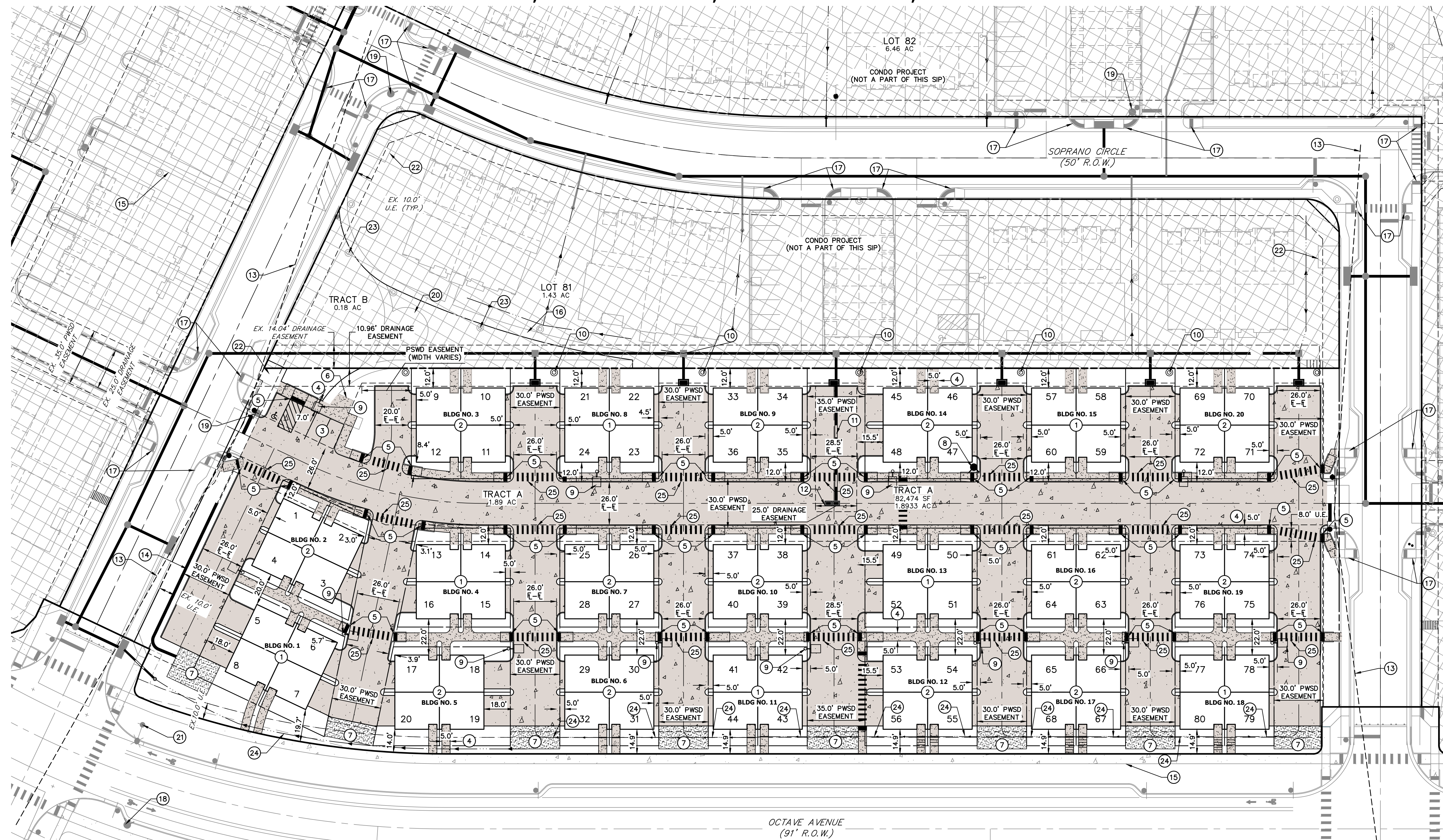


LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

SITE BOUNDARY	—————
EXISTING PROPERTY LINE	—————
PROPOSED PROPERTY LINE	—————
EXISTING EASEMENT	—————
PROPOSED EASEMENT	—————
EXISTING RIGHT OF WAY	—————
PROPOSED RIGHT OF WAY	—————
PROPOSED CONCRETE SIDEWALK	▨
PROPOSED CONCRETE	■
PROPOSED SNOW STORAGE AREA	▨

SNOW STORAGE REQUIREMENT

4" Snowfall		
Area (SF)	Calculations (SF)	Storage (CF.)
54118	54118 SF x (4/12) F x 0.8	14431.46667

12" Snowfall		
Area (SF)	Calculations (SF)	Storage (CF.)
54118	54118 SF x (12/12) F x 0.2	10823.6

Average	
Average (CF.)	Storage (CF.)
(14431.47 CF. + 10823.60 CF.) / 2	12627.53

- SCHEDULE NOTES**
- | | |
|---|---|
| ① 4-UNIT TOWNHOME BUILDING TYPE 1, REF. ARCHITECTURAL PLANS | ⑪ PROPOSED STORM SEWER |
| ② 4-UNIT TOWNHOME BUILDING TYPE 2, REF. ARCHITECTURAL PLANS | ⑫ PROPOSED STORM INLET |
| ③ PROPOSED 9'X18' PARKING STALL (TYP.) | ⑬ SIGHT DISTANCE TRIANGLE |
| ④ PROPOSED CONCRETE SIDEWALK, WIDTH SHOWN HEREON | ⑭ PROPOSED RETAINING WALL |
| ⑤ PROPOSED ADA-ACCESSIBLE RAMP (TYP.) | ⑮ EXISTING SIDEWALK TO REMAIN |
| ⑥ PROPOSED BIKE PARKING | ⑯ SIDEWALK TO BE CONSTRUCTED AS PART OF THE LOKAL CONDO PROJECT |
| ⑦ PROPOSED SNOW STORAGE AREA, INSTALL 6" DEPTH CRUSHED ROCK OR APPROVED EQUAL | ⑰ ADA RAMP TO BE CONSTRUCTED AS PART OF THE LOKAL CONDO PROJECT |
| ⑧ PROPOSED FIRE HYDRANT | ⑱ EXISTING FIRE HYDRANT TO REMAIN |
| ⑨ PROPOSED SITE LIGHT, REF. PHOTOMETRIC PLANS (TYP.) | ⑲ FIRE HYDRANT TO BE CONSTRUCTED AS PART OF THE LOKAL CONDO PROJECT |
| ⑩ PROPOSED BOLLARD LIGHT, REF. PHOTOMETRIC PLANS (TYP.) | |

- | |
|--|
| ⑳ COVERED SHELTER TO BE CONSTRUCTED AS PART OF THE LOKAL CONDO PROJECT |
| ㉑ EXISTING STREET LIGHT TO REMAIN |
| ㉒ MAIL KIOSK TO BE CONSTRUCTED AS PART OF THE LOKAL CONDO PROJECT |
| ㉓ BOLLARD LIGHT TO BE CONSTRUCTED AS PART OF THE LOKAL CONDO PROJECT |
| ㉔ PROPOSED SWALE, REFERENCE GRADING PLANS |
| ㉕ PROPOSED 2' X 6' CROSSWALK (TYP.) |

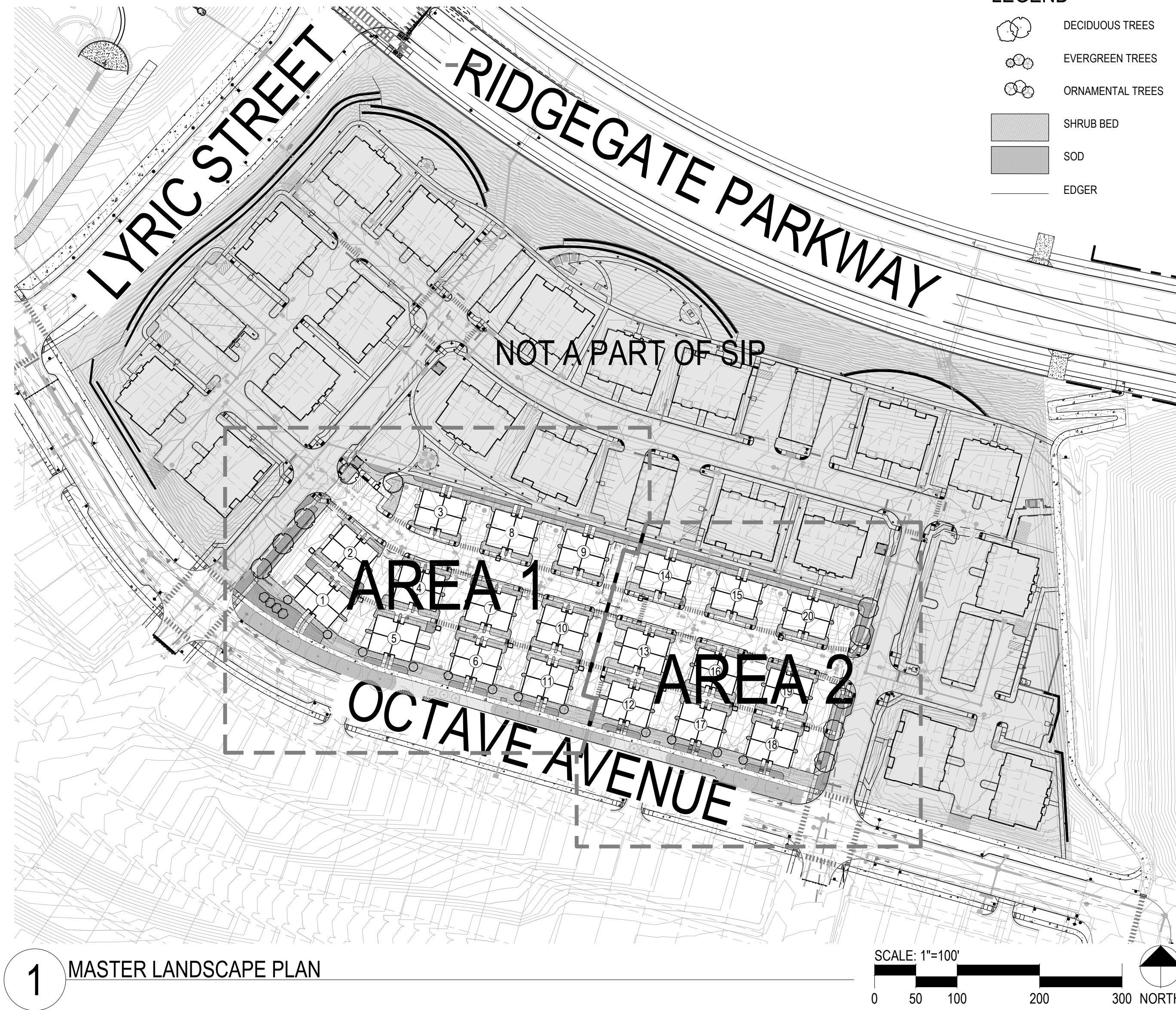
811
Know what's below.
Call before you dig.

30 15 0 30 60
ORIGINAL SCALE: 1" = 30'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.
 PREPARED FOR
LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
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 (720) 656-4512
J.R. ENGINEERING
 A Westman Company
 Centennial 300-740-9888 • Colorado Springs 719-583-2583
 Fort Collins 970-491-9888 • www.jrengineering.com
 BY DATE
 No. REVISION
 H-SCALE 1"=30'
 V-SCALE N/A
 DATE 6/13/23
 DESIGNED BY JGS
 DRAWN BY DJG
 CHECKED BY
LYRIC TOWNHOMES AT RIDGEGATE SIP
OVERALL SITE PLAN
 SHEET 2 OF 25
 JOB NO. 15950.11

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



1 MASTER LANDSCAPE PLAN

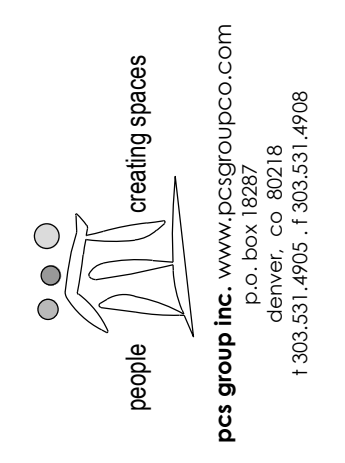
LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- SHRUB BED
- SOD
- EDGER

PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CANOPY TREE					
CO	4	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL	B & B
UP	5	ULMUS X 'PIONEER'	PIONEER ELM	2" CAL	B & B
ZS	1	ZELKOVA SERRATA	JAPANESE ZELKOVA	2" CAL	B & B
EVERGREEN TREE					
PD3	6	PICEA LAJICA 'DENSATA'	BLACK HILLS SPRUCE	6' HT	B & B
PP	6	PINUS EDULIS	PINON PINE	6' HT	B & B
ORNAMENTAL TREE					
QC	4	QUERCUS ROBUR X ALBA 'CRIMSON SPIRE'	CRIMSON SPIRE OAK	2" CAL	B & B
DECIDUOUS SHRUB					
CF2	19	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	5 GAL	
FA	24	FORSYTHIA INTERMEDIA 'ARNOLD'S DWARF'	DWARF FORSYTHIA	5 GAL	
HF	36	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST HYPERICUM	5 GAL	
LW	42	LONICERA SYRINGANTHA 'WOLFII'	TINY TRUMPET HONEYSUCKLE	5 GAL	
PL	24	PHILADELPHUS MICROPHYLLUS	LITTLE LEAF MOCKORANGE	5 GAL	
PM	33	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	5 GAL	
PO	24	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	YELLOW NINEBARK	5 GAL	
PS	44	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE/00AE NINEBARK	5 GAL	
PP2	60	PRUNUS BESSEYI 'PAMNEE BUTTES'	CREEPING WESTERN SAND CHERRY	5 GAL	
RT	15	RHUS TRILOBATA	SKUNKBUSH SUMAC	5 GAL	
RG2	18	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	
RK	18	ROSA X 'RADSUNNY'	SUNNY KNOCK OUT YELLOW ROSE	5 GAL	
SN	22	SPIRAEA JAPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 GAL	
SM2	58	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	5 GAL	
SC	43	SYRINGA VULGARIS 'CHARLES JOLY'	CHARLES JOLY LILAC	5 GAL	
VC	22	VBURNUM CARLESII	KOREAN SPICE VIBURNUM	5 GAL	
VB	26	VBURNUM DENTATUM 'CHRISTORS'	BLUE MUFFIN ARROWWOOD	5 GAL	
VB2	16	VBURNUM X BURKWOODII	BURKWOOD VIBURNUM	5 GAL	
EVERGREEN SHRUB					
CP2	31	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	5 GAL	
CT	14	COTONEASTER HORIZONTALIS 'TOM THUMB'	TOM THUMB COTONEASTER	5 GAL	
EE	50	EPHEDRA EQUISETINA	BLUESTEM JOINT FIR	5 GAL	
EM	18	EUONYMUS FORTUNEI 'MOONSHADOW'	MOONSHADOW EUONYMUS	5 GAL	
EC3	18	EUONYMUS FORTUNEI 'CANADALE GOLD'	CANADALE GOLD WINTER CREEPER	5 GAL	
EG	38	EUONYMUS FORTUNEI 'EMERALD GAET Y'	EMERALD GAET Y WINTER CREEPER	5 GAL	
EK	23	EUONYMUS KIAUTSCHOWICUS 'MANHATTAN'	MANHATTAN EUONYMUS	5 GAL	
PC4	24	PICEA LAJICA 'CONICA'	DWARF WHITE SPRUCE	5 GAL	
PG2	12	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE BLUE SPRUCE	5 GAL	
PC3	27	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	5 GAL	
PM2	61	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	5 GAL	
PH3	14	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	HILLSIDE CREEPER SCOTCH PINE	5 GAL	
ORNAMENTAL GRASS					
BB	32	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	5 GAL	
CK	84	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	
HS2	24	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL	
PD	13	PANICUM VIRGATUM 'DALLAS BLUES' TM	DALLAS BLUES SWITCH GRASS	5 GAL	
GROUND COVER					
EP	28	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	
EC	281	EUONYMUS FORTUNEI 'COLORATA'	PURPLE-LEAF WINTER CREEPER	4" POT	
HO	24	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	
SOD	9,400 SF		80/20 FESCUE/BUEGRASS MIX		
MULCH	27,080 SF		SHREDDED CEDAR	4" DEPTH	

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PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO 80112
720-656-4512



H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISION			BY	DATE
						No.	1	2		
		12/02/22	PMS	PCS	PMS	1	TOWN COMMENTS			01.20.23
						2	TOWN COMMENTS			03.03.23
						3	TOWN COMMENTS			05.18.23

