GENERAL NOTES

- THE PROPERTY DESCRIBED HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE AND DESIGN STANDARDS, INCLUDING BUT NOT LIMITED TO, PROPERTY MAINTENANCE LIGHTING, PARKING, SIGNAGE, LANDSCAPING AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE ADDRESSED IN AN APPROVED PLANNED DEVELOPMENT PLAN, SUBAREA PLAN, OR OTHER APPLICABLE PLAN OR AGREEMENT APPROVED BY THE CITY
- 2. THE APPLICANT ASSUMES RESPONSIBILITY TO ENSURE THE PROJECT IS COMPLETED IN ACCORDANCE WITH THE APPROVED SIP AND ANY ASSOCIATED MATERIALS SAMPLE BOARDS AND FURTHER ASSUMES THE RISK ASSOCIATED WITH ANY CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL MODIFICATIONS TO STRUCTURES OR SITES MAY REQUIRE AN AMENDMENT TO THE SIP AS DETERMINED B THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR, PER SEC. 16-27-180. UNAUTHORIZED CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL CORRECTIVE ACTIONS, DELAY OF PERMITS OR CITATIONS FOR ZONING VIOLATIONS WITH ASSOCIATED FINES AND LEGAL MEASURES. BUILDING PLANS SHALL CONFORM TO THE APPROVED SIP
- 3. WITHIN SITE TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED WITH NO SOLID STRUCTURES PERMITTED AS STATED IN THE CITY OF LONE TREE'S LANDSCAPE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING. LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- 4. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING "NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND/OR THE FIRE DISTRICT. SUCH SIGNAGE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- SITE LANDSCAPING, SITE AMENITIES AND FURNISHINGS, AND ALL SITE IMPROVEMENTS INCLUDING, BU NOT LIMITED TO, SIDEWALKS AND PARKING AREAS SHALL BE MAINTAINED IN A STATE OF GOOD REPAIF CONSISTENT WITH THE APPROVED SIP AND THE LONE TREE MUNICIPAL CODE AND DESIGN GUIDELINES AND STANDARDS. SUCH MAINTENANCE SHALL INCLUDE THE REGULAR MAINTENANCE OF PET WASTE STATIONS (WHEN PRESENT), TO INCLUDE WASTE COLLECTION AND WASTE BAG REPLACEMENT LANDSCAPE PLANTINGS MUST BE ALIVE AND ALL IRRIGATION MUST BE FUNCTIONAL. ALL MAINTENANCE OBLIGATIONS SHALL BE COMPLETED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNT CLERK AND RECORDER'S OFFICE
- THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SITE IMPROVEMENT PLAN IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER OR THE RESPONSIBLE MAINTENANCE AUTHORITY
- ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS OF LAND HEREBY SUBJECT TO A SITE IMPROVEMENT PLAN ARE HEREBY NOTIFIED THAT THE PROPERTY IS LOCATED WITHIN PROXIMITY TO CENTENNIAL AIRPORT AND IS SUBJECT TO THE TERMS OF THAT CERTAIN AVIGATION AND HAZARD EASEMENT RECORDED AT RECEPTION NUMBER 202216188 ON MARCH 6, 2020 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, AS MAY BE AMENDED.
- 8. PROXIMITY TO CENTENNIAL AIRPORT MAY HAVE ANY NUMBER OF IMPACTS ON THE PROPERTY OCCUPANTS. THE PROPERTY. AND THE DEVELOPMENT. IMPROVEMENT. USE. ENJOYMENT OR OCCUPANCY OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ODORS, AIRCRAFT NOISE, VIBRATION, FUMES, FUEL PARTICLES, EXHAUST, AND THE OPERATION AND PASSAGE OF AIRCRAFT ABOVE OR NEAR THE PROPERTY INDIVIDUAL SENSITIVITIES TO THE POTENTIAL CENTENNIAL AIRPORT IMPACTS CAN VARY FROM PERSON TO PERSON, AND POTENTIAL AIRPORT IMPACTS CAN VARY FROM LOCATION TO LOCATION WITHIN THE PROPERTY AND FROM TIME TO TIME, RECORDS AND INFORMATION CONCERNING CENTENNIAL AIRPORT AND POTENTIAL AIRPORT IMPACTS ARE PUBLICLY AVAILABLE THROUGH VARIOUS FEDERAL, STATE, AND LOCAL GOVERNMENTAL AGENCIES, INCLUDING CENTENNIAL AIRPORT. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS ARE SOLELY RESPONSIBLE FOR EVALUATING AND DETERMINING WHETHER THE AIRPORT IMPACTS, IF ANY, ARE ACCEPTABLE TO THEM.
- 9. IT SHALL BE THE RESPONSIBILITY OF THE OWNER (OR RESPONSIBLE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED BY MAINTENANCE AGREEMENTS) TO MAINTAIN ALL PLAYGROUND EQUIPMENT AND PARK INFRASTRUCTURE ON THE PROPERTY IN A STATE OF GOOD REPAIR IN CONFORMANCE WITH ALL APPLICABLE BUILDING AND SAFETY REGULATIONS.
- 10. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY. NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LONE TREE, DOUGLAS COUNTY, COLORADO COMMUNITY PANEL NUMBER [INSERT APPLICABLE PANEL NUMBER], DATED [INSERT EFFECTIVE DATE], THE SUBJECT PROPERTY LIES WITHIN ZONE [INSERT APPLICABLE "AREAS DETERMINED TO BE INSIDE/OUTSIDE OF THE [INSERT PERCENTAGE]% ANNUAL CHANCE FLOOD."
- 11. DEVELOPER IS RESPONSIBLE FOR INSTALLING PARKING SIGNS THAT:
- A. RESTRICT THE SURFACE PARKING LOT TO ACCESSIBLE, CUSTOMER AND PROSPECTIVE TENANT PARKING, AND LOADING/DELIVERIES; AND
- B. PROHIBIT RESIDENTIAL VISITOR PARKING. ALL TENANT, VISITOR AND EMPLOYEE PARKING MUST BE RESTRICTED TO THE PARKING STRUCTURE.
- 12. THIS PROPERTY IS WITHIN A WILDFIRE RISK AREA. WILDFIRE RISK CAN VARY FROM LOCATION TO LOCATION WITHIN THE PROPERTY AND FROM TIME TO TIME, INFORMATION CONCERNING WILDFIRE RISK IS PUBLICLY AVAILABLE THROUGH VARIOUS FEDERAL, STATE, AND LOCAL GOVERNMENTAL AGENCIES, INCLUDING THE COLORADO STATE FOREST SERVICE. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS ARE SOLELY RESPONSIBLE FOR EVALUATING AND DETERMINING WHETHER THE WILDFIRE RISKS, IF ANY, ARE ACCEPTABLE TO THEM.
- 13. ARTWORK MUST BE MAINTAINED PER THE APPROVED SIP. ANY FADING, CHIPPING, OR DAMAGE SHALL BE REPAIRED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE. ANY FUTURE REMOVAL OR ALTERATION OF ARTWORK, AS APPROVED BY THIS SIP MAY WARRANT AN SIP AMENDMENT AND SUBSEQUENT APPROVAL BY THE CITY OF LONE TREE.

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP

SHEET	INDEX
1	COVER SHEET
2	OVERALL SITE PLAN
3	MASTER LANDSCAPE PLAN
4	LANDSCAPE NOTES AND DETAILS
5	LANDSCAPE PLAN
6	LANDSCAPE PLAN
7	LANDSCAPE PLAN
8	LANDSCAPE PLAN
9	LANDSCAPE PLAN
10	LANDSCAPE PLAN
11	IRRIGATION PLAN
12	IRRIGATION PLAN
13	IRRIGATION PLAN
14	IRRIGATION PLAN
15	IRRIGATION PLAN
16	IRRIGATION PLAN
17	GRADING PLAN
18	OVERALL UTILITY PLAN
19	MASTER SITE FURNISHINGS PLAN
20	SITE FURNISHINGS PLAN
21	SITE FURNISHINGS PLAN
22	SITE DETAILS
23	SITE DETAILS
24	SITE LIGHTING PHOTOMETRIC
25	SITE LIGHTING DETAILS
26	BUILDING ELEVATIONS
27	BUILDING ELEVATIONS
28	BUILDING ELEVATIONS
29	BUILDING LAYOUT EXHIBIT
30	RENDERINGS AND PHOT O SIMULATIONS
31	RENDERINGS AND PHOT O SIMULATIONS
32	RENDERINGS AND PHOT O SIMULATIONS

ITEM	SQUARE FOOTAGE			% OF GROSS SITE
GROSS SITE AREA	515,3	314.00		100%
BUIDLING FOOTPRINT	112,6	612.00		22%
PARKING/ROADS	134,6	675.00		26%
LANDSCAPED AREA	141,7	28.00		28%
NAT URAL AREAS	63,0	88.00		12%
HARDSCAPE AREA	63,2	11.00		12%
BUIDLING SIZE				
BUILDING TYPE 1				
MAXIMUM HEIGHT	40.50'			
TOTAL FLOOR AREA	14,372 SF			
BUILDING TYPE 2				
MAXIMUM HEIGHT	42			
TOTAL FLOOR AREA	16,918 SF			
PARKING				
LOCATION		QUANTITY		
	RESIDENTIAL	IAL GUEST		TOTALS
CONDOS - 190 UNITS				
REQUIRED	380	48		428
REQUIREMENT: 2 PER UNIT AND 0.25 GUE	TPER UNIT			
PROVIDED				
GARAGE	180	0		180
DRIVEWAY	114	0		114
OFF STREET	86	12	25%	98
ONSTREET	0	36 75%		36
TOTAL	380	48		428
REQUIREMENT: 0.25 GUEST PER UNIT			. '	
BICYCLE PARKING				
REQUIRED	8.56		-	
PROMDED	10.00		-	

REQUIREMENT: 2% OF THE TOTAL NUMBER OF AUTOMOBILE PARKING SPACES PROVIDED BY THE DEVELOPMENT, BUT NOT LESS THAN ONE

OWNER 9878 SCHWAB WAY SUITE 415 LONE TREE, CO 80124

DEVELOPER LOKAL HOMES 8310 S. VALLEY HIGHWAY SUITE 115 ENGLEWOOD, CO 80112 TOMMY PUCCIANO P. 720.234.4728

ARCHITECT LOKAL STUDIOS 8310 S. VALLEY HIGHWAY SUITE 115 ENGLEWOOD, CO 80112

THIS SIP HA REGULATION BY∙

BY:

TITLE: MAYOR

THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVED SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S)'(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT. INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.

(NAME OF OWNER)

SCALE: 1"=2000'

NORTH

(PRINTED NAME AND TITLE)

STATE OF

COUNTY OF

WITNESS MY HAND AND OFFICIAL SEAL MY COMMISSION EXPIRES:

NOTARY PUBLIC

PROJECT DIRECTORY

RIDGEGATE INVESTMENTS. INC.

CIVIL ENGINEER JR ENGINEERING. LLC 7200 S. ALTON WAY SUITE C400 CENTENNIAL, CO 80112 KURTIS WILLIAMS 303.740.9393

LANDSCAPE ARCHITECT PCS GROUP P.O. BOX 18287 **DENVER, CO 80218** PAUL SHOUKAS 303.531.4905

APPROVAL CERTIFICATE

AS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH C	
NS, AS APPROVED BY THE CITY ON (DATE).	

(PRINTED NAME)

(DATE) (SIGNATURE) TITLE: COMMUNITY DEVELOPMENT DIRECTOR

(PRINTED NAME)

(SIGNATURE) (DATE) TITLE: DIRECTOR OF PUBLIC WORKS (OR HIS/HER DESIGNATED REPRESENTATIVE)

(PRINTED NAME)

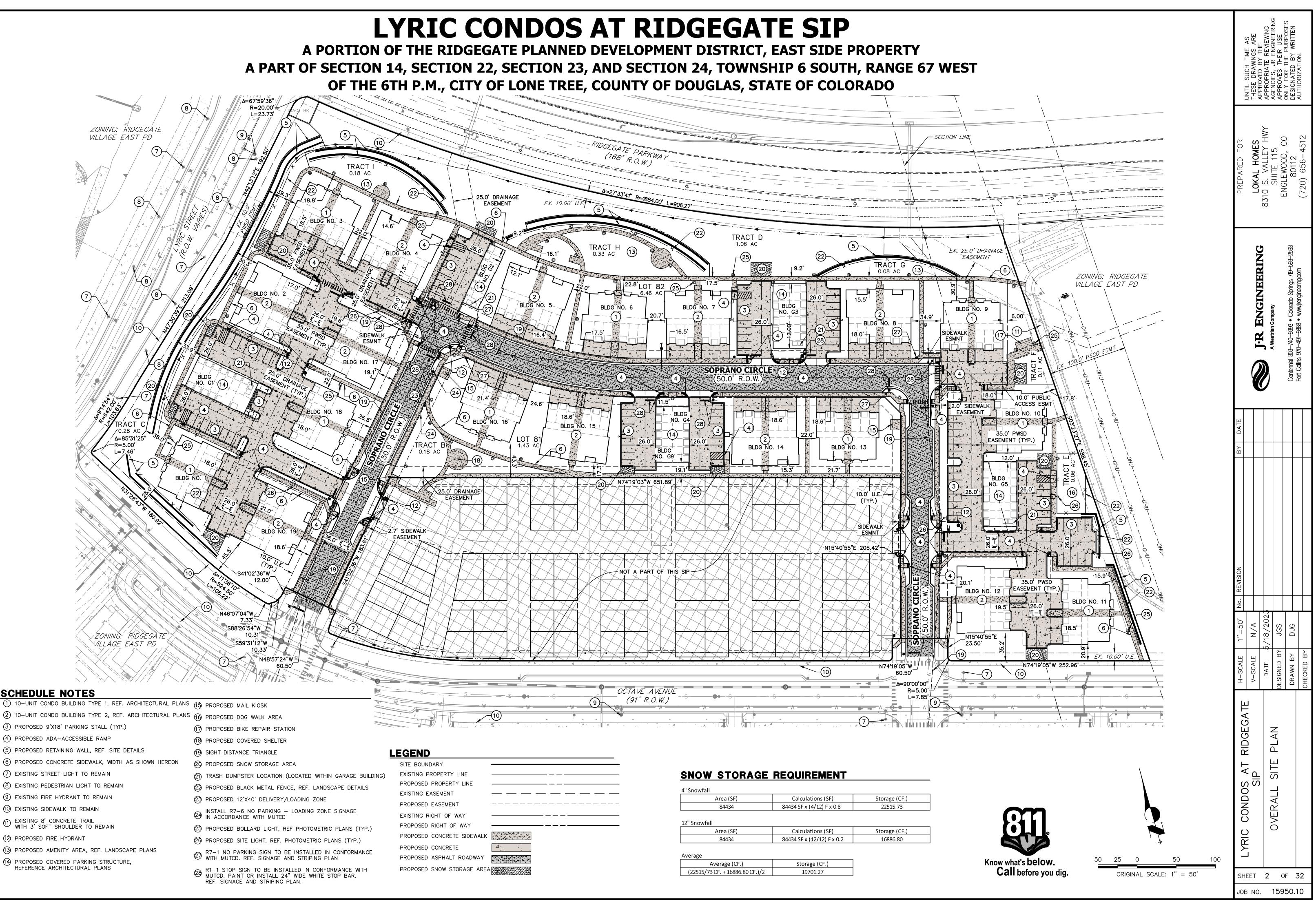
(SIGNATURE) (DATE)

(SIGNATURE OF OWNER)

) SS

SUBSCRIBED AND SWORN TO BEFORE ME THIS DAY OF , 20 , BY

- No. REVISION BY DATE - 1 CITY COMMENTS 01/06/23 - 2 CITY COMMENTS 03/03/23)/13/22 3 CITY COMMENTS 8310 S. VALLEY HWY PMS 05/18/23 people 8310 S. VALLEY HWY PMS 5 CITY COMMENTS 05/18/23 PMS 8310 S. VALLEY HWY SUITE 115 PMS Post 1282 B0112 PMS Post 13287 80112 PMS Post 13287 80112 PMS Post 13287 80112 PMS Post 130314908 720-656-4512	No. REVISION 1 CITY COMMENTS 2 CITY COMMENTS 2 O1/06/23 3 CITY COMMENTS 1 O5/18/23 1 D5/18/23 1 D5/18/23 1 D5/18/23 1 D5/18/23		UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES JA ENGINEERING APPROVES THEIR USE	ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN	AUTHORIZATION.
No. REVISION BY DATE 1 CITY COMMENTS 01/06/23 01/06/23 2 CITY COMMENTS 03/03/23 03/03/23 22 3 CITY COMMENTS 05/18/23 2 CITY COMMENTS 05/18/23 05/18/23	RIDGEGATE H-SCALE No. REVISION BY DATE V-SCALE - 1 CITY COMMENTS BY DATE V-SCALE - 2 CITY COMMENTS D 01/06/23 DATE 10/13/22 3 CITY COMMENTS 03/03/23 DATE 10/13/22 3 CITY COMMENTS 05/18/23 DRAWN BY PCS - 05/18/23 05/18/23 CHECKED BY PMS - - 05/18/23	PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY Olite Jer	FNCI EWOOD CO	60112 × 20	720-656-4512
No. REVISION BY DATE 1 CITY COMMENTS 01/06/23 01/06/23 2 CITY COMMENTS 03/03/23 03/03/23 22 3 CITY COMMENTS 05/18/23 2 CITY COMMENTS 05/18/23 05/18/23	RIDGEGATE H-SCALE No. REVISION BY DATE V-SCALE - 1 CITY COMMENTS BY DATE V-SCALE - 2 CITY COMMENTS D 01/06/23 DATE 10/13/22 3 CITY COMMENTS 03/03/23 DATE 10/13/22 3 CITY COMMENTS 05/18/23 DRAWN BY PCS - 05/18/23 05/18/23 CHECKED BY PMS - - 05/18/23		○ ●(200			b.o. box 18287 p.o. box 18287 denver, co 80218	t 303.531.4905 . f 303.531.4908
 No. REVISION 1 CITY COMMENTS 2 CITY COMMENTS 1/13/22 3 CITY COMMENTS PMS PMS PMS 	RIDGEGATE H-SCALE v-scale date date designed by drawn by drawn by checked by		01/06/23	03/03/23	05/18/23			
	RIDGEGATE H-SCALE v-scale date date designed by drawn by drawn by drawn by	- No. REVISION	1 CITY COMMENTS	2 CITY COMMENTS	1/13/22 3 CITY COMMENTS	PMS	PCS	PMS
1	1							

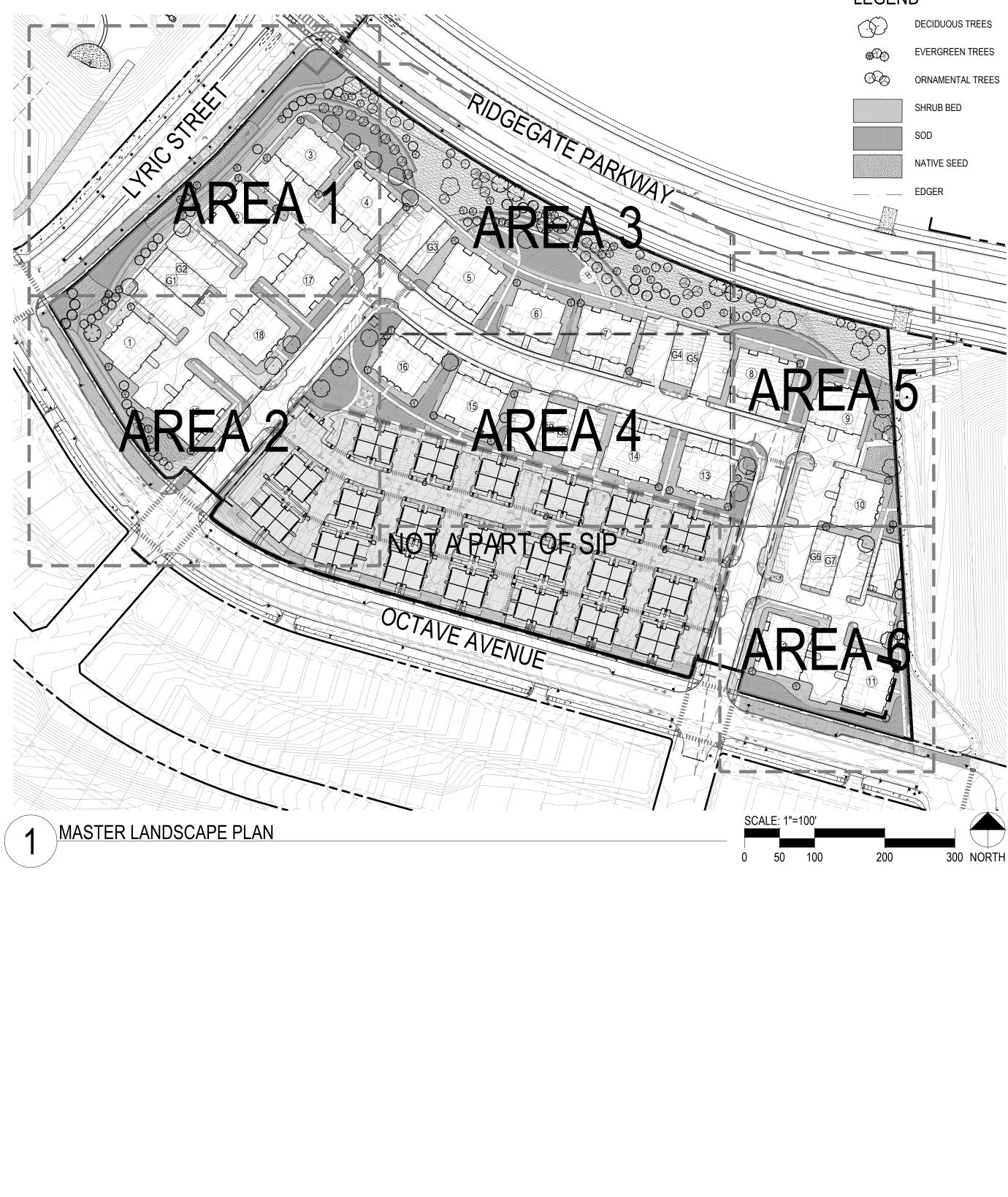


SCHEDULE NOTES

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<u> </u>	S S		OCTAVE AVE	NUE				
		(9)) (91' R.O.W	.)				
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N	D

Area (SF)	Calculations (SF)	Storage (CF.)
84434	84434 SF x (4/12) F x 0.8	22515.73
12" Snowfall		
Area (SF)	Calculations (SF)	Storage (CF.)
84434	84434 SF x (12/12) F x 0.2	16886.80
Average		
Average (CF.)	Storage (CF.)	
(22515/73 CF. + 16886.80 CF.)/2	19701.27	
		-



A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

CODE	QTY	BOT ANICAL NAME	COMMON NAME	SIZE	NOTES
CANOPYTF	REE				•
CS	7	CATALPA SPECIOSA	NORTHERN CATALPA	2"CAL	B&B
CO	5	CELT IS OCCIDENT ALIS	COMMON HACKBERRY	2"CAL	B&B
GK	8	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	2"CAL	B&B
UP	7	ULMUS X `PIONEER`	PIONEER ELM	2"CAL	B&B
ZS	6	ZELKOVA SERRATA	JAPANESE ZELKOVA	2"CAL	B&B
VERGREE	N TREE				
AC2	22	ABIES CONCOLOR	WHITEFIR	6` HT	B&B
PD3	35	PICEA GLAUCA `DENSATA`	BLACK HILLS SPRUCE	6` HT	B&B
PP2	39	PINUS EDULIS	PINON PINE	6` HT	B&B
PD4	29	PSEUDOTSUGAMENZIESII	DOUGLAS FIR	6` HT	B&B
ORNAMENT	AL TREE				
AG	5	ACER TATARICUM `GARANN`	HOT WINGS TATARIAN MAPLE	2"CAL	B&B
CP	9	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	2"CAL	B&B
MS	11	MALUS X `SNOWDRIFT`	SNOWDRIFT CRAB APPLE	2"CAL	B&B
MR	9	MALUS X 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2"CAL	B&B
PC	14	PRUNUS VIRGINIANA `CANADA RED`	CANADA RED CHOKECHERRY	2"CAL	B&B
QC	4	QUERCUS ROBUR X ALBA `CRIMSON SPIRE`	CRIMSON SPIRE OAK	2"CAL	B&B
ECIDUOU	S SHRUB				
BA	32	BERBERIS THUNBERGII `ATROPURPUREA`	RED LEAF JAPANESE BARBERRY	5 (GAL
CC	120	CARYOPTERIS X CLANDONENSIS `BLUE MIST`	BLUE MIST SHRUB	5 (GAL
CI	97	CORNUS SERICEA 'IVORY HALO'	VARIEGATED REDTWIG DOGWOOD	5 (GAL
FA	78	FORSYTHIAX INTERMEDIA `ARNOLD`S DWARF`	DWARF FORSYTHIA	5 (GAL
HA	43	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	5 (GAL
HF	45	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST HYPERICUM	5 (GAL
PM	31	PHYSOCARPUS MONOGYNUS	MOUNT AIN NINEBARK	5 (GAL
PO	84	PHYSOCARPUS OPULIFOLIUS `DART `S GOLD`	YELLOW NINEBARK	5 (GAL
PP2	96	PRUNUS BESSEYI `PAWNEE BUTTES`	CREEPING WESTERN SAND CHERRY	5 (GAL
RG	35	RHUS AROMATICA `GRO-LOW`	GRO-LOW FRAGRANT SUMAC	5 (GAL
RT	68	RHUS TRILOBATA	SKUNKBUSH SUMAC	5 (GAL
SF	92	SPIRAEA JAPONICA `NEON FLASH`	NEON FLASH SPIREA	5 (GAL
SN	78	SPIRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 (GAL
SM2	167	SYRINGA PAT ULA `MISS KIM`	MISS KIM LILAC	5 (GAL
SC	83	SYRINGA VULGARIS `CHARLES JOLY`	CHARLES JOLY LILAC	5 (GAL
VC	75	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	5 (GAL
VB	71	VIBURNUM DENTATUM `CHRISTORS`	BLUE MUFFIN ARROWWOOD	5 (GAL
VB2	59	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	5 (GAL
VERGREE	N SHRUB				
AC	41	ARCTOSTAPHYLOS X COLORADENSIS 'CHIEFTAIN'	CHIEFTAIN MOCK BEARBERRY MANZANITA	5 (GAL
CC2	72	COTONEASTER APICULATUS	CRANBERRYCOTONEASTER	5 (GAL
CD2	57	COTONEASTER DIVARICATUS	SPREADING COTONEASTER	5 (GAL
СТ	102	COTONEASTER HORIZONTALIS `TOM THUMB`	TOM THUMB COTONEASTER	5 (GAL
EE	49	EPHEDRAEQUISET INA	BLUESTEM JOINT FIR	5 (GAL
EM	71	EUONYMUS FORTUNEI 'MOONSHADOW'	MOONSHADOW EUONYMUS	5 (GAL
EC3	85	EUONYMUS FORTUNEI 'CANADALE GOLD'	CANADALE GOLD WINTERCREEPER	5 (GAL
EG	120	EUONYMUS FORTUNEI 'EMERALD GAIET Y'	EMERALD GAIETY WINTERCREEPER	5 (GAL
EK	64	EUONYMUS KIAUT SCHOVICUS `MANHAT T AN`	MANHATTAN EUONYMUS	5 (GAL
MA	71	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 (GAL
PC3	111	PINUS MUGO `SLOWMOUND'	SLOWMOUND MUGO PINE	5 (GAL
PB3	58	PINUS MUGO 'BIG TUNA'	BIG TUNAMUGO PINE	5 (GAL
PH3	38	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	HILLSIDE CREEPER SCOT CH PINE	5 (GAL
PA	46	PYRACANT HA ANGUST IFOLIA `GNOZAM GNOME`	GNOME PYRACANT HA	5 (GAL
TD	40	TAXUS X MEDIA `DENSIFORMIS`	DENSE YEW	5 (GAL
RNAMENT	AL GRASS				
BB	59	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1(GAL
СК	138	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER`	FEAT HER REED GRASS	1(GAL
CA	32	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE'	AVALANCHE FEATHER REED GRASS		GAL
CL	40	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS		GAL
HS2	56	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS		GAL
PD	76	PANICUM VIRGATUM `DALLAS BLUES` TM	DALLAS BLUES SWITCH GRASS		GAL
SS2	53	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM		GAL
ERENNIAL					
EC	158	EUONYMUS FORTUNEI `COLORATA`	PURPLE-LEAF WINTER CREEPER	⊿"⊑	ют
SOD	59,703 SF		80/20 FESCUE/BLUEGRASS MIX		
SEED	63,088 SF		LOW GROW		
MULCH	82,025 SF		SHREDDED CEDAR	1" "	EPTH
	02,020 05			4 U	1
	•				

NATIVE SEED MIX

LOW GROW MIX FROM ARKANSAS VALLEY SEED, INC. 4300 MONACO ST. DENVER, CO 80216 WWW.AVSEEDS.COM P: 303.320.7500

30% EPHRAIM CRESTED WHEATGRASS 25% SHEEP FESCUE 20% PERENNIAL RYE 15% CHEWINGS FESCUE

APPLICATION RATE: FOR NEW SEEDING, BROADCAST AT 20-25 LBS / ACRE DRILL AT 15-20 LBS / ACRE

(H-SCALE – No. REVISION	BY DATE		PREPARED FOR	
TRIC CUNDUS AL RIUGEGAIE	V SCALE 1 CITY COMMENTS	01/06/23			UNTIL SUCH TIME AS
	V-3CALE - 2 CITY COMMENTS	03/03/23		LOKAL HOMES	APPROVED BY THE
	DATE 10/13/22 3 CITY COMMENTS	05/18/23	people	8310 S. VALLEY HWY Olite 225	APPROPRIATE REVIEW
ASIER LANUSCAPE FLAN	DESIGNED BY PMS			ENCLEMOOD CO	APPROVES, UN ENGINEERING APPROVES THEIR USE
	DRAWN BY PCS		pcs group mer, www.pcsgroupco.com p.o. box 18287 denver, co 80218	EINSEL WOUD, CO 80112	ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN
	CHECKED BY PMS		t 303.531.4905 . f 303.531.4908	720-656-4512	AUTHORIZATION.

FOR DAMAGED ROOTBALLS

OF EACH TREE

SPACE GUY ASSEMBLIES

PER DIAGRAM FOR WIND

STABILITY AGAINST

PREVAILING WIND.

NORTH

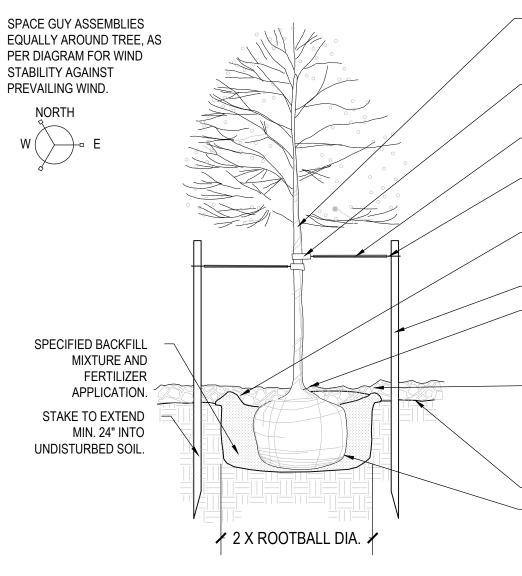
EQUALLY AROUND TREE, AS

SUBGRADE

NOTES

NOTES:

- 1. ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED
- REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS
- 3. STREET TREES ARE TO BE LIMBED UP TO 8'. PRUNING SHALL OCCUR IN THE APPROPRIATE MANNER AT THE NURSERY. SUBSTANTIAL PRUNING WILL NOT BE ALLOWED ON-SITE.



WATER RING - INSTALL AT END OF PLANTING, REMOVE PRIOR TO SODDING OR IRRIGATED SEEDING. 6' PINE POST 2" O.D. (4' EXPOSED) PLANT ROOTBALL 3" HIGHER THAN WHICH IT GREW (IN IRRIGATED AREAS) IN NON-IRRIGATED AREAS PLANT TREE AT SPECIFIED BACKFILL GRADE WHICH IT GREW. MIXTURE AND FERTILIZER APPLY SPECIFIED MULCH 3" DEEP TO THE APPLICATION OUTSIDE EDGE OF SAUCER UPON PLANTING APPLY RING OF BARK MULCH 3" DEEP UPON COMPLETION OF SEEDING OR SODDING. IN THEOLE SHOULD OPEN SPACE AND PARKS MULCH TO BE 4 DEEPROUGHENED AND 36" DIA RING.

FINISHED GRADE CUT AND REMOVE BURLAP FROM TOP AND SIDES OF ROOTBALL REMOVE ALL WIRES AND NYLON TIES FROM TOP ²/₃ OF ROOTBALL

WRAP ENTIRE SURFACE OF TRUNK

SPECIFIED TREE WRAP MATERIAL

RUBBER HOSE (1/2" DIA.) OR 12"

1/2" DIAM. X 24" LONG PVC PIPE

12 GUAGE GALVANIZED WIRE

DOUBLE STRAND TWISTED.

MINIMUM 3 GUYS PER TREE

SECTION ON EACH WIRE.

NYLON TREE STRAP ON GUY WIRE

TO SECOND BRANCH WITH

AND SECURE.

TO PROTECT TREE

DECIDUOUS TREE PLANTING Scale: NTS

LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- 2. PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, WHICH ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT. 3. GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES, (IN THE EVENT OF A
- DISCREPANCY BETWEEN THE PLAN GRAPHIC AND LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.) 4. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY
- THE OWNER, OR LANDSCAPE ARCHITECT. 5. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY THE OWNER OR
- LANDSCAPE ARCHITECT. 6. WINTER PROTECTION AND WATERING OF TREES SHALL BE PROVIDED WHEN NECESSARY TO MAINTAIN THE HEALTH AND SURVIVAL OF PLANT MATERIAL.
- 7. SOD TO BE DROUGHT TOLERANT 80/20 FESCUE AND BLUEGRASS MIX AND COME FROM A SINGLE GROWFR
- 8. ALL SHRUB BEDS SHALL RECEIVE WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC
- 9. ALL WOOD MULCH TO BE SHREDDED BROWN GORILLA HAIR MULCH.
- 10. ALL TREE RINGS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC. 11. FOR TREES IN SOD OR NATIVE GRASS, ALLOW A 6' DIAMETER BED WITHOUT SOD AROUND ROOT
- COLLAR. APPLY 3" DEPTH OF WOOD MULCH OVER 2' DIAMETER BED FOLLOWING SOD INSTALLATION. 12. ALL SHRUB AND SOD AREAS SHALL BE AMENDED PER SOILS TEXT RESULTS.
- 13. PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- 14. PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
- 15. PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL. WITHOUT FURTHER PACKING, A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.
- 16. AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (3" HIGHER FOR TREES.)
- 17. LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.
- 18. LANDSCAPE MAINTENANCE AND REPLACEMENT: THE PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPING PLAN AS ORIGINALLY APPROVED, AND PROVIDE FOR REPLACEMENT OF PLANT MATERIALS THAT HAVE DIED OR HAVE OTHERWISE BEEN DAMAGED OR REMOVED, AND MAINTENANCE OF ALL NON-LIVE LANDSCAPING MATERIALS. IN THIS CASE, LIVE MATERIAL IS TO BE MAINTAINED AND REPLACED BY THE CONTRACTOR WHICH SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.
- 19. ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
- 20. THE CONTRACTOR SHALL STAKE OUT ALL KEY AREAS INCLUDING BUT NOT LIMITED TO SIDE WALKS, STEEL EDGING, PLANT BEDS, TREE AND SHRUB LOCATIONS AND OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT OR DEVELOPER (MAKING MODIFICATIONS AS MAY BE REQUIRED AT NO ADDITIONAL COST), PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
- 21. SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL, AND 1/3 ON-SITE SOIL.
- 22. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND BASE HIS BID ON ACTUAL ON-SITE CONDITIONS AND MEASUREMENTS. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTICE.

23. THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE DUE TO HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL STATE AT HIS EXPENSE

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24. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPING AND SCREENING MAY B REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

Scale: NTS

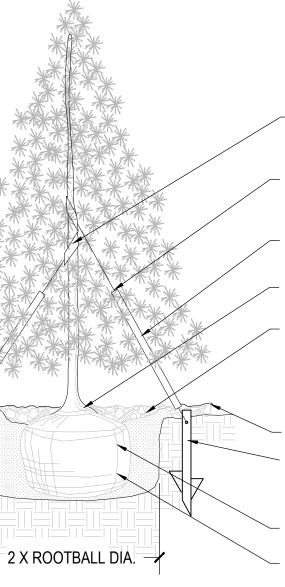
- 25. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGEOF MATERIALS / DEBRIS / EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITES, INSTALLATION OF SITE IMPROVEMENTS, AND / OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES.
- 26. ALL EXISTING GRADES WITHIN TREE PROTECTION ZONES (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES.
- 27. ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE. INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT
- SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION. 28. ALL MULCH AND/OR ROCK MULCH SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. 29. ROCK MULCH TO BE INSTALLED AT A MINIMUM DEPTH OF 3" WITH AN APPROVED LANDSCAPE
- FABRIC. 30. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS.
- 1. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED. 32. ALL SOILS FOR GENERAL LANDSCAPING AREAS OR ON WHICH ANY COOL-SEASON LAWN, TURF OR SOD IS TO BE INSTALLED MUST BE PROPERLY AMENDED WITH ORGANIC MATTER SUCH AS COMPOST AND AGED MANURE. A MINIMUM OF FOUR (4) CUBIC YARDS OF COMPOST PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SOIL SHOULD BE INCORPORATED TO A DEPTH OF AT LEAST FOUR (4) TO SIX (6) INCHES BY ROTOTILLING OR OTHER SUITABLE MEASURE. SOIL AMENDMENTS FOR NATIVE PLANTS AND GRASSES ARE NOT REQUIRED. STRUCTURED SOILS THAT INCLUDE ROCK AND SAND TO REDUCE COMPACTION AND INCREASE POROSITY FOR ROOT GROWTH MAY BE REQUIRED WHERE TREE GRATES ARE PROPOSED.

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE

TREES PLANTED WITHIN DRAIN STRIP OR SCREE AREA SHALL HAVE 3'-0" DIAMETER RING OF MULCH 5" DEEP AT THE BASE



* USE ONLY ON TREES 8' OR TALLER RUBBER HOSE (1/2" DIA.) OR 12"

DO NOT CUT OR DAMAGE LEADER

NYLON TREE STRAP ON GUY WIRE TO PROTECT TREE

#12 GALVANIZED WIRE TWISTED DOUBLE STRAND. MIN. 3 GUY WIRES PER TREE.

1/2" DIA. X 36" LONG WHITE PVC PIPE ON EACH GUY WIRE

SET ROOTBALL 3" HIGHER THAN GRADE AT WHICH TREE GREW.

APPLY SPECIFIED MULCH 3" DEEP TO THE OUTSIDE EDGE OF SAUCER UPON PLANTING APPLY 18-24" RING OF BARK MULCH 3" DEEP UPON COMPLETION OF SEEDING OR SODDING IN THE OPEN SPACE AND PARKS MULCH TO BE 4" DEEP AND 36" DIA. FINISHED GRADE

30" METAL "T" STAKE. DRIVE VERTICALLY INTO UNDISTURBED SOIL, FLUSH W/GRADE

REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL REMOVE WIRE COMPLETELY FROM UPPER 2/3 OF ROOTBAL

NOTES

1. ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NO BE AN EXCUSE FOR DAMAGED ROOTBALLS 2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB.

3. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF

MULCH LAYER 4. SHRUBS PLANTED WITHIN THE DRAIN STRIP OR SCREE AREAS SHALL HAVE A 12" DIAMETER RING OF MULCH AT THE BASE OF EACH SHRUB

5. PLANT ALL SHRUBS AND ANDD MULCH RING PRIOR TO PLACING ROCK ANY BROKEN OR **CRUMBLING ROOTBALL** WILL BE REJECTED COMPACTED BACKFILL MIX SPECIFIED BACKFILL MIXTURE AND FERTILIZER APPLICATION-

SHRUB PLANTING

Scale: NTS

PRUNE ALL DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING DIG PLANT PIT TWICE AS

WIDE AS THE ROOTBALL APPLY SPECIFIED MULCH 3" DEEP OVER SPECIFIED WEED MAT.

FINISHED GRADE LOOSEN SIDES OF PLANT PIT AND ROOTBALL

EVERGREEN TREE PLANTING

- 1. SEE PLAN FOR: AREAS OF SEEDING AND MULCHING
 - TYPE OF SEED

SEEDING AND MULCHING INSTALLATION NOTES

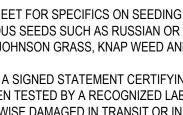
• SEE LANDSCAPE SCHEDULE AND DETAILS SHEET FOR SPECIFICS ON SEEDING MIX. ALL SEED MIXES SHALL BE FREE FROM SUCH NOXIOUS SEEDS SUCH AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAP WEED AND LEAFY SPURGE.

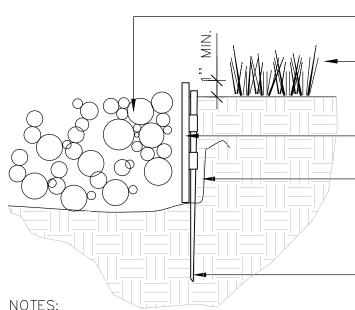
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- THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE.
- IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE CONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
- 5. THE FORMULA USED FOR DETERMINING THE QUANTITY OF PURE LIVE SEED(PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS). SEED MIXES AS SPECIFIED IN THESE PLANS SHALL BE USED UNLESS AUTHORIZED AND
- APPROVED BY LANDSCAPE ARCHITECT, OWNERS REPRESENTATIVE. 7. ALL AREAS TO BE SEEDED AND MULCHED SHALL HAVE NATIVE TOPSOIL OR APPROVED SOIL AMENDMENTS SPREAD TO A DEPTH OF AT LEAST 6 INCHES (LOOSE DEPTH). ALL DISTURBED
- AREAS SHALL BE LOOSENED TO A DEPTH OF 6 INCHES PRIOR TO SPREADING TOPSOIL. SOIL IS TO BE THOROUGHLY LOOSENED (TILLED) TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO SEEDING. THE TOP 6 INCHES OF THE SEED BED SHALL BE GENERALLY FREE OF ROCKS GREATER THAN 4" AND SOIL CLODS GREATER THAN 2 INCHES. SEEDING OVER COMPACTED AREAS THAT HAVE NOT BEEN THOROUGHLY LOOSENED SHALL BE REJECTED.
- SEED IS TO BE APPLIED USING A MECHANICAL DRILL SEEDER TO A DEPTH OF 1/4 INCH. ROW SPACING SHALL BE NO GREATER THAN 6 INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF LONG-STEMMED STRAW. AT LEAST 50 PERCENT OF THE MULCH, BY WEIGHT, SHALL BE AS LONG AS POSSIBLE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 4 INCHES. MULCH SHALL BE APPLIED AT A RATE OF 2000 LB. PER ACRE. 10. SEED IS TO BE UNIFORMLY BROADCAST AT TWO TIMES THE DRILL RATE, THEN LIGHTLY
- HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 1/4 INCH, THEN ROLLED TO COMPACT, THEN MUCH AS SPECIFIED ABOVE. WHEN SEEDING AND MULCHING IS USED TO STABILIZE DISTURBED AREAS, ALL DISTURBED
- AREAS WHICH ARE EITHER FINAL GRADED, OR WILL REMAIN INACTIVE FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE REQUIRED TO BE STABILIZED WITHIN 14 DAYS OF THE COMPLETION OF GRADING ACTIVITIES. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS OF SEEDING AND MULCHING.
- MULCH SHALL BE APPLIED WITHIN 24 HOURS OF SEEDING. TACKIFIER SHALL BE UTILIZED TO HELP WITH STRAW DISPLACEMENT.
- HYDRAULIC SEEDING IS NOT AN ACCEPTABLE METHOD OF SEEDING.
- HYDROMULCH MAY BE USED FOR LIMITED APPLICATION (STEP SLOPES) 16. REFER TO THE GESC MANUAL FOR THIS PROJECT FOR FURTHER DETAILS AND NOTES.
- SEEDING AND MULCHING MAINTENANCE NOTES:
- 1. SEEDED AND MULCHED AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY UNTIL FINAL ACCEPTANCE IS ISSUED. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST GROWING SEASON FOR ANY AREAS THAT ARE FAILING TO
- MEET REQUIRED COVERAGE. 2. REQUIRED COVERAGE FOR STANDARD, OPEN SPACE, AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:
- a. 70% OF THE EXISTING / PRE-CONSTRUCTION CONDITION b. FREE OF ERODED AREAS
- c. FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH THE GESC CRITERIA
- MANUAL (SEE CIVIL). RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY SEMSWA.

SEEDING ESTABLISHMENT NOTES

- SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE. RULES AND REGULATIONS AND FEDERAL SEED ACT. SEED SHALL BE EQUAL IN QUALITY TO THE STANDARDS FOR "CERTIFIED SEED" AND SHALL BE FURNISHED IN SEALED, UNOPENED, STANDARD CONTAINERS. SEED SHALL BE FRESH, CLEAN, PURE LIVE SEED WITH THE VARIETIES MIXED IN PROPORTIONS BY WEIGHT SHOWN AND MEETING THE MINIMUM PERCENTAGES OF PURITY AND GERMINATION SPECIFIED.
- 2) SEED SHALL BE APPLIED AT A RATE SHOWN BY MIX. SEED SHALL PASS GOVERNMENT TEST OF GERMINATION OF EIGHTY PERCENT (80%) AND FOR PURITY OF NINETY PERCENT (90%). THE PURE LIVE SEED SHALL NOT BE LESS THAN SIXTY SEVEN ON ONE-HALF PERCENT (67.5%) FOR ANY ONE VARIETY, WITH THE AVERAGE OF THE MIXTURE, NO LESS THAN SEVENTY TWO PERCENT (72%). ALL SEED SHALL BE FREE OF POA ANNUA AND ALL NOXIOUS OBJECTIONABLE WEEDS WITH A MAXIMUM CROP OF ONE-TENTH PERCENT (0.1%) AND MAXIMUM WEED OF ONE TENTH PERCENT (0.1%). IF SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE CONTRACTOR MUST COMPENSATE BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
- 3) SPREAD ORGANIC SOIL AMENDMENT MATERIALS, AT A RATE OF 3 C.Y. PER 1000 SQUARE FEET, EVENLY OVER ENTIRE DISTURBED AREA AND THOROUGHLY INCORPORATE, BY MIXING, ROTOTILLING OR FINELY DISKING (MAX. 1" SIZE), TO A DEPTH OF SIX INCHES. ALL STONES, STICKS AND DEBRIS BROUGHT TO THE SURFACE SHALL BE REMOVED FROM THE SITE PROPERLY DISPOSED OF BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER, ALL SEED AREAS WILL THEN BE RAKED AND ROLLED TO THE DESIRED FINISHED GRADES WITH GENTLY SLOPING SURFACES TO ADEQUATELY DRAIN ALL SURFACE WATER RUNOFF. THE FINISHED SURFACE SHALL BE EVEN AND UNIFORM AND NO DIRT CLODS LARGER THAN ONE INCH (1") IN DIAMETER SHALL APPEAR ON THE SURFACE. THE SOIL SURFACE SHALL BE SMOOTH, LOOSE AND OF FINE TEXTURE, AND BE FLUSH WITH ALL PAVING EDGES.
- 4) CONTRACTOR SHALL USE APPROPRIATE MECHANICAL POWER (BRILLION SEEDER OR EQUAL) TO DRILL THE SEED INTO THE SEEDBED WHEREVER POSSIBLE. SEED SHALL BE SOWN TO A DEPTH OF ONE-HALF INCH (1/2"). DRILLING SHALL BE DONE IN 2 SEPARATE APPLICATIONS CROSSING THE AREA AT RIGHT ANGLES TO ONE ANOTHER TO GUARANTEE PROPER COVERAGE. ON SLOPING LAND, SEEDING OPERATIONS SHALL FOLLOW THE GENERAL CONTOUR. AREAS TOO SMALL TO DRILL SEED MAY BE BROADCAST BY HAND AND APPLICATION RATES SHALL BE DOUBLED. SEEDING OF ANY KIND WILL NOT BE PERMITTED WHEN WIND VELOCITY IS SUCH AS TO PREVENT UNIFORM SEED DISTRIBUTION. NO APPLICATION SHALL TAKE PLACE WITH THE PRESENCE OF FREE SURFACE WATER OR WHEN GROUND IS FROZEN OR CANNOT BE TILLED. ADDITIONAL TOPICAL OVER SEEDING MAY BE APPLIED TO PREVIOUSLY SEEDED AREAS IN ORDER TO ACHIEVE ADEQUATE GROUND COVER AND EROSION RESISTANCE.
- 5) MULCH WILL BE HYDRO MULCH. HYDRO MULCH SHALL BE CONWED 200 AND TACKIFIER OR APPROVED SUBSTITUTE MEETING THE FOLLOWING REQUIREMENTS: I. VIRGIN WOOD CELLULOSE FIBER: MAY NOT CONTAIN ANY SUBSTANCE OR FIBER THAT MAY
- INHIBIT GERMINATION OF GROWTH OF GRASS SEEDS AND PLANTS. II. DYE TO APPROPRIATE COLOR TO ALLOW PROPER METERING OF APPLICATION. III. FIBERS MUST HAVE ABILITY TO BECOME EVENLY DISPERSED AND SUSPENDED WHEN AGITATED IN WATER
- IV. WHEN SPRAYED UNIFORMLY ON SURFACE OF SOIL, FIBERS SHALL FORM BLOTTER LIKE GROUND COVER THAT READILY ABSORBS WATER, AND ALLOWS INFILTRATION TO UNDERLYING SOIL
- V. WEIGHT SPECIFICATIONS SHALL REFER ONLY TO AIR DRY WEIGHT OF FIBERS WITH A STANDARD MOISTURE CONTENT OF TEN PERCENT (10%).
- (100) LBS AND SHOWING AIR DRY WEIGHT OF FIBERS.
- VI. MULCH MATERIAL SHALL BE SUPPLIED IN CONTAINERS NOT WEIGHING OVER ONE HUNDRED
- VII. ORGANIC TAKIFIER MAY BE SUPPLIED WITH HYDROMULCH FIBERS OR BE ADDED AT A LATER TIMF





SHRUB BED W/ SPECIFIED MULCH DEPTH

TURF AS SPECIFIED WHERE REQUIRED

DURA EDGE, 14 GA. ROLL TOP STEEL EDGING, PERFORATED, GREEN SPECIFIED LANDSCAPE FABRIC ROLL EDGE UNDER EDGING AS SHOWN

METAL STAKES AS SPECIFIED

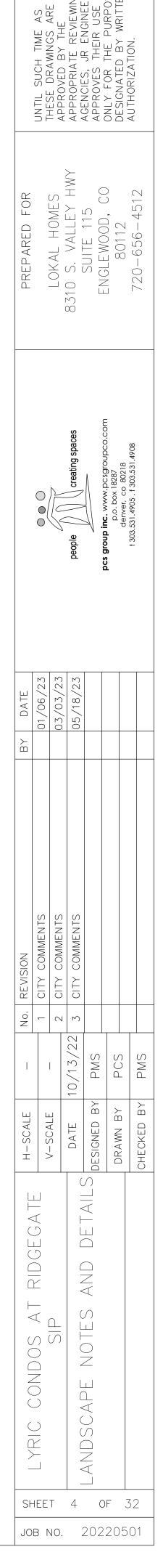
- SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
- 2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 4. FOR PRODUCT ORDERING, DIVIDE NUMBER OF FEET NEEDED BY 9.33 TO OBTAIN THE NUMBER OF 10' PIECES NEEDED

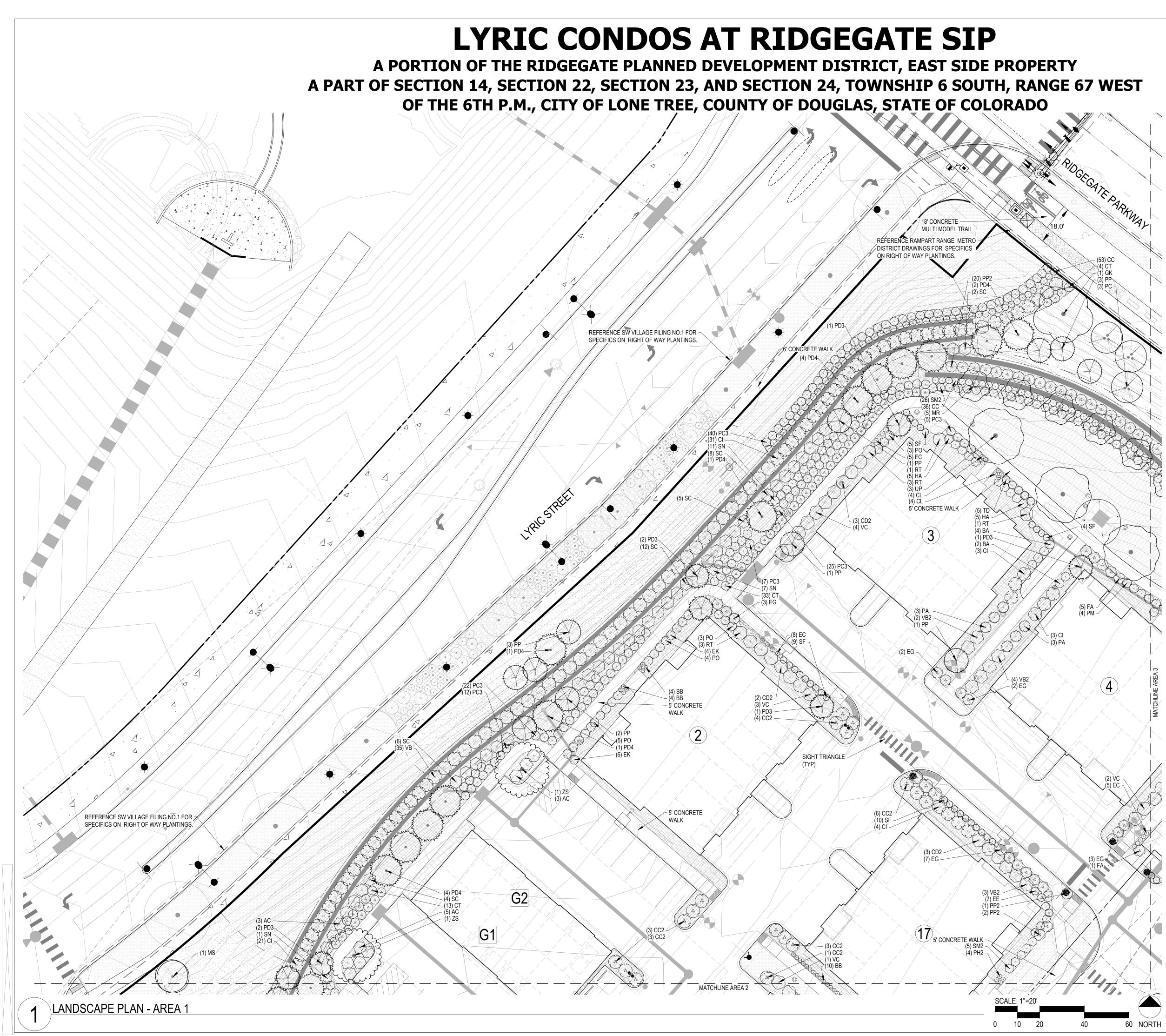
	STEEL EDGER
4	Scale: NTS

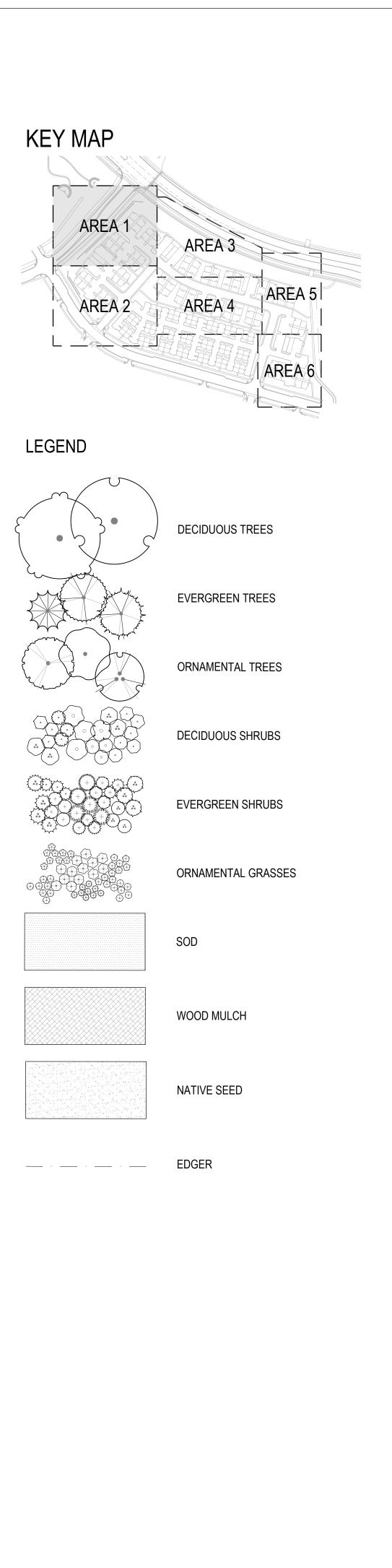
WEED MANAGEMENT

BEFORE SEEDING, REMOVE EXISTING WEEDS BY PULLING, TILLING UNDER AND/OR, APPLYING A GLYPHOSATE HERBICIDE SUCH AS ROUNDUP®*, OR BY A COMBINATION OF THESE METHODS. FOR ADDITIONAL WEED CONTROL AFTER SITE PREPARATION, A SOIL FUMIGANT MAY BE USED, OR THE AREA MAY BE IRRIGATED TO ENCOURAGE WEED GROWTH AND THEN SPRAYED WITH A GENERAL HERBICIDE

IN VERY WEEDY AREAS, THE FOLLOWING METHOD IS SUGGESTED: (1) TILL SOIL OR SPRAY VEGETATION WITH ROUNDUP®*. WHEN USING AN HERBICIDE, ALLOW VEGETATION TO DIE, THEN RAKE OUT THE DEAD DEBRIS. IF PERENNIAL WEEDS SUCH AS BINDWEED ARE PRESENT, USING AN HERBICIDE IS MORE EFFECTIVE THAN TILLING, (2) IRRIGATE TO ENCOURAGE GERMINATION OF WEED SEEDS NEAR THE SURFACE: MOST SEEDS WILL GERMINATE WITHIN TWO WEEKS IF CONSISTENT MOISTURE IS AVAILABLE. DO NOT TILL THE SOIL AGAIN BECAUSE THIS WILL BRING EVEN MORE WEED SEEDS UP TO THE SURFACE. (3) SPRAY ANY NEW GROWTH WITH ROUNDUP®*. (4) AFTER RAKING OUT DEAD VEGETATION, ALLOW SOIL TO RECOVER FOR-4 WEEKS BEFORE PLANTING SEE. A RECOVERY PERIOD OF THIS DURATION IS ADVISABLE BECAUSE EXTENSIVE USE OF GLYPHOSATE HERBICIDES MAY CAUSE A DELAY IN GERMINATION AND IN THE VIGOROUS GROWTH OF SEEDLINGS. ONCE THE SEEDS HAVE GERMINATED, FURTHER WEED CONTROL IS USUALLY NECESSARY. IF PRACTICAL, PULL ALL WEEDS AS SOON AS THEY CAN BE IDENTIFIED. OTHER SUCCESSFUL TECHNIQUES ARE SPOT-SPRAYING WITH A GENERAL HERBICIDE OR SELECTIVELY CUTTING WEEDS WITH A STRING TRIMMER. BE SURE TO REMOVE WEEDS BEFORE THEY RESEED. ONCE ESTABLISHED, NATIVE AREAS MAY BE MOWED TWICE A SEASON OR AS REQUIRED TO MINIMIZE WEED GROWTH. FURTHER MOWING ADJACENT TO ROADWAYS AND PARK AREAS MAY BE REQUIRED AS SEASONAL DROUGHT AND FIRE CONDITIONS MAY DICTATE.

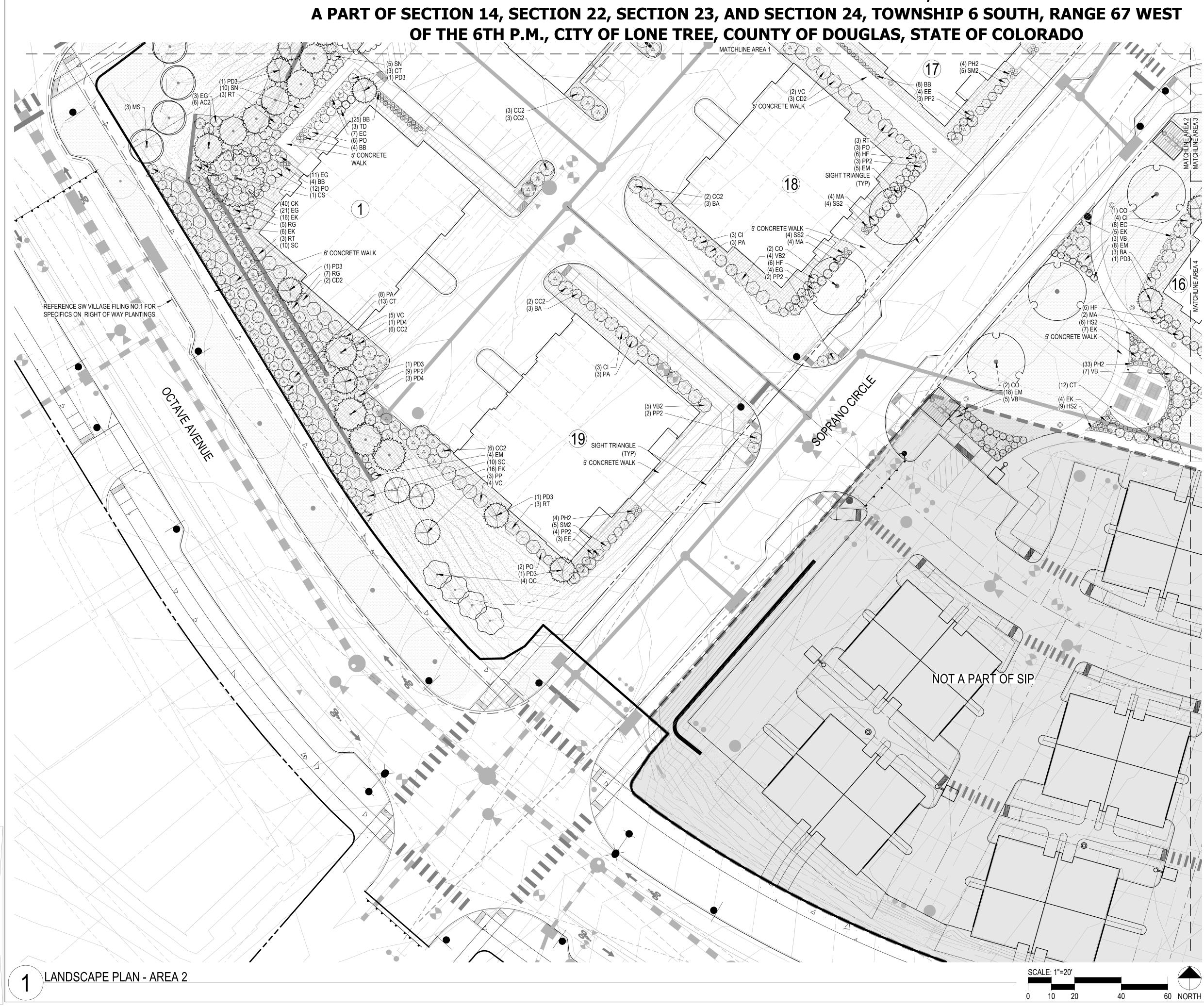




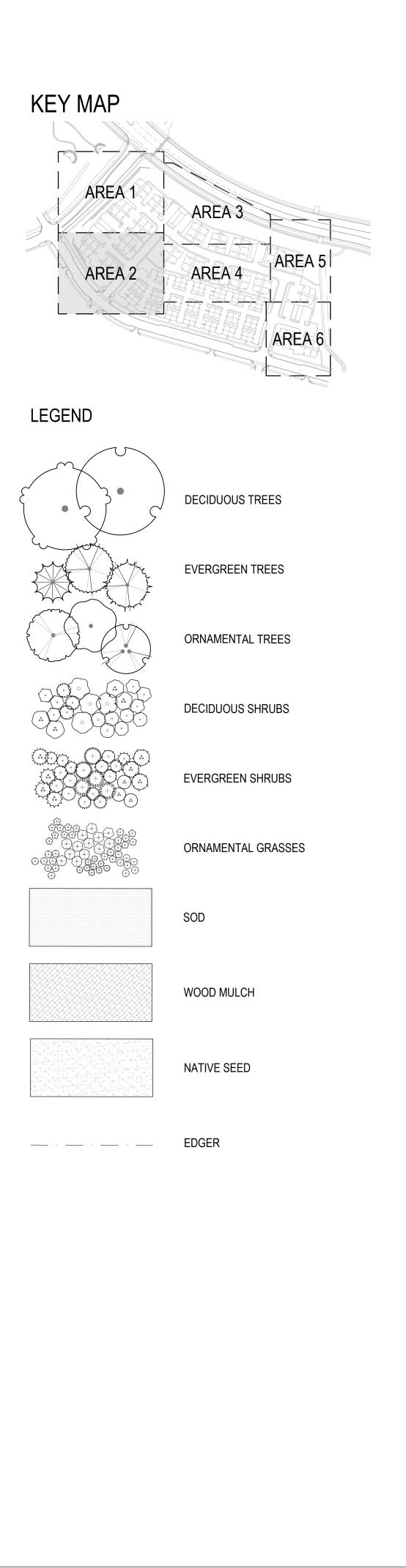


	UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES JA ENGINEERING APPROVES THEIR USE	UNLY FOR THE PURPOSES DESIGNATED BY WRITTEN	AU THORIZA TION.
PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY	FNICLEWOOD FO	ENGLENOUD, CO 80112	720-656-4512
		<u>N</u> US	people		p.o. box 18287 p.o. box 18287 denver, co 80218	t 303.531.4905 .f 303.531.4908
BY DATE	01/06/23	03/03/23	05/18/23			
H-SCALE – No. REVISION	V-SCALE 1 CITY COMMENTS		DATE 10/13/22 3 CITY COMMENTS	DESIGNED BY PMS	DRAWN BY PCS	CHECKED BY PMS
	A B L'RIC CONDON A RIDGEGAIE			O LANUSCAFE FLAN	F 205	32



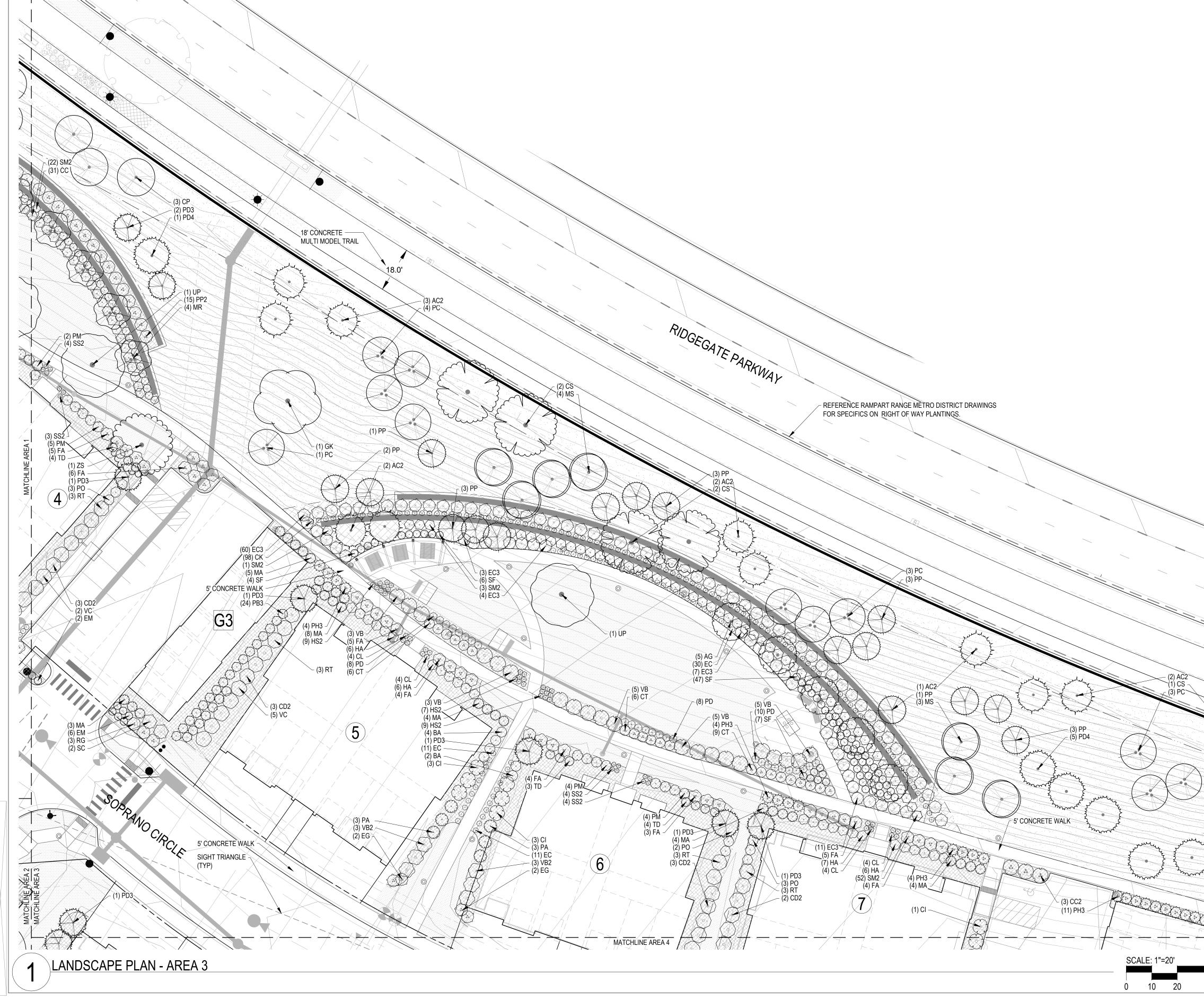


A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY

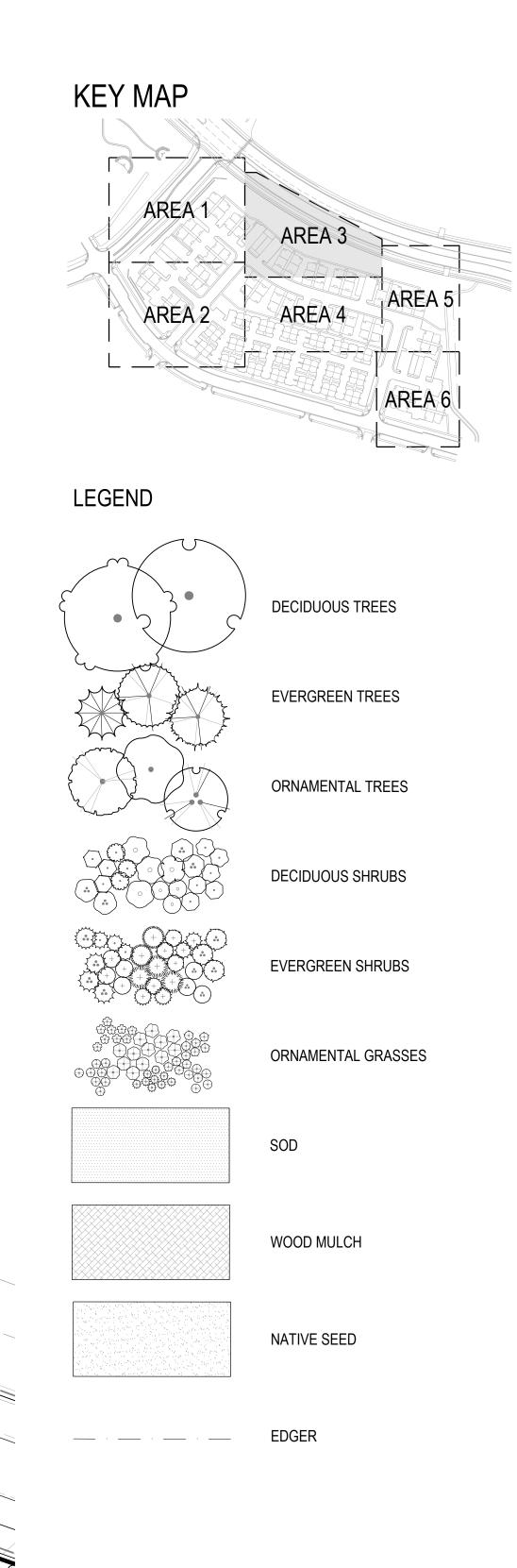


	UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.									
PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY	CILL ALLO CU	ENGLENOUD, CO 80112	720-656-4512				
		<u> </u>	people // // Creating spaces		p.c. group mer. www.pc.sgroup.co.com p.o. box 18287 denver, co 80218	t 303.531.4905 .f 303.531.4908				
BY DATE	01/06/23	03/03/23	05/18/23							
No. REVISION	1 CITY COMMENTS	2 CITY COMMENTS	10/13/22 3 CITY COMMENTS			S S				
H-SCALE -			DATE 10/13	DESIGNED BY PMS	DRAWN BY PCS	CHECKED BY PMS				
	TARIC CONDOS AT RIDGEGATE SHEET 6 OF 32									





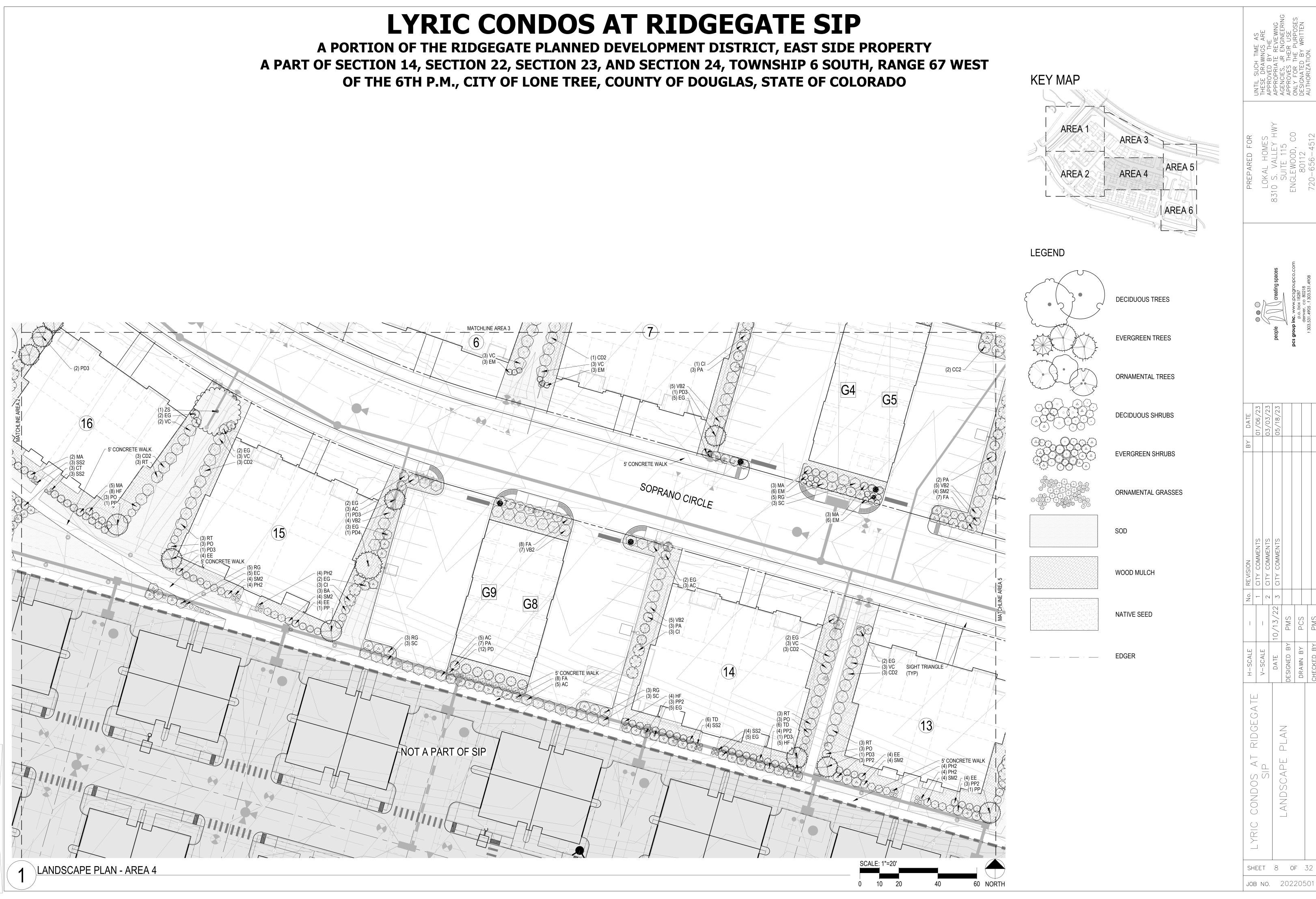
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



 \triangleleft \square \triangleleft (() \square \triangleleft \bigcirc SHEET 7 OF 32 JOB NO. 20220501

60 NORTH

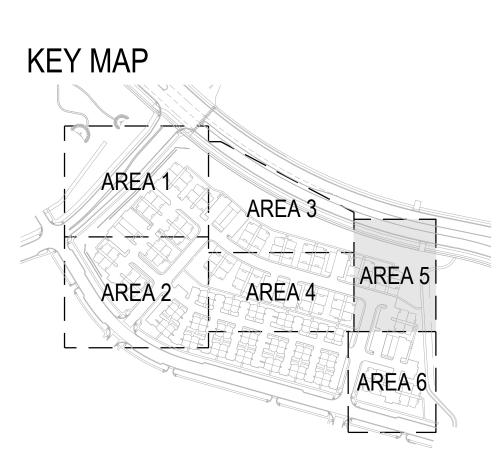
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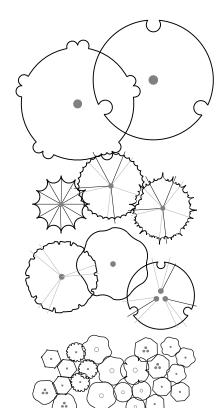


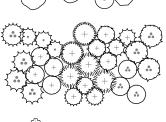
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

> \square 8' CONCRETE - Carl Shind 60 NORTH 40



LEGEND











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DECIDUOUS SHRUBS

EVERGREEN SHRUBS

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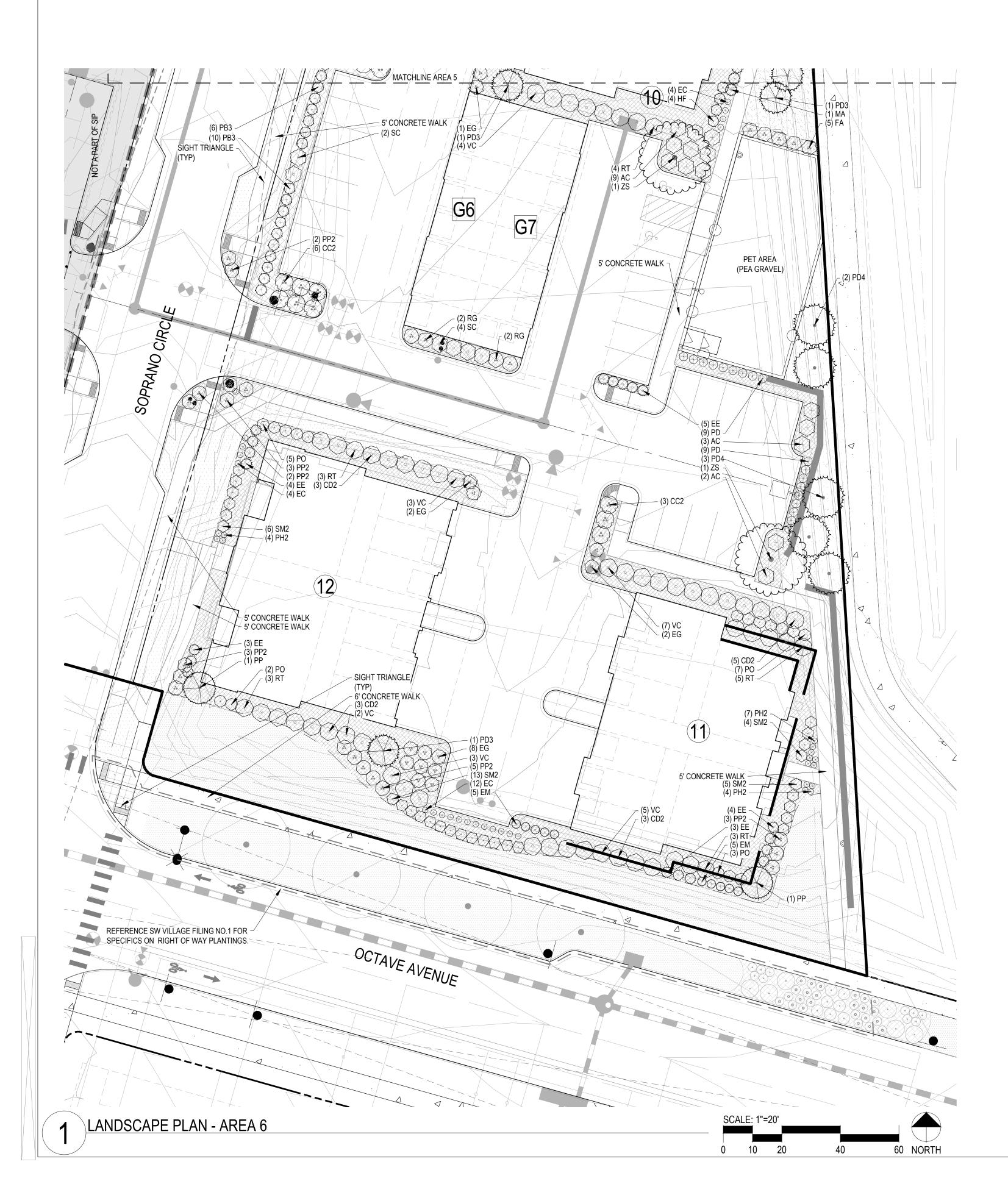
WOOD MULCH

NATIVE SEED

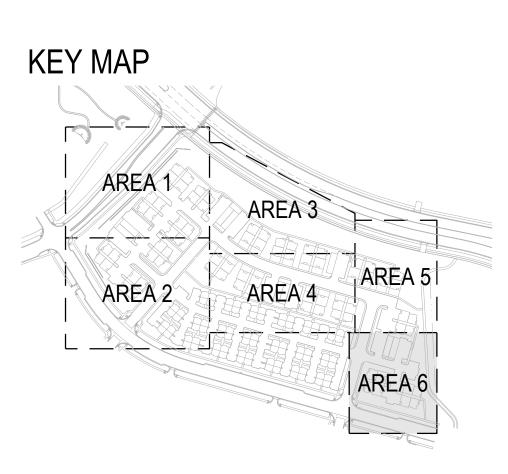
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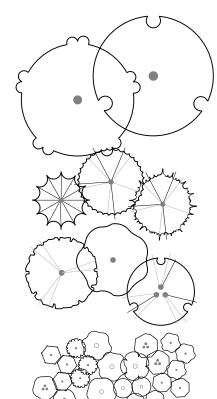
JOB NO. 20220501

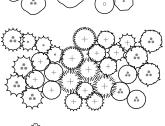


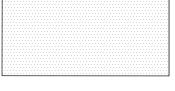
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



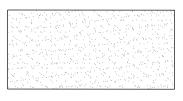
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DECIDUOUS TREES EVERGREEN TREES ORNAMENTAL TREES

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

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WOOD MULCH

NATIVE SEED

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	UNTIL SUCH TIME AS			APPROVES THEIR USE	ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN	AUTHORIZATION.
PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY	ENCIEWOD CO	LINGLE WUUL, UU 80112	720-656-4512
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H-SCALE -			DATE 10/13	DESIGNED BY PMS	DRAWN BY PCS	CHECKED BY PMS
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JOB NO. 20220501

			-	
	IRRIGATION SCHEDULE			IF
SYMBOL	DESCRIPTION	DETAIL NO.	HATCH	
Â	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	З	-	
	RP BACKFLOW PREVENTER	1 \$ 2		N
۲	MASTER VALVE	1		TF
	PVC MAINLINE	4	*SELECTION OF DENSITY, GROU	
	PVC SLEEVING	5		
M	WATER METER	BY OTHERS		

IRRIGATION DEVELOPMENT DESIGN NOTES	

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 PM AND 6:00 AM.

2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.

3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 71 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 116 PSI.

4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.

5. IRRIGATION DESIGN APPROACH

5.1. TURF AREAS

5.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.

5.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS.

5.2. SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.

6. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND INCLUDE A WEATHER SENSING DEVICE.

7. ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.

SLEEVE LEGEND				
SYMBOL	SLEEVE (COUNT) SIZE			
\otimes	(1)6" \$ (1)2"			
ß	(1)6" \$ (2)2"			
Ø	(1)4" \$ 1(2)"			
Ø	(2)2"			
Ē	(1)2"			
PIPE MATERIAL	CL. 160 PVC			
INSTALLATION DEPTH	24"			

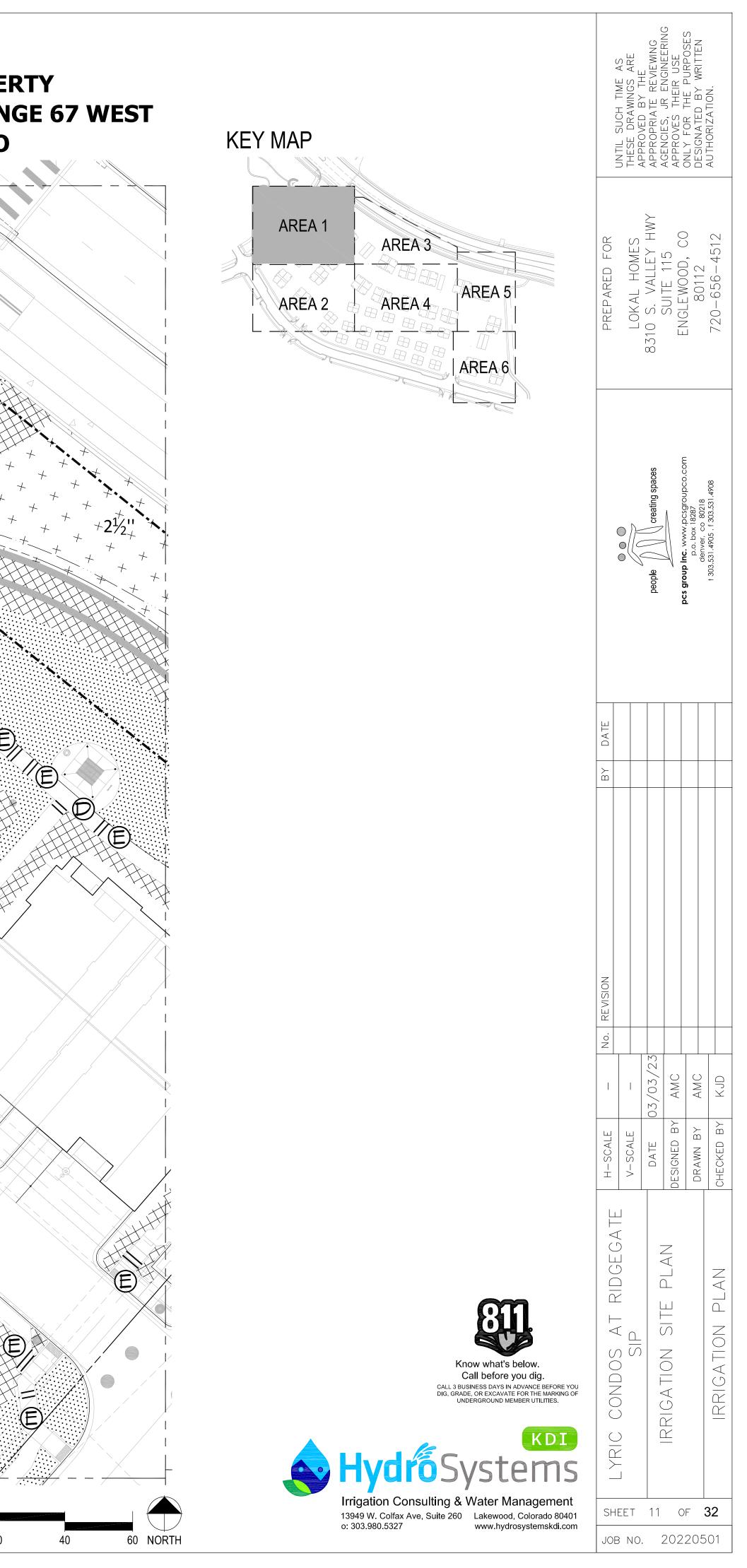
IRRIGATION PLAN - AREA 1

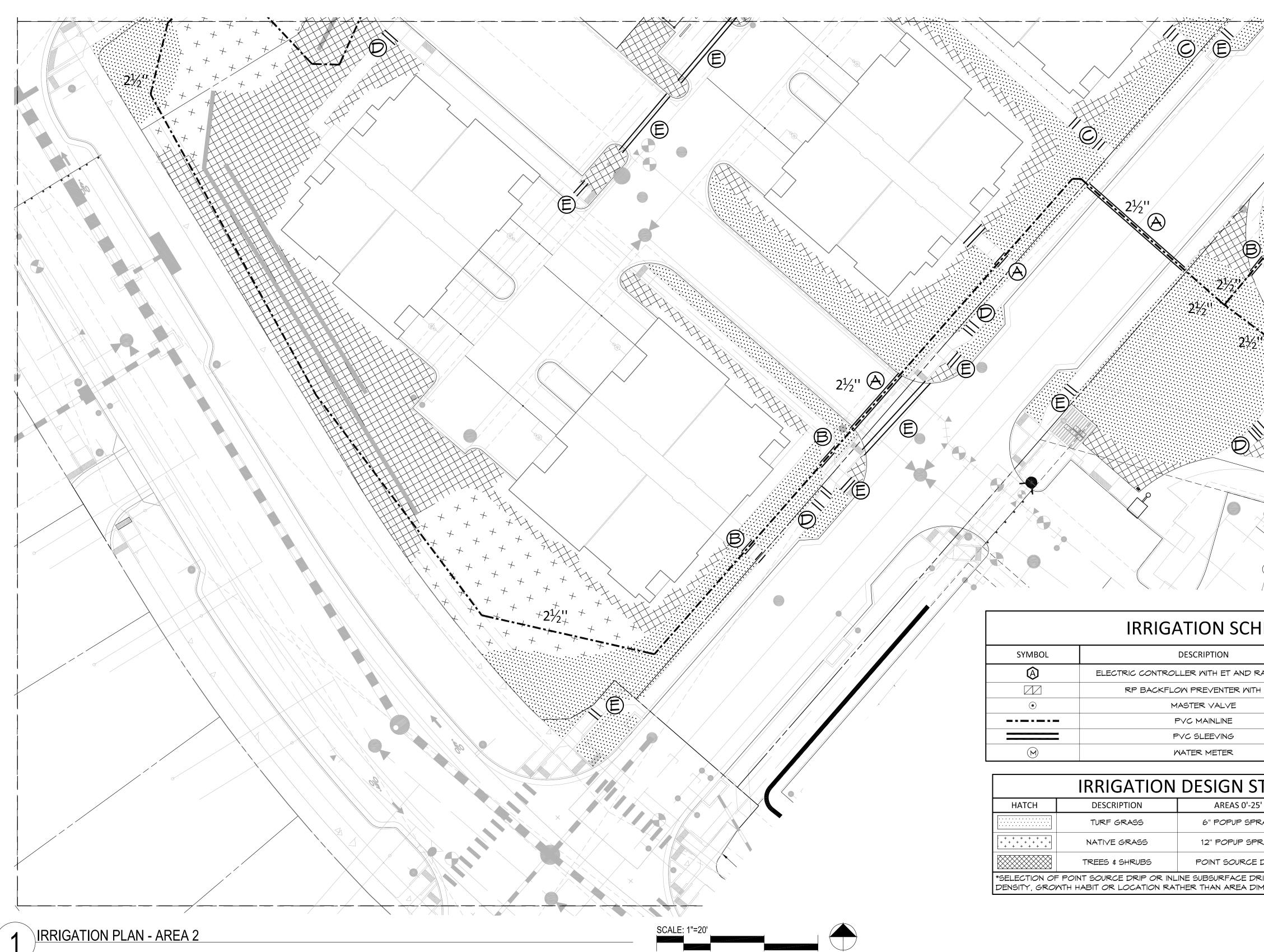
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A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

RRIGATION DESIGN STRATEGY						
DESCRIPTION	AREAS 0'-25'	AREAS > 25'				
TURF GRASS	6" POPUP SPRAY	6" ROTOR				
NATIVE GRASS	12" POPUP SPRAY	12" ROTOR				
TREES & SHRUBS POINT SOURCE DRIP POINT SOURCE DRIP						
IT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT ABIT OR LOCATION RATHER THAN AREA DIMENSIONS.						

LE: 1"=	20'
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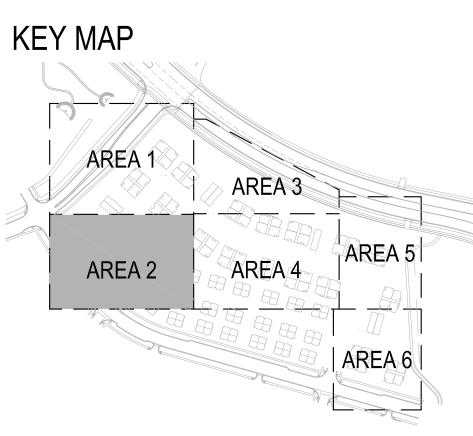
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

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SC	ALE: 1"=	20'		
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-	DATE							
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SLEEVE LEGEND				
SYMBOL	SLEEVE (COUNT) SIZE			
\bigcirc	(1)6" \$ (1)2"			
ß	(1)6" \$ (2)2"			
Ø	(1)4" \$ 1(2)"			
Ø	(2)2"			
Ē	(1)2"			
PIPE MATERIAL	CL. 160 PVC			
INSTALLATION DEPTH	24"			

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	DETAIL NO.
RAIN SENSING	З
ITH PRV	1 & 2
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	BY OTHERS

STRATEGY			
-25'	AREAS > 25'		
PRAY	6" ROTOR		
OPRAY	12" ROTOR		
E DRIP POINT SOURCE DRIP			
DRIP MAY BE DETERMINED BY PLANT DIMENSIONS.			



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SHEET 12 OF **32**

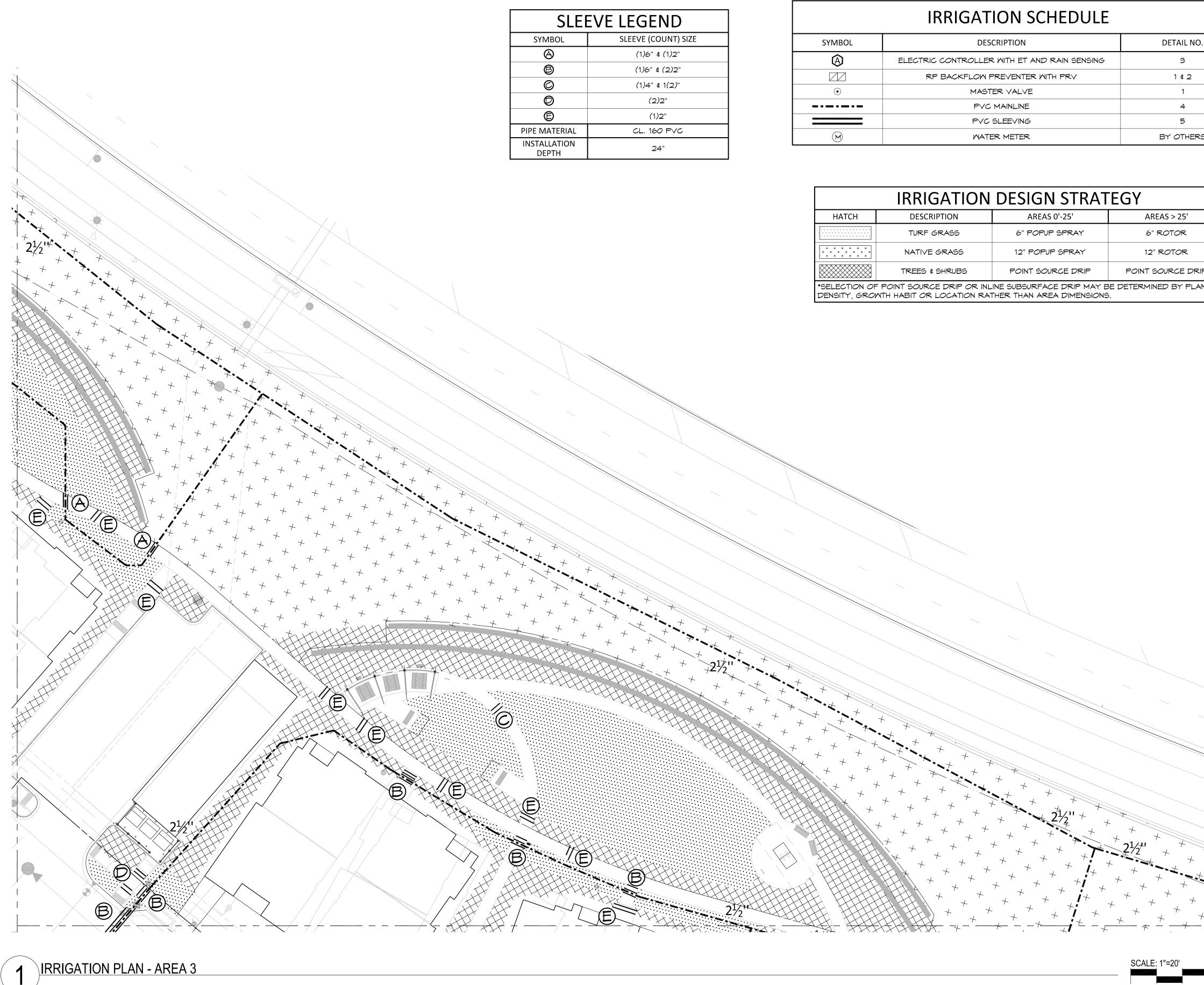
JOB NO. 20220501

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Call before you dig. CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.





A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

SLE	SLEEVE LEGEND			
)L	SLEEVE (COUNT) SIZE			
	(1)6" \$ (1)2"			
	(1)6" \$ (2)2"			
	(1)4" \$ 1(2)"			
	(2)2"			
	(1)2"			
ERIAL	CL. 160 PVC			
ΓΙΟΝ Ι	24"			

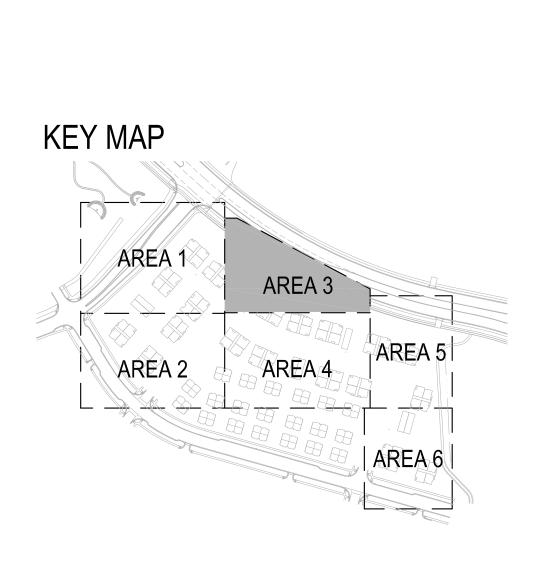
IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
(A)	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	З
	RP BACKFLOW PREVENTER WITH PRV	1 \$ 2
٢	MASTER VALVE	1
	PVC MAINLINE	4
	PVC SLEEVING	5
(\mathbf{M})	WATER METER	BY OTHERS

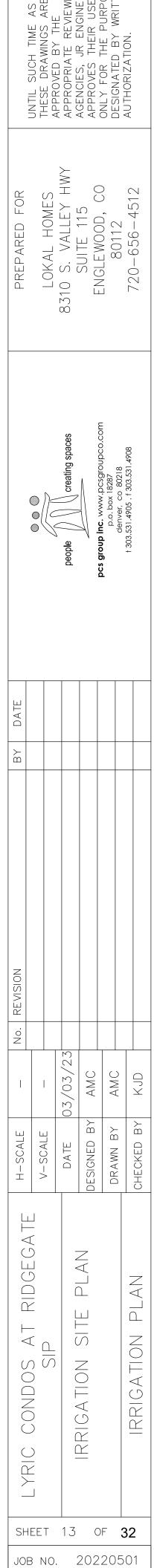
IRRIGATION DESIGN STRATEGY				
НАТСН	DESCRIPTION	AREAS 0'-25'	AREAS > 25'	
· · · · · · · · · · · · · · · · · · ·	TURF GRASS	6" POPUP SPRAY	6" ROTOR	
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR	
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP	
*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.				

SCA	SCALE: 1"=20'		
0	10	20	40







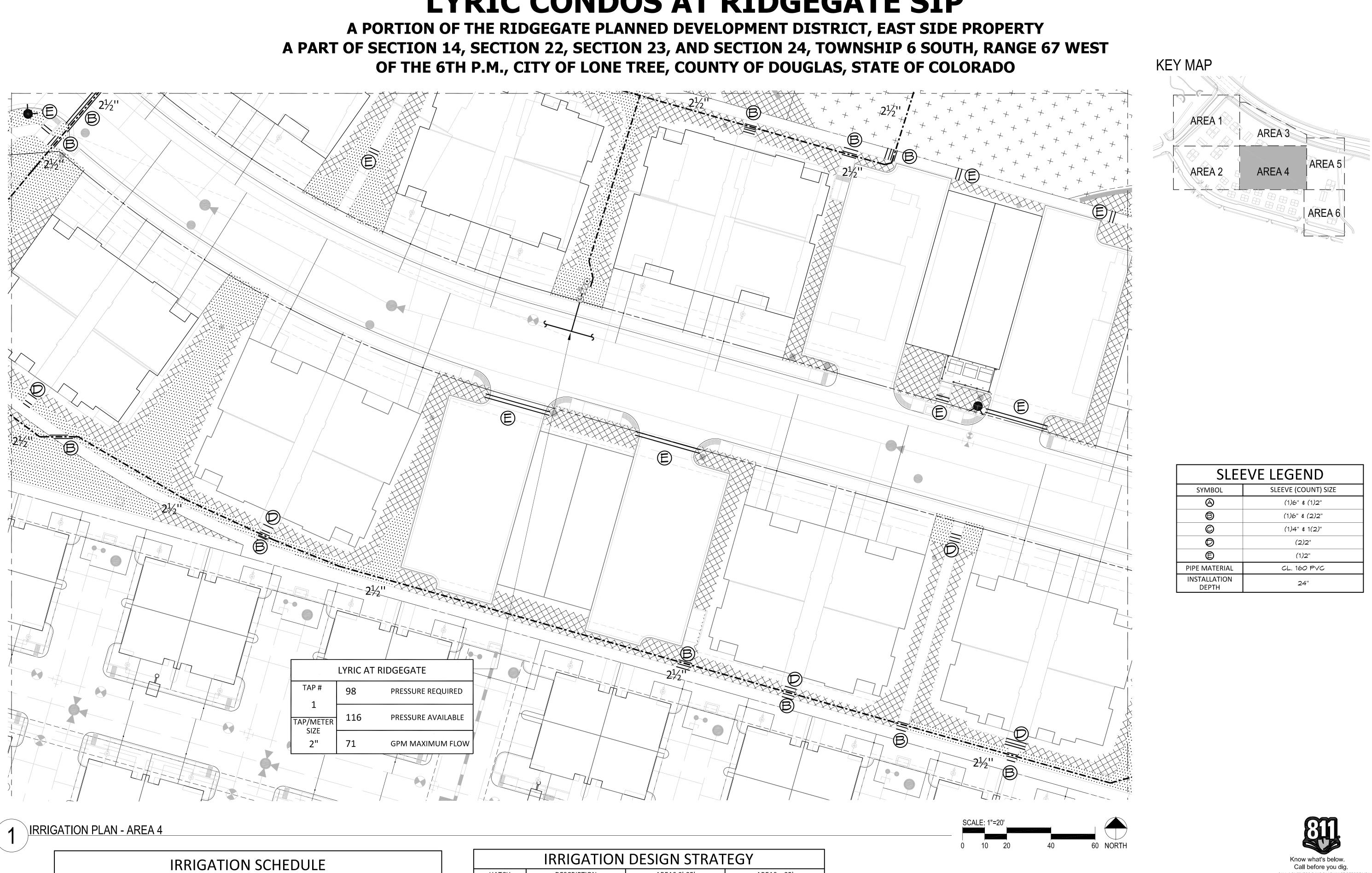








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SYMBOL	DESCRIPTION DETAIL NO.		
Â	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	З	
	RP BACKFLOW PREVENTER WITH PRV	1 \$ 2	
۲	MASTER VALVE	1	
	PVC MAINLINE	4	
	PVC SLEEVING	5	
M	WATER METER	BY OTHERS	

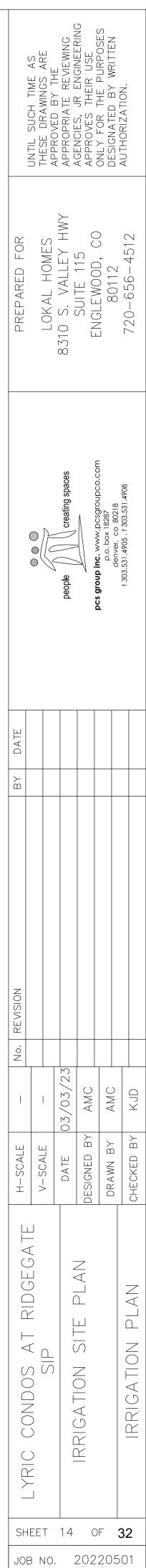
SCALE: 1"=20"			
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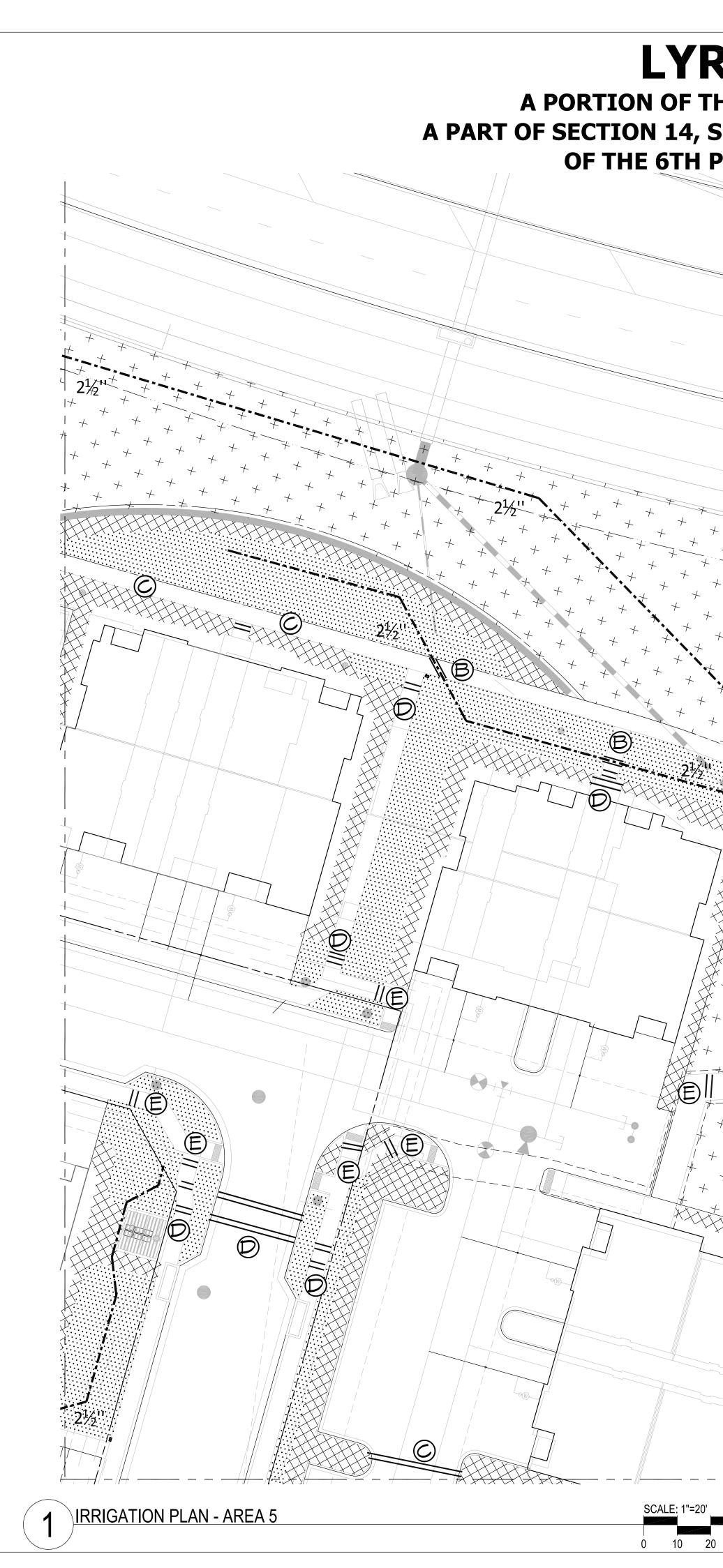
IRRIGATION DESIGN STRATEGY						
НАТСН	DESCRIPTION	AREAS 0'-25'	AREAS > 25'			
· · · · · · · · · · · · · · · · · · ·	TURF GRASS	6" POPUP SPRAY	6" ROTOR			
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TREES & SHRUBS POINT SOURCE DRIP POINT SOURCE DRIP						
*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.						

SLEEVE LEGEND			
SYMBOL	SLEEVE (COUNT) SIZE		
\bigcirc	(1)6" \$ (1)2"		
ß	(1)6" \$ (2)2"		
Ø	(1)4" \$ 1(2)"		
Ø	(2)2"		
Ē	(1)2"		
PIPE MATERIAL	CL. 160 PVC		
INSTALLATION DEPTH	24"		

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.







A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

SLEEVE LEGEND		
SYMBOL	SLEEVE (COUNT) SIZE	
\otimes	(1)6" \$ (1)2"	
ß	(1)6" \$ (2)2"	
Ø	(1)4" \$ 1(2)"	
Ø	(2)2"	
Ē	(1)2"	
PIPE MATERIAL	CL. 160 PVC	
INSTALLATION DEPTH	24"	

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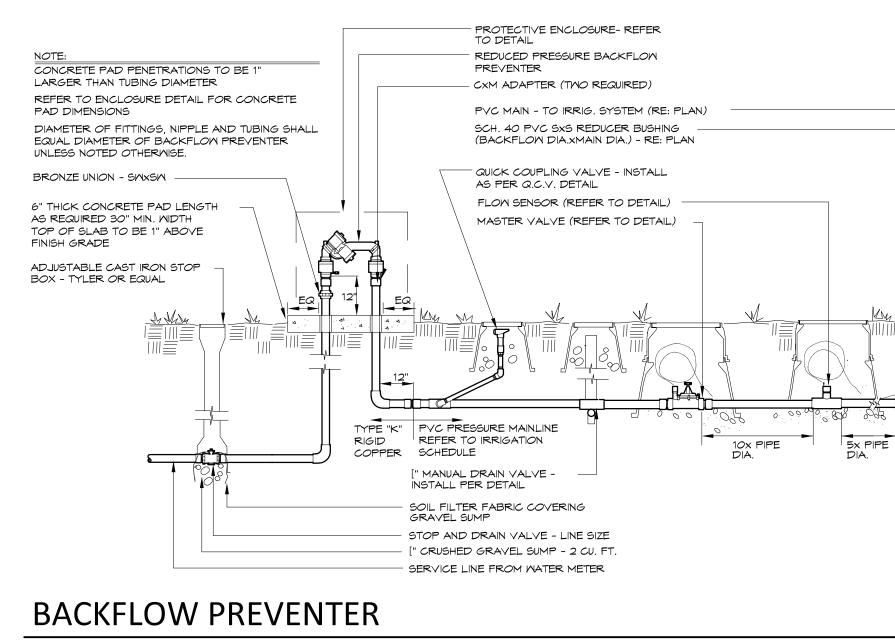
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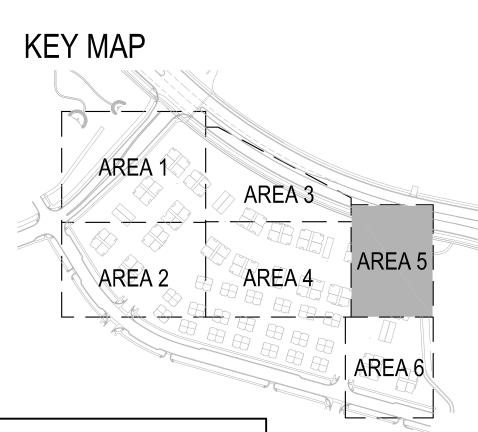
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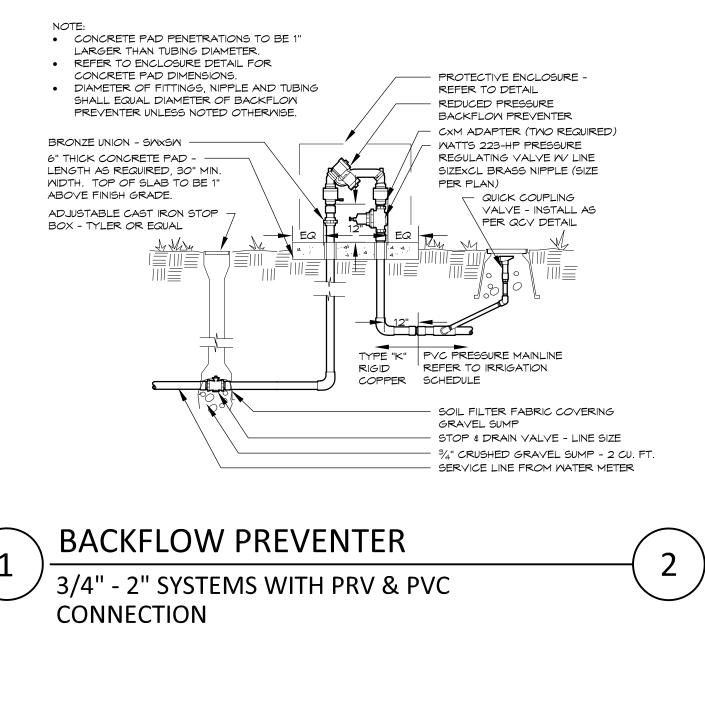
IRRIGATION SCHEDULE			
SYMBOL DESCRIPTION DETAIL NO.			
$\textcircled{\begin{tabular}{c} \hline \hline \\ \hline \hline \\ \hline $	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	З	
RP BACKFLOW PREVENTER WITH PRV		1 \$ 2	
۲	MASTER VALVE	1	
	PVC MAINLINE	4	
	PVC SLEEVING	5	
M	WATER METER	BY OTHERS	

IRRIGATION DESIGN STRATEGY							
НАТСН	HATCHDESCRIPTIONAREAS 0'-25'AREAS > 25'						
· · · · · · · · · · · · · · · · · · ·	TURF GRASS	6" POPUP SPRAY	6" ROTOR				
$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR				
	TREES & SHRUBS POINT SOURCE DRIP POINT SOURCE DRIP						
*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.							



2" AND SMALLER





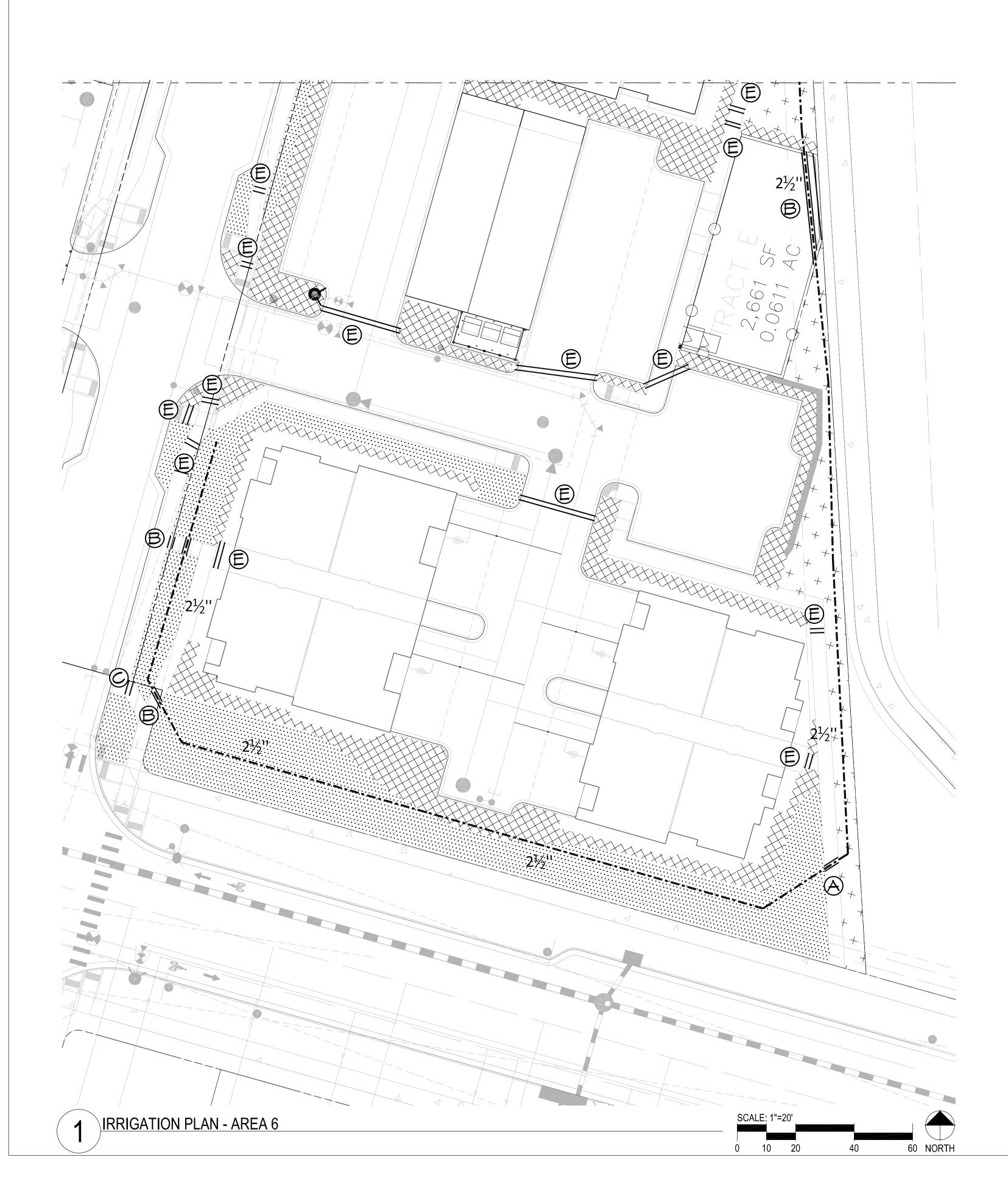




JOB NO. 20220501

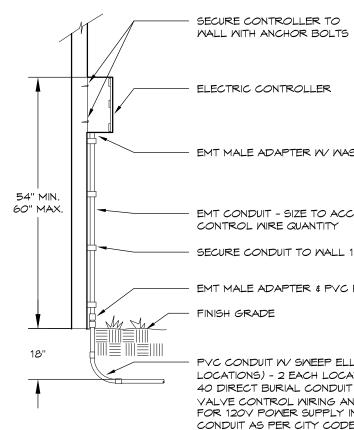
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401 o: 303.980.5327 www.hydrosystemskdi.com

T I YRIC CONDOS AT RIDGEGATE	H-SCALE –	No. REVISION	BY DATE		PREPARED FOR	
	V-SCALE -				LOKAL HOMES	UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED RY THF
	DATE 03/03/23			people	8310 S. VALLEY HWY	APPROPRIATE REVIEWING
0 IKKIGAIIUN SIIE FLAN	DESIGNED BY AMC				FNGLEWOOD CO	AGENCIES, JR ENGINEEKING APPROVES THEIR USE
F :	DRAWN BY AMC			p.o. box 18287 p.o. box 18287 denver, co 80218	80112	DESIGNATED BY WRITTEN
IRRIGATION PLAN	CHECKED BY KJD			† 303.531.4905 .f 303.531.4908	720-656-4512	AU I HORIZA HON.



A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

SYMBOL		DESCRIPTION		DETAIL NO.	
Â	ELECTRIC CONTRO	LLER WITH ET AND RAIN SENSI	NG	З	
	RP BACKFL	OW PREVENTER WITH PRV		1 & 2	
۲	N	1ASTER VALVE		1	
		PVC MAINLINE		4	
	f	PVC SLEEVING		5	
M		NATER METER		BY OTHERS	
	IRRIGATION	I DESIGN STRAT	EGY		
НАТСН	DESCRIPTION	AREAS 0'-25'		AREAS > 25'	
	TURF GRASS	6" POPUP SPRAY		6" ROTOR	
	NATIVE GRASS	12" POPUP SPRAY		12" ROTOR	
	TREES & SHRUBS	POINT SOURCE DRIP PO		POINT SOURCE DRIP	



MALE ADAPTER W/ WASHER & LOCK RING

EMT CONDUIT - SIZE TO ACCOMMODATE

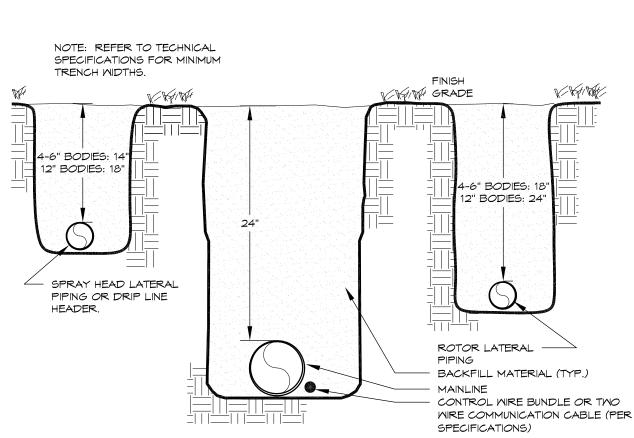
ECURE CONDUIT TO WALL 18" O.C.

MT MALE ADAPTER & PVC FEMALE ADAPTER

PVC CONDUIT W/ SWEEP ELL (TYP. UNDERGROUND LOCATIONS) - 2 EACH LOCATION - ONE 2" PVC SCH 40 DIRECT BURIAL CONDUIT STUB-OUT FOR 24V VALVE CONTROL WIRING AND ONE $\frac{3}{4}$ " PVC CONDUIT FOR 120V POWER SUPPLY IN DIRECT BURIAL CONDUIT AS PER CITY CODE.

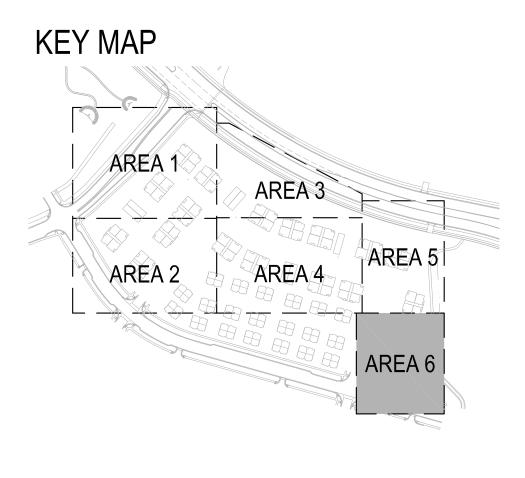
ELECTRIC CONTROLLER

EXTERIOR WALL MOUNT

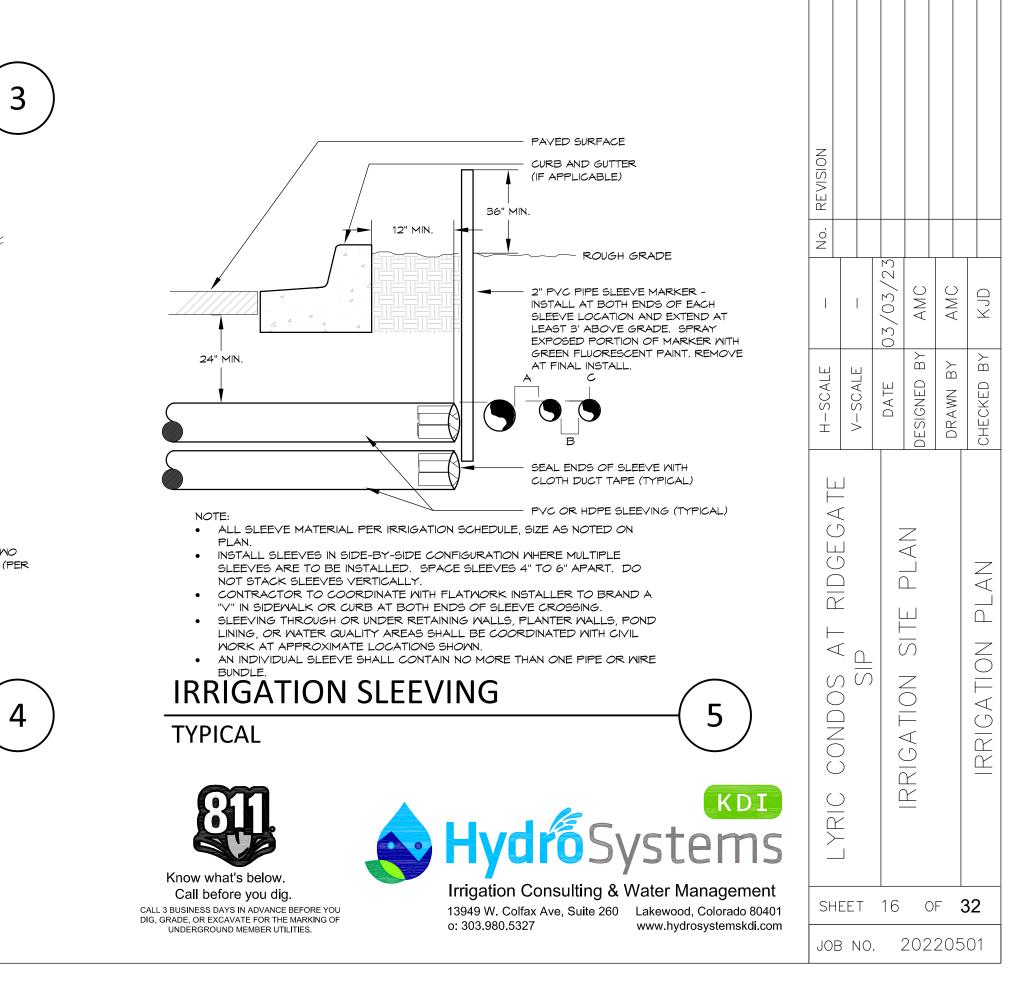


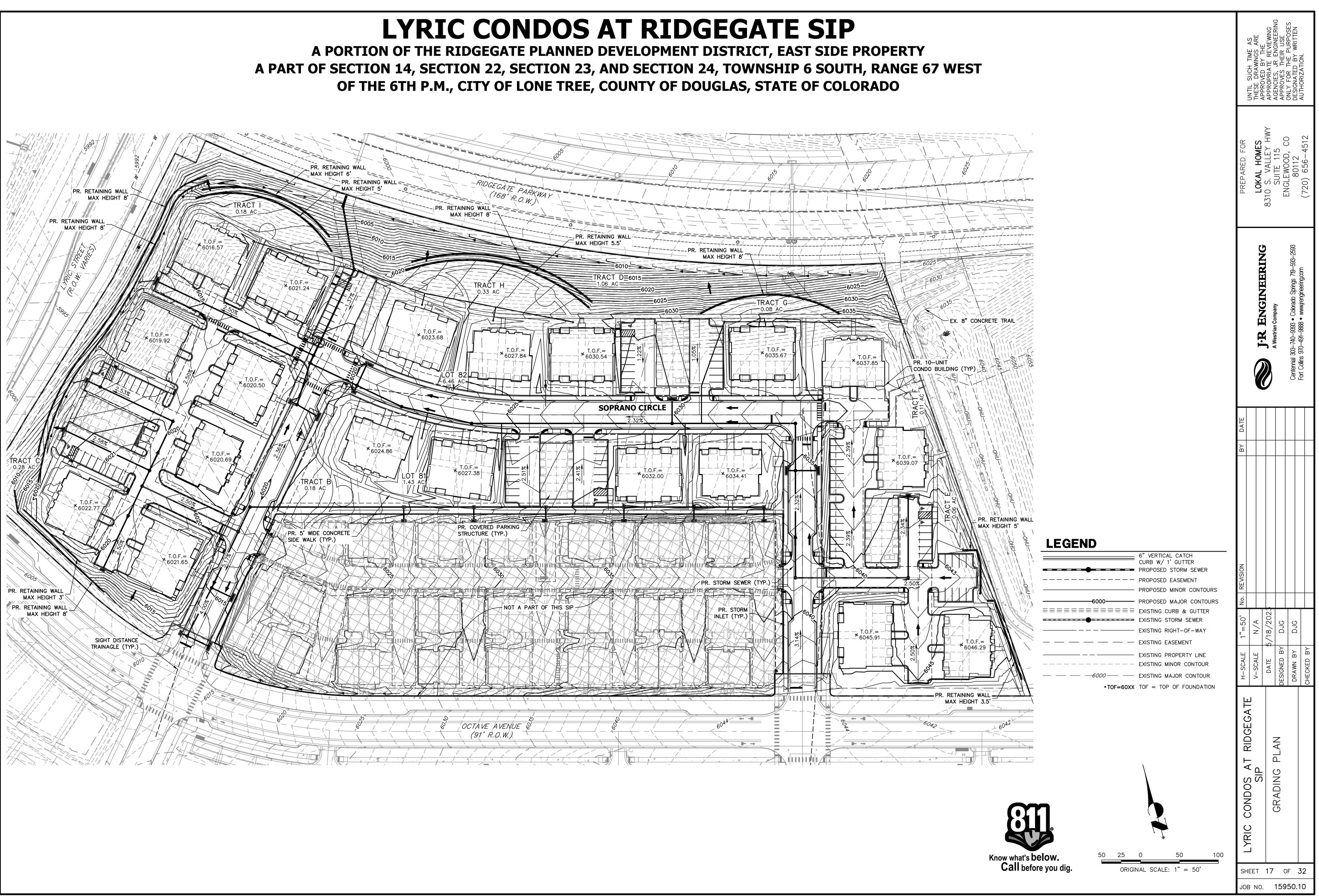
TRENCH

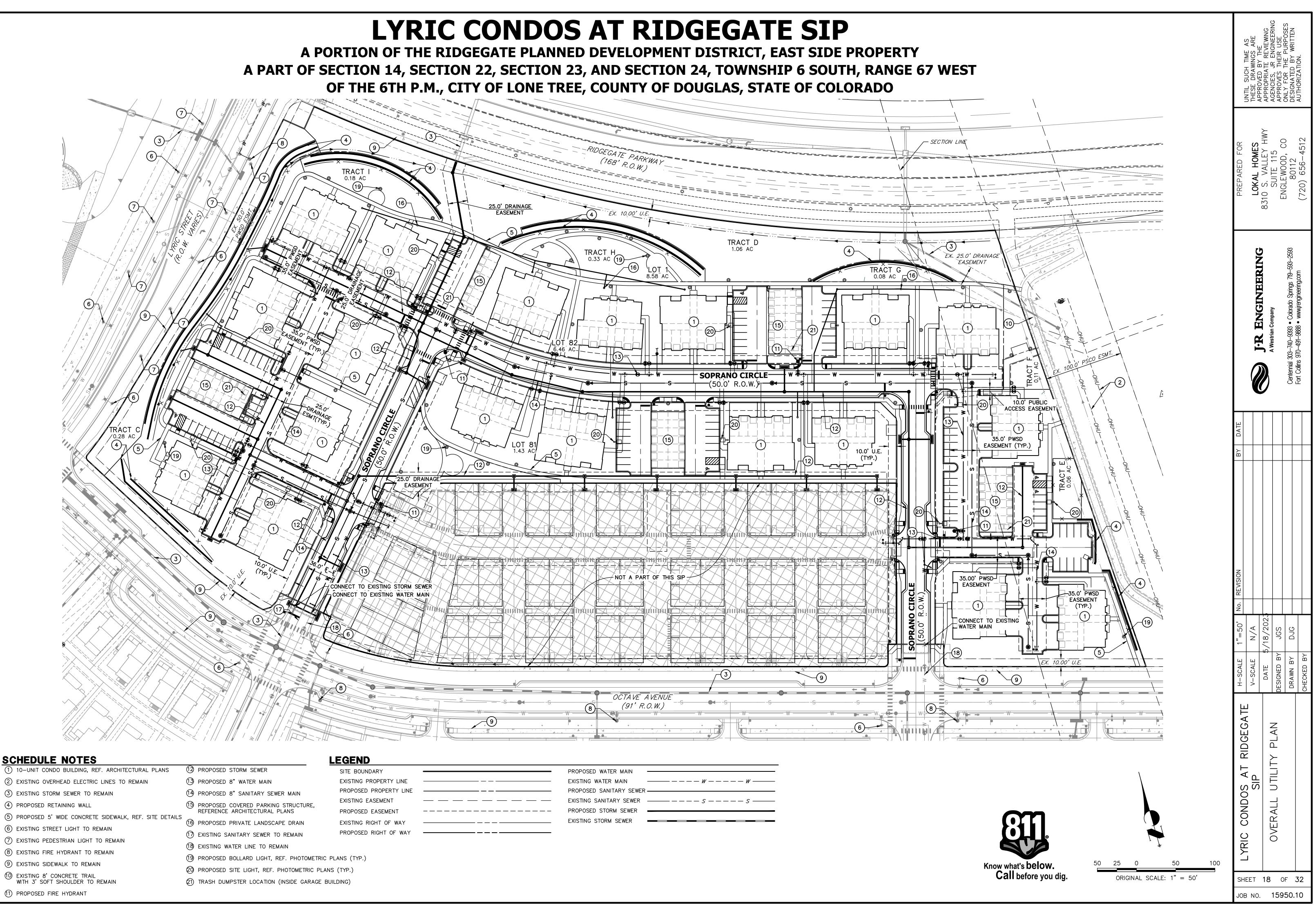
24" MAINLINE



SLEI	EVE LEGEND
SYMBOL	SLEEVE (COUNT) SIZE
\otimes	(1)6" \$ (1)2"
₿	(1)6" \$ (2)2"
Ø	(1)4" \$ 1(2)"
Ø	(2)2"
Ē	(1)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"



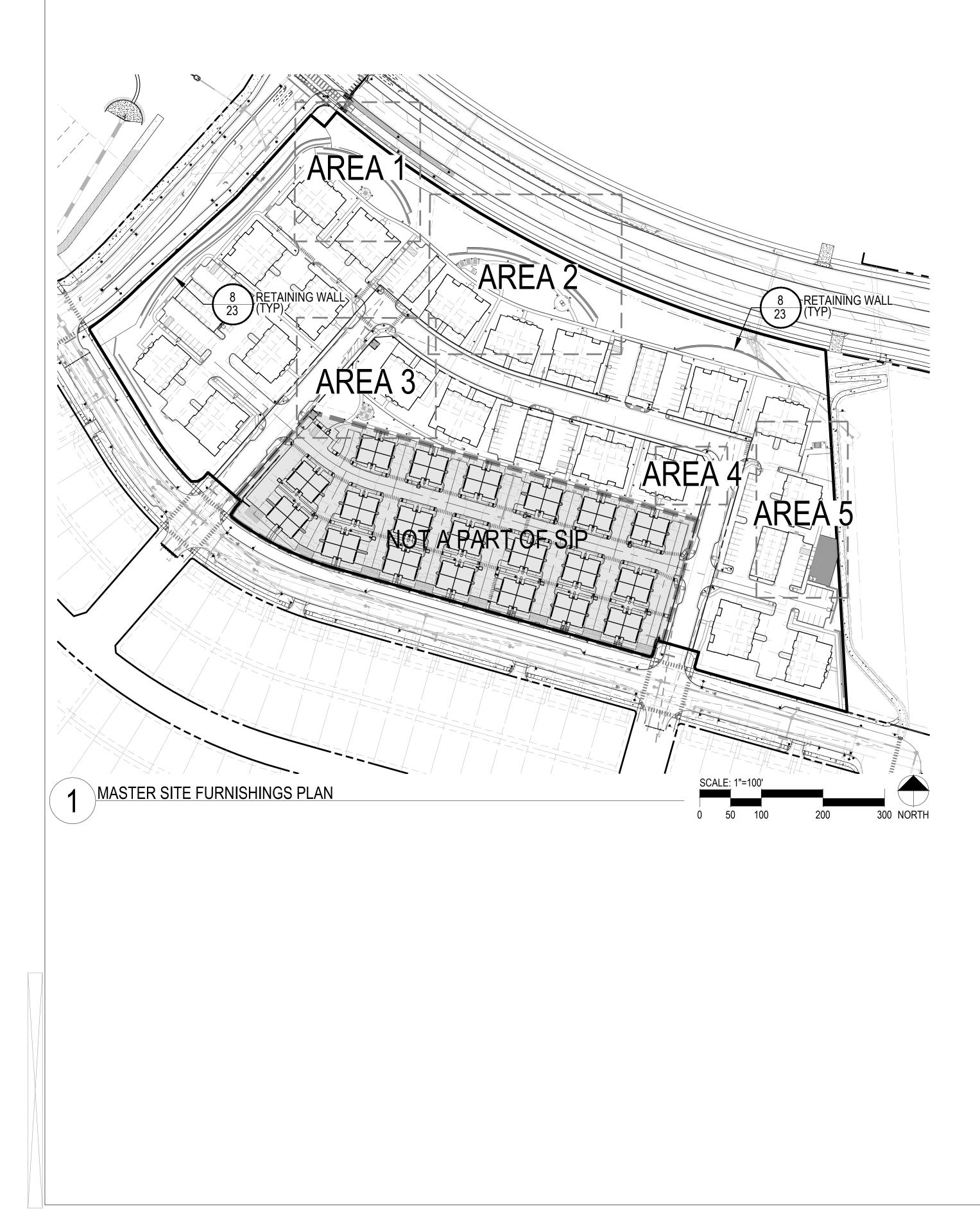




SCHEDULE NOTES

- (2) EXISTING OVERHEAD ELECTRIC LINES TO REMAIN
- (3) EXISTING STORM SEWER TO REMAIN
- (4) PROPOSED RETAINING WALL
- 5 PROPOSED 5' WIDE CONCRETE SIDEWALK, REF. SITE DETAILS
- 6 EXISTING STREET LIGHT TO REMAIN
- (7) EXISTING PEDESTRIAN LIGHT TO REMAIN
- 9 EXISTING SIDEWALK TO REMAIN
- (1) PROPOSED FIRE HYDRANT

PROPOSED WATER MAIN	
EXISTING WATER MAIN	WW
PROPOSED SANITARY SEWER	
EXISTING SANITARY SEWER	sss
PROPOSED STORM SEWER	
EXISTING STORM SEWER	



A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES

- 1. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNTIL FINAL APPROVAL BY THE CITY AND STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING. COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S
- REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS. WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES. INSPECTIONS AND METERS ASSOCIATED WITH WORI
- 10. THE CONTRACTOR SHALL BE BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY PLAN LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED. BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- 13. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS.OF WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- 16. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- 17. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE. 18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK

WORK

UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM. EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.

20. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTIO PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE

MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. 1 CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARI IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.

22. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.

23. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAY WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK 24. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT.OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER' REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER. WASTE CONCRETE, POLLUTANTS OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE

OWNER'S REPRESENTATIVE THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITEI OPEN SPACE SWALES IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PAR OF THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEY VITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AN DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.

28. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED

FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.

29. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL

NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS. 30. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

31. SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION. SUBSTITUTIONS WILL BE CONSIDERED.

32. PROPOSED GRADING IS BASED ON EXISTING TOPOGRAPHY BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE GRADING INFORMATION OR AS-BUILT CONDITIONS. THE CONTRACTOR SHALL ACCEPT FINAL GRADING PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL GRADING CONDITIONS AND PROPOSED DESIGN PRIOR TO BEGINNING WORK.

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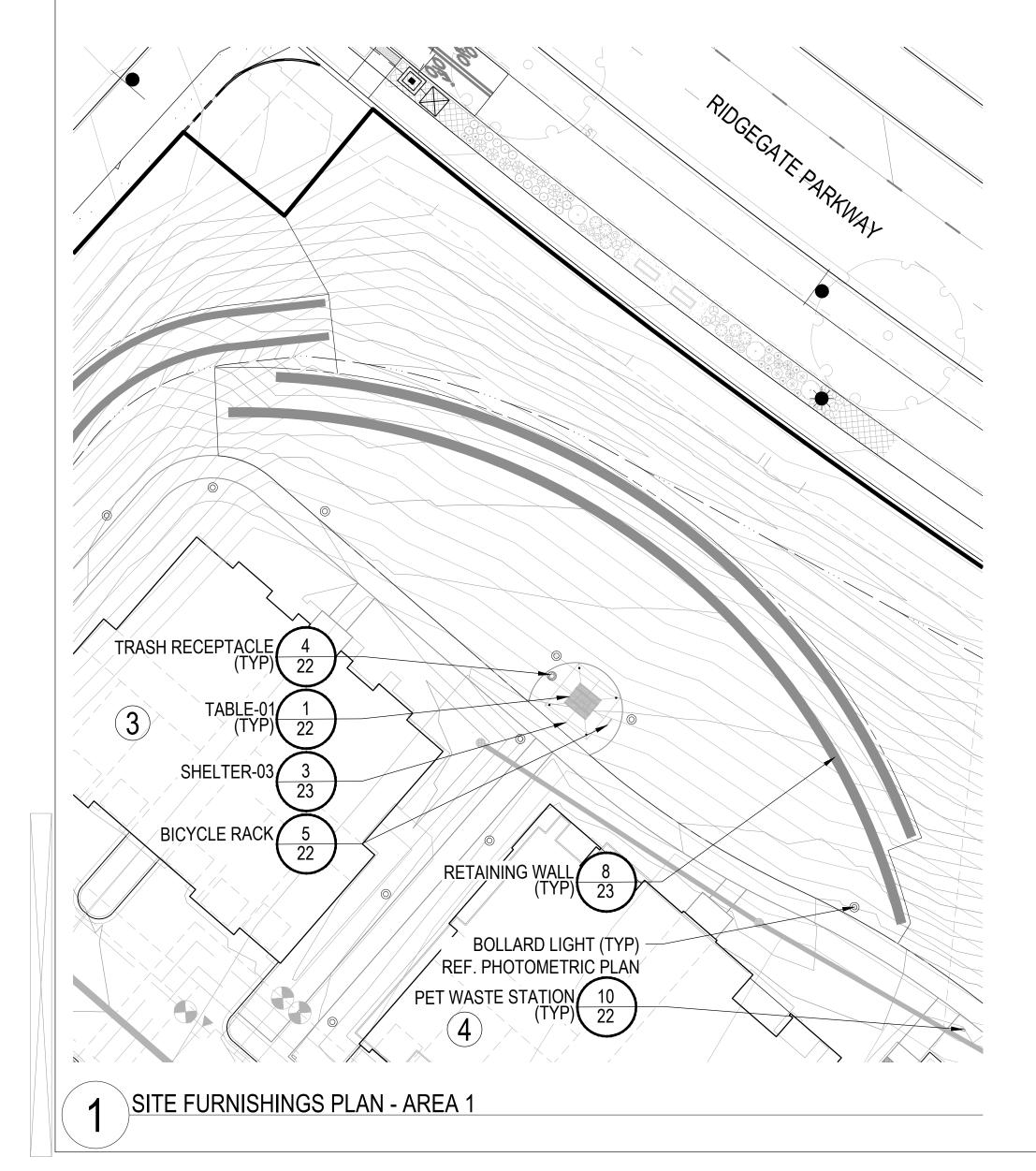
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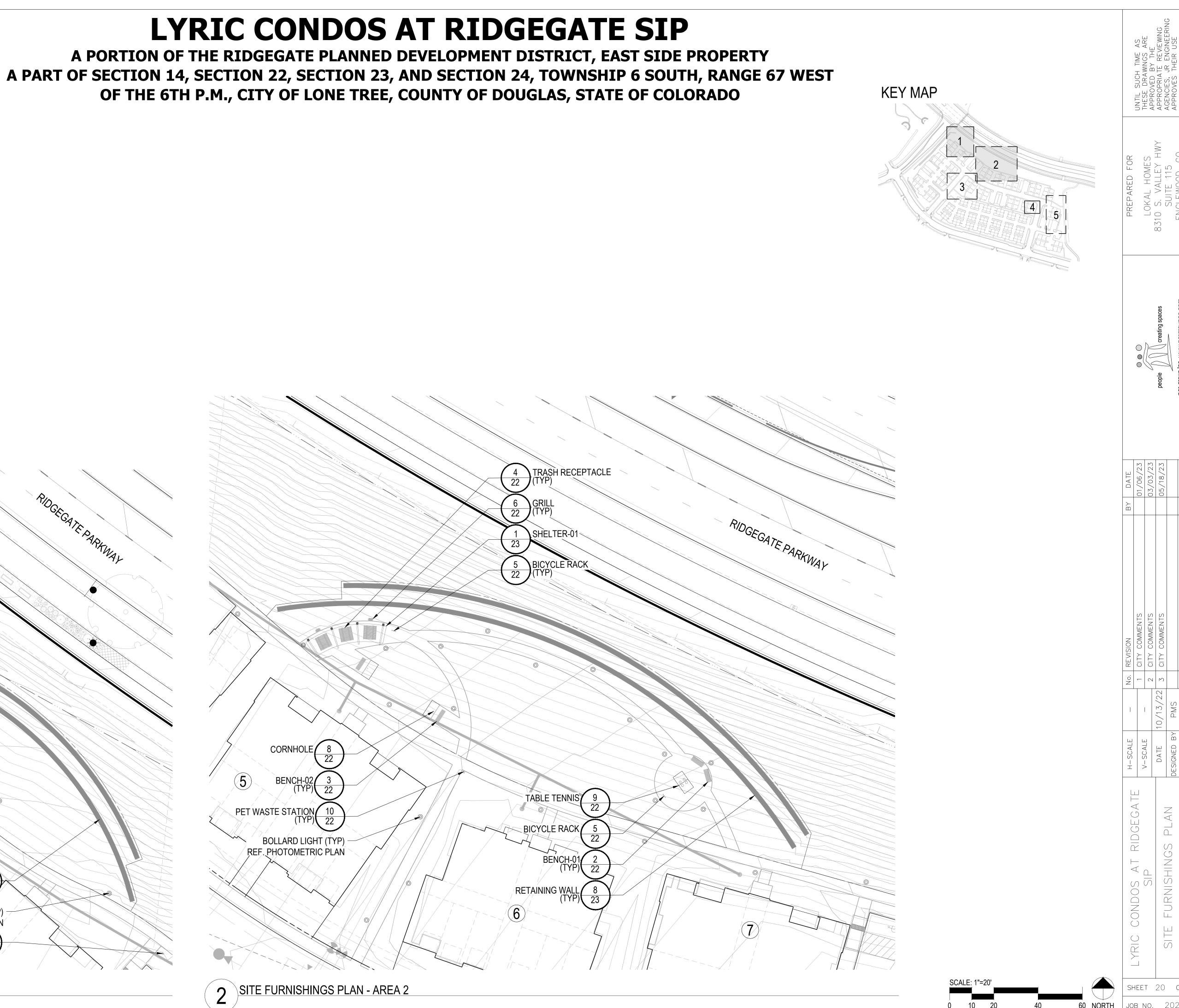
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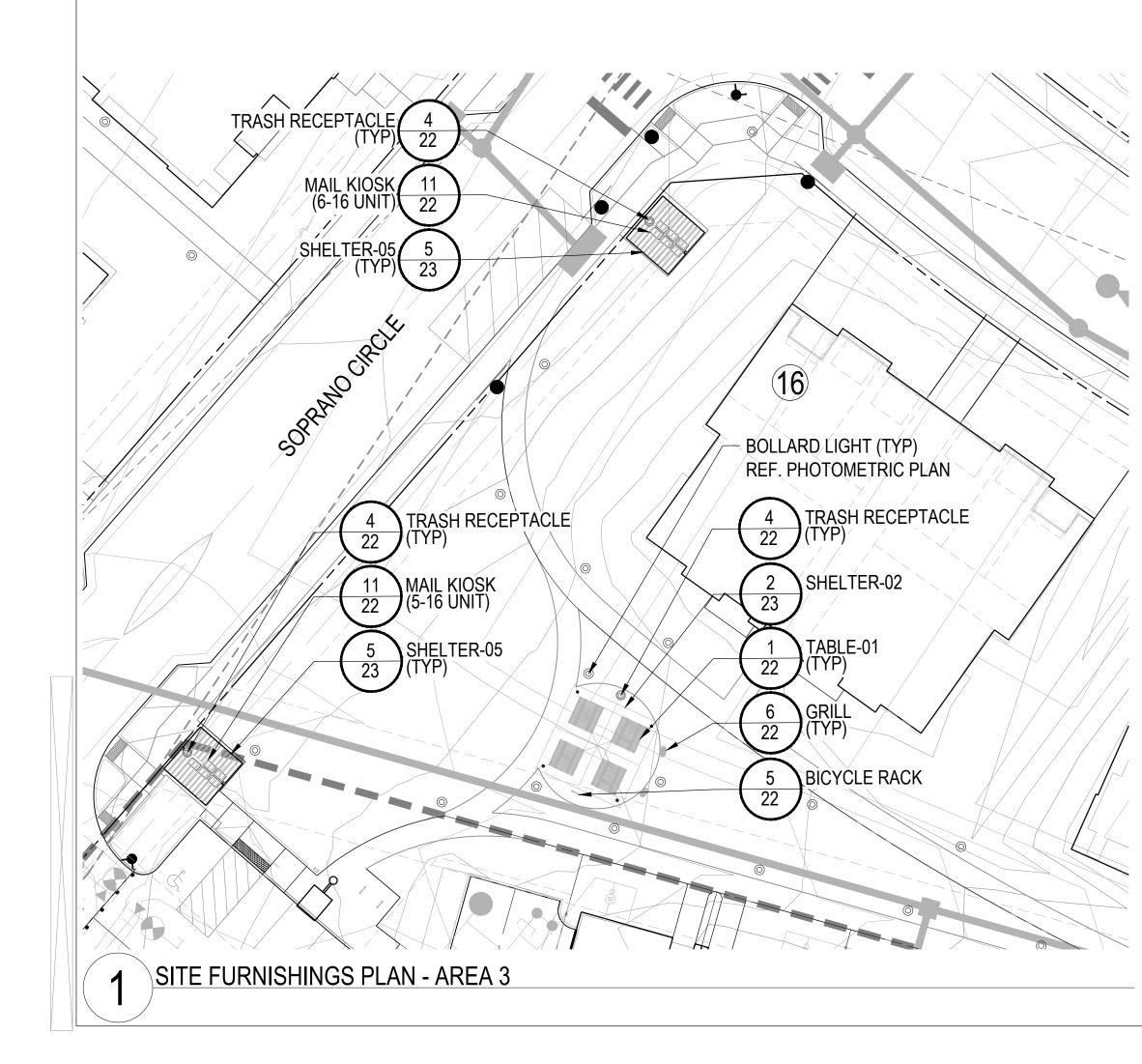
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ÓLLÁRD LIGHT (TYF REF. PHOTOMETRIC PLAN LS5.4 **BICYCLE REPAIR STATION** 22 (10)PEA GRAVEL (TYP) FENCE AND GATE 7 23 G6 POLE LIGHT (TYP) **REF, PHOTOMETRIC PLAN** BOLLARD LIGHT (TYP) REF. PHOTOMETRIC PLAN RETAINING WALL 23 MAIL KIOSK (6-16 UNITS) -PET WASTE STATION 10 13 SHELTER-05 NO CIRCLE 22 Alt TRASH RECEPTACLE SOPRAN 2 SITE FURNISHINGS PLAN - AREA 4 3 SITE FURNISHINGS PLAN - AREA 5

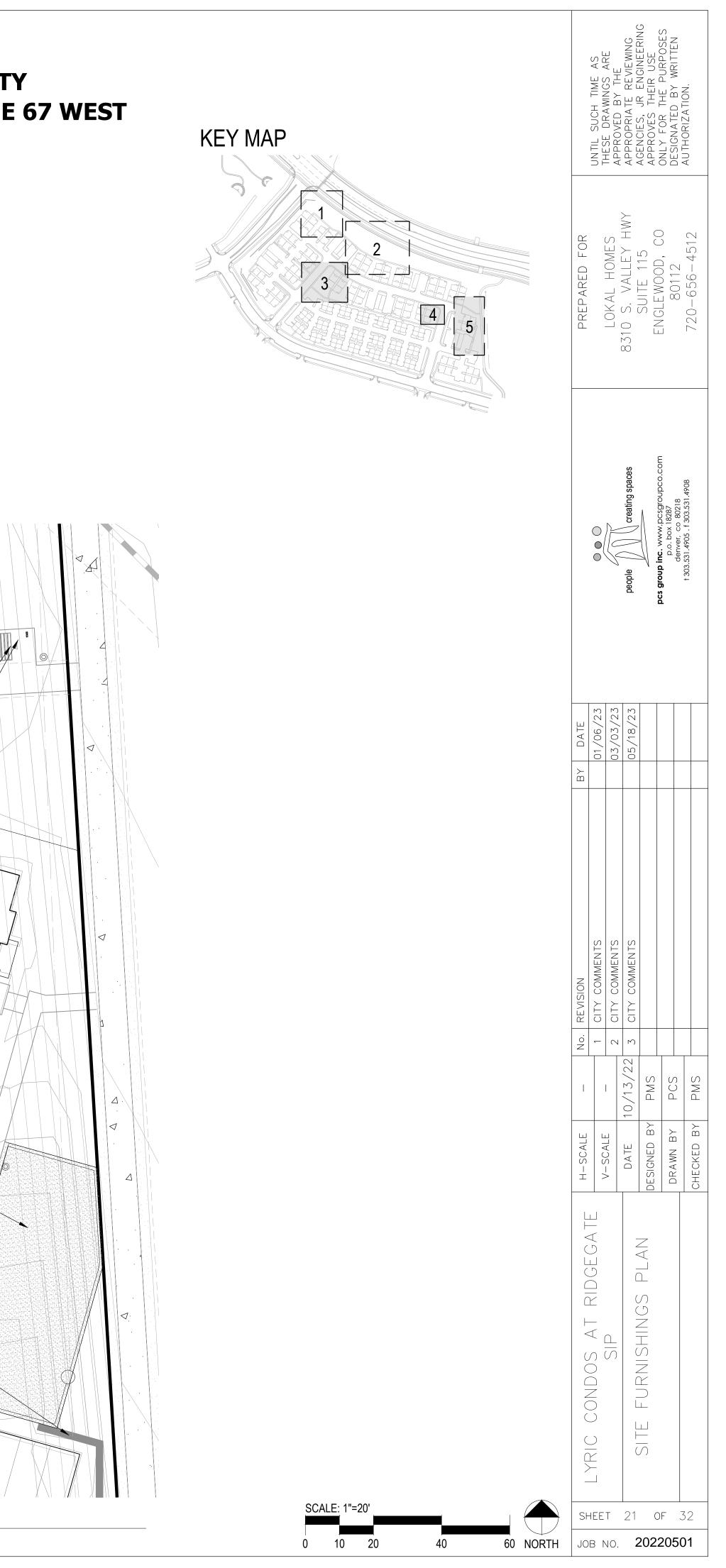


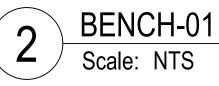


TABLE--01 Scale: NTS

TABLE-01 BY THOMAS STEELE CARNIVAL SQUARE TABLE MODEL: CRT4-4-SFI-P, OR APPROVED EQUAL COLOR: BLACK INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET







BICYCLE RACK Scale: NTS

BICYCLE RACK BY MADRAX U24 'U' BIKE RACK MODEL: U24-IG-P, OR APPROVED EQUAL. COLOR: BLACK INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET



GRILL 6 Scale: NTS



TABLE TENNIS Scale: NTS

9

TABLE TENNIS BY HENGE MODEL: SATIN FINISH TABLE NET: POWDERCOAT BLACK INSTALL PER MANUFACTURER'S SPECS

CONTACT: RECREATION PLUS, LTD PHONE: 888.278.1455 WWW.RECREATIONPLUS.COM





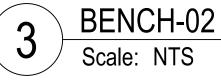
LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

> BENCH-01 BY THOMAS STEELE CARNIVAL STEEL BENCH MODEL: CRB, 6 FEET, OR APPROVED EQUAL. COLOR: BLACK INSTALL PER MANUFACTURER'S SPECS

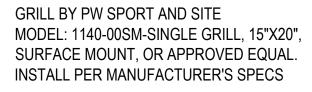
CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET



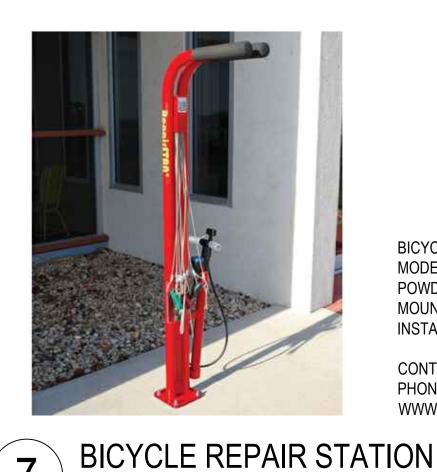


BENCH-02 BY THOMAS STEELE CARNIVAL STEEL BENCH MODEL: CRF2-6-IG-P, OR APPROVED EQUAL COLOR: BLACK INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET



CONTACT: PW SPORT AND SITE PHONE: 866.821.6166 WWW.PWATHLETIC.COM



Scale: NTS

BICYCLE REPAIR STATION BY MADRAX MODEL: BRS-NP POWDERCOAT COLOR: BLACK MOUNTING: SURFACE INSTALL PER MANUFACTURER'S SPECS

CONTACT: MADRAX PHONE: 800.448.7931 WWW.MADRAX.COM

PET WASTE STATION BY DOG ON IT PARKS MODEL: 7408-R,COMPLETE DOG WASTE STATION WITH ROLL DISPENSER, GREEN, OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECS

CONTACT: ATOZ RECREATION PHONE: 303.670.3789 WWW.ATOZRECREATION.COM



11

MAIL KIOSK BY FLORENCE CORPORATION OR APPROVED EQUAL MODEL: 1570-16 COLOR: SANDSTONE INSTALL PER MANUFACTURERS SPECS.

CONTACT: PAGE SPECIALTY CO PHONE: 800.327.7439 WWW.PAGESPECIALTY.COM





TRASH RECEPTACLE Scale: NTS

TRASH RECEPTACLE BY THOMAS STEELE CARNIVAL RECEPTACLE-NO TOP RING MODEL: CRTRN-32-P; LID-F-P, OR APPROVED EQUAL. COLOR: BLACK **INSTALL PER MANUFACTURER'S SPECS**

CONTACT: CHURCHICH RECREATION. HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET

8

CORNHOLE Scale: NTS

CORNHOLE BY KAY PARK RECREATION MODEL: CONCRETE CORNHOLE, CONCRETE BAG TOSS GAME, ONE PAIR (2 BOARDS) INSTALL PER MANUFACTURER'S SPECS

CONTACT: KAY PARK RECREATION PHONE: 866.741.8266 WWW.KAYPARK.COM

PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY	ENCIEWOOD CO	80112 B0112	720-656-4512
		<u> </u>	people // // creating spaces		put group into www.putsgroup.co.co.in p.o. box 18287 denver, co 80218	t 303.531.4905 .f 303.531.4908
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H-SCALE – No. REVISION	V SCALE 1 CITY COMMENTS	- 2	DATE 10/13/22 3 CITY COMMENTS	DESIGNED BY PMS	DRAWN BY PCS	CHECKED BY PMS
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JOB NO. 20220501

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SHELTER-01 BY STEELWORX RADIUS CANTILEVERED PERGOLA, 9X40 MODEL: RPC-0940-SW-C COLOR: BLACK **INSTALL PER MANUFACTURER'S SPECS**

CONTACT: STEELWORX PHONE: 586.486.1088 WWW.COVERWORX.COM/STEELWORX-2/



Scale: NTS



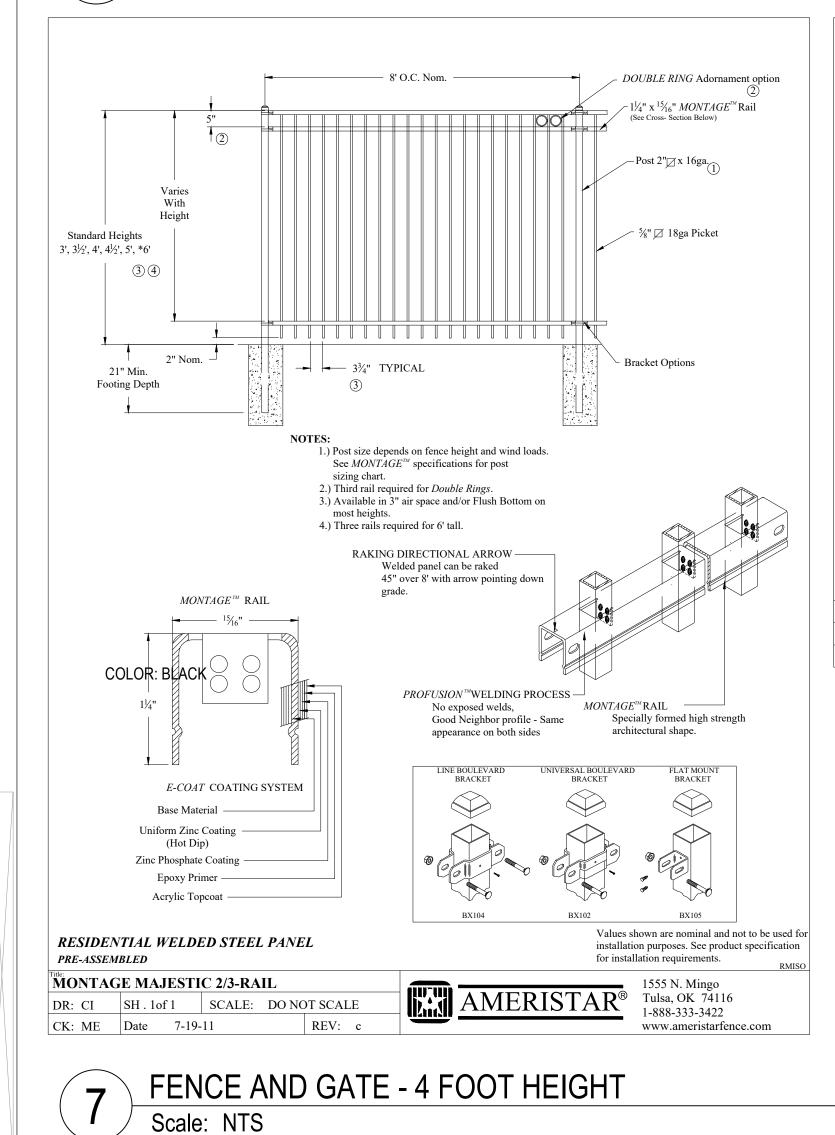
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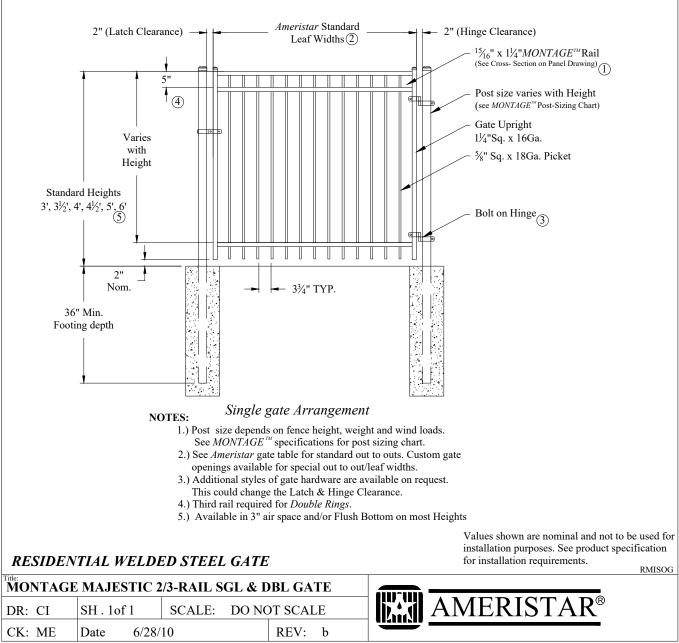
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SHELTER-02 BY POLIGON BLDG. TYPE: SSG 12X12 (NO BENCH) ROOF TYPE: MULTI RIB COLORS: ROOF: EVERGREEN FRAME: BLACK **INSTALL PER MANUFACTURER'S SPECS**

CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET





CK: ME Date 6/28/10 COLOR: BLACK

LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

> SHELTER-02 BY POLIGON BLDG. TYPE: SQR-20 ROOF TYPE: MULTI RIB COLORS: ROOF: EVERGREEN

FRAME: BLACK **INSTALL PER MANUFACTURER'S SPECS**

CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14

WWW.CHURCHICHRECREATION.NET

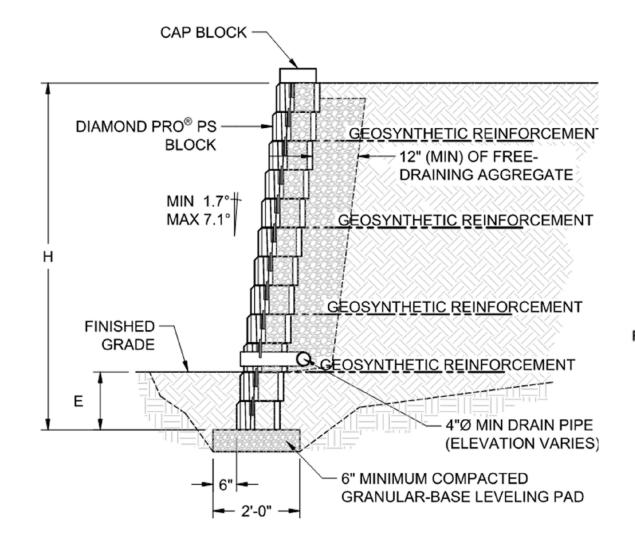


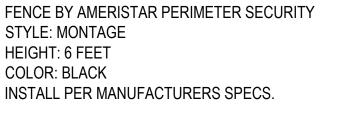


SHELTER-02 BY POLIGON BLDG. TYPE: SQR-16 ROOF TYPE: MULTI RIB COLORS: **ROOF: EVERGREEN**

FRAME: BLACK **INSTALL PER MANUFACTURER'S SPEC**

CONTACT: CHURCHICH RECREATION. HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET





CONTACT: AMERISTAR PHONE: 888.333.3422 WWW.AMERISTARPERIMETER.COM

RETAINING WALL 8 Scale: NTS

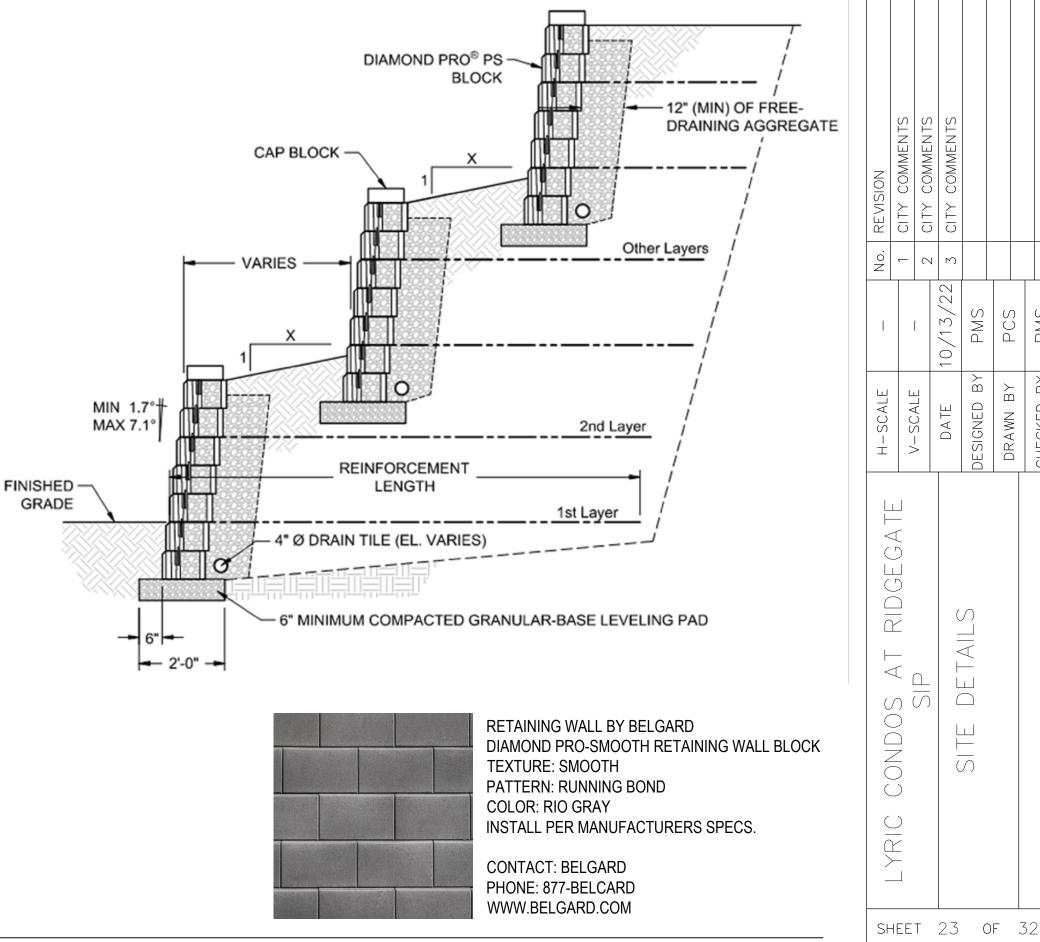
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- SHELTER-02 BY POLIGON BLDG. TYPE: CWE 8X12 ROOF TYPE: MULTI RIB COLOR: **ROOF: EVERGREEN** FRAME: BLACK
- **INSTALL PER MANUFACTURER'S SPECS**

CONTACT: CHURCHICH RECREATION, HEATHER HEASLEY PHONE: 303.530.4414 X14 WWW.CHURCHICHRECREATION.NET



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JOB NO. 20220501

LYRIC CONDOS AT RIDGEGATE SIP A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



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SITE LIGHTING PHOTOMETRIC

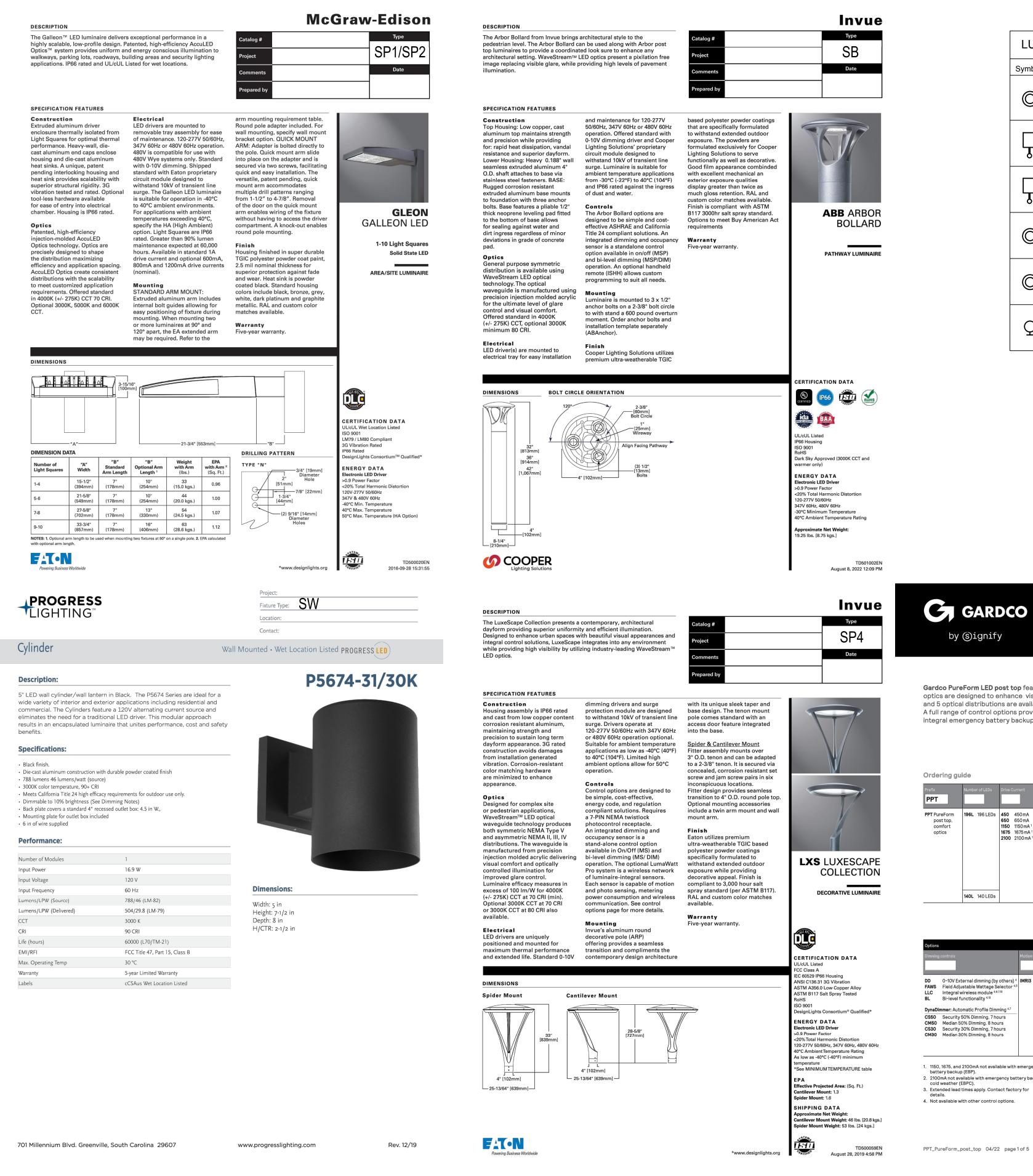
VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL GLARE ONTO 3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.

THERE WILL BE NO OFF-SITE GLARE ALLOWED.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF LONE TREE EXTERIOR LIGHTING STANDARDS

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	O'SW 22 OSW 02 +0.1 0.1 0.0 +0.0 +0.0 +0.0 OSW	
0.20.20.40.8		
+0.1 +0.2 +0.3 +0.8	25W 7 400 10.7 44 102 01 00 00 00 00	
+0.3 +0.8 +0.5 +0.3		
+0.6 + O /SW	SW26 +1.1 0.7 06 07 0 04 02 01 00 00 00 00 00 00	
.1.1 O/ SW	1.5 1.0 0.8 0.8 12 1.3 0.5 0.1 0.1 0.0 0.0 0.0 0.0	
+1.5	SW10 ^{1,9} ,0.9 ,0.9 ,0.1 ,1.3 ,0.8 ,0.5 ,0.2 ,0.1 ,0.0 ,0.0 ,0.0 ,0.0 ,0.0	
Orsw 18	•0.9 •0.9 •0.9 •0.1 •1.4 •0.5 •0.3 •0.1 •1.1 •0.0 •0.0 •0.0 •0.0 •0.0 •0.0	
Disw	1.6 1.0 1.0 1.4 SP1 0.0 00 0.0 0.0 0.0 0.0 0.0	
CAN DE TIL	WO,19,08,09,12,16,04,03,03,02,00,00,00,00,00,00,00	
	0.4 0.7 0.7 0.8 10 10 04 0.4 0.4 0.3 01 0.0 00 0.0 0.0 0.0 0.2 0.4 0.6 0.6 0.8 0.7 0.4 0.5 0.6 0.6 0.4 0.1 0.0 0.0 0.0 0.0	
	0.2 0.3 0.4 0.5 0.6 0.5 0.4 0.6 0.8 10 0.8 0.1 0.0 0.0 0.0 0.0	
	0.2 0.3 0.3 0.4 0.4 0.4 0.5 0.7 1.1 13 0.3 0.1 0.0 0.0 0.0 0.0 0.0	
2.3 _0.5	0.2 0.2 0.2 0.3 0.3 0.4 0.5 0.9 1.4 17 0.4 0.1 0.0 0.0 0.0 0.0 0.0 0.2 0.2 0.2 0.2 0.2 0.3 0.4 0.4 0.6 1.0 1.5 1.5 0.3 0.1 0.0 0.0 0.0 0.0 0.0 0.0	
SW 02.1 0.5	0.2 0.2 0.2 0.3 0.3 0.4 0.6 04 0.6 0.0 0.0 0.0 0.0 0.0 0.0 0.0	
SWO 1.4 _0.3	0.2 0.2 0.3 0.5 0.5 0.4 0.5 0.7 0.9 0.2 0.1 0.1 0.0 0.0 0.0 0.0 0.0	
SW 0 +1.0 +0.3 SW 0 0 0 0 0 0 2	0.1 0.2 0.4 1.8 03 04 05 04 01 01 00 00 00 00 00 0.0 0.0 0.0 0.0 0.	
VVO_2.2 _0.5 _0.1		
W +1.4 +0.3 +0.1		
$(0.1 \pm 0.10^{5})^{+0.8}$	+0.1 $+0.2$ $+0.2$ $+0.2$ $+0.1$ $+0.1$ $+0.0$ $+0.0$ $+0.0$	
1 1 1 1 1 1 1 1 1 1	0.2 +0.7 OSW 0.2 +10 29 SW O 27 c9 0.4 0.1 00 00 00	
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	0.0 00 00 00 00 00 00 00 00 00 00 00 00	
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	UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES, UN ENGINEERING APPROVES THEIR USE	ONLY FOR THE PURPOSES		
PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY		ENGLEWUUD, UU BA110	20012	720-656-4512
		63 BAIL	DIO L SUNS LEY, 0 03.24	SET I CO 8	DR. 0421	3	
DATE	#	#	#	#			
BΥ	#	#	#	#			
H-SCALE 1"=50' No. REVISION			DATE 5/18/23 # #	DESIGNED BY JMB # #	DRAWN BY MB		CHECKED BY
	LYRIC CUNDUS AL RIUGEGAIE	SIP			DF		62



A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

LUMI	INAIRE	SCHEDULE										
Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	Lumens	Classification	Shielding	Control
	0.5	BOLLARD	3'-0" AFG	BLACK	INVUE	LED	1.00	11W	472	Asymmetric	FULL CUTOFF	PHOTOCELL
Ô	SB	WALKWAYS			ABB-B1-8030-LED-36-D1- A-BK							
		SITE POLE	20'-0" AFG	BLACK	MCGRAW-EDISON	LED	1.00	34W	3635	Type III	FULL CUTOFF	PHOTOCELL
L J	SP1	PARKING & DRIVES			GLEON-SA1A-730-U-SL3- BK-7030							
		SITE POLE	20'-0" AFG	BLACK	MCGRAW-EDISON	LED	1.00	34W	3454	Type IV	FULL CUTOFF	PHOTOCELL
لۍ ا	SP2	PARKING & DRIVES			GLEON-SA1A-730-U-SL4- BK-7030							
	0.50	SITE POLE	12'-0" AFG	VERIFY	GARDCO	LED	1.00	30W	3182	TYPE III	FULL CUTOFF	PHOTOCELL
	SP3	PUBLIC STREETS			PPT-196L-650-WW-G2-XX- 3-120-UNV							
	0.5.4	PEDESTRIAN POLE	12'-0" AFG	BLACK	INVUE	LED	1.00	24W	1923	Type II	FULL CUTOFF	PHOTOCELL
\bigcirc	SP4	SIDEWALKS			LXS-B1-LED-D1-T2-BK- C-7030-DIM							
		WALL SCONCE	8'-0" AFG	BLACK	PROGRESS LIGHTING	LED	1.00	16.9W	504	Туре V	FULL CUTOFF	PHOTOCELL
Q	SW	ENTRIES			P5674-31/30K							

	Invue		Site & Area	
	Туре	GARDCO	PureForm	
	SP4	by (Signify	PPT post top	
	Date		with comfort optics	
				SP3
		Gardco PureForm LED post top features a s	laak lawarafila dagian Comfort	Project:
		optics are designed to enhance visual comf	ort by reducing glare. Type 1, 2, 3,	Location:
e sleek taper and The tenon mount tandard with an		and 5 optical distributions are available with A full range of control options provides addi	tional energy savings. Optional	Cat.No:
ature integrated		integral emergency battery backup is availa	ole for path-of-egress illumination.	Type: Lamps: Qty:
tilever Mount				Notes:
ly mounts over and can be adapted				
on. It is secured via rrosion resistant set		Ordering guide	ovample	: PPT-196L-450-NW-G2-T3-1-UNV-DGY
n screw pairs in six s locations. provides seamless		Prefix Number of LEDs Drive Current LED Color		Emergency Voltage
" O.D. round pole top. nting accessories		PPT		
arm mount and wall			arm White 3000K, 80 CRI T3 Mounts to a 3" x 4" 1 Comfort eneration 2 Tenon (standard) 2 Comfort	1
		comfort 1150 1150 mA ¹ NW-G2 N	Prevention 2 T2 Mounts to a 2-3/8"x 4" Tenon (must be	Type 2 EBPC Emergency 240 240V battery pack 277 277V
premium able TGIC based	Ĩ	CW-G2 C	ordered and shipped 5 Comfort as a separate	Type 5 cold weather 2.4.5.8.7 480 480V UNV 120-277V
vder coatings rmulated to ended outdoor	LXS LUXESCAPE	WY-G2 W	accessory	EBP Emergency battery pack ^{14,5,7} HVU 347-480V
le providing peal. Finish is	COLLECTION	G	eneration 2 ³ alanced White 3500K (80	(50/60Hz)
3,000 hour salt d (per ASTM B117).	DECORATIVE LUMINAIRE	C	RI) Generation 2 ³	
om color matches		140L 140 LEDs AM-G2 A	nber Generation 2 ^{3,11}	
ranty.				
		Options		
	CERTIFICATION DATA	Dimming controls Motion sensing	Photo-sensing Electrical/Shield	Finish
	FCC Class A IEC 60529 IP66 Housing ANSI C136.31 3G Vibration	DD 0-10V External dimming (by others) ⁴ IMRI3 Integral wit	h PCB Photocontrol Button ^{7,8} Fusing	Textured
	ASTM A356.0 Low Copper Alloy ASTM B117 Salt Spray Tested	FAWS Field Adjustable Wattage Selector ^{4,5} #3 lens ¹² LLC Integral wireless module ^{4,6,7,13} #3 lens ¹² BL Bi-level functionality ^{4,13} 1		277, 347VAC) [®] BK Black , 240, 480VAC) [®] WH White
	RoHS ISO 9001 DesignLights Consortium® Qualified*	DynaDimmer: Automatic Profile Dimming 4.7	TLRPC Twist Lock Receptacle w/Photocell ^{8,10,14} F3 Canadian Do (208, 240, 4	
	ENERGY DATA Electronic LED Driver	CS50 Security 50% Dimming, 7 hours CM50 Median 50% Dimming, 8 hours	Surge Protection (Customer specified
	>0.9 Power Factor <20% Total Harmonic Distortion	CS30 Security 30% Dimming, 7 hours CM30 Median 30% Dimming, 8 hours	SP2 Increased 2 EHS External hor	OKA color or RAL (ex: RAL7024) use side shield CC Custom color
	120-277V 50/60Hz, 347V 60Hz, 480V 60Hz 40°C Ambient Temperature Rating		(factory inst	
	As low as -40°C (-40°F) minimum temperature *See MINIMUMTEMPERATURE table			ailable in 2100mA.
	EPA	 2. 2100mA not available with emergency battery backup 7. No cold woother (EPPC) 	t available in 347 or 480V. option	ailable with DD and FAWS dimming control s. pecify a motion sensor lens.
	Effective Projected Area: (Sq. Ft.) Cantilever Mount: 1.3 Spider Mount: 1.6	3. Extended lead times apply. Contact factory for details. 9. Dir	ming will not be connected to NEMA receptacle if 14. Cannot dering with other control options.	be combined with HVU and BL-IMR13.
	SHIPPING DATA Approximate Net Weight:		t available in 480V.	
	Cantilever Mount Weight: 46 lbs. [20.8 kgs.] Spider Mount Weight: 53 lbs. [24 kgs.]			
	SISTERIO			
*www.designlights.org	TD500059EN August 28, 2019 4:58 PM	PPT_PureForm_post_top 04/22 page1of5	LFI INNOVATION AWAR	

S I 00 4512 FOR (AL HOME . VALLEY UITE 115 .EWOOD, C R0112 PREPARED 12 12 12 LOKAL 310 S. V SUI^T ENGLEV 20 L(8310

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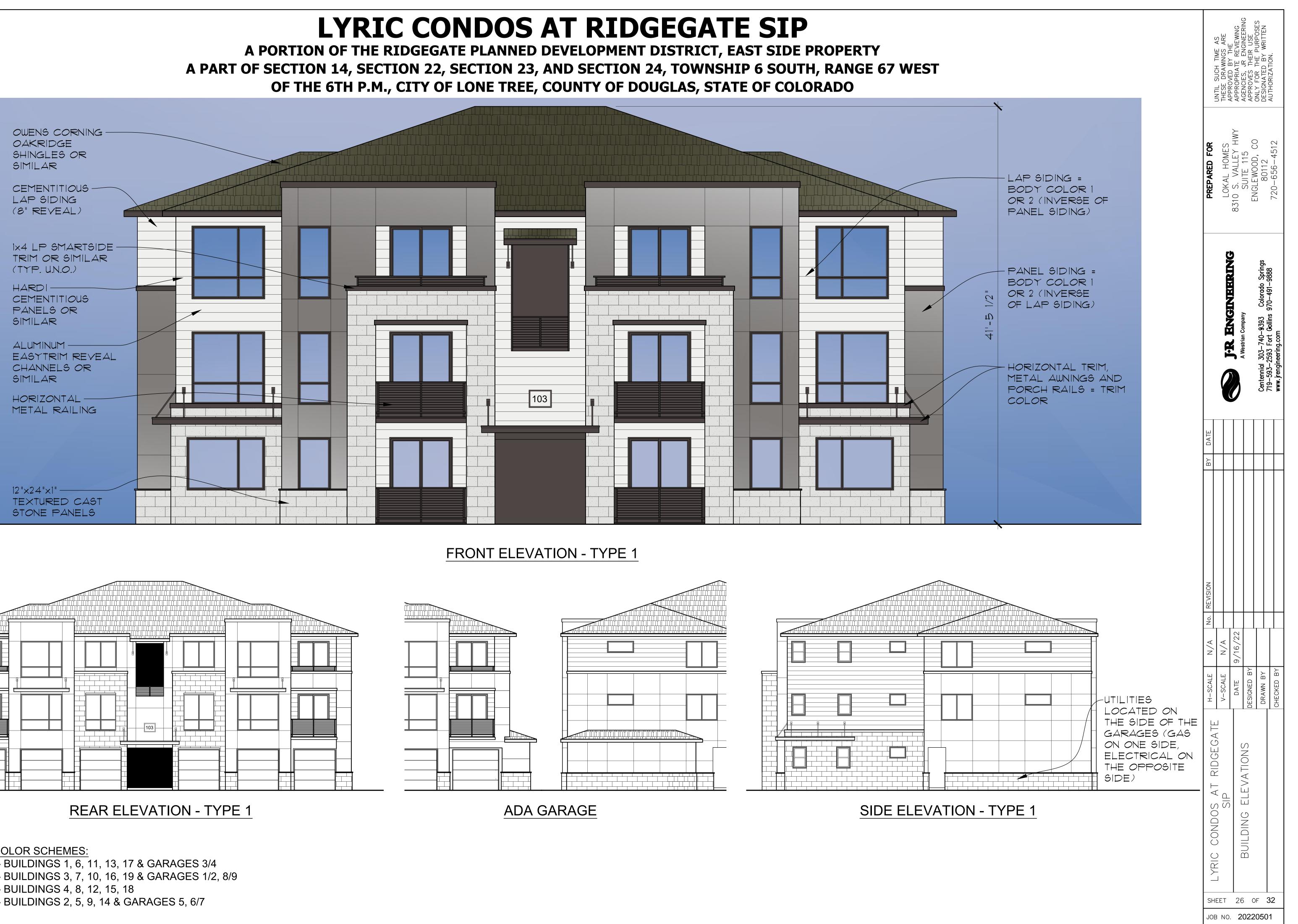
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A A P I A P



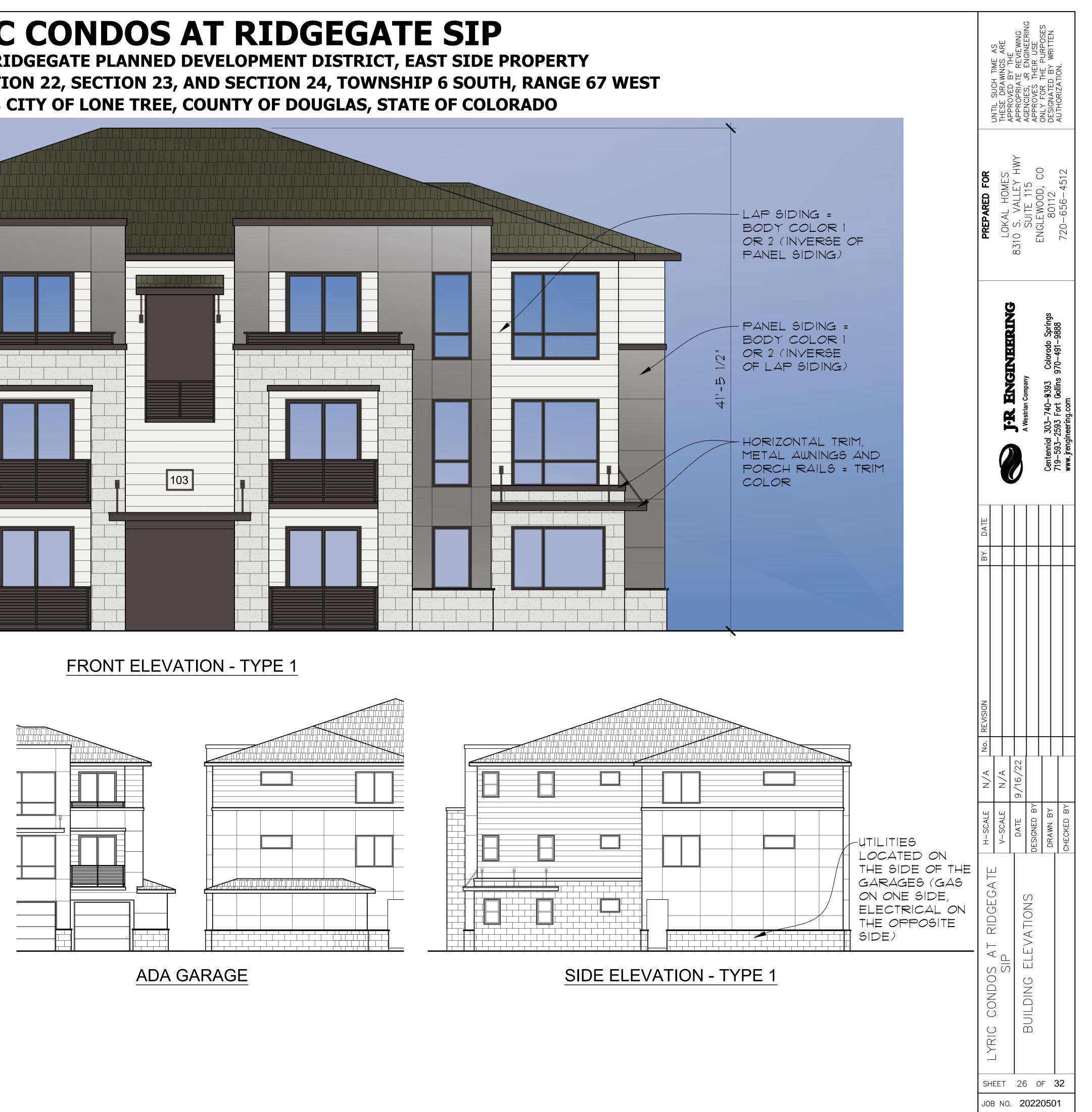
STUDIO LIGHTNING 63 SUNSET DR. BAILEY, CO 80421 303.242.1572

DATE	#	#	"	#	#				
ВΥ	#	#	"	#	#				
No. REVISION	#	#	1	#	#				
No.	#	#	"	#	#				
1"=50'	V N			5/18/23	JMB				
H-SCALE		V JUALL		DATE	DESIGNED BY				СНЕСКЕД ВҮ
	LIKIC CUNDUS AL RIUGEGAIE	SIP			SHE LIGHTING DETAILS				
SF	HEE.	Т		25	(DF		32	2
JO	ΒN	10.		2	202	20	50	2	1
			_					-	





BUILDING COLOR SCHEMES: SCHEME 1 - BUILDINGS 1, 6, 11, 13, 17 & GARAGES 3/4 SCHEME 2 - BUILDINGS 3, 7, 10, 16, 19 & GARAGES 1/2, 8/9 SCHEME 3 - BUILDINGS 4, 8, 12, 15, 18 SCHEME 4 - BUILDINGS 2, 5, 9, 14 & GARAGES 5, 6/7







REAR ELEVATION - TYPE 2

BUILDING COLOR SCHEMES: SCHEME 1 - BUILDINGS 1, 6, 11, 13, 17 & GARAGES 3/4 SCHEME 2 - BUILDINGS 3, 7, 10, 16, 19 & GARAGES 1/2, 8/9 SCHEME 3 - BUILDINGS 4, 8, 12, 15, 18 SCHEME 4 - BUILDINGS 2, 5, 9, 14 & GARAGES 5, 6/7

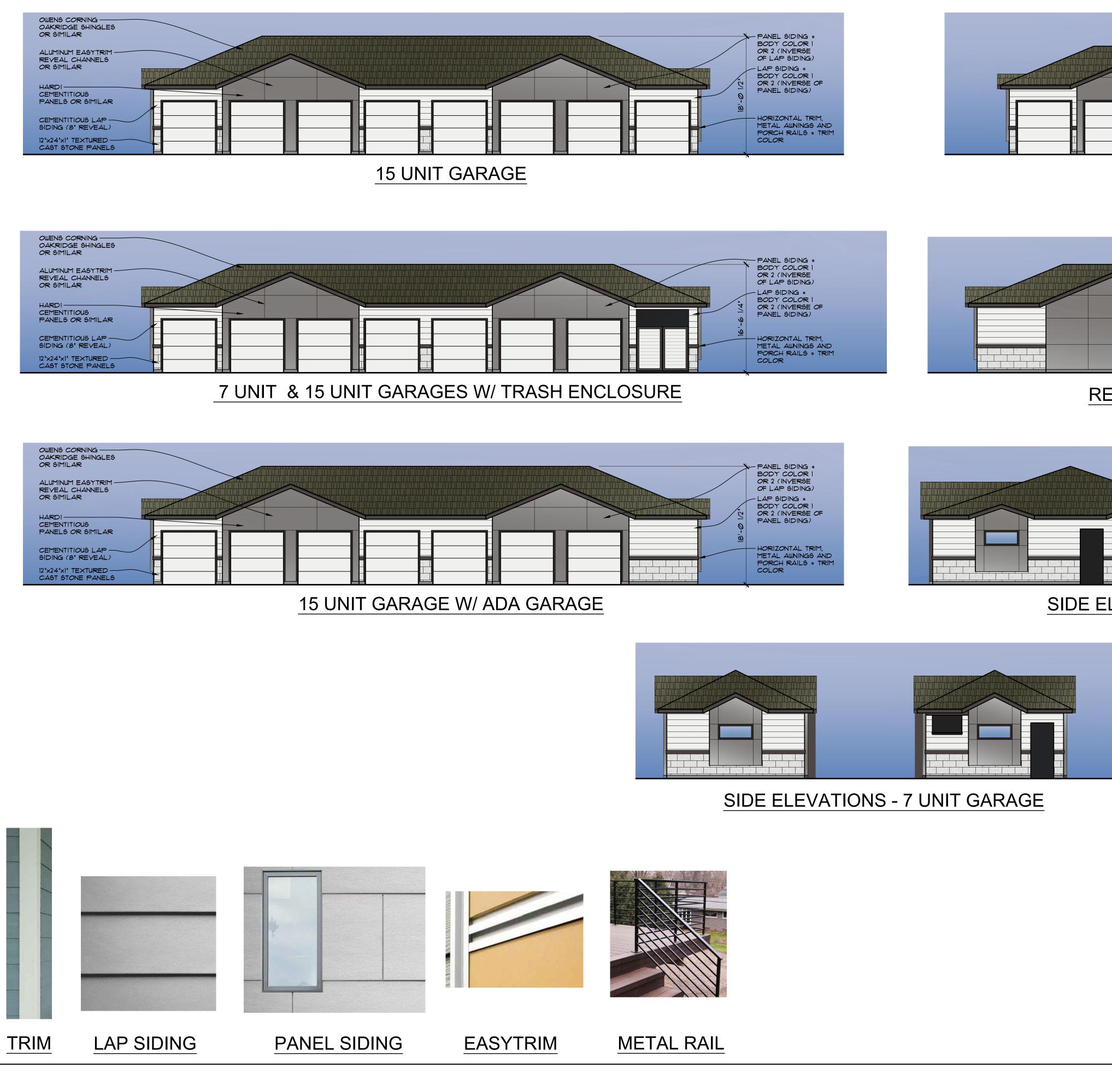
LYRIC CONDOS AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

FRONT ELEVATION - TYPE 2

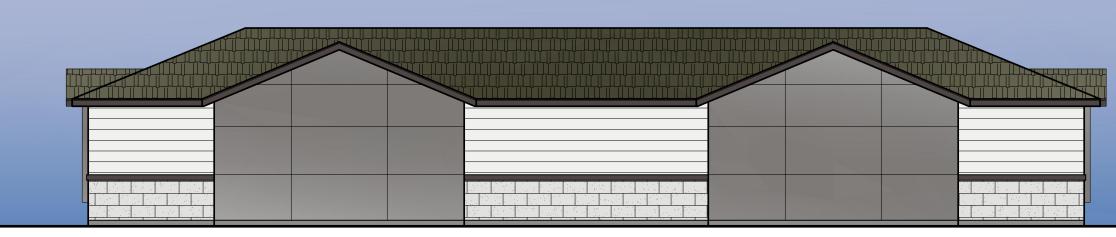
SIDE ELEVATION - TYPE 2

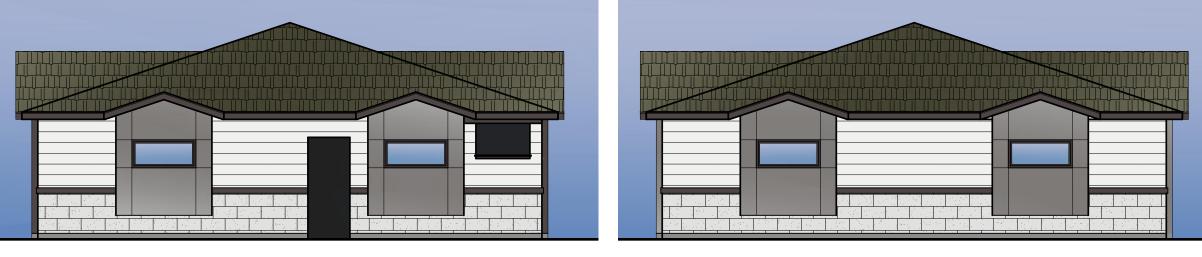
	AGENCIES, JR ENGINEERING APPROVES THEIR USE			
 	FNGLEWOD			720-656-4512
		Centennial 303-740-9393 Colorado Springs	719-593-2593 Fort Golline 970-491-9888	www.jrengineering.com
22				
	NED BY	WN BY		снескер вү
		DRA		CHEC
	SIP NOT IN COMPANY AND ATE 9/16/22 BATE 9/16/16/16/16/16/16/16/16/16/16/16/16/16/	V-SCALE N/A LOKAL HOMES V-SCALE N/A LOKAL HOMES B310 S. VALLEY HWY BUILDING ELEVATIONS BUILDING ELEVATIONS BUILDING ELEVATIONS	V-SCALE N/A LOKAL HOMES V-SCALE N/A V-SCALE N/A DATE 9/16/22 Mestrian Company 8310 S. VALLEY HWY BUILDING ELEVATIONS DATE 9/16/22 Nestrian Company DRAWN BY Octool Springs Control Signal Control Signal	Understand Understand



A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO







14 UNIT GARAGE

REAR ELEVATION - 7 UNIT GARAGE

SIDE ELEVATIONS - 14 & 15 UNIT GARAGES

BUILDING COLOR SCHEMES: SCHEME 1 - BUILDINGS 1, 6, 11, 13, 17 & GARAGES 3/4 SCHEME 2 - BUILDINGS 3, 7, 10, 16, 19 & GARAGES 1/2, 8/9 SCHEME 3 - BUILDINGS 4, 8, 12, 15, 18 SCHEME 4 - BUILDINGS 2, 5, 9, 14 & GARAGES 5, 6/7

	UNTIL SUCH TIME AS	APPROVED BY THF		APPROVES THEIR USE	ONLY FOR THE PURPOSES	UEJIGINATEU DI WINITTEIN		
PREPARED FOR		LUKAL HUMES	8310 S. VALLEY HWY	SULLE 115 ENCLEWOOD FO	ENGLEWOUD, UU BA110	00112	720-656-4512	
		I'R ENCINEEDING	Allocation Commany		Centennial 303-740-9393 Colorado Sprinas	710_503_9503 Fort Calline 070_401_088	www irandinaering com	
BY DATE								
N/A No. REVISION	+	+	9/16/22	3Y				
I VDID DONDOS AT DIDUEDATE H-SCALE		SIP SCALE	DATE	BUILDING ELEVATIONS DESIGNED BY			CHECKED BY	



A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO





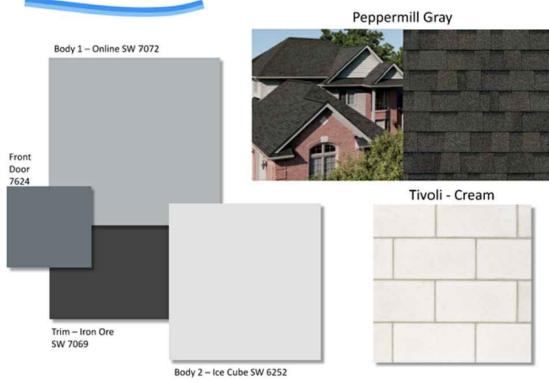


EXTERIOR PACKAGE 3

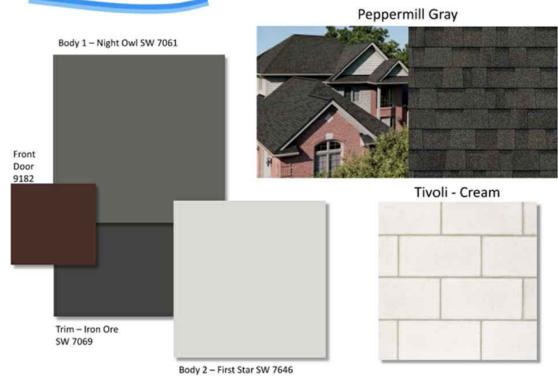
EXTERIOR PACKAGE 4



Exterior Package 2



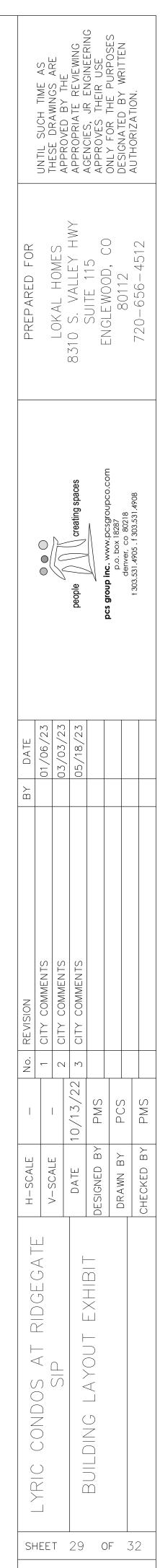
Exterior Package 3



Exterior Package 4 Peppermill Gray Body 1 – Grays Harbor SW 6236 Front Door 2739



Body 2 - Gray Screen SW 7071



JOB NO. 20220501



	UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES THEIR USE	ONLY FOR THE PURPOSES Designated by written	AUTHORIZATION.	
PREPARED FOR		LOKAL HOMES	8310 S. VALLEY HWY Outer 115	SULE TUDE	ENGLEWOOD, CO 80110		7104-000-07/
		<u>A</u> UY	people			denver, co 8u218 † 303.531,4905 , f 303.531,4908	
BY DATE	01/06/23	03/03/23	05/18/23				
No. REVISION	1 CITY COMMENTS	2 CITY COMMENTS	10/13/22 3 CITY COMMENTS				
H-SCALE -			DATE 10/13/22	DESIGNED BY PMS	DRAWN BY PCS		CHECKED BY PMS
	LIRIC CUNDUS AL RIDGEGALE			LHOLO SIMULATION			
SF	IEE	T		C)F		2



UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES THEIR USE	DESIGNATED BY WRITTEN	AU IHORIZA IION.
	LUKAL HUMES	8310 S. VALLEY HWY	FNG FWOOD CO	80112	720-656-4512
	<u>And</u>	people // // creating spaces		p.o. box 18287 denver, co 80218	t 303.531.4905 . f 303.531.4908
01/06/23	03/03/23	05/18/23			
1 CITY COMMENTS	2 CITY COMMENTS	3 CITY COMMENTS			
		DATE 10/13/22	DESIGNED BY PMS	DRAWN BY PCS	CHECKED BY PMS
IRIC CUNDUS AL RIDGEGALE					
	CUNDUS AL RIUGEGATE VENTE 1 CITY COMMENTS	CUNDUS AL RIUGEGATE V-SCALE - 1 CITY COMMENTS 01/06/23 0.0 C LOKAL HOMES 03/03/23 0.0 C LOKAL HOMES 05/03/23 0.0 C LOKAL HOMES 05/03/23 0.0 C LOKAL HOMES 03/03/23 0.0 C LOKAL HOMES 0.	CUNUUS AL RIUGEUALE 1 CITY COMENTS 01/06/23 01/06/23 SIP V-SCALE - 1 CITY COMMENTS 03/03/23 SIP Parte 10/13/22 3 CITY COMMENTS 05/18/23 Date Date 10/13/22 3 CITY COMMENTS 05/18/23	UCUNUUS AT RUDE GATE1CITY COMMENTS01/06/23UUNUUS AT RUDE GATE-1CITY COMMENTSLOKAL HOMESSIPV-SCALE-2CITY COMMENTS03/03/23SIPDATE10/13/223CITY COMMENTS8310 S. VALLEY HWYHOTO SIMULATIONDESIGNED BYPMS-05/18/23PROPIEHOTO SIMULATIONDESIGNED BYPMS-10/13/223COTO SIMULATIONDESIGNED BYPMS-05/18/23PROPIEHOTO SIMULATIONDESIGNED BYPMS05/18/23HOTO SIMULATIONDESIGNED BYPMS05/18/23HOTO SIMULATIONDESIGNED BYPMSHOTO SIMULATIONDESIGNED BYPMS<	UNUCTATINUCTATION 1 CITY COMMENTS 01/06/23 V-SCALE - 1 CITY COMMENTS 03/03/23 SIP V-SCALE - 2 CITY COMMENTS DATE 10/13/22 3 CITY COMMENTS 03/03/23 HOTO DATE 10/13/22 3 CITY COMMENTS DATE 10/13/22 3 CITY COMMENTS 05/18/23 PODID DESIGNED BY PMS 05/18/23 DRAWN BY PCS 05/18/23 DRAWN BY PCS 05/18/23



LYRIC CONDOS AT RIDGEGATE H-SCALE Lo. No. Revision BY Date V-SCALE - 1 CITY COMMENTS 01/06/23 01/06/23 V-SCALE - 2 CITY COMMENTS 01/06/23 V-SCALE - 2 CITY COMMENTS 01/06/23 DATE 10/13/22 3 CITY COMMENTS 05/18/23 PHOTO SIMULATION DESIGNED BY PMS 05/18/23 DRAWN BY PCS 0 0 PC 0 0 0 DRAWN BY PCS 0 <t< th=""><th></th><th>UNTIL SUCH TIME AS</th><th>APPROVED BY THE</th><th>APPROPRIATE REVIEWING</th><th>APPROVES THEIR USE</th><th>DESIGNATED BY WRITTEN</th><th>AU IHORIZA IION.</th></t<>		UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES THEIR USE	DESIGNATED BY WRITTEN	AU IHORIZA IION.
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CONDOS AT RIDGEGATE H-Scale - No. REVISION BY DATE V-Scale - 1 CITY COMMENTS BY 01/06/23 V-Scale - 2 CITY COMMENTS 03/03/23 HOTO SIMULATION DATE 10/13/22 3 CITY COMMENTS 05/18/23 HOTO SIMULATION DESIGNED BY PMS 1 CITY COMMENTS 05/18/23 CHECKED BY PMS P PO 01/06/23 05/18/23				creating spaces		x, 18287 x 18287 co 80218	.f 303.531.4908
CONDOS AT RIDGEGATE H-SCALE No. REVISION SIP v-SCALE - 1 CITY COMMENTS BY HOTO SIMULATION DATE 10/13/22 3 CITY COMMENTS NO HOTO SIMULATION DESIGNED BY PMS 1 CONMENTS NO HOTO SIMULATION DESIGNED BY PMS 1 CITY COMMENTS NO CHECKED BY PMS PCS 1 PO PO NO				people		p.o. bo p.o. bo denver,	t 303.531.4905
CONDOS AT RIDGEGATE H-SCALE - No. SIP HOTO SIMULATION HOTO SIMULATION PESIGNED BY PMS PRAWN BY PMS CHECKED BY PMS		01/06/23	03/03/23	05/18/23			
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CONDOS AT RIDGEGATE H-SCALE SIP HOTO SIMULATION PESIGNED BY DRAWN BY CHECKED BY				0/13/22 3 CITY COI	PMS	PCS	PMS
CONDOS AT RIDGEG SIP HOTO SIMULATION	H-SCALE				DESIGNED BY	DRAWN BY	СНЕСКЕД ВҮ
		CUNDUS AI RIDGEG			FHUID SIMULATION		