

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES:

- THE PROPERTY DESCRIBED HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE AND DESIGN STANDARDS, INCLUDING BUT NOT LIMITED TO, PROPERTY MAINTENANCE, LIGHTING, PARKING, SIGNAGE, LANDSCAPING AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED PLANNED DEVELOPMENT PLAN, SUBAREA PLAN, OR OTHER APPLICABLE PLAN OR AGREEMENT APPROVED BY THE CITY.
- THE APPLICANT ASSUMES RESPONSIBILITY TO ENSURE THE PROJECT IS COMPLETED IN ACCORDANCE WITH THE APPROVED SIP AND ANY ASSOCIATED MATERIALS SAMPLE BOARDS AND FURTHER ASSUMES THE RISK ASSOCIATED WITH ANY CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL. MODIFICATIONS TO STRUCTURES OR SITES MAY REQUIRE AN AMENDMENT TO THE SIP AS DETERMINED BY THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR, PER SEC. 16-27-180. UNAUTHORIZED CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL CORRECTIVE ACTIONS, DELAY OF PERMITS OR CITATIONS FOR ZONING VIOLATIONS WITH ASSOCIATED FINES AND LEGAL MEASURES. BUILDING PLANS SHALL CONFORM TO THE APPROVED SIP.
- WITHIN SITE TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED WITH NO SOLID STRUCTURES PERMITTED AS STATED IN THE CITY OF LONE TREE'S LANDSCAPE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING. LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- THE OWNER IS RESPONSIBLE FOR THE INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING "NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND/OR THE FIRE DISTRICT. SUCH SIGNAGE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- SITE LANDSCAPING, SITE AMENITIES AND FURNISHINGS, AND ALL SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND PARKING AREAS SHALL BE MAINTAINED IN A STATE OF GOOD REPAIR CONSISTENT WITH THE APPROVED SIP AND THE LONE TREE MUNICIPAL CODE AND DESIGN GUIDELINES AND STANDARDS. SUCH MAINTENANCE SHALL INCLUDE THE REGULAR MAINTENANCE OF PET WASTE STATIONS (WHEN PRESENT), TO INCLUDE WASTE COLLECTION AND WASTE BAG REPLACEMENT. LANDSCAPE PLANTINGS MUST BE ALIVE AND ALL IRRIGATION MUST BE FUNCTIONAL. ALL MAINTENANCE OBLIGATIONS SHALL BE COMPLETED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SITE IMPROVEMENT PLAN IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER OR THE RESPONSIBLE MAINTENANCE AUTHORITY.
- ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS OF LAND HEREBY SUBJECT TO A SITE IMPROVEMENT PLAN ARE HEREBY NOTIFIED THAT THE PROPERTY IS LOCATED WITHIN PROXIMITY TO CENTENNIAL AIRPORT AND IS SUBJECT TO THE TERMS OF THAT CERTAIN AVIGATION AND HAZARD EASEMENT RECORDED AT RECEPTION NUMBER 202216188 ON MARCH 6, 2020 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, AS MAY BE AMENDED.
- PROXIMITY TO CENTENNIAL AIRPORT MAY HAVE ANY NUMBER OF IMPACTS ON THE PROPERTY OCCUPANTS, THE PROPERTY, AND THE DEVELOPMENT, IMPROVEMENT, USE, ENJOYMENT OR OCCUPANCY OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ODORS, AIRCRAFT NOISE, VIBRATION, FUMES, FUEL PARTICLES, EXHAUST, AND THE OPERATION AND PASSAGE OF AIRCRAFT ABOVE OR NEAR THE PROPERTY. INDIVIDUAL SENSITIVITIES TO THE POTENTIAL CENTENNIAL AIRPORT IMPACTS CAN VARY FROM PERSON TO PERSON, AND POTENTIAL AIRPORT IMPACTS CAN VARY FROM LOCATION TO LOCATION WITHIN THE PROPERTY AND FROM TIME TO TIME, RECORDS AND INFORMATION CONCERNING CENTENNIAL AIRPORT AND POTENTIAL AIRPORT IMPACTS ARE PUBLICLY AVAILABLE THROUGH VARIOUS FEDERAL, STATE, AND LOCAL GOVERNMENTAL AGENCIES, INCLUDING CENTENNIAL AIRPORT. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS ARE SOLELY RESPONSIBLE FOR EVALUATING AND DETERMINING WHETHER THE AIRPORT IMPACTS, IF ANY, ARE ACCEPTABLE TO THEM.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER (OR RESPONSIBLE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED BY MAINTENANCE AGREEMENTS) TO MAINTAIN ALL PLAYGROUND EQUIPMENT AND PARK INFRASTRUCTURE ON THE PROPERTY IN A STATE OF GOOD REPAIR IN CONFORMANCE WITH ALL APPLICABLE BUILDING AND SAFETY REGULATIONS.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LONE TREE, DOUGLAS COUNTY, COLORADO COMMUNITY PANEL NUMBER [INSERT APPLICABLE PANEL NUMBER], DATED [INSERT EFFECTIVE DATE], THE SUBJECT PROPERTY LIES WITHIN ZONE [INSERT APPLICABLE *AREAS DETERMINED TO BE INSIDE/OUTSIDE OF THE [INSERT PERCENTAGE]% ANNUAL CHANCE FLOOD.*
- DEVELOPER IS RESPONSIBLE FOR INSTALLING PARKING SIGNS THAT:
 - RESTRICT THE SURFACE PARKING LOT TO ACCESSIBLE, CUSTOMER AND PROSPECTIVE TENANT PARKING, AND LOADING/DELIVERIES; AND
 - PROHIBIT RESIDENTIAL VISITOR PARKING. ALL TENANT, VISITOR AND EMPLOYEE PARKING MUST BE RESTRICTED TO THE PARKING STRUCTURE.
- THIS PROPERTY IS WITHIN A WILDFIRE RISK AREA. WILDFIRE RISK CAN VARY FROM LOCATION TO LOCATION WITHIN THE PROPERTY AND FROM TIME TO TIME, INFORMATION CONCERNING WILDFIRE RISK IS PUBLICLY AVAILABLE THROUGH VARIOUS FEDERAL, STATE, AND LOCAL GOVERNMENTAL AGENCIES, INCLUDING THE COLORADO STATE FOREST SERVICE. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS ARE SOLELY RESPONSIBLE FOR EVALUATING AND DETERMINING WHETHER THE WILDFIRE RISKS, IF ANY, ARE ACCEPTABLE TO THEM.
- ARTWORK MUST BE MAINTAINED PER THE APPROVED SIP. ANY FADING, CHIPPING, OR DAMAGE SHALL BE REPAIRED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE. ANY FUTURE REMOVAL OR ALTERATION OF ARTWORK, AS APPROVED BY THIS SIP MAY WARRANT AN SIP AMENDMENT AND SUBSEQUENT APPROVAL BY THE CITY OF LONE TREE.



VICINITY MAP

SCALE: 1"=2000'



SHEET INDEX

1	COVER SHEET
2	OVERALL SITE PLAN
3	MASTER LANDSCAPE PLAN
4	LANDSCAPE NOTES AND DETAILS
5	LANDSCAPE PLAN
6	LANDSCAPE PLAN
7	LANDSCAPE PLAN
8	LANDSCAPE PLAN
9	LANDSCAPE PLAN
10	LANDSCAPE PLAN
11	IRRIGATION PLAN
12	IRRIGATION PLAN
13	IRRIGATION PLAN
14	IRRIGATION PLAN
15	IRRIGATION PLAN
16	IRRIGATION PLAN
17	GRADING PLAN
18	OVERALL UTILITY PLAN
19	MASTER SITE FURNISHINGS PLAN
20	SITE FURNISHINGS PLAN
21	SITE FURNISHINGS PLAN
22	SITE DETAILS
23	SITE DETAILS
24	SITE LIGHTING PHOTO METRIC
25	SITE LIGHTING DETAILS
26	BUILDING ELEVATIONS
27	BUILDING ELEVATIONS
28	BUILDING ELEVATIONS
29	BUILDING LAYOUT EXHIBIT
30	RENDERINGS AND PHOTO SIMULATIONS
31	RENDERINGS AND PHOTO SIMULATIONS
32	RENDERINGS AND PHOTO SIMULATIONS

SITE DATA TABLE

ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	515,314.00	100%
BUILDING FOOTPRINT	112,612.00	22%
PARKING/ROADS	134,675.00	26%
LANDSCAPED AREA	141,728.00	28%
NATURAL AREAS	63,088.00	12%
HARDSCAPE AREA	63,211.00	12%
BUILDING SIZE		
BUILDING TYPE 1		
MAXIMUM HEIGHT	40.50'	
TOTAL FLOOR AREA	14,372 SF	
BUILDING TYPE 2		
MAXIMUM HEIGHT	42.83'	
TOTAL FLOOR AREA	16,918 SF	
PARKING		
LOCATION	QUANTITY	
	RESIDENTIAL	GUEST
TOTALS		
CONDOS - 190 UNITS		
REQUIRED	380	48
REQUIREMENT: 2 PER UNIT AND 0.25 GUEST PER UNIT		
PROVIDED		
GARAGE	180	0
DRIVEWAY	114	0
OFF STREET	86	12
ON STREET	0	36
TOTAL	380	48
REQUIREMENT: 0.25 GUEST PER UNIT		
BICYCLE PARKING		
REQUIRED	8.56	
PROVIDED	10.00	
REQUIREMENT: 2% OF THE TOTAL NUMBER OF AUTOMOBILE PARKING SPACES PROVIDED BY THE DEVELOPMENT, BUT NOT LESS THAN ONE		

PROJECT DIRECTORY

OWNER
RIDGEGATE INVESTMENTS, INC.
9878 SCHWAB WAY
SUITE 415
LONE TREE, CO 80124

DEVELOPER
LOKAL HOMES
8310 S. VALLEY HIGHWAY
SUITE 115
ENGLEWOOD, CO 80112
TOMMY PUCCIANO
P. 720.234.4728

ARCHITECT
LOKAL STUDIOS
8310 S. VALLEY HIGHWAY
SUITE 115
ENGLEWOOD, CO 80112

CIVIL ENGINEER
JR ENGINEERING, LLC
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
KURTIS WILLIAMS
303.740.9393

LANDSCAPE ARCHITECT
PCS GROUP
P.O. BOX 18287
DENVER, CO 80218
PAUL SHOUKAS
303.531.4905

APPROVAL CERTIFICATE

THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON _____ (DATE).

BY: _____ (PRINTED NAME)

(SIGNATURE) _____ (DATE)

TITLE: COMMUNITY DEVELOPMENT DIRECTOR

BY: _____ (PRINTED NAME)

(SIGNATURE) _____ (DATE)

TITLE: DIRECTOR OF PUBLIC WORKS (OR HIS/HER DESIGNATED REPRESENTATIVE)

BY: _____ (PRINTED NAME)

(SIGNATURE) _____ (DATE)

TITLE: MAYOR

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S)(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

(NAME OF OWNER)

(SIGNATURE OF OWNER)

(PRINTED NAME AND TITLE)

STATE OF _____)

_____) SS.

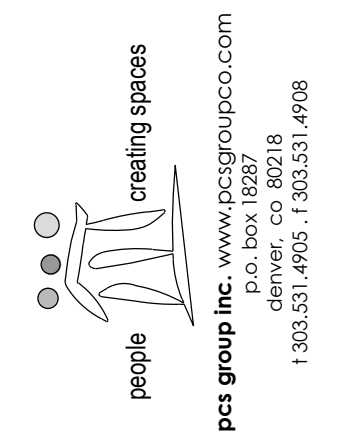
COUNTY OF _____)
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____
_____, BY _____

WITNESS MY HAND AND OFFICIAL SEAL.
MY COMMISSION EXPIRES: _____ / _____ / _____

NOTARY PUBLIC

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO
80112
720-656-4512



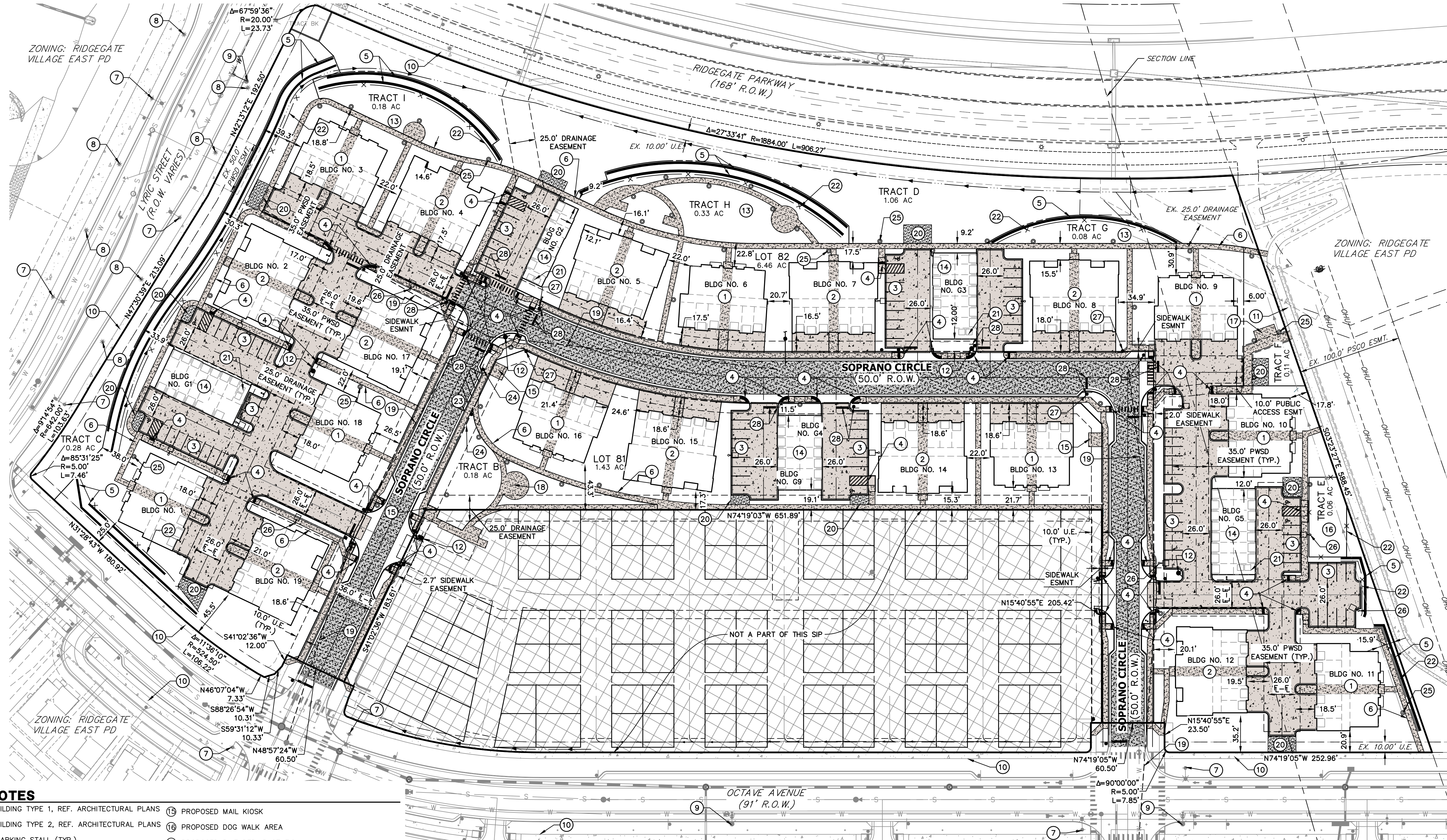
BY	DATE
	01/06/23
	03/03/23
	05/18/23

REVISION	No.	DATE
1	CITY COMMENTS	
2	CITY COMMENTS	
3	CITY COMMENTS	

H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		PMS	PCS	PMS

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



SCHEDULE NOTES

- ① 10-UNIT CONDO BUILDING TYPE 1, REF. ARCHITECTURAL PLANS
- ② 10-UNIT CONDO BUILDING TYPE 2, REF. ARCHITECTURAL PLANS
- ③ PROPOSED 9'X18' PARKING STALL (TYP.)
- ④ PROPOSED ADA-ACCESSIBLE RAMP
- ⑤ PROPOSED RETAINING WALL, REF. SITE DETAILS
- ⑥ PROPOSED CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON
- ⑦ EXISTING STREET LIGHT TO REMAIN
- ⑧ EXISTING PEDESTRIAN LIGHT TO REMAIN
- ⑨ EXISTING FIRE HYDRANT TO REMAIN
- ⑩ EXISTING SIDEWALK TO REMAIN
- ⑪ EXISTING 8' CONCRETE TRAIL WITH 3' SOFT SHOULDER TO REMAIN
- ⑫ PROPOSED FIRE HYDRANT
- ⑬ PROPOSED AMENITY AREA, REF. LANDSCAPE PLANS
- ⑭ PROPOSED COVERED PARKING STRUCTURE, REFERENCE ARCHITECTURAL PLANS
- ⑮ PROPOSED MAIL KIOSK
- ⑯ PROPOSED DOG WALK AREA
- ⑰ PROPOSED BIKE REPAIR STATION
- ⑱ PROPOSED COVERED SHELTER
- ⑲ SIGHT DISTANCE TRIANGLE
- ⑳ PROPOSED SNOW STORAGE AREA
- ㉑ TRASH DUMPSTER LOCATION (LOCATED WITHIN GARAGE BUILDING)
- ㉒ PROPOSED BLACK METAL FENCE, REF. LANDSCAPE DETAILS
- ㉓ PROPOSED 12'X40' DELIVERY/LOADING ZONE
- ㉔ INSTALL R7-6 NO PARKING - LOADING ZONE SIGNAGE IN ACCORDANCE WITH MUTCD
- ㉕ PROPOSED BOLLARD LIGHT, REF. PHOTOMETRIC PLANS (TYP.)
- ㉖ PROPOSED SITE LIGHT, REF. PHOTOMETRIC PLANS (TYP.)
- ㉗ R7-1 NO PARKING SIGN TO BE INSTALLED IN CONFORMANCE WITH MUTCD. REF. SIGNAGE AND STRIPING PLAN
- ㉘ R1-1 STOP SIGN TO BE INSTALLED IN CONFORMANCE WITH MUTCD. PAINT OR INSTALL 24" WIDE WHITE STOP BAR. REF. SIGNAGE AND STRIPING PLAN.

LEGEND

- SITE BOUNDARY
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE
- PROPOSED ASPHALT ROADWAY
- PROPOSED SNOW STORAGE AREA

SNOW STORAGE REQUIREMENT

4" Snowfall		
Area (SF)	Calculations (SF)	Storage (CF.)
84434	84434 SF x (4/12) F x 0.8	22515.73
12" Snowfall		
Area (SF)	Calculations (SF)	Storage (CF.)
84434	84434 SF x (12/12) F x 0.2	16886.80
Average		
Average (CF.)	Storage (CF.)	
(22515/73 CF. + 16886.80 CF.)/2	19701.27	



Know what's below.
Call before you dig.

50 25 0 50 100
ORIGINAL SCALE: 1" = 50'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO
 80112
 (720) 656-4512

J.R. ENGINEERING
 A Westman Company

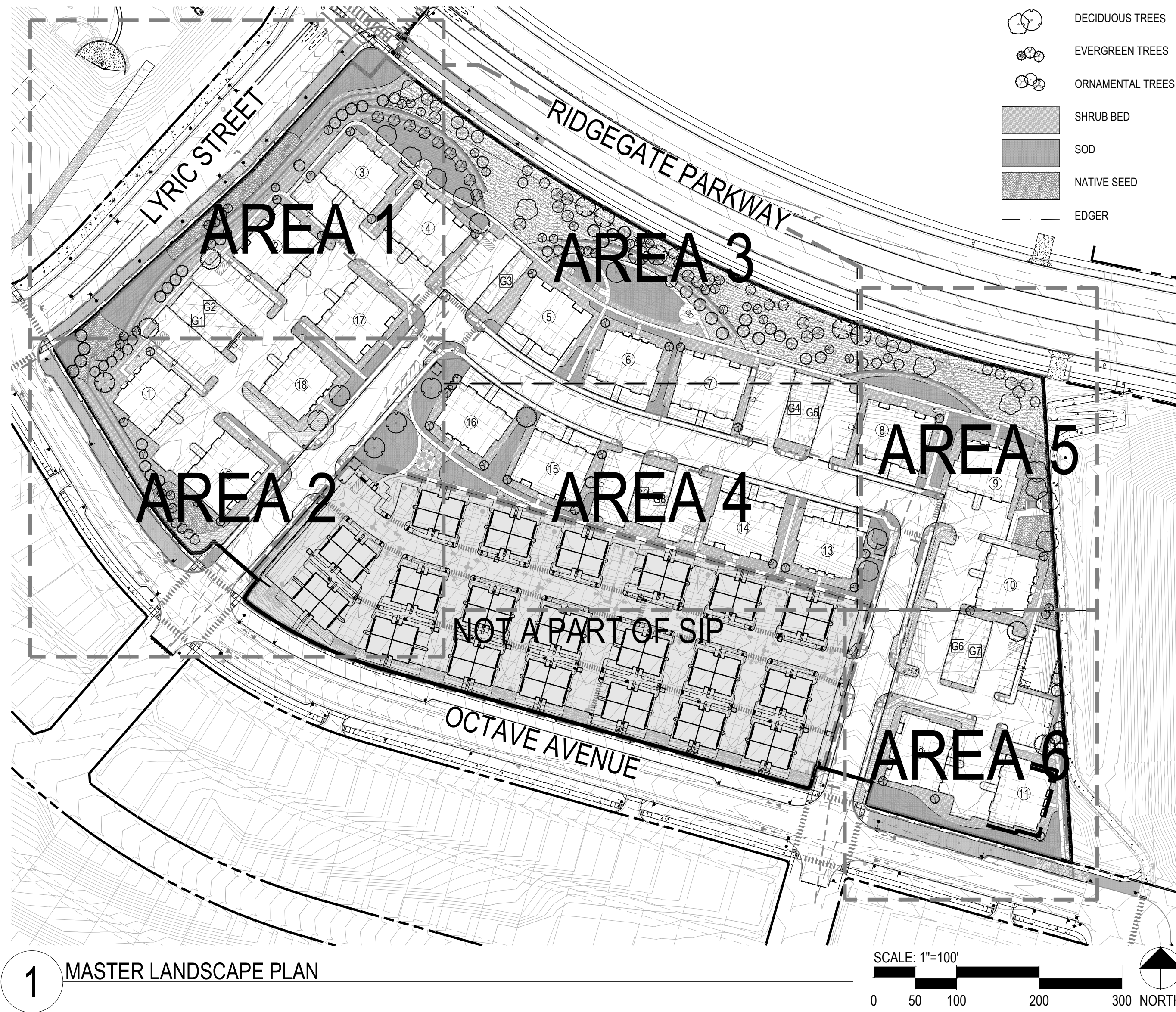
 Centennial 300-740-9888 • Colorado Springs 719-583-2593
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE				
No.	REVISION				
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	N/A	5/18/2022	JCS	D/JG	

LYRIC CONDOS AT RIDGEGATE
 SIP
 OVERALL SITE PLAN
 SHEET 2 OF 32
 JOB NO. 15950.10

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



1 MASTER LANDSCAPE PLAN

LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- SHRUB BED
- SOD
- NATIVE SEED
- EDGER

PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CANOPY TREE					
CS	7	CATALPA SPECIOSA	NORTHERN CATALPA	2" CAL	B & B
CO	5	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL	B & B
GK	8	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	2" CAL	B & B
UP	7	ULMUS X 'PIONEER'	PIONEER ELM	2" CAL	B & B
ZS	6	ZELKOVA SERRATA	JAPANESE ZELKOVA	2" CAL	B & B
EVERGREEN TREE					
AC2	22	ABIES CONCOLOR	WHITE FIR	6' HT	B & B
PD3	35	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	6' HT	B & B
PP2	39	PINUS EDULIS	PINON PINE	6' HT	B & B
PD4	29	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HT	B & B
ORNAMENTAL TREE					
AG	5	ACER TATARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE	2" CAL	B & B
CP	9	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	2" CAL	B & B
MS	11	MALUS X 'SNOWDRIFT'	SNOWDRIFT CRAB APPLE	2" CAL	B & B
MR	9	MALUS X 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2" CAL	B & B
PC	14	PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	2" CAL	B & B
QC	4	QUERCUS ROBUR X ALBA 'CRIMSON SPIRE'	CRIMSON SPIRE OAK	2" CAL	B & B
DECIDUOUS SHRUB					
BA	32	BERBERIS THUNBERGII 'ATROPURPUREA'	RED LEAF JAPANESE BARBERRY	5 GAL	
CC	120	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST SHRUB	5 GAL	
CI	97	CORNUS SERICEA 'IVORY HALO'	VARIEGATED REDTIG DOGWOOD	5 GAL	
FA	78	FORSYTHIA INTERMEDIA 'ARNOLD'S DWARF'	DWARF FORSYTHIA	5 GAL	
HA	43	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	5 GAL	
HF	45	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST HYPERICUM	5 GAL	
PM	31	PHYSCARPUS MONOGYNUS	MOUNTAIN NINEBARK	5 GAL	
PO	84	PHYSCARPUS OPULIFOLIUS 'DART'S GOLD'	YELLOW NINEBARK	5 GAL	
PP2	96	PRUNUS BESSEYI 'PAWNEE BUTTES'	CREeping WESTERN SAND CHERRY	5 GAL	
RG	35	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	
RT	68	RHUS TRILOBATA	SKUNKBUSH SUMAC	5 GAL	
SF	92	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	5 GAL	
SN	78	SPIRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 GAL	
SM2	167	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	5 GAL	
SC	83	SYRINGA VULGARIS 'CHARLES JOLY'	CHARLES JOLY LILAC	5 GAL	
VC	75	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	5 GAL	
VB	71	VIBURNUM DENTATUM 'CHRIST ORS'	BLUE MUFFIN ARROWWOOD	5 GAL	
VB2	59	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	5 GAL	
EVERGREEN SHRUB					
AC	41	ARCTOSTAPHYLOS X COLORADENSIS 'CHIEFTAIN'	CHIEFTAIN MOCK BEARBERRY MANZANITA	5 GAL	
CC2	72	COTONEASTER APICULATUS	CRANBERRY COTONEASTER	5 GAL	
CD2	57	COTONEASTER DIVARICATUS	SPREADING COTONEASTER	5 GAL	
CT	102	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	5 GAL	
EE	49	EPHEDRA EQUISETINA	BLUESTEM JOINT FIR	5 GAL	
EM	71	EUONYMUS FORTUNEI 'MOONSHADOW'	MOONSHADOW EUONYMUS	5 GAL	
EC3	85	EUONYMUS FORTUNEI 'CANADALE GOLD'	CANADALE GOLD WINTER CREEPER	5 GAL	
EG	120	EUONYMUS FORTUNEI 'EMERALD GAITY'	EMERALD GAITY WINTER CREEPER	5 GAL	
EK	64	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	5 GAL	
MA	71	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL	
PC3	111	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	5 GAL	
PB3	58	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	5 GAL	
PH3	38	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	HILLSIDE CREEPER SCOTCH PINE	5 GAL	
PA	46	PYRACANTHA ANGUSTIFOLIA 'GNOZAM GNOME'	GNOME PYRACANTHA	5 GAL	
TD	40	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	5 GAL	
ORNAMENTAL GRASS					
BB	59	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	
CK	138	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	
CA	32	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE'	AVALANCHE FEATHER REED GRASS	1 GAL	
CL	40	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	1 GAL	
HS2	56	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	
PD	76	PANICUM VIRGATUM 'DALLAS BLUES' TM	DALLAS BLUES SWITCH GRASS	1 GAL	
SS2	53	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	1 GAL	
PERENNIALS					
EC	158	EUONYMUS FORTUNEI 'COLORATA'	PURPLE-LEAF WINTER CREEPER	4" POT	
SOD	59,703 SF		80/20 FESCUE/BLUEGRASS MIX		
SEED	63,088 SF		LOW GROW		
MULCH	82,025 SF		SHREDDED CEDAR	4" DEPTH	

NATIVE SEED MIX

LOW GROW MIX FROM ARKANSAS VALLEY SEED, INC.
4300 MONACO ST.
DENVER, CO 80216
WWW.AVSEEDS.COM
P: 303.320.7500

30% EPHRAIM CRESTED WHEATGRASS
25% SHEEP FESCUE
20% PERENNIAL RYE
15% CHEWINGS FESCUE

APPLICATION RATE:
FOR NEW SEEDING,
BROADCAST AT 20-25 LBS / ACRE
DRILL AT 15-20 LBS / ACRE

UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO 80112
720-656-4512

creating spaces
people
pct group inc. www.pctgroupco.com
denver, co 80218
p.o. box 18287
13035/4968-1-60351-4968

