

LEGAL DESCRIPTION:

LOT 4-C-1, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 8TH AMENDMENT, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTHWEST LINE OF LOT 4-B, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 6TH AMENDMENT RECORDED AT RECEPTION NO. 2002087418 AS BEARINGS NORTH 47°09'19" EAST. SAID LINE BEING MONUMENTED AT THE NORTHEAST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 28668", AND AT THE SOUTHWEST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 38098".

BENCHMARK:

BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED "2113021 DC GIS" WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

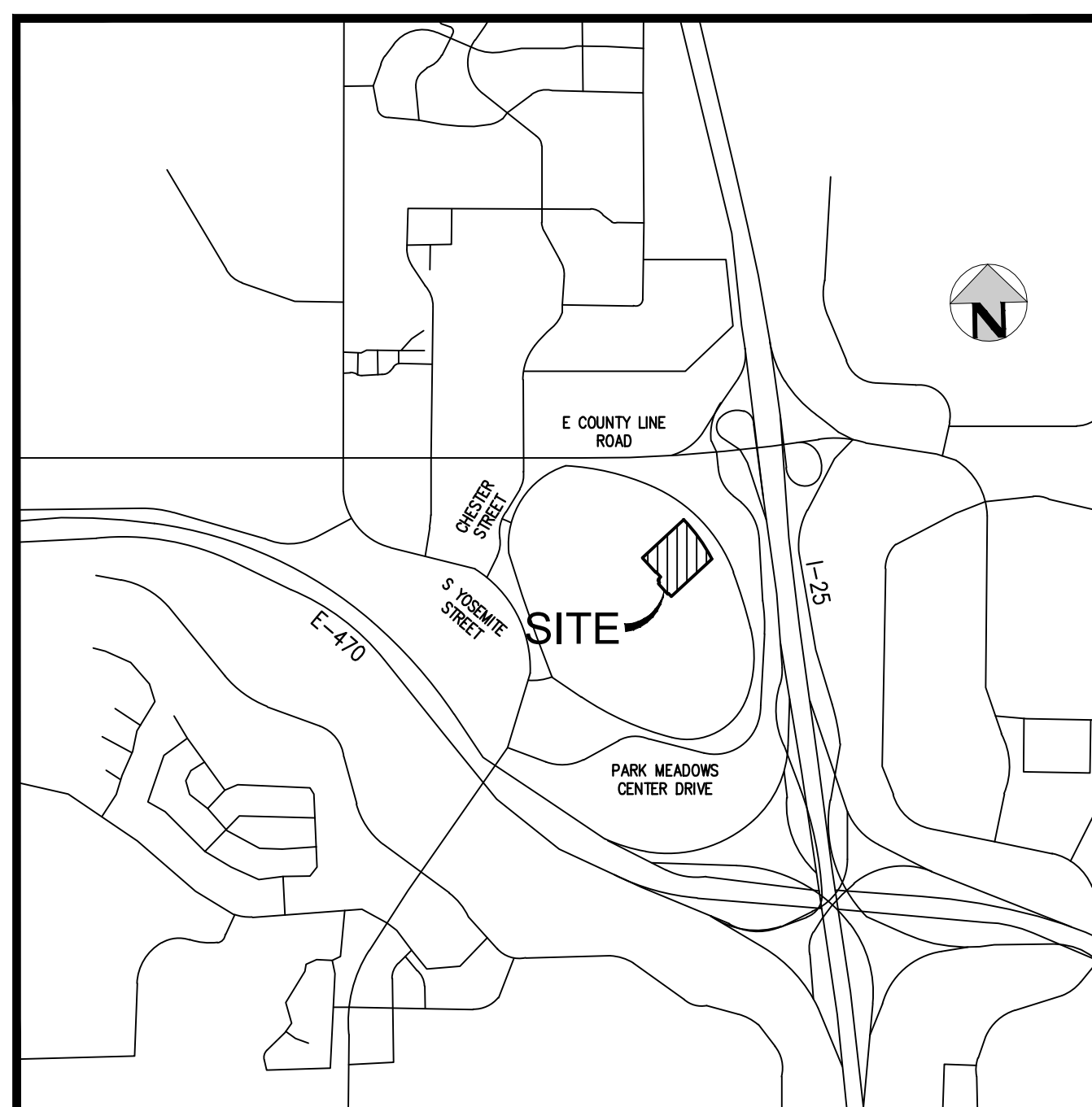
GENERAL NOTES:

- 1. THE CITY OF LONE TREE ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE CITY OF LONE TREE SUBDIVISION RESOLUTION OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY OF LONE TREE ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- 2. ALL ROADWAY CONSTRUCTION SHALL CONFORM TO CURRENT DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS.
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LONE TREE ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- 4. THE CONTRACTOR SHALL NOTIFY THE CITY OF LONE TREE PUBLIC WORKS, INSPECTION SECTION, (303) 662-8112, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION, AND/OR BEFORE RESTARTING CONSTRUCTION AFTER A SHUTDOWN OF MORE THAN 10 DAYS.
- 5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION, CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT (800) 922-1987 OR 811.
- 6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY (SIGNED BY BOTH DESIGN ENGINEER AND CITY OF LONE TREE) OF THE CONSTRUCTION PLANS AND GESC REPORT AND PLAN, AND ONE (1) COPY OF THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AT THE JOB SITE AT ALL TIMES.
- 7. ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
STORM SEWER CONNECTION SHEETS ST4, ST5, ST12, & ST13
WATER TIE-IN SHEET WT3
- 8. A ROW/CONSTRUCTION PERMIT MUST BE OBTAINED BEFORE ANY WORK WITHIN EXISTING OR PROPOSED PUBLIC ROW. THE PERMIT APPLICATION MUST BE SUBMITTED TO THE CITY OF LONE TREE ENGINEER FOR REVIEW/PROCESSING A MINIMUM OF 7 DAYS PRIOR TO REQUESTED START FOR THE WORK IN THE ROW.
- 9. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE CITY OF LONE TREE ENGINEER FOR ACCEPTANCE WITH THE PERMIT APPLICATION. AN EXCAVATION OR PUBLIC IMPROVEMENTS CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
- 10. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR TWO (2) YEARS FROM THE DATE OF CITY OF LONE TREE ACCEPTANCE/APPROVAL. IF APPLICABLE CONSTRUCTION PERMITS HAVE NOT BEEN OBTAINED, AND CONSTRUCTION STARTED WITHIN THAT TIME, THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LONE TREE.
- 11. CONTRACTOR SHALL NOTIFY THE CITY OF LONE TREE ENGINEER INSPECTOR WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY WHICH WILL BE CONVEYED TO THE CITY, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATORS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES). FAILURE TO NOTIFY ENGINEERING INSPECTOR TO ALLOW THEM TO INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITIES/INFRASTRUCTURE BY CITY AND/OR URBAN DRAINAGE.
- 12. PHASE 1B CIVIL CONSTRUCTION DOCUMENTS SHALL BE PROVIDED TO THE CITY OF LONE TREE FOR REVIEW AND APPROVAL PRIOR TO THE PHASE 1B BUILDING PERMIT BEING ISSUED.
- 13. PLEASE REFER TO MEP PLANS FOR ALL INTERNAL CONSTRUCTION OF THE GARAGE.

PARK MEADOWS - GARAGE AND RETAIL

SITUATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL CONSTRUCTION PLANS



VICINITY MAP
SCALE: 1" = 1000'

LEGEND:

(NOTE THAT SYMBOLS MAY BE SCALED LARGER THAN ACTUAL SIZE FOR CLARITY)

| | EXISTING | PROPOSED |
|---------------------------------|-----------|-----------|
| PROPERTY BOUNDARY | --- | --- |
| EASEMENT LINE | --- | --- |
| STORM SEWER | --- | --- |
| SANITARY SEWER | ---BSS--- | ---SS--- |
| WATER LINE | ---W--- | ---W--- |
| FIBER OPTIC | ---FO--- | --- |
| UNDERGROUND TELEPHONE | ---UT--- | --- |
| UNDERGROUND ELECTRIC | ---UE--- | ---UE--- |
| UNDERGROUND ELECTRIC, PRIMARY | ---UEP--- | ---UEP--- |
| UNDERGROUND ELECTRIC, SECONDARY | ---UES--- | ---UES--- |
| UNDERGROUND ELECTRIC, LIGHT | ---UEL--- | ---UEL--- |
| OVERHEAD ELECTRIC | ---OE--- | --- |
| TRANSFORMER | ☒ | ☒ |
| STREET LIGHT | ☼ | ☼ |
| GAS MAIN | ---G--- | ---G--- |
| GAS SERVICE | ---G--- | ---G--- |
| FENCE | --- | --- |
| TYPE 1 HANDRAIL | --- | --- |
| TYPE 2 HANDRAIL | --- | --- |
| RETAINING WALL | --- | --- |
| BUILDING ENTRANCE | Ⓢ | Ⓢ |
| HANDICAP PARKING | ♿ | ♿ |
| PARKING COUNT | Ⓢ | Ⓢ |
| CONTOUR | 5400 | 5400 |
| TREES | ☉ | ☉ |
| SANITARY SERVICE W/ CLEAN OUT | --- | --- |

ABBREVIATIONS

| BLDG | BUILDING |
|------|--------------------------|
| BOP | BOTTOM OF PIPE |
| BS | BOTTOM OF STEP |
| BW | BOTTOM OF WALL (FG) |
| CONC | CONCRETE |
| DIA | DIAMETER |
| DIP | DUCTILE IRON PIPE |
| DR | DOOR |
| DS | DOWNSPOUT |
| E | EAST, EASTING |
| EGL | ENERGY GRADE LINE |
| EL | ELEVATION |
| EOA | EDGE OF ASPHALT |
| EOC | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EX | EXISTING |
| FES | FLARED END SECTION |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| GB | GRADE BREAK |
| GV | GATE VALVE |
| HC | HANDICAP |
| HGL | HYDRAULIC GRADE LINE |
| HORZ | HORIZONTAL |
| HP | HIGH POINT |
| INV | INVERT |
| LP | LOW POINT |
| LSD | LANDSCAPE DRAIN |
| MAX | MAXIMUM |
| MH | MANHOLE |
| MIN | MINIMUM |
| MJ | MECHANICAL JOINT |
| N | NORTH, NORTHING |
| PHS | PHASE |
| PR | PROPOSED |
| PVC | POLYVINYL CHLORIDE |
| RCP | REINFORCED CONCRETE PIPE |
| ROW | RIGHT-OF-WAY |
| SAN | SANITARY |
| SL | STREET LIGHT |
| SS | SANITARY SEWER |
| STA | STATION |
| STM | STORM |
| TB | THRUST BLOCK |
| TBC | TOP/BACK OF CURB |
| TOP | TOP OF PIPE |
| TS | TOP OF STEP |
| TW | TOP OF WALL (FG) |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| WAT | WATER |

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- WT3 WATER PLAN - PHASE 1A

Filepath: P:\2023\202310\ENGINEERING\CD\PHASE 1A\CD - COVER\DWG Layout_LAYOUT.rvt
Printed: TUE 04/04/2024 12:56:41 P. By: Libby Edwards



Know what's below.
Call before you dig.

OWNER

PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

8401 PARK MEADOWS CENTER DRIVE
LONE TREE, CO 80124
POC: PAUL MADDEN
PAUL.MADDEN@PPRETAIL.COM

ARCHITECT



2040 ADDISON ST
BERKELEY CA, 94704
WWW.ELSARCH.COM
P: 510-549-2929
POC: DAVID MASENTE
DMASENTE@ELSARCH.COM

LANDSCAPE ARCHITECT



1360 WALNUT ST
BOULDER, CO 80302
P: 720-274-0814 - EXT. 3508
POC: NURAIN RAFAE
MRAFAE@LANDDESIGN.COM

CIVIL ENGINEER



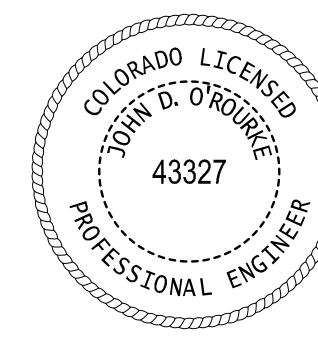
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
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HarrisKocherSmith.com

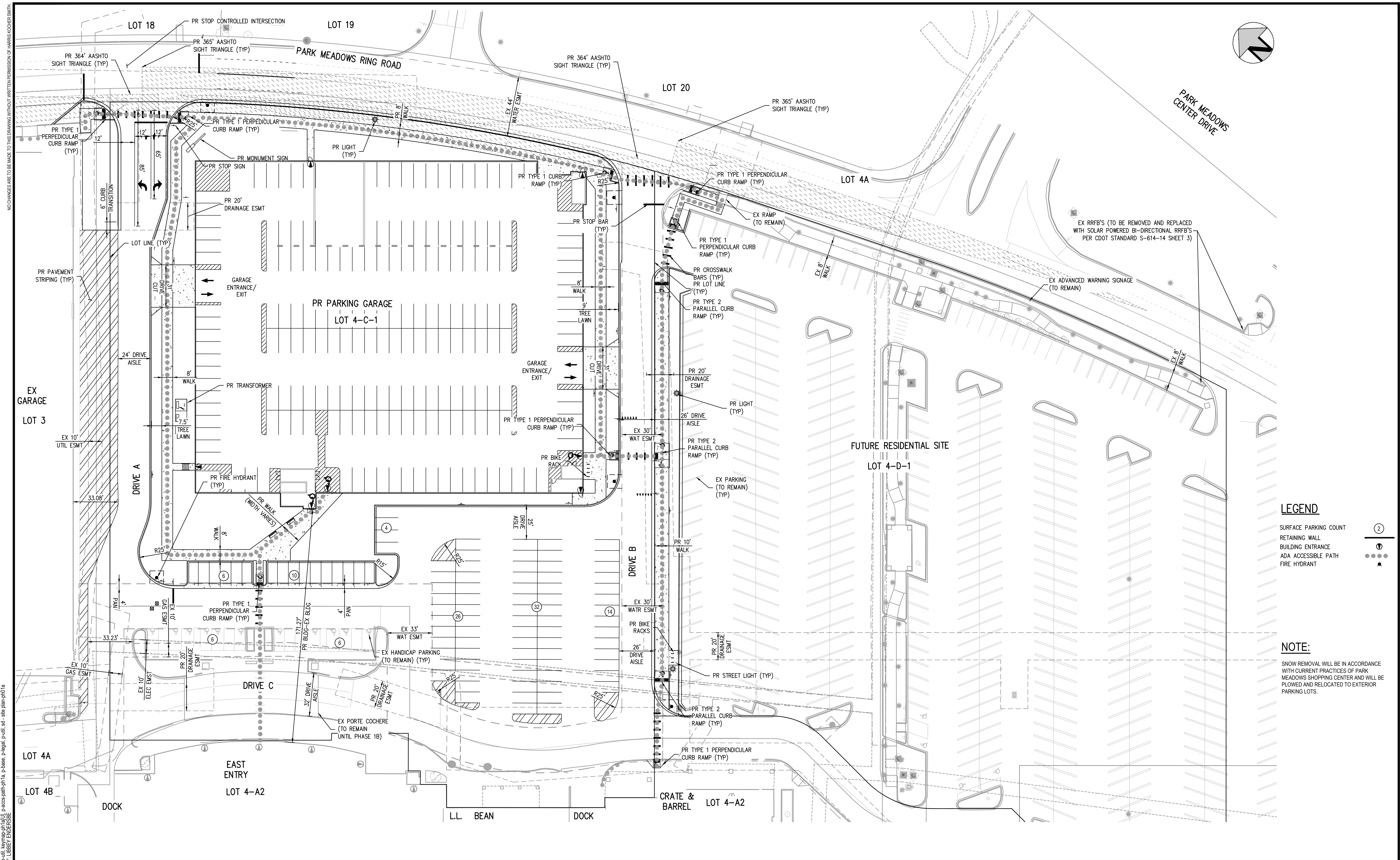
LIGHTING



102 W SAN FRANCISCO ST STE 15
SANTA FE, NM 87501
P: 906-283-2425
POC: ERIN GUSSERT
ERIN.GUSSERT@RLSTUDIO

| ISSUE DATE: 03-22-2024 | PROJECT #: 231016 |
|------------------------|-----------------------|
| DATE | REVISION COMMENTS |
| 04-05-2024 | BID ADDENDUM |
| 05-07-2024 | CITY SUBMITTAL |
| 05-10-2024 | PERMIT SET (BUILDING) |
| 06-04-2024 | CITY SUBMITTAL |





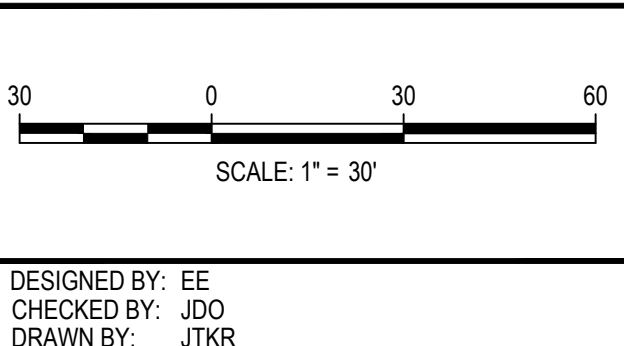
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LEGEND

- SURFACE PARKING COUNT
- ▬ RETAINING WALL
- BUILDING ENTRANCE
- ADA ACCESSIBLE PATH
- ▲ FIRE HYDRANT

NOTE:

SNOW REMOVAL WILL BE IN ACCORDANCE WITH CURRENT PRACTICES OF PARK MEADOWS SHOPPING CENTER AND WILL BE PLOWED AND RELOCATED TO EXTERIOR PARKING LOTS.

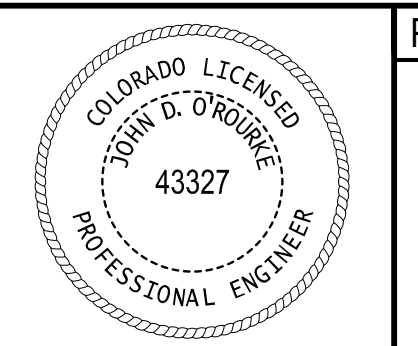


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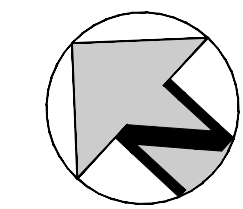
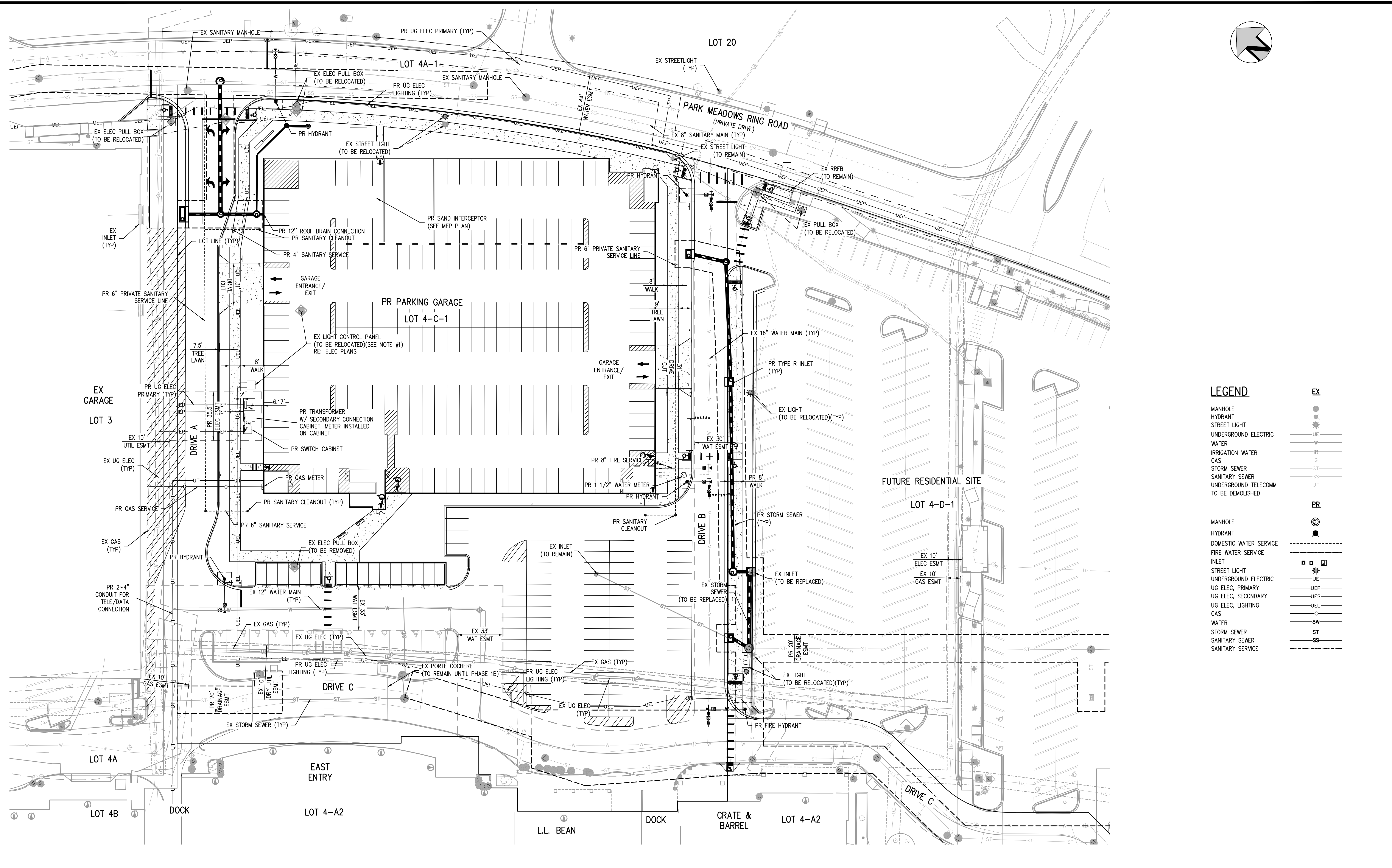
**PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 SITE PLAN - PHASE 1A**



