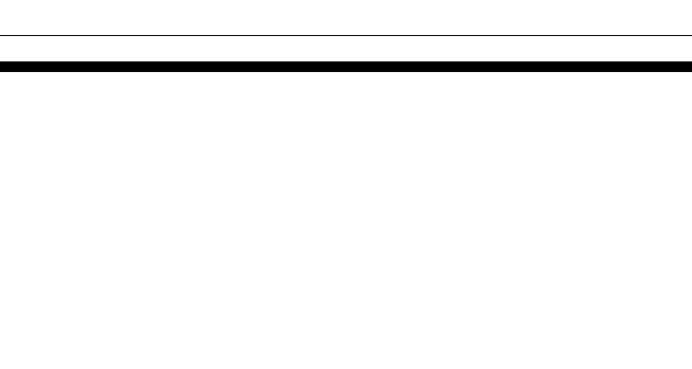
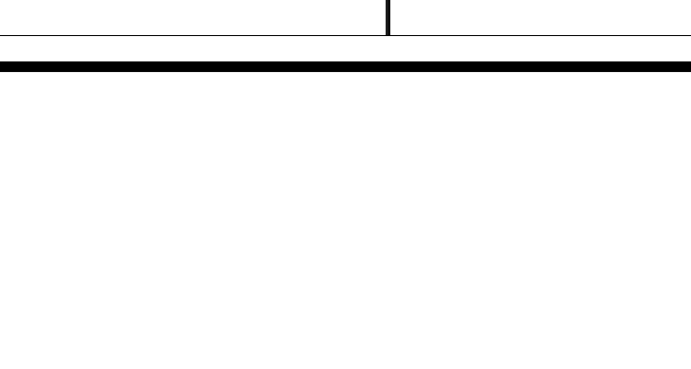
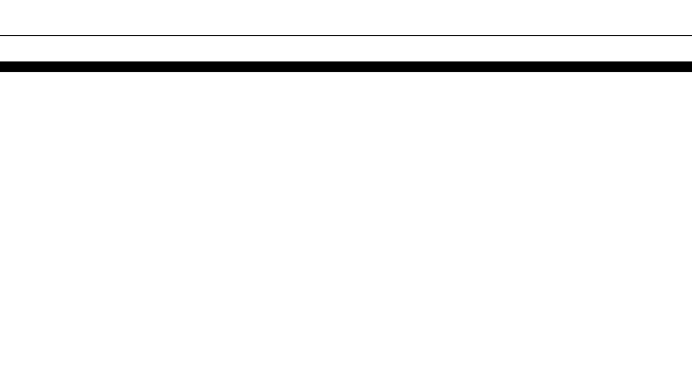
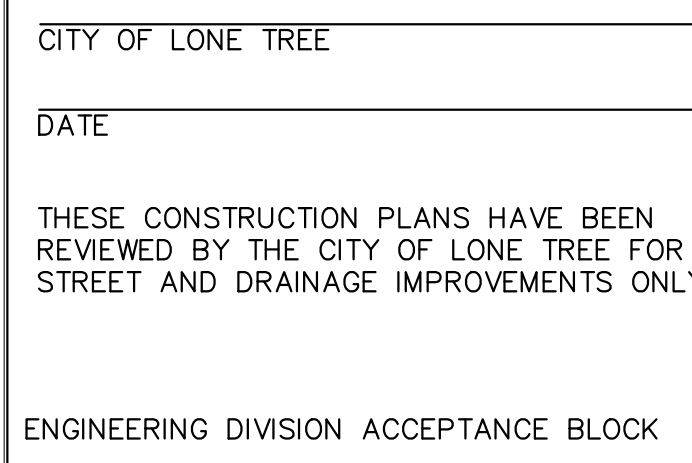
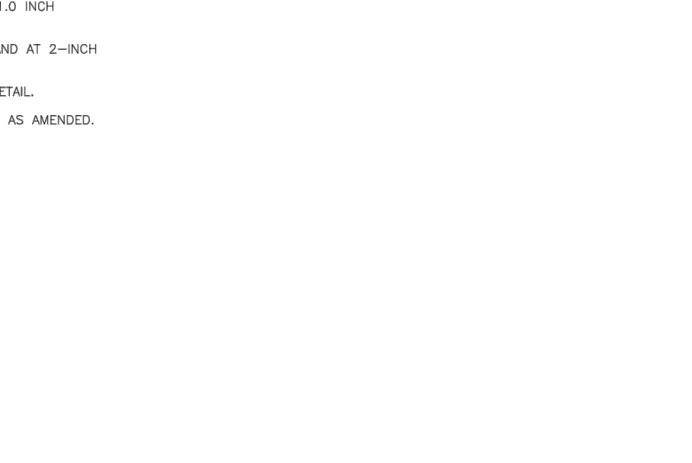
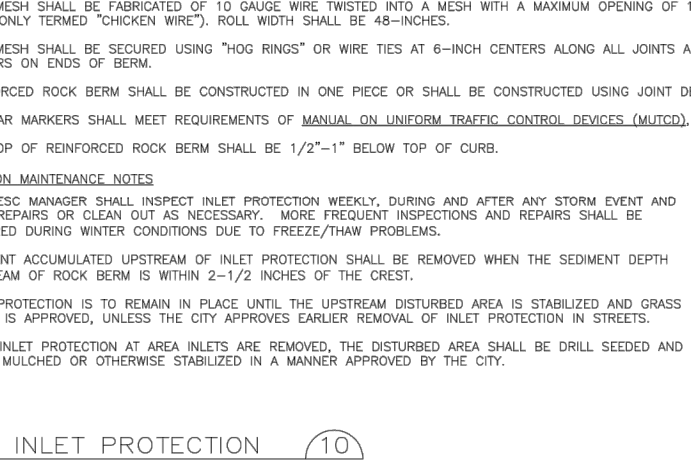