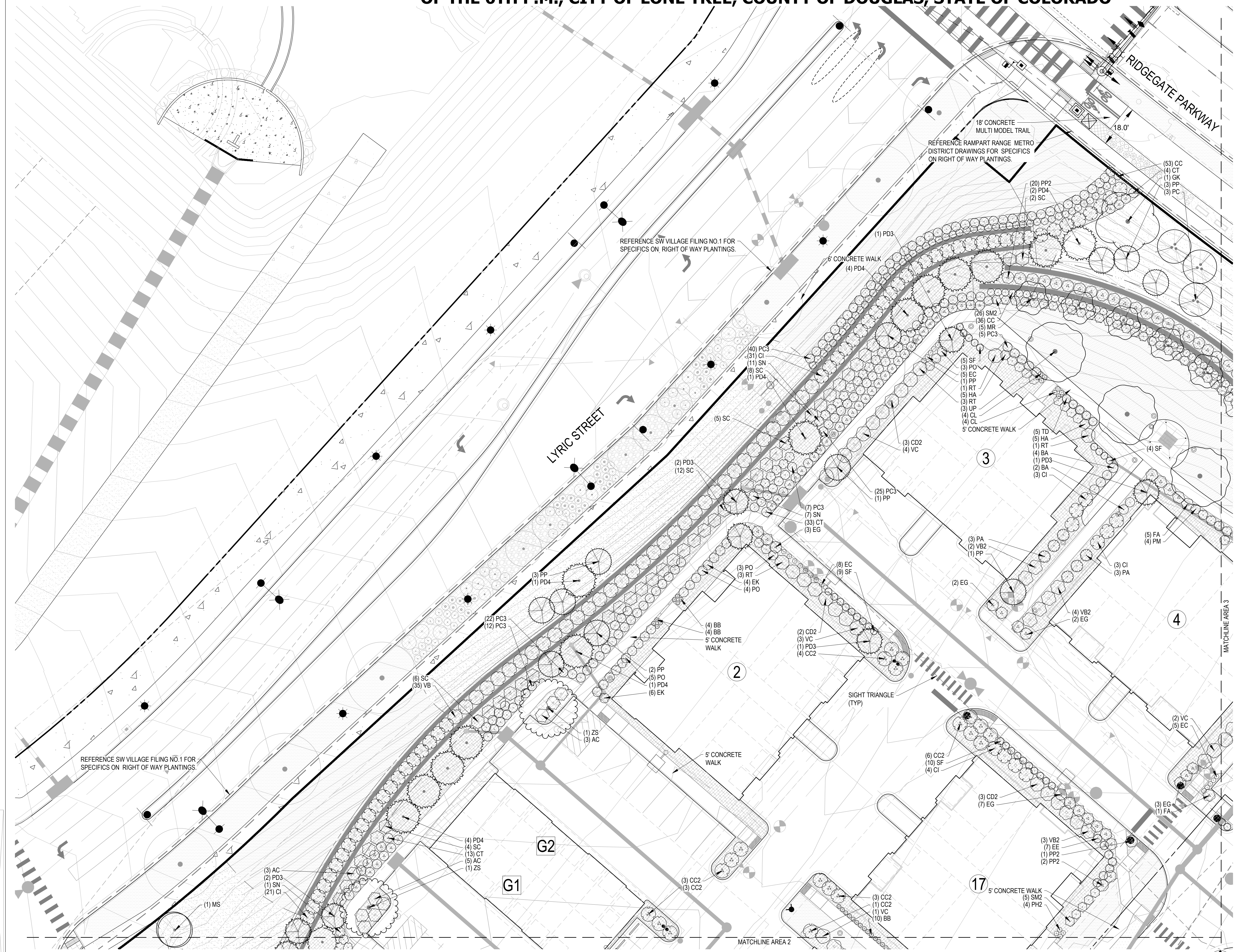
BY	DATE	REVISION	No.	REVISION	DESIGNED BY	CHECKED BY
	01/08/23	1	CITY COMMENTS		PMS	PMS
	03/03/23	2	CITY COMMENTS		PMS	PMS
	05/18/23	3	CITY COMMENTS		PMS	PMS

LYRIC CONDOS AT RIDGEGATE SIP
MASTER LANDSCAPE PLAN

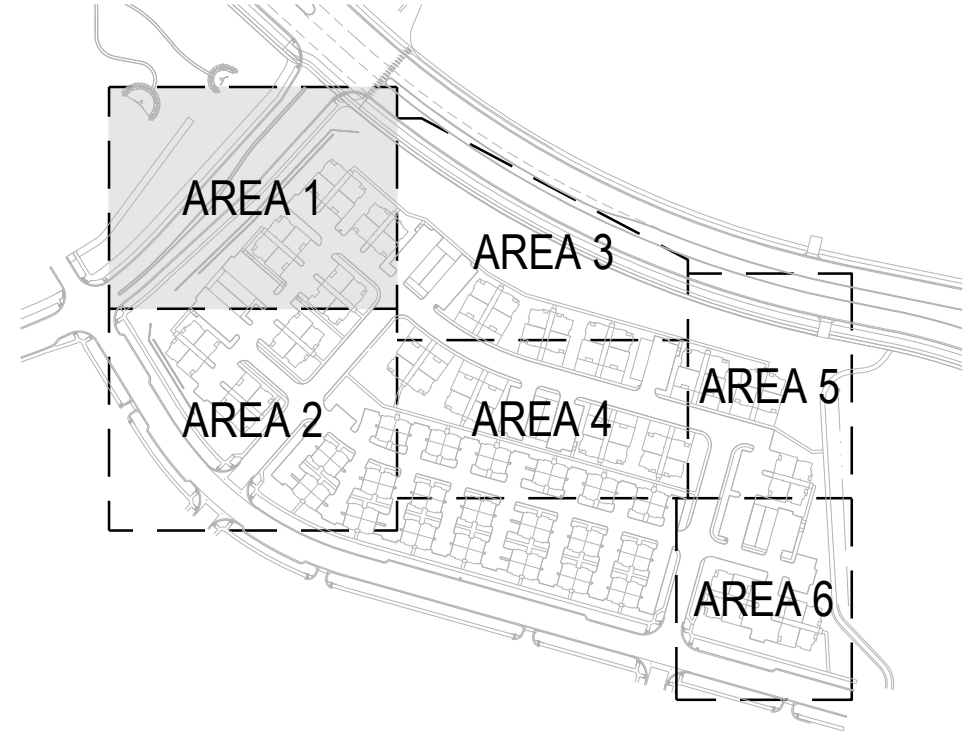
SHEET 3 OF 32
JOB NO. 20220501

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP

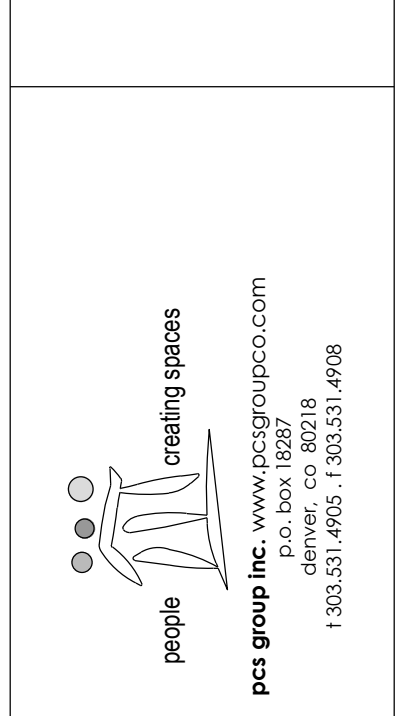


LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- WOOD MULCH
- NATIVE SEED
- EDGER

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

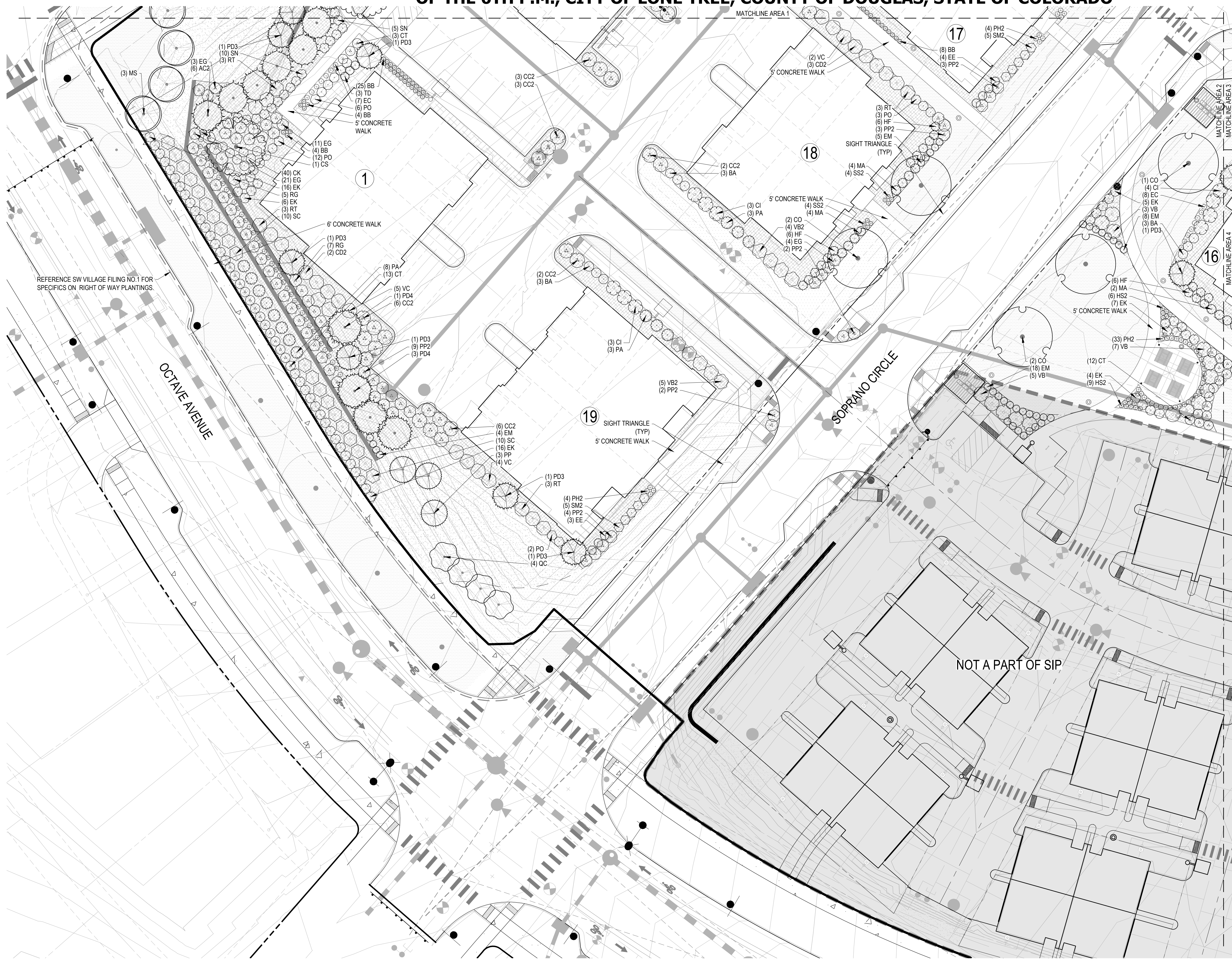


BY	DATE	No.	REVISION
	01/06/23	1	CITY COMMENTS
	03/03/23	2	CITY COMMENTS
	05/18/23	3	CITY COMMENTS

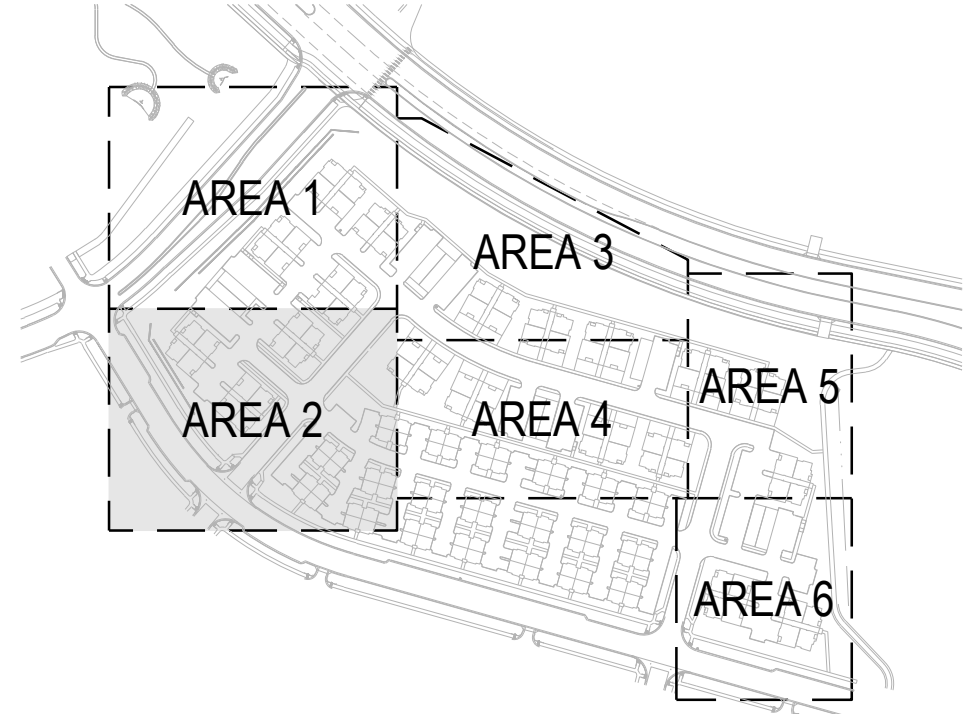
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		10/13/22	PMS	PMS	PMS

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP

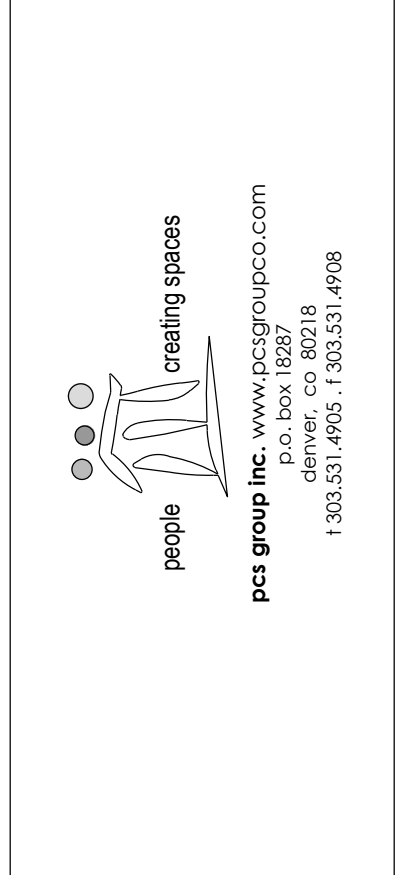


LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- WOOD MULCH
- NATIVE SEED
- EDGER

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO
 80112
 720-656-4512



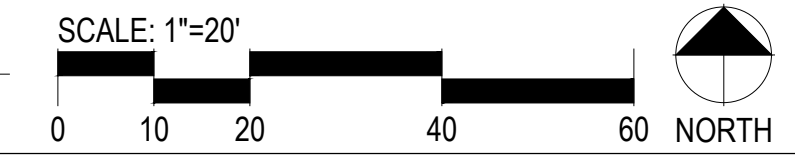
BY	DATE	No.	REVISION
	01/08/23	1	CITY COMMENTS
	03/03/23	2	CITY COMMENTS
	05/18/23	3	CITY COMMENTS

H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY

DATE	DESIGNED BY	DRAWN BY	CHECKED BY
10/13/22	PMS	PMS	PMS

LYRIC CONDOS AT RIDGEGATE
 SIP
 LANDSCAPE PLAN

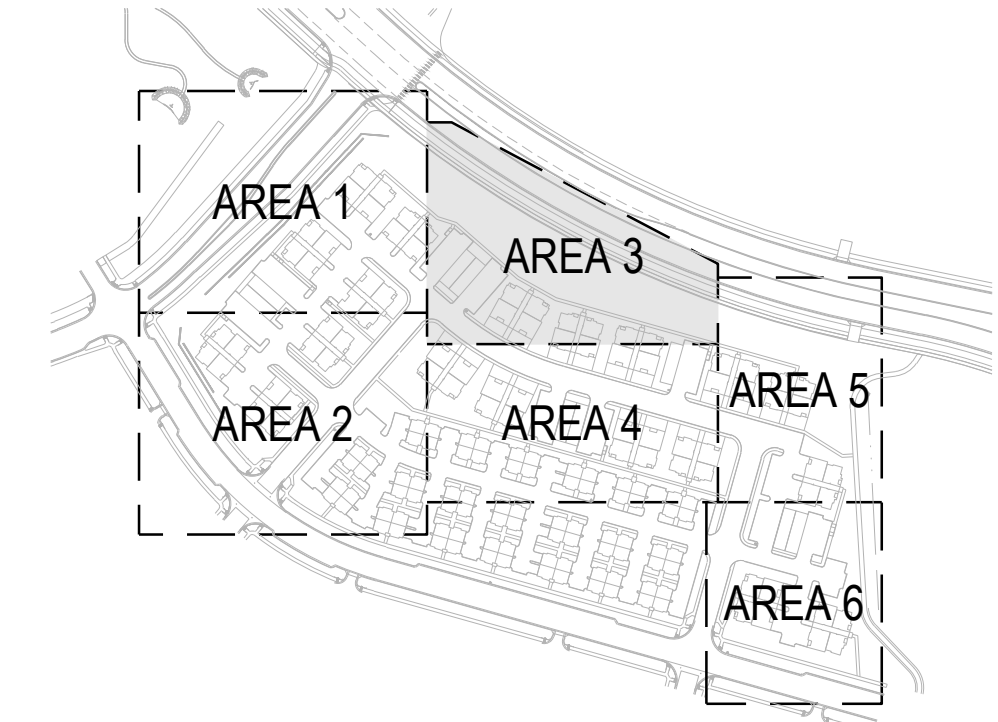
1 LANDSCAPE PLAN - AREA 2



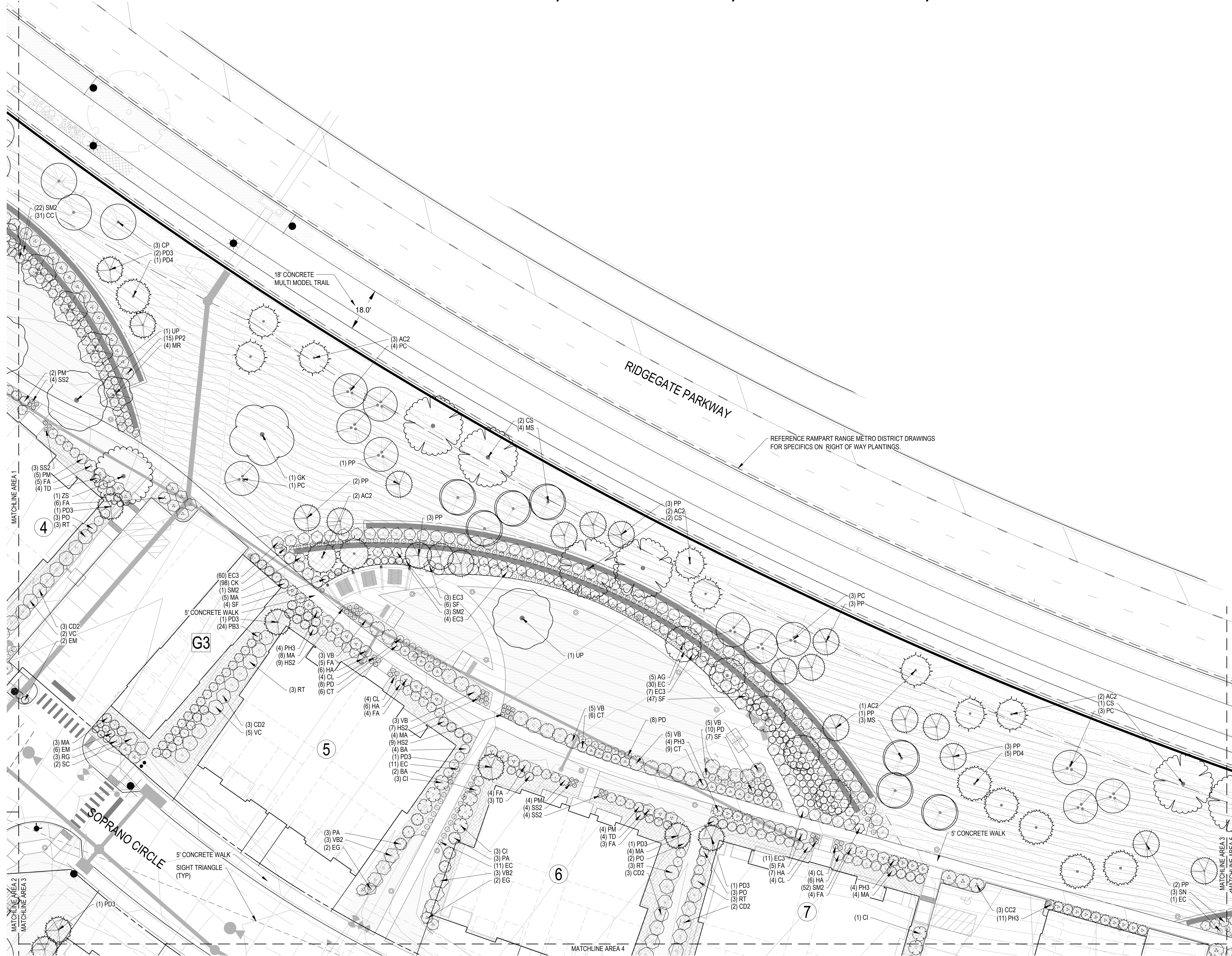
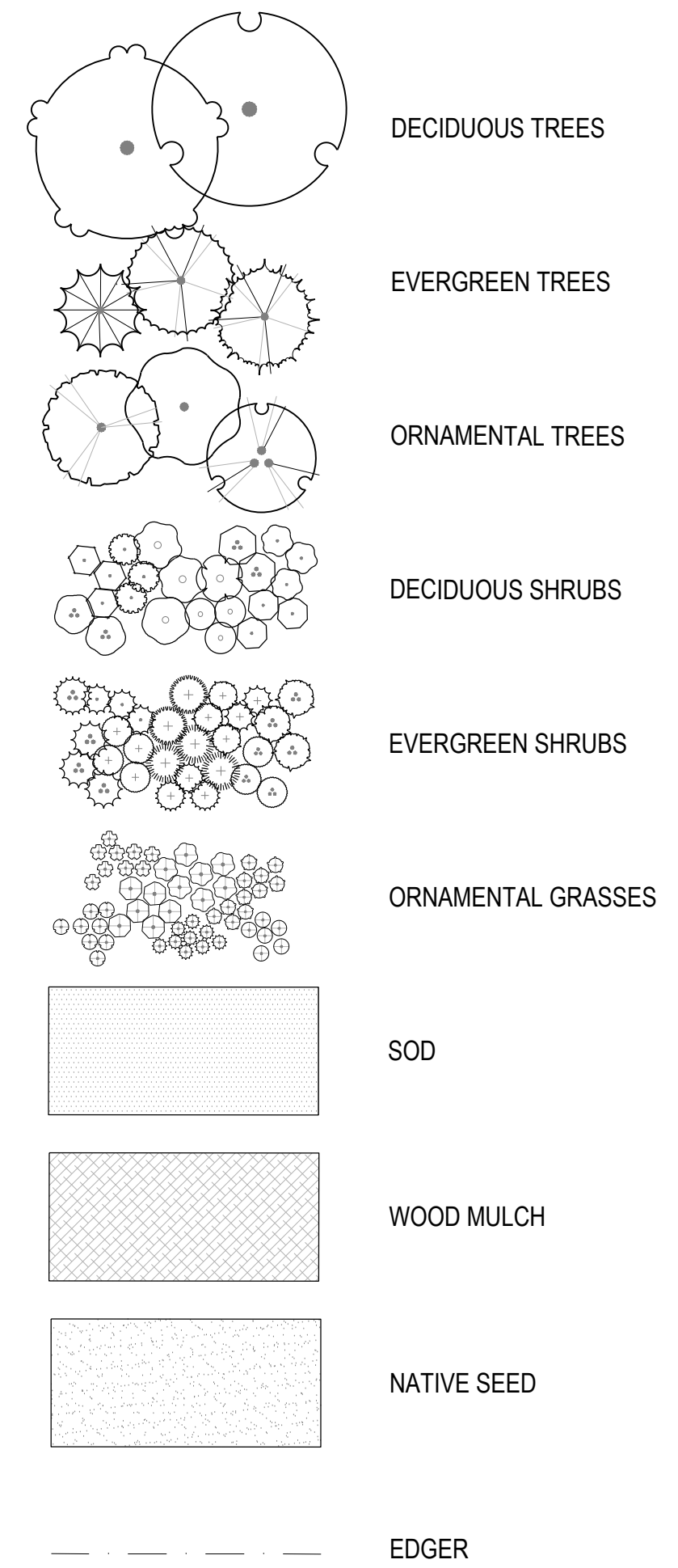
LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

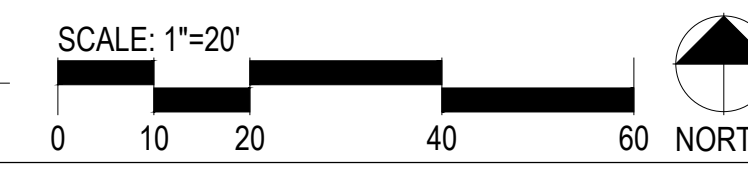
KEY MAP



LEGEND



1 LANDSCAPE PLAN - AREA 3

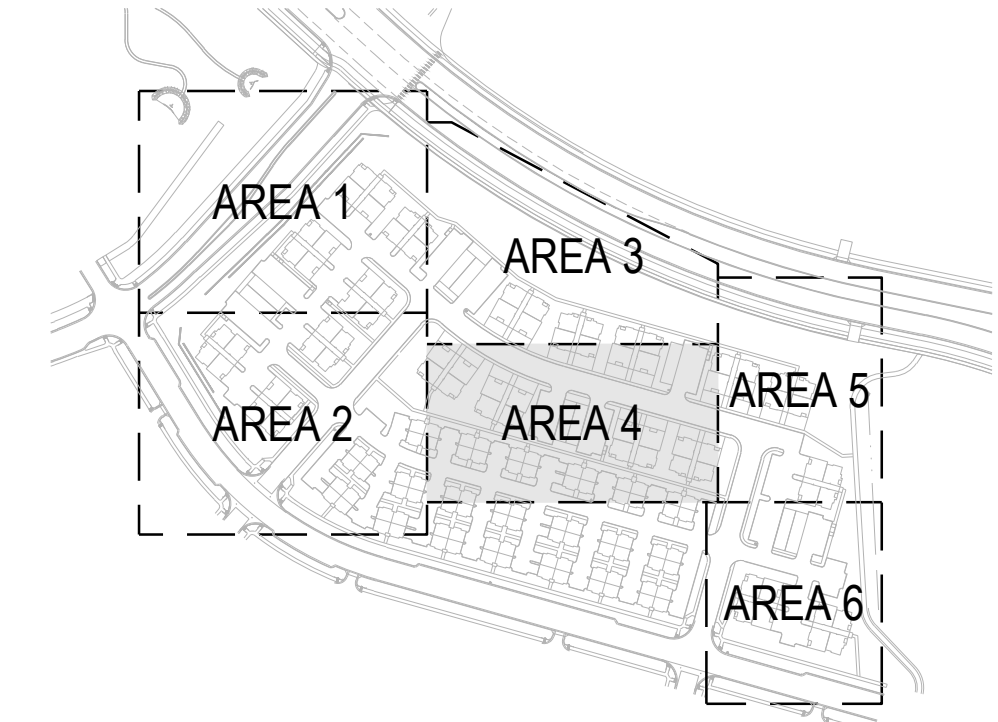


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512	people creating spaces pct group inc. www.pctgroupco.com driver, co 80218 p.o. box 18287 13033/4968-1-60331/4968
H-SCALE V-SCALE DATE DESIGNED BY DRAWN BY CHECKED BY	No. REVISION 1 2 3 CITY COMMENTS CITY COMMENTS CITY COMMENTS PMS PCS PMS
BY DATE 01/08/23 03/03/23 05/18/23	LYRIC CONDOS AT RIDGEGATE SIP LANDSCAPE PLAN
SHEET 7 OF 32 JOB NO. 20220501	