LYRIC TOWNHOMES AT
RIDGEGATE SIP
MASTER LANDSCAPE PLAN

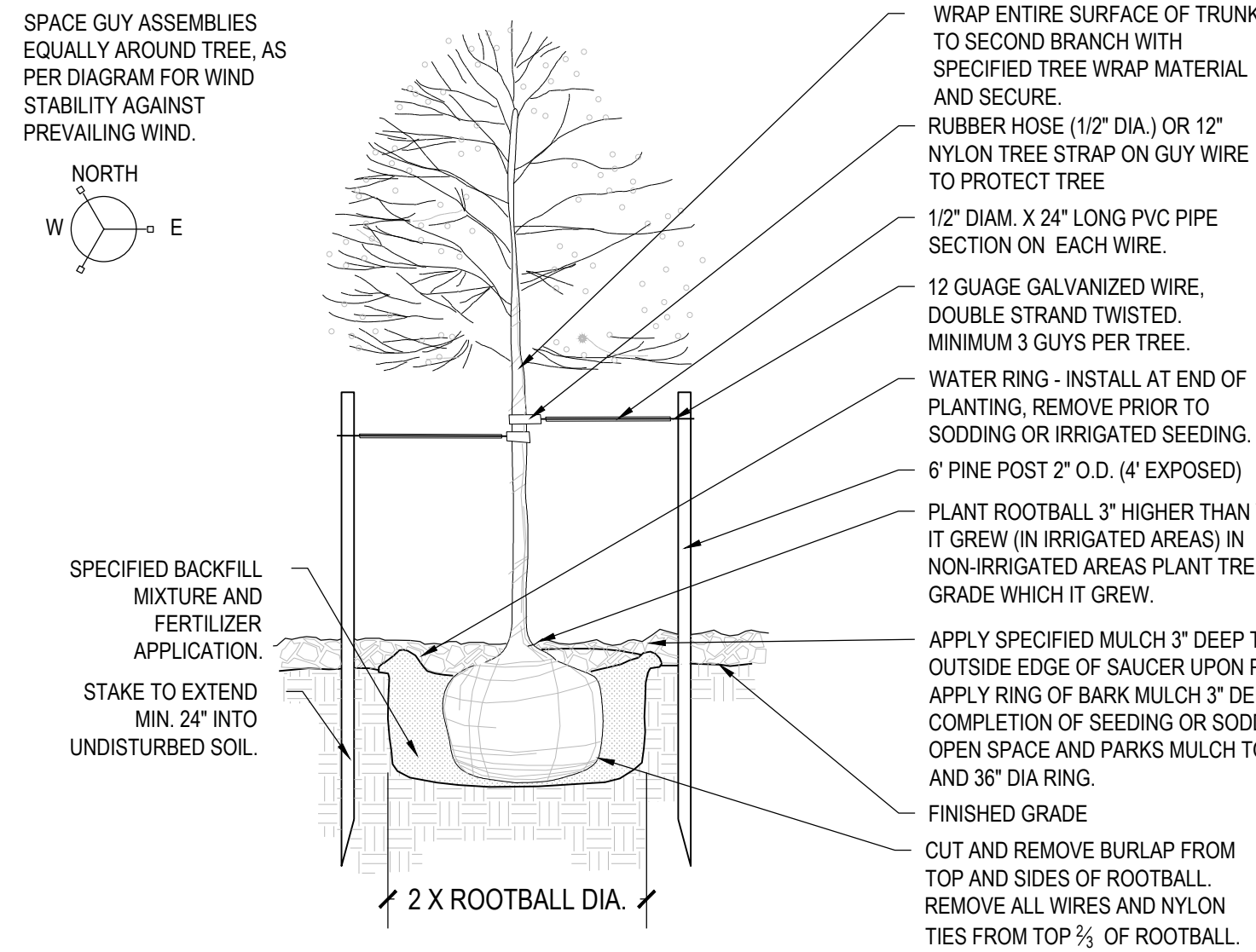
LYRIC TOWNHOMES AT RIDGEGATE SIP

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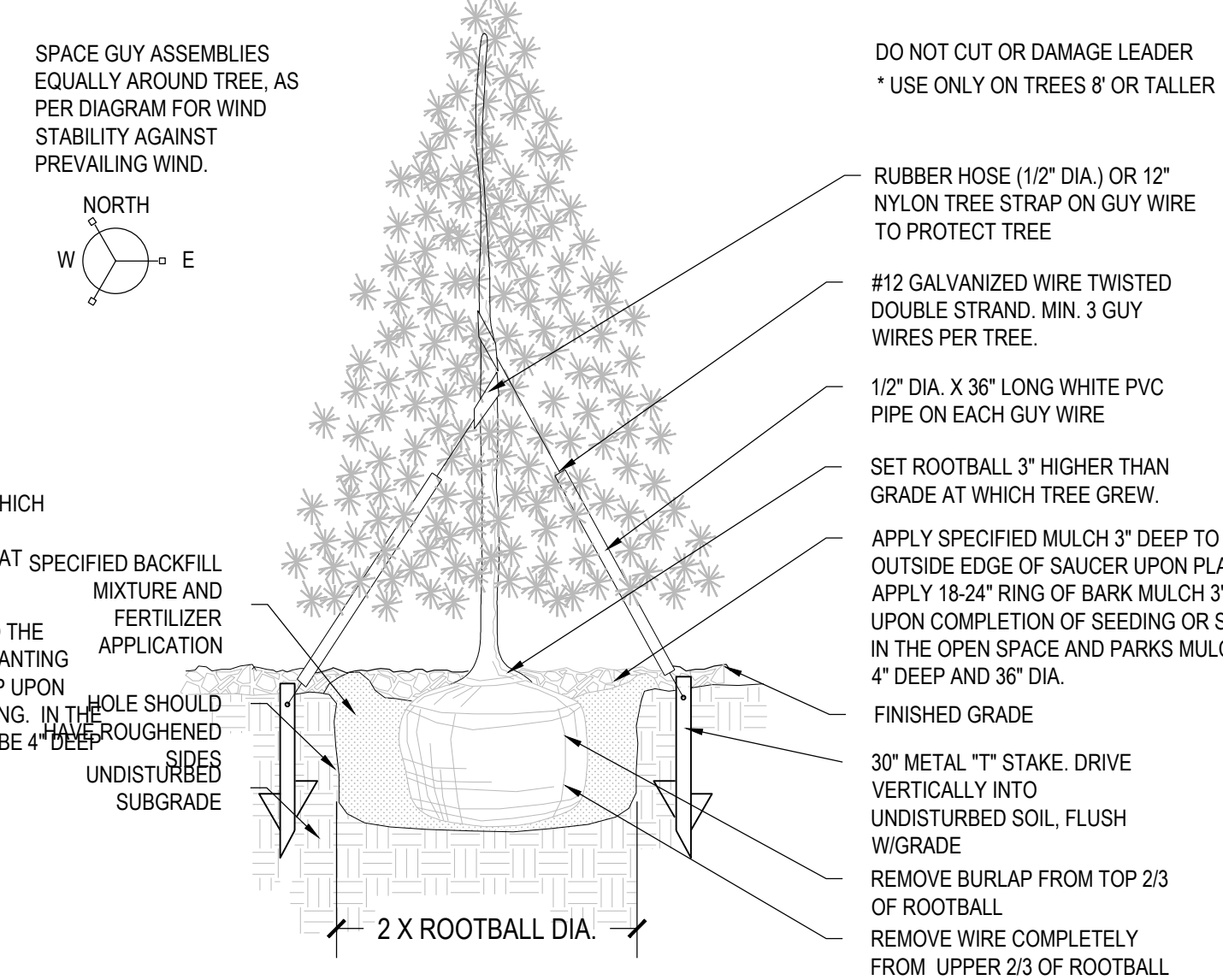
NOTES:

1. ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
2. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
3. STREET TREES ARE TO BE LIMBED UP TO 8'. PRUNING SHALL OCCUR IN THE APPROPRIATE MANNER AT THE NURSERY. SUBSTANTIAL PRUNING WILL NOT BE ALLOWED ON-SITE.



NOTES:

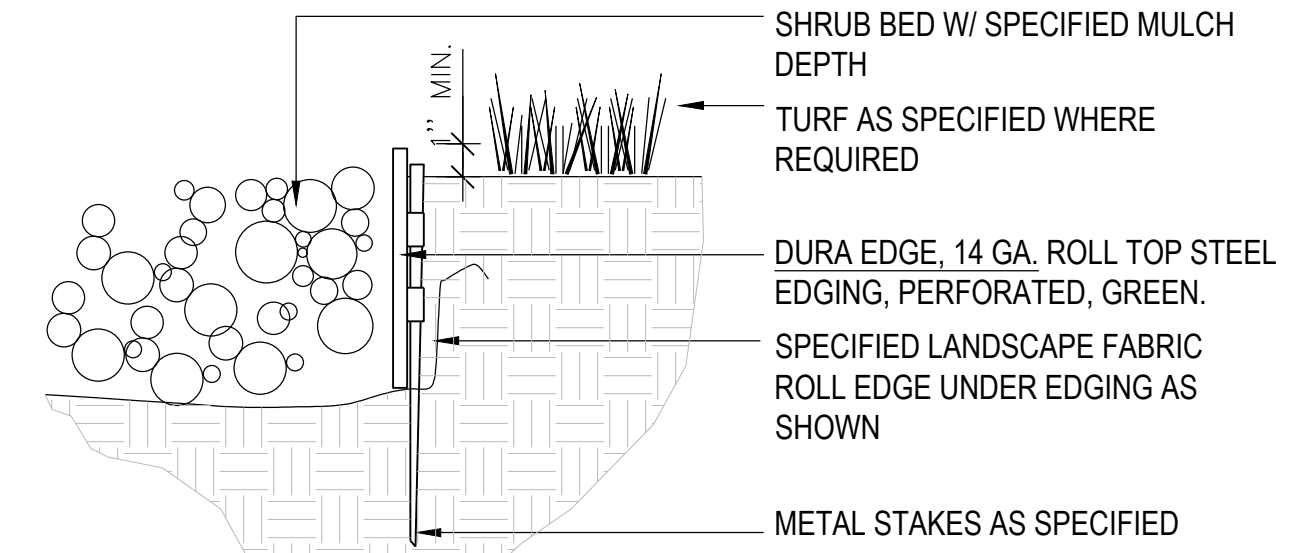
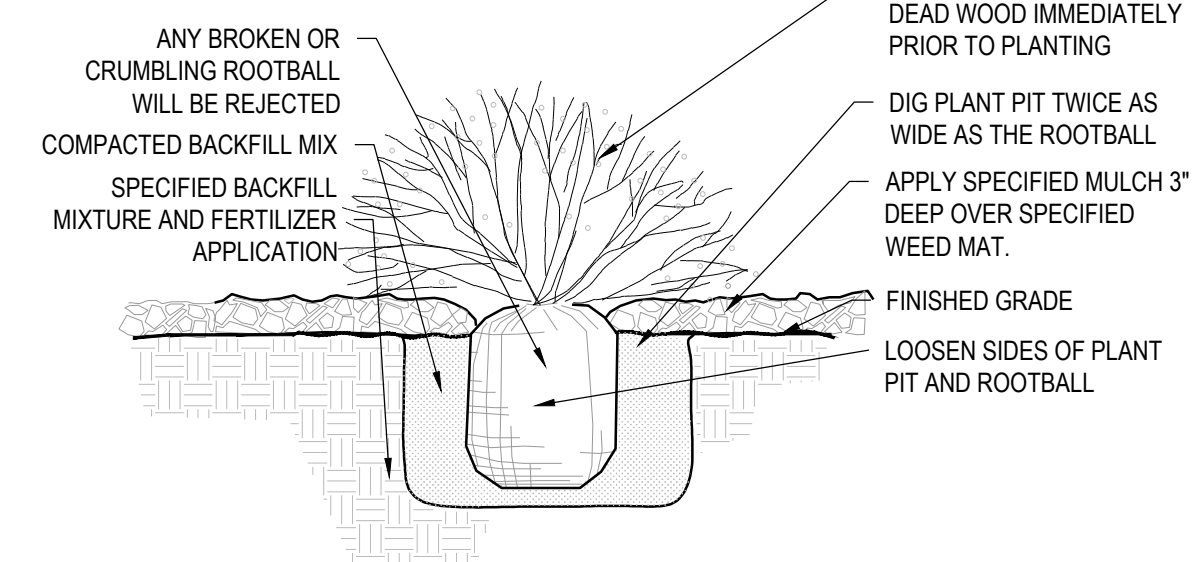
1. ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
2. TREES PLANTED WITHIN DRAIN STRIP OR SCREE AREA SHALL HAVE 3'-0" DIAMETER RING OF MULCH 5" DEEP AT THE BASE OF EACH TREE.



DO NOT CUT OR DAMAGE LEADER
* USE ONLY ON TREES 8' OR TALLER

NOTES:

1. ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB.
3. ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.
4. SHRUBS PLANTED WITHIN THE DRAIN STRIP OR SCREE AREAS SHALL HAVE A 12" DIAMETER RING OF MULCH AT THE BASE OF EACH SHRUB.
5. PLANT ALL SHRUBS AND ANND MULCH RING PRIOR TO PLACING ROCK.



NOTES:

1. SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. FOR PRODUCT ORDERING, DIVIDE NUMBER OF FEET NEEDED BY 9.33 TO OBTAIN THE NUMBER OF 10' PIECES NEEDED.

1 DECIDUOUS TREE PLANTING
Scale: NTS

2 EVERGREEN TREE PLANTING
Scale: NTS

3 SHRUB PLANTING
Scale: NTS

4 STEEL EDGER
Scale: NTS

LANDSCAPE NOTES

1. ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
2. PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, WHICH ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.
3. GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES. (IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.)
4. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
5. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
6. WINTER PROTECTION AND WATERING OF TREES SHALL BE PROVIDED WHEN NECESSARY TO MAINTAIN THE HEALTH AND SURVIVAL OF PLANT MATERIAL.
7. SOD TO BE DROUGHT TOLERANT 80/20 FESCUE AND BLUEGRASS MIX AND COME FROM A SINGLE GROWER.
8. ALL SHRUB BEDS SHALL RECEIVE WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC.
9. ALL WOOD MULCH TO BE SHREDDED BROWN GORILLA HAIR MULCH.
10. ALL TREE RINGS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC.
11. FOR TREES IN SOD OR NATIVE GRASS, ALLOW A 6" DIAMETER BED WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH OF WOOD MULCH OVER 2' DIAMETER BED FOLLOWING SOD INSTALLATION.
12. ALL SHRUB AND SOD AREAS SHALL BE AMENDED PER SOILS TEXT RESULTS.
13. PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DEHYDRATION.
14. PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
15. PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL. WITHOUT FURTHER PACKING, A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.
16. AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (3" HIGHER FOR TREES.)
17. LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.
18. LANDSCAPE MAINTENANCE AND REPLACEMENT: THE PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPING PLAN AS ORIGINALLY APPROVED, AND PROVIDE FOR REPLACEMENT OF PLANT MATERIALS THAT HAVE DIED OR HAVE OTHERWISE BEEN DAMAGED OR REMOVED, AND MAINTENANCE OF ALL NON-LIVE LANDSCAPING MATERIALS. IN THIS CASE, LIVE MATERIAL IS TO BE MAINTAINED AND REPLACED BY THE CONTRACTOR WHICH SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.
19. ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
20. THE CONTRACTOR SHALL STAKE OUT ALL KEY AREAS INCLUDING BUT NOT LIMITED TO SIDE WALKS, STEEL EDGING, PLANT BEDS, TREE AND SHRUB LOCATIONS AND OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT OR DEVELOPER (MAKING MODIFICATIONS AS MAY BE REQUIRED AT NO ADDITIONAL COST), PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
21. SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL, AND 1/3 ON-SITE SOIL.
22. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND BASE HIS BID ON ACTUAL ON-SITE CONDITIONS AND MEASUREMENTS. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTICE.
23. THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE DUE TO HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL STATE AT HIS EXPENSE.
24. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.
25. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS / DEBRIS / EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND / OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES.
26. ALL EXISTING GRADES WITHIN TREE PROTECTION ZONES (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES.
27. ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION.
28. ALL MULCH AND/OR ROCK MULCH SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN.
29. ROCK MULCH TO BE INSTALLED AT A MINIMUM DEPTH OF 3" WITH AN APPROVED LANDSCAPE FABRIC.
30. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS.
31. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED.
32. ALL SOILS FOR GENERAL LANDSCAPING AREAS OR ON WHICH ANY COOL-SEASON LAWN, TURF OR SOD IS TO BE INSTALLED MUST BE PROPERLY AMENDED WITH ORGANIC MATTER SUCH AS COMPOST AND AGED MANURE. A MINIMUM OF FOUR (4) CUBIC YARDS OF COMPOST PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SOIL SHOULD BE INCORPORATED TO A DEPTH OF AT LEAST FOUR (4) TO SIX (6) INCHES BY ROTOTILLING OR OTHER SUITABLE MEASURE. SOIL AMENDMENTS FOR NATIVE PLANTS AND GRASSES ARE NOT REQUIRED. STRUCTURED SOILS THAT INCLUDE ROCK AND SAND TO REDUCE COMPACTION AND INCREASE POROSITY FOR ROOT GROWTH MAY BE REQUIRED WHERE TREE GRATES ARE PROPOSED.