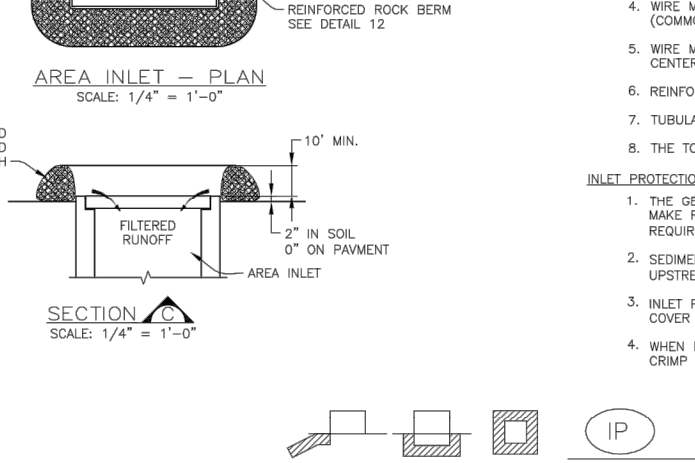
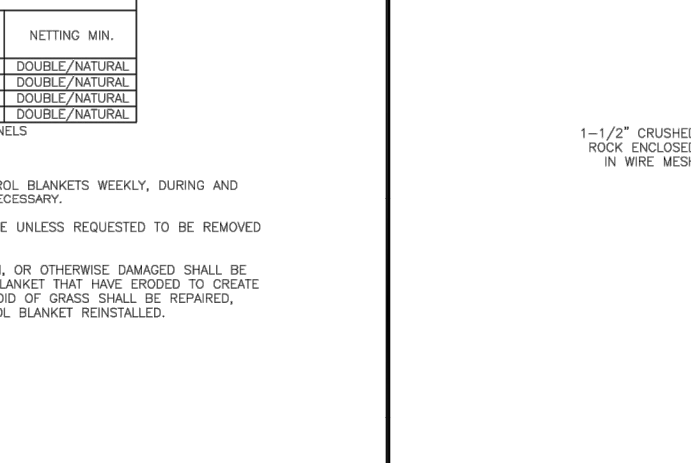
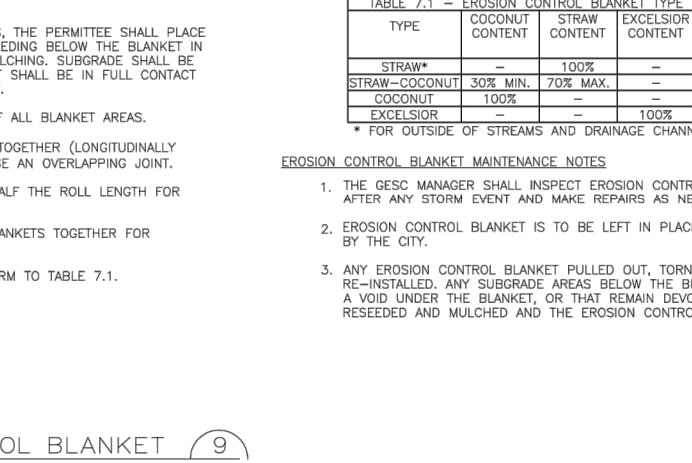
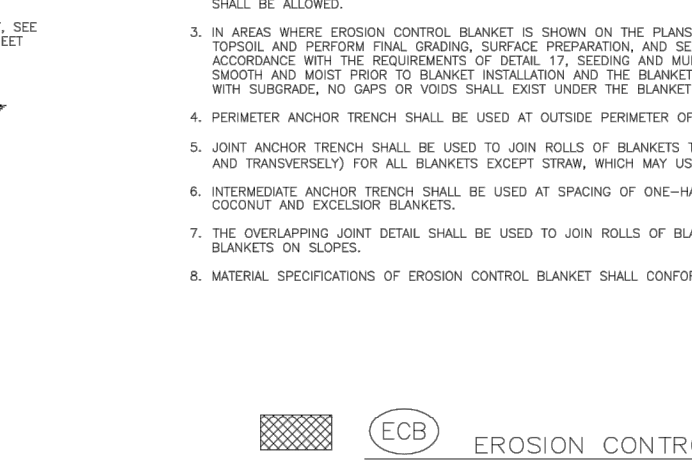
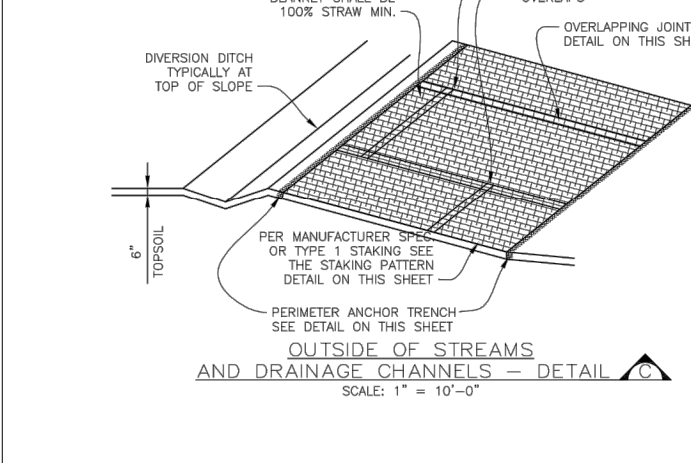
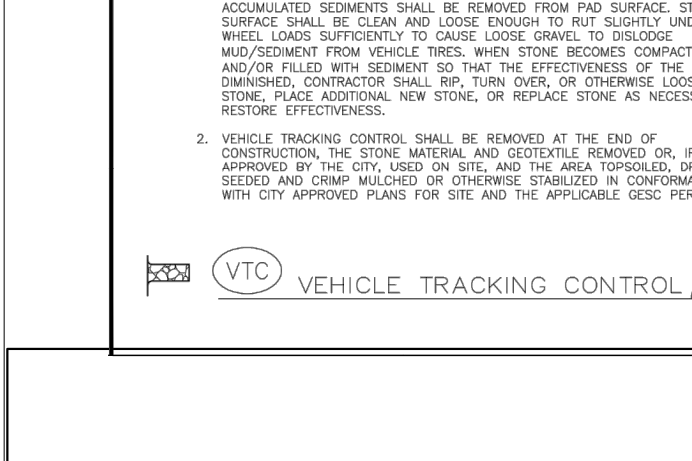