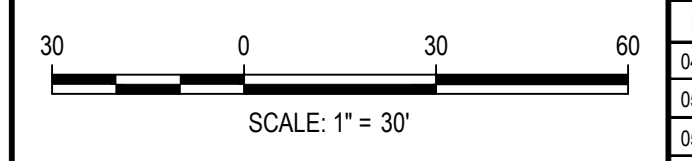
PROJECT #: 231016
 SHEET NUMBER
CD2
 2 OF 17

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| LEGEND | |
|---------------------------------------|-----------|
| MANHOLE | EX |
| HYDRANT | • |
| STREET LIGHT | ☼ |
| UNDERGROUND ELECTRIC | UE |
| WATER | W |
| IRRIGATION WATER | IR |
| GAS | G |
| STORM SEWER | ST |
| SANITARY SEWER | SS |
| UNDERGROUND TELECOMM TO BE DEMOLISHED | UT |
| PR | |
| MANHOLE | ⊙ |
| HYDRANT | • |
| DOMESTIC WATER SERVICE | - - - - - |
| FIRE WATER SERVICE | - - - - - |
| INLET | □ |
| STREET LIGHT | ☼ |
| UNDERGROUND ELECTRIC | UE |
| UG ELEC, PRIMARY | UEP |
| UG ELEC, SECONDARY | UES |
| UG ELEC, LIGHTING | UEL |
| GAS | G |
| WATER | W |
| STORM SEWER | ST |
| SANITARY SEWER | SS |
| SANITARY SERVICE | SS |

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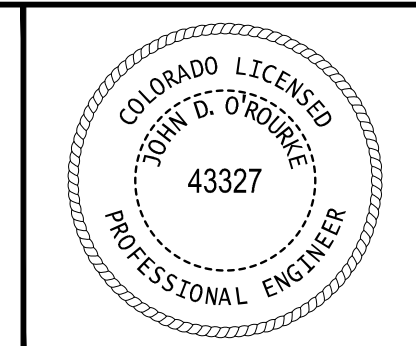
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 CHECKED BY: JDO
 DRAWN BY: JTKR

| DATE | REVISION COMMENTS |
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| 04-05-2024 | BID ADDENDUM |
| 05-07-2024 | CITY SUBMITTAL |
| 05-10-2024 | PERMIT SET (BUILDING) |
| 06-04-2024 | CITY SUBMITTAL |

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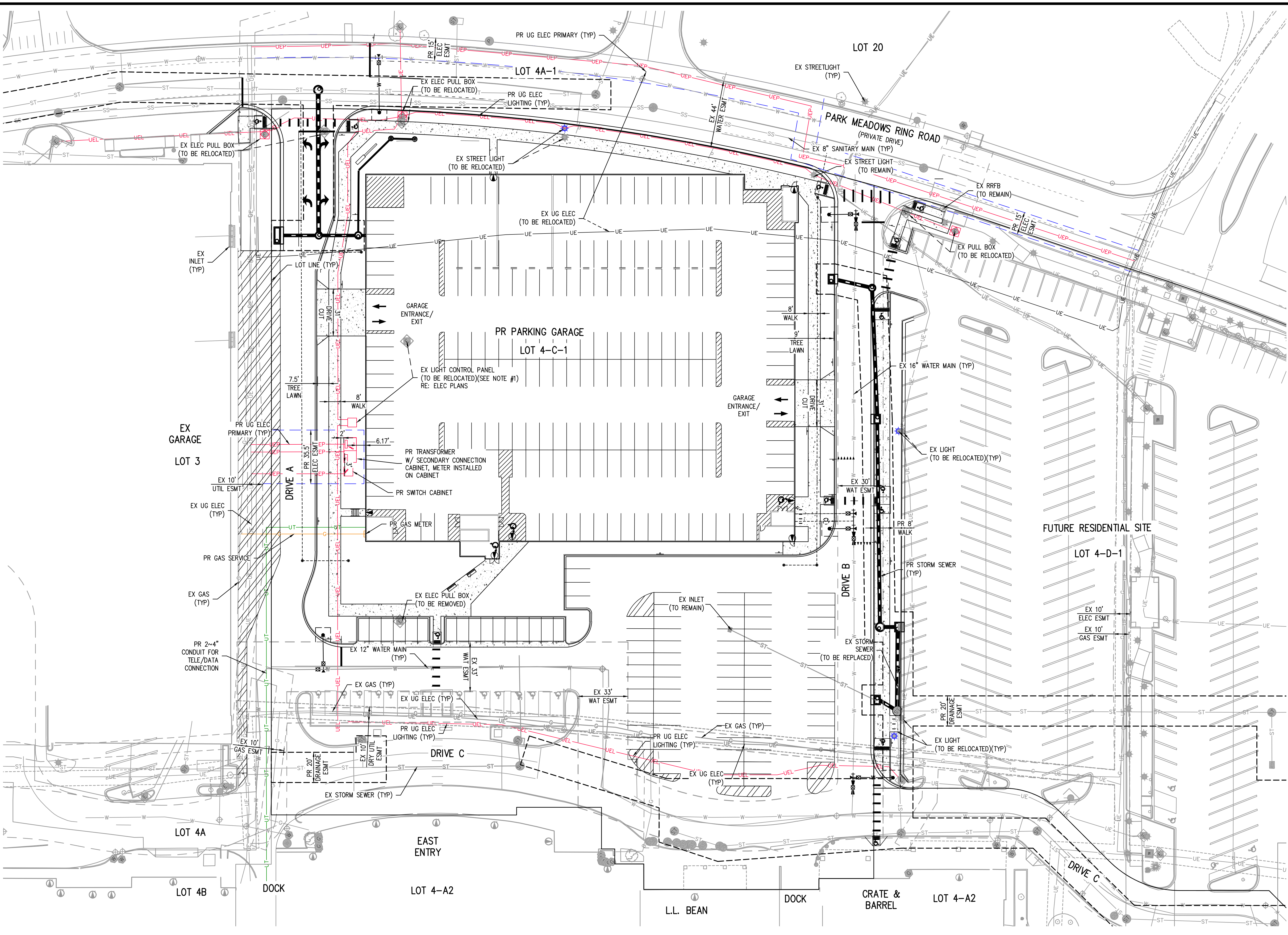
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 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 OVERALL UTILITY PLAN - PHASE 1A



PROJECT #: 231016
 SHEET NUMBER
CD3
 3 OF 17

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LEGEND

| | |
|----------------------|-----|
| STREET LIGHT | EX |
| UNDERGROUND ELECTRIC | UE |
| GAS | G |
| UNDERGROUND TELECOMM | UT |
| PR | |
| STREET LIGHT | PR |
| UNDERGROUND ELECTRIC | UEP |
| UG ELEC, PRIMARY | UES |
| UG ELEC, SECONDARY | UEL |
| UG ELEC, LIGHTING | UT |
| UG TELECOM | G |
| GAS SERVICE | UT |
| TRANSFORMER | TR |

NOTE:

- BROOKS #66PB CONCRETE PULLBOX WITH EXTENSION AND #66 FLUSH STEEL BOLT DOWN TRAFFIC COVER, BEAD WELD "ELECTRIC".

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SCALE: 1" = 30'

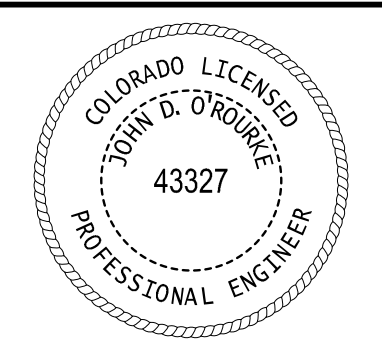
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| DRAWN BY: JTKR |

| DATE | REVISION COMMENTS |
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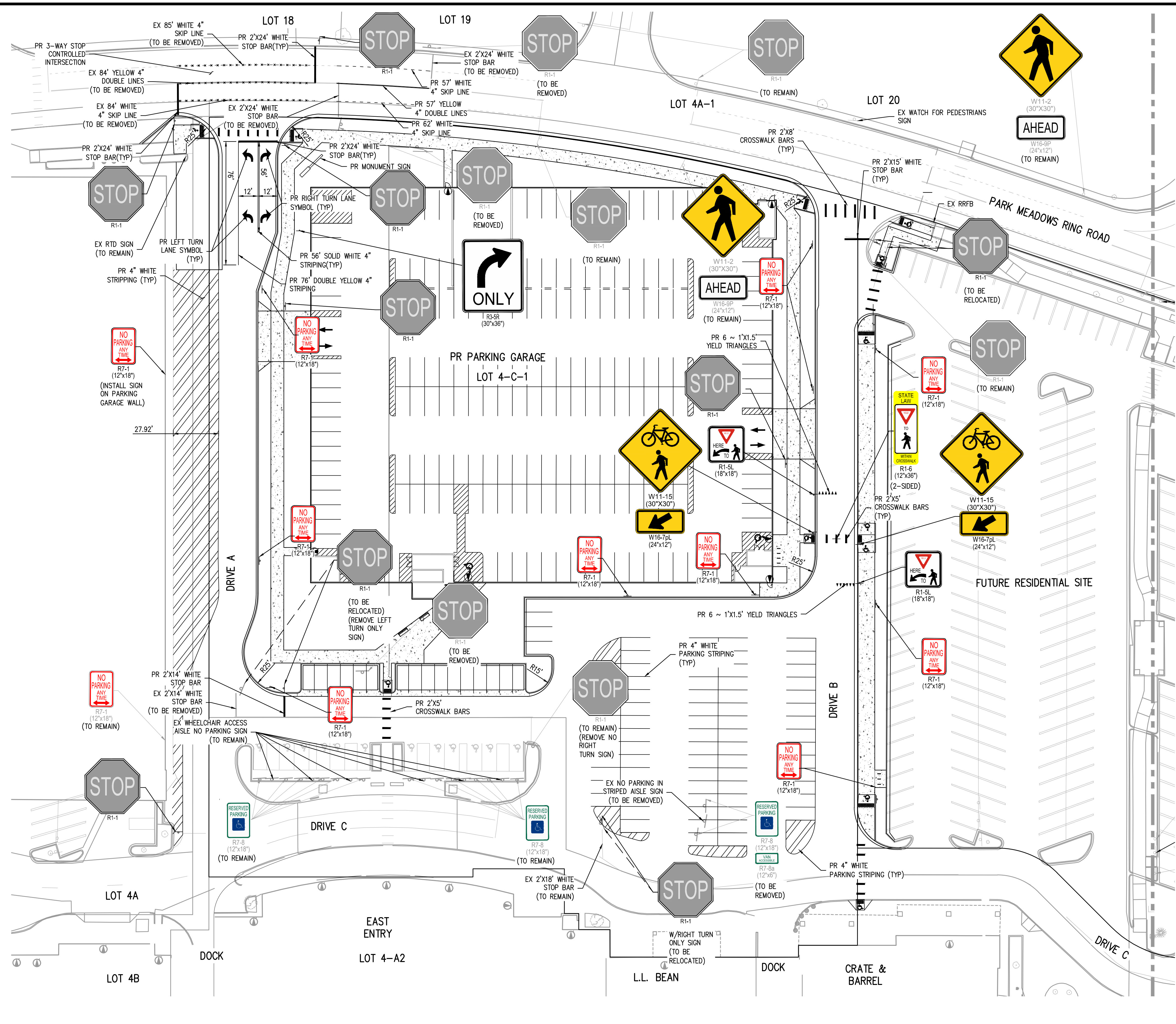
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 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 DRY UTILITY PLAN - PHASE 1A



PROJECT #: 231016
 SHEET NUMBER
CD4
 4 OF 17

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MATCHLINE - SEE SHEET CD6

NOTES:

1. ALL SIGNAGE AND STRIPING FOR PUBLIC AND/OR PRIVATE ROADWAYS, WALKWAYS OR BICYCLE TRAILS OPEN TO PUBLIC TRAVEL SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE COLORADO SUPPLEMENTAL MUTCD, AND THE CITY OF LONE TREE SIGNAGE AND STRIPING DETAILS.
2. ALL PAVEMENT MARKINGS ARE SUBJECT TO MATERIAL CHANGES DUE TO SEASON AND/OR WEATHER. TEMPORARY MARKING MATERIALS MAY BE REQUIRED. SPECIFIED FINAL PAVEMENT MARKING MATERIALS SHALL BE INSTALLED WHEN SEASON / WEATHER ALLOW.
3. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ARTICLE XXIX OF THE CITY OF LONE TREE MUNICIPAL CODE.
4. ALL SIGNAGE & PAVEMENT MARKINGS NOT SPECIFIED BY THE CITY OF LONE TREE SHALL BE IN ACCORDANCE W/ CDOT M&S STANDARDS.

| |
|--|
| CITY OF LONE TREE |
| DATE |
| THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR SIGNAGE & STRIPING IMPROVEMENTS ONLY. |
| ENGINEERING DIVISION ACCEPTANCE BLOCK |

FILE PATH: P:\2023\21016\ENGINEERING\ROADWAY\PHASE 1A\CD - SIGNAGE & STRIPING PLAN\PH01\CD5\DWG\LAYOUT\LAYOUT.dwg
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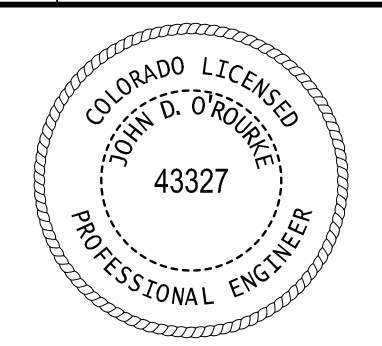
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| DESIGNED BY: EE | | | |
| CHECKED BY: JDO | | | |
| DRAWN BY: JTKR | | | |

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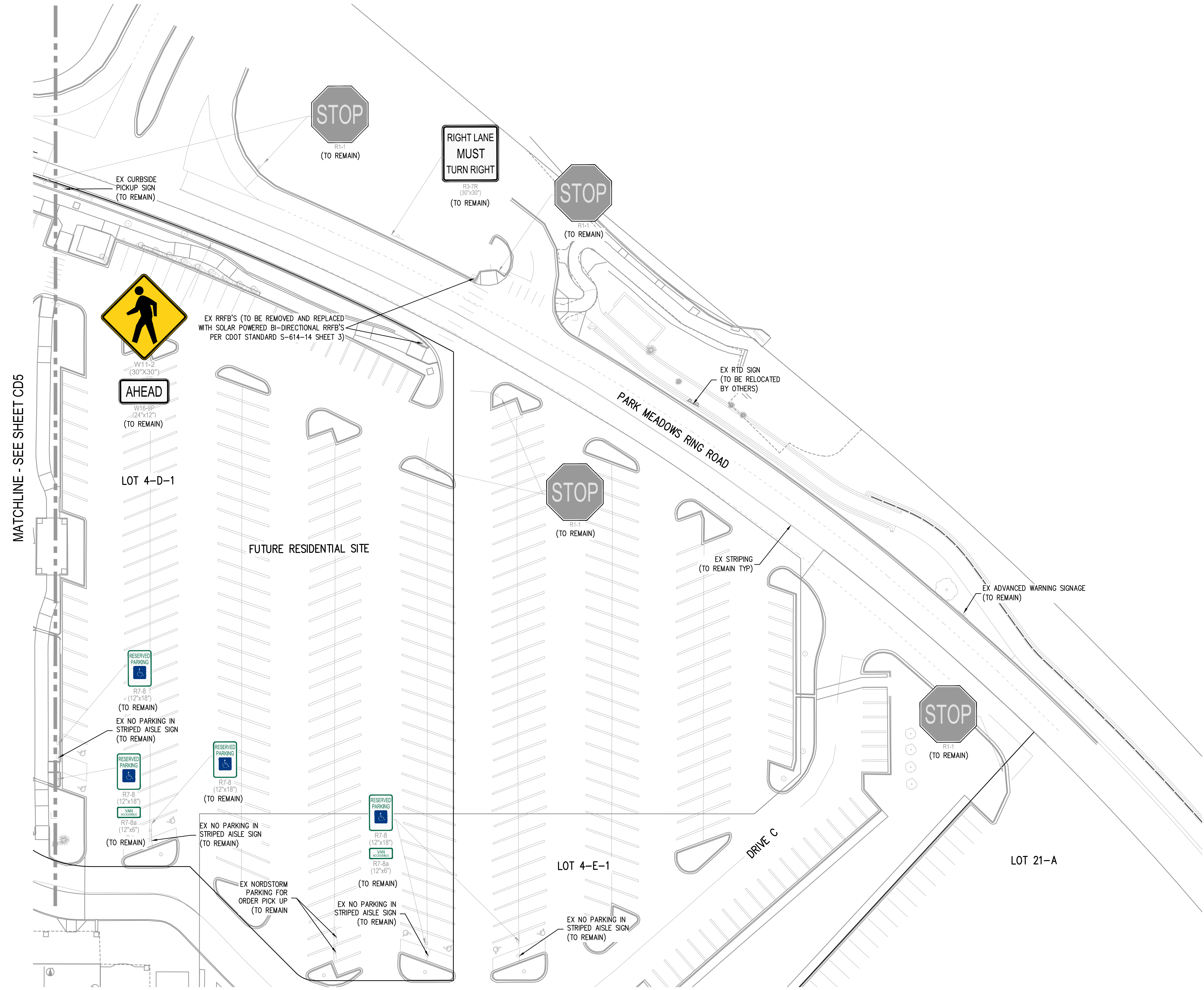
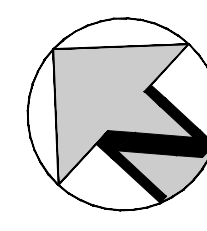
PARK MEADOWS MALL, LLC
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 SIGNAGE AND STRIPING PLAN - PHASE 1A



PROJECT #: 231016
 SHEET NUMBER
CD5
 5 OF 17

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NOTES:

1. ALL SIGNAGE AND STRIPING FOR PUBLIC AND/OR PRIVATE ROADWAYS, WALKWAYS OR BICYCLE TRAILS OPEN TO PUBLIC TRAVEL SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE COLORADO SUPPLEMENTAL MUTCD, AND THE CITY OF LONE TREE SIGNAGE AND STRIPING DETAILS.
2. ALL PAVEMENT MARKINGS ARE SUBJECT TO MATERIAL CHANGES DUE TO SEASON AND/OR WEATHER. TEMPORARY MARKING MATERIALS MAY BE REQUIRED. SPECIFIED FINAL PAVEMENT MARKING MATERIALS SHALL BE INSTALLED WHEN SEASON / WEATHER ALLOW.
3. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ARTICLE XXIX OF THE CITY OF LONE TREE MUNICIPAL CODE.
4. ALL SIGNAGE & PAVEMENT MARKINGS NOT SPECIFIED BY THE CITY OF LONE TREE SHALL BE IN ACCORDANCE W/ CDOT M&S STANDARDS.