SEEDING AND MULCHING INSTALLATION NOTES:

1. SEE PLAN FOR:
 - AREAS OF SEEDING AND MULCHING
 - TYPE OF SEED
2. SEE LANDSCAPE SCHEDULE AND DETAILS SHEET FOR SPECIFICS ON SEEDING MIX.
3. ALL SEED MIXES SHALL BE FREE FROM SUCH NOXIOUS SEEDS SUCH AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAR WEED AND LEAFY SPURGE.
4. THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE.
5. IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE CONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
6. THE FORMULA USED FOR DETERMINING THE QUANTITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).
7. SEED MIXES AS SPECIFIED IN THESE PLANS SHALL BE USED UNLESS AUTHORIZED AND APPROVED BY LANDSCAPE ARCHITECT, OWNERS REPRESENTATIVE.
8. ALL AREAS TO BE SEEDING AND MULCHED SHALL HAVE NATIVE TOPSOIL OR APPROVED SOIL AMENDMENTS SPREAD TO A DEPTH OF AT LEAST 6 INCHES (LOOSE DEPTH). ALL DISTURBED AREAS SHALL BE LOOSENEED TO A DEPTH OF 6 INCHES PRIOR TO SPREADING TOPSOIL. SOIL IS TO BE THOROUGHLY LOOSENEED (TILLED) TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO SEEDING. THE TOP 6 INCHES OF THE SEED BED SHALL BE GENERALLY FREE OF ROCKS GREATER THAN 4" AND SOIL CLODS GREATER THAN 2 INCHES. SEEDING OVER COMPACTED AREAS THAT HAVE NOT BEEN THOROUGHLY LOOSENEED SHALL BE REJECTED.
9. SEED IS TO BE APPLIED USING A MECHANICAL DRILL SEEDER TO A DEPTH OF 1/4 INCH. ROW SPACING SHALL BE NO GREATER THAN 6 INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF LONG-STEMMED STRAW. AT LEAST 50 PERCENT OF THE MULCH, BY WEIGHT, SHALL BE AS LONG AS POSSIBLE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 4 INCHES. MULCH SHALL BE APPLIED AT A RATE OF 2000 LB. PER ACRE.
10. SEED IS TO BE UNIFORMLY BROADCAST AT TWO TIMES THE DRILL RATE, THEN LIGHTLY HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 1/4 INCH, THEN ROLLED TO COMPACT, THEN MULCH AS SPECIFIED ABOVE.
11. WHEN SEEDING AND MULCHING IS USED TO STABILIZE DISTURBED AREAS, ALL DISTURBED AREAS WHICH ARE EITHER FINAL GRADED, OR WILL REMAIN INACTIVE FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE REQUIRED TO BE STABILIZED WITHIN 14 DAYS OF THE COMPLETION OF GRADING ACTIVITIES. THIS MAY REQUIRE MULTIPLE MOBILIZATIONS OF SEEDING AND MULCHING.
12. MULCH SHALL BE APPLIED WITHIN 24 HOURS OF SEEDING.
13. TACKIFIER SHALL BE UTILIZED TO HELP WITH STRAW DISPLACEMENT.
14. HYDRAULIC SEEDING IS NOT AN ACCEPTABLE METHOD OF SEEDING.
15. HYDROMULCH MAY BE USED FOR LIMITED APPLICATION (STEP SLOPES).
16. REFER TO THE GESC MANUAL FOR THIS PROJECT FOR FURTHER DETAILS AND NOTES.

SEEDING AND MULCHING MAINTENANCE NOTES:

1. SEEDING AND MULCHING AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY UNTIL FINAL ACCEPTANCE IS ISSUED. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST GROWING SEASON FOR ANY AREAS THAT ARE FAILING TO MEET REQUIRED COVERAGE.
2. REQUIRED COVERAGE FOR STANDARD, OPEN SPACE, AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:
 - a. 70% OF THE EXISTING / PRE-CONSTRUCTION CONDITION
 - b. FREE OF ERODED AREAS
 - c. FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH THE GESC CRITERIA MANUAL (SEE CIVIL).
3. RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY SEMSWA.

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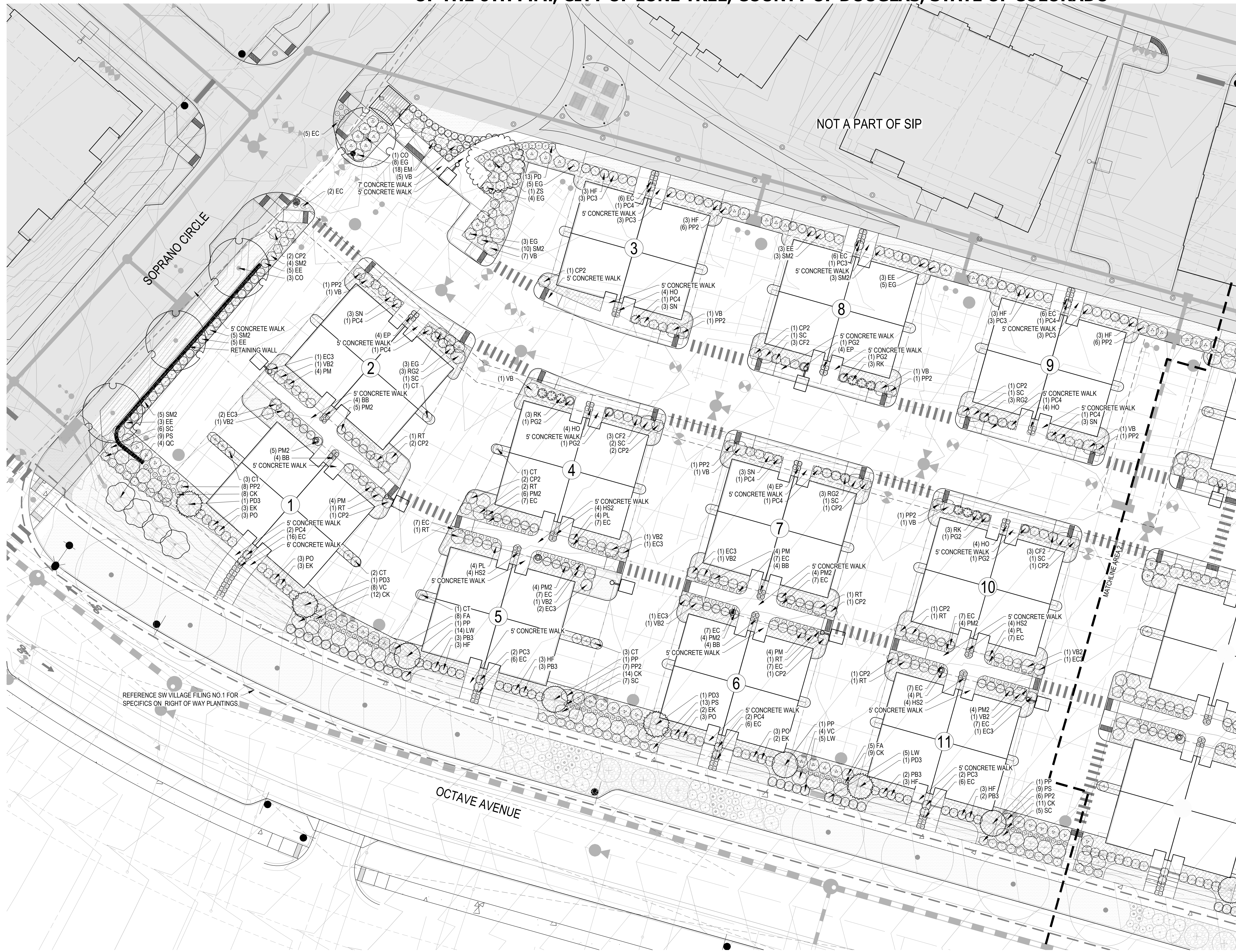
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8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO
80112
720-656-4512

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H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	No.	REVISION	BY	DATE
						2	TOWN COMMENTS <td></td> <td>03.03.23</td>		03.03.23
						3	TOWN COMMENTS <td></td> <td>05.18.23</td>		05.18.23
		12/02/22	PMS	PCS	PMS				
LYRIC TOWNHOMES AT RIDGEGATE SIP LANDSCAPE NOTES AND DETAILS									
SHEET 4 OF 25									
JOB NO. 20220502									

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP

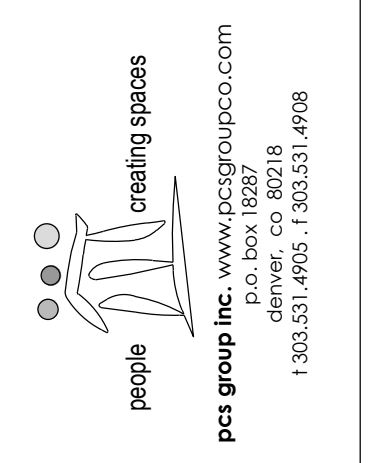


LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- WOOD MULCH
- EDGER

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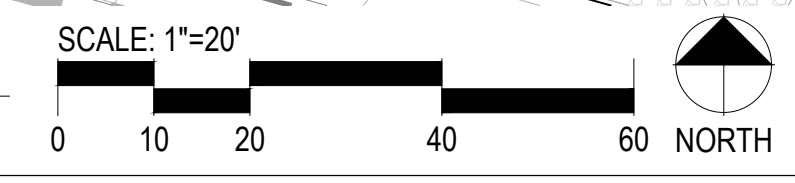
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SUITE 115
ENGLEWOOD, CO 80112
720-656-4512



No.	REVISION	DATE	BY
1	TOWN COMMENTS	01.20.23	
2	TOWN COMMENTS	03.03.23	
3	TOWN COMMENTS	05.18.23	

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		12/02/22	PMS	PCS	PMS

1 LANDSCAPE PLAN - AREA 1

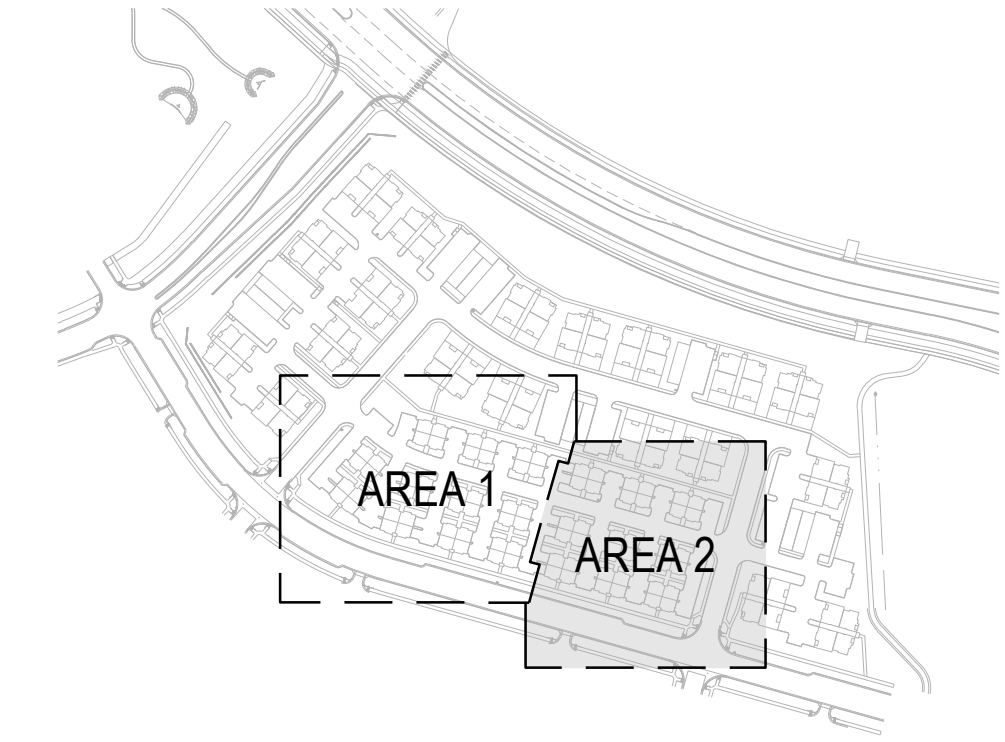


LYRIC TOWNHOMES AT RIDGEGATE SIP

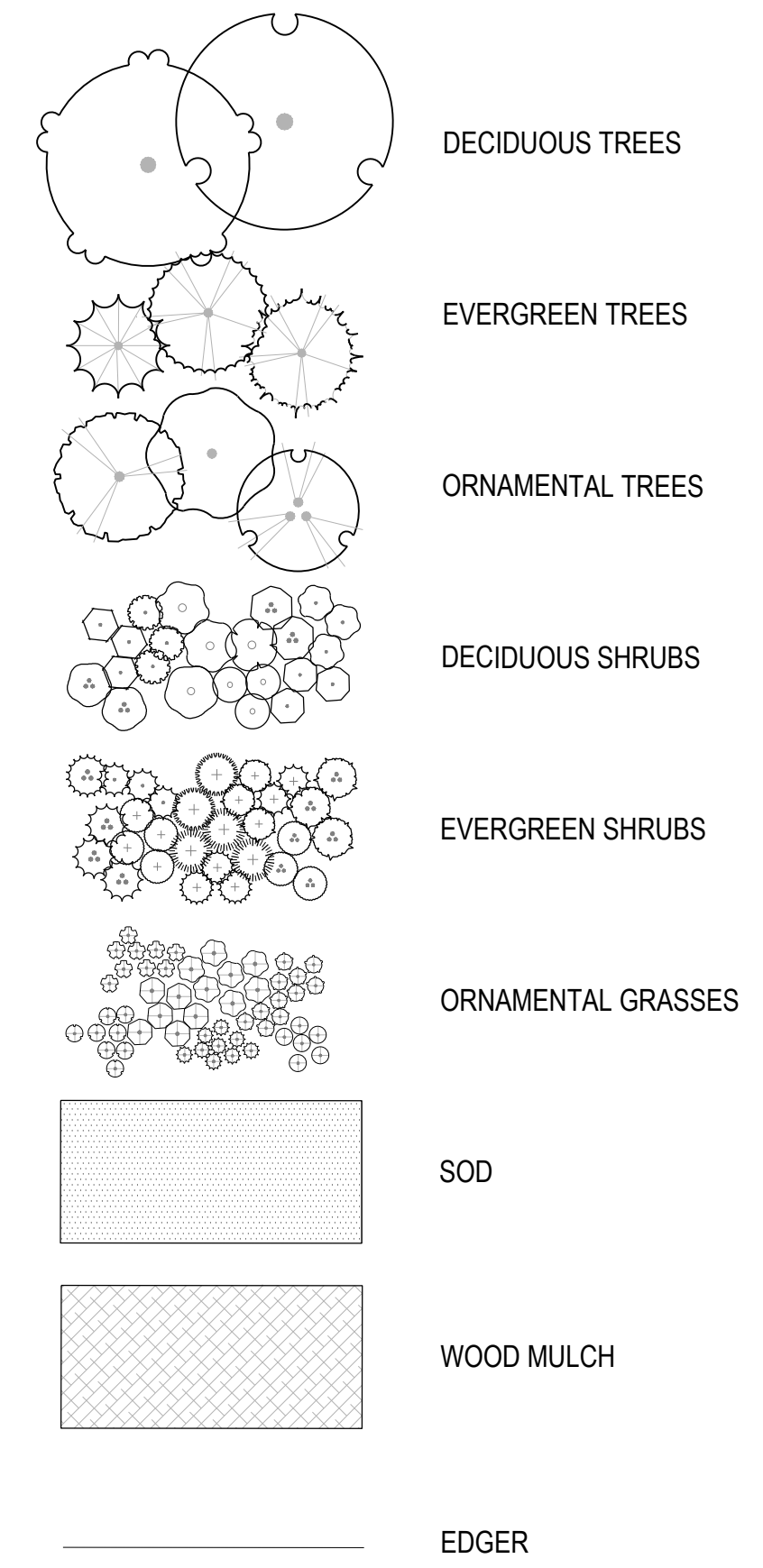
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



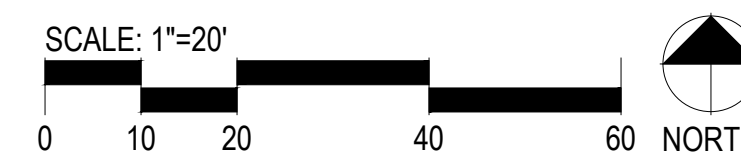
KEY MAP



LEGEND

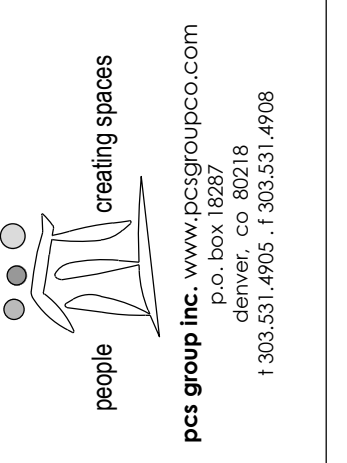


1 LANDSCAPE PLAN - AREA 2



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SUITE 115
ENGLEWOOD, CO
80112
720-656-4512