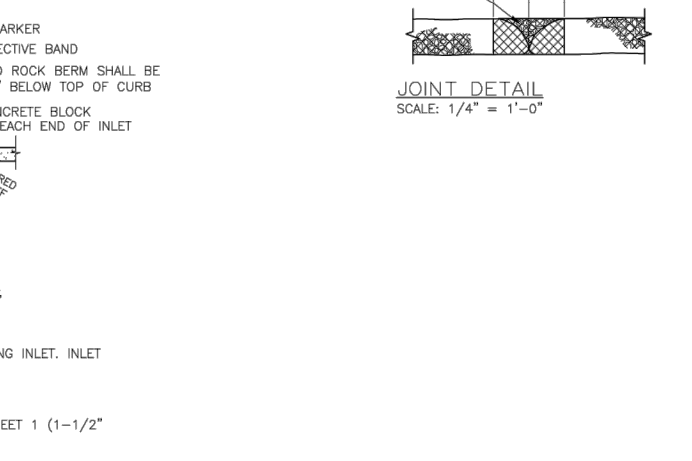
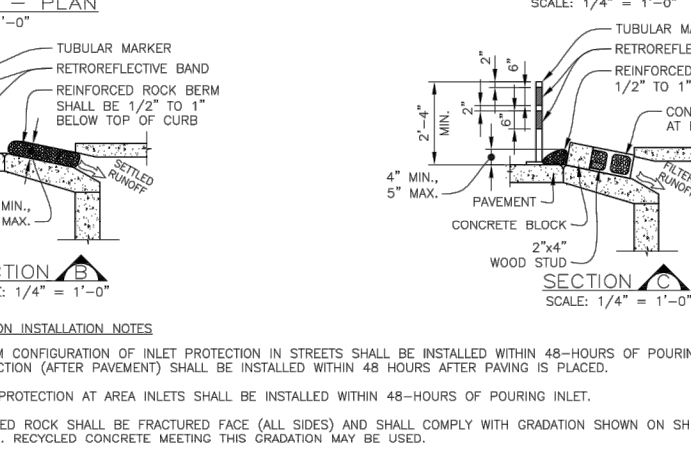
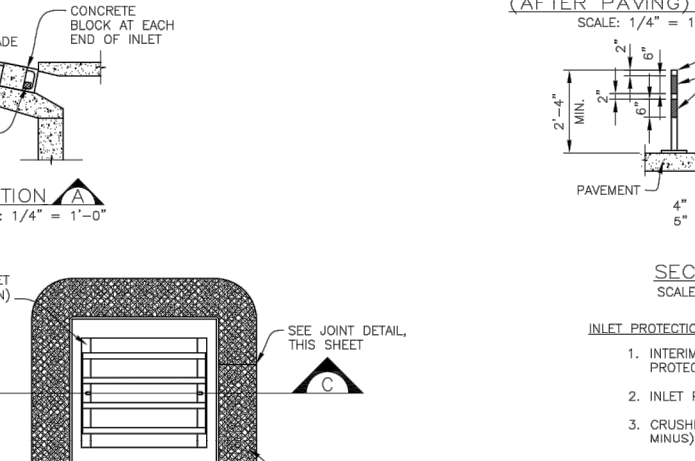
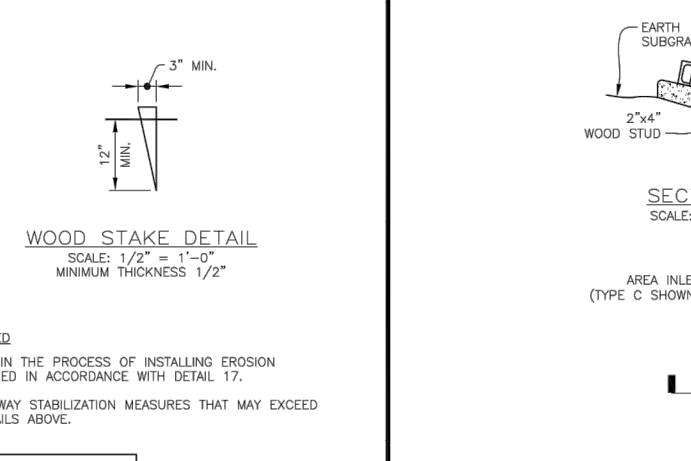
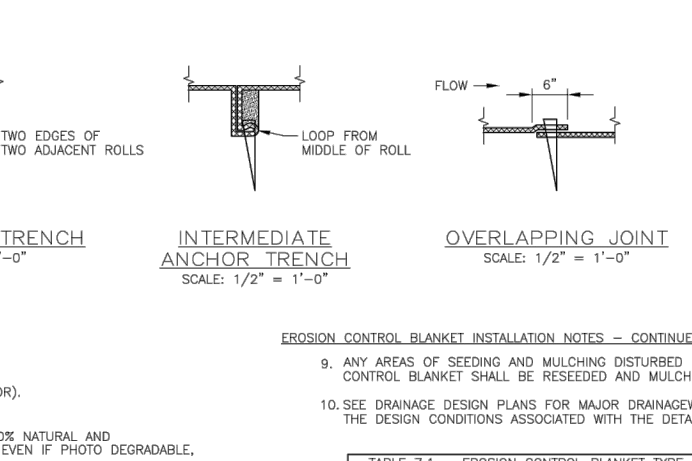
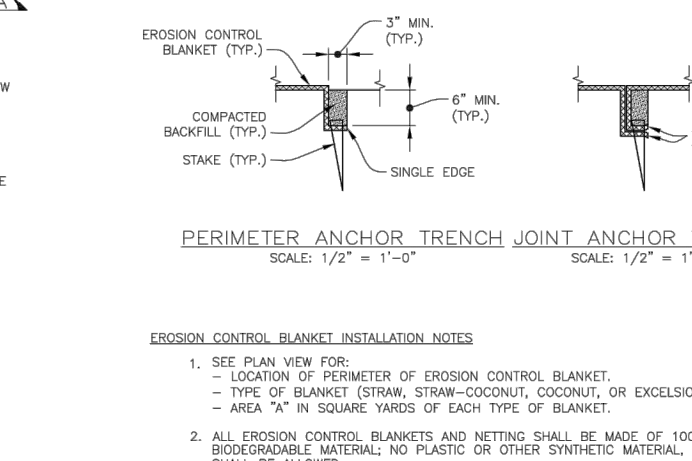