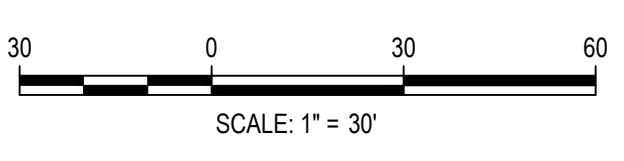
CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR SIGNAGE & STRIPING IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

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 CHECKED BY: JDO
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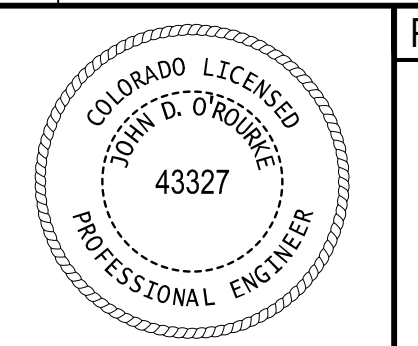
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| DATE | REVISION COMMENTS |
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| 04-05-2024 | BID ADDENDUM |
| 05-07-2024 | CITY SUBMITTAL |
| 05-10-2024 | PERMIT SET (BUILDING) |
| 06-04-2024 | CITY SUBMITTAL |

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

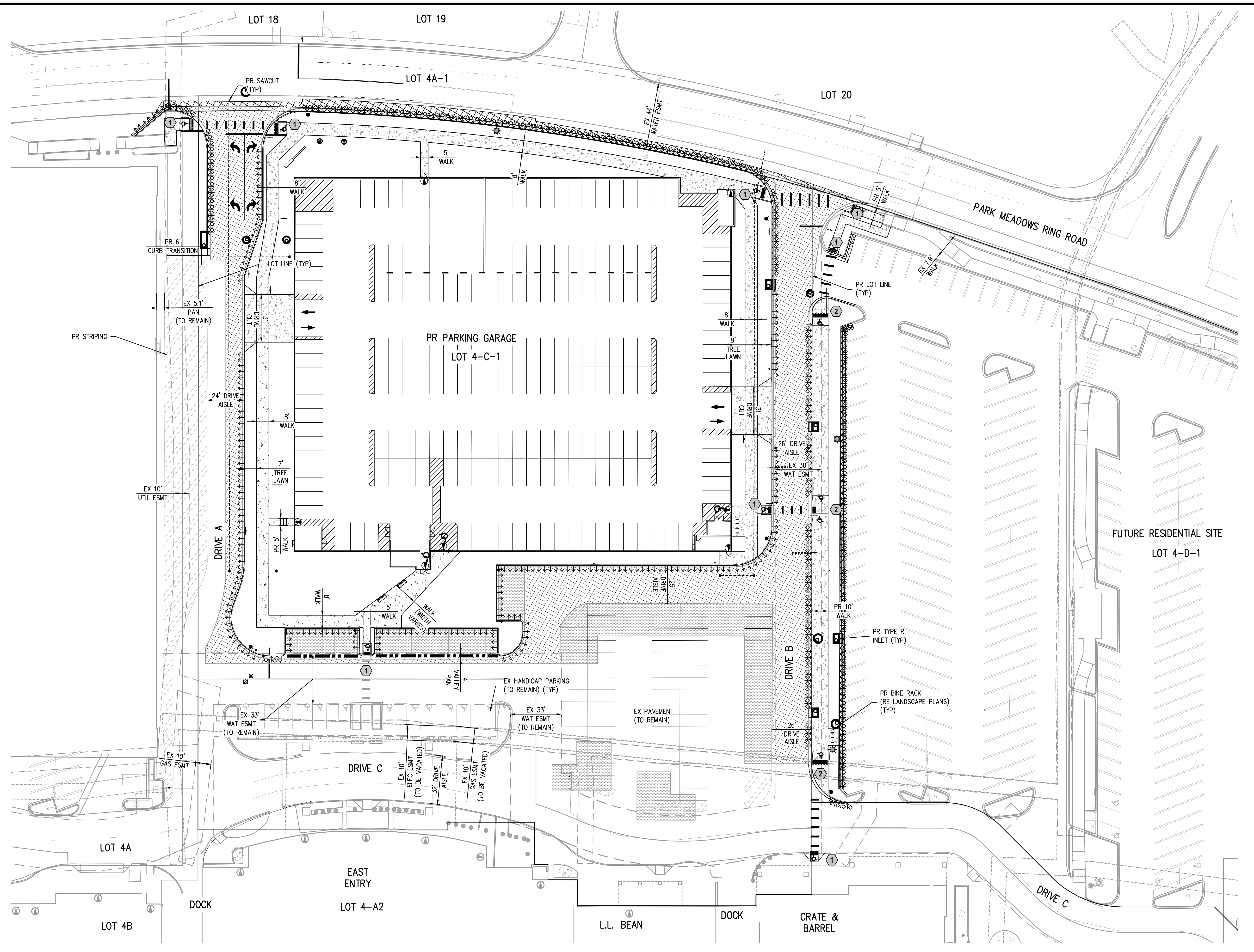
PARK MEADOWS MALL, LLC
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 SIGNAGE AND STRIPING PLAN - PHASE 1A



PROJECT # 231016
 SHEET NUMBER
CD6
 6 OF 17

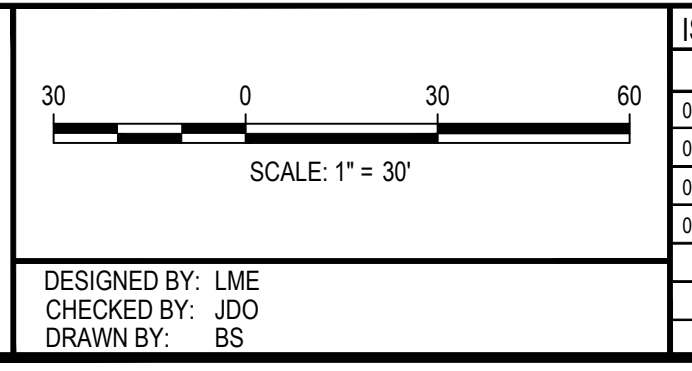
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- LEGEND:**
- PORTLAND CEMENT CONCRETE PAVEMENT
 - 4" FOR WALKWAYS
 - 6" FOR HEAVY DUTY PAVEMENT
 - 4" STANDARD DUTY ASPHALT PAVEMENT OVER 6" AGGREGATE BASE MATERIAL (ALTERNATIVE: 3.5" LIGHT-DUTY ASPHALT PAVEMENT OVER 6" AGGREGATE BASE MATERIAL)
 - 6" HEAVY DUTY FULL DEPTH ASPHALT PAVEMENT (ALTERNATIVE: 4" MEDIUM-DUTY ASPHALT PAVEMENT OVER 7" AGGREGATE BASE MATERIAL)
 - PROPOSED 4' VALLEY PAN
 - PROPOSED SAWCUT
 - PROPOSED 6" VERTICAL CURB AND GUTTER (1' SPILL)
 - PROPOSED 6" VERTICAL CURB AND GUTTER (2' CATCH)
 - PROPOSED TYPE 1 PERPENDICULAR CURB RAMP
 - PROPOSED TYPE 2 PARALLEL CURB RAMP

- NOTES:**
1. PAVEMENT THICKNESSES ARE SHOWN FOR INFORMATION ONLY. REFER TO THE GEOTECHNICAL ENGINEERING STUDY PREPARED BY KUMAR & ASSOCIATES, INC. FOR PAVEMENT SECTION AND MATERIALS.
 2. CONTRACTOR SHALL CONSTRUCT CONCRETE REINFORCEMENT PAVEMENT JOINTS, ETC. IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION, M&S STANDARDS, CURRENT EDITIONS, UNLESS OTHERWISE INDICATED IN PLANS.
 3. 2' ADA VALLEY PAN SHALL BE USED ALONG ALL CONCRETE HANDICAP ADA SPACES AND HANDICAP ADA ACCESS AISLES.

FILE PATH: P:\2023\231016\ENGINEERING\ROADWAY\PHASE 1A\CD - PAVING PLAN\PH1A.DWG LAYOUT: LAYOUT1
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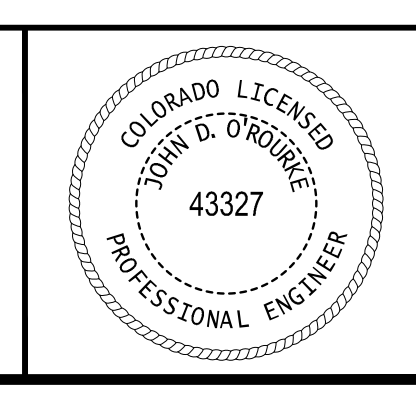


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| 06-04-2024 | CITY SUBMITTAL |



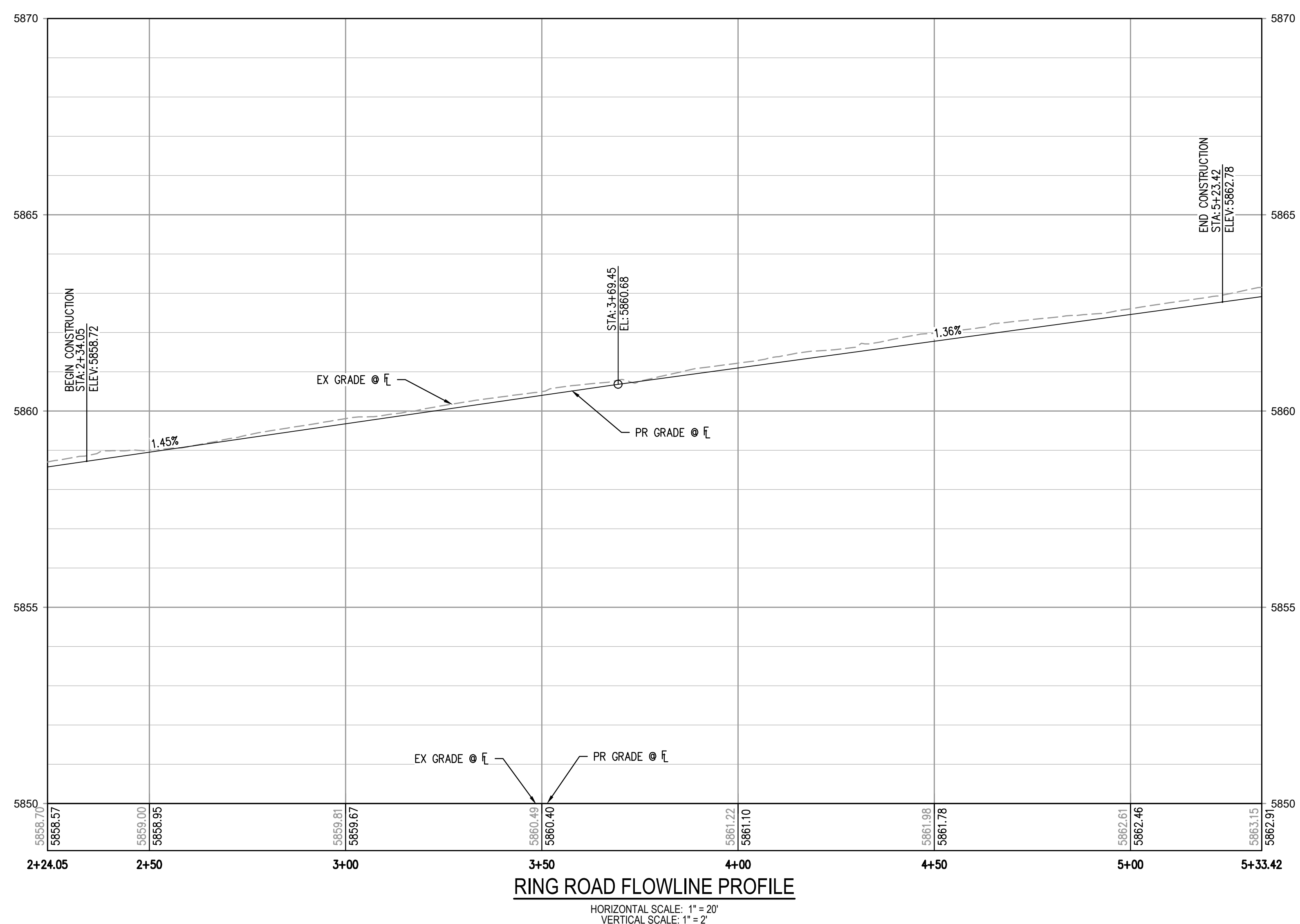
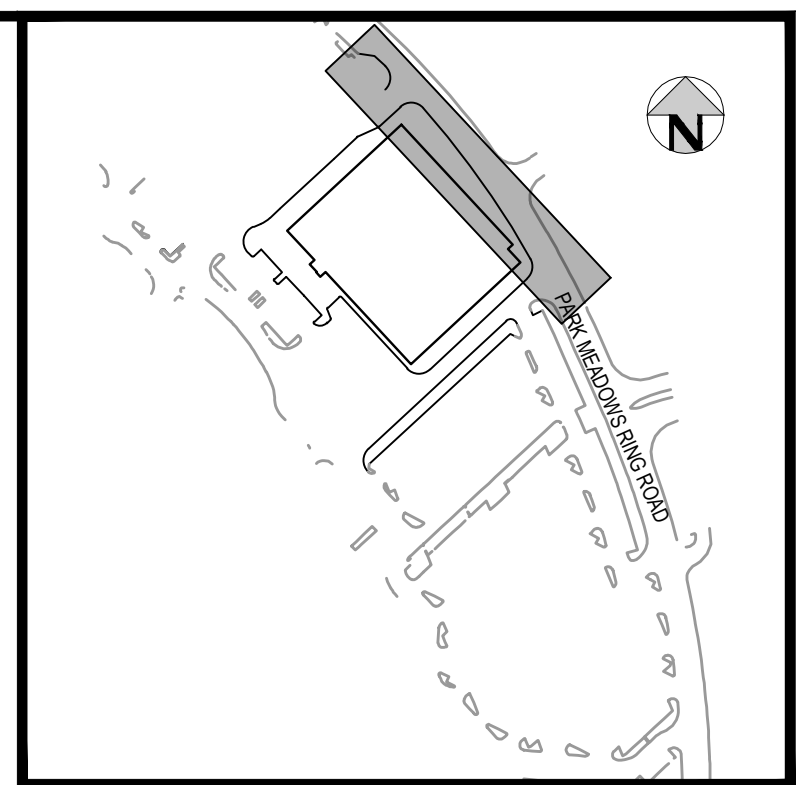
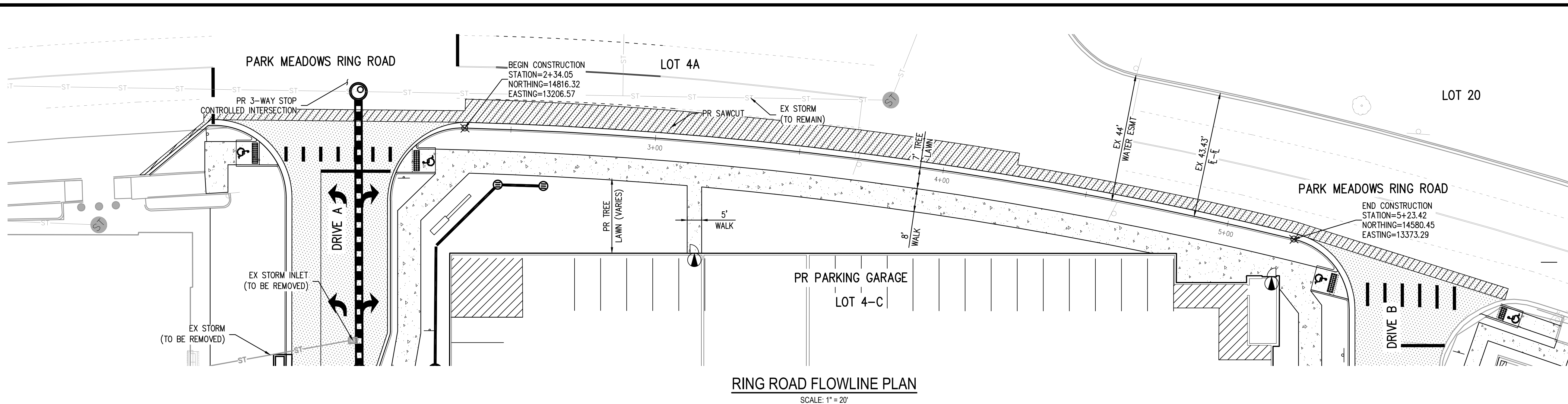
**PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 PAVING PLAN - PHASE 1A**



PROJECT #: 231016
 SHEET NUMBER
CD7
 7 OF 17

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CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

811
Know what's below.
Call before you dig.

SCALE: 1" = 20'

DESIGNED BY: LME
CHECKED BY: JDO
DRAWN BY: BS

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| 06-04-2024 | CITY SUBMITTAL |

ISSUE DATE: 03-22-2024

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1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

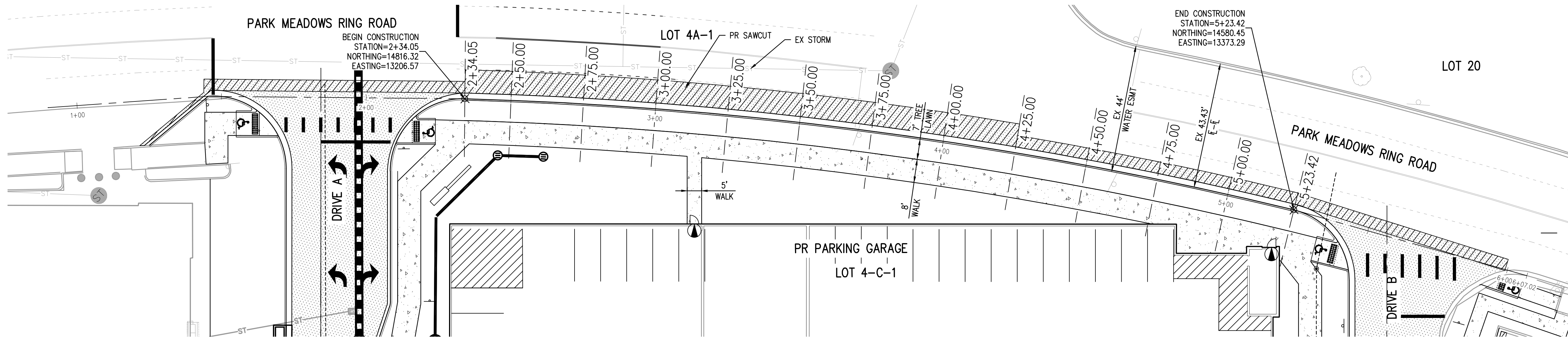
PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
RING ROAD PLAN & PROFILE

COLORADO LICENSED
2009 G. O'ROURKE
43327
PROFESSIONAL ENGINEER

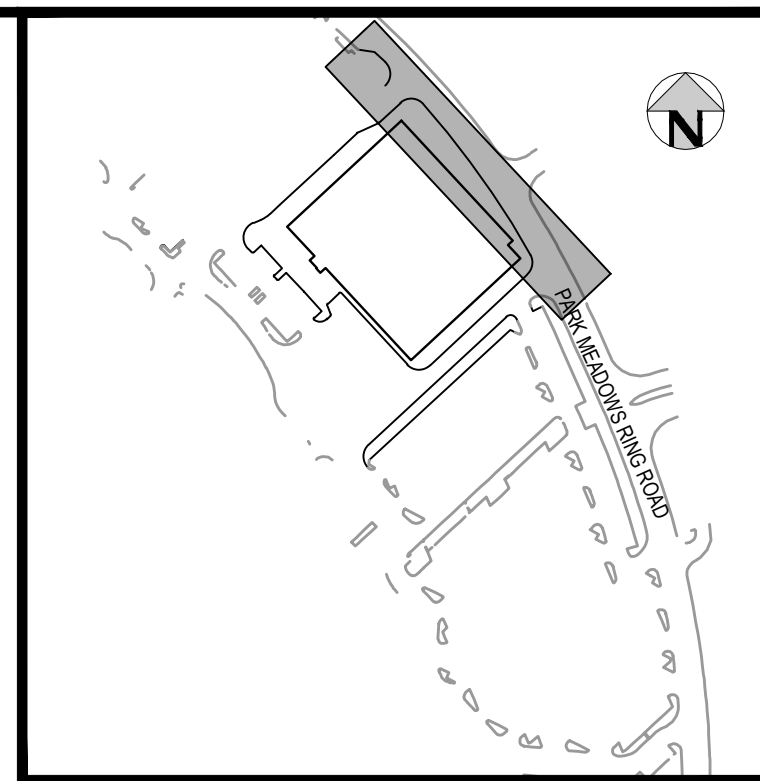
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SHEET NUMBER
CD8
8 OF 17

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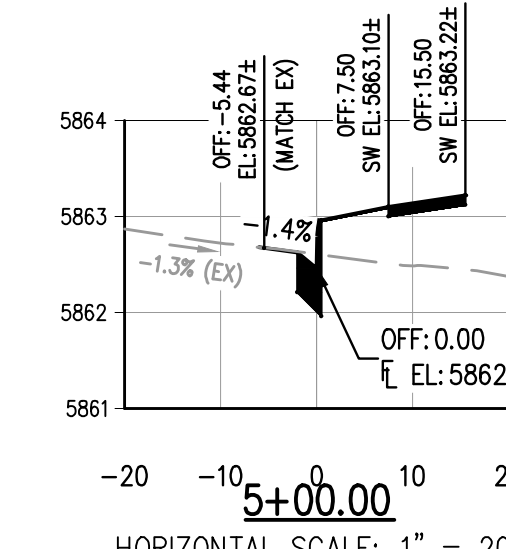
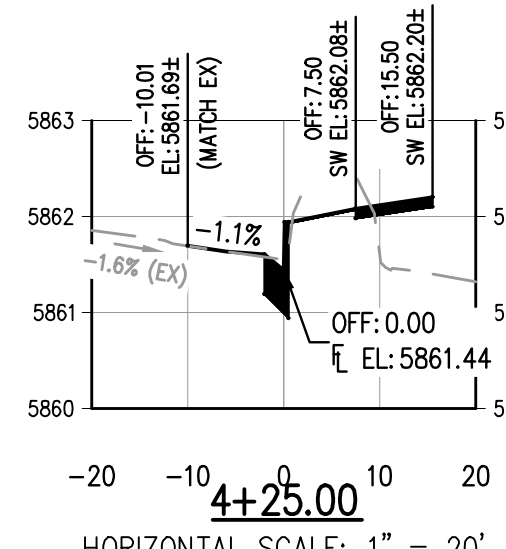
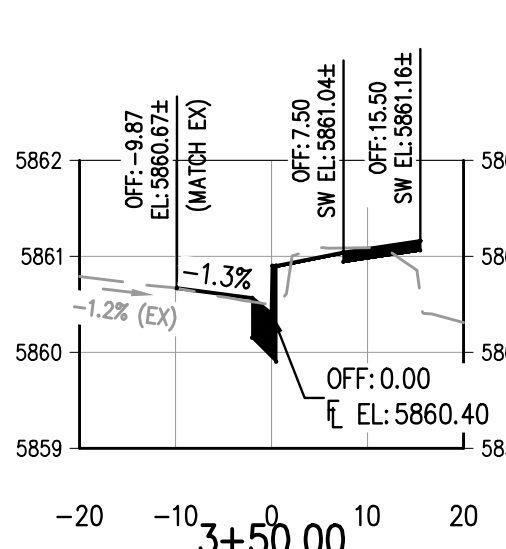
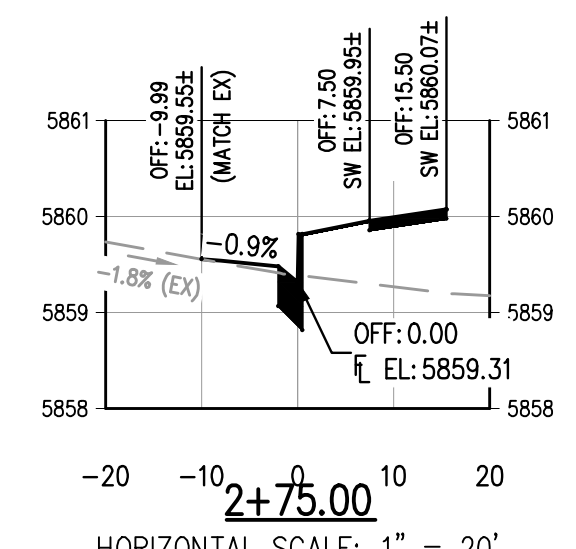
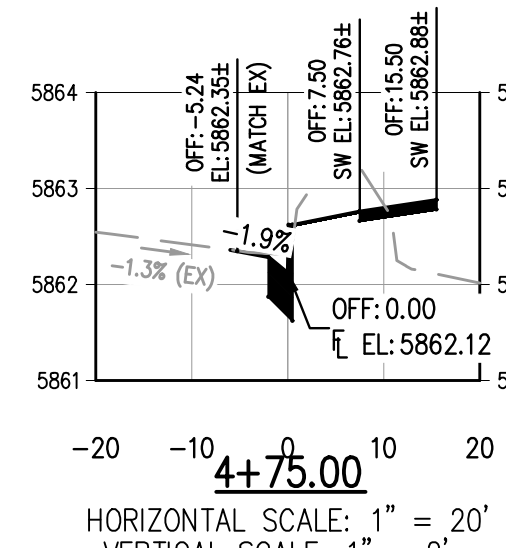
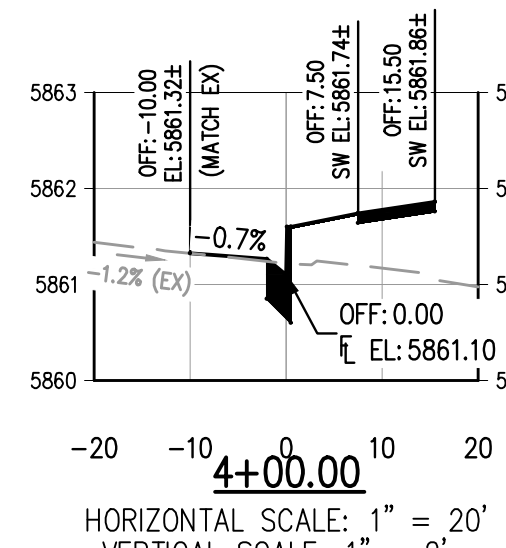
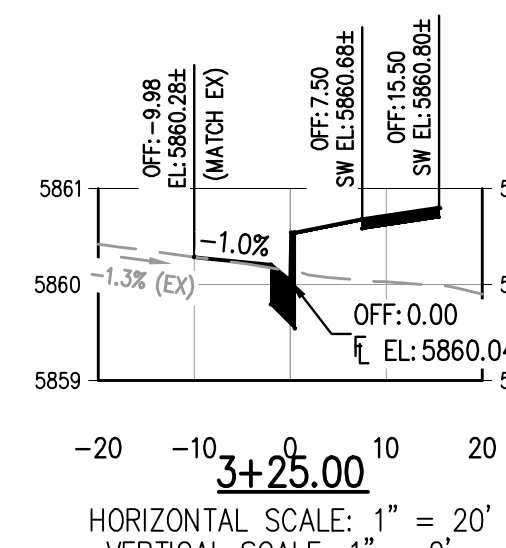
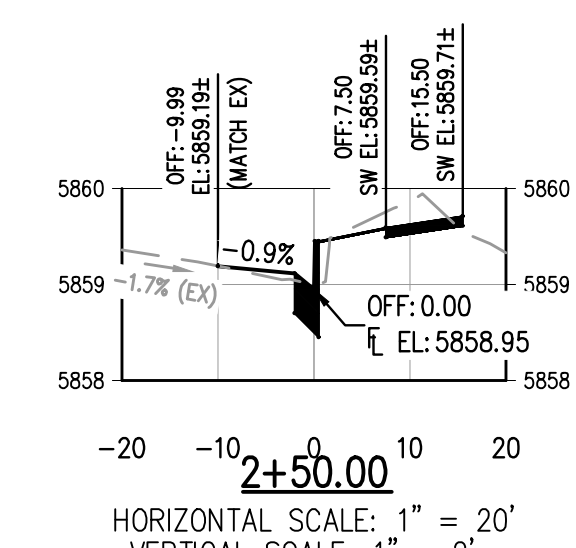
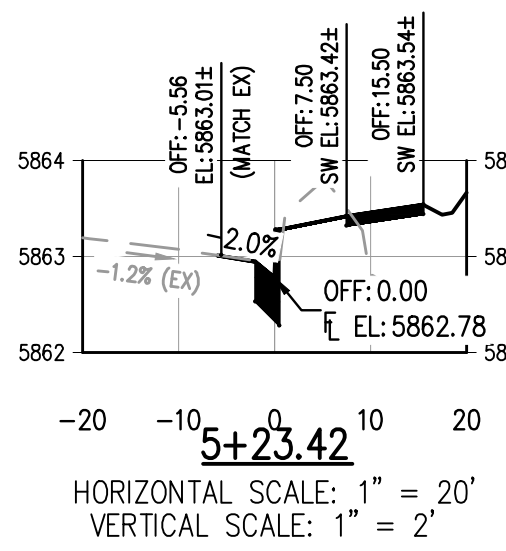
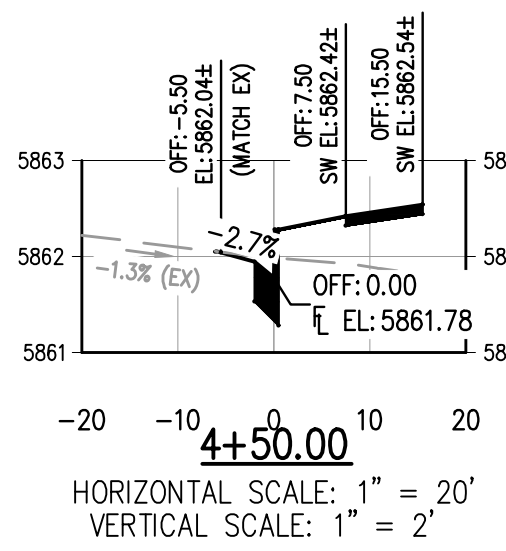
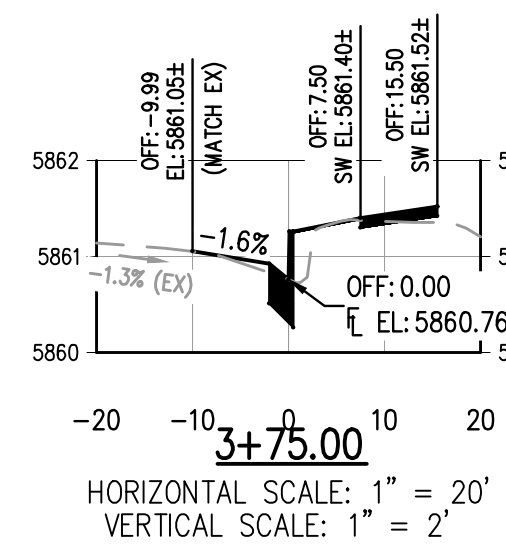
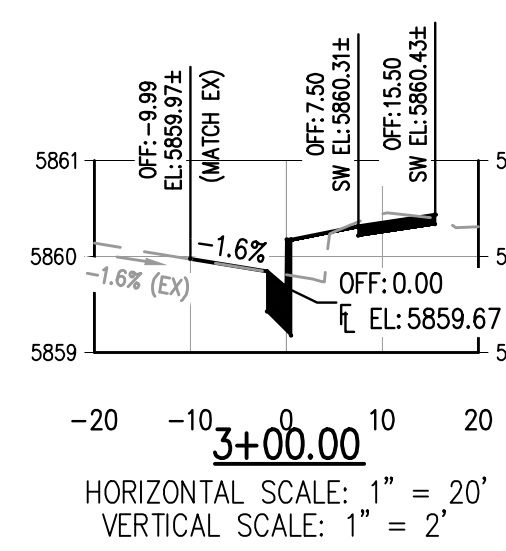
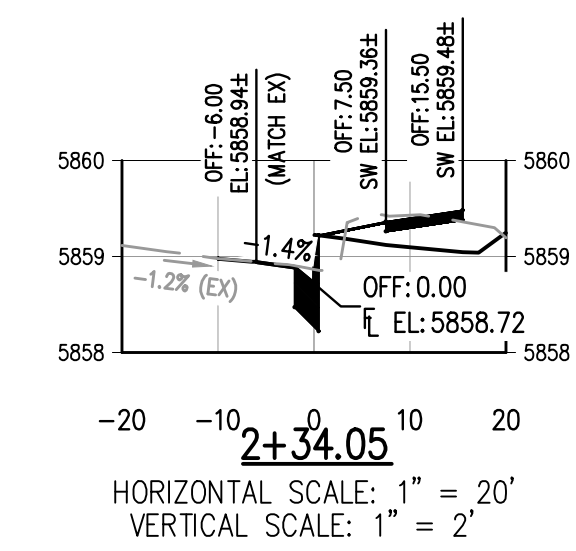


RING ROAD SECTION VIEWS PLAN

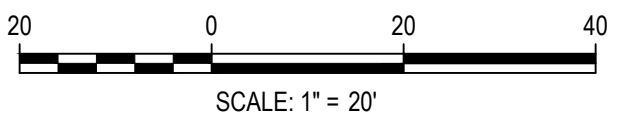
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KEYMAP
SCALE: 1" = 300'



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DESIGNED BY: LME
CHECKED BY: JDO
DRAWN BY: BS

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HarrisKocherSmith.com

PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

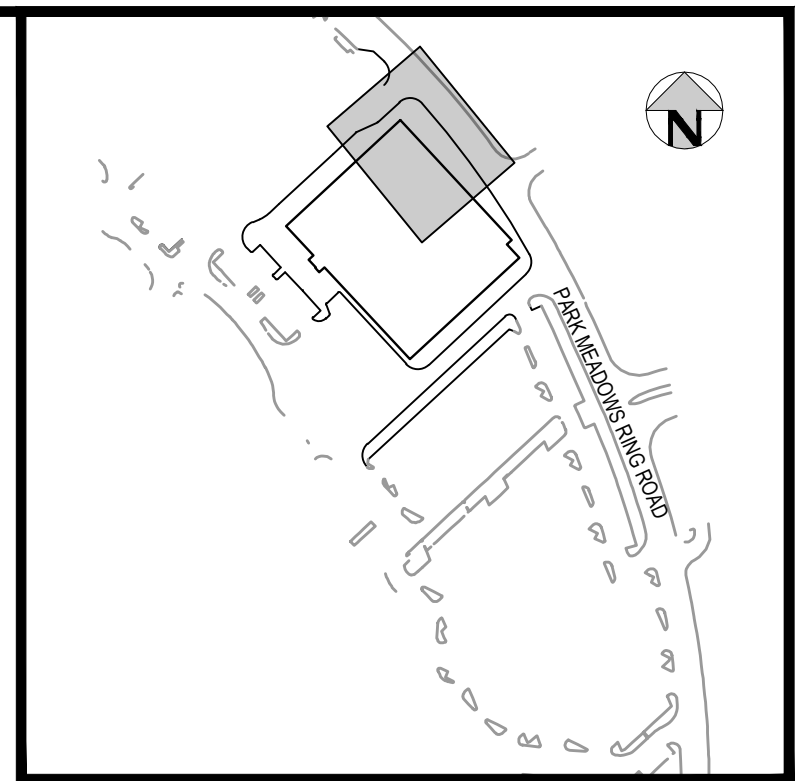
PARK MEADOWS - GARAGE AND RETAIL
RING ROAD CROSS SECTIONS

CITY OF LONE TREE
DATE
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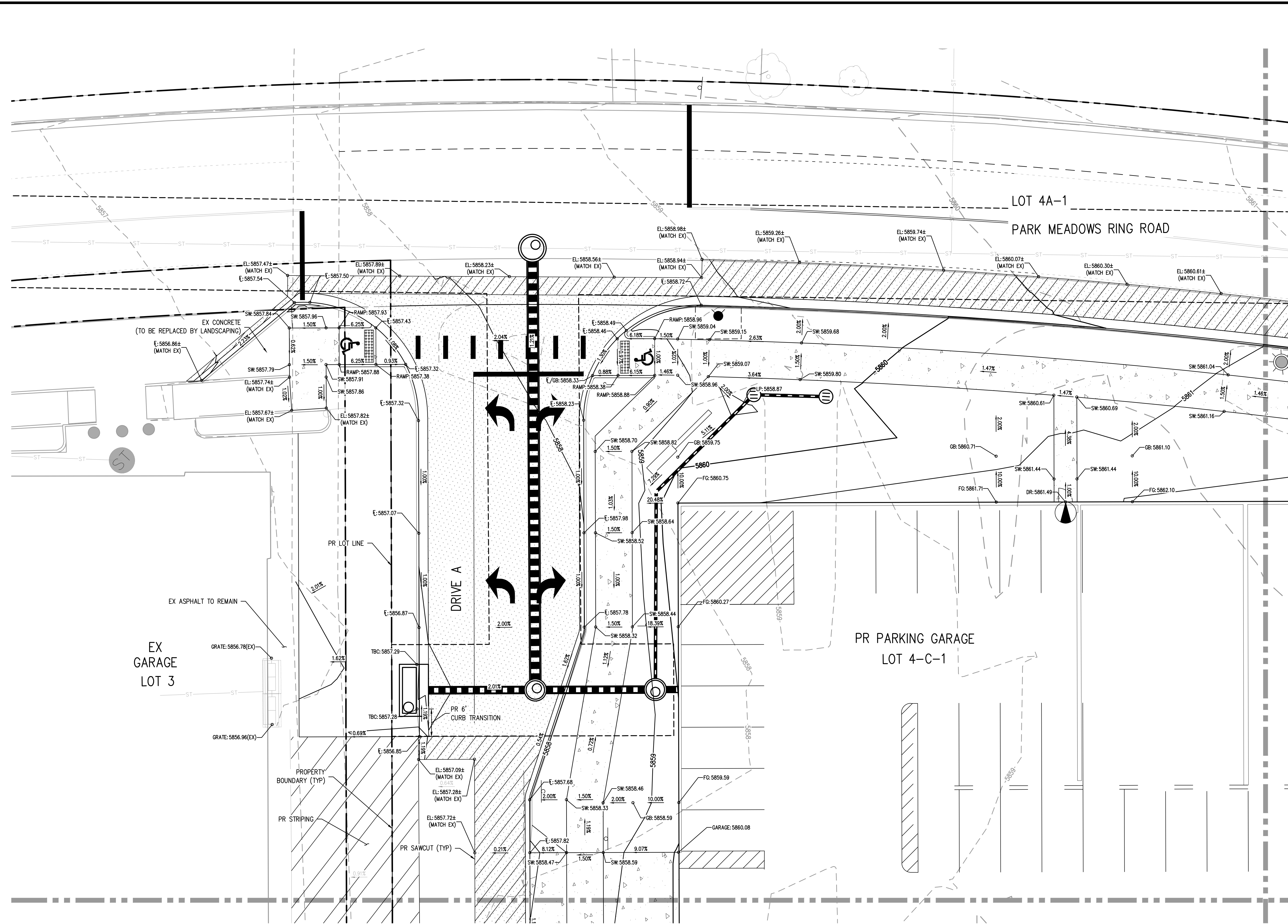
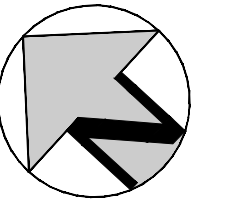


PROJECT #: 231016
SHEET NUMBER
CD9
9 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



KEYMAP
SCALE: 1"=300'



GENERAL GRADING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS ARE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL STATE AND/OR FEDERAL REGULATIONS AND STANDARDS, INCLUDING BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
2. CROSS SLOPES ALONG THE ACCESSIBLE ROUTE OR AT LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. LONGITUDINAL SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED 5%. LONGITUDINAL SLOPES ON RAMPS SHALL NOT EXCEED 8.33%. RAMPS, EXCEPT CURB RAMPS, SHALL HAVE HANDRAILS ON BOTH SIDES.
4. GUTTER SLOPES AT THE CURB RAMPS SHALL NOT EXCEED 5%.
5. GUTTER PANS SURROUNDING HANDICAP SPACES SHALL MATCH THE SLOPE OF THE ADJACENT PAVEMENT WITH A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
6. ALL GRADES ARE FINISHED GRADE, UNLESS OTHERWISE NOTED.
7. ROCK MULCH, IF PLACED UPSTREAM OF CONCRETE FLATWORK OR GRASSED AREA, SHALL BE PLACED ON TOP OF FINISHED GRADE SHOWN ON THESE PLANS. ROCK MULCH AREAS SHALL BE DESIGNED AND CONSTRUCTED TO ADEQUATELY DRAIN AND NOT RETAIN WATER. ALL LANDSCAPE EDGE MATERIALS SHALL NOT PREVENT DRAINAGE TO PASS THROUGH.
8. ALL GRADES ADJACENT TO THE BUILDINGS SHALL BE AT MINIMUM 8-INCHES BELOW FINISHED FLOOR ELEVATION, UNLESS OTHERWISE NOTED.
9. NON-PAVED GRADES ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 10% FOR 10-FT. ALL PAVED GRADES ATTACHED TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 1%, UNLESS OTHERWISE NOTED.
10. ALL GRADES FOR WALLS ARE FINISHED GRADE ELEVATIONS AT BOTTOM OF FRONT FACE (BW) AND TOP-BACK OF WALL (TW). THE WALL ELEVATIONS DO NOT INDICATE FOUNDATION DEPTHS OR ELEVATIONS. RETAINING WALL DETAILS SHALL BE PROVIDED BY OTHERS.
11. REFER TO STRUCTURAL PLANS FOR BUILDING FOUNDATION STEP LOCATIONS WHEN APPLICABLE.
12. PORTIONS OF STAIRS THAT DO NOT MEET THE MINIMUM 4-INCH RISER HEIGHT (DUE TO AN ADJACENT SLOPING PUBLIC WAY) SHALL HAVE A DISTINCTIVE MARKING STRIPE, 1-INCH TO 2-INCHES IN WIDTH, WITH A SLIP-RESISTANT SURFACE, IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE REGULATIONS.
13. SEE LANDSCAPE ARCHITECT PLANS FOR HEIGHT AND TOP OF COURTYARD AMENITIES (PLANTER CURBS, SEAT WALLS, BENCHES, FIRE WALL, MEDIA WALL, BARS, AND GRILLS).
14. TOP STEP ELEVATIONS FOR STOOPS AND PATIOS ARE SHOWN FOR REFERENCE ONLY. TOP OF STEPS AND PATIO ELEVATIONS SHALL BE COORDINATED WITH ARCHITECTURAL PLANS/DETAILS AND AS-BUILT STOOP/PATIO ELEVATIONS.
15. ELECTRICAL TRANSFORMER PADS AND AC-UNIT PADS ARE TO BE SET A MINIMUM OF 2-INCHES ABOVE THE ADJACENT FINISHED GRADE AROUND THE PERIMETER OF THE PAD. CONTRACTOR SHALL PROVIDE A CONCRETE TURNDOWN AS NECESSARY. CONTRACTOR IS TO VERIFY POSITIVE DRAINAGE AWAY FROM, AND AROUND, ALL ELECTRICAL PADS AND AC-UNIT PADS.
16. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL ENGINEERING REPORT.
17. CONTRACTOR SHALL ENSURE ACCESSIBLE EXTERIOR DOORS AND GATES ARE CONSTRUCTED WITH ADEQUATE LANDING WIDTH AND DEPTH TO COMPLY WITH APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) MANEUVERING CLEARANCES AT DOOR REQUIREMENTS (BASED ON THE DIRECTION OF APPROACH OF THE SIDEWALK).

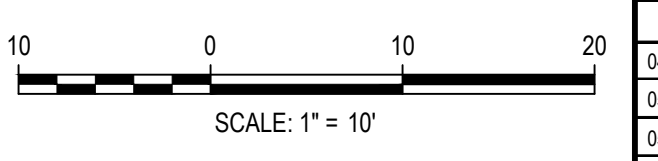
CITY OF LONE TREE

DATE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\21016\ENGINEERING\GRADING\PHASE 1A\CD - DETAILED GRADING PLAN\PH01A.DWG LAYOUT: LAYOUT1
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 CHECKED BY: JDO
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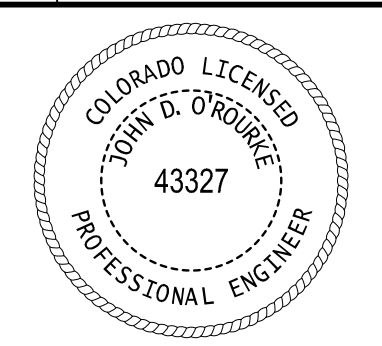
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| 06-04-2024 | CITY SUBMITTAL |



PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

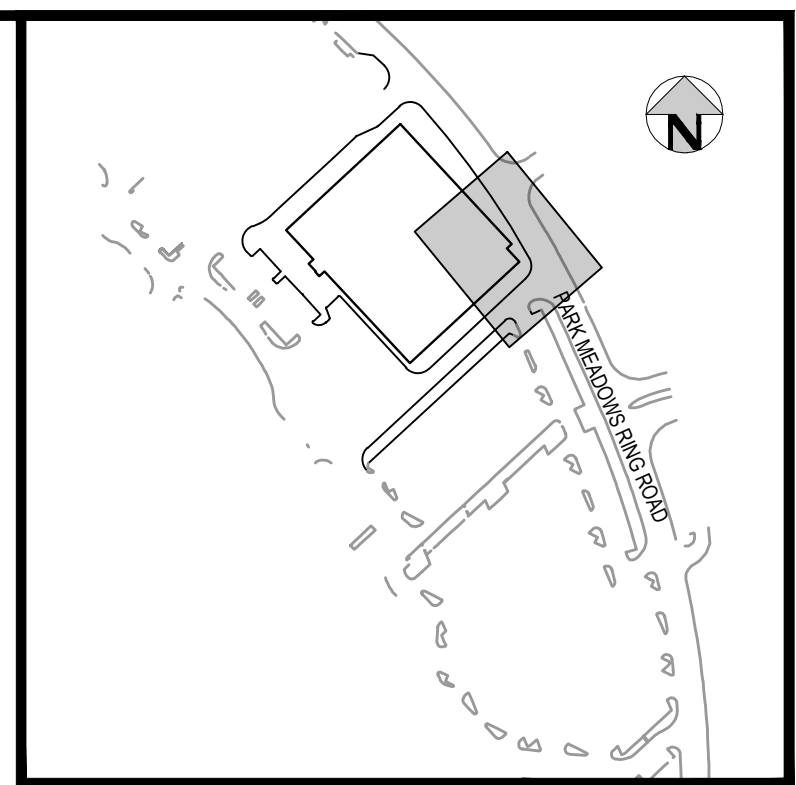
PARK MEADOWS - GARAGE AND RETAIL
 DETAILED GRADING PLAN - PHASE 1A



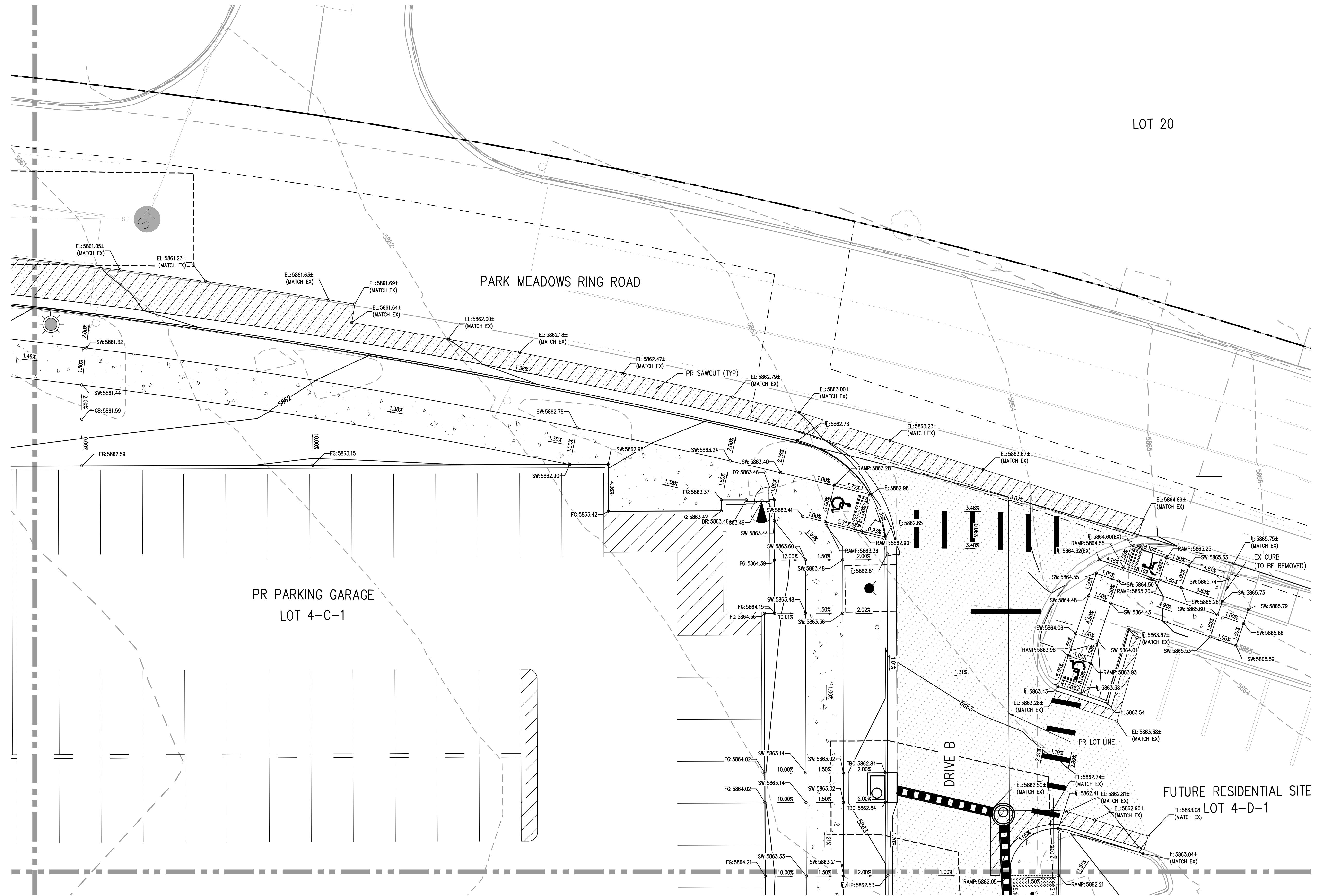
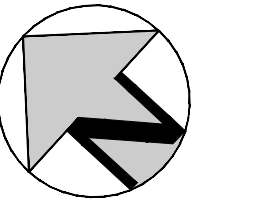
PROJECT #: 231016
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CD10

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

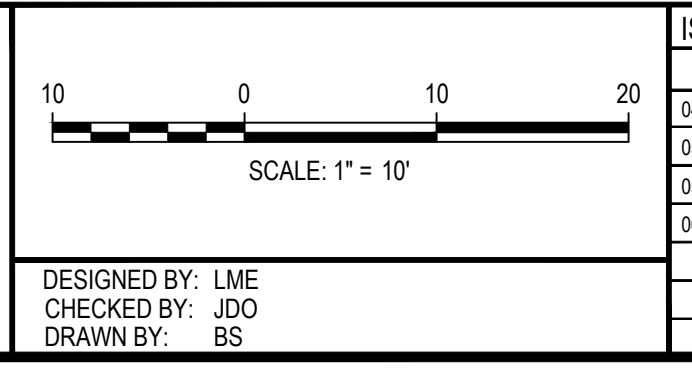


KEYMAP
SCALE: 1"=300'



- GENERAL GRADING NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS ARE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL STATE AND/OR FEDERAL REGULATIONS AND STANDARDS, INCLUDING BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
 2. CROSS SLOPES ALONG THE ACCESSIBLE ROUTE OR AT LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
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 11. REFER TO STRUCTURAL PLANS FOR BUILDING FOUNDATION STEP LOCATIONS WHEN APPLICABLE.
 12. PORTIONS OF STAIRS THAT DO NOT MEET THE MINIMUM 4-INCH RISER HEIGHT (DUE TO AN ADJACENT SLOPING PUBLIC WAY) SHALL HAVE A DISTINCTIVE MARKING STRIPE, 1-INCH TO 2-INCHES IN WIDTH, WITH A SLIP-RESISTANT SURFACE, IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE REGULATIONS.
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 17. CONTRACTOR SHALL ENSURE ACCESSIBLE EXTERIOR DOORS AND GATES ARE CONSTRUCTED WITH ADEQUATE LANDING WIDTH AND DEPTH TO COMPLY WITH APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) MANEUVERING CLEARANCES AT DOOR REQUIREMENTS (BASED ON THE DIRECTION OF APPROACH OF THE SIDEWALK).

FILE PATH: P:\2023\21016\ENGINEERING\GRADING\PHASE 1A\CD - DETAILED GRADING PLAN\PH1A.DWG LAYOUT: LAYOUT1 (2)
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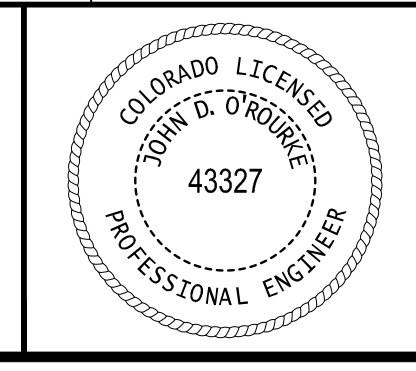


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| 04-05-2024 | BID ADDENDUM |
| 05-07-2024 | CITY SUBMITTAL |
| 05-10-2024 | PERMIT SET (BUILDING) |
| 06-04-2024 | CITY SUBMITTAL |

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

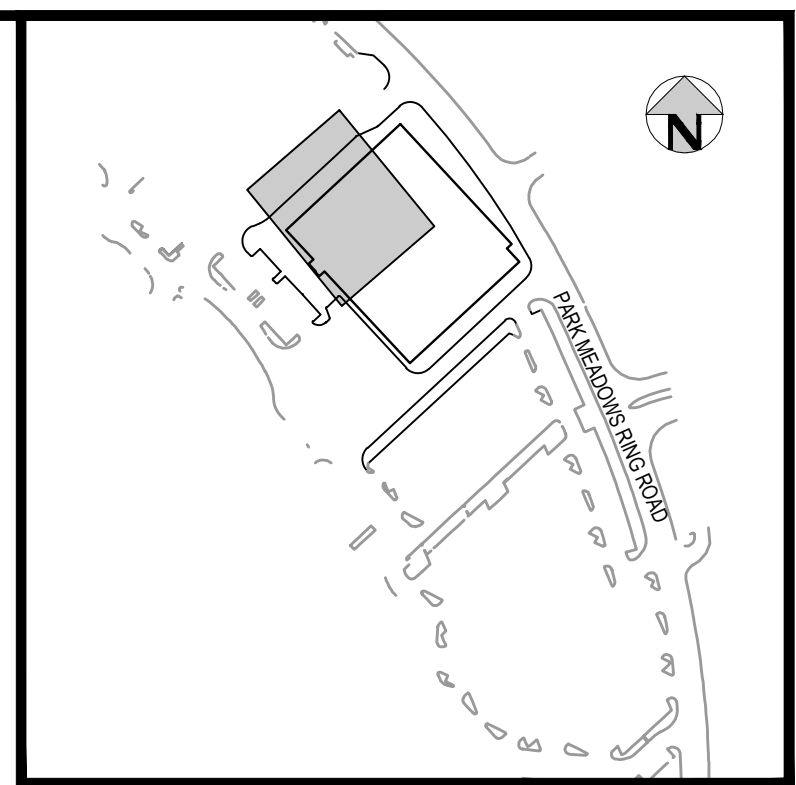
PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 DETAILED GRADING PLAN - PHASE 1A

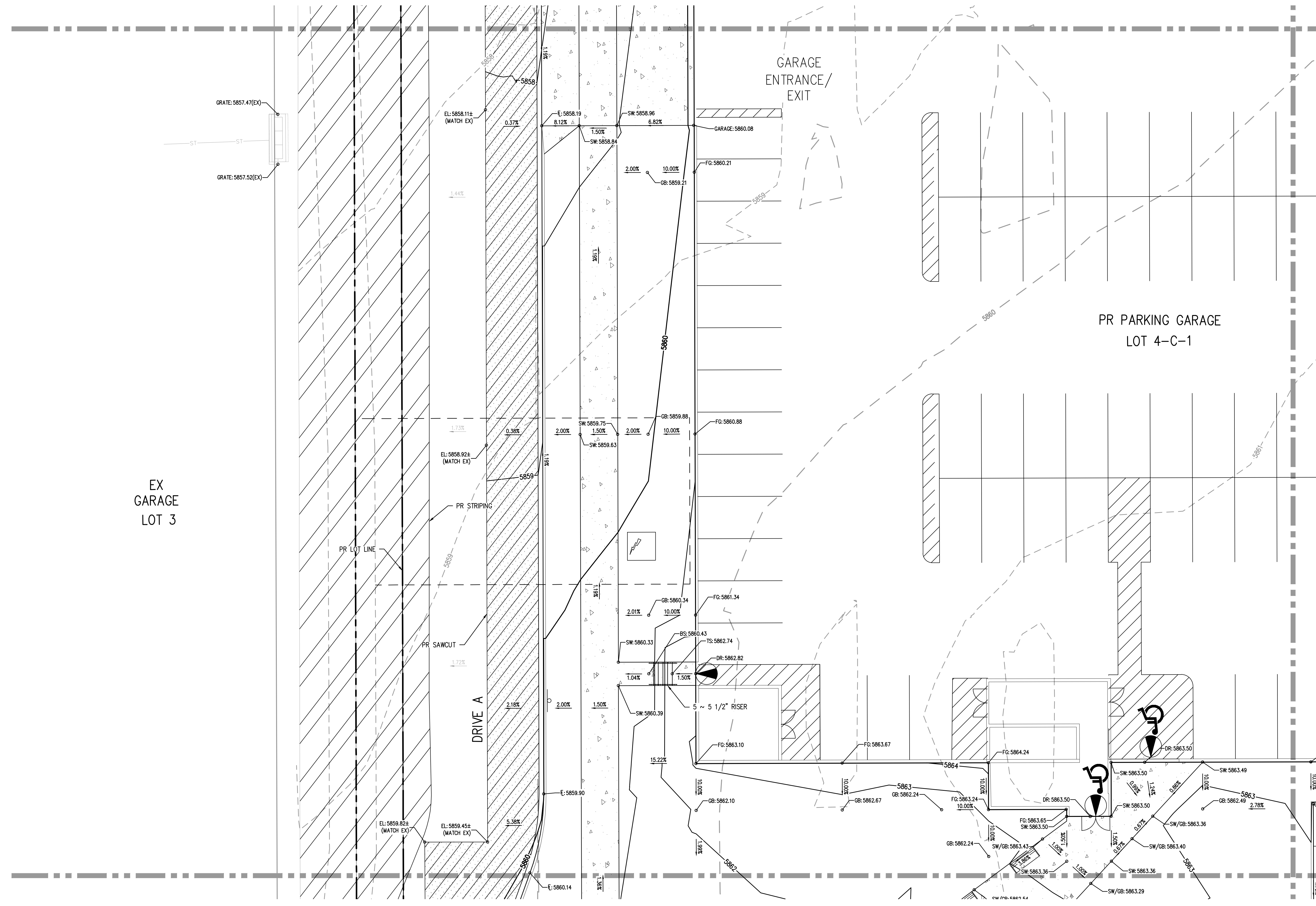
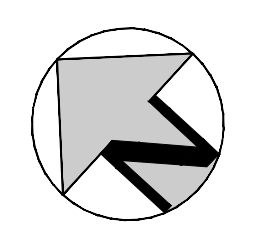


CITY OF LONE TREE
 DATE
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 ENGINEERING DIVISION ACCEPTANCE BLOCK
 PROJECT #: 231016
 SHEET NUMBER
CD11
 11 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



KEYMAP
SCALE: 1"=300'



GENERAL GRADING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS ARE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL STATE AND/OR FEDERAL REGULATIONS AND STANDARDS, INCLUDING BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
2. CROSS SLOPES ALONG THE ACCESSIBLE ROUTE OR AT LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
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4. GUTTER SLOPES AT THE CURB RAMPS SHALL NOT EXCEED 5%.
5. GUTTER PANS SURROUNDING HANDICAP SPACES SHALL MATCH THE SLOPE OF THE ADJACENT PAVEMENT WITH A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
6. ALL GRADES ARE FINISHED GRADE, UNLESS OTHERWISE NOTED.
7. ROCK MULCH, IF PLACED UPSTREAM OF CONCRETE FLATWORK OR GRASSED AREA, SHALL BE PLACED ON TOP OF FINISHED GRADE SHOWN ON THESE PLANS. ROCK MULCH AREAS SHALL BE DESIGNED AND CONSTRUCTED TO ADEQUATELY DRAIN AND NOT RETAIN WATER. ALL LANDSCAPE EDGE MATERIALS SHALL NOT PREVENT DRAINAGE TO PASS THROUGH.
8. ALL GRADES ADJACENT TO THE BUILDINGS SHALL BE AT MINIMUM 8-INCHES BELOW FINISHED FLOOR ELEVATION, UNLESS OTHERWISE NOTED.
9. NON-PAVED GRADES ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 10% FOR 10-FT. ALL PAVED GRADES ATTACHED TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 1%, UNLESS OTHERWISE NOTED.
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12. PORTIONS OF STAIRS THAT DO NOT MEET THE MINIMUM 4-INCH RISER HEIGHT (DUE TO AN ADJACENT SLOPING PUBLIC WAY) SHALL HAVE A DISTINCTIVE MARKING STRIPE, 1-INCH TO 2-INCHES IN WIDTH, WITH A SLIP-RESISTANT SURFACE, IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE REGULATIONS.
13. SEE LANDSCAPE ARCHITECT PLANS FOR HEIGHT AND TOP OF COURTYARD AMENITIES (PLANTER CURBS, SEAT WALLS, BENCHES, FIRE WALL, MEDIA WALL, BARS, AND GRILLS).
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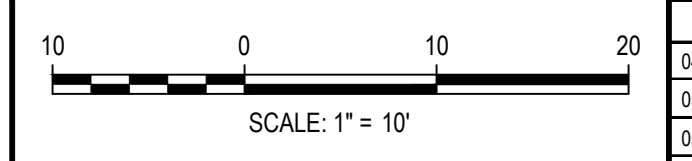
CITY OF LONE TREE

DATE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\21016\ENGINEERING\GRADING\PHASE 1A\CD - DETAILED GRADING PLAN\PH1A.DWG LAYOUT: LAYOUT1 (3)
 DESIGNED BY: JDO
 CHECKED BY: JDO
 PLOTTED: TUE 06/04/24 5:57:37P BY: LIBBEY ENDERSBEE



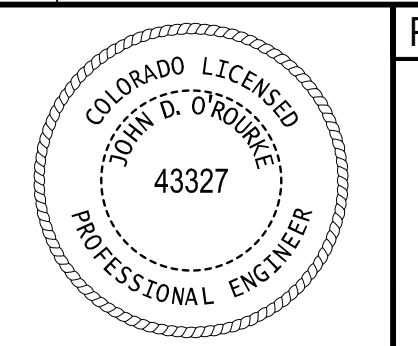
DESIGNED BY: LME
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 DRAWN BY: BS

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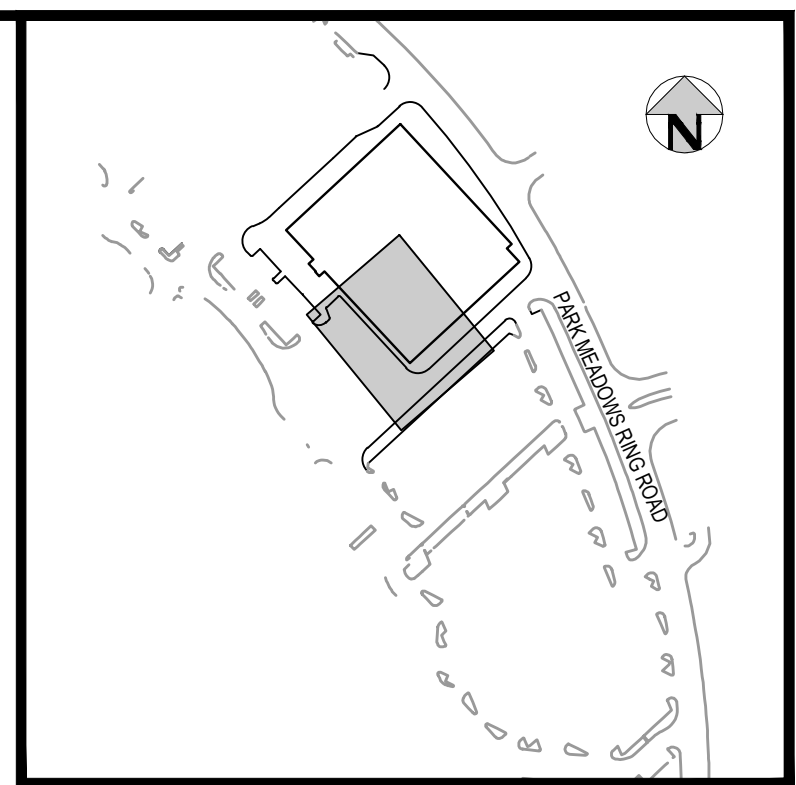
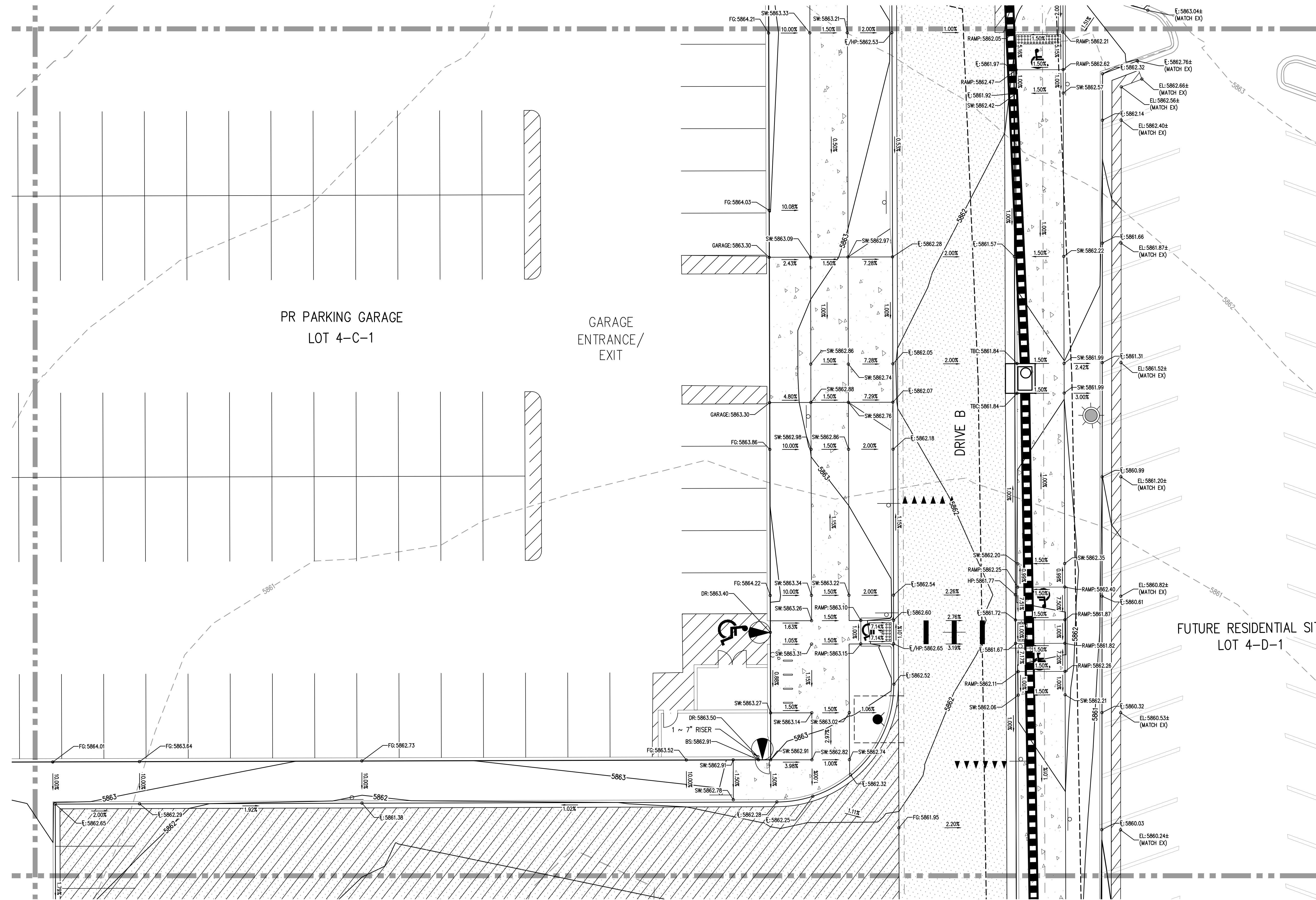
PARK MEADOWS - GARAGE AND RETAIL
 DETAILED GRADING PLAN - PHASE 1A



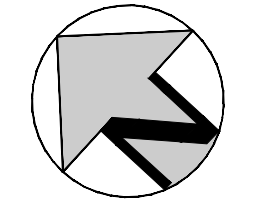
PROJECT #: 231016
 SHEET NUMBER

CD12

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

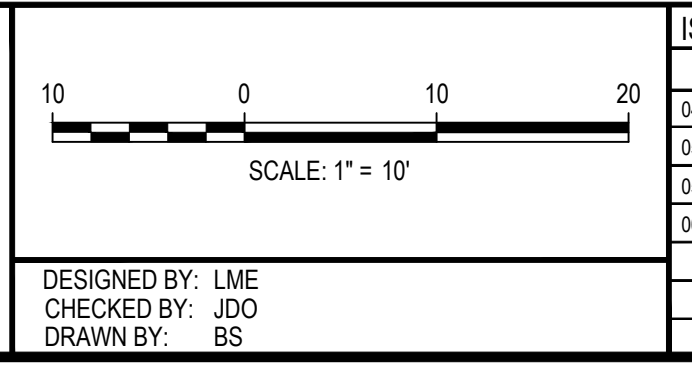


KEYMAP
SCALE: 1"=300'



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FILES: P:\2023\21016\ENGINEERING\GRADING\PHASE 1\MCD - DETAILED GRADING PLAN\PH1A.DWG LAYOUT: LAYOUT1 (4)
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 CHECKED BY: JDO
 PLOTTED: TUE 06/04/24 5:57:44P BY: LIBBEY ENDERSSEE



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PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 DETAILED GRADING PLAN - PHASE 1A

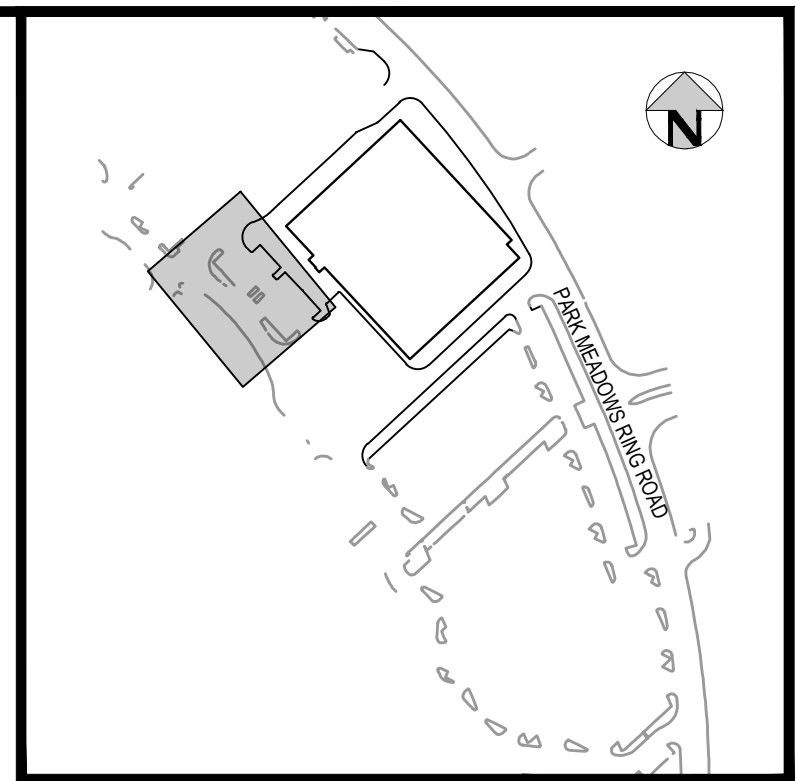
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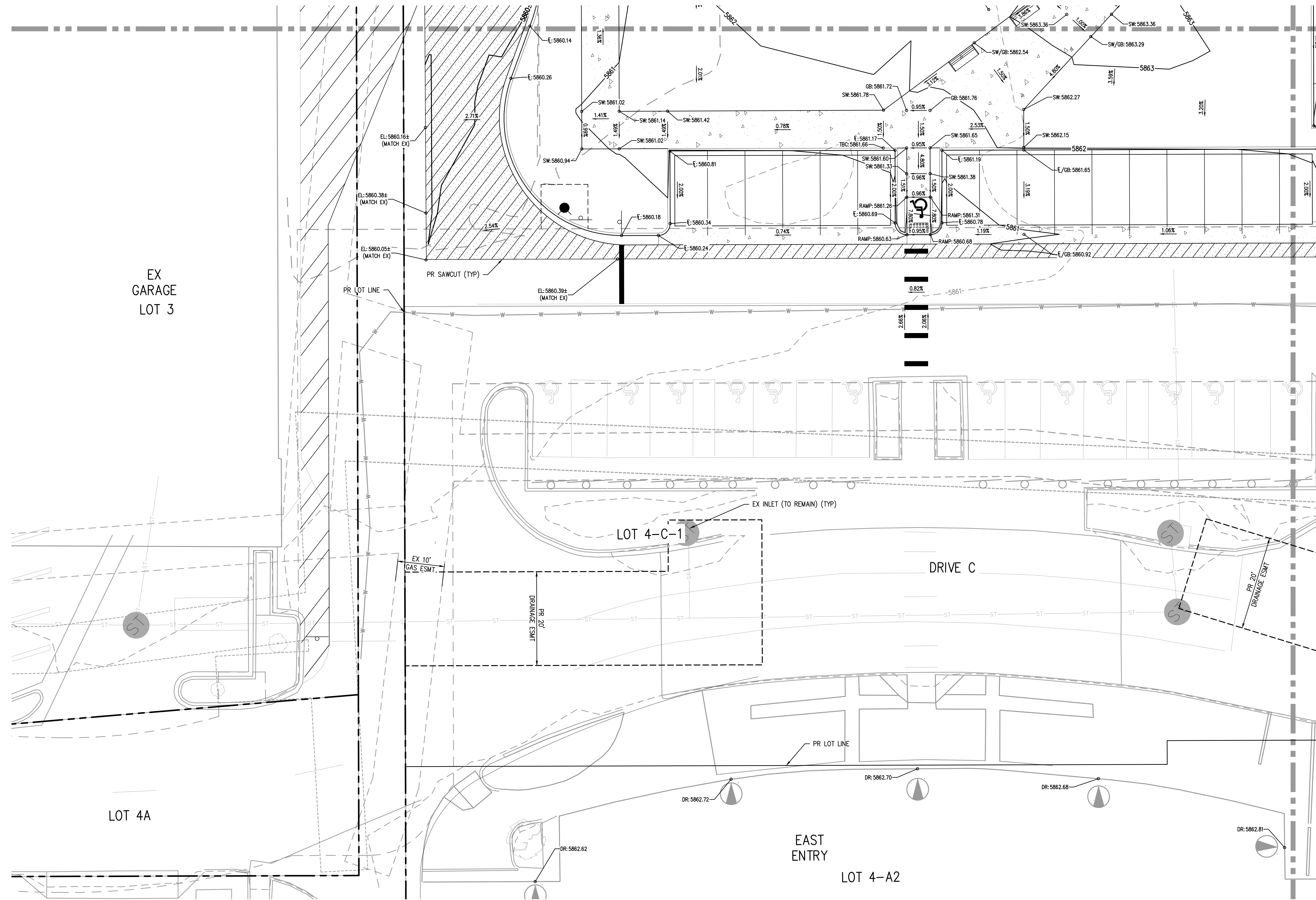
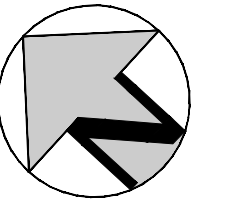


PROJECT #: 231016
 SHEET NUMBER
CD13
 13 OF 16

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KEYMAP
SCALE: 1"=300'

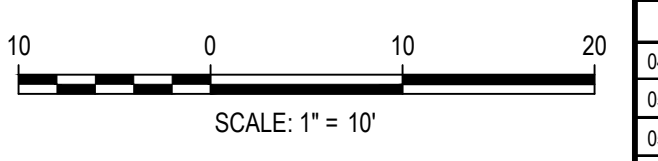


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| CITY OF LONE TREE |
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FILE PATH: P:\2023\21016\ENGINEERING\GRADING\PHASE 1\ACD - DETAILED GRADING PLAN\PH01A.DWG LAYOUT: LAYOUT1 (5)
 SHEET: 14 OF 16
 DESIGNED BY: JDO
 CHECKED BY: JDO
 DRAWN BY: BS
 PLOTTED: TUE 06/04/2024 5:57:48P BY: LIBBEY ENDERSBEE



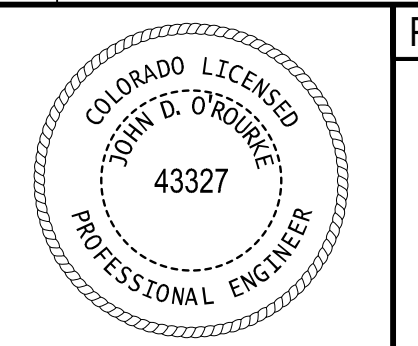
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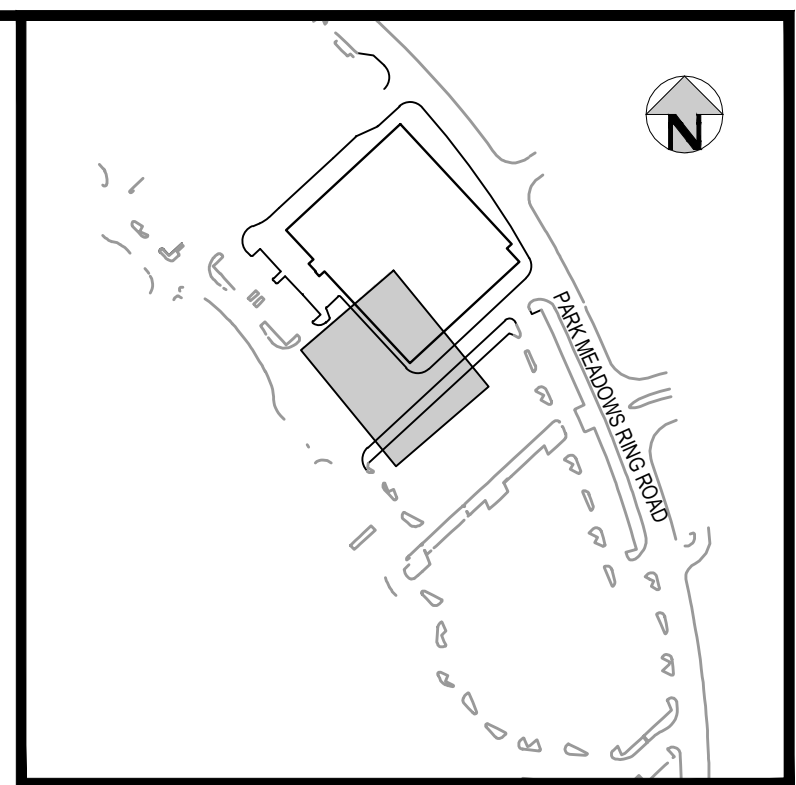
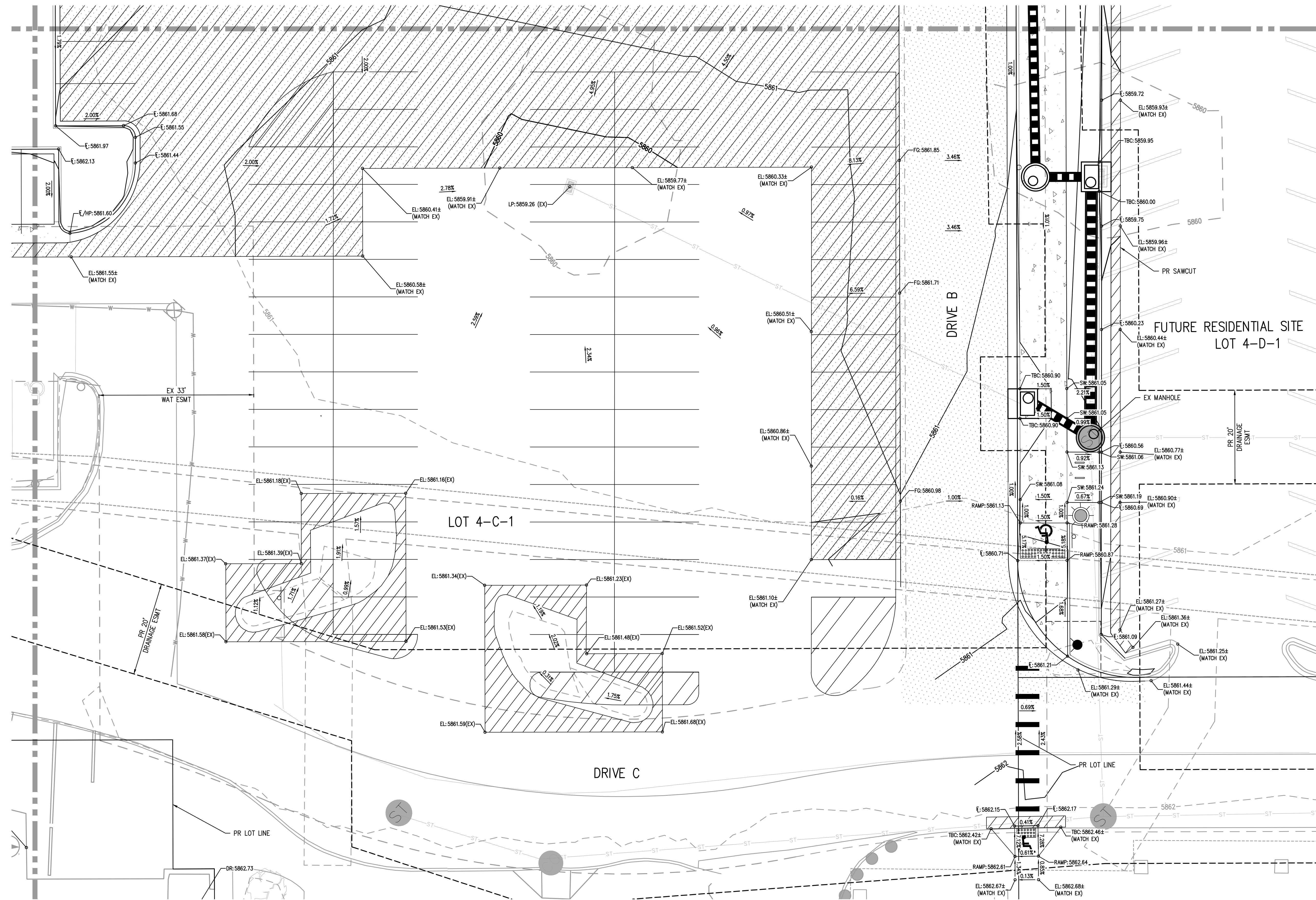
PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 DETAILED GRADING PLAN - PHASE 1A



PROJECT #: 231016
 SHEET NUMBER
CD14
 14 OF 16

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FILE PATH: P:\2023\21016\ENGINEERING\GRADING\PHASE 1A\CD - DETAILED GRADING PLAN\PH1A.DWG LAYOUT: LAYOUT1 (6) PLOT: 11x17 PLOT DATE: 03/22/2024 10:57:54 AM PLOTTED: TUE 03/22/2024 5:57:54 PM BY: LIBBEY ENDERSBEE



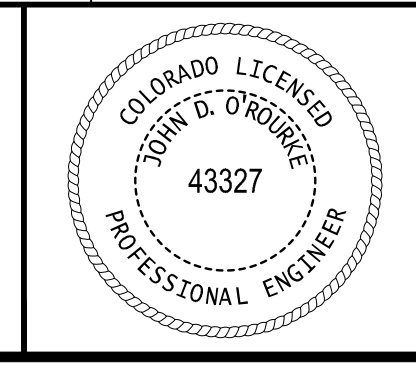
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 PROJECT #: 231016
 SHEET NUMBER
CD15
 15 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

COMPLETE INSTALLATION

GENERAL NOTES

1. ALL SIGN PANELS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL AND SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
2. ALL SIGN PANELS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
3. ALL SIGN PANELS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
4. ALL SIGN PANELS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
5. ALL SIGN PANELS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

TABLE OF DIMENSIONS FOR PANELS NOT ILLUSTRATED

| DESCRIPTION | DIMENSIONS (IN) | LENS TYPE | BACKING ZONE |
|---------------------------------|-----------------|------------|--------------|
| 30" DIAMETER CIRCLE PANEL (●) | 30" x 30" | 12" YELLOW | 20" |
| 48" DIAMETER CIRCLE PANEL (●) | 48" x 48" | 12" YELLOW | 20" |
| 30" SQUARE PANEL (■) | 30" x 30" | 12" YELLOW | 20" |
| 48" SQUARE PANEL (■) | 48" x 48" | 12" YELLOW | 20" |
| 24" x 48" RECTANGULAR PANEL (■) | 24" x 48" | 12" YELLOW | 20" |

TYPICAL ELEVATION FACING TRAFFIC

| Computer File Information | Sheet Revisions | Colorado Department of Transportation | FLASHING BEACON AND SIGN INSTALLATIONS | STANDARD PLAN NO. S-614-14 | | | | |
|--|---|---------------------------------------|--|----------------------------|--|---|---|---|
| Creation Date: 07/27/19 Created By: Brian Wenz Last Modification Date: 07/27/19 Last Modified By: EBW/TJ CAD User: harriskocher18 - Scale: Not to Scale - Units: English | <table border="1"> <tr><th>Date</th><th>Comments</th></tr> <tr><td> </td><td> </td></tr> </table> | Date | Comments | | | 2025 W. Inverness Pl. Denver, CO 80202 Phone: 303-757-4436 Fax: 303-757-4029 | Issued By: Traffic & Safety Engineering Branch July 31, 2018. | Project Sheet Number: Standard Sheet No. 1 of 4 |
| Date | Comments | | | | | | | |
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FRONT VIEW

SECTION A-A

SECTION B-B (ELEVATION)

TYPICAL ATTACHMENTS

BREAK-AWAY ASSEMBLY BOLTING PROCEDURE

1. BURN THREADS AT JUNCTION WITH NUT USING A CENTER PUNCH TO PREVENT NUT LOOSING.
2. BURN THREADS AT JUNCTION WITH NUT USING A CENTER PUNCH TO PREVENT NUT LOOSING.
3. BURN THREADS AT JUNCTION WITH NUT USING A CENTER PUNCH TO PREVENT NUT LOOSING.

TYPICAL BREAK-AWAY ASSEMBLY DETAILS

GENERAL NOTES

1. LOCATION AND CONFIGURATION OF ELECTRICAL CONNECTIONS SHALL BE SHOWN ON SHEET 2 OF THIS SET.
2. ALL ELECTRICAL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ELECTRICAL CONNECTIONS.
3. ALL ELECTRICAL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ELECTRICAL CONNECTIONS.

POST ANCHOR DETAILS

TYPICAL ELECTRICAL SERVICE DETAIL

UNDERGROUND VIEWS AT POWER SOURCE

UNDERGROUND VIEWS AT BEACON

UNDERGROUND CONNECTION

COMPUTER FILE INFORMATION

| Computer File Information | Sheet Revisions | Colorado Department of Transportation | FLASHING BEACON AND SIGN INSTALLATIONS | STANDARD PLAN NO. S-614-14 | | | | |
|--|---|---------------------------------------|--|----------------------------|--|---|---|---|
| Creation Date: 07/27/19 Created By: Brian Wenz Last Modification Date: 07/27/19 Last Modified By: EBW/TJ CAD User: harriskocher18 - Scale: Not to Scale - Units: English | <table border="1"> <tr><th>Date</th><th>Comments</th></tr> <tr><td> </td><td> </td></tr> </table> | Date | Comments | | | 2025 W. Inverness Pl. Denver, CO 80202 Phone: 303-757-4436 Fax: 303-757-4029 | Issued By: Traffic & Safety Engineering Branch July 31, 2018. | Project Sheet Number: Standard Sheet No. 2 of 4 |
| Date | Comments | | | | | | | |
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GENERAL NOTES

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5. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

RECTANGULAR RAPID-FLASHING BEACON (RRFB)

GENERAL NOTES

1. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
2. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
3. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
4. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
5. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

COMPUTER FILE INFORMATION

| Computer File Information | Sheet Revisions | Colorado Department of Transportation | FLASHING BEACON AND SIGN INSTALLATIONS | STANDARD PLAN NO. S-614-14 | | | | |
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| Date | Comments | | | | | | | |
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GENERAL NOTES

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5. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

DESIGN DATA

THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

FOOTING NOTES

1. ALL FOOTINGS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
2. ALL FOOTINGS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
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4. ALL FOOTINGS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
5. ALL FOOTINGS SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

ALTERNATE PEDESTAL BASE INSTALLATION

COMPUTER FILE INFORMATION

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| Date | Comments | | | | | | | |
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GENERAL NOTES

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CONCRETE DRIVEWAY ENTRANCE TYPE 1

CONCRETE DRIVEWAY ENTRANCE TYPE 2

SECTION A-A

SECTION B-B

SECTION C-C

SECTION D-D

TYPE 1 ISOMETRIC VIEW

TYPE 2 ISOMETRIC VIEW

COMPUTER FILE INFORMATION

| Computer File Information | Sheet Revisions | Colorado Department of Transportation | CURB, GUTTERS, AND SIDEWALKS | STANDARD PLAN NO. M-609-1 | | | | |
|--|---|---------------------------------------|------------------------------|---------------------------|--|---|--|---|
| Creation Date: 07/27/19 Created By: Brian Wenz Last Modification Date: 07/27/19 Last Modified By: EBW/TJ CAD User: harriskocher18 - Scale: Not to Scale - Units: English | <table border="1"> <tr><th>Date</th><th>Comments</th></tr> <tr><td> </td><td> </td></tr> </table> | Date | Comments | | | 2025 W. Inverness Pl. Denver, CO 80202 Phone: 303-757-4436 Fax: 303-757-4029 | Issued By: Project Development Branch July 31, 2018. | Project Sheet Number: Standard Sheet No. 3 of 4 |
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GENERAL NOTES

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5. THE BEACON SHALL BE FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.

CURB AND GUTTER TYPE 2 (SECTION IB)

CURB AND GUTTER TYPE 2 (SECTION IIB)

CURB AND GUTTER TYPE 2 (SECTION IM)

CURB AND GUTTER TYPE 2 (SECTION IIM)

GUTTER TYPE 2

CURB AND GUTTER TYPE 2 (SECTION IIV)

CURB AND GUTTER TYPE 2 (SECTION IIV)

CONCRETE SIDEWALK

SIDEWALK EXPANSION JOINT

CONSTRUCTION OF CONCRETE GUTTERS AT INTERSECTION

COMPUTER FILE INFORMATION

| Computer File Information | Sheet Revisions | Colorado Department of Transportation | CURB, GUTTERS, AND SIDEWALKS | STANDARD PLAN NO. M-609-1 | | | | |
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FILE PATH: P:\2022\2021016\ENGINEERING\ROADWAY\PHASE 1A\CD - SIGNAGE & STRIPING\PLAN\PH010\CD\IMG LAYOUT LAYOUT.LAYOUT3
DESIGNED BY: HARRIS KOCHER SMITH
CHECKED BY: OTHERS
DRAWN BY: OTHERS
PLOTTED: TUE 06/04/24 5:58:01 PM BY: LIBBEY ENDERSE

Know what's below.
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DESIGNED BY: OTHERS
CHECKED BY: OTHERS
DRAWN BY: OTHERS

| ISSUE DATE: 03-22-2024 | REVISION COMMENTS |
|------------------------|-----------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-07-2024 | CITY SUBMITTAL |
| 05-10-2024 | PERMIT SET (BUILDING) |
| 06-04-2024 | CITY SUBMITTAL |

1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
harriskochersmith.com

PARK MEADOWS MALL, LLC
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
GENERAL DETAILS

CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR SIGNAGE & STRIPING IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PROJECT #: 231016
SHEET NUMBER
CD16
16 OF 17

CURB RAMP GENERAL NOTES: 1. IN NEW CONSTRUCTION OR FULL-DEPTH RECONSTRUCTION, PROVIDE A SEPARATE CURB RAMP FOR EACH WALKED OR BIWHEELED PEDESTRIAN STREET CROSSING... 2. DETECTABLE WARNING SURFACES (DWS) ARE INTENDED TO INDICATE THE BOUNDARY BETWEEN A PEDESTRIAN ROUTE AND VEHICULAR ROUTE...

PERPENDICULAR RAMP (TYPICAL) PERPENDICULAR RAMP WITH VERTICAL SEWER CURB PERPENDICULAR RAMP (DIAGONAL) PERPENDICULAR RAMP (DIAGONAL) TYPE 1 PERPENDICULAR CURB RAMPs

TYPE 1 RAMPS FOR WIDE SIDEWALKS (RECESSED CURB) TYPE 1 RAMP (DIAGONAL) TYPE 1 RAMPS FOR WIDE SIDEWALK (DIAGONAL) TYPE 1 DIRECTIONAL RAMPS (GRADE BARRIERS)

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 1 of 10

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 2 of 10

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 3 of 10

PARALLEL RAMP (TYPICAL) PARALLEL RAMP (SEWER EDGE) PARALLEL RAMP (CROSSING IN THE DIRECTION ONLY) PARALLEL RAMP (CROSSING IN THE DIRECTION ONLY) TYPE 2 PARALLEL CURB RAMPs

TYPE 2 RAMPS SMALL RADIUS (DIAGONAL) TYPE 2 RAMP SMALL RADIUS (CROSSING IN ONE DIRECTION) TYPE 2 RAMP SMALL RADIUS (CROSSING IN ONE DIRECTION) TYPE 2 RAMPS LARGE RADIUS TYPE 2 CURB RAMPS TYPICAL CONFIGURATIONS

TYPE 1 CURB RAMP (PERPENDICULAR OR PARALLEL) TYPE 1 CURB RAMP (PERPENDICULAR OR PARALLEL) TYPE 2 - DIRECTIONAL RAMP TYPE 2 - DIRECTIONAL RAMP TYPE 2 - DIRECTIONAL RAMP DETECTABLE WARNING SURFACE PLACEMENT

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 4 of 10

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 5 of 10

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 9 of 10

SECTION VIEW OF DETECTABLE WARNING SURFACE PLATE SECTION VIEW OF DETECTABLE WARNING SURFACE PLATE ELEVATION VIEW OF SINGLE TRUNCATED DOME ELEVATION VIEW OF TRUNCATED DOME FOR DETECTABLE WARNING PLATE PLAN VIEW OF DETECTABLE WARNING SURFACE PLATE DETECTABLE WARNING SURFACE DETAILS

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 10 of 10

Computer File Information Sheet Revisions Colorado Department of Transportation CURB RAMPS STANDARD PLAN NO. M-608-1 Sheet No. 10 of 10

811 Know what's below. Call before you dig. DESIGNED BY: OTHERS CHECKED BY: OTHERS DRAWN BY: OTHERS

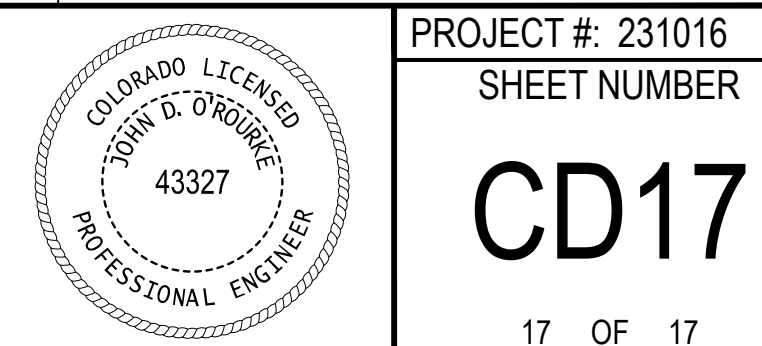
ISSUE DATE: 03-22-2024 DATE REVISION COMMENTS: 04-05-2024 BID ADDENDUM 05-07-2024 CITY SUBMITTAL 05-10-2024 PERMIT SET (BUILDING) 06-04-2024 CITY SUBMITTAL

HKS HARRIS KOCHER SMITH 1120 Lincoln Street, Suite 1000 Denver, Colorado 80203 P: 303.623.6300 F: 303.623.6311 HarrisKocherSmith.com

PARK MEADOWS MALL, LLC PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL GENERAL DETAILS

CITY OF LONE TREE DATE THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR SIGNAGE & STRIPING IMPROVEMENTS ONLY. ENGINEERING DIVISION ACCEPTANCE BLOCK PROJECT #: 231016 SHEET NUMBER CD17 17 OF 17



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

LEGAL DESCRIPTION:

LOT 4-C-1, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 8TH AMENDMENT, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTHWEST LINE OF LOT 4-B, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 6TH AMENDMENT RECORDED AT RECEPTION NO. 2002087418 AS BEARINGS NORTH 47°09'19" EAST. SAID LINE BEING MONUMENTED AT THE NORTHEAST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 28668", AND AT THE SOUTHWEST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 38098".

BENCHMARK:

BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

PROJECT ADDRESS:

8405 PARK MEADOWS DRIVE
LONE TREE, CO 80124

EROSION CONTROL NOTES:

IF A SEPARATE GRADING, EROSION, AND SEDIMENT CONTROL PERMIT (GESC) IS REQUIRED FOR THIS PROJECT, THE PERMITTEE MUST IMPLEMENT AND COMPLY WITH AN APPROVED GESC (EC PERMIT) AND ASSOCIATED DOCUMENTS FOR THIS PROJECT.

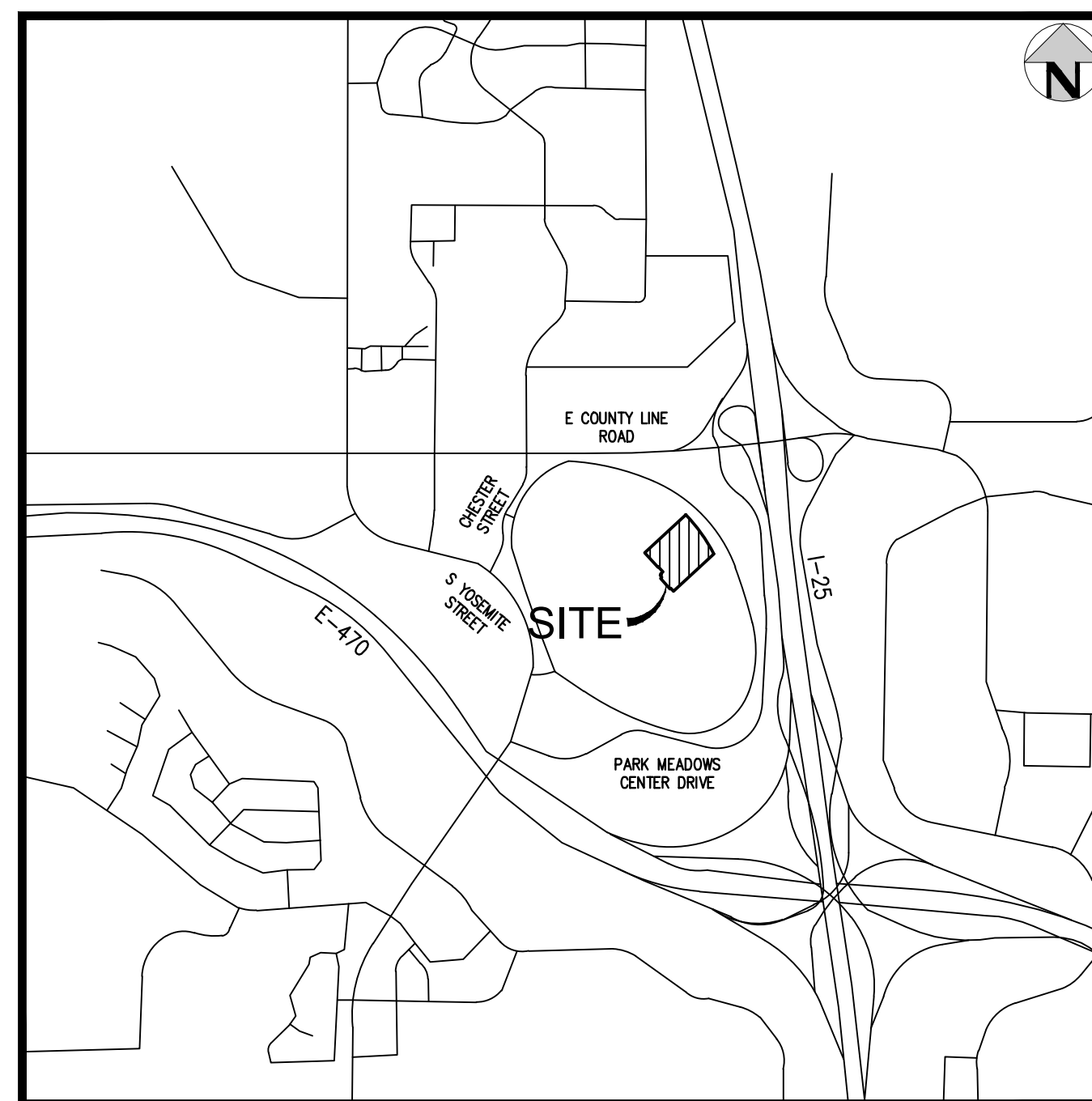
IF A SEPARATE GESC (EC PERMIT) IS NOT REQUIRED, THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL POTENTIAL POLLUTANTS GENERATED DURING DEMOLITION OR CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT, BE PREVENTED FROM DISCHARGE TO STORMWATER CONVEYANCE SYSTEMS IN THE VICINITY OF THIS PROJECT SITE IN ACCORDANCE WITH THE FOLLOWING:

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING, OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM, RECEIVING WATERS, WATERWAYS, WETLANDS, AND OR OTHER PUBLIC OR PRIVATE PROPERTIES, RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATE IN THE FLOW LINES STORM DRAINAGE APPURTENANCES, AND PUBLIC RIGHTS OF WAYS OF THE CITY AND COUNTY OF DENVER AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT. ALL REMOVALS SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY. THE USE OF REBAR TO ANCHOR BEST MANAGEMENT PRACTICES, OTHER THAN PORTABLE TOILETS, IS PROHIBITED.
- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL IMPLEMENT THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ON SITE DURING CONSTRUCTION.
 - VEHICLE TRACKING CONTROL: VEHICLE TRACKING CONTROL: THIS BMP IS REQUIRED AT ALL ACCESS POINTS FOR INGRESS/EGRESS FROM OFF-SITE IMPERVIOUS SURFACES TO CONSTRUCTION SITE PERVIOUS AREAS THAT ARE USED BY VEHICULAR TRAFFIC OR CONSTRUCTION EQUIPMENT.
 - INLET PROTECTION: THIS BMP IS REQUIRED ON ALL EXISTING OR PROPOSED STORM SEWER INLETS IN THE VICINITY OF THE CONSTRUCTION SITE THAT MAY RECEIVE SITE RUNOFF. THE BMP MUST BE APPROPRIATE TO THE TYPE OF STORM INLET AND APPROPRIATE FOR THE GROUND SURFACE AT THE INLET.
 - INTERIM SITE STABILIZATION: THIS BMP IS REQUIRED TO PROVIDE A MEASURE FOR PREVENTING THE DISCHARGE OF SEDIMENT FROM CONSTRUCTION SITES WHERE OVERLOT GRADING OR OTHER SITE DISTURBANCE HAS OCCURRED. THIS BMP IS PARTICULARLY NECESSARY ON SITES WHERE CONSTRUCTION ACTIVITIES/DISTURBANCE WILL BE LIMITED TO SMALL AREAS OF THE PROJECT SITE. ACCEPTABLE BMPs INCLUDE:
 - PRESERVING EXISTING VEGETATION
 - SEEDING AND PLANTING
 - MULCHING
 - MULCHING AND SEEDING
 - TEMPORARY/PERMANENT RE-VEGETATION OPERATIONS
 - CHEMICAL SOIL STABILIZER APPLICATION (REQUIRES WMD APPROVAL)
 - WASTE MANAGEMENT/CONTAINMENT: THIS BMP REQUIRES THAT ALL CONSTRUCTION WASTES, FUELS, LUBRICANTS, CHEMICAL WASTES, TRASH, SANITARY WASTES, CONTAMINATED SOILS OR DEBRIS SHALL BE CONTAINED ON SITE, PROTECTED FROM CONTACT WITH PRECIPITATION OR SURFACE RUNOFF, PERIODICALLY REMOVED FROM THE CONSTRUCTION SITE, AND PROPERLY DISPOSED OF.
 - SPILL PREVENTION /CONTAINMENT: THIS BMP DEFINES THE MEASURES PROPOSED FOR PREVENTING, CONTROLLING, OR CONTAINING SPILLS OF FUEL, LUBRICANTS, OR OTHER POLLUTANTS, AND PROTECTING POTENTIAL POLLUTANTS FROM CONTACT WITH PRECIPITATION OR RUNOFF.
 - CHUTE WASHOUT CONTAINMENT: WATER USED IN THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE IS REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF.
 - SHOULD A PREDEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO APPROVED TECHNIQUES AND PRACTICES.
 - THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.
 - SWEEPING: THIS BMP REQUIRES THAT IMPERVIOUS SURFACES WHICH ARE ADJACENT TO OR CONTAINED WITHIN CONSTRUCTION SITES BE SWEEPED ON A DAILY BASIS OR AS NEEDED DURING THE DAY WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.
 - PERIMETER CONTROL: THIS BMP REQUIRES THAT A CONSTRUCTION SITE INSTALL A PERIMETER CONTROL MEASURE ALONG THE EDGE OF THE CONSTRUCTION SITE, TO PREVENT, OR FILTER THE DISCHARGE OF SURFACE RUNOFF FROM THE CONSTRUCTION SITE. THE TYPE OF PERIMETER CONTROL USED SHALL BE DETERMINED BASED ON SITE CONDITIONS AND LOCATION. MAINTENANCE AND REPAIR OF THE CONTROL MEASURE SHALL OCCUR AS NEEDED, IN A TIMELY MANNER.
 - STOCK PILES: SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. STABILIZATION OF STOCKPILES LOCATED WITHIN 100 FEET OF RECEIVING WATERS, OR WITH SLOPES 3 TO 1 OR GREATER SHALL BE COMPLETED WITHIN SEVEN (7) DAYS FOLLOWING STOCKPILE CONSTRUCTION. STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATIONS, CHEMICAL SOIL STABILIZER APPLICATION, OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF RECEIVING WATERS, A DRAINAGEWAY OR THE SITE PERIMETER, ADDITIONAL SEDIMENT CONTROLS SHALL BE REQUIRED.
 - SAW CUTTING OPERATIONS: "THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS OR AS NEEDED THROUGHOUT THE WORK DAY. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED."
 - STRUCTURAL CONTROLS: DEVELOPMENT SITES THAT ARE REQUIRED TO PROVIDE DETENTION AND WATER QUALITY ENHANCEMENT FACILITIES FOR STORM RUNOFF NEED TO INSTALL THE DETENTION FACILITIES EARLY IN THE CONSTRUCTION BUILD-OUT OF THE SITE. PROJECTS THAT ARE USING UNDERGROUND DETENTION ARE REQUIRED TO INSTALL A PRETREATMENT STRUCTURE OR SEDIMENTATION BASINS AS A MEANS OF TREATING POTENTIALLY POLLUTED STORM WATER PRIOR TO ENTERING THE DETENTION STRUCTURE. USE OF THESE STRUCTURES IS REQUIRED FOR ENTRAPPING SEDIMENT AND CONSTRUCTION DEBRIS DURING THE ACTIVE CONSTRUCTION PHASE OF THE PROJECT. THE NARRATIVE SECTION OF THE MANAGEMENT PLAN IS ALSO REQUIRED TO ADDRESS OPERATION AND MAINTENANCE OF THE STRUCTURAL CONTROLS BEING USED AS AN ACTIVE CONSTRUCTION BMP.
- EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN EFFECTIVE OPERATING CONDITION FOR THE DURATION OF THIS PROJECT. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IMMEDIATELY UPON DISCOVERY OF ANY DEFICIENCY OR DEFECT.

PARK MEADOWS - GARAGE AND RETAIL

SITUATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE 6TH P.M.
CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

GRADING, EROSION AND SEDIMENT CONTROL (GESC) PLAN



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX

| | |
|------|--|
| EC1 | COVER SHEET |
| EC2 | DEMOLITION PLAN - ABOVE GRADE - PHASE 1A |
| EC3 | DEMOLITION PLAN - BELOW GRADE - PHASE 1A |
| EC4 | INITIAL GESC PLAN - PHASE 1A |
| EC5 | INTERIM GESC PLAN - PHASE 1A |
| EC6 | FINAL GESC PLAN - PHASE 1A |
| EC7 | DEMOLITION PLAN - ABOVE GRADE - PHASE 1B |
| EC8 | DEMOLITION PLAN - BELOW GRADE - PHASE 1B |
| EC9 | INITIAL GESC PLAN - PHASE 1B |
| EC10 | INTERIM GESC PLAN - PHASE 1B |
| EC11 | FINAL GESC PLAN - PHASE 1B |
| EC12 | GESC PLAN STANDARD NOTES AND DETAILS |
| EC13 | GESC PLAN STANDARD NOTES AND DETAILS |
| EC14 | GESC PLAN STANDARD NOTES AND DETAILS |

ABBREVIATIONS

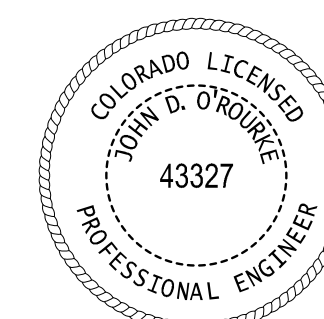
| | |
|------|--------------------------|
| BLDG | BUILDING |
| BOP | BOTTOM OF PIPE |
| BS | BOTTOM OF STEP |
| BW | BOTTOM OF WALL (FG) |
| CONC | CONCRETE |
| DIA | DIAMETER |
| DIP | DUCTILE IRON PIPE |
| DR | DOOR |
| DS | DOWNSPOUT |
| E | EAST, EASTING |
| EGL | ENERGY GRADE LINE |
| EL | ELEVATION |
| EOA | EDGE OF ASPHALT |
| EOC | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EX | EXISTING |
| FES | FLARED END SECTION |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| GB | GRADE BREAK |
| GV | GATE VALVE |
| HC | HANDICAP |
| HGL | HYDRAULIC GRADE LINE |
| HORZ | HORIZONTAL |
| HP | HIGH POINT |
| INV | INVERT |
| LP | LOW POINT |
| LSD | LANDSCAPE DRAIN |
| MAX | MAXIMUM |
| MH | MANHOLE |
| MIN | MINIMUM |
| MJ | MECHANICAL JOINT |
| N | NORTH, NORTHING |
| PHS | PHASE |
| PR | PROPOSED |
| PVC | POLYVINYL CHLORIDE |
| RPC | REINFORCED CONCRETE PIPE |
| ROW | RIGHT-OF-WAY |
| SAN | SANITARY |
| SL | STREET LIGHT |
| SS | SANITARY SEWER |
| STA | STATION |
| STM | STORM |
| TB | THRUST BLOCK |
| TBC | TOP/BACK OF CURB |
| TOP | TOP OF PIPE |
| TS | TOP OF STEP |
| TW | TOP OF WALL (FG) |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| WAT | WATER |

NOTE:

THE GRADING, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PLACED IN THE CITY OF LONE TREE FILE FOR THIS PROJECT AND APPEARS TO FULFILL THE APPLICABLE LONE TREE GRADING, EROSION, AND SEDIMENT CONTROL CRITERIA, AS AMENDED. ADDITIONAL GRADING, EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE PERMITTEES, DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE PERMITTEES, UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED, OR VOIDED.

CERTIFICATION

THE GRADING, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING, EROSION, AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL OF DOUGLAS COUNTY AS AMENDED.



CITY OF LONE TREE

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

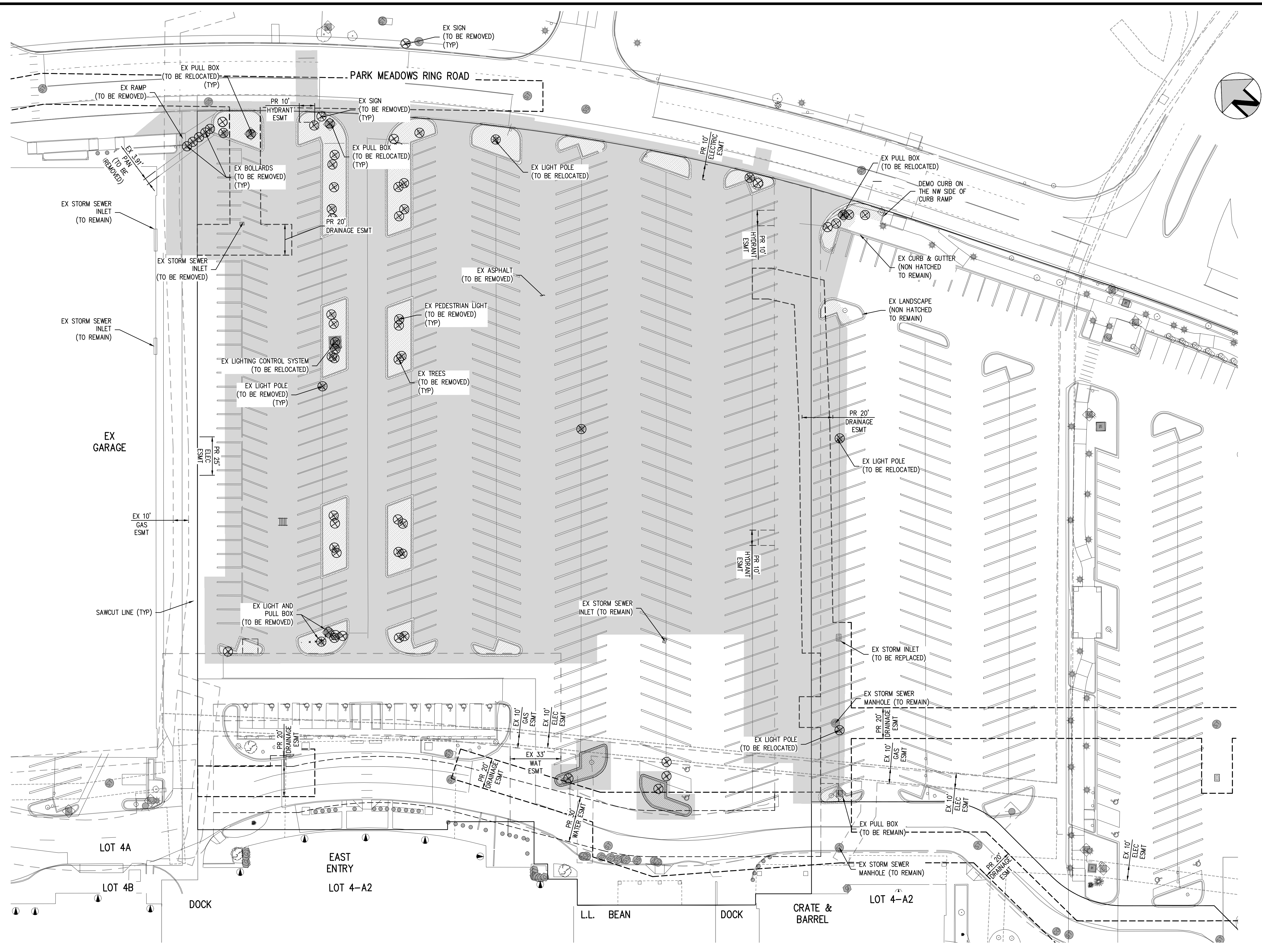


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| ISSUE DATE: 03-29-2024 | PROJECT #: 231016 |
|------------------------|-------------------|
| DATE | REVISION COMMENTS |
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |
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 Plotted: TUE 06/04/24 5:58:14P By: Libbey Endersbe

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- NOTES:**
1. THE LIMITS OF DEMOLITION SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL EXPECTATION OF WHAT MAY/MAY NOT NEED TO BE REMOVED AND DEMOLISHED PRIOR TO CONSTRUCTION. THE LIMITS AND AMOUNT OF DEMOLITION MAY NEED TO BE ADJUSTED BY THE CONTRACTOR BASED ON THE MEANS AND METHODS OF CONSTRUCTION. THE EXTENT OF DEMOLITION SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
 2. EXISTING UTILITY MANHOLES/RIMS/BOXES/STRUCTURES/ETC. CALLED OUT TO REMAIN SHALL BE ADJUSTED TO FINAL GRADE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS TO DETERMINE THE REQUIREMENTS FOR ADJUSTING EXISTING PULL BOXES/MANHOLES/STRUCTURES/ETC.
 3. THIS DEMOLITION PLAN IS FOR INFORMATION ONLY AND SHOWS KNOWN INFORMATION PROVIDED BY UTILITY PROVIDER MAPS AND SURVEY DATA AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL CONDUCT ITS OWN SITE VISIT AND INVESTIGATION TO DETERMINE THE DEMOLITION REQUIREMENTS NECESSARY TO CONSTRUCT THE PROJECT PER THE APPROVED CONSTRUCTION DRAWINGS.
 4. THIS DEMOLITION PLAN GENERALLY COVERS ALL KNOWN IMPROVEMENTS WITHIN THE SITE.
 5. FINAL SCOPE AND LIMITS OF REMOVAL/ABANDONMENT /DEMOLITION OF EXISTING UTILITIES SHALL BE DETERMINED BY THE GENERAL CONTRACTOR AFTER COORDINATION WITH THE APPLICABLE UTILITY PROVIDERS/OWNERS.
 6. CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS WITH THE APPLICABLE REVIEWING AUTHORITIES PRIOR TO STARTING DEMOLITION ACTIVITIES.
 7. EXISTING ELECTRICAL UTILITIES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH CURRENT XCEL ENERGY SPECIFICATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM XCEL ENERGY PRIOR TO MODIFICATION TO THESE UTILITIES. IN SOME CASES XCEL ENERGY, NOT THE CONTRACTOR, WILL BE RESPONSIBLE FOR REMOVAL OF CERTAIN INFRASTRUCTURE. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL INFRASTRUCTURE WITH THE UTILITY PROVIDER.
 8. EXISTING TELECOMMUNICATION, CABLE TV, PHONE LINES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE CURRENT APPLICABLE UTILITY PROVIDERS SPECIFICATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM APPLICABLE INFRASTRUCTURE OWNERS PRIOR TO MODIFICATION. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL INFRASTRUCTURE WITH THE UTILITY PROVIDER.
 9. EXISTING WASTEWATER (STORM SEWER AND SANITARY SEWER) INFRASTRUCTURE TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH CURRENT SOUTH GATE WATER & SANITATION DISTRICT, CITY OF LONE TREE, AND STATE SPECIFICATIONS. SEE APPROVED UTILITY PLANS FOR MORE DETAILS.
 10. THE EXISTING STRUCTURES, INCLUDING THE FOUNDATIONS, SHOULD BE COMPLETELY REMOVED FROM THE SITE. ANY OTHER BELOW GRADE APPURTENANCES ASSOCIATED WITH THE STRUCTURE SHOULD ALSO BE REMOVED. ANY WELLS ENCOUNTERED SHOULD BE ABANDONED IN ACCORDANCE WITH THE REGULATIONS OF THE COLORADO STATE ENGINEER. ALL CONCRETE PADS SHOULD BE REMOVED FROM THE SITE.
 11. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL SITE DEVELOPMENT STUDY FOR ADDITIONAL SITE DEVELOPMENT RECOMMENDATIONS.
 12. THIS PLAN DOES NOT SHOW LIMITS OF EXISTING PAVEMENT REMOVAL REQUIRED FOR UTILITY TRENCHES AND INSTALLATION.
 13. CONTRACTOR SHALL COORDINATE W/ OWNER DURING CONSTRUCTION TO DETERMINE IF EX LIGHT POLES CAN BE RELOCATED OR IF THEY NEED TO BE REMOVED AND REPLACED.

- LEGEND:**
- EX TREE (TO BE REMOVED) ⊗
 - EX SIGN (TO BE REMOVED) ⊗
 - EX LIGHT POLE (TO BE REMOVED) ⊗
 - EX PEDESTRIAN LIGHT (TO BE REMOVED) ⊗
 - EX PULL BOX (TO BE REMOVED) ⊗
 - DEMO LANDSCAPE ISLAND [hatched box]
 - DEMO ASPHALT / CONCRETE [solid grey box]

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2022\21016\ENGINEERING\CD PHASE 1A\CD - DEMO PLAN ABOVE GRADE.DWG LAYOUT: LAYOUT1
 PLOTTED: TUE 06/04/24 5:58:21P BY: LIBBEY ENDERBSE

811
Know what's below.
Call before you dig.

DESIGNED BY: ODV
 CHECKED BY: JDO
 DRAWN BY: ODV

| ISSUE DATE: 03-29-2024 | REVISION COMMENTS |
|------------------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
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HKS HARRIS KOCHER SMITH

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 HarrisKocherSmith.com

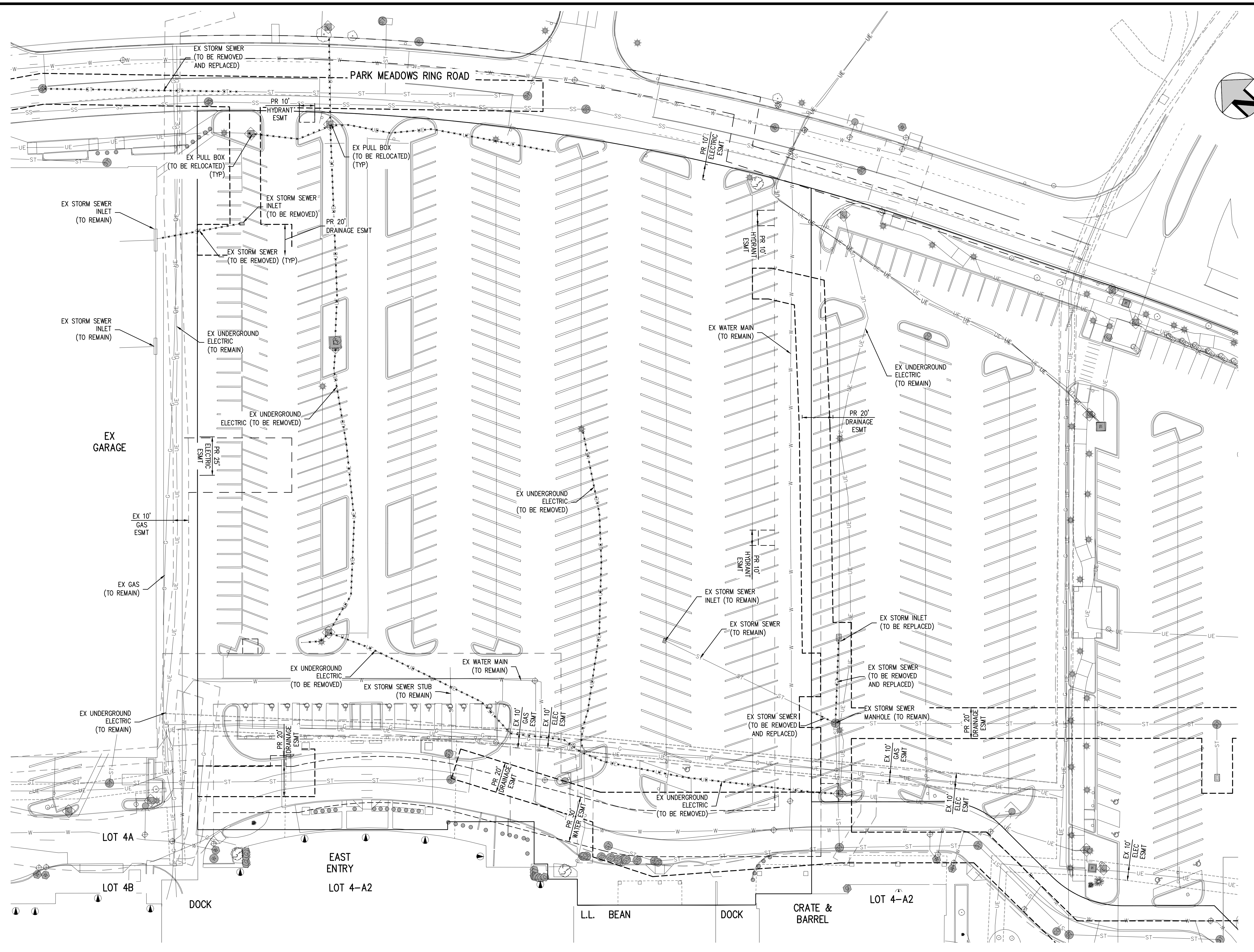
**PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 DEMOLITION PLAN - ABOVE GRADE - PHASE 1A**

COLORADO LICENSED
 JOHN D. O'DRISCOLL
 43327
 PROFESSIONAL ENGINEER

PROJECT #: 231016
 SHEET NUMBER
EC2
 2 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- NOTES:**
1. THE LIMITS OF DEMOLITION SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL EXPECTATION OF WHAT MAY/MAY NOT NEED TO BE REMOVED AND DEMOLISHED PRIOR TO CONSTRUCTION. THE LIMITS AND AMOUNT OF DEMOLITION MAY NEED TO BE ADJUSTED BY THE CONTRACTOR BASED ON THE MEANS AND METHODS OF CONSTRUCTION. THE EXTENT OF DEMOLITION SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
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 12. THIS PLAN DOES NOT SHOW LIMITS OF EXISTING PAVEMENT REMOVAL REQUIRED FOR UTILITY TRENCHES AND INSTALLATION.

- LEGEND:**
- PROPERTY BOUNDARY
 - EX UNDERGROUND ELECTRIC
 - EX UNDERGROUND TELECOM
 - EX STORM SEWER LINE
 - EX SANITARY SEWER LINE
 - EX GAS LINE
 - EX WATER LINE
 - EX UTILITY TO BE REMOVED
 - EX LIGHT POLE

BENCHMARK:
 BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

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 BY THE CITY OF LONE TREE FOR GRADING AND EROSION
 CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILEPATH: P:\2023\201016\ENGINEERING\CD\PHASE 1A\CD - DEMO PLAN BELOW GRADED\DWG LAYOUT.LAYOUT1
 5/15/24 10:58 AM
 PLOTTED: TUE 06/04/24 5:58:24P BY: LIBBEY ENDERBBE

DESIGNED BY: ODV
 CHECKED BY: JDO
 DRAWN BY: ODV

| ISSUE DATE: 03-29-2024 | |
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| DATE | REVISION COMMENTS |
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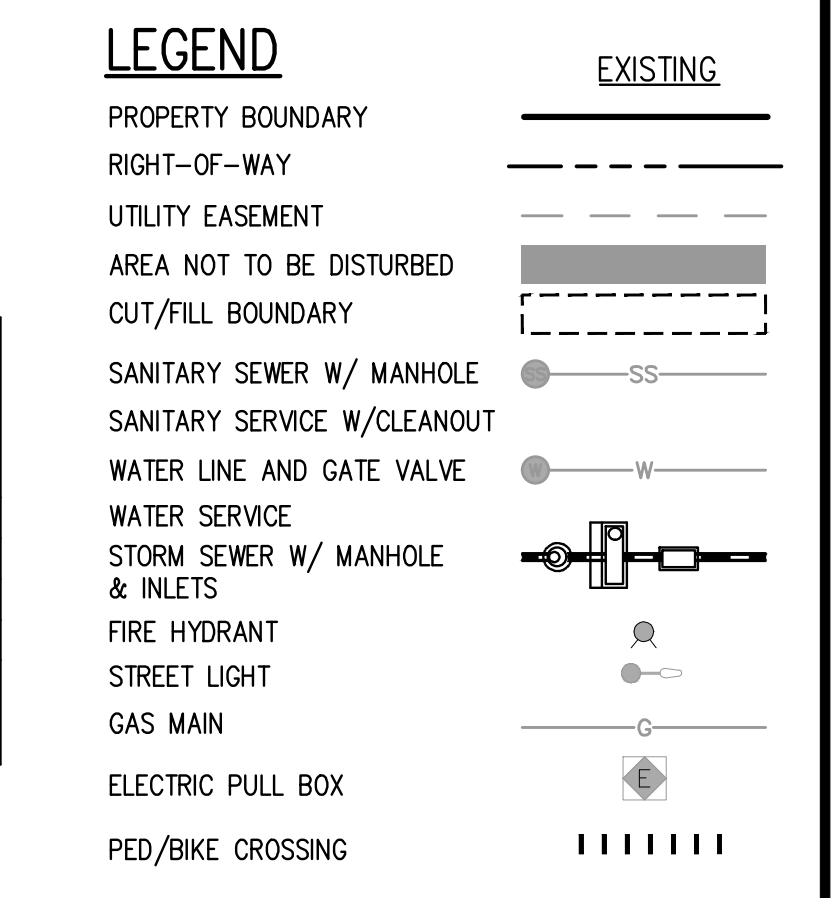