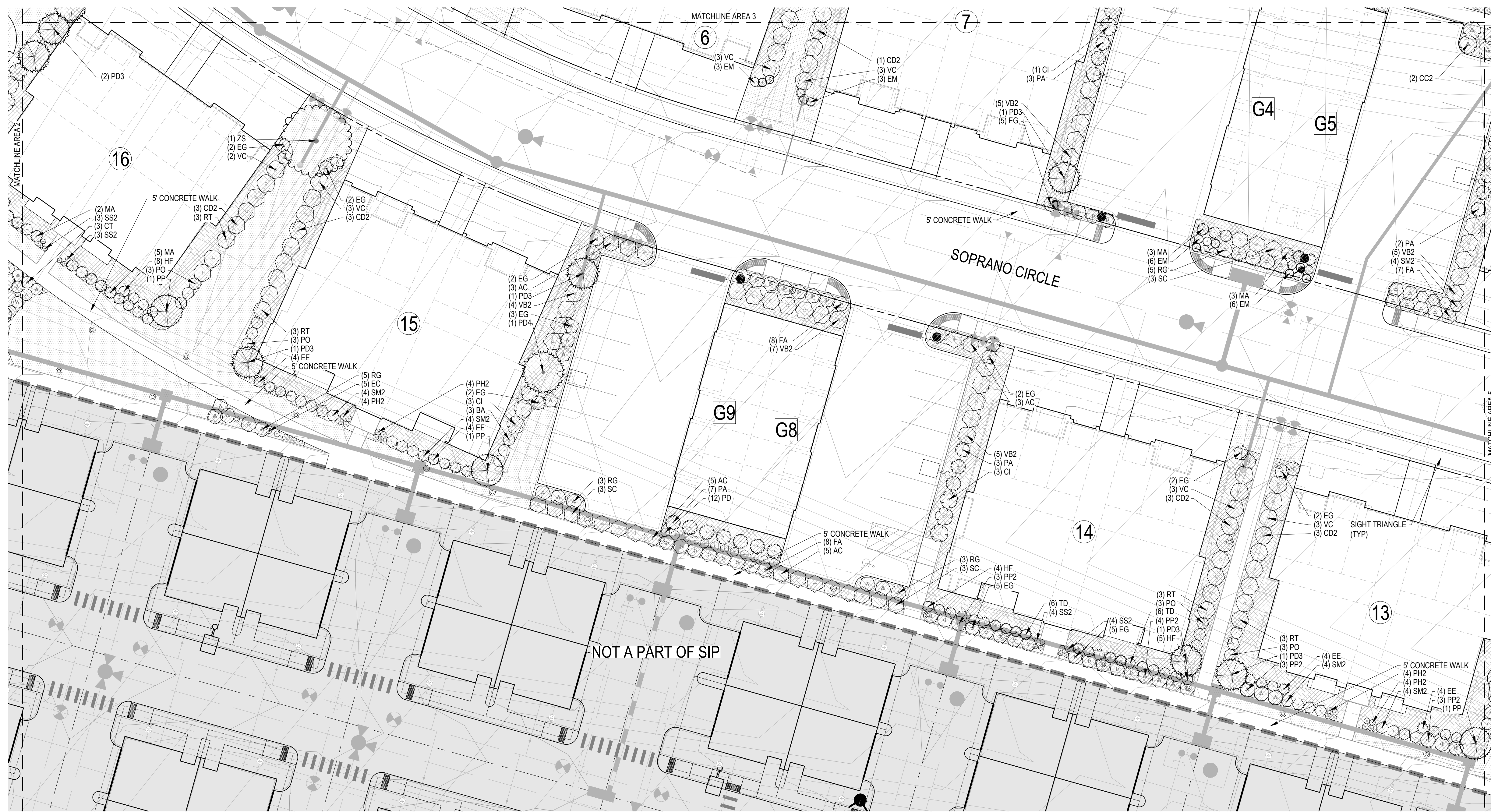
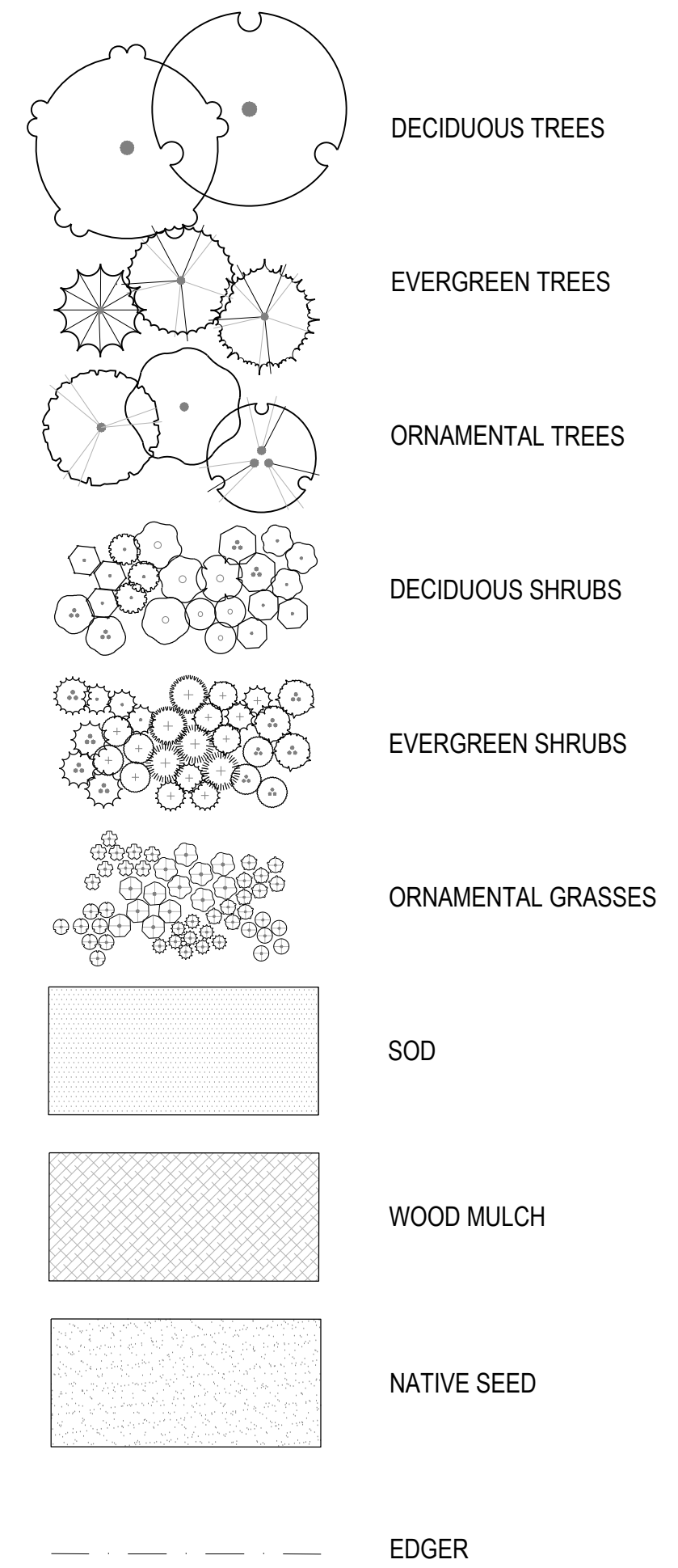
LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



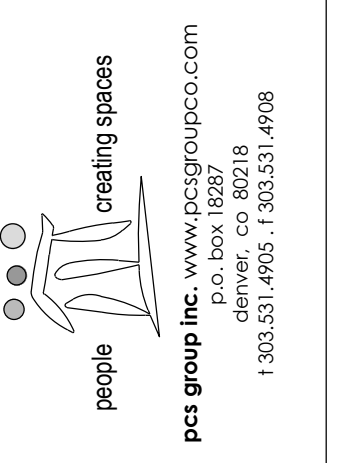
LEGEND



1 LANDSCAPE PLAN - AREA 4

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES, THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



BY	DATE	No.	REVISION	CITY COMMENTS
	01/08/23	1		
	03/03/23	2		
	05/18/23	3		

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		10/13/22	PMS	PMS	PMS

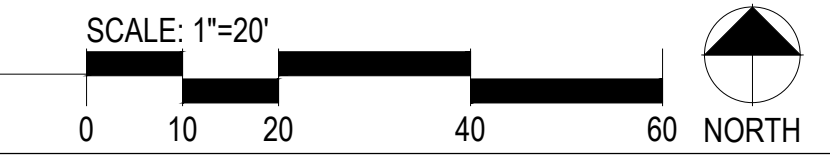
LYRIC CONDOS AT RIDGEGATE
 SIP
 LANDSCAPE PLAN

LYRIC CONDOS AT RIDGEGATE SIP

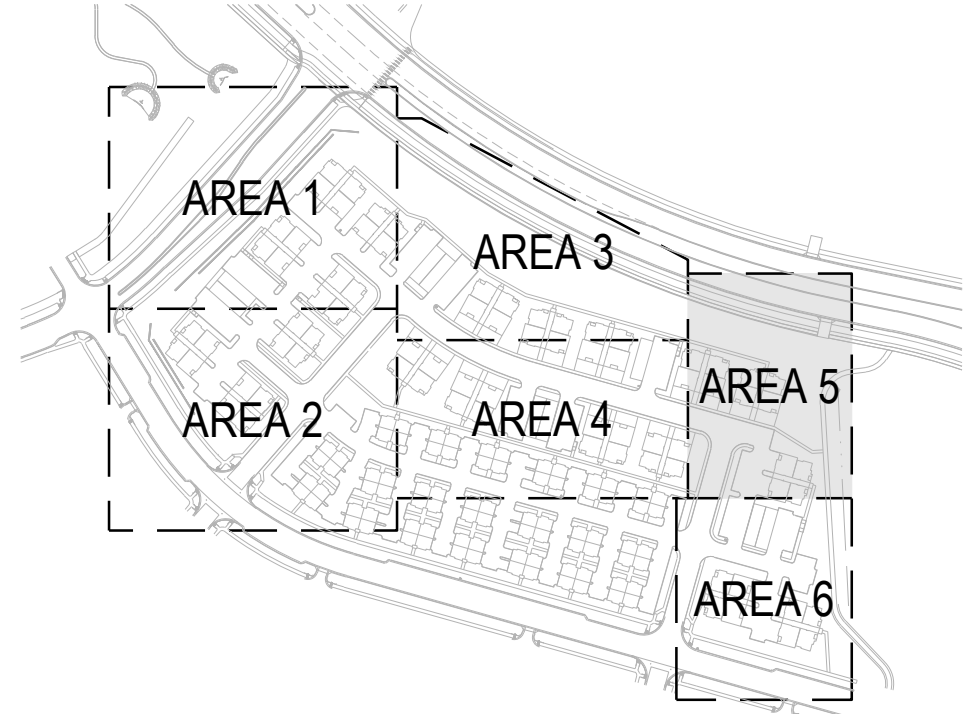
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



1 LANDSCAPE PLAN - AREA 5



KEY MAP



LEGEND

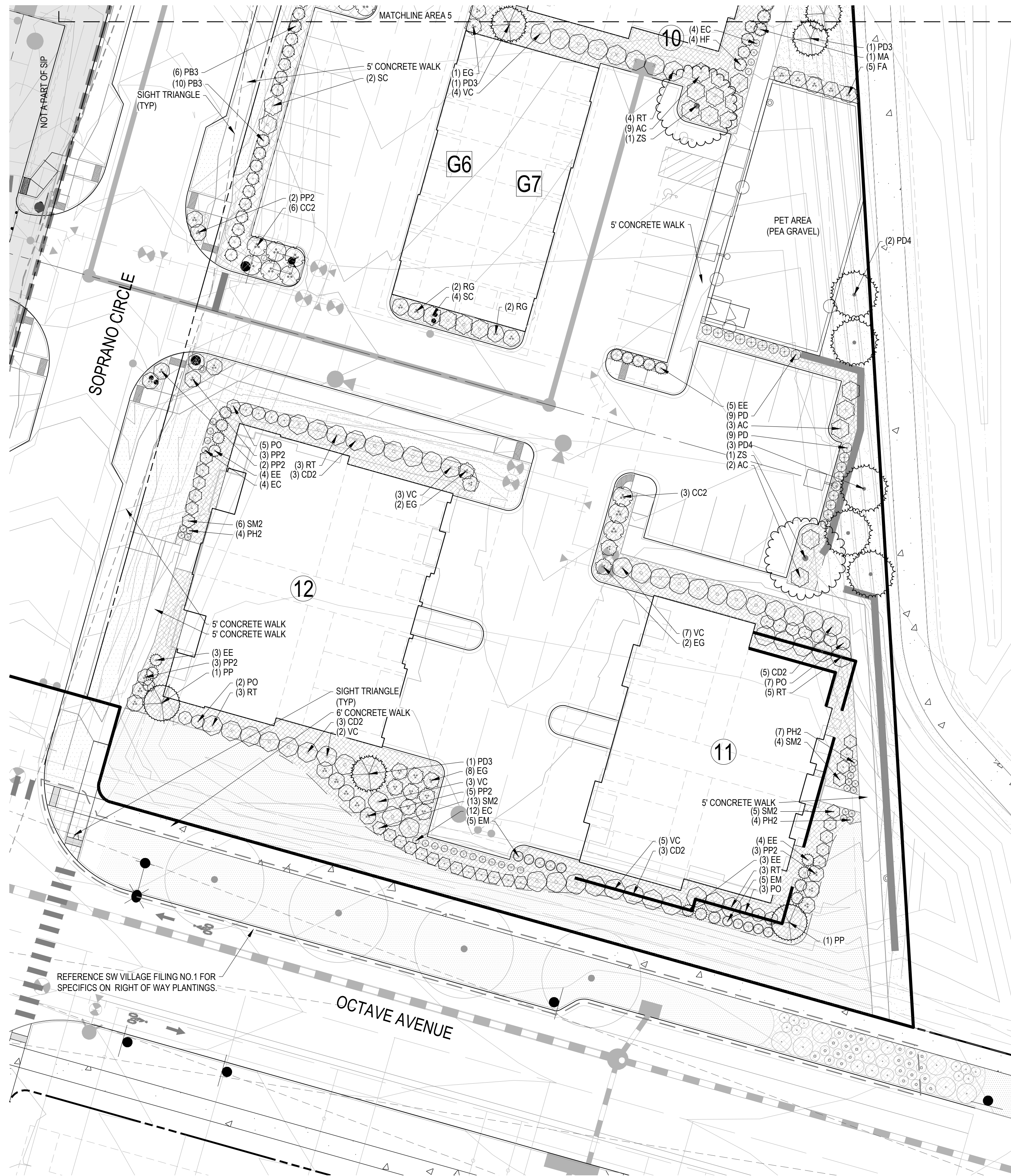
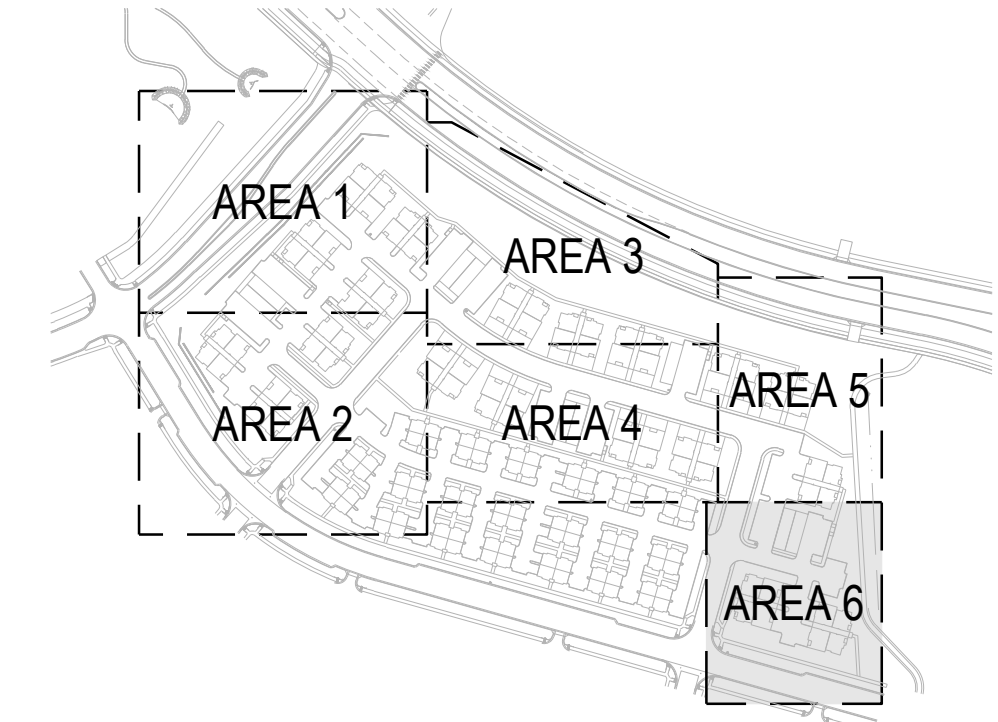
- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- WOOD MULCH
- NATIVE SEED
- EDGER

<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.</p>																													
<p>PREPARED FOR LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512</p>	<p style="text-align: center;"> creating spaces people pca group inc. www.pcagroupco.com driver, co 80218 p.o. box 18287 13035/4968-1-60331/4968 </p>																												
<p>LYRIC CONDOS AT RIDGEGATE SIP LANDSCAPE PLAN</p>	<p>DESIGNED BY PMS DRAWN BY PCS CHECKED BY PMS</p>																												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>BY</th> <th>DATE</th> <th>No.</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td></td> <td>01/08/23</td> <td>1</td> <td>CITY COMMENTS</td> </tr> <tr> <td></td> <td>03/03/23</td> <td>2</td> <td>CITY COMMENTS</td> </tr> <tr> <td></td> <td>05/18/23</td> <td>3</td> <td>CITY COMMENTS</td> </tr> </tbody> </table>	BY	DATE	No.	REVISION		01/08/23	1	CITY COMMENTS		03/03/23	2	CITY COMMENTS		05/18/23	3	CITY COMMENTS	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>H-SCALE</th> <th>V-SCALE</th> <th>DATE</th> <th>DESIGNED BY</th> <th>DRAWN BY</th> <th>CHECKED BY</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>10/13/22</td> <td>PMS</td> <td>PCS</td> <td>PMS</td> </tr> </tbody> </table>	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY			10/13/22	PMS	PCS	PMS
BY	DATE	No.	REVISION																										
	01/08/23	1	CITY COMMENTS																										
	03/03/23	2	CITY COMMENTS																										
	05/18/23	3	CITY COMMENTS																										
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY																								
		10/13/22	PMS	PCS	PMS																								
<p>SHEET 9 OF 32</p>	<p>JOB NO. 20220501</p>																												

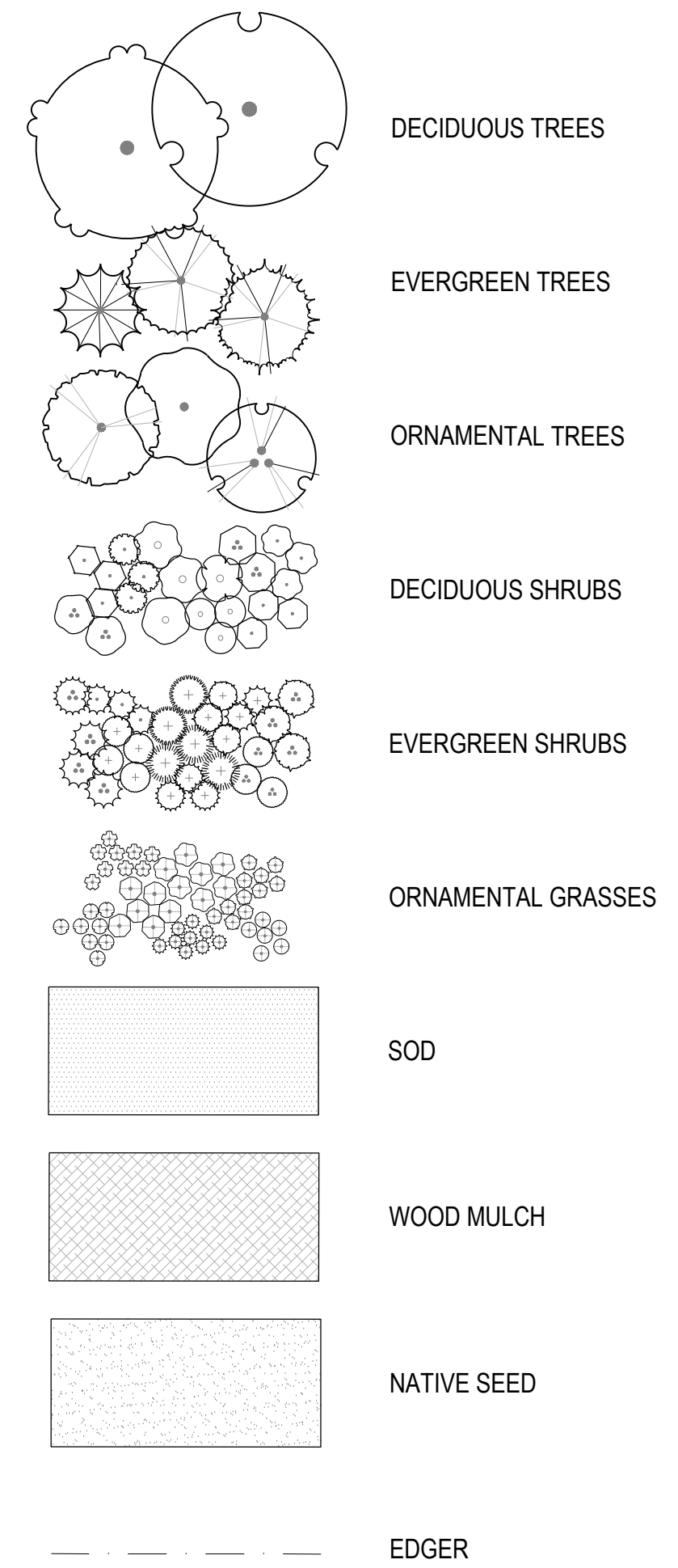
LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

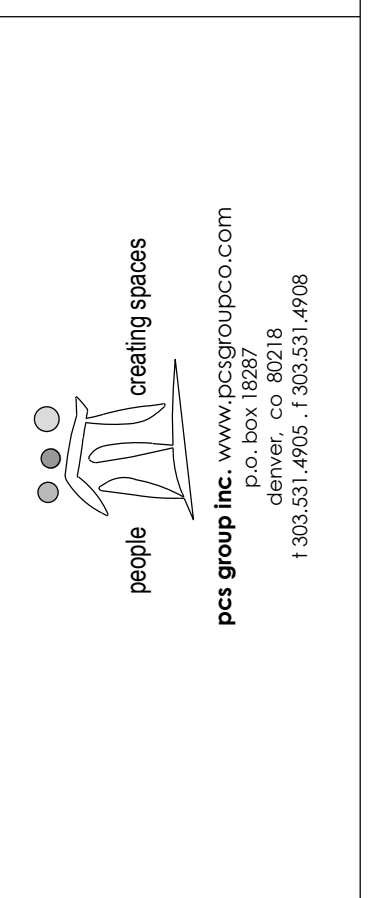


LEGEND



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



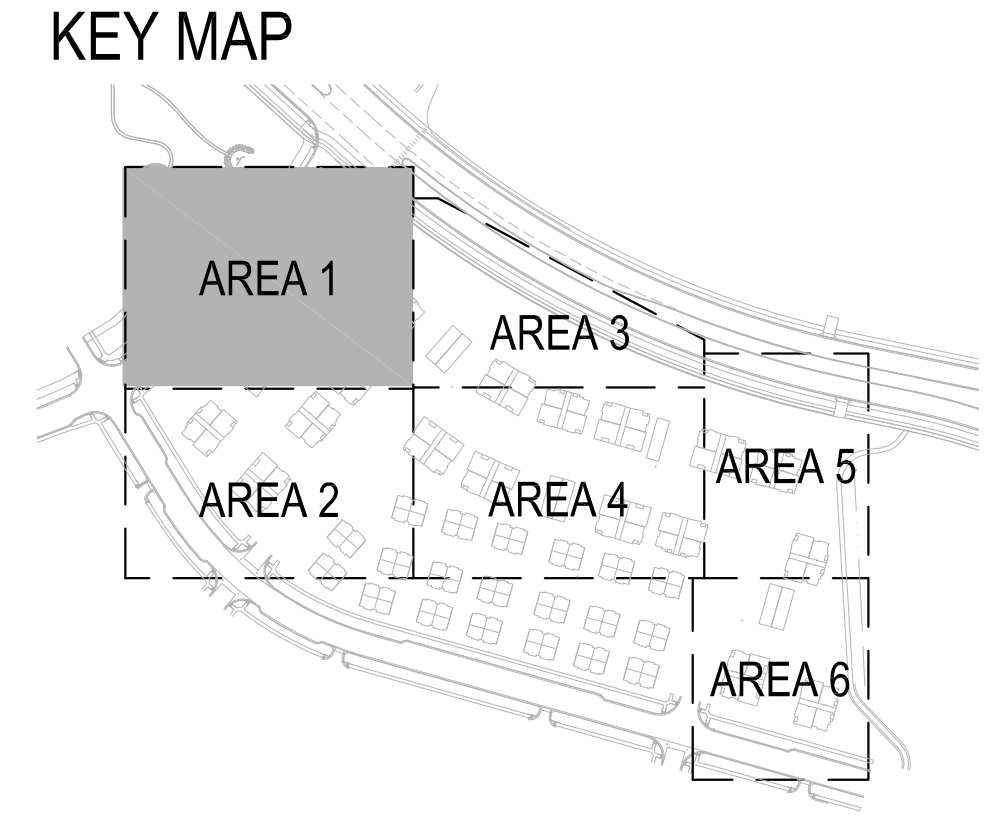
BY	DATE	No.	REVISION
	01/08/23	1	CITY COMMENTS
	03/03/23	2	CITY COMMENTS
	05/18/23	3	CITY COMMENTS

H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		10/13/22	PMS	PCS
			PMS	PMS

LYRIC CONDOS AT RIDGEGATE SIP
 LANDSCAPE PLAN

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	3
	RP BACKFLOW PREVENTER	1 & 2
	MASTER VALVE	1
	PVC MAINLINE	4
	PVC SLEEVING	5
	WATER METER	BY OTHERS

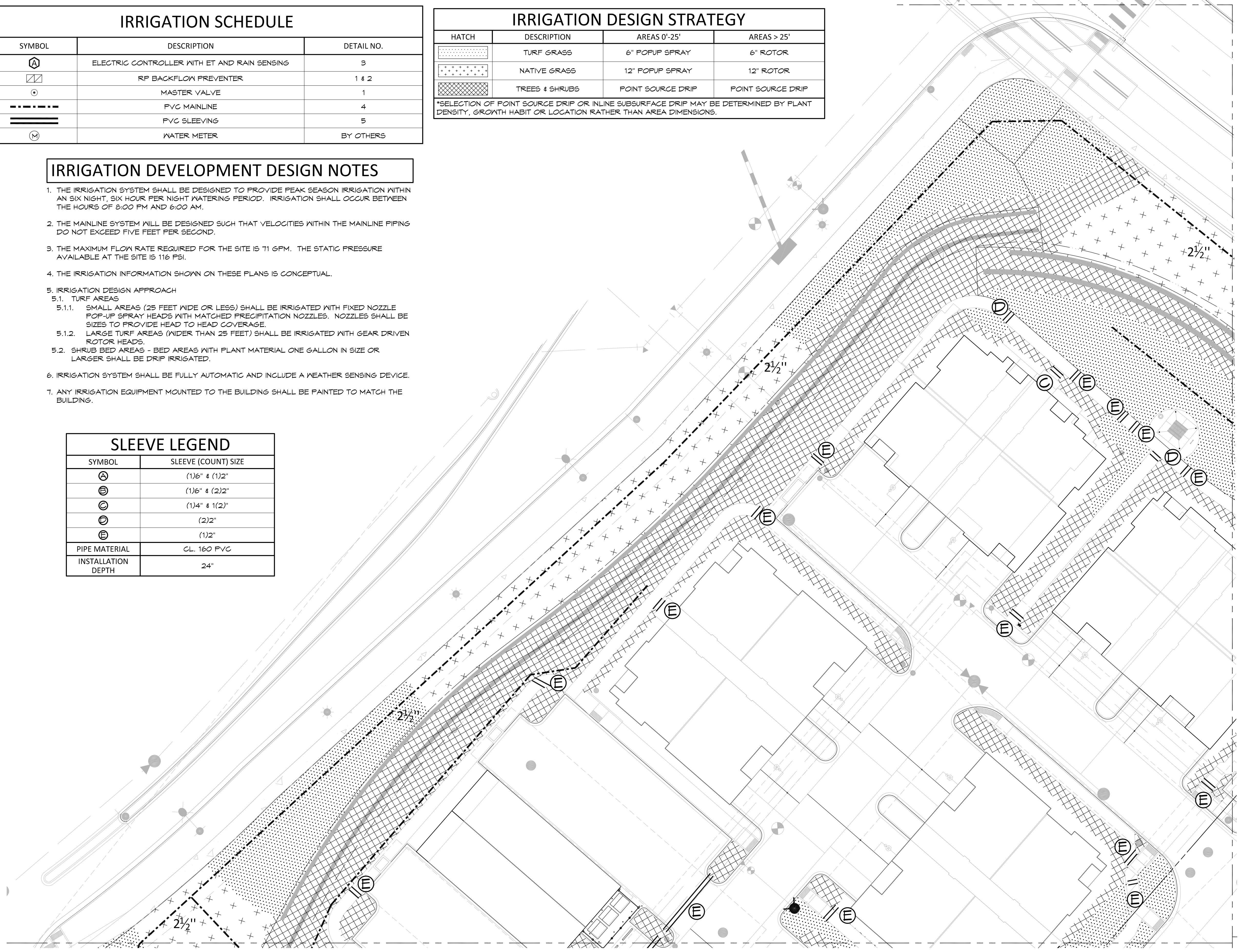
IRRIGATION DESIGN STRATEGY			
HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
	TURF GRASS	6" POPUP SPRAY	6" ROTOR
	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

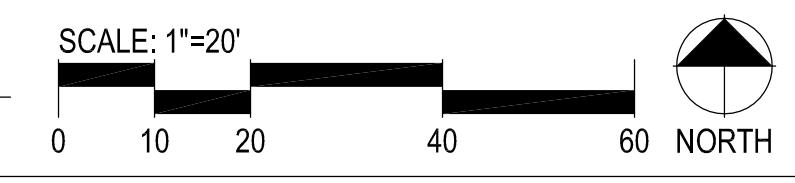
IRRIGATION DEVELOPMENT DESIGN NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 PM AND 6:00 AM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
- THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 71 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 116 PSI.
- THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
- IRRIGATION DESIGN APPROACH
 - TURF AREAS
 - SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS.
 - SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
- IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND INCLUDE A WEATHER SENSING DEVICE.
- ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.