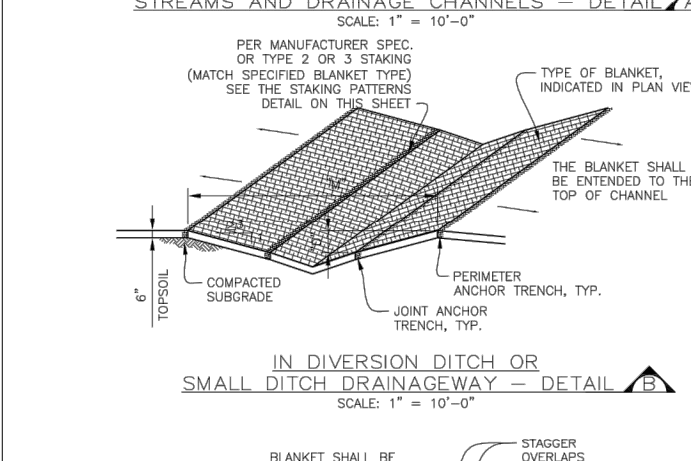
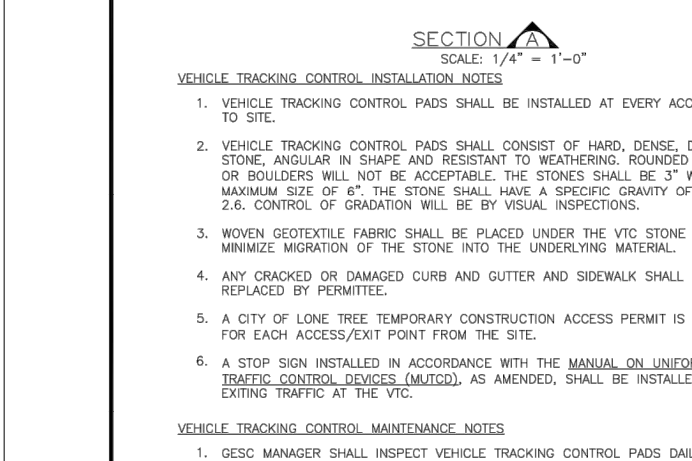
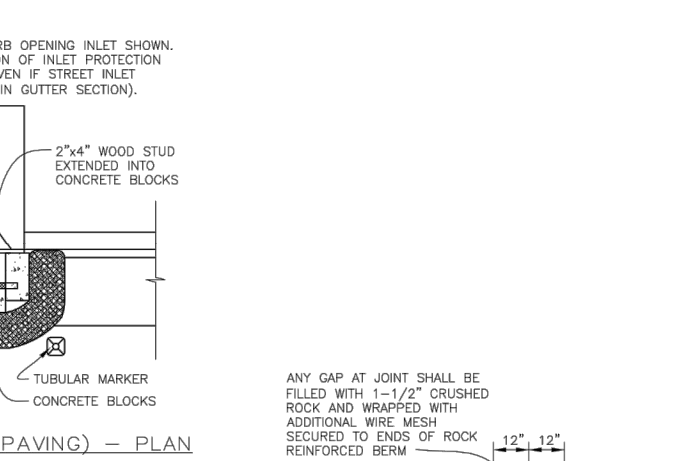
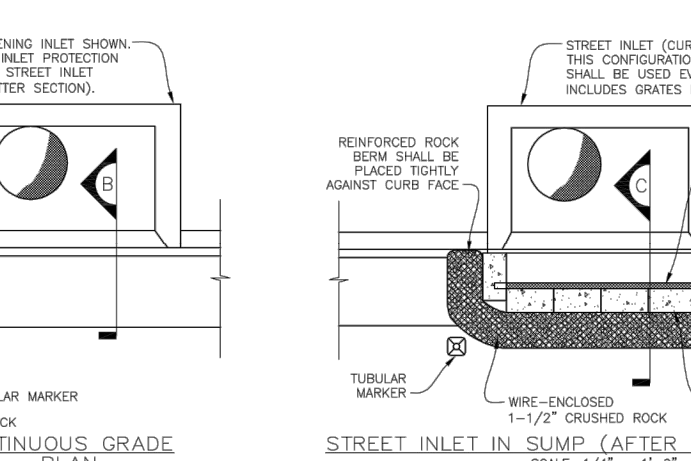
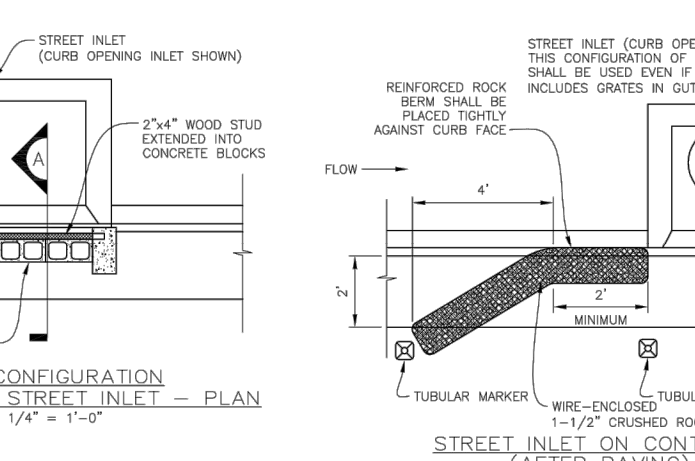
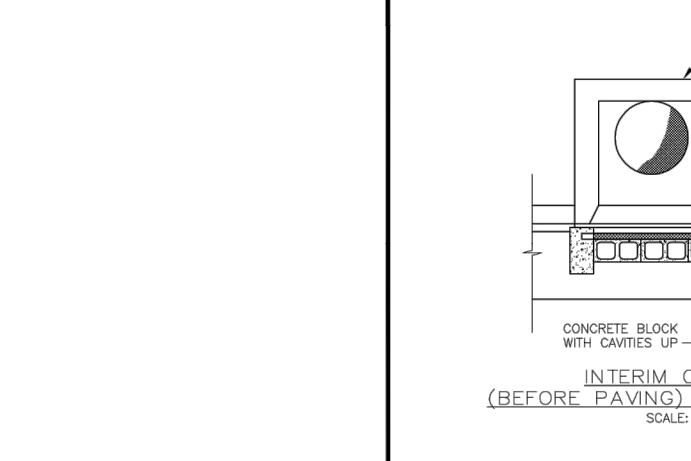