BY	DATE	No.	REVISION
	01.20.23	1	TOWN COMMENTS
	03.03.23	2	TOWN COMMENTS
	05.18.23	3	TOWN COMMENTS

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		12/02/22	PMS	PCS	PMS

LYRIC TOWNHOMES AT
RIDGEGATE SIP
LANDSCAPE PLAN

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

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80112
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denver, co 80218
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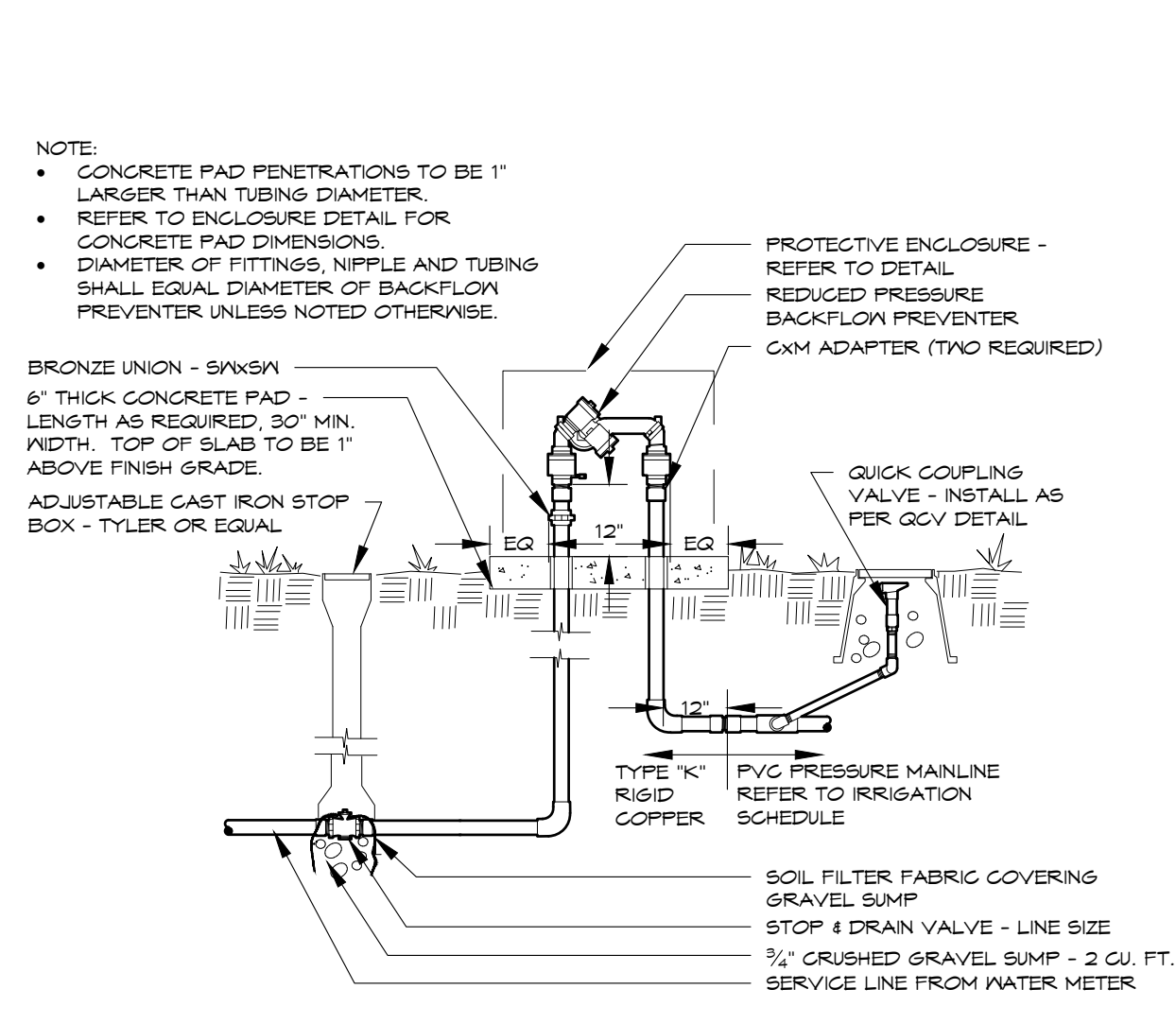
IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
	ELECTRIC CONTROLLER WITH ET AND RAIN SENSING	2
	RP BACKFLOW PREVENTER	1
	PVC MAINLINE	3
	PVC SLEEVING	4
	WATER METER	BY OTHERS

IRRIGATION DESIGN STRATEGY			
HATCH	DESCRIPTION	AREAS 0'-25'	AREAS > 25'
	TURF GRASS	6" POPUP SPRAY	6" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP

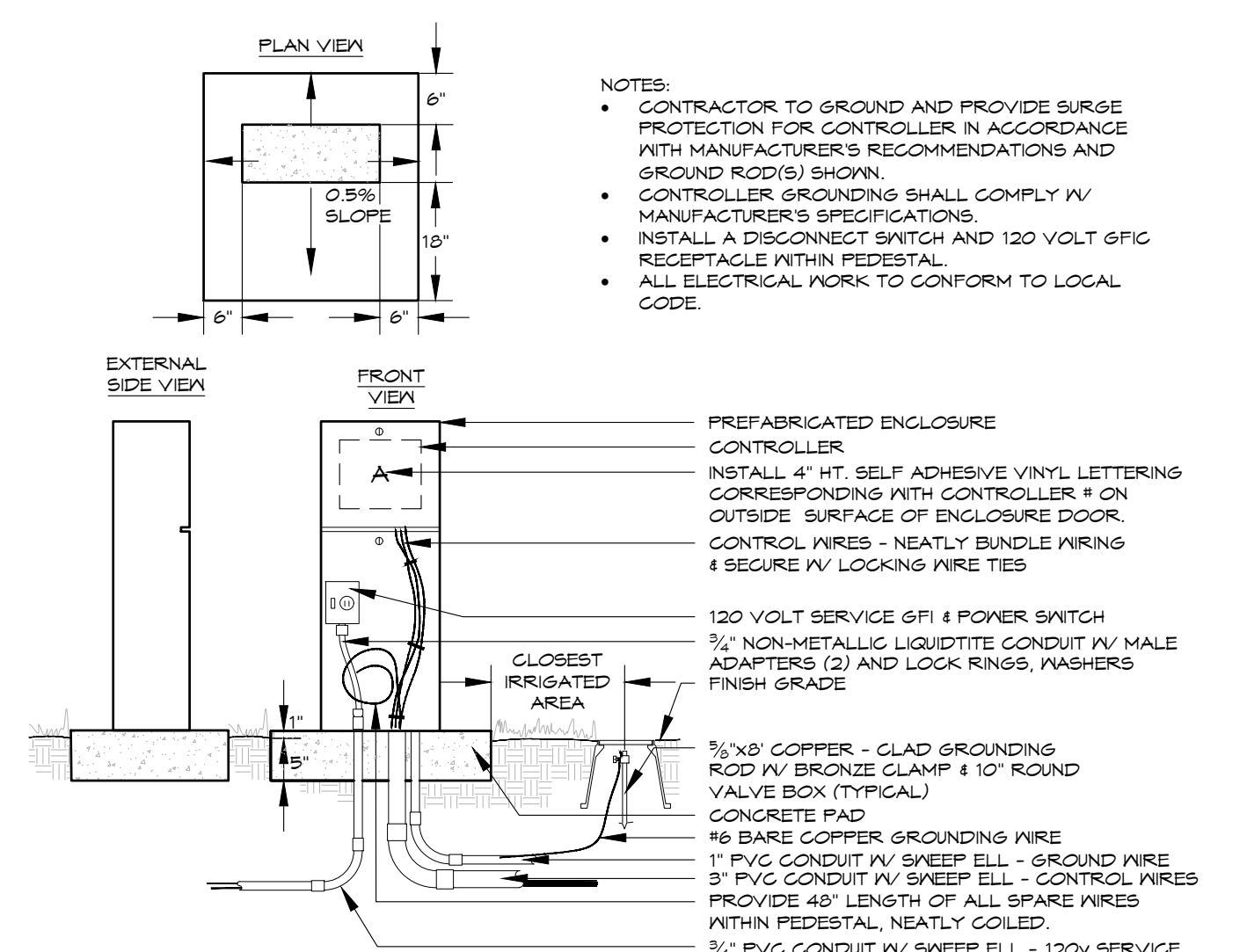
*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

IRRIGATION DEVELOPMENT DESIGN NOTES

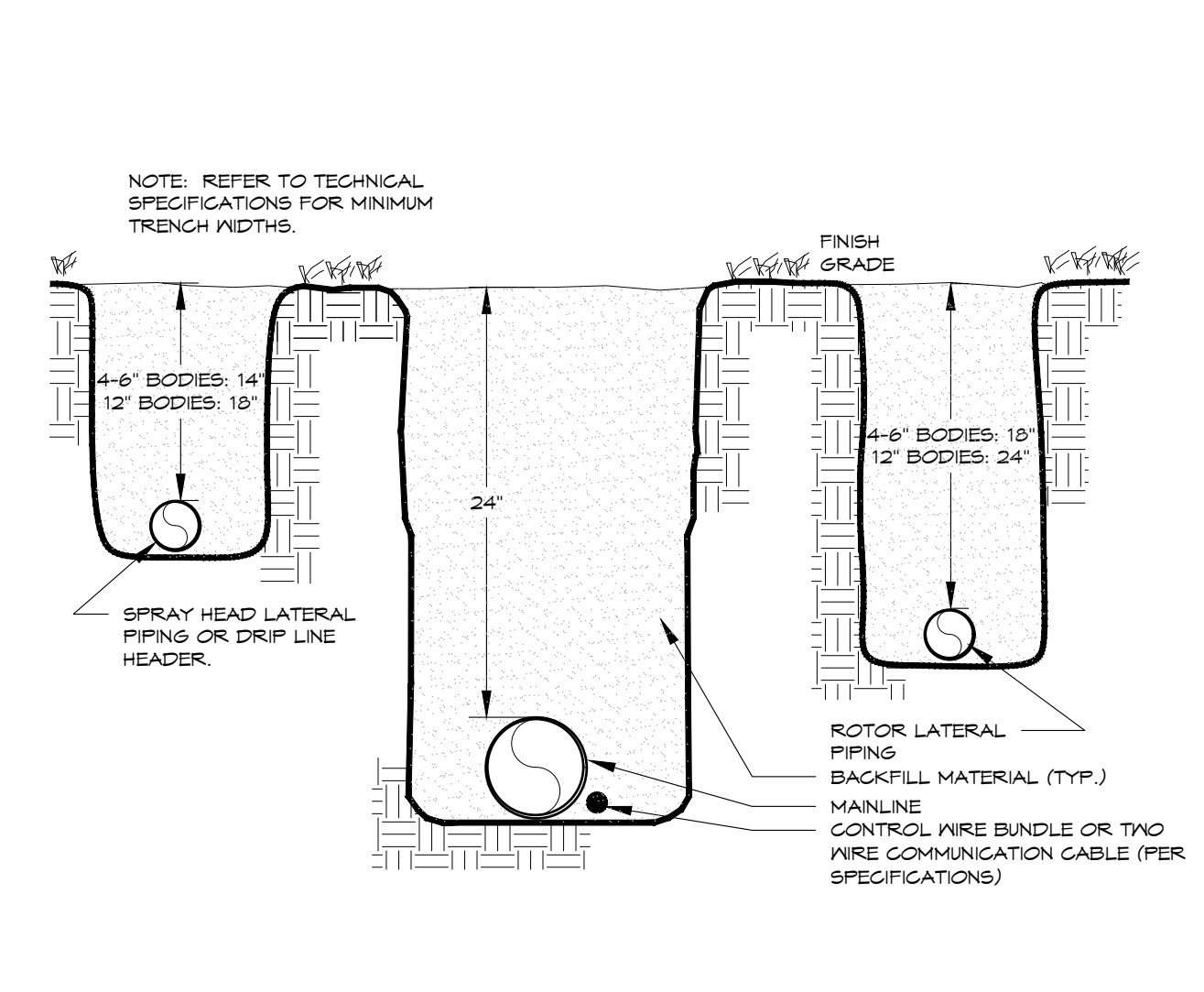
1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 PM AND 6:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 18 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 67 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION DESIGN APPROACH
 - 5.1. TURF AREAS
 - 5.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS.
 - 5.2. SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
6. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND INCLUDE A WEATHER SENSING DEVICE.
7. ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.



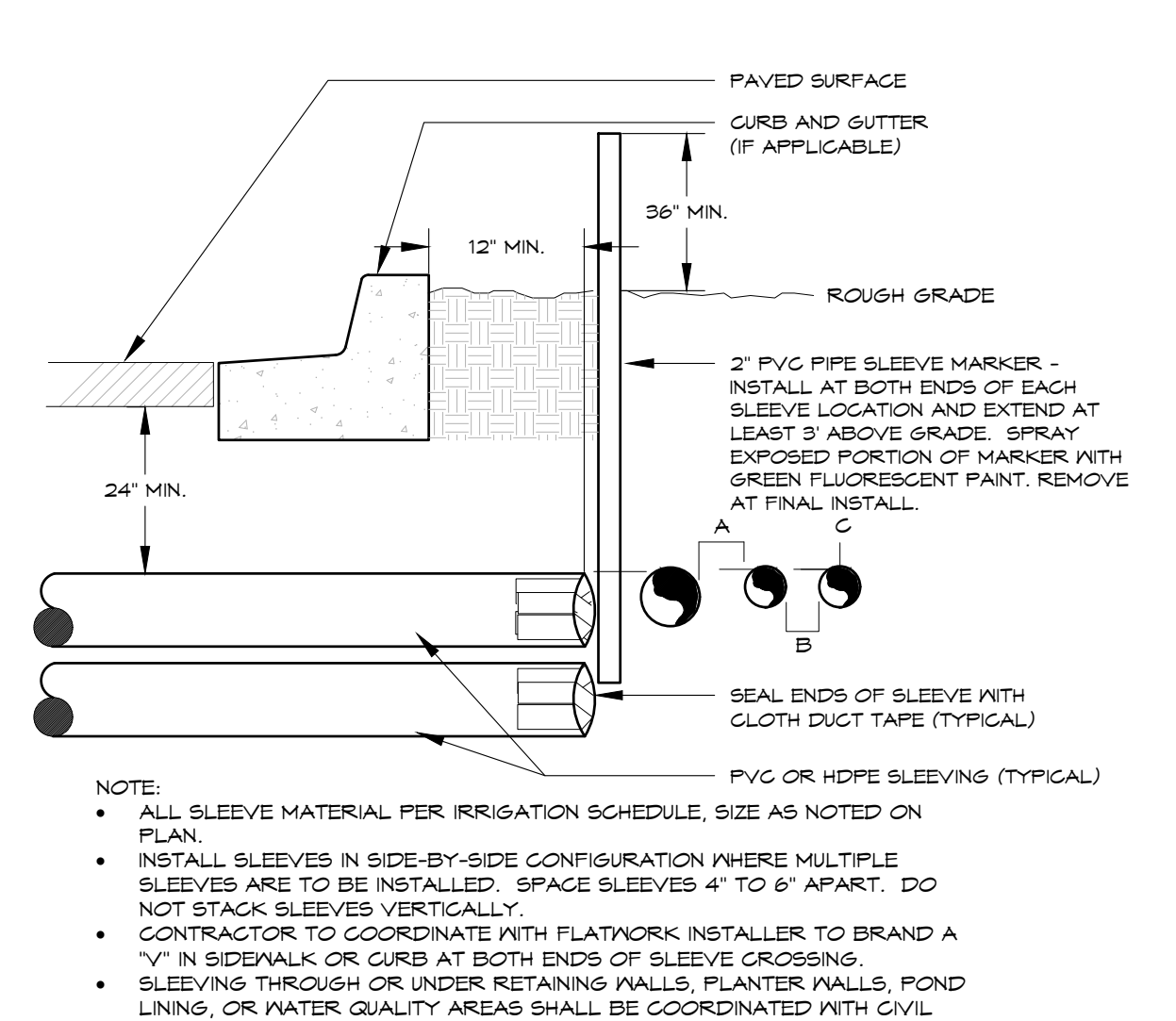
BACKFLOW PREVENTER
3/4" - 2" SYSTEMS WITH PVC CONNECTION 1



ELECTRIC CONTROLLER
PEDESTAL - FRONT OPENING - TYPICAL 2



TRENCH
24" MAINLINE 3



IRRIGATION SLEEVING
TYPICAL 4

DIRECTORY	
IRRIGATION SCHEDULE	7
IRRIGATION NOTES	7
IRRIGATION PLANS	8 - 9
IRRIGATION DETAILS	7



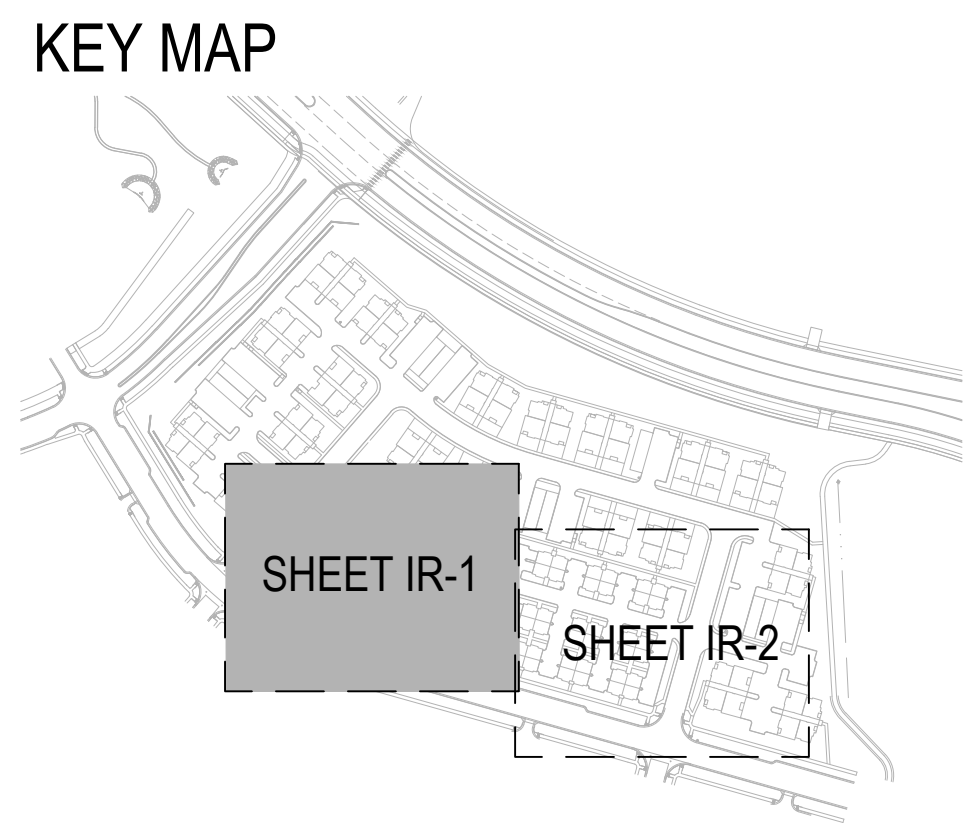
No.	REVISION	DATE	BY	DATE
1	TOWN COMMENTS	01.20.23		
2	TOWN COMMENTS	03.03.23		

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		12/02/22	USB	USB	KJD

LYRIC TOWNHOMES AT RIDGEGATE SIP	IRRIGATION NOTES, SCHEDULE & DETAILS
SHEET 7 OF 25	JOB NO. 20220502

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



DIRECTORY

IRRIGATION SCHEDULE	7
IRRIGATION NOTES	7
IRRIGATION PLANS	8 - 9
IRRIGATION DETAILS	7

1 IRRIGATION PLAN - AREA 1



Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



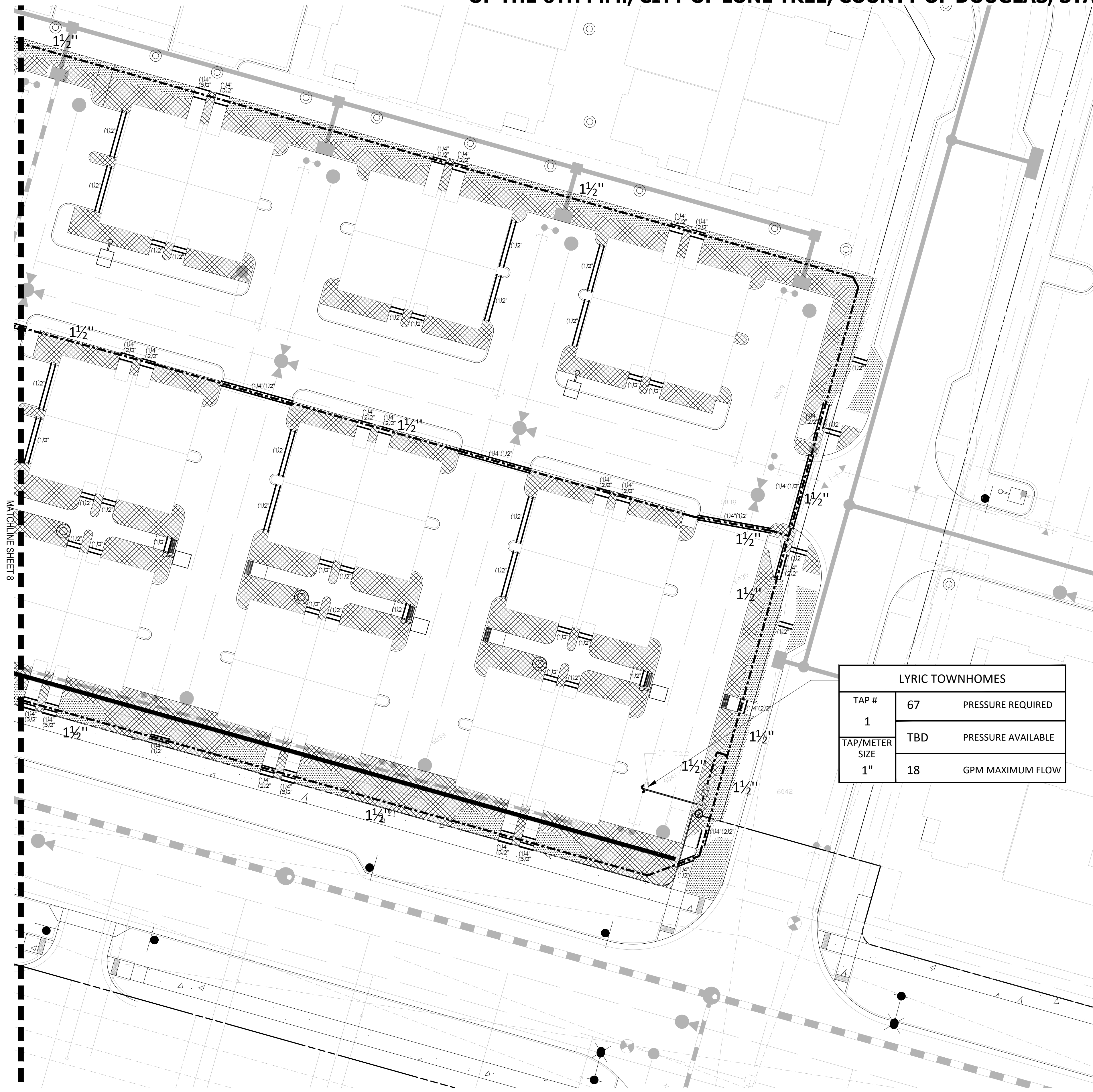
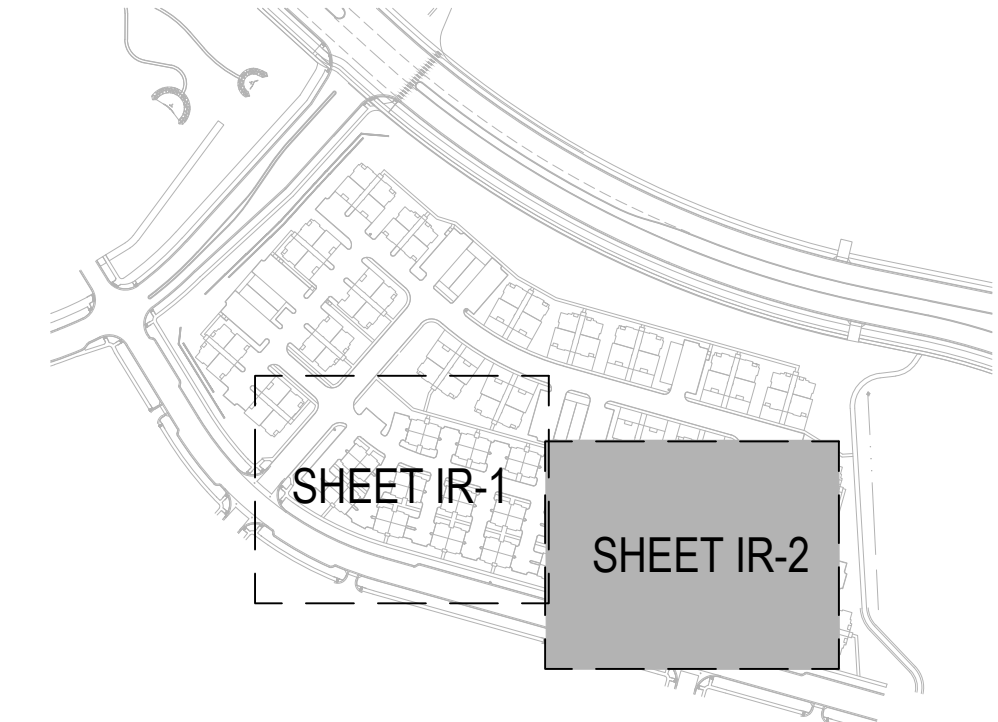
Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
o: 303.980.5327 www.hydro-systemskdi.com

<p style="font-size: 8px;">people creating spaces pct group inc. www.pctgroupco.com p.o. box 18287 denver, co 80218 1.303.51.4968 / 1.303.51.4968</p>	<p style="font-size: 8px;">PREPARED FOR LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512</p>	<p style="font-size: 8px;">UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING AGENCIES, THEIR USE FOR ANY PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.</p>
<p style="font-size: 8px;">BY</p>	<p style="font-size: 8px;">DATE</p>	<p style="font-size: 8px;">NO. REVISION</p>
<p style="font-size: 8px;">TOWN COMMENTS</p>	<p style="font-size: 8px;">TOWN COMMENTS</p>	<p style="font-size: 8px;">DATE</p>
<p style="font-size: 8px;">DESIGNED BY</p>	<p style="font-size: 8px;">DRAWN BY</p>	<p style="font-size: 8px;">CHECKED BY</p>
<p style="font-size: 8px;">H-SCALE</p>	<p style="font-size: 8px;">V-SCALE</p>	<p style="font-size: 8px;">DATE</p>
<p style="font-size: 8px;">DESIGNED BY</p>	<p style="font-size: 8px;">DRAWN BY</p>	<p style="font-size: 8px;">CHECKED BY</p>
<p style="font-size: 8px;">LYRIC TOWNHOMES AT RIDGEGATE SIP</p>	<p style="font-size: 8px;">IRRIGATION PLAN</p>	<p style="font-size: 8px;">SHEET 8 OF 25</p>
<p style="font-size: 8px;">JOB NO. 20220502</p>		

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

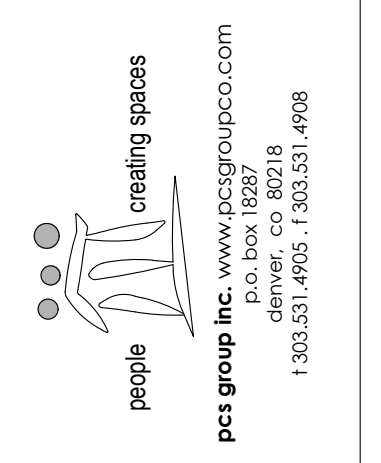
KEY MAP



LYRIC TOWNHOMES		
TAP #	67	PRESSURE REQUIRED
1		
TAP/METER SIZE	TBD	PRESSURE AVAILABLE
1"	18	GPM MAXIMUM FLOW

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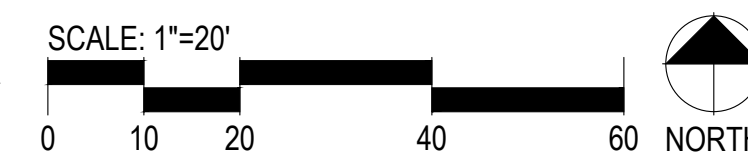


BY	DATE	No.	REVISION	TOWN COMMENTS	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
	01.20.23	1	TOWN COMMENTS				12/02/22	USB	USB	KJD
	03.03.23	2	TOWN COMMENTS							

LYRIC TOWNHOMES AT RIDGEGATE SIP	IRRIGATION PLAN
SHEET 9 OF 25	JOB NO. 20220502

DIRECTORY	7
IRRIGATION SCHEDULE	7
IRRIGATION NOTES	7
IRRIGATION PLANS	8 - 9
IRRIGATION DETAILS	7

1 IRRIGATION PLAN - AREA 2



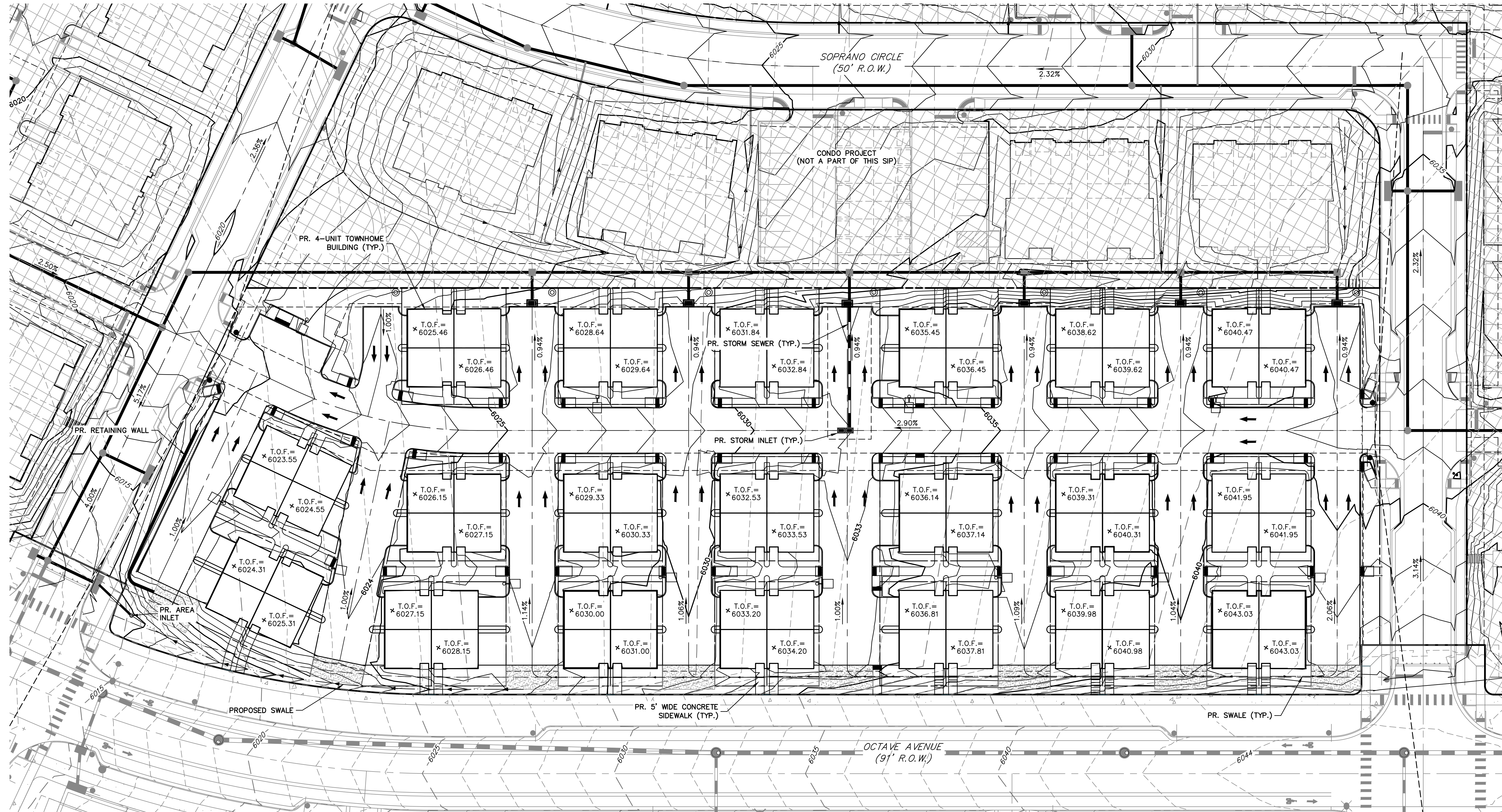
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LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- 6" VERTICAL CATCH CURB W/ 1' GUTTER
 - - - - - PROPOSED STORM SEWER
 - - - - - PROPOSED EASEMENT
 - - - - - PROPOSED MINOR CONTOURS
 - - - - - PROPOSED MAJOR CONTOURS
 - - - - - EXISTING CURB & GUTTER
 - - - - - EXISTING STORM SEWER
 - - - - - EXISTING RIGHT-OF-WAY
 - - - - - EXISTING EASEMENT
 - - - - - EXISTING PROPERTY LINE
 - - - - - EXISTING MINOR CONTOUR
 - - - - - EXISTING MAJOR CONTOUR
- *TOF=60XX TOF = TOP OF FOUNDATION



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 ENGLEWOOD, CO 80112
 (720) 656-4512

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BY	DATE	No.	REVISION

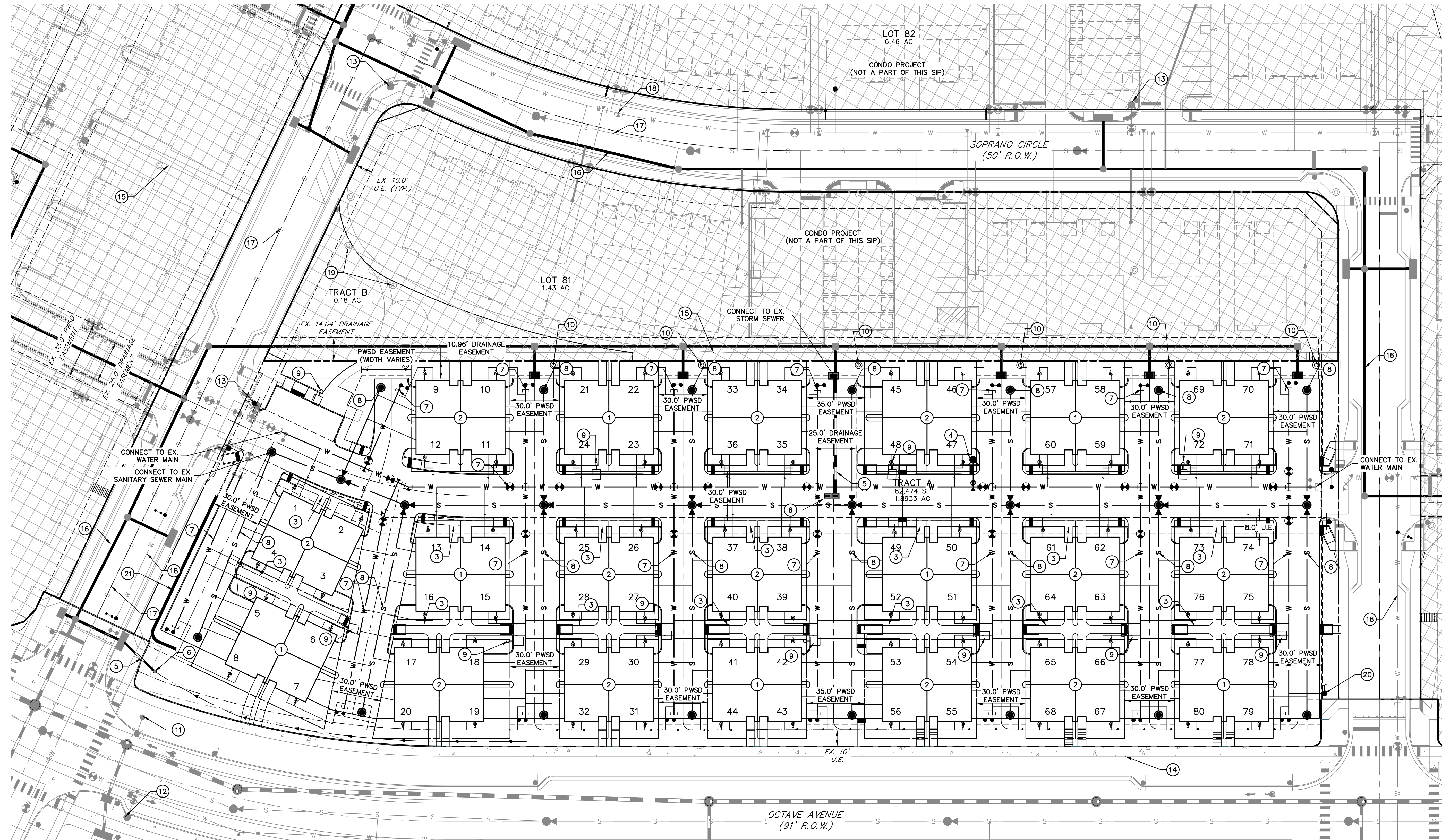
LYRIC TOWNHOMES AT
 RIDGEGATE SIP
 GRADING PLAN

SHEET 10 OF 25

JOB NO. 15950.11

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



SCHEDULE NOTES

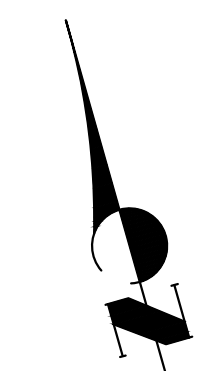
- | | |
|---|--|
| ① 4-UNIT TOWNHOME BUILDING TYPE 1, REF. ARCHITECTURAL PLANS | ⑫ EXISTING FIRE HYDRANT TO REMAIN |
| ② 4-UNIT TOWNHOME BUILDING TYPE 2, REF. ARCHITECTURAL PLANS | ⑬ FIRE HYDRANT TO BE INSTALLED AS PART OF LYRIC CONDO PROJECT |
| ③ PROPOSED 5' WIDE CONCRETE SIDEWALK | ⑭ EXISTING SIDEWALK TO REMAIN |
| ④ PROPOSED FIRE HYDRANT | ⑮ SIDEWALK TO BE INSTALLED AS PART OF THE LOKAL CONDO PROJECT |
| ⑤ PROPOSED STORM SEWER | ⑯ STORM SEWER TO BE INSTALLED AS PART OF THE LOKAL CONDO PROJECT |
| ⑥ PROPOSED STORM INLET | ⑰ SANITARY SEWER TO BE INSTALLED AS PART OF THE LOKAL CONDO PROJECT |
| ⑦ PROPOSED 8" WATER MAIN | ⑱ WATER LINE TO BE INSTALLED AS PART OF THE LOKAL CONDO PROJECT |
| ⑧ PROPOSED 8" SANITARY SEWER MAIN | ⑲ BOLLARD LIGHT TO BE INSTALLED AS PART OF THE LOKAL CONDO PROJECT (TYP.) |
| ⑨ PROPOSED SITE LIGHT, REF. PHOTOMETRIC PLANS (TYP.) | ⑳ PROPOSED 1" IRRIGATION TAP AND METER, REF. IRRIGATION PLANS FOR CONTINUATION |
| ⑩ PROPOSED BOLLARD LIGHT, REF. PHOTOMETRIC PLANS (TYP.) | ㉑ PROPOSED RETAINING WALL |
| ⑪ EXISTING STREET LIGHT TO REMAIN | |

LEGEND

SITE BOUNDARY	—————	PROPOSED WATER MAIN	—————
EXISTING PROPERTY LINE	—————	EXISTING WATER MAIN	----- W ----- W -----
PROPOSED PROPERTY LINE	-----	PROPOSED SANITARY SEWER	----- S ----- S -----
EXISTING EASEMENT	-----	EXISTING SANITARY SEWER	----- S ----- S -----
PROPOSED EASEMENT	-----	PROPOSED STORM SEWER	----- S ----- S -----
EXISTING RIGHT OF WAY	-----	EXISTING STORM SEWER	----- S ----- S -----
PROPOSED RIGHT OF WAY	-----		



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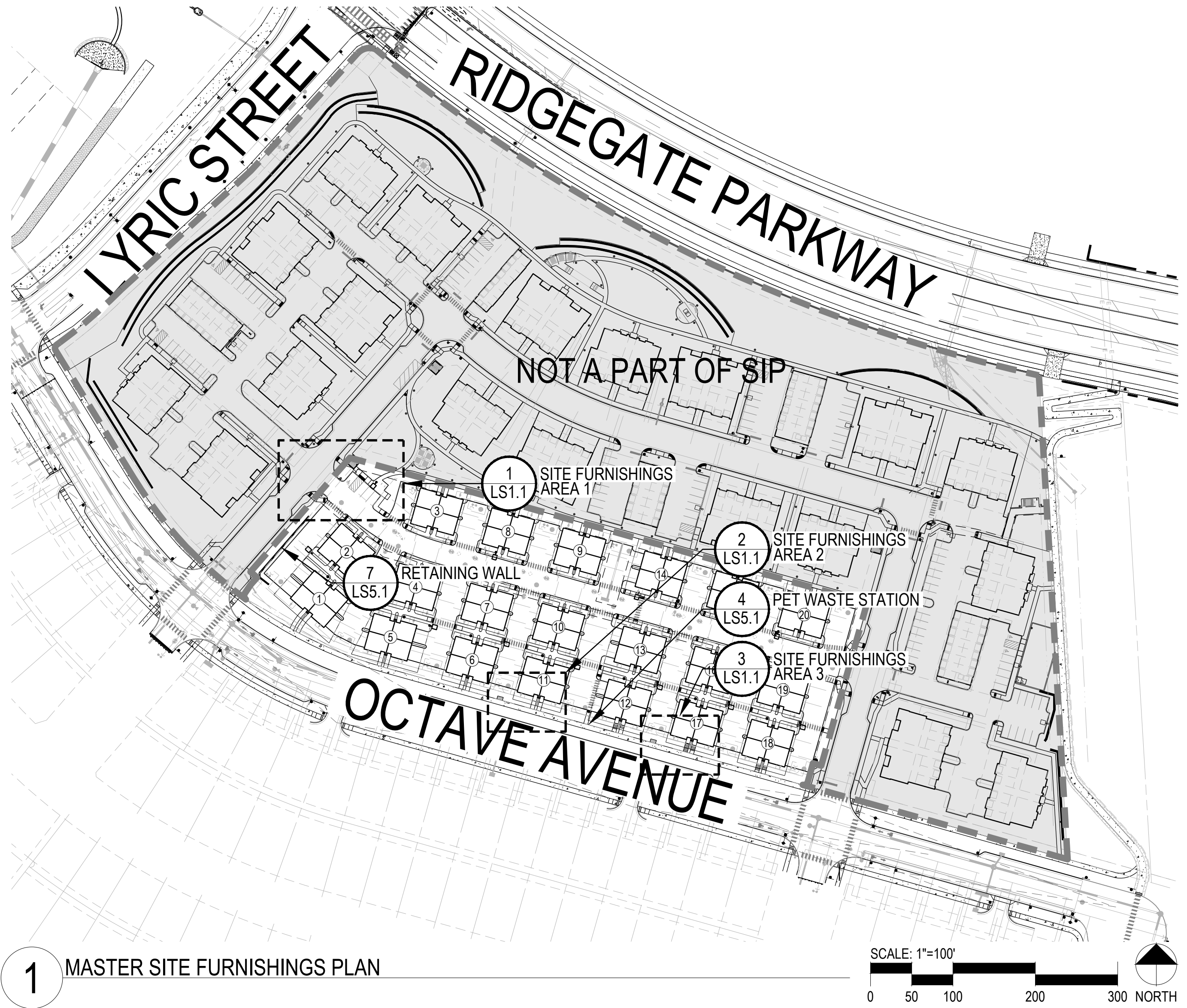
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BY	DATE	No.	REVISION

LYRIC TOWNHOMES AT
RIDGEGATE SIP
OVERALL UTILITY PLAN

LYRIC TOWNHOMES AT RIDGEGATE SIP

**A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO**



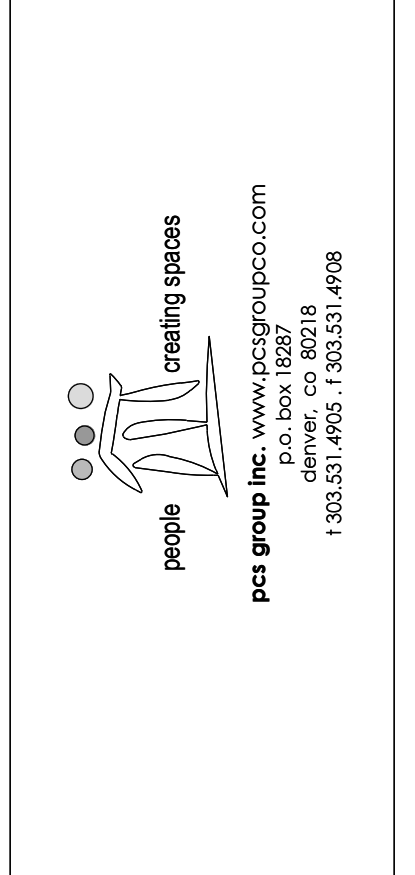
GENERAL NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNTIL FINAL APPROVAL BY THE CITY AND STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY PLAN LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS' OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK.
- UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION. SUBSTITUTIONS WILL BE CONSIDERED.
- PROPOSED GRADING IS BASED ON EXISTING TOPOGRAPHY BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE GRADING INFORMATION OR AS-BUILT CONDITIONS. THE CONTRACTOR SHALL ACCEPT FINAL GRADING PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL GRADING CONDITIONS AND PROPOSED DESIGN PRIOR TO BEGINNING WORK.

1 MASTER SITE FURNISHINGS PLAN

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, DESIGNATED BY WRITTEN AUTHORIZATION.

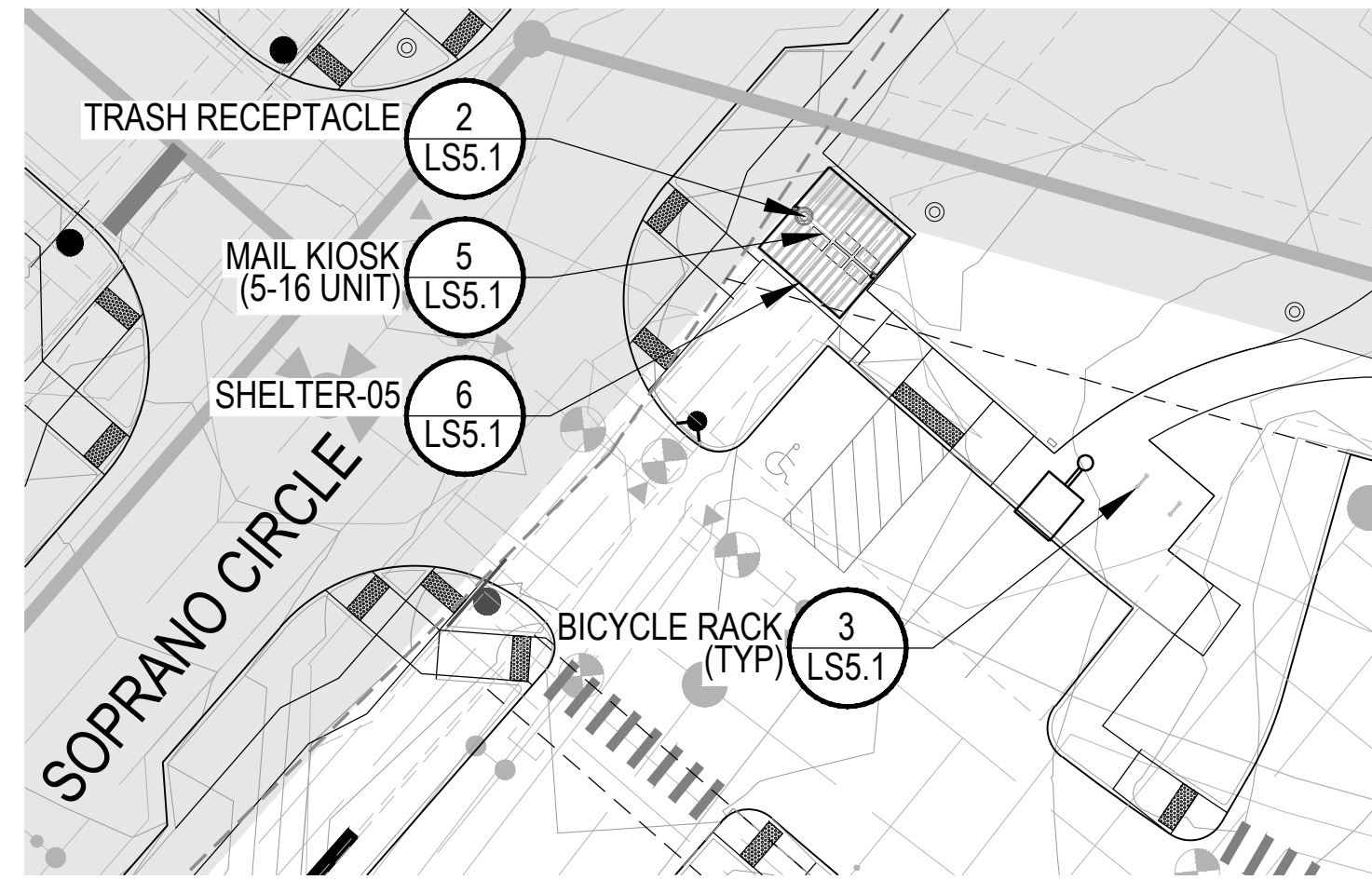
PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



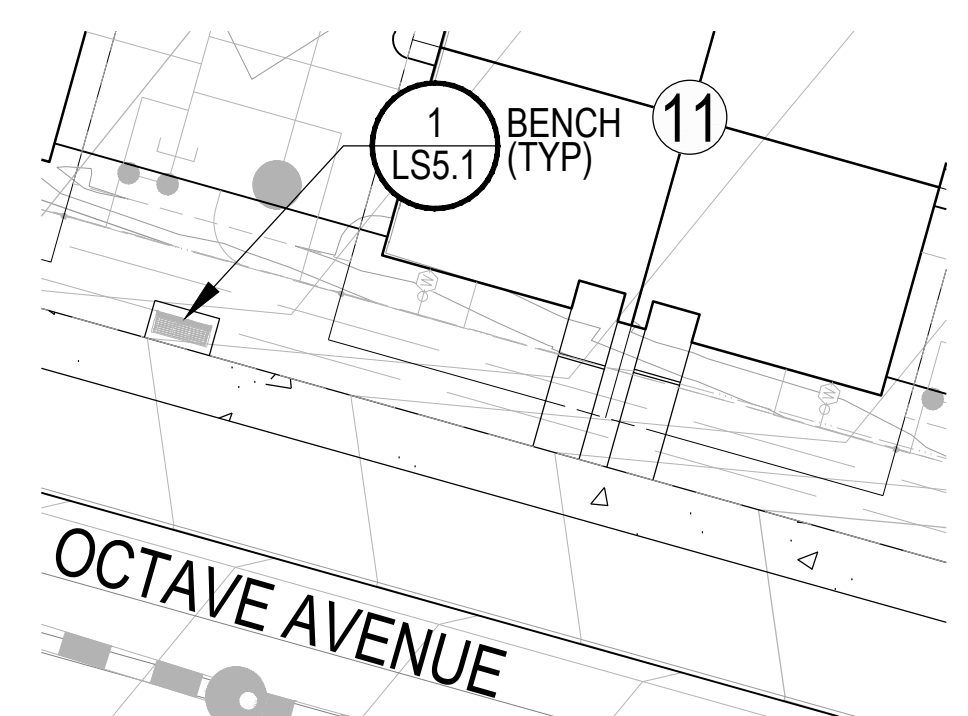
H-SCALE	V-SCALE	REVISION			DESIGNED BY	DRAWN BY	CHECKED BY
		No.	DATE	COMMENTS			
		1	01.20.23	TOWN COMMENTS	PMS	PCS	PMS
		2	03.03.23	TOWN COMMENTS			
		3	05.18.23	TOWN COMMENTS			
			12/02/22		PMS	PCS	PMS

LYRIC TOWNHOMES AT RIDGEGATE SIP

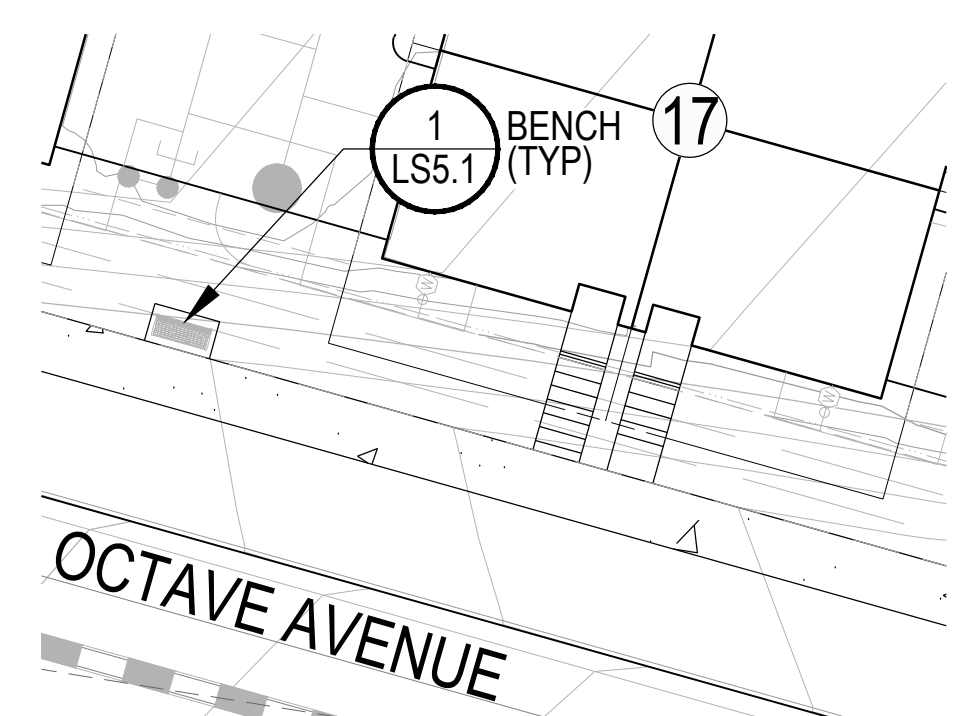
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



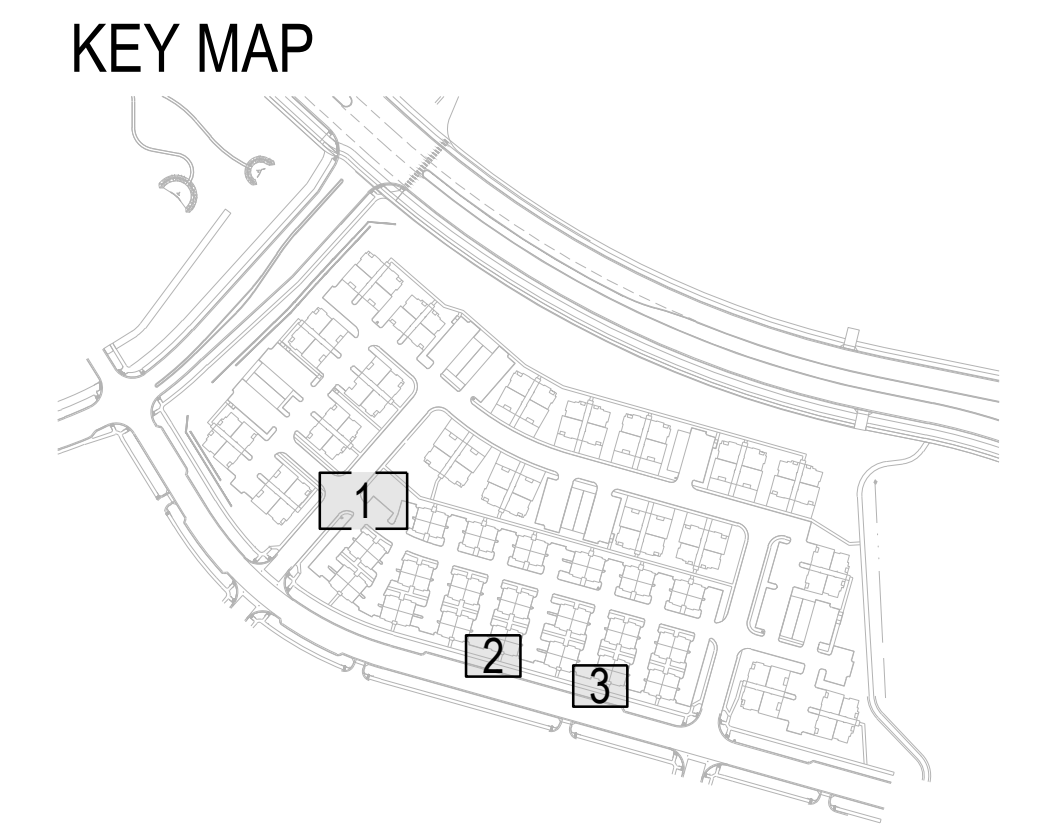
1 SITE FURNISHINGS AREA 1



2 SITE FURNISHINGS AREA 2

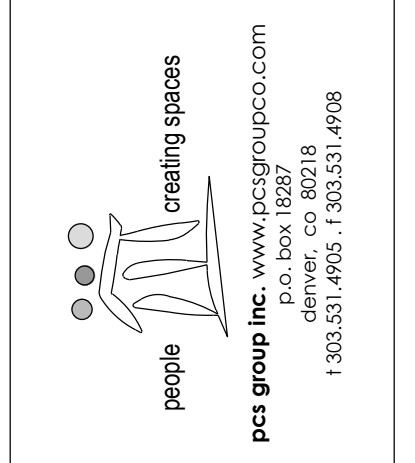


3 SITE FURNISHINGS AREA 3



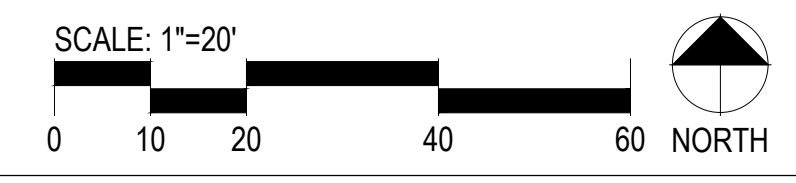
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 LOKAL HOMES
 8310 S. VALLEY HWY
 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



BY	DATE	No.	REVISION	H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	01.20.23	1	TOWN COMMENTS					
	03.03.23	2	TOWN COMMENTS					
	05.18.23	3	TOWN COMMENTS					
						PMS	PCS	PMS

LYRIC TOWNHOMES AT
 RIDGEGATE SIP
 SITE FURNISHINGS PLAN



LYRIC TOWNHOMES AT RIDGEGATE SIP

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OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO**



BENCH-01 BY THOMAS STEELE
CARNIVAL STEEL BENCH
MODEL: CRB, 6 FEET, OR APPROVED EQUAL.
COLOR: BLACK
INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

1 BENCH-01
Scale: NTS



TRASH RECEPTACLE-01 BY THOMAS STEELE
CARNIVAL RECEPTACLE-NO TOP RING
MODEL: CRTRN-32-P; LID-F-P,
OR APPROVED EQUAL.
COLOR: BLACK
INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

2 TRASH RECEPTACLE
Scale: NTS



BICYCLE RACK BY MADRAX
U24 'U' BIKE RACK
MODEL: U24-IG-P, OR APPROVED EQUAL.
COLOR: BLACK
INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

3 BICYCLE RACK
Scale: NTS



PET WASTE STATION BY DOG ON IT PARKS
MODEL: 7408-R, COMPLETE DOG WASTE
STATION WITH ROLL DISPENSER, GREEN,
OR APPROVED EQUAL.
INSTALL PER MANUFACTURER'S SPECS

CONTACT: ATOZ RECREATION
PHONE: 303.670.3789
WWW.ATOZRECREATION.COM

4 PET WASTE STATION
Scale: NTS



MAIL KIOSK BY FLORENCE CORPORATION OR
APPROVED EQUAL
MODEL: 1570-16
COLOR: SANDSTONE
INSTALL PER MANUFACTURERS SPECS.

CONTACT: PAGE SPECIALTY CO
PHONE: 800.327.7439
WWW.PAGESPECIALTY.COM

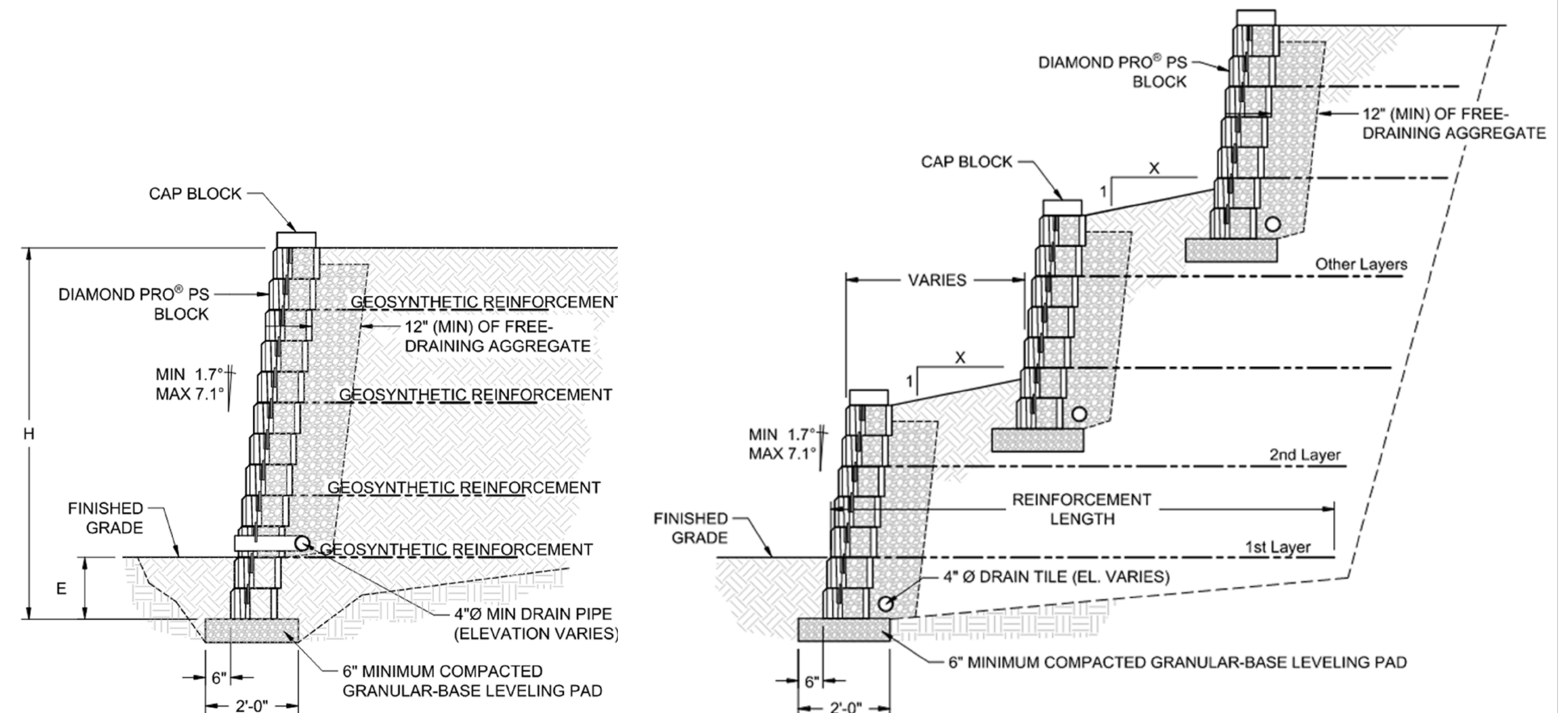
5 MAIL KIOSK
Scale: NTS



SHELTER-05 BY POLIGON
BLDG. TYPE: SSG 12X12 (NO BENCH)
ROOF TYPE: MULTI RIB
COLORS:
ROOF: STANDING SEAM, EVERGREEN
FRAME: BLACK
INSTALL PER MANUFACTURER'S SPECS

CONTACT: CHURCHICH RECREATION,
HEATHER HEASLEY
PHONE: 303.530.4414 X14
WWW.CHURCHICHRECREATION.NET

6 SHELTER-05
Scale: NTS



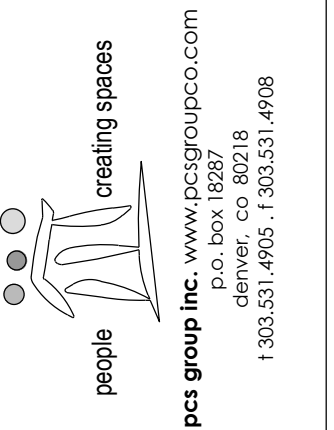
RETAINING WALL BY BELGARD
DIAMOND PRO-SMOOTH RETAINING WALL BLOCK
TEXTURE: SMOOTH
PATTERN: RUNNING BOND
COLOR: RIO GRAY
INSTALL PER MANUFACTURERS SPECS.

CONTACT: BELGARD
PHONE: 877-BELCARD
WWW.BELGARD.COM

7 RETAINING WALL
Scale: NTS

UNTIL SUCH TIME AS
THESE DRAWINGS ARE
APPROVED BY THE
APPROPRIATE REVIEWING
AGENCIES, OR ENGINEERING
APPROVES THEIR USE,
THESE DRAWINGS ARE
DESIGNATED BY WRITTEN
AUTHORIZATION.

PREPARED FOR
LOKAL HOMES
8370 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO
80112
720-656-4512



BY	DATE
	01.20.23
	03.03.23
	05.18.23

REVISION	No.	COMMENTS
1	TOWN COMMENTS	
2	TOWN COMMENTS	
3	TOWN COMMENTS	

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		12/02/22	PMS	PCS	PMS

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
A PART OF SECTION 14, SECTION 22, SECTION 23, AND SECTION 24, TOWNSHIP 6 SOUTH, RANGE 67 WEST
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 50'-0"

- PHOTOMETRY PLAN GENERAL NOTES:**
1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL GLARE ONTO ADJACENT PROPERTIES.
 3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 4. THERE WILL BE NO OFF-SITE GLARE ALLOWED.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF LONE TREE EXTERIOR LIGHTING STANDARDS



STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

<p>people creating spaces pct group inc. www.pctgroupco.com p.o. box 18287 denver, co 80218 1.303.574.9661, 1.800.331.4968</p>		<p>PREPARED FOR LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512</p>		<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, DESIGNATED BY WRITTEN AUTHORIZATION.</p>			
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY		
-	-	5/19/23	JMB	JLK	JMB		
LYRIC TOWNHOMES AT RIDGEGATE SIP		SITE LIGHTING PHOTOMETRIC					
SHEET 15 OF 25		JOB NO. 20220502					
No.		REVISION		BY		DATE	
1		TOWN COMMENTS				01.20.23	

LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
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PREPARED FOR
LOKAL HOMES
8310 S. VALLEY HWY
SUITE 115
ENGLEWOOD, CO
80112
720-656-4512

people creating spaces
pct group inc. www.pctgroupco.com
p.o. box 18287
denver, co 80218
1.303.574.9681

Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	Lumens	Classification	Color Temp.	Shielding	Control
	SB	BOLLARD WALKWAYS	3'-0" AFG	BLACK	INVUE ABB-B1-8030-LED-36-D1-A-BK	LED	1.00	11W	472	Asymmetric	3,000 KELVIN	FULL CUTOFF	PHOTOCELL
	SP1	SITE POLE PARKING & DRIVES	20'-0" AFG	BLACK	MCGRAW-EDISON GLEON-SA1A-730-U-SL3-BK-7030	LED	1.00	34W	3635	Type III	3,000 KELVIN	FULL CUTOFF	PHOTOCELL
	SW	WALL SCONCE ENTRIES	8'-0" AFG	BLACK	PROGRESS LIGHTING P5674-31/30K	LED	1.00	16.9W	504	Type V	3,000 KELVIN	FULL CUTOFF	PHOTOCELL

Cylinder

Wall Mounted • Wet Location Listed PROGRESS LED

P5674-31/30K

Project: _____
Feature Type: **SW**
Location: _____
Contact: _____

Description:

5" LED wall cylinder/wall lantern in Black. The P5674 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Specifications:

- Black finish.
- Die-cast aluminum construction with durable powder coated finish
- 788 lumens/46 lumens/watt (source)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficacy requirements for outdoor use only.
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box, 4.5 in. W.
- Mounting plate for outlet box included
- 6 in. of wire supplied

Performance:

Number of Modules	1
Input Power	16.9 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens (LPW (Source))	788/46 (LM-82)
Lumens (LPW (Delivered))	504/29.5 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EM/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	30°C
Warranty	5-year Limited Warranty
Labels	cSAsus Wet Location Listed

Dimensions:

Width: 5 in
Height: 7-1/2 in
Depth: 5 in
H/CTR: 2-1/2 in

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated and UL/ULC Listed for wet locations.

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated and UL/ULC Listed for wet locations.

McGraw-Edison

Catalog #	Type
	SP1
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slides into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
Five-year warranty.

GLEON GALLEON LED

1-10 Light Squares
Solid State LED
AREA-SITE LUMINAIRE

DIMENSIONS

DIMENSION DATA

Number of Light Squares	36" Standard Arm Length	48" Standard Arm Length	60" Standard Arm Length	Height with Arm (Typ.)	EM with Arm (Typ.)
1-4	15-1/2" (393mm)	7" (178mm)	10" (254mm)	33" (838mm)	0.96
5-8	21-5/8" (548mm)	7" (178mm)	10" (254mm)	44" (1118mm)	1.00
7-8	21-5/8" (548mm)	7" (178mm)	13" (330mm)	54" (1371mm)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63" (1600mm)	1.12

NOTES: 1. Optional arm length to be used when mounting two luminaires at 90° on a single pole. 2. EFR calculated with optional arm length.

DRILLING PATTERN

ENERGY DATA

Electronic LED Driver
25.2 Power Factor
420% Total Harmonic Distortion
120V 277V 600Hz
347V & 480V 60Hz
40°C Max. Temperature
60°C Max. Temperature (HA Option)
60°C Max. Temperature (HA Option)

CERTIFICATION DATA

UL/ULC Listed
80-9001
E18791 LMS Compliant
30 Vibration Rated
90% Rated
DesignLights Consortium™ Qualified*

CERTIFICATION DATA

UL/ULC Listed
IP68 Housing
800-801
RoHS
Dark Sky Approved (3000K CCT and warmer only)

ENERGY DATA

Electronic LED Driver
≥3 Power Factor
≤20% Total Harmonic Distortion
120-277V 60/60Hz
347V 60Hz, 480V 60Hz
40°C Minimum Temperature
40°C Ambient Temperature Rating
Approximate Net Weight:
15.25 lbs. (6.9 kg)

DESCRIPTION

The Arbor Bollard from Invue brings architectural style to the pedestrian level. The Arbor Bollard can be used along with Arbor post top luminaires to provide a coordinated look sure to enhance any architectural setting. WaveStream™ LED optics present a pixilation free image replacing visible glare, while providing high levels of pavement illumination.

DESCRIPTION

The Arbor Bollard from Invue brings architectural style to the pedestrian level. The Arbor Bollard can be used along with Arbor post top luminaires to provide a coordinated look sure to enhance any architectural setting. WaveStream™ LED optics present a pixilation free image replacing visible glare, while providing high levels of pavement illumination.

Invue

Catalog #	Type
	SB
Project	Date
Comments	
Prepared by	

DESCRIPTION

The Arbor Bollard from Invue brings architectural style to the pedestrian level. The Arbor Bollard can be used along with Arbor post top luminaires to provide a coordinated look sure to enhance any architectural setting. WaveStream™ LED optics present a pixilation free image replacing visible glare, while providing high levels of pavement illumination.

ABB ARBOR BOLLARD

PATHWAY LUMINAIRE

DIMENSIONS

DIMENSION DATA

Number of Light Squares	36" Standard Arm Length	48" Standard Arm Length	60" Standard Arm Length	Height with Arm (Typ.)	EM with Arm (Typ.)
1-4	15-1/2" (393mm)	7" (178mm)	10" (254mm)	33" (838mm)	0.96
5-8	21-5/8" (548mm)	7" (178mm)	10" (254mm)	44" (1118mm)	1.00
7-8	21-5/8" (548mm)	7" (178mm)	13" (330mm)	54" (1371mm)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63" (1600mm)	1.12

NOTES: 1. Optional arm length to be used when mounting two luminaires at 90° on a single pole. 2. EFR calculated with optional arm length.

DRILLING PATTERN

ENERGY DATA

Electronic LED Driver
25.2 Power Factor
420% Total Harmonic Distortion
120V 277V 600Hz
347V & 480V 60Hz
40°C Max. Temperature
60°C Max. Temperature (HA Option)
60°C Max. Temperature (HA Option)

CERTIFICATION DATA

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80-9001
E18791 LMS Compliant
30 Vibration Rated
90% Rated
DesignLights Consortium™ Qualified*

CERTIFICATION DATA

UL/ULC Listed
IP68 Housing
800-801
RoHS
Dark Sky Approved (3000K CCT and warmer only)

ENERGY DATA

Electronic LED Driver
≥3 Power Factor
≤20% Total Harmonic Distortion
120-277V 60/60Hz
347V 60Hz, 480V 60Hz
40°C Minimum Temperature
40°C Ambient Temperature Rating
Approximate Net Weight:
15.25 lbs. (6.9 kg)

701 Millennium Blvd. Greenville, South Carolina 29607 www.progresslighting.com Rev. 12/19

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August 8, 2022 12:09 PM



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		5/19/23	JMB	JLK	JMB

No.	REVISION	DATE	TOWN COMMENTS
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LYRIC TOWNHOMES AT RIDGEGATE SIP

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
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 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



UNIT E

UNIT D

FRONT ELEVATION - TYPE 1



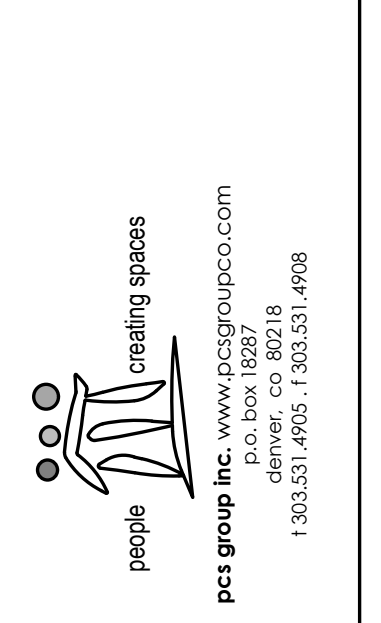
UNIT D

UNIT E

SIDE ELEVATION - TYPE 1

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PREPARED FOR
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 SUITE 115
 ENGLEWOOD, CO 80112
 720-656-4512



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LYRIC TOWNHOMES AT
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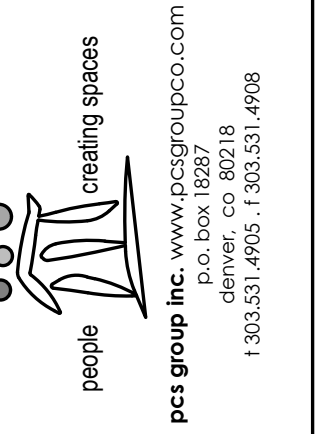
FRONT ELEVATION - TYPE 2



REAR ELEVATION - TYPE 2

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LYRIC TOWNHOMES AT
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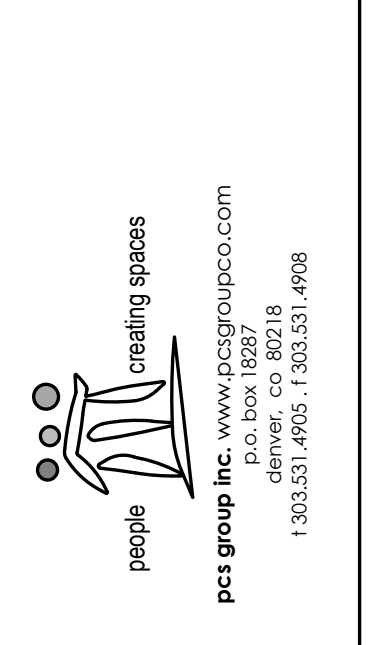
UNIT D

UNIT E

ALLEY ELEVATION - TYPE 2

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LYRIC TOWNHOMES AT
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Exterior Package 1

Body 1 – Snowbound SW 7004

Front Door 6187

Trim – Iron Ore SW 7069

Body 2 – Peppercorn SW 7674

Peppermill Gray

Tivoli - Cream

LOKAL
lkslathomes.com

Exterior Package 2

Body 1 – Online SW 7072

Front Door 7624

Trim – Iron Ore SW 7069

Body 2 – Ice Cube SW 6252

Peppermill Gray

Tivoli - Cream

LOKAL
lkslathomes.com

Exterior Package 3

Body 1 – Night Owl SW 7061

Front Door 9182

Trim – Iron Ore SW 7069

Body 2 – First Star SW 7646

Peppermill Gray

Tivoli - Cream

LOKAL
lkslathomes.com

Exterior Package 4

Body 1 – Grays Harbor SW 6236

Front Door 2739

Trim – Iron Ore SW 7069

Body 2 – Gray Screen SW 7071

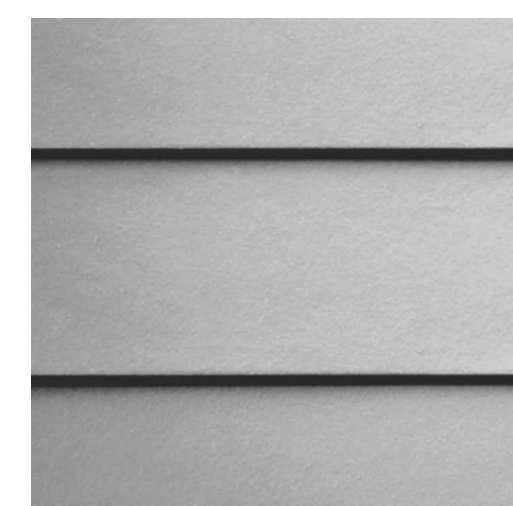
Peppermill Gray

Tivoli - Cream

LOKAL
lkslathomes.com



TRIM



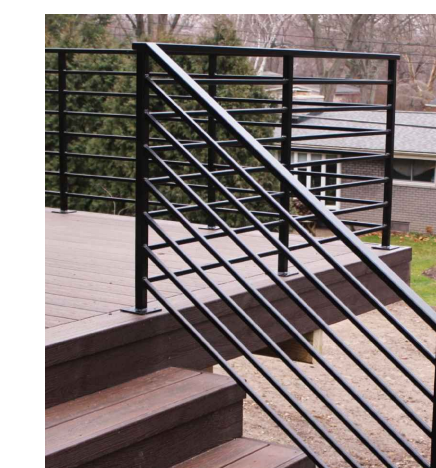
LAP SIDING



PANEL SIDING



EASYTRIM



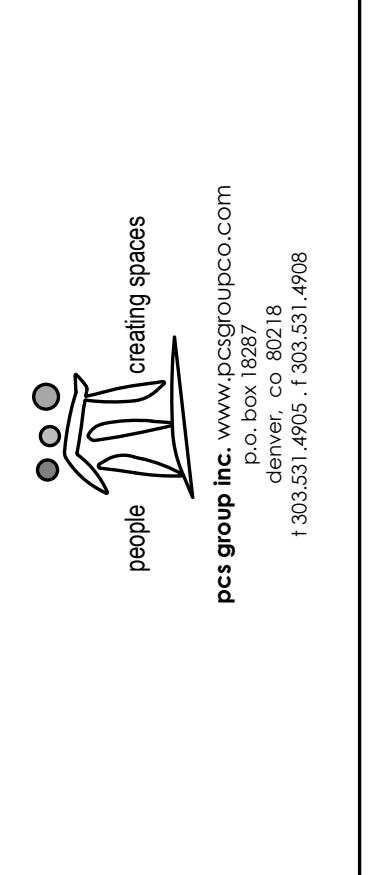
METAL RAIL

BUILDING COLOR SCHEMES:

- SCHEME 1 - BUILDINGS 5, 8, 12, 14, 19
- SCHEME 2 - BUILDINGS 4, 6, 13, 15, 18
- SCHEME 3 - BUILDINGS 1, 3, 10, 17, 20
- SCHEME 4 - BUILDINGS 2, 7, 9, 11, 16

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LYRIC TOWNHOMES AT RIDGEGATE SIP

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 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY

	TYPE: 1 COLOR SCHEME: 1
	TYPE: 1 COLOR SCHEME: 2
	TYPE: 1 COLOR SCHEME: 3
	TYPE: 1 COLOR SCHEME: 4
	TYPE: 2 COLOR SCHEME: 1
	TYPE: 2 COLOR SCHEME: 2
	TYPE: 2 COLOR SCHEME: 3
	TYPE: 2 COLOR SCHEME: 4

NOTE: REFERENCE SHEETS 17, 18 AND 19 FOR SPECIFICS ON BUILDING ELEVATIONS.

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<p>PREPARED FOR LOKAL HOMES 8310 S. VALLEY HWY SUITE 115 ENGLEWOOD, CO 80112 720-656-4512</p>	<p style="text-align: center;"> pct group inc. <small>www.pctgroupco.com p.o. box 18287 denver, co 80218 1.303.476.1700</small> </p>																																
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">No.</th> <th style="width: 10%;">REVISION</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>TOWN COMMENTS</td> <td>01.20.23</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>TOWN COMMENTS</td> <td>03.03.23</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>TOWN COMMENTS</td> <td>05.18.23</td> <td></td> <td></td> </tr> </tbody> </table>	No.	REVISION	DATE	BY	DATE	1	TOWN COMMENTS	01.20.23			2	TOWN COMMENTS	03.03.23			3	TOWN COMMENTS	05.18.23			<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">H-SCALE</th> <th style="width: 10%;">V-SCALE</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">DESIGNED BY</th> <th style="width: 10%;">DRAWN BY</th> <th style="width: 10%;">CHECKED BY</th> </tr> </thead> <tbody> <tr> <td>-</td> <td>-</td> <td>12/02/22</td> <td>PMS</td> <td>PCS</td> <td>PMS</td> </tr> </tbody> </table>	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	-	-	12/02/22	PMS	PCS	PMS
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<p>SHEET 21 OF 25</p>																																	
<p>JOB NO. 20220502</p>																																	

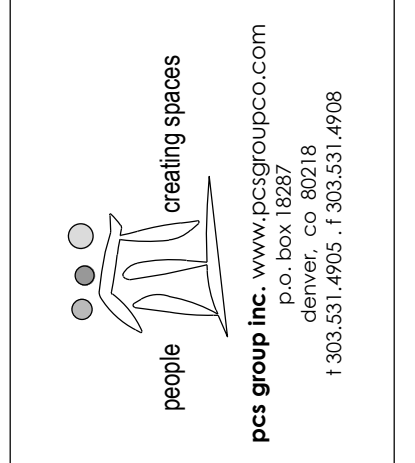
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LYRIC TOWNHOMES AT
RIDGEGATE SIP
PHOTO SIMULATION

LYRIC TOWNHOMES AT RIDGEGATE SIP

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LYRIC TOWNHOMES AT
 RIDGEGATE SIP
 PHOTO SIMULATION

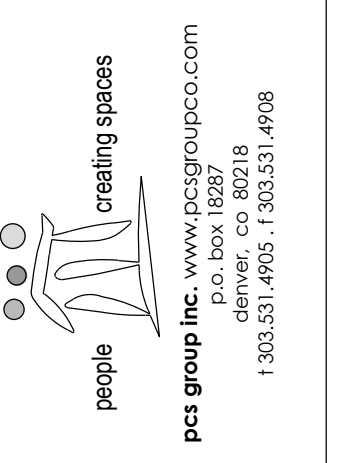
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LYRIC TOWNHOMES AT
 RIDGEGATE SIP
 PERSPECTIVES—FRONT/REAR

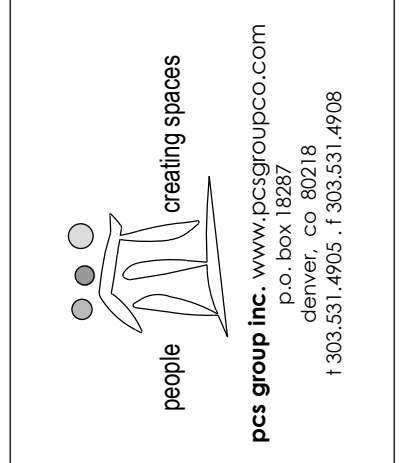
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LYRIC TOWNHOMES AT
 RIDGEGATE SIP
 PERSPECTIVES - ALLEY/GARAGE