SLEEVE LEGEND	
SYMBOL	SLEEVE (COUNT) SIZE
	(1)6" & (1)2"
	(1)6" & (2)2"
	(1)4" & (1)2"
	(2)2"
	(1)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"



1 IRRIGATION PLAN - AREA 1



811
Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

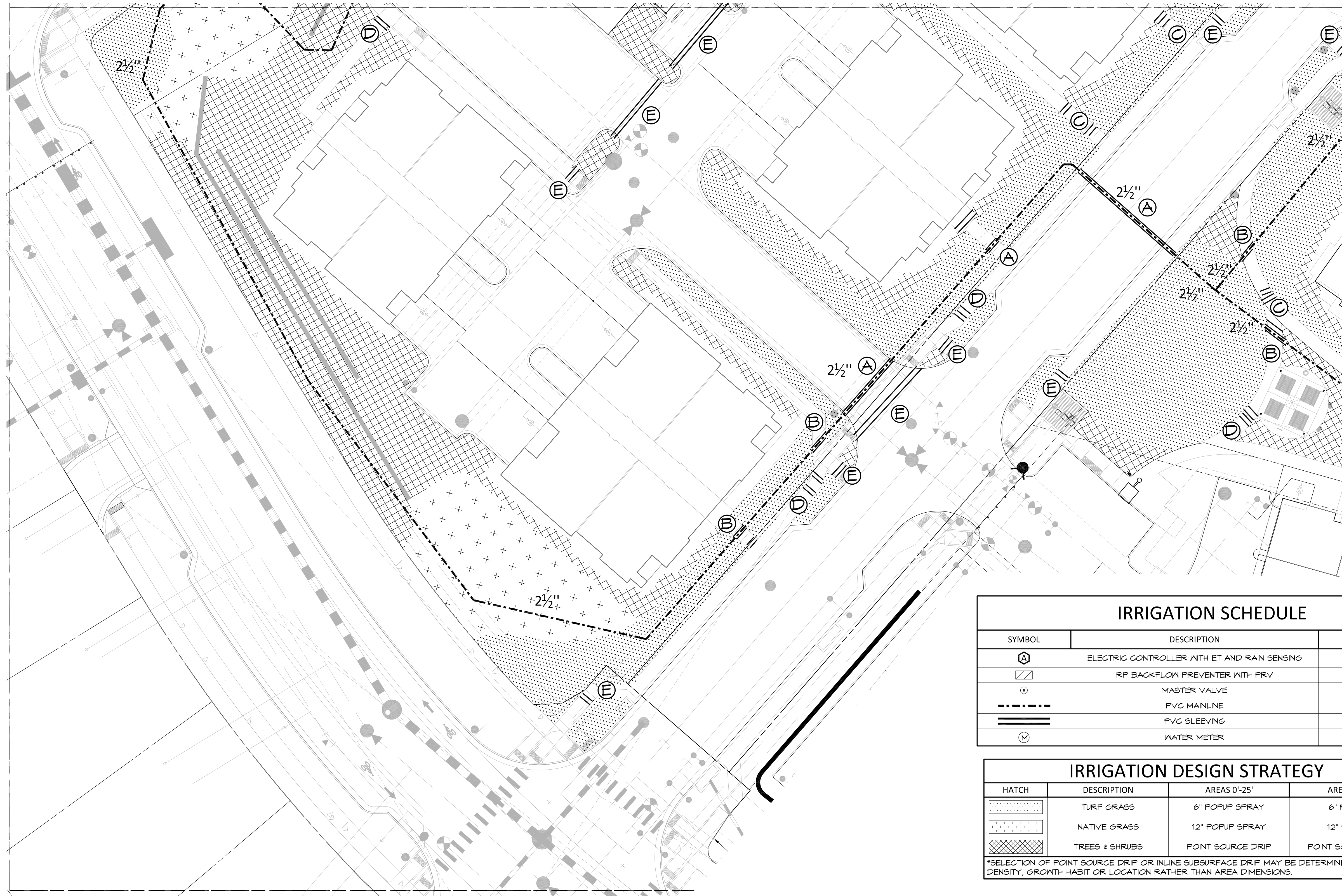
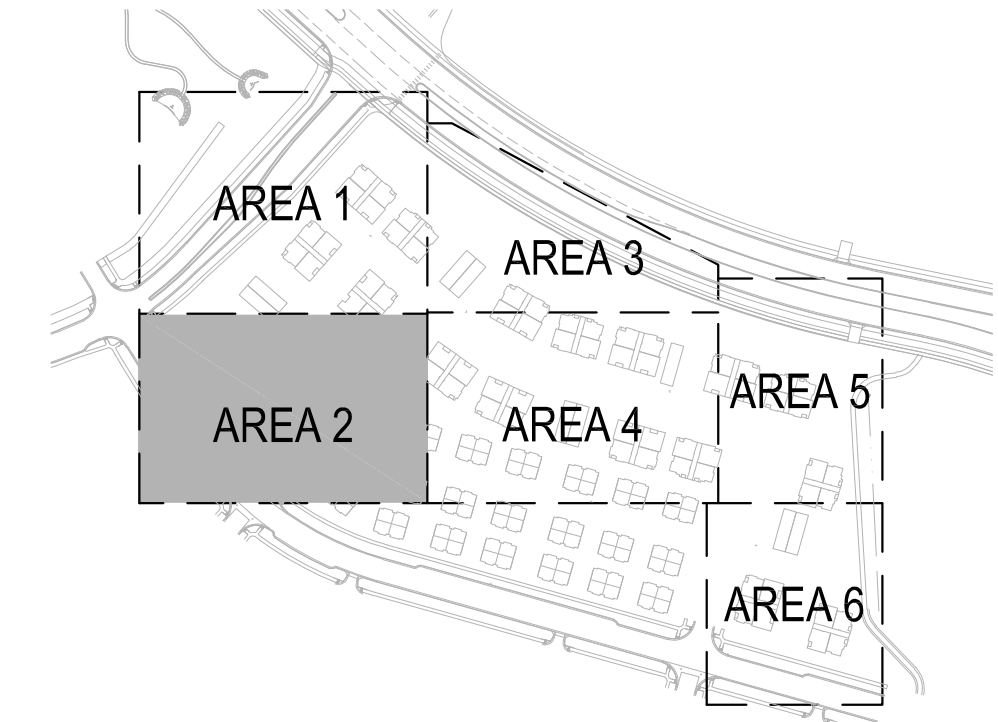
HydroSystems KDI
Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
c: 303.980.5327 www.hydro-systems.com

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE DESIGNATED BY WRITTEN AUTHORIZATION.	PREPARED FOR LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512	pct group inc. www.pctgroupco.com driver, co 80218 p.o. box 18287 lakewood, co 80121 1.303.501.4766 / 1.800.331.4766	H-SCALE V-SCALE DATE DESIGNED BY DRAWN BY CHECKED BY	No. REVISION - - 03/03/23 AMC AMC KJD	LYRIC CONDOS AT RIDGEGATE SIP IRRIGATION SITE PLAN IRRIGATION PLAN
SHEET 11 OF 32		JOB NO. 20220501			

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



SLEEVE LEGEND	
SYMBOL	SLEEVE (COUNT) SIZE
(A)	(1)6" & (1)2"
(B)	(1)6" & (2)2"
(C)	(1)4" & 1(2)"
(D)	(2)2"
(E)	(1)2"
PIPE MATERIAL	CL 160 PVC
INSTALLATION DEPTH	24"

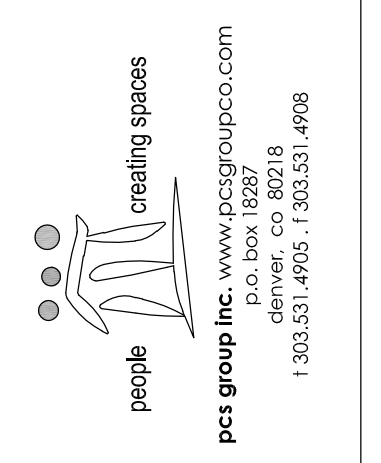
IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
(A)	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	3
(B)	RP BACKFLOW PREVENTER WITH PRV	1 & 2
(C)	MASTER VALVE	1
(D)	PVC MAINLINE	4
(E)	PVC SLEEVEING	5
(M)	WATER METER	BY OTHERS

IRRIGATION DESIGN STRATEGY			
HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
(Dotted pattern)	TURF GRASS	6" POPUP SPRAY	6" ROTOR
(Cross-hatched pattern)	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
(Grid pattern)	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



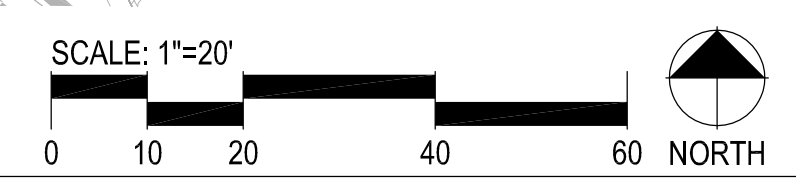
BY	DATE	No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		03/03/23	AMC	AMC	KJD



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

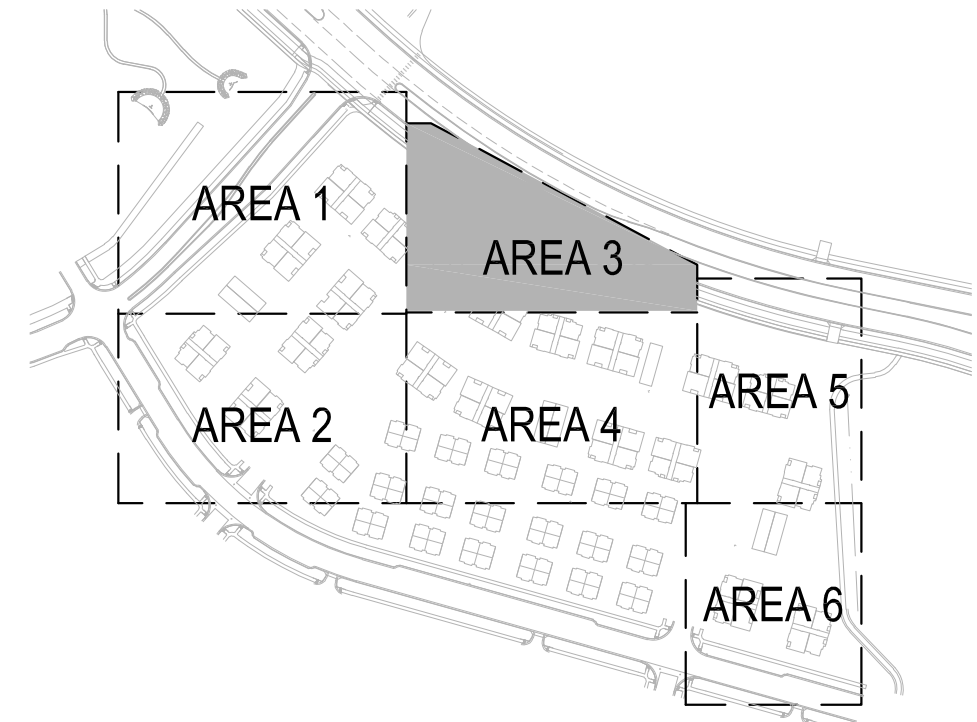
HydroSystems KDI
 Irrigation Consulting & Water Management
 13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
 c: 303.980.5327 www.hydrosystemsmdi.com



LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

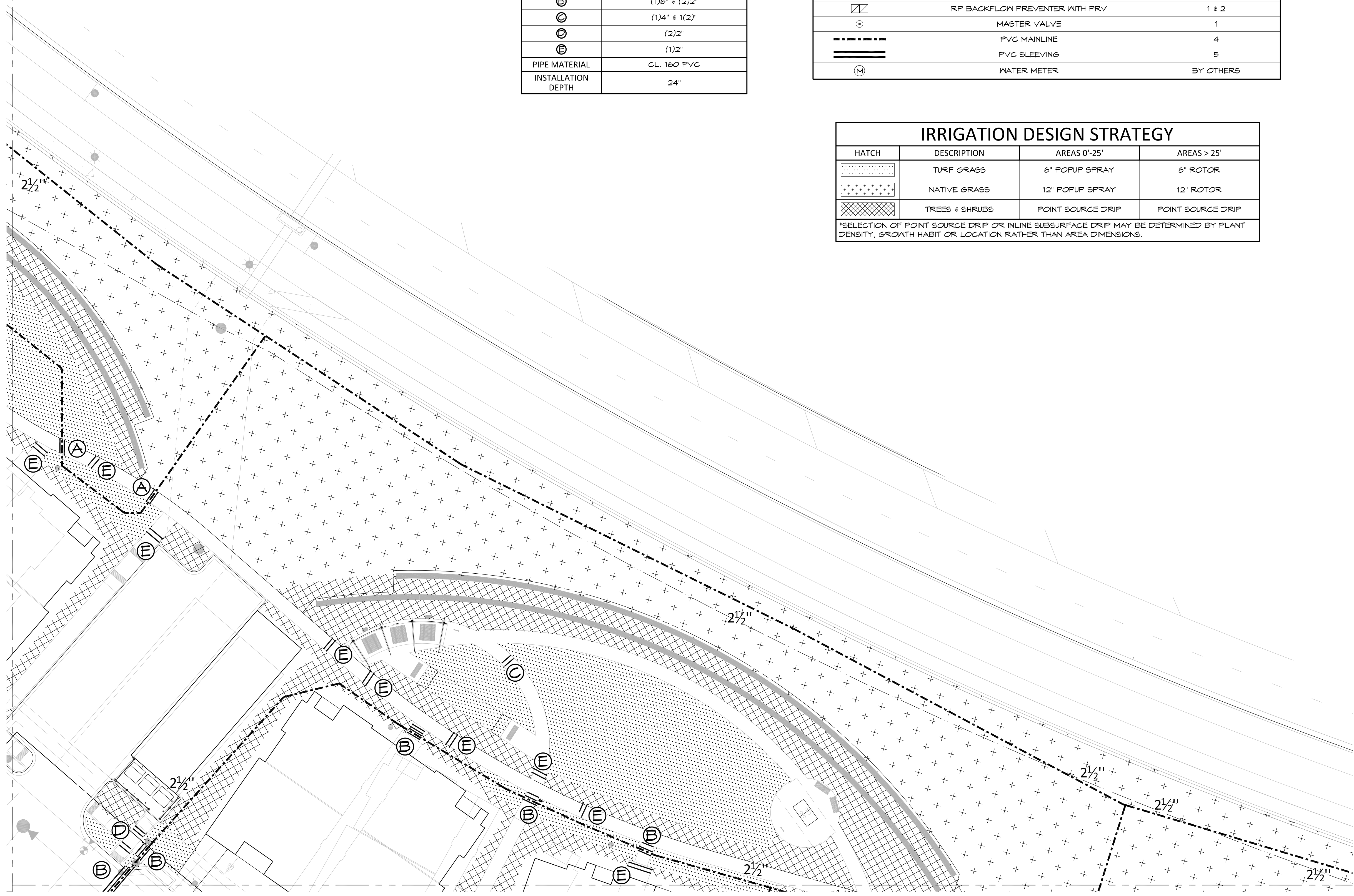


SYMBOL	SLEEVE (COUNT) SIZE
Ⓐ	(1)6" & (1)2"
Ⓑ	(1)6" & (2)2"
Ⓒ	(1)4" & 1(2)"
Ⓓ	(2)2"
Ⓔ	(1)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"

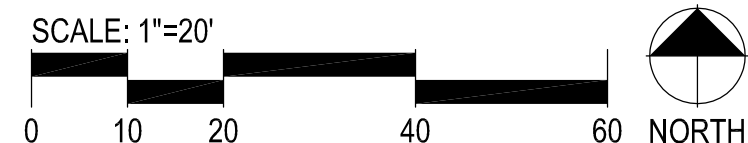
SYMBOL	DESCRIPTION	DETAIL NO.
Ⓐ	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	3
ⓧ	RP BACKFLOW PREVENTER WITH PRV	1 & 2
⊙	MASTER VALVE	1
---	PVC MAINLINE	4
==	PVC SLEEVING	5
Ⓜ	WATER METER	BY OTHERS

HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
	TURF GRASS	6" POPUP SPRAY	6" ROTOR
	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.



1 IRRIGATION PLAN - AREA 3



UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, THEIR USE IS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

creating spaces
 people
 pct group inc. www.pctgroupco.com
 p.o. box 18287
 denver, co 80218
 1.303.551.4766 • 1.800.331.4768

BY	DATE	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		03/03/23	AMC	AMC	KJD

LYRIC CONDOS AT RIDGEGATE SIP
 IRRIGATION SITE PLAN
 IRRIGATION PLAN

811
 Know what's below.
 Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

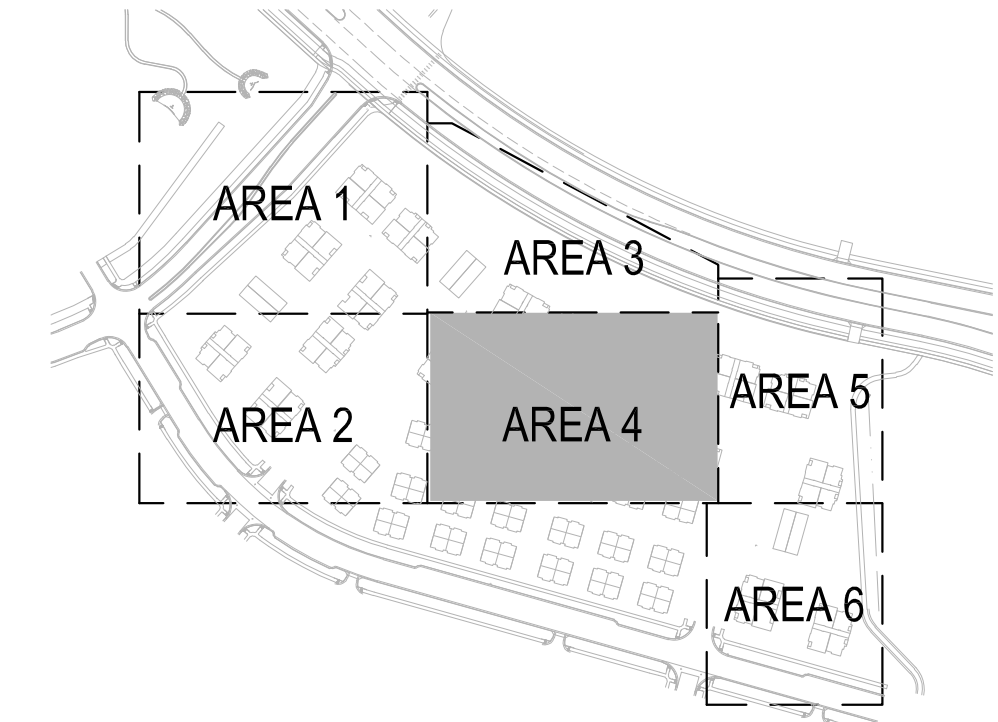
KDI
HydroSystems
 Irrigation Consulting & Water Management
 13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
 c: 303.980.5327 www.hydrosystemsksi.com

SHEET 13 OF 32
 JOB NO. 20220501

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

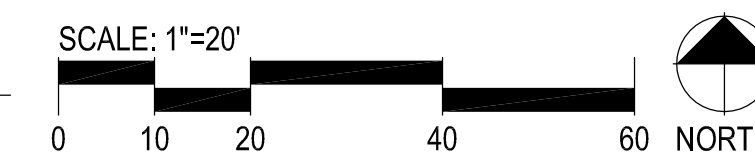
KEY MAP



LYRIC AT RIDGEGATE		
TAP #	98	PRESSURE REQUIRED
TAP/METER SIZE	116	PRESSURE AVAILABLE
2"	71	GPM MAXIMUM FLOW

SLEEVE LEGEND	
SYMBOL	SLEEVE (COUNT) SIZE
(A)	(1)6" & (1)2"
(B)	(1)6" & (2)2"
(C)	(1)4" & 1(2)"
(D)	(2)2"
(E)	(1)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"

1 IRRIGATION PLAN - AREA 4



IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
(A)	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	3
(B)	RP BACKFLOW PREVENTER WITH PRV	1 & 2
(C)	MASTER VALVE	1
(D)	PVC MAINLINE	4
(E)	PVC SLEEVING	5
(M)	WATER METER	BY OTHERS

IRRIGATION DESIGN STRATEGY			
HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
(Dotted)	TURF GRASS	6" POPUP SPRAY	6" ROTOR
(Cross-hatched)	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
(Diagonal lines)	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.



Know what's below.
 Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



Irrigation Consulting & Water Management
 13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
 c: 303.980.5327 www.hydro-systemskdi.com

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

people
 creating spaces
 pct group inc. www.pctgroupco.com
 denver, co 80218
 p.o. box 18287
 1.303.501.4766 / 1.800.331.4768

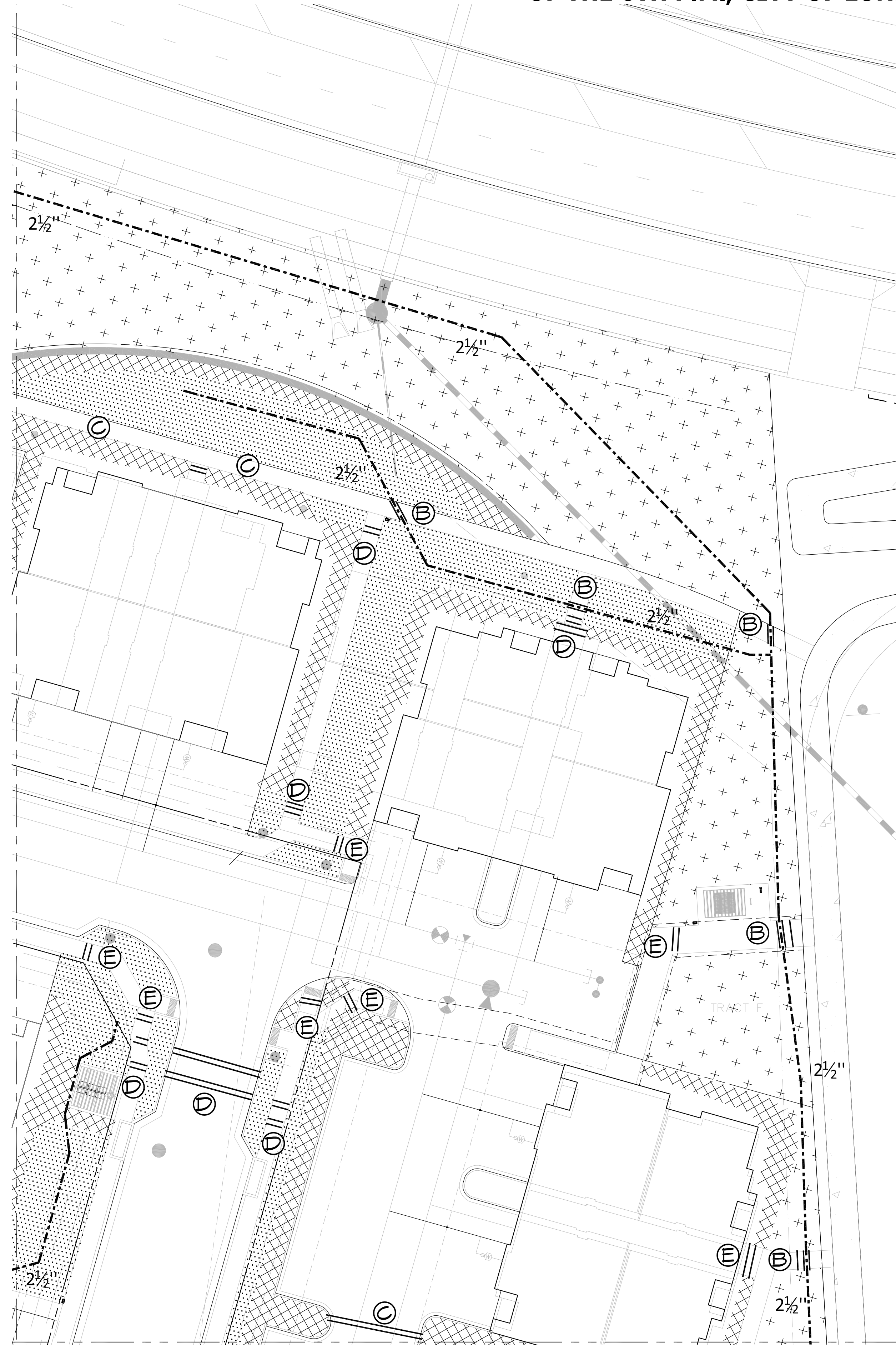
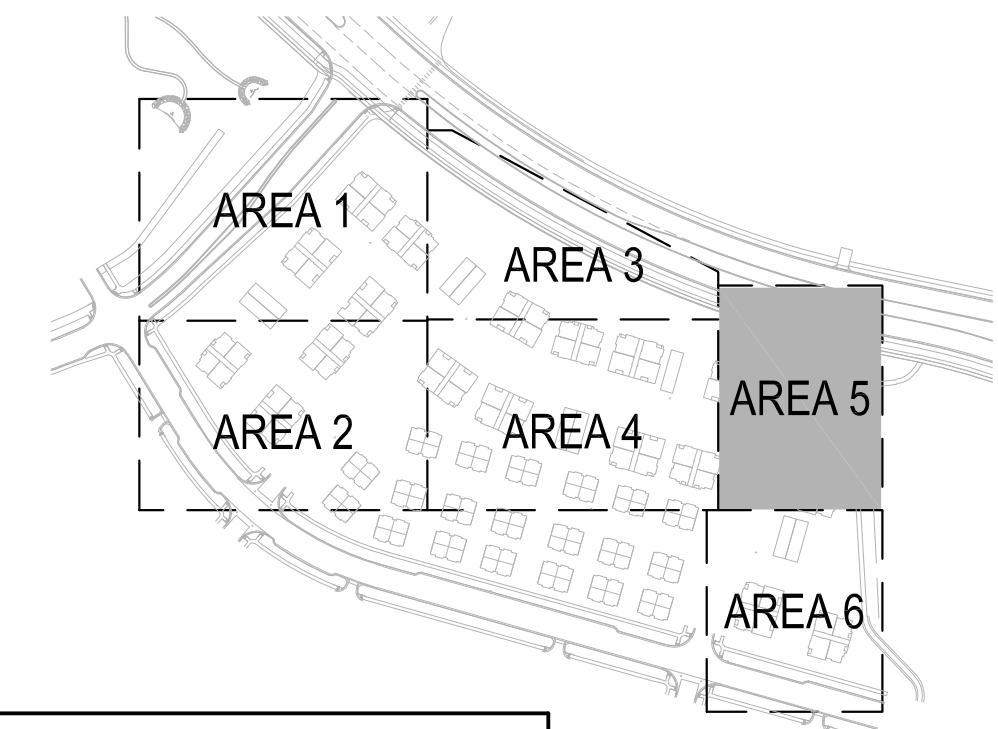
BY	DATE	No.	REVISION

LYRIC CONDOS AT RIDGEGATE SIP
 IRRIGATION SITE PLAN
 IRRIGATION PLAN

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



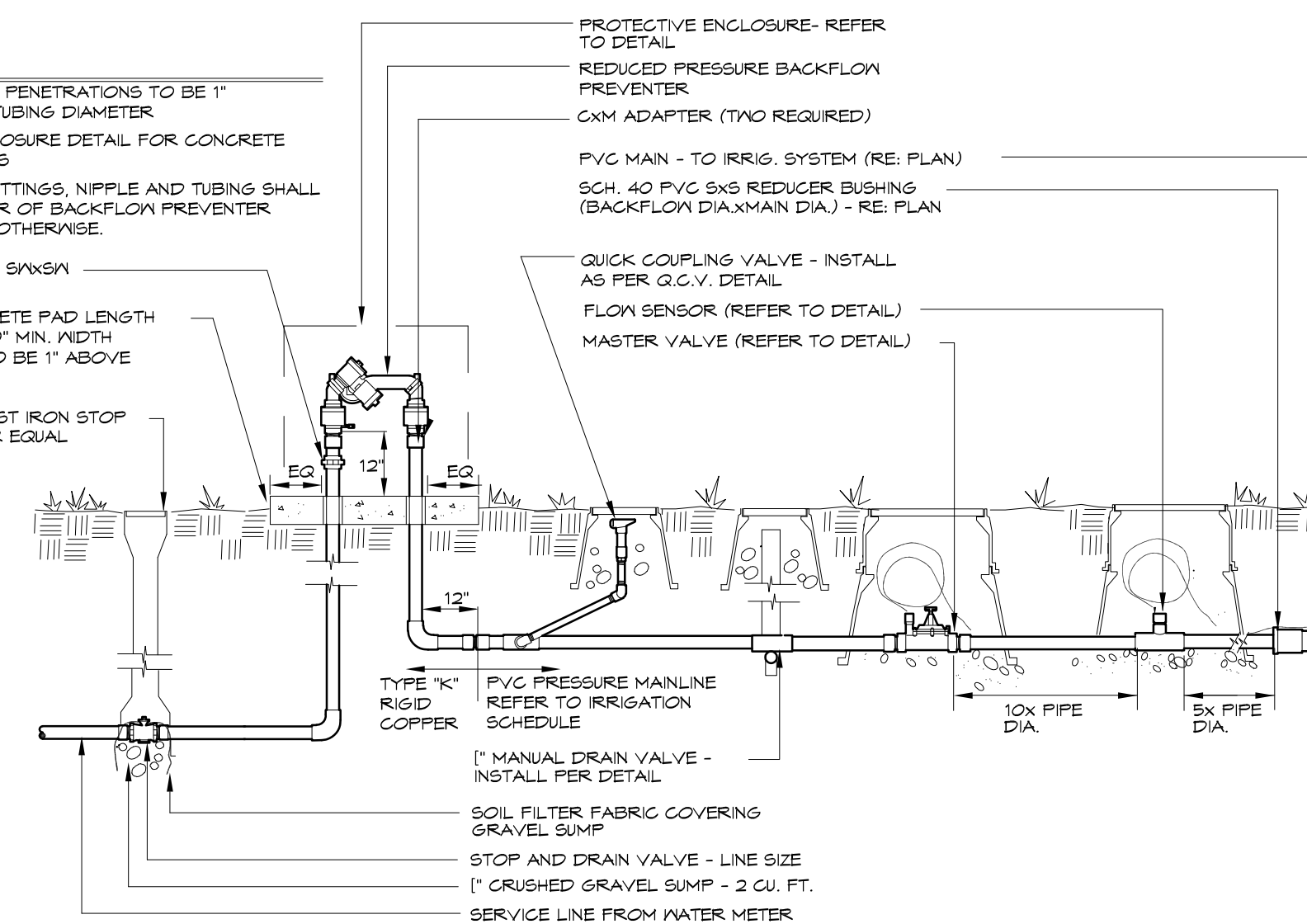
SLEEVE LEGEND	
SYMBOL	SLEEVE (COUNT) SIZE
Ⓐ	(1)6" & (1)2"
Ⓑ	(1)6" & (2)2"
Ⓒ	(1)4" & 1(2)"
Ⓓ	(2)2"
Ⓔ	(1)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"

IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
Ⓐ	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	3
Ⓑ	RP BACKFLOW PREVENTER WITH PRV	1 & 2
Ⓒ	MASTER VALVE	1
Ⓓ	PVC MAINLINE	4
Ⓔ	PVC SLEEVING	5
Ⓜ	WATER METER	BY OTHERS

IRRIGATION DESIGN STRATEGY			
HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
[Dotted Hatch]	TURF GRASS	6" POPUP SPRAY	6" ROTOR
[Cross-hatched Hatch]	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
[Diagonal Hatch]	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

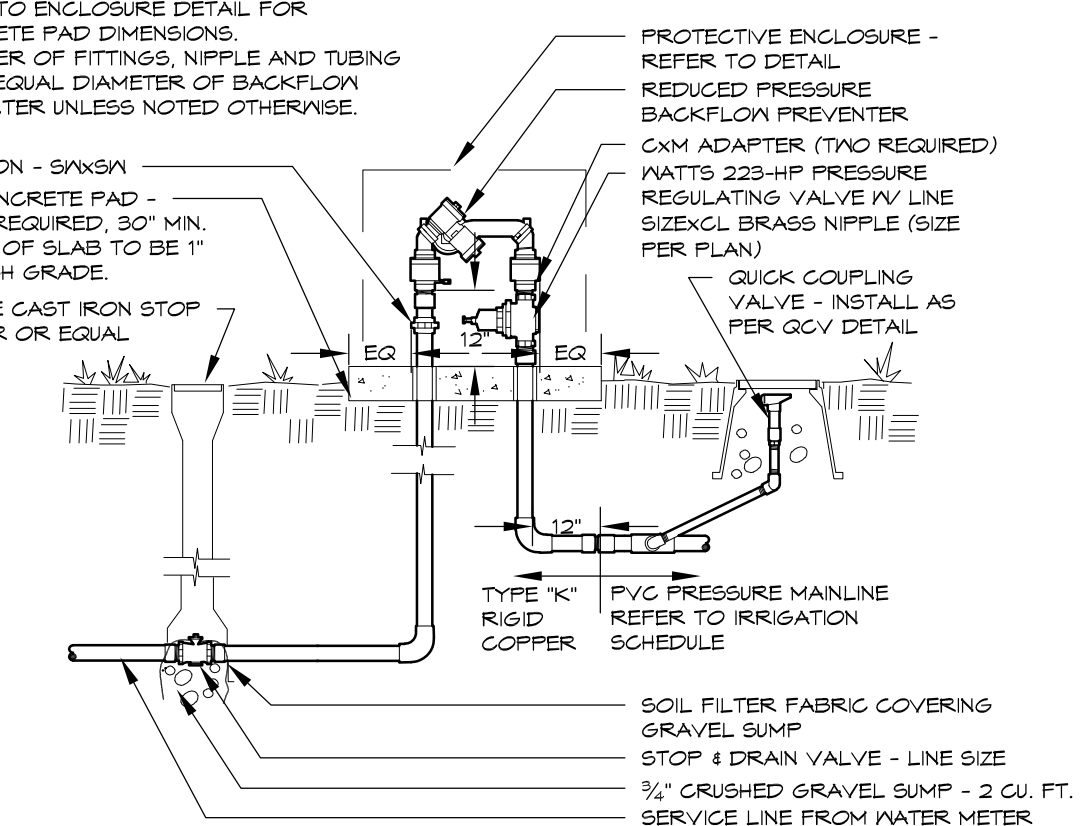
*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

NOTE:
 CONCRETE PAD PENETRATIONS TO BE 1" LARGER THAN TUBING DIAMETER. REFER TO ENCLOSURE DETAIL FOR CONCRETE PAD DIMENSIONS.
 DIAMETER OF FITTINGS, NIPPLE AND TUBING SHALL EQUAL DIAMETER OF BACKFLOW PREVENTER UNLESS NOTED OTHERWISE.
 BRONZE UNION - 5/8x3/4
 6" THICK CONCRETE PAD LENGTH AS REQUIRED, 30" MIN. WIDTH TOP OF SLAB TO BE 1" ABOVE FINISH GRADE.
 ADJUSTABLE CAST IRON STOP BOX - TYLER OR EQUAL



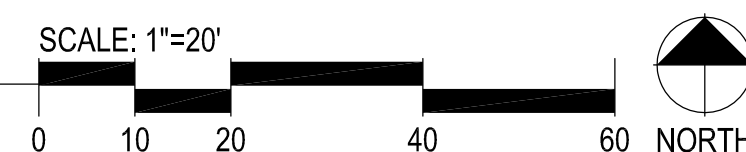
BACKFLOW PREVENTER
 2" AND SMALLER

NOTE:
 CONCRETE PAD PENETRATIONS TO BE 1" LARGER THAN TUBING DIAMETER. REFER TO ENCLOSURE DETAIL FOR CONCRETE PAD DIMENSIONS.
 DIAMETER OF FITTINGS, NIPPLE AND TUBING SHALL EQUAL DIAMETER OF BACKFLOW PREVENTER UNLESS NOTED OTHERWISE.
 BRONZE UNION - 5/8x3/4
 6" THICK CONCRETE PAD - LENGTH AS REQUIRED, 30" MIN. WIDTH TOP OF SLAB TO BE 1" ABOVE FINISH GRADE.
 ADJUSTABLE CAST IRON STOP BOX - TYLER OR EQUAL



1 BACKFLOW PREVENTER
 3/4" - 2" SYSTEMS WITH PRV & PVC CONNECTION 2

1 IRRIGATION PLAN - AREA 5



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

creating spaces
 people
 pct group inc. www.pctgroupco.com
 p.o. box 18287
 denver, co 80218
 1.303.551.4766 / 1.303.551.4768

BY	DATE	NO.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		03/03/23	AMC	AMC	KJD

LYRIC CONDOS AT RIDGEGATE SIP
 IRRIGATION SITE PLAN
 IRRIGATION PLAN
 SHEET 15 OF 32
 JOB NO. 20220501



Know what's below.
 Call before you dig.
 CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

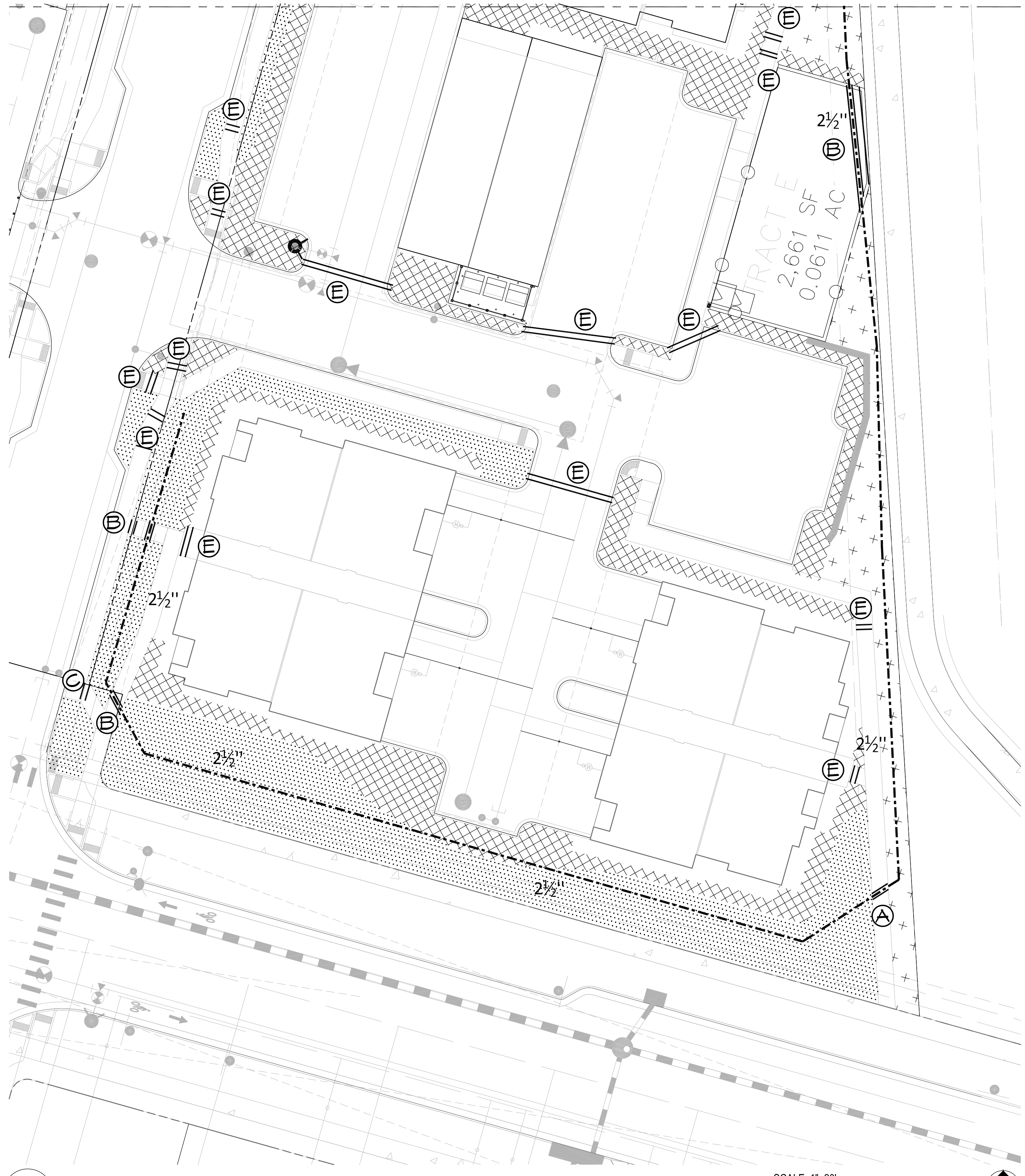
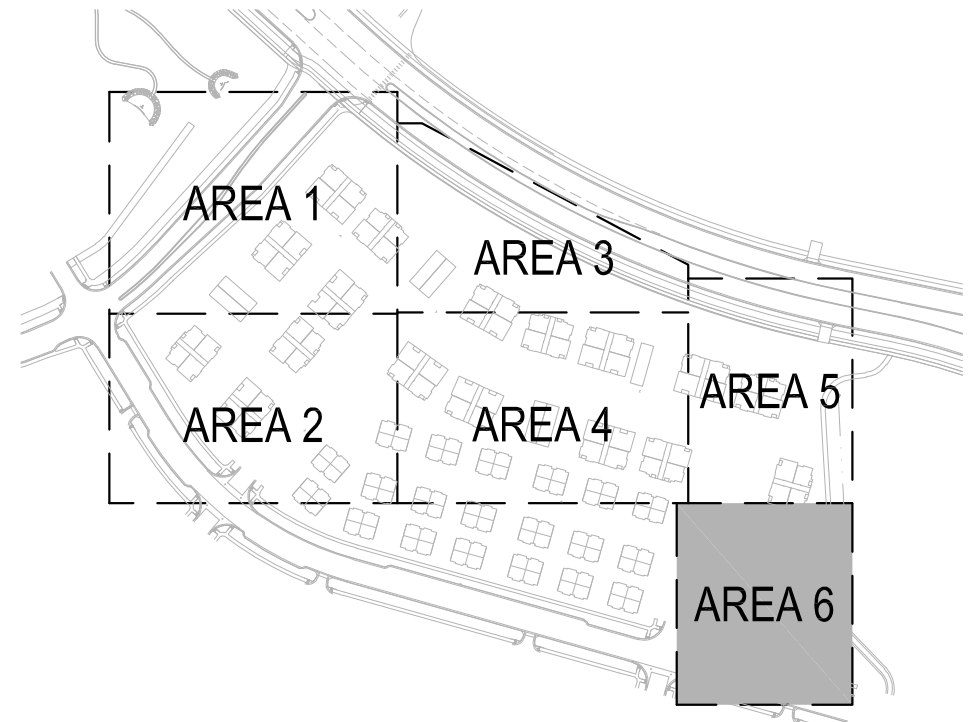


Irrigation Consulting & Water Management
 13949 W. Colfax Ave, Suite 260
 c: 303.980.5327 Lakewood, Colorado 80401
 www.hydrossystemskdi.com

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



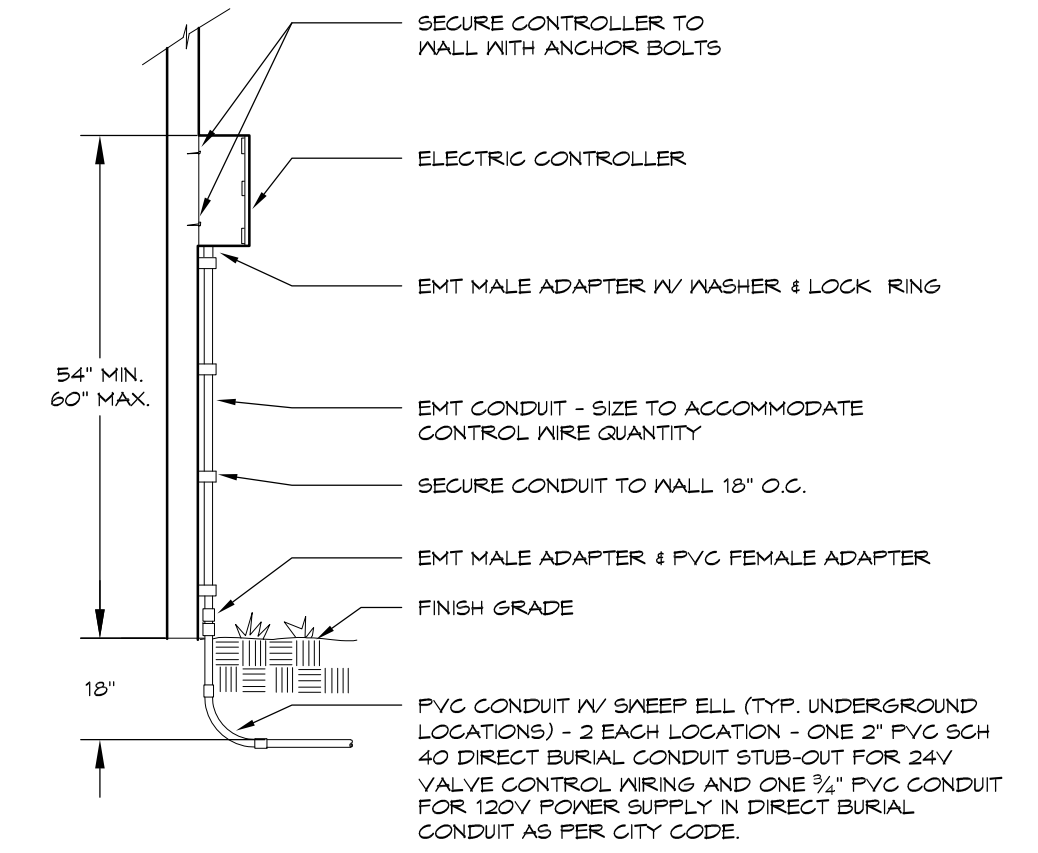
IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	DETAIL NO.
(A)	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	3
(B)	RP BACKFLOW PREVENTER WITH FRV	1 & 2
(C)	MASTER VALVE	1
(---)	PVC MAINLINE	4
(=)	PVC SLEEVING	5
(M)	WATER METER	BY OTHERS

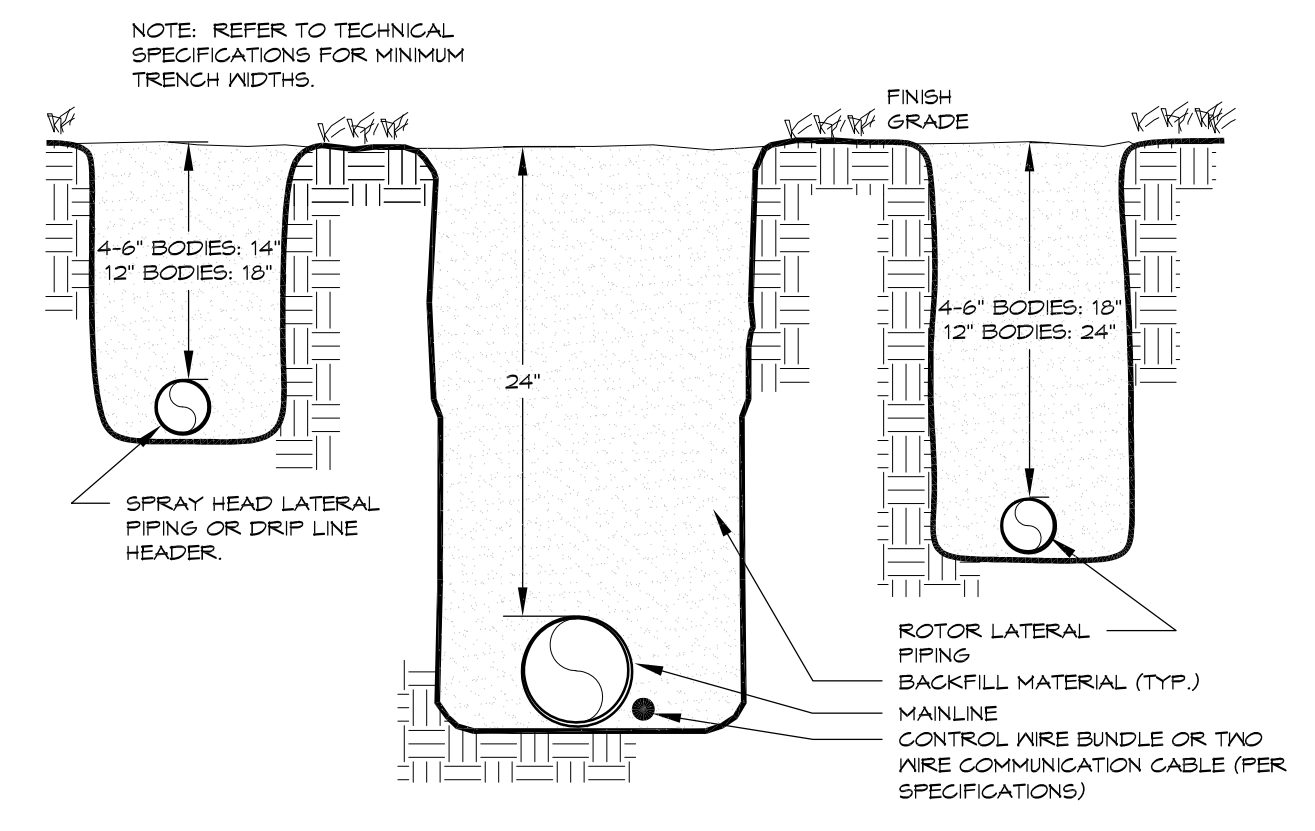
IRRIGATION DESIGN STRATEGY

HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
(Dotted)	TURF GRASS	6" POPUP SPRAY	6" ROTOR
(Cross-hatched)	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
(Diagonal lines)	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.



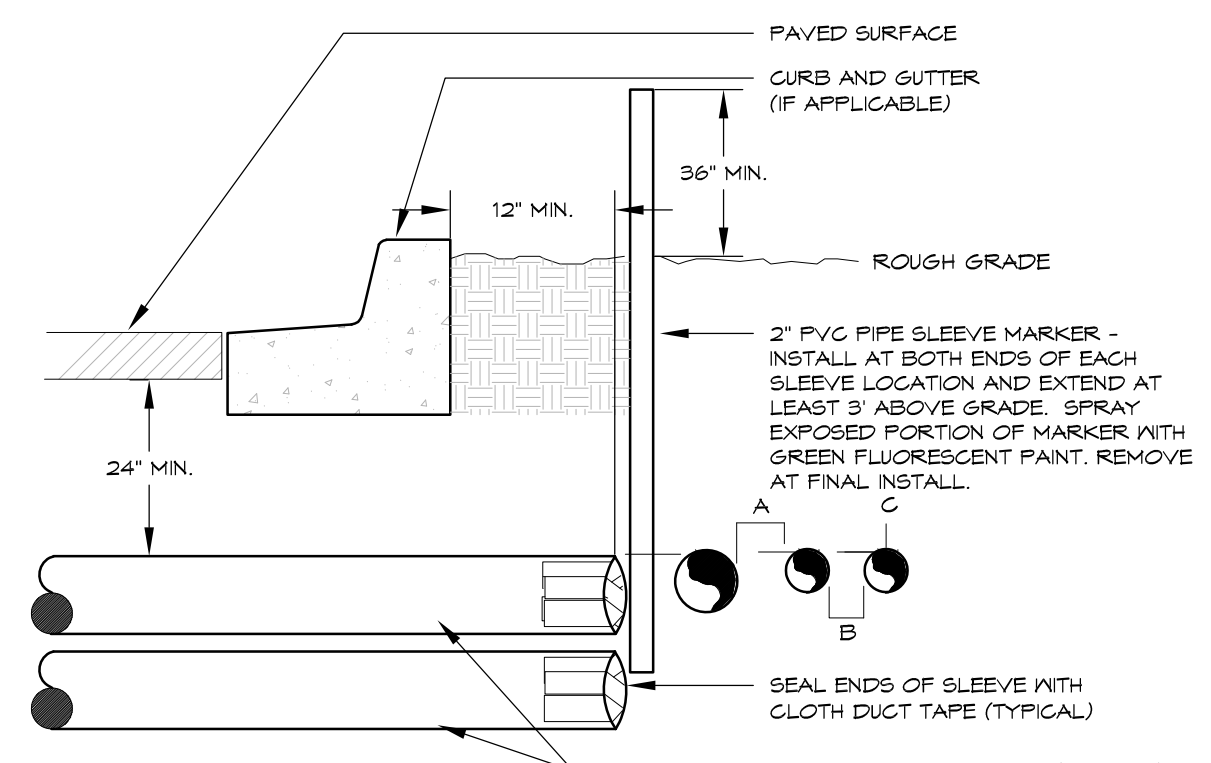
ELECTRIC CONTROLLER EXTERIOR WALL MOUNT 3



TRENCH 24" MAINLINE 4

SLEEVE LEGEND

SYMBOL	SLEEVE (COUNT) SIZE
(A)	(1)6" & (1)2"
(B)	(1)6" & (2)2"
(C)	(1)4" & (1)2"
(D)	(2)2"
(E)	(1)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"



IRRIGATION SLEEVING TYPICAL 5

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, DESIGNATED BY THESE OFFICES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

creating spaces
 people
 pct group inc. www.pctgroupco.com
 p.o. box 18287
 denver, co 80218
 1.303.531.4766 / 1.800.331.4768

BY	DATE	No.	REVISION

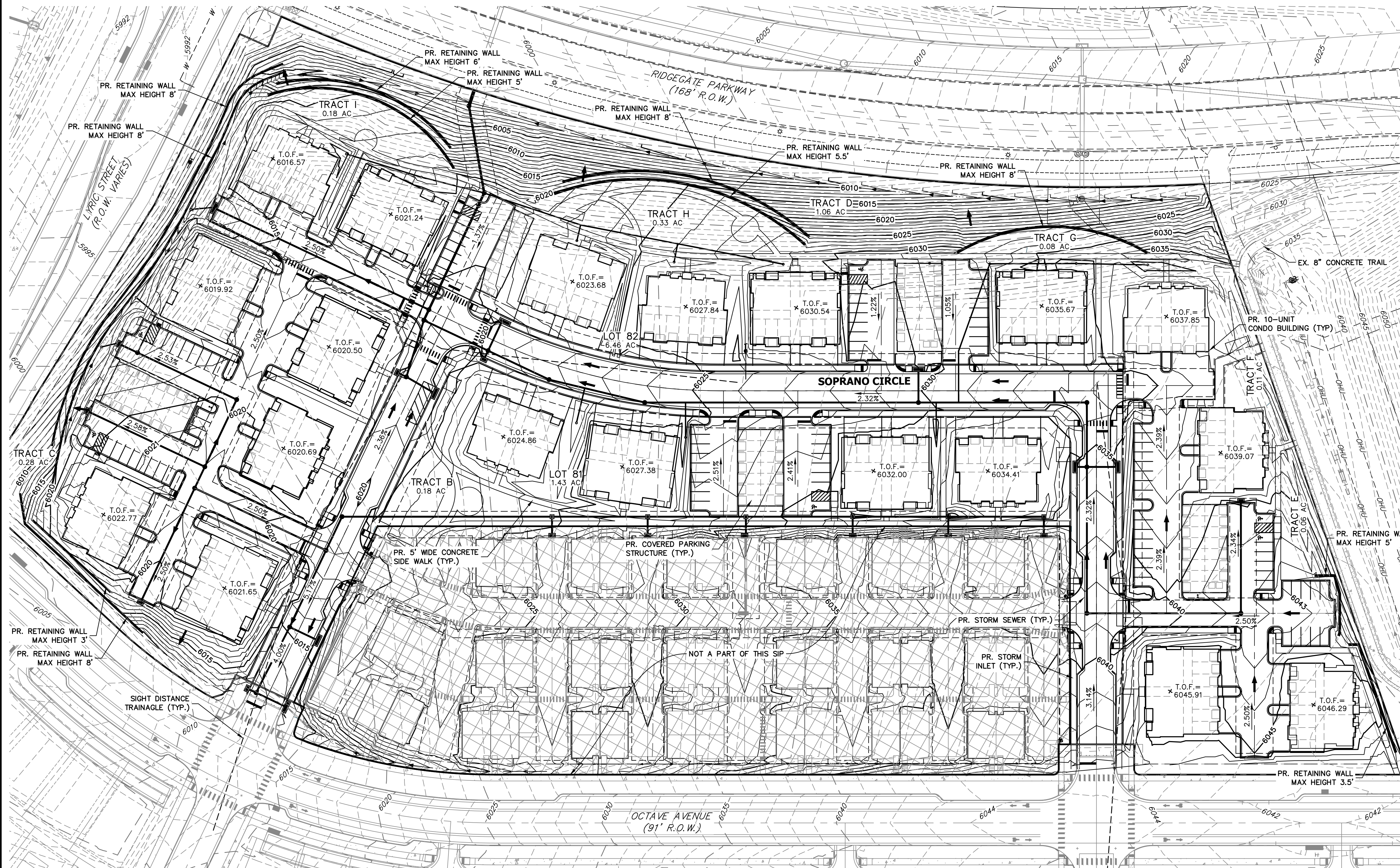
H-SCALE: - V-SCALE: - DATE: 03/03/23 DESIGNED BY: AMC DRAWN BY: AMC CHECKED BY: KJD

LYRIC CONDOS AT RIDGEGATE SIP
 IRRIGATION SITE PLAN
 IRRIGATION PLAN

SHEET 16 OF 32
 JOB NO. 20220501

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

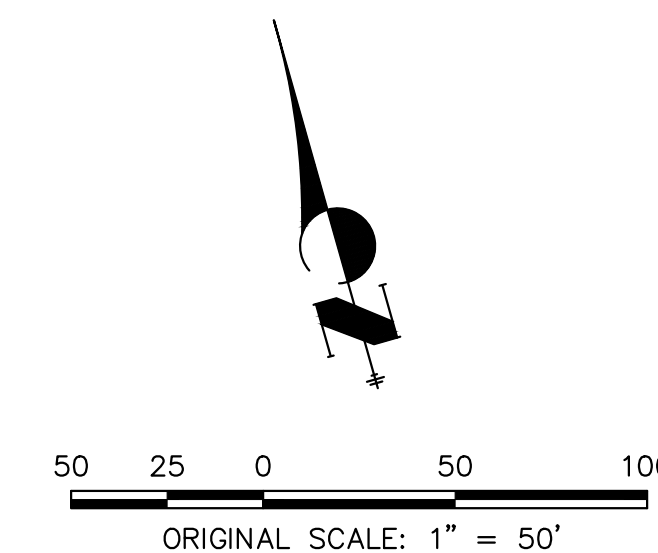


LEGEND

	6" VERTICAL CATCH CURB W/ 1" GUTTER
	PROPOSED STORM SEWER
	PROPOSED EASEMENT
	PROPOSED MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	EXISTING CURB & GUTTER
	EXISTING STORM SEWER
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR

*TOF=60XX TOF = TOP OF FOUNDATION

811
 Know what's below.
 Call before you dig.



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO
 80112 (720) 656-4512

J.R. ENGINEERING
 A Westman Company

 Centennial 303-740-9888 • Colorado Springs 719-583-2583
 Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

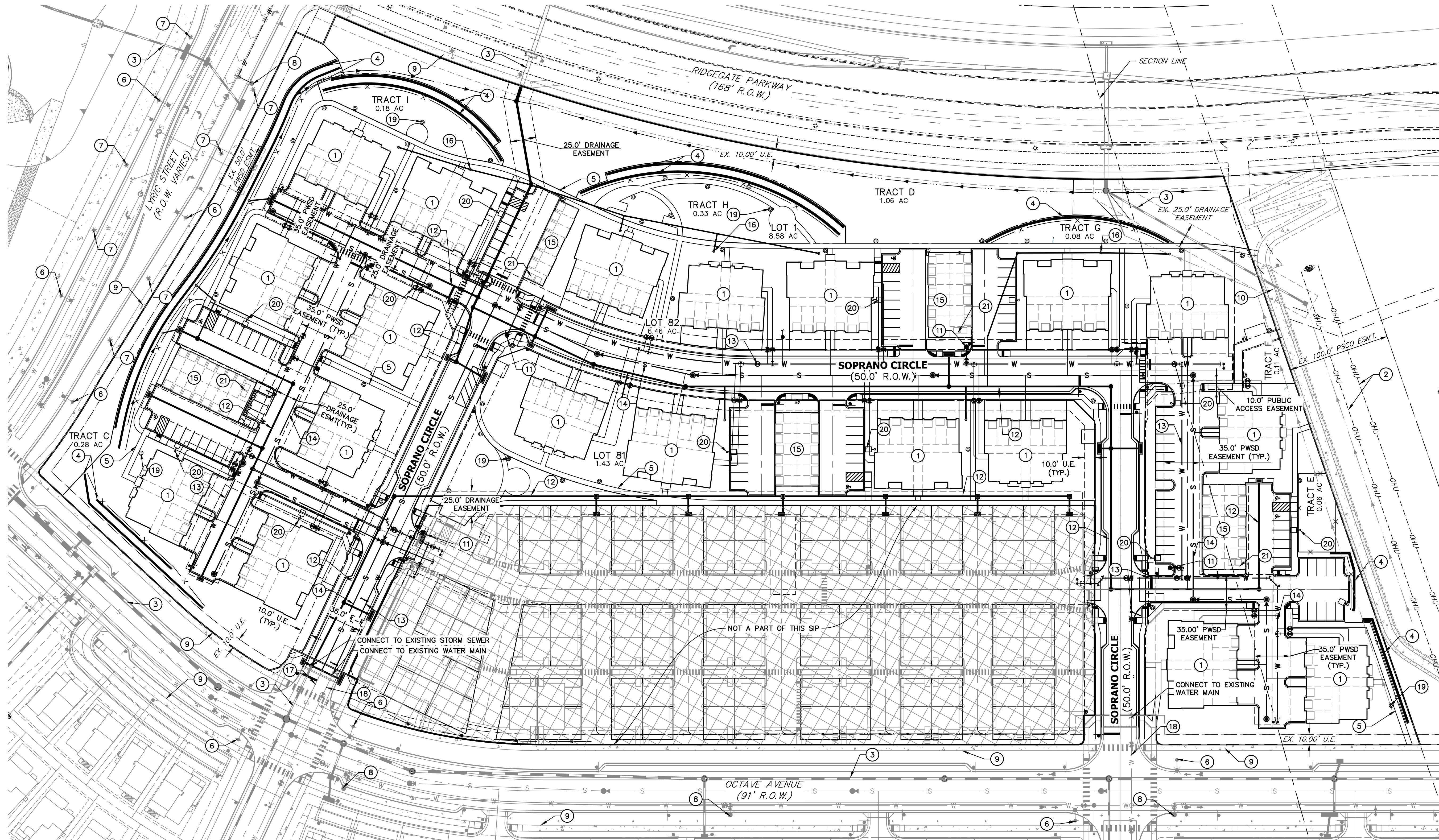
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	N/A	5/18/2022	DUG	DUG	DUG

LYRIC CONDOS AT RIDGEGATE
 SIP
 GRADING PLAN

SHEET 17 OF 32
 JOB NO. 15950.10

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



SCHEDULE NOTES

- | | |
|--|---|
| ① 10-UNIT CONDO BUILDING, REF. ARCHITECTURAL PLANS | ⑫ PROPOSED STORM SEWER |
| ② EXISTING OVERHEAD ELECTRIC LINES TO REMAIN | ⑬ PROPOSED 8" WATER MAIN |
| ③ EXISTING STORM SEWER TO REMAIN | ⑭ PROPOSED 8" SANITARY SEWER MAIN |
| ④ PROPOSED RETAINING WALL | ⑮ PROPOSED COVERED PARKING STRUCTURE, REFERENCE ARCHITECTURAL PLANS |
| ⑤ PROPOSED 5' WIDE CONCRETE SIDEWALK, REF. SITE DETAILS | ⑯ PROPOSED PRIVATE LANDSCAPE DRAIN |
| ⑥ EXISTING STREET LIGHT TO REMAIN | ⑰ EXISTING SANITARY SEWER TO REMAIN |
| ⑦ EXISTING PEDESTRIAN LIGHT TO REMAIN | ⑱ EXISTING WATER LINE TO REMAIN |
| ⑧ EXISTING FIRE HYDRANT TO REMAIN | ⑲ PROPOSED BOLLARD LIGHT, REF. PHOTOMETRIC PLANS (TYP.) |
| ⑨ EXISTING SIDEWALK TO REMAIN | ⑳ PROPOSED SITE LIGHT, REF. PHOTOMETRIC PLANS (TYP.) |
| ⑩ EXISTING 8' CONCRETE TRAIL WITH 3' SOFT SHOULDER TO REMAIN | ㉑ TRASH DUMPSTER LOCATION (INSIDE GARAGE BUILDING) |
| ⑪ PROPOSED FIRE HYDRANT | |

LEGEND

- | | | | |
|----------------------------------|-------|-------------------------|-----------------|
| SITE BOUNDARY | ===== | PROPOSED WATER MAIN | ===== |
| EXISTING PROPERTY LINE | ----- | EXISTING WATER MAIN | ----- W ----- W |
| PROPOSED PROPERTY LINE | ----- | PROPOSED SANITARY SEWER | ----- S ----- S |
| EXISTING EASEMENT | ----- | EXISTING SANITARY SEWER | ----- S ----- S |
| PROPOSED EASEMENT | ----- | PROPOSED STORM SEWER | ----- |
| PROPOSED PRIVATE LANDSCAPE DRAIN | ----- | EXISTING STORM SEWER | ----- |
| EXISTING RIGHT OF WAY | ----- | | |
| PROPOSED RIGHT OF WAY | ----- | | |



Know what's below.
 Call before you dig.



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 (720) 656-4512

J.R. ENGINEERING
 A Westman Company

 Centennial 300-740-9383 • Colorado Springs 719-583-2593
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

LYRIC CONDOS AT RIDGEGATE
 SIP
 OVERALL UTILITY PLAN

SHEET 18 OF 32

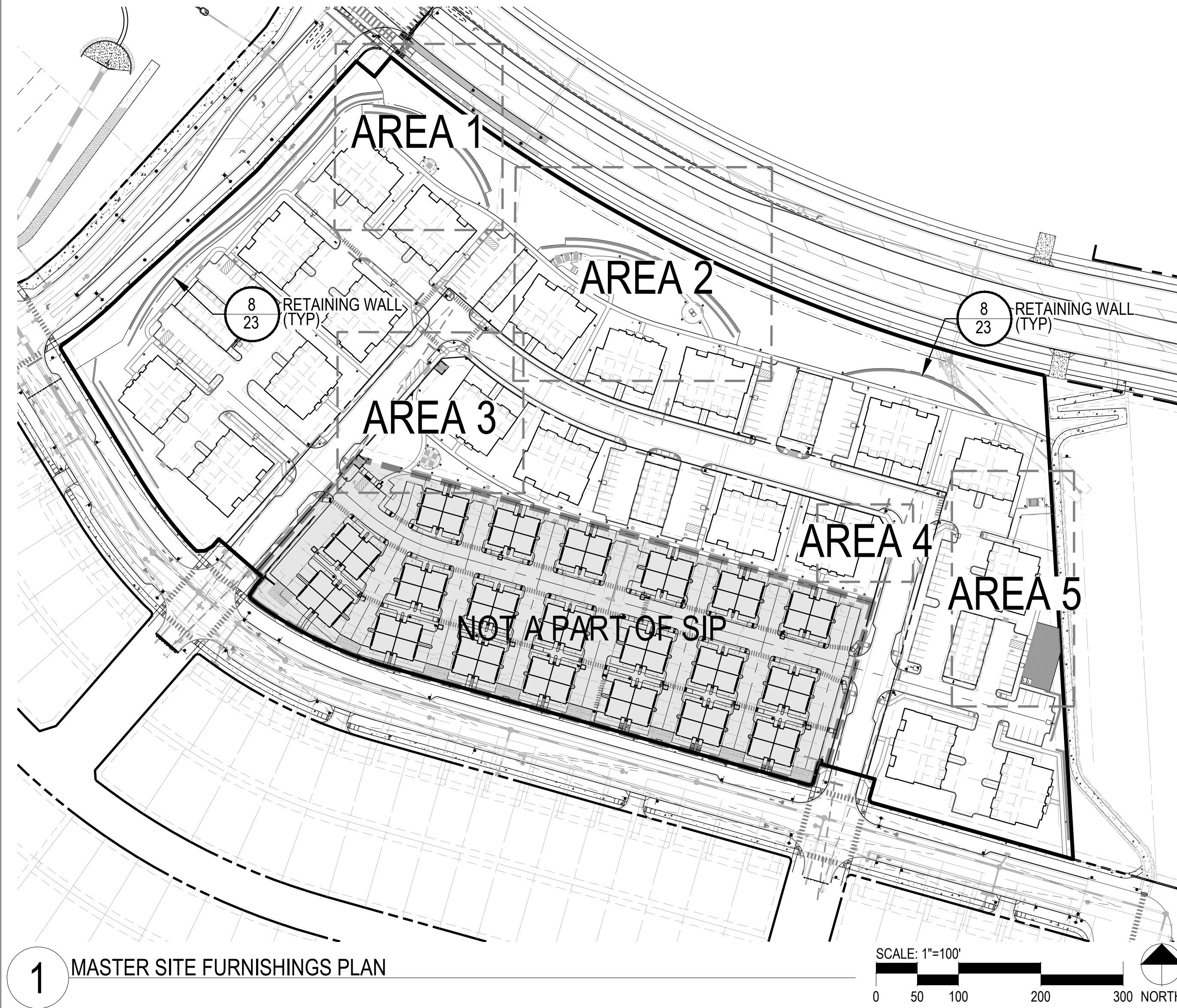
JOB NO. 15950.10

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY

A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST

OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

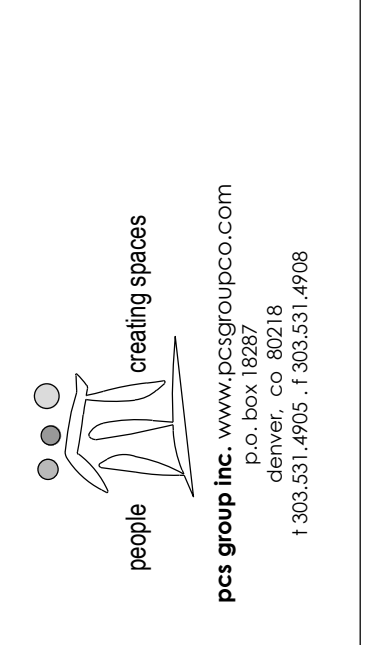


GENERAL NOTES

1. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNTIL FINAL APPROVAL BY THE CITY AND STATED FOR SUCH USE IN THE TITLE BLOCK.
2. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
6. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
7. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
8. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
9. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY PLAN LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM THE WORK.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS' OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
13. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
16. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
17. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK.
19. UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
21. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
22. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
23. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ANY DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
24. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
25. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
26. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
27. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
28. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
29. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
30. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
31. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
32. SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION. SUBSTITUTIONS WILL BE CONSIDERED.
33. PROPOSED GRADING IS BASED ON EXISTING TOPOGRAPHY BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE GRADING INFORMATION OR AS-BUILT CONDITIONS. THE CONTRACTOR SHALL ACCEPT FINAL GRADING PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL GRADING CONDITIONS AND PROPOSED DESIGN PRIOR TO BEGINNING WORK.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO
80112
720-656-4512



BY	DATE
	01/06/23
	03/03/23
	05/18/23

REVISION	No.	DATE	COMMENTS
	1	10/13/22	CITY COMMENTS
	2		CITY COMMENTS
	3		CITY COMMENTS

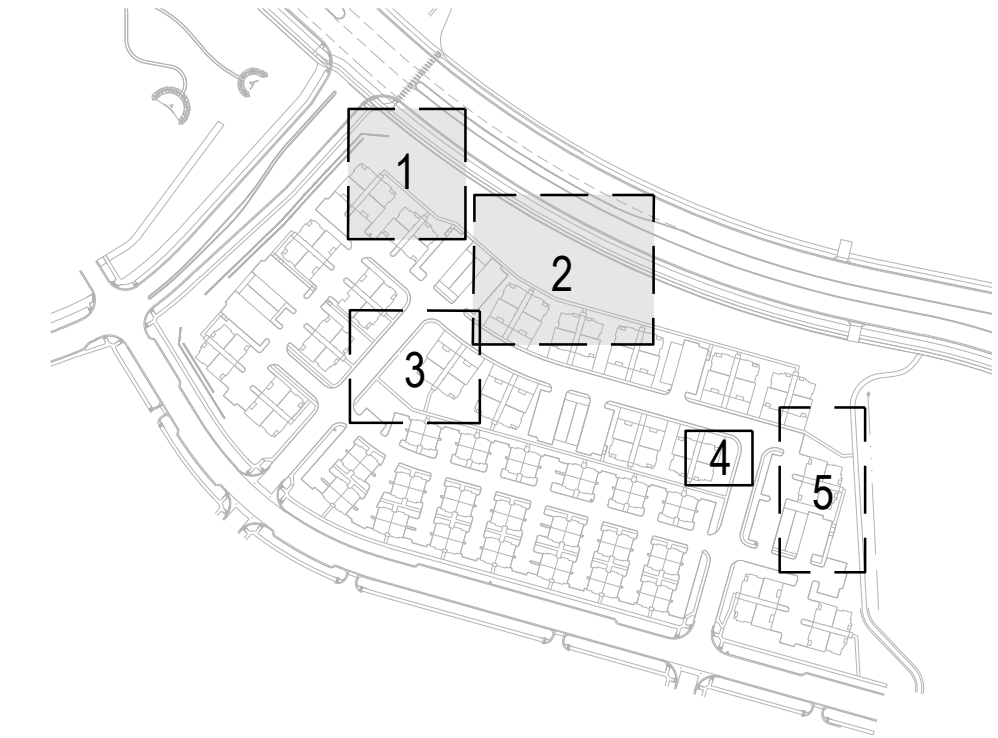
H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		PMS	PCS	PMS

LYRIC CONDOS AT RIDGEGATE
SIP
MASTER SITE FURNISHINGS PLAN

LYRIC CONDOS AT RIDGEGATE SIP

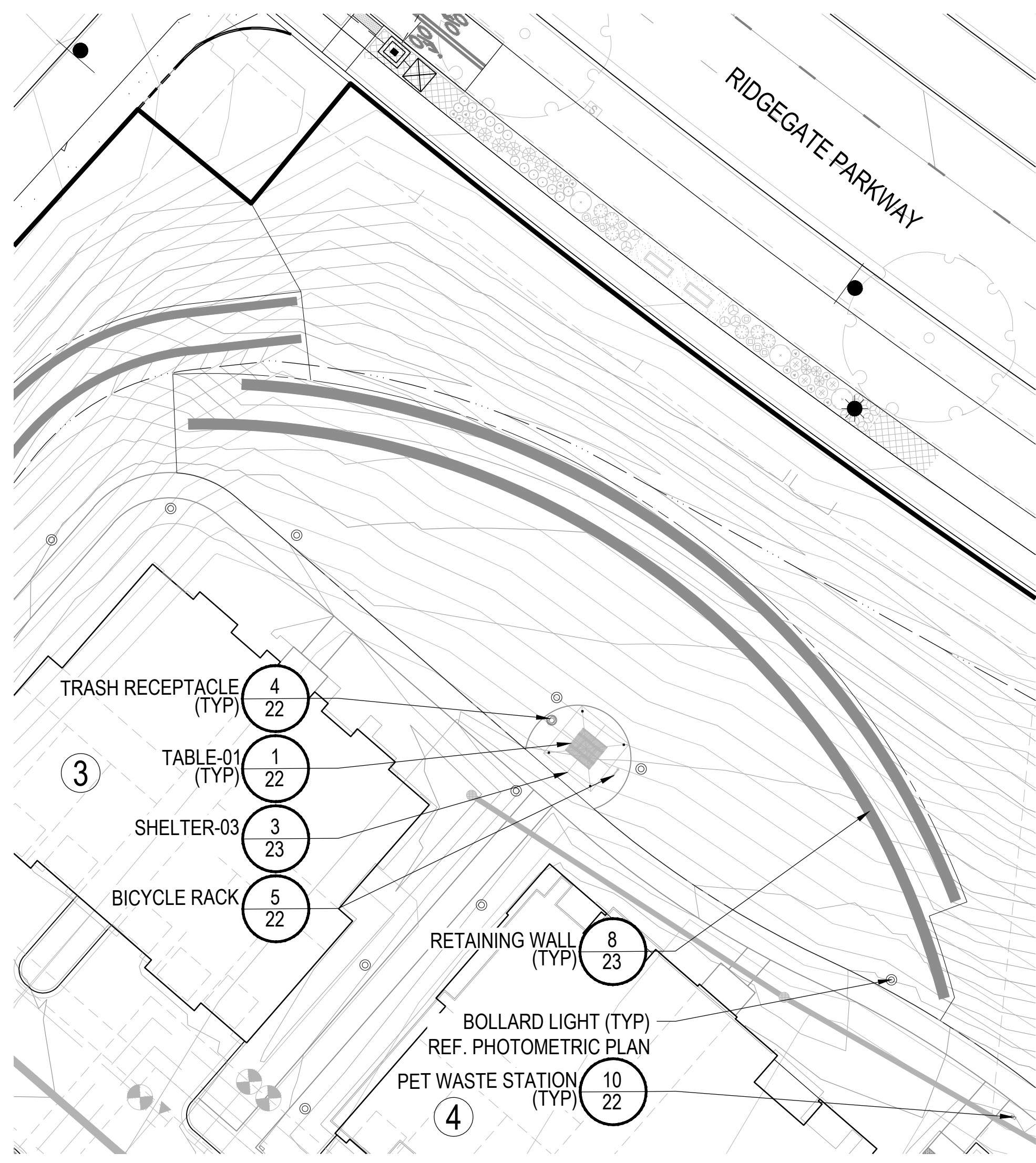
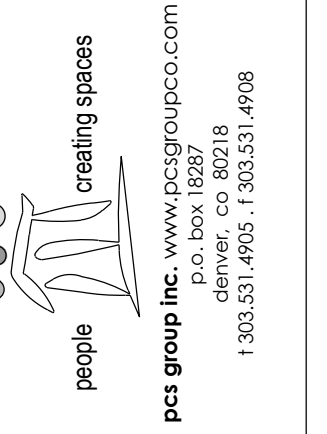
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

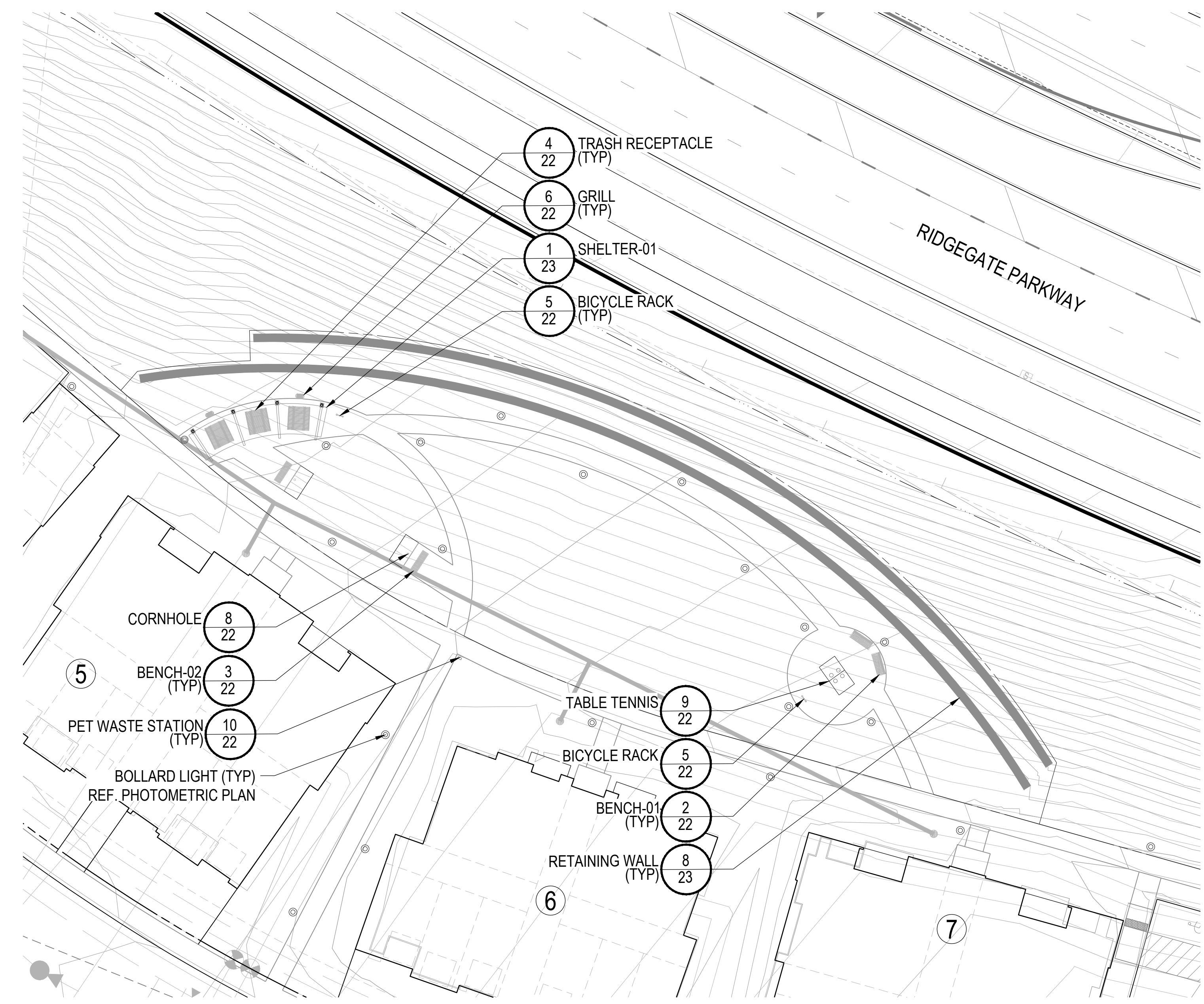


UNTIL SUCH TIME AS
 THESE DRAWINGS ARE
 APPROVED BY THE
 APPROPRIATE REVIEWING
 AGENCIES, OR ENGINEERING
 APPROVES THEIR USES
 DESIGNATED BY WRITTEN
 AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO
 80112
 720-656-4512



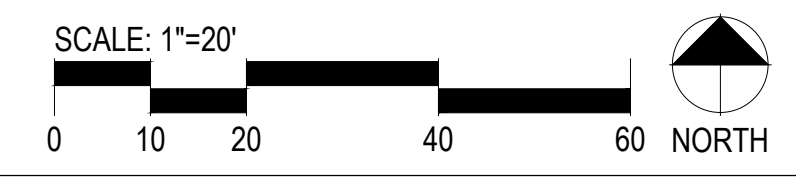
1 SITE FURNISHINGS PLAN - AREA 1



2 SITE FURNISHINGS PLAN - AREA 2

BY	DATE	No.	REVISION
	01/08/23	1	CITY COMMENTS
	03/03/23	2	CITY COMMENTS
	05/18/23	3	CITY COMMENTS

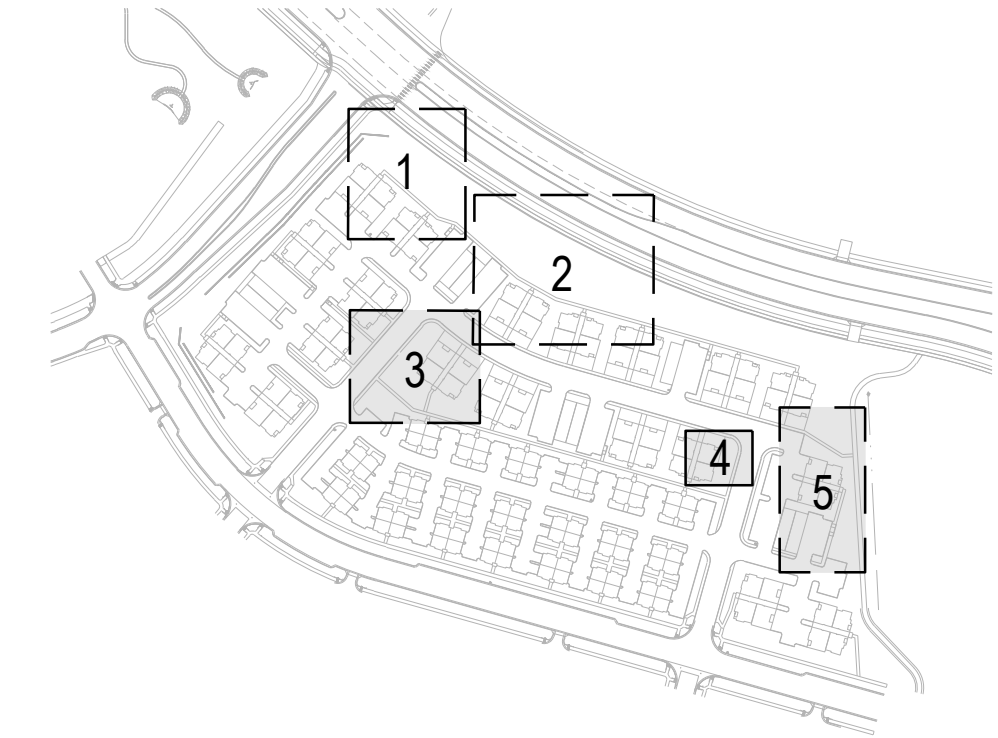
H-SCALE	-
V-SCALE	-
DATE	10/13/22
DESIGNED BY	PMS
DRAWN BY	PCS
CHECKED BY	PMS



LYRIC CONDOS AT RIDGEGATE SIP

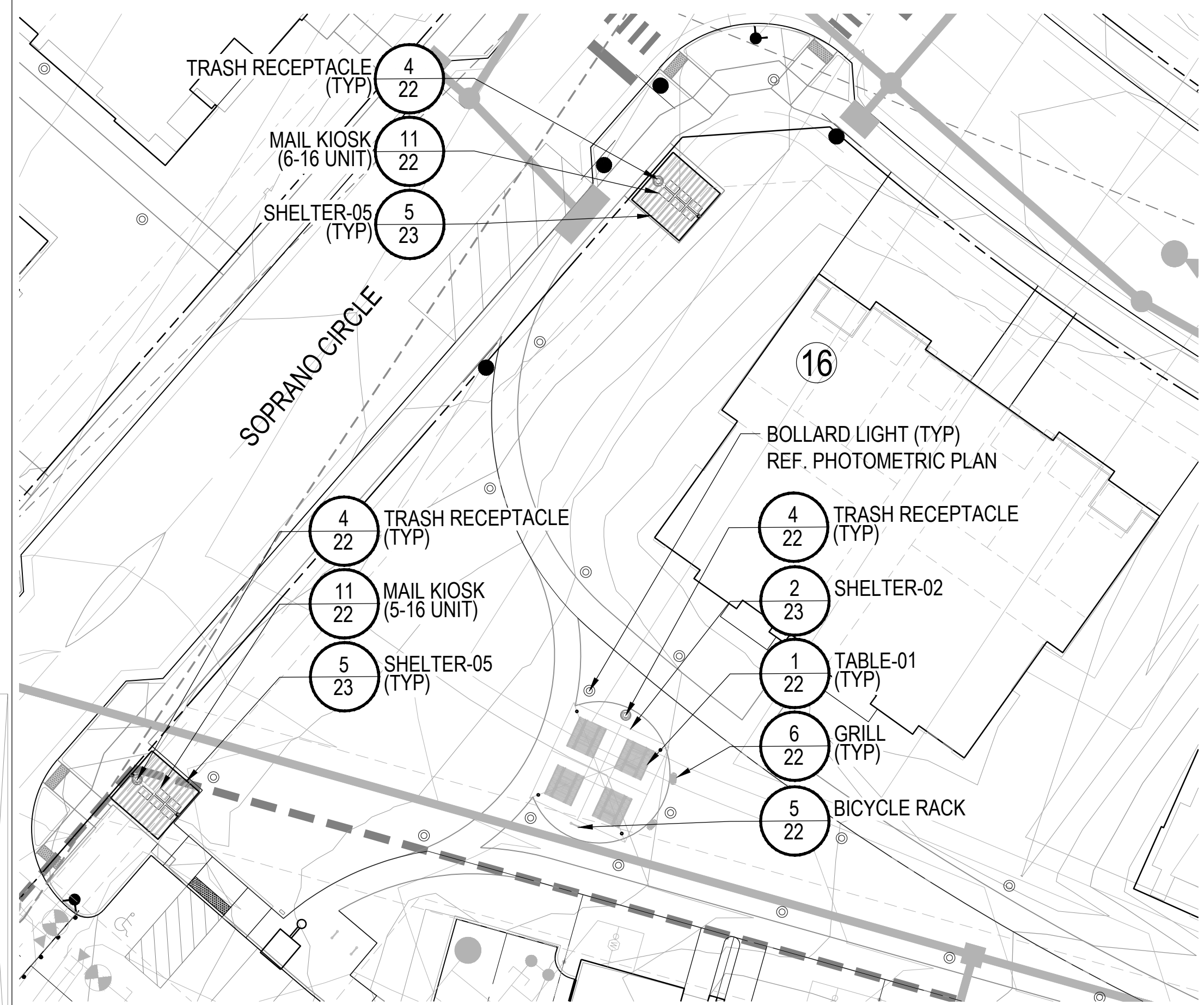
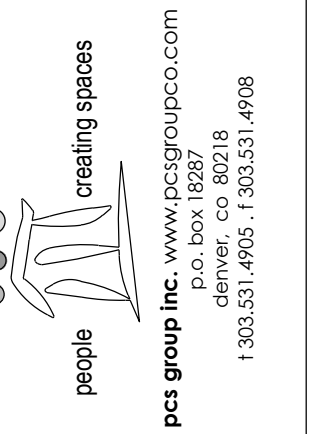
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

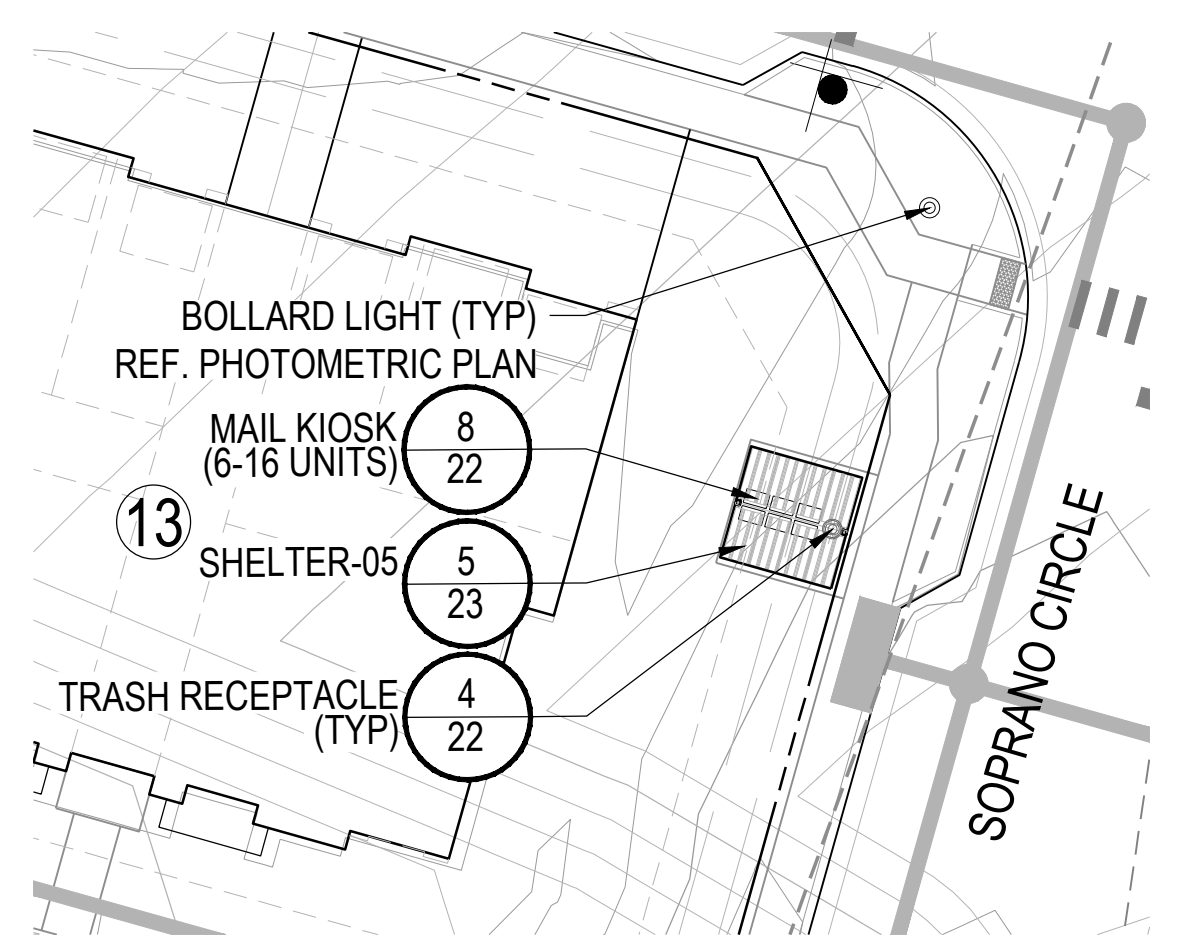


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

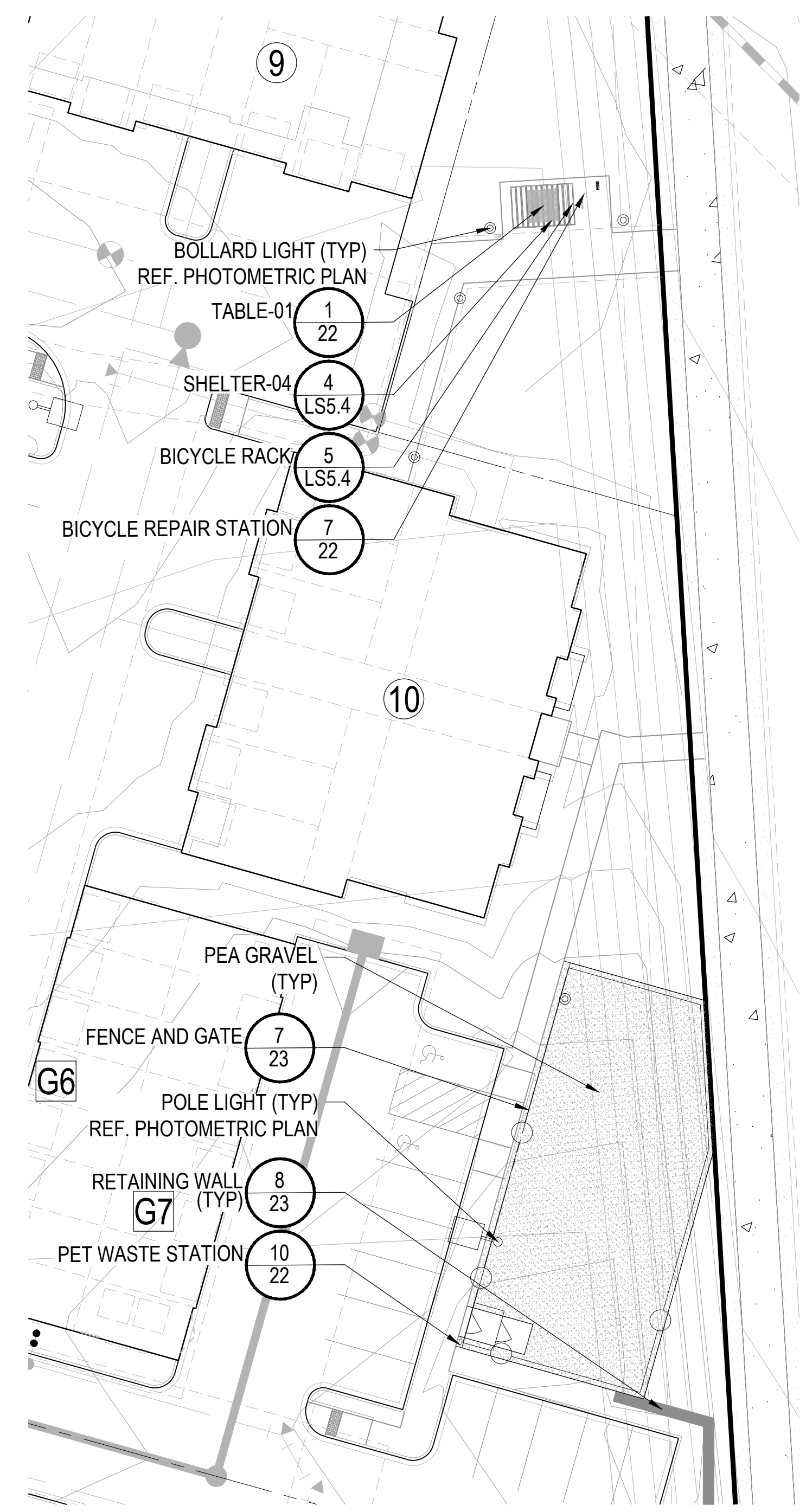
PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO 80112
720-656-4512



1 SITE FURNISHINGS PLAN - AREA 3



2 SITE FURNISHINGS PLAN - AREA 4

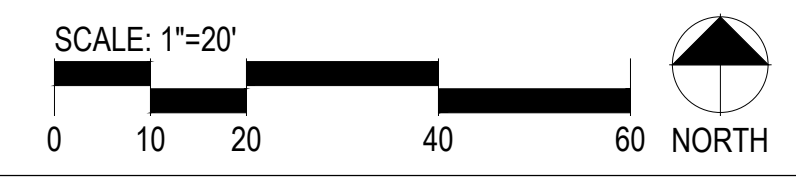


3 SITE FURNISHINGS PLAN - AREA 5

BY	DATE	No.	REVISION
	01/06/23	1	CITY COMMENTS
	03/03/23	2	CITY COMMENTS
	05/18/23	3	CITY COMMENTS

H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
-	-	PMS	PCS	PMS

LYRIC CONDOS AT RIDGEGATE SIP
SITE FURNISHINGS PLAN



LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



TABLE-01 BY THOMAS STEELE
 CARNIVAL SQUARE TABLE
 MODEL: CRT4-4-SF1-P, OR APPROVED EQUAL.
 COLOR: BLACK
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
 HEATHER HEASLEY
 PHONE: 303.530.4414 X14
 WWW.CHURCHICHRECREATION.NET

1 TABLE--01
 Scale: NTS



BENCH-01 BY THOMAS STEELE
 CARNIVAL STEEL BENCH
 MODEL: CRB, 6 FEET, OR APPROVED EQUAL.
 COLOR: BLACK
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
 HEATHER HEASLEY
 PHONE: 303.530.4414 X14
 WWW.CHURCHICHRECREATION.NET

2 BENCH-01
 Scale: NTS



BENCH-02 BY THOMAS STEELE
 CARNIVAL STEEL BENCH
 MODEL: CRF2-6-IG-P, OR APPROVED EQUAL.
 COLOR: BLACK
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
 HEATHER HEASLEY
 PHONE: 303.530.4414 X14
 WWW.CHURCHICHRECREATION.NET

3 BENCH-02
 Scale: NTS



TRASH RECEPTACLE BY THOMAS STEELE
 CARNIVAL RECEPTACLE-NO TOP RING
 MODEL: CRTRN-32-P; LID-F-P,
 OR APPROVED EQUAL.
 COLOR: BLACK
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
 HEATHER HEASLEY
 PHONE: 303.530.4414 X14
 WWW.CHURCHICHRECREATION.NET

4 TRASH RECEPTACLE
 Scale: NTS



BICYCLE RACK BY MADRAX
 U24 'U' BIKE RACK
 MODEL: U24-IG-P, OR APPROVED EQUAL.
 COLOR: BLACK
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
 HEATHER HEASLEY
 PHONE: 303.530.4414 X14
 WWW.CHURCHICHRECREATION.NET

5 BICYCLE RACK
 Scale: NTS



GRILL BY PW SPORT AND SITE
 MODEL: 1140-00SM-SINGLE GRILL, 15"x20",
 SURFACE MOUNT, OR APPROVED EQUAL.
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: PW SPORT AND SITE
 PHONE: 866.821.6166
 WWW.PWATHLETIC.COM

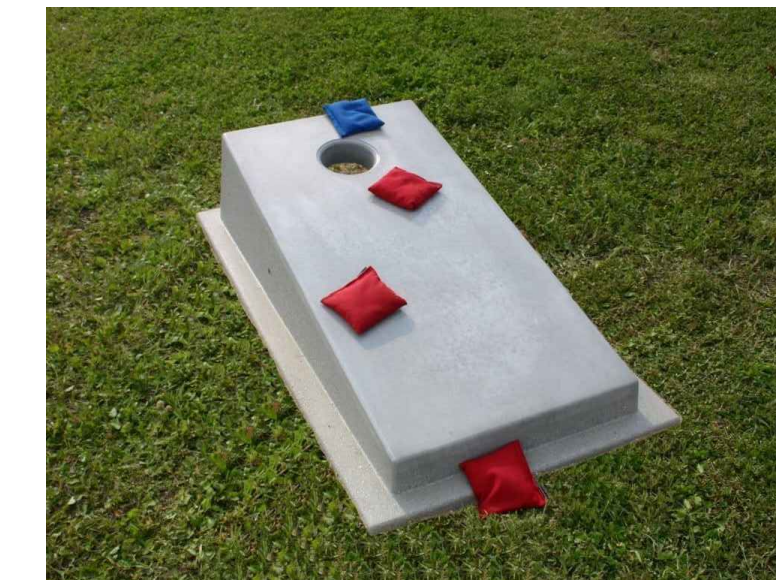
6 GRILL
 Scale: NTS



BICYCLE REPAIR STATION BY MADRAX
 MODEL: BRS-NP
 POWDERCOAT COLOR: BLACK
 MOUNTING: SURFACE
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: MADRAX
 PHONE: 800.448.7931
 WWW.MADRAX.COM

7 BICYCLE REPAIR STATION
 Scale: NTS



CORNHOLE BY KAY PARK RECREATION
 MODEL: CONCRETE CORNHOLE, CONCRETE
 BAG TOSS GAME, ONE PAIR (2 BOARDS)
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: KAY PARK RECREATION
 PHONE: 866.741.8266
 WWW.KAYPARK.COM

8 CORNHOLE
 Scale: NTS



TABLE TENNIS BY HENGE
 MODEL: SATIN FINISH TABLE
 NET: POWDERCOAT BLACK
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: RECREATION PLUS, LTD
 PHONE: 888.278.1455
 WWW.RECREATIONPLUS.COM

9 TABLE TENNIS
 Scale: NTS



PET WASTE STATION BY DOG ON IT PARKS
 MODEL: 7408-R, COMPLETE DOG WASTE
 STATION WITH ROLL DISPENSER, GREEN,
 OR APPROVED EQUAL.
 INSTALL PER MANUFACTURER'S SPECS

CONTACT: ATOZ RECREATION
 PHONE: 303.670.3789
 WWW.ATOZRECREATION.COM

10 PET WASTE STATION
 Scale: NTS



MAIL KIOSK BY FLORENCE CORPORATION OR
 APPROVED EQUAL
 MODEL: 1570-16
 COLOR: SANDSTONE
 INSTALL PER MANUFACTURER'S SPECS.

CONTACT: PAGE SPECIALTY CO
 PHONE: 800.327.7439
 WWW.PAGESPECIALTY.COM

11 MAIL KIOSK
 Scale: NTS

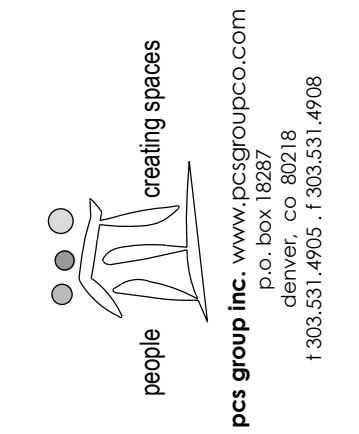
REVISION	BY	DATE
1		01/06/23
2		03/03/23
3		05/18/23

NO.	REVISION	BY	DATE
1			
2			
3			

H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
-	-	PMS	PCS	PMS

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



LYRIC CONDOS AT RIDGEGATE
 SIP
 SITE DETAILS

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



SHELTER-01 BY STEELWORX
RADIUS CANTILEVERED PERGOLA, 9X40
MODEL: RPC-0940-SW-C
COLOR: BLACK
INSTALL PER MANUFACTURER'S SPECS
CONTACT: STEELWORX
PHONE: 586.486.1088
WWW.COVERWORX.COM/STEELWORX-2/

1 SHELTER-01
Scale: NTS



SHELTER-02 BY POLIGON
BLDG. TYPE: SQR-20
ROOF TYPE: MULTI RIB
COLORS:
ROOF: EVERGREEN
FRAME: BLACK
INSTALL PER MANUFACTURER'S SPECS
CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

2 SHELTER-02
Scale: NTS



SHELTER-02 BY POLIGON
BLDG. TYPE: SQR-16
ROOF TYPE: MULTI RIB
COLORS:
ROOF: EVERGREEN
FRAME: BLACK
INSTALL PER MANUFACTURER'S SPECS
CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

3 SHELTER-03
Scale: NTS



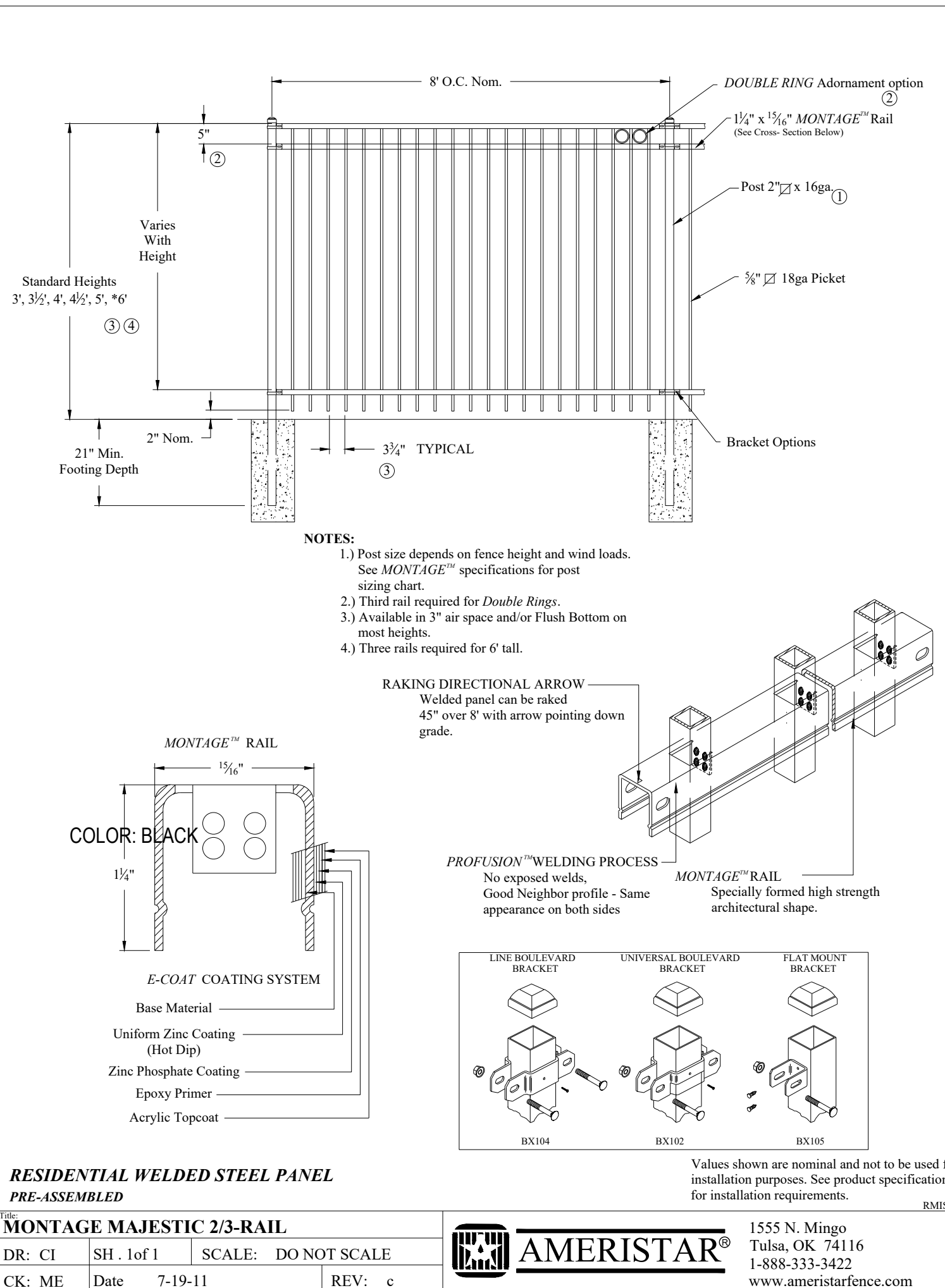
SHELTER-02 BY POLIGON
BLDG. TYPE: CWE 8X12
ROOF TYPE: MULTI RIB
COLOR:
ROOF: EVERGREEN
FRAME: BLACK
INSTALL PER MANUFACTURER'S SPECS
CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

4 SHELTER-04
Scale: NTS

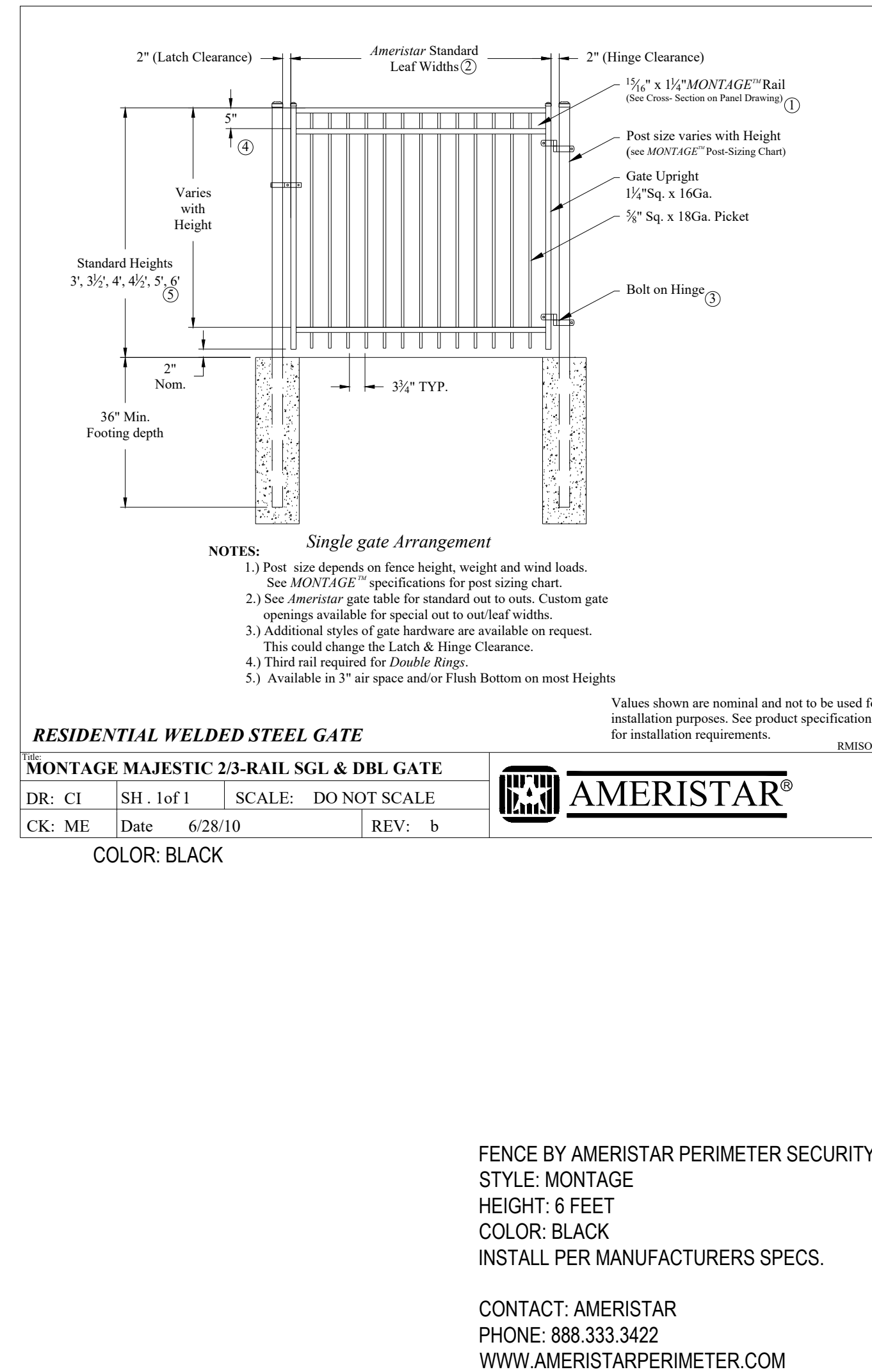


SHELTER-02 BY POLIGON
BLDG. TYPE: SSG 12X12 (NO BENCH)
ROOF TYPE: MULTI RIB
COLORS:
ROOF: EVERGREEN
FRAME: BLACK
INSTALL PER MANUFACTURER'S SPECS
CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

5 SHELTER-05
Scale: NTS



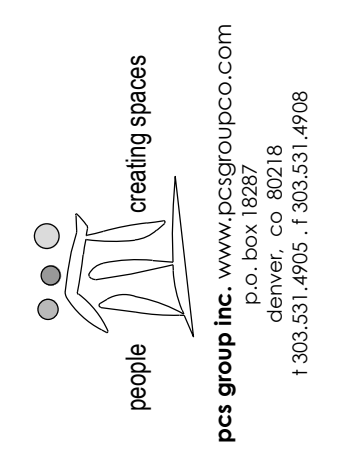
7 FENCE AND GATE - 4 FOOT HEIGHT
Scale: NTS



8 RETAINING WALL
Scale: NTS

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
8370 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO 80112
720-656-4512



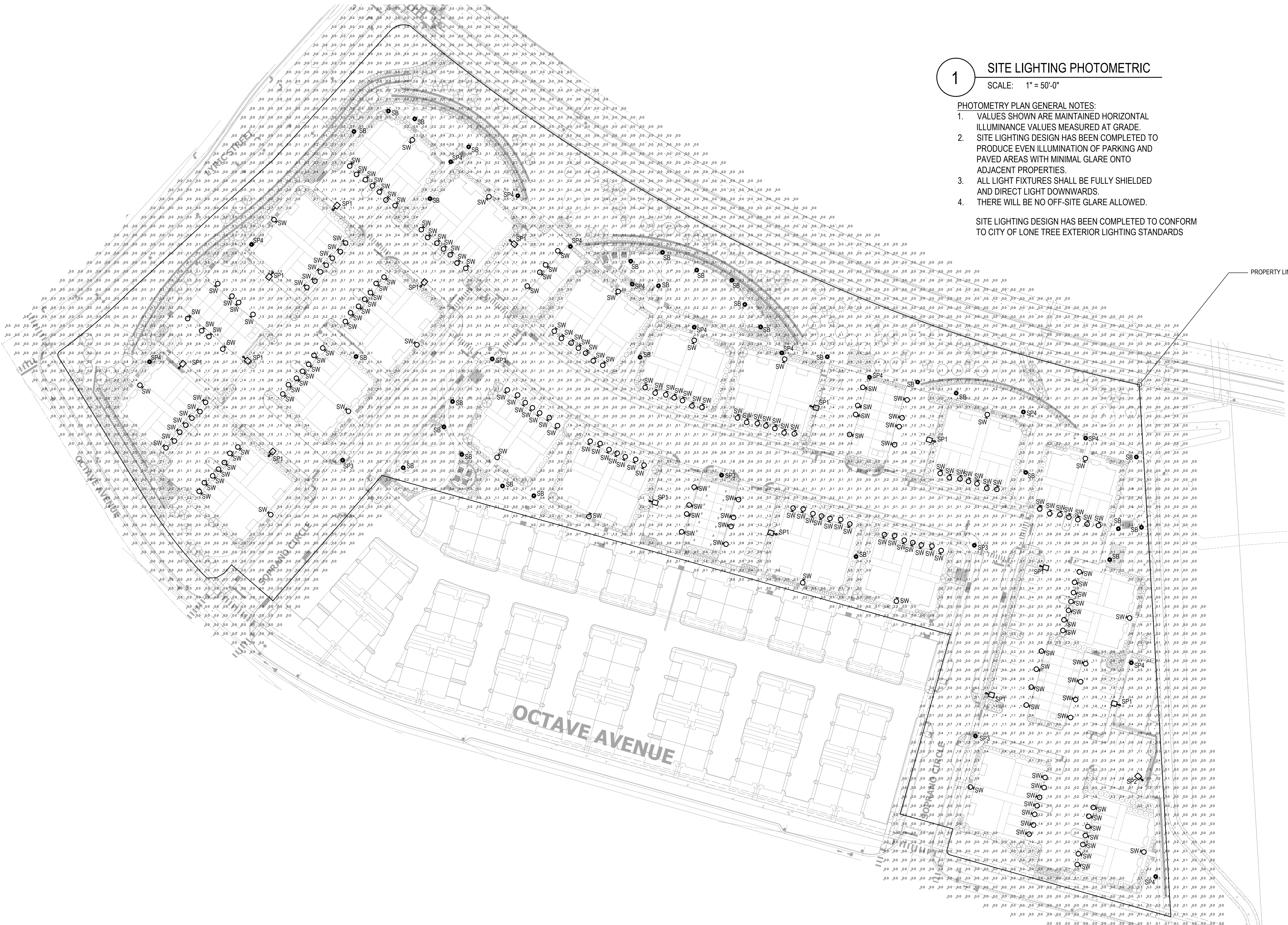
BY	DATE	REVISION	No.	COMMENTS
	01/06/23	1	CITY COMMENTS	
	03/03/23	2	CITY COMMENTS	
	05/18/23	3	CITY COMMENTS	
	10/13/22		DESIGNED BY	PMS
			DRAWN BY	PCS
			CHECKED BY	PMS

LYRIC CONDOS AT RIDGEGATE
SIP
SITE DETAILS

SHEET 23 OF 32
JOB NO. 20220501

LYRIC CONDOS AT RIDGEGATE SIP

**A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO**



1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 50'-0"

- PHOTOMETRY PLAN GENERAL NOTES:**
1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL GLARE ONTO ADJACENT PROPERTIES.
 3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 4. THERE WILL BE NO OFF-SITE GLARE ALLOWED.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF LONE TREE EXTERIOR LIGHTING STANDARDS

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO
80112
720-656-4512



STUDIO LIGHTING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISION			BY	DATE
						No.	#	#		
1"=50'	N/A	5/18/23	JMB	JMB						

LYRIC CONDOS AT RIDGEGATE SIP
SITE LIGHTING PHOTOMETRIC

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

J.R. ENGINEERING
 A Westman Company
 Centennial 303-740-9383 Colorado Springs 719-593-2593 Fort Collins 970-491-9888
 www.jrengineering.com

BY	DATE	No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
N/A	N/A	9/16/22			



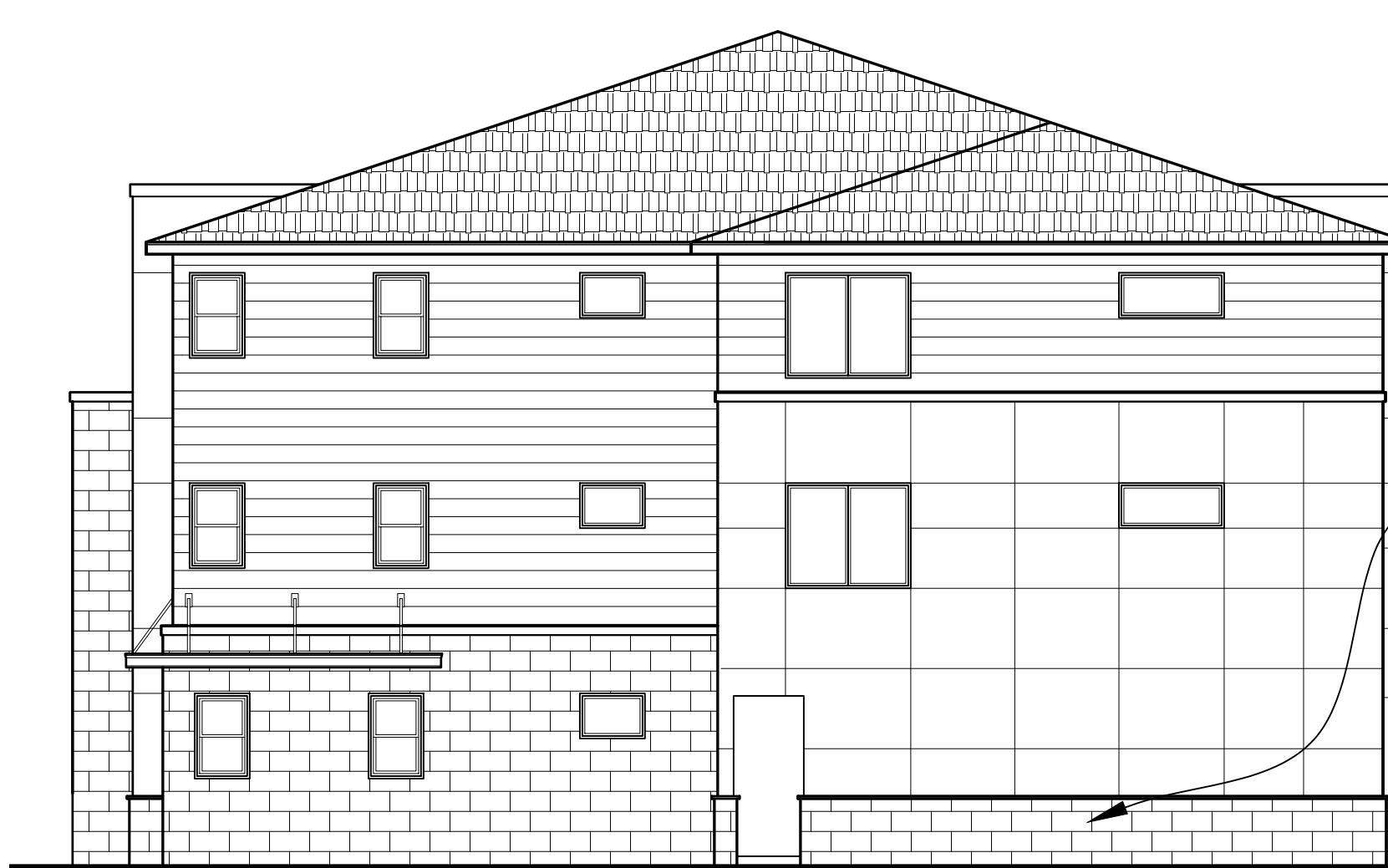
FRONT ELEVATION - TYPE 1



REAR ELEVATION - TYPE 1



ADA GARAGE



SIDE ELEVATION - TYPE 1

UTILITIES LOCATED ON THE SIDE OF THE GARAGES (GAS ON ONE SIDE, ELECTRICAL ON THE OPPOSITE SIDE)

BUILDING COLOR SCHEMES:
 SCHEME 1 - BUILDINGS 1, 6, 11, 13, 17 & GARAGES 3/4
 SCHEME 2 - BUILDINGS 3, 7, 10, 16, 19 & GARAGES 1/2, 8/9
 SCHEME 3 - BUILDINGS 4, 8, 12, 15, 18
 SCHEME 4 - BUILDINGS 2, 5, 9, 14 & GARAGES 5, 6/7

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



FRONT ELEVATION - TYPE 2



REAR ELEVATION - TYPE 2



SIDE ELEVATION - TYPE 2

BUILDING COLOR SCHEMES:
 SCHEME 1 - BUILDINGS 1, 6, 11, 13, 17 & GARAGES 3/4
 SCHEME 2 - BUILDINGS 3, 7, 10, 16, 19 & GARAGES 1/2, 8/9
 SCHEME 3 - BUILDINGS 4, 8, 12, 15, 18
 SCHEME 4 - BUILDINGS 2, 5, 9, 14 & GARAGES 5, 6/7

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR	LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512
J.R. ENGINEERING A Westman Company	Centennial 303-740-9383 719-593-2593 Fort Collins 970-491-9888 Colorado Springs www.jrengineering.com
BY	DATE
No.	REVISION
H-SCALE	N/A
V-SCALE	N/A
DATE	9/16/22
DESIGNED BY	
DRAWN BY	
CHECKED BY	
LYRIC CONDOS AT RIDGEGATE SIP BUILDING ELEVATIONS	
SHEET 27 OF 32	
JOB NO. 20220501	

UTILITIES LOCATED ON THE SIDE OF THE GARAGES (GAS ON ONE SIDE, ELECTRICAL ON THE OPPOSITE SIDE)

LYRIC CONDOS AT RIDGEGATE SIP

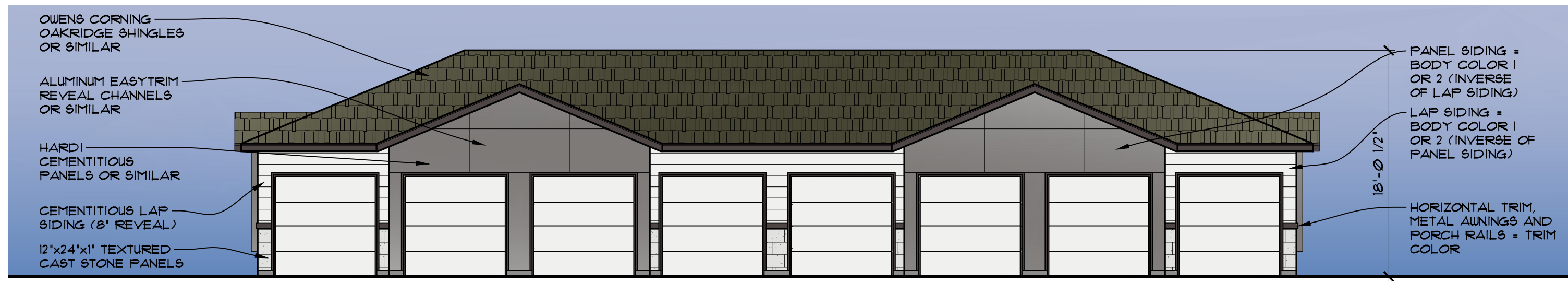
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

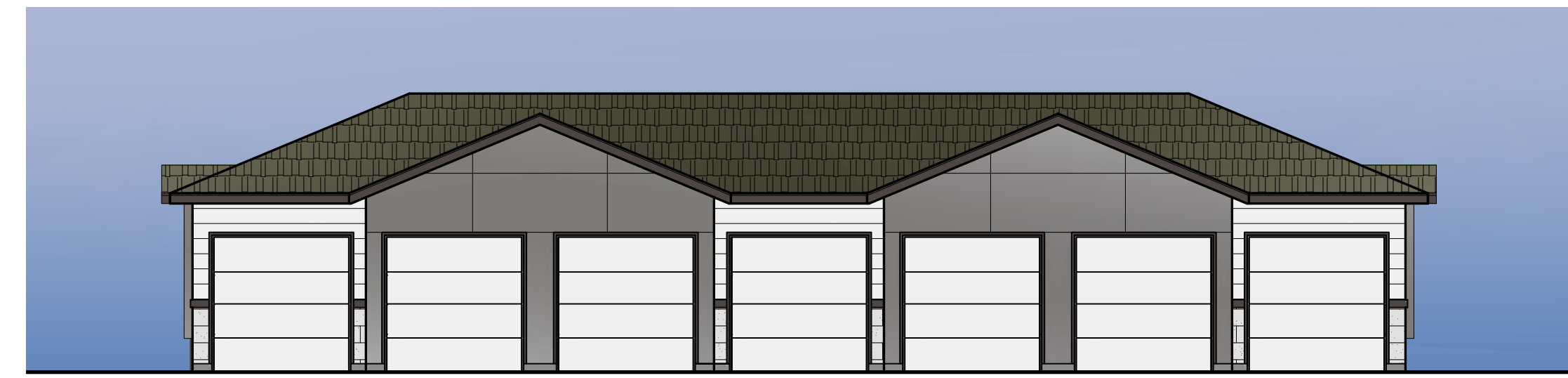
PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO 80112
720-656-4512

J.R. ENGINEERING
A WestPlan Company
Centennial 303-740-9383 Colorado Springs 719-593-2593 Fort Collins 970-491-9888
www.jrengineering.com

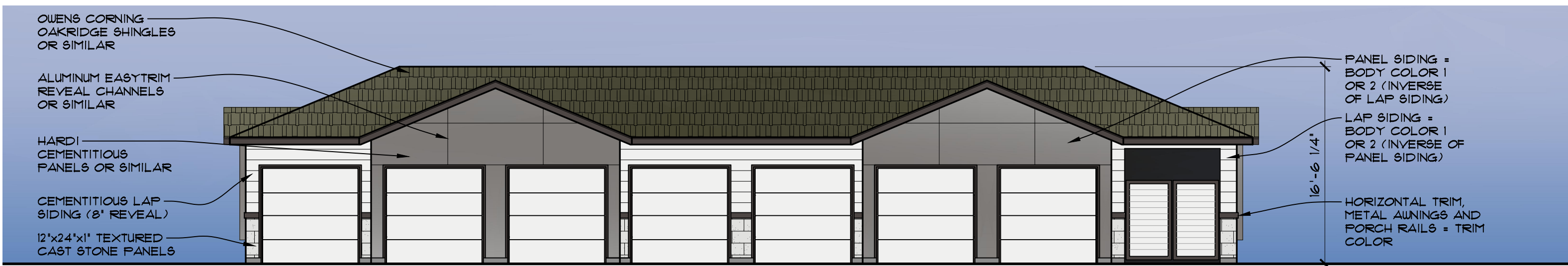
BY	DATE	REVISION	No.	N/A	N/A	N/A	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
							9/16/22			



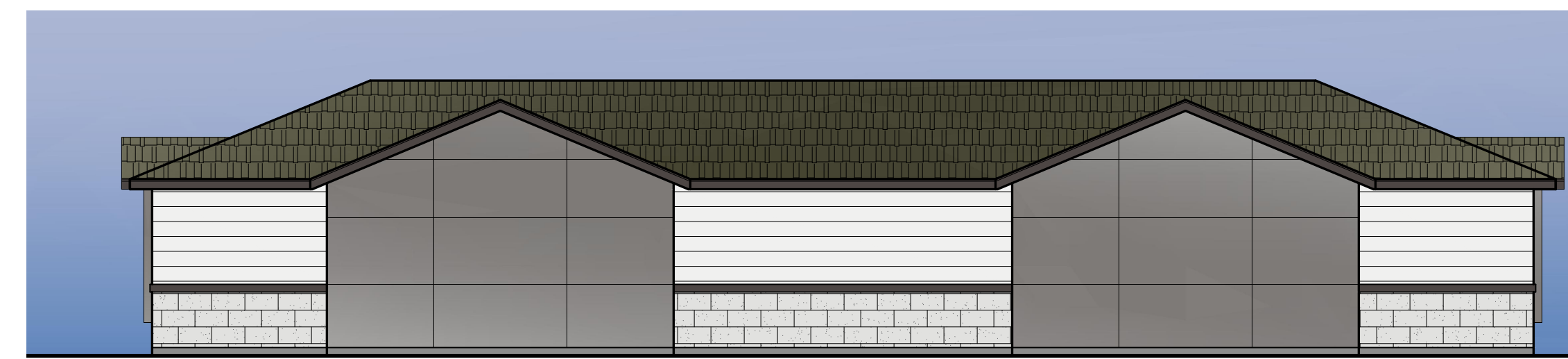
15 UNIT GARAGE



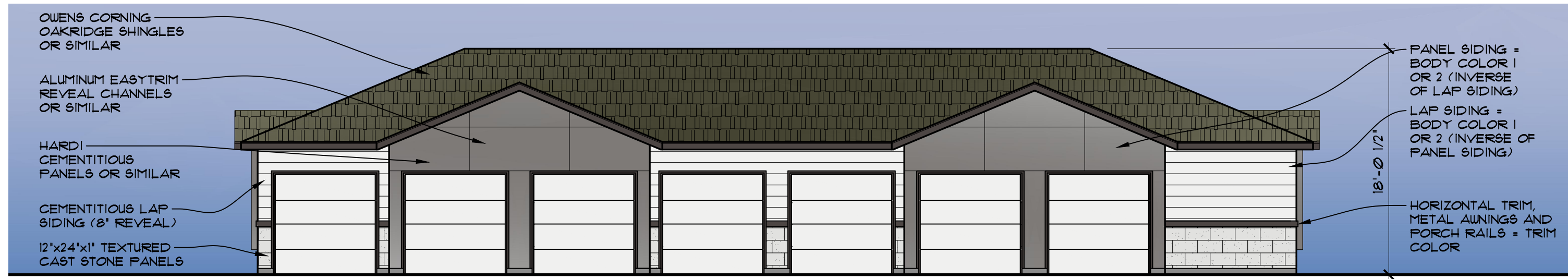
14 UNIT GARAGE



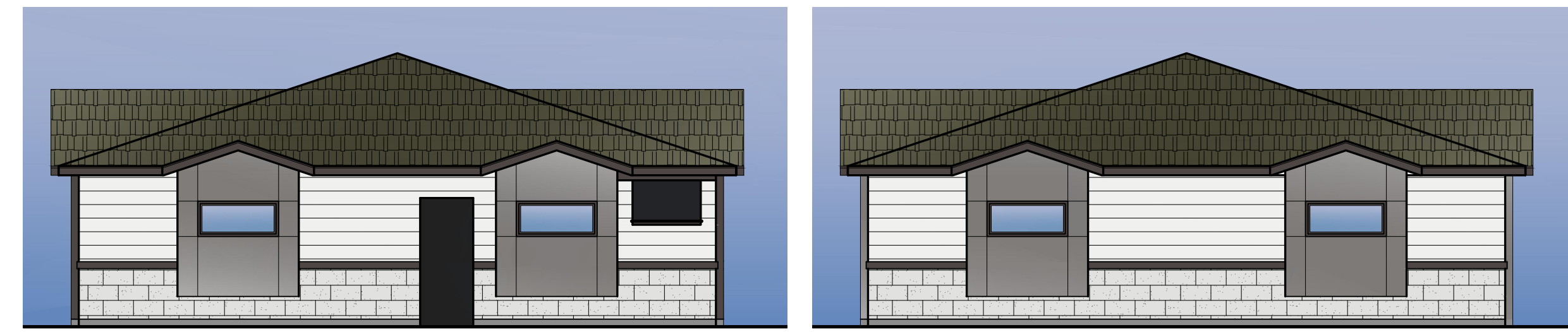
7 UNIT & 15 UNIT GARAGES W/ TRASH ENCLOSURE



REAR ELEVATION - 7 UNIT GARAGE



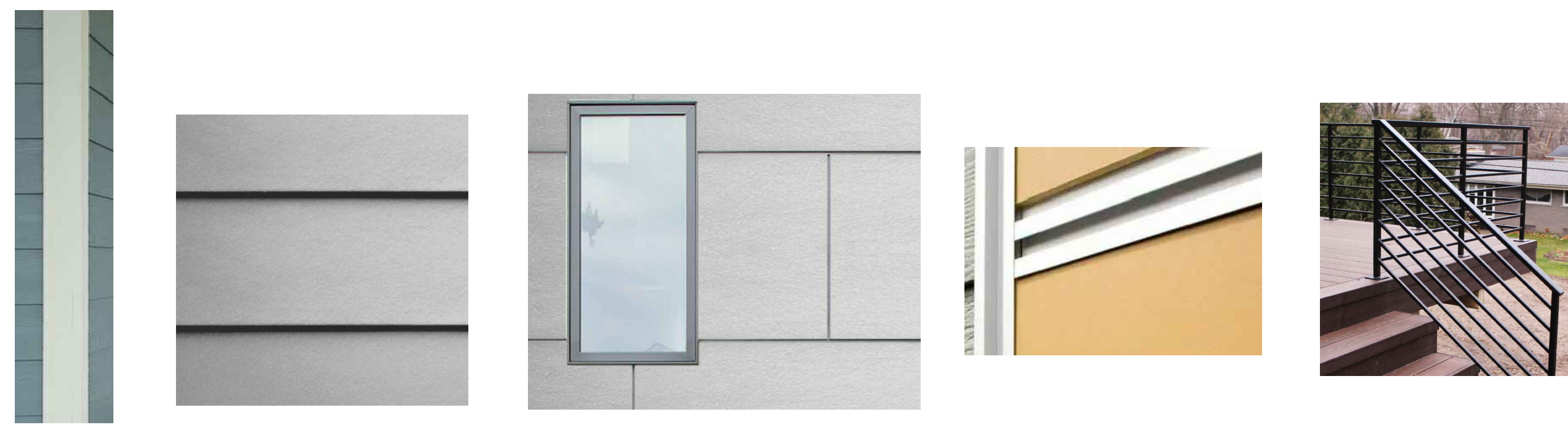
15 UNIT GARAGE W/ ADA GARAGE



SIDE ELEVATIONS - 14 & 15 UNIT GARAGES



SIDE ELEVATIONS - 7 UNIT GARAGE



TRIM LAP SIDING PANEL SIDING EASYTRIM METAL RAIL

BUILDING COLOR SCHEMES:
 SCHEME 1 - BUILDINGS 1, 6, 11, 13, 17 & GARAGES 3/4
 SCHEME 2 - BUILDINGS 3, 7, 10, 16, 19 & GARAGES 1/2, 8/9
 SCHEME 3 - BUILDINGS 4, 8, 12, 15, 18
 SCHEME 4 - BUILDINGS 2, 5, 9, 14 & GARAGES 5, 6/7

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY

- EXTERIOR PACKAGE 1
- EXTERIOR PACKAGE 2
- EXTERIOR PACKAGE 3
- EXTERIOR PACKAGE 4

Exterior Package 1

Body 1 – Snowbound SW 7004
 Front Door 6187
 Trim – Iron Ore SW 7069
 Body 2 – Peppercorn SW 7674

Peppermill Gray
 Tivoli - Cream

Exterior Package 2

Body 1 – Online SW 7072
 Front Door 7624
 Trim – Iron Ore SW 7069
 Body 2 – Ice Cube SW 6252

Peppermill Gray
 Tivoli - Cream

Exterior Package 3

Body 1 – Night Owl SW 7061
 Front Door 9182
 Trim – Iron Ore SW 7069
 Body 2 – First Star SW 7646

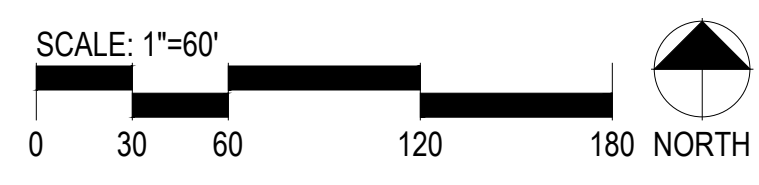
Peppermill Gray
 Tivoli - Cream

Exterior Package 4

Body 1 – Grays Harbor SW 6236
 Front Door 2739
 Trim – Iron Ore SW 7069
 Body 2 – Gray Screen SW 7071

Peppermill Gray
 Tivoli - Cream

1 BUILDING LAYOUT EXHIBIT



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

people
 creating spaces
 pct group inc. www.pctgroupco.com
 p.o. box 18287
 denver, co 80218
 1.303.476.1100 ext. 4768

BY	DATE	No.	REVISION	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
	01/08/23	1	CITY COMMENTS			10/13/22	PMS	PCS	PMS
	03/03/23	2	CITY COMMENTS						
	05/18/23	3	CITY COMMENTS						

LYRIC CONDOS AT RIDGEGATE
 SIP
 BUILDING LAYOUT EXHIBIT

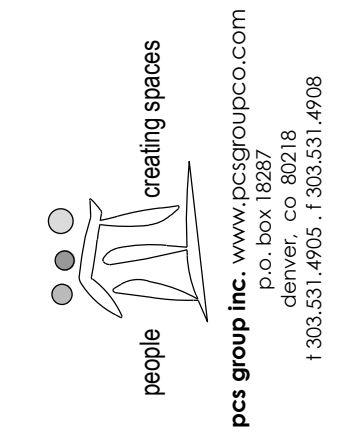
SHEET 29 OF 32
 JOB NO. 20220501

LYRIC CONDOS AT RIDGEGATE SIP
 A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



UNTIL SUCH TIME AS
 THESE DRAWINGS ARE
 APPROVED BY THE
 APPROPRIATE REVIEWING
 AGENCIES, OR ENGINEERING
 APPROVES THEIR USE,
 THESE DRAWINGS ARE
 DESIGNATED BY WRITTEN
 AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO
 80112
 720-656-4512



BY	DATE	No.	REVISION
	01/08/23	1	CITY COMMENTS
	03/03/23	2	CITY COMMENTS
	05/18/23	3	CITY COMMENTS

LYRIC CONDOS AT RIDGEGATE
 SIP
 PHOTO SIMULATION

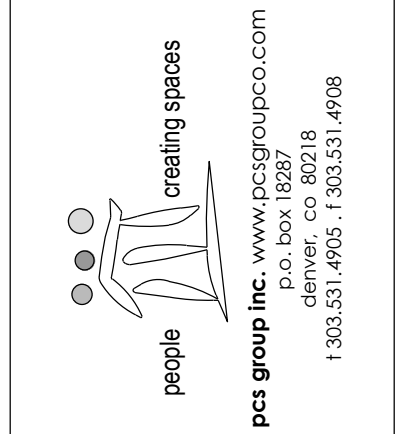
LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



UNTIL SUCH TIME AS
 THESE DRAWINGS ARE
 APPROVED BY THE
 APPROPRIATE REVIEWING
 AGENCIES, OR ENGINEERING
 APPROVES THEIR USE,
 THESE DRAWINGS ARE
 DESIGNATED BY WRITTEN
 AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO
 80112
 720-656-4512



BY	DATE
	01/08/23
	03/03/23
	05/18/23

No.	REVISION
1	CITY COMMENTS
2	CITY COMMENTS
3	CITY COMMENTS

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		10/13/22	PMS	PCS	PMS

LYRIC CONDOS AT RIDGEGATE
 SIP
 PHOTO SIMULATION

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512

people
 pct group inc. www.pctgroupco.com
 p.o. box 18287
 denver, co 80218
 1.303.496.1766

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	NO.	REVISION	BY	DATE
						1	CITY COMMENTS		01/08/23
						2	CITY COMMENTS		03/03/23
						3	CITY COMMENTS		05/18/23
			PMS	PCS	PMS				

LYRIC CONDOS AT RIDGEGATE
 SIP
 PHOTO SIMULATION