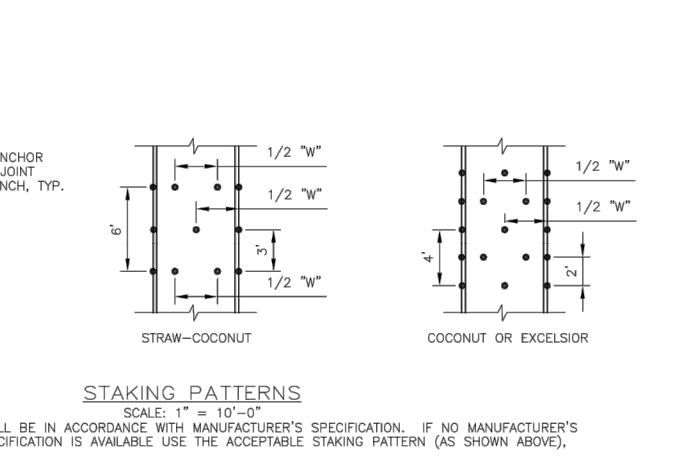
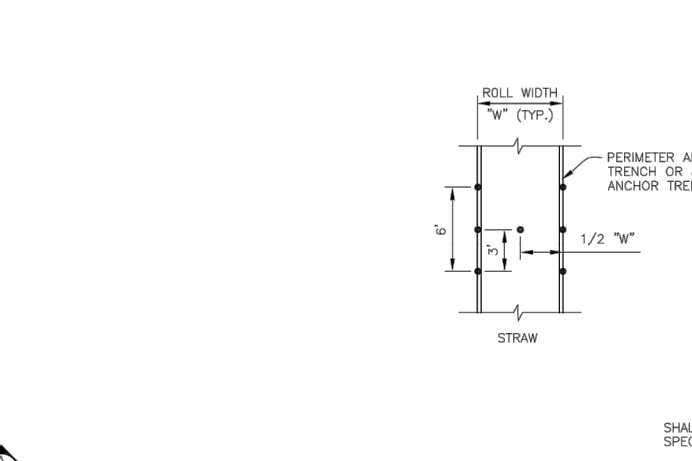
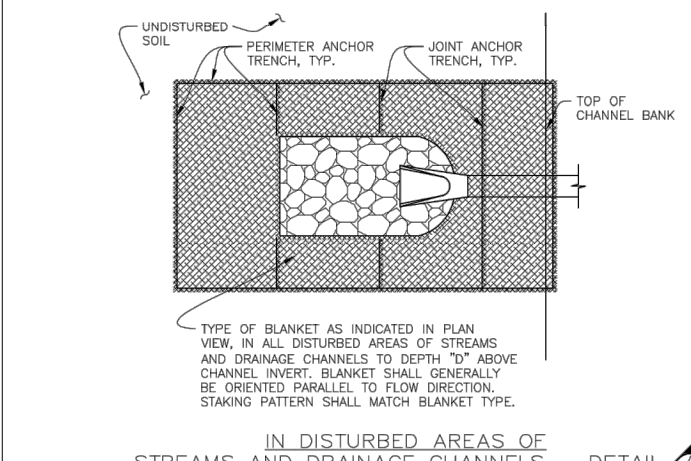
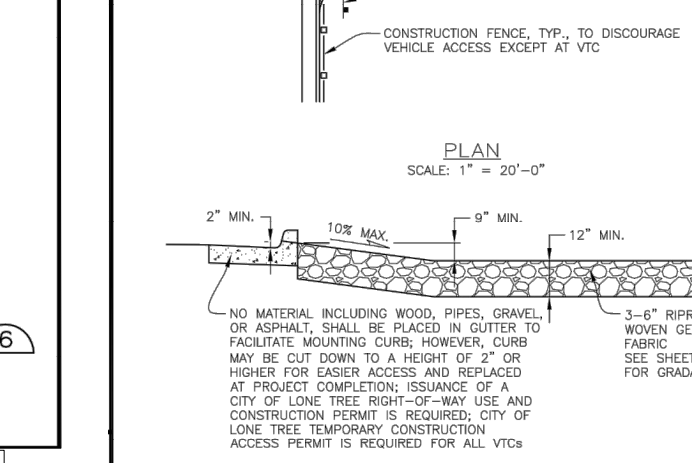
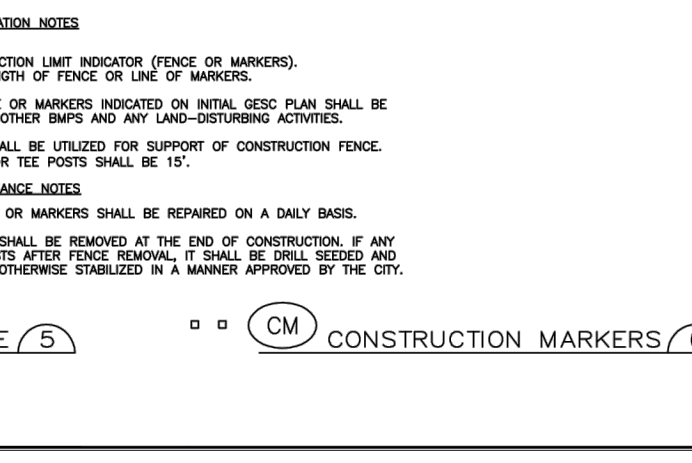
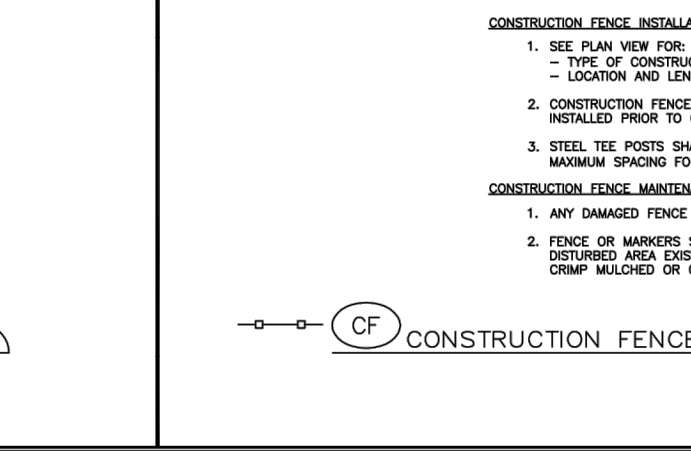
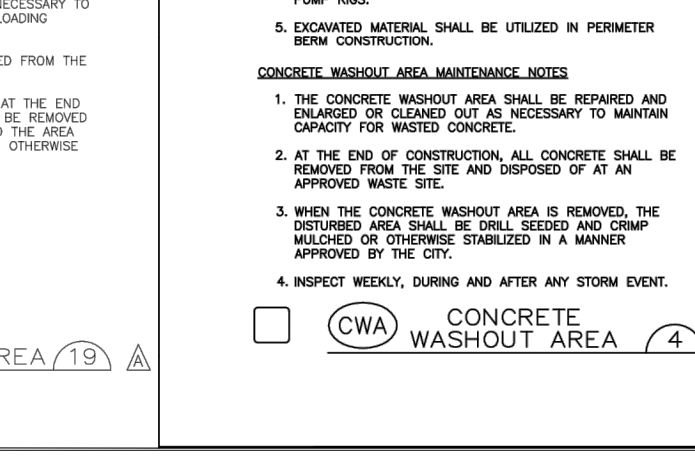
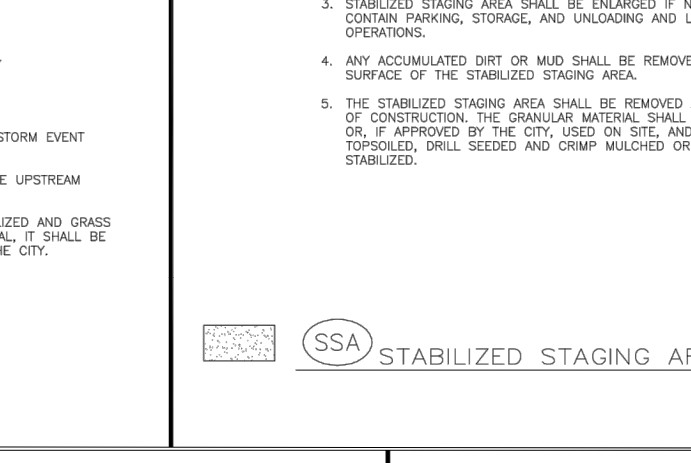
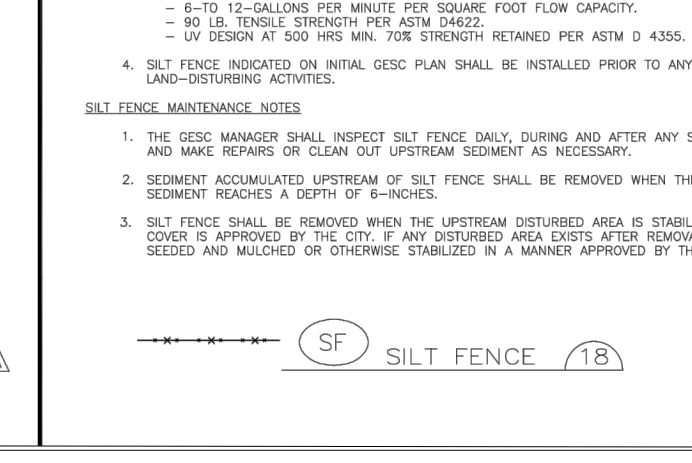
SEEDING AND MULCHING MAINTENANCE NOTES
1. SEEDING AND MULCHING...
2. SEEDING AND MULCHING...
3. SEEDING AND MULCHING...
4. SEEDING AND MULCHING...

Table with 5 columns: SEEDS, VARIETY, NOTES, S.U.M. MAX, RANGE OF PLS PER ACRE. Includes City of Lone Tree Low-Growth Drill Seeding Mix.



SEEDING AND MULCHING MAINTENANCE NOTES (continued)
1. SEEDING AND MULCHING...
2. SEEDING AND MULCHING...
3. SEEDING AND MULCHING...
4. SEEDING AND MULCHING...

Table with 5 columns: SEEDS, VARIETY, NOTES, S.U.M. MAX, RANGE OF PLS PER ACRE. Includes City of Lone Tree Low-Growth Drill Seeding Mix.



Vertical text on the left margin: \\kimley-horn.com\nt_dmv\DEN_Civil\096198011_Floor & Decor Lone Tree\CADD\PlanSheets\CD\096198011_GESC DTL.dwg Epstein, Molly 5/17/2023 11:52 AM

Revision table with columns: NO., DATE, REVISION.

Kimley-Horn logo and contact information: KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: SLP
DRAWN BY: JAQ
CHECKED BY: SLP
DATE: 04/28/2023

Preliminary notice and project information: PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION. PROJECT NO. 096198011. DRAWING NAME 096198011_GESC DTL.DWG. 28 OF 34.

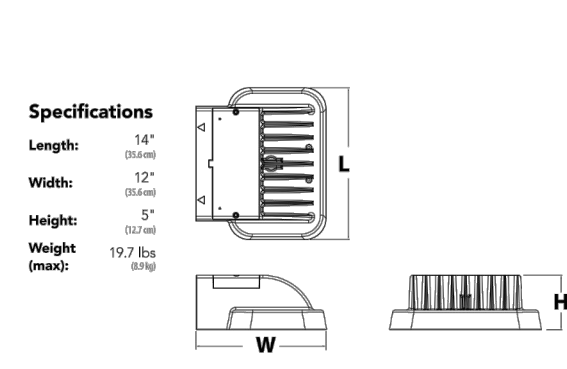


Know what's below. Call before you dig.

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2
LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M. CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



KAXW LED Wall Luminaire



Specifications: Length: 14" (356 mm), Width: 12" (305 mm), Height: 5" (127 mm), Weight: 19.7 lbs (8.9 kg)

Capable Luminaire: This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

Ordering Information table with columns for Luminaire, Performance, Color, Distribution, Voltage, Mounting, and Stocking.

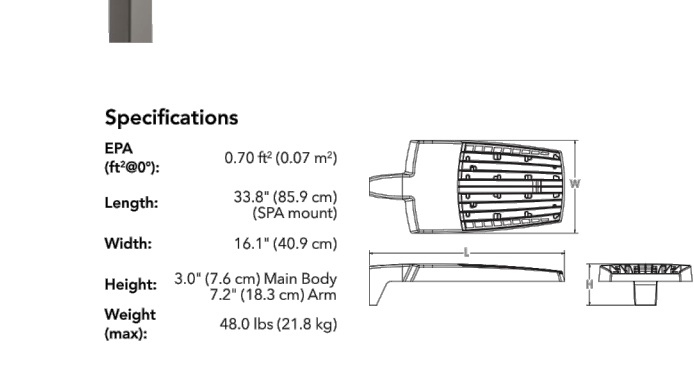
Notes: 1. Not available with R30 or R30V options. 2. Not available with R30V or R30V options. 3. Not available with R30V or R30V options.



Customer: PARKWAY, Project: RSKXLEDP4K3R3MVLCTWBADDBXD, Type: W2, Part Number: RSKXLEDP4K3R3MVLCTWBADDBXD



RSX3 LED Area Luminaire

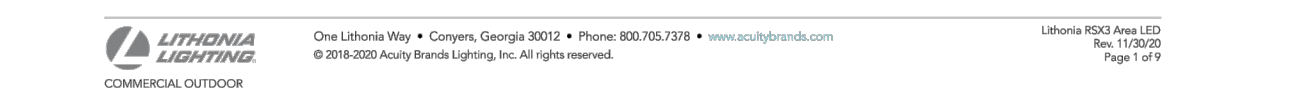


Specifications: EPA (lm/ft²): 0.70 (0.07 m²), Length: 33.8" (85.9 cm), Width: 16.1" (40.9 cm), Height: 3.0" (7.6 cm), Weight: 48.0 lbs (21.8 kg)

Introduction: The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price.

Ordering Information table for RSX3 LED P4 40K R3 MVOLT SPA DDBXD

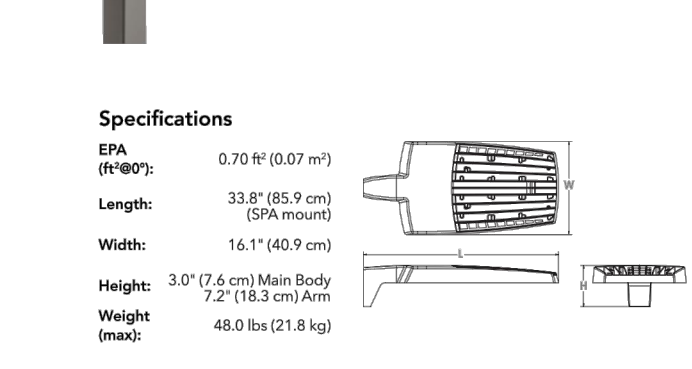
Notes: 1. Not available with R30 or R30V options. 2. Not available with R30V or R30V options. 3. Not available with R30V or R30V options.



Customer: PARKWAY, Project: RSKXLEDP4K3R3MVLCTWBADDBXD, Type: SL, Part Number: RSKXLEDP4K3R3MVLCTWBADDBXD



RSX3 LED Area Luminaire

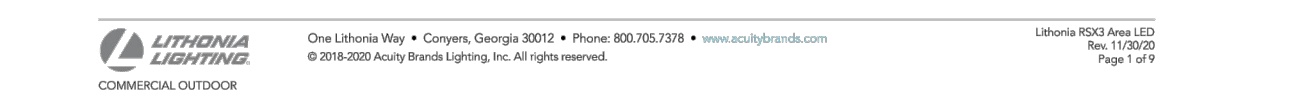


Specifications: EPA (lm/ft²): 0.70 (0.07 m²), Length: 33.8" (85.9 cm), Width: 16.1" (40.9 cm), Height: 3.0" (7.6 cm), Weight: 48.0 lbs (21.8 kg)

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Ordering Information table for RSX3 LED P4 40K R3 MVOLT SPA DDBXD

Notes: 1. Not available with R30 or R30V options. 2. Not available with R30V or R30V options. 3. Not available with R30V or R30V options.

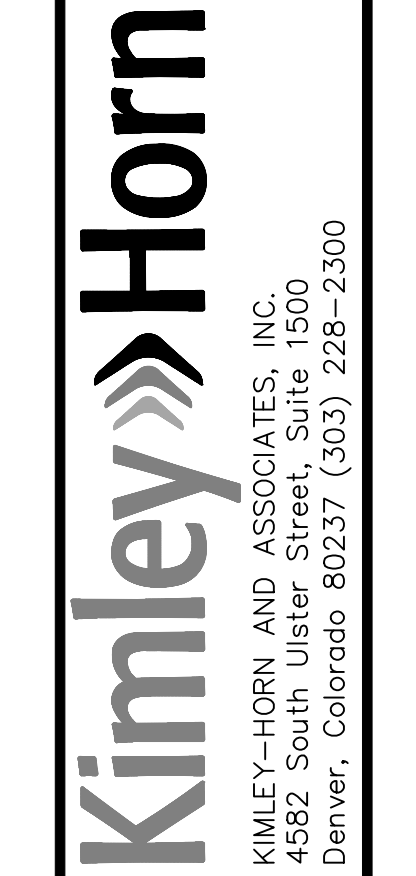


Mirada Medium (MRM) Outdoor LED Area Light. Overview table, Quick Links, Features & Specifications, Construction, Electrical, Installation, Warranty, Lists, Accessories, and Options.

Mirada Medium Outdoor LED Area Light. Ordering Guide table, Color Temp, Color Rendering, Finish, Options, Controls, Accessories, and Options.

Mirada Medium Outdoor LED Area Light. Ordering Guide table, Color Temp, Color Rendering, Finish, Options, Controls, Accessories, and Options.

Revision table with columns for Revision, Date, and By.



DESIGNED BY: SLP, DRAWN BY: JAQ, CHECKED BY: SLP, DATE: 04/28/2023

PARKWAY SUBDIVISION FILING NO. 3, THIRD AMENDMENT, LOT 1A, BLOCK 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, CONSTRUCTION DOCUMENTS, LIGHTING SPECIFICATIONS

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION

Kimley-Horn and Associates, Inc. PROJECT NO. 096198011 DRAWING NAME 34 OF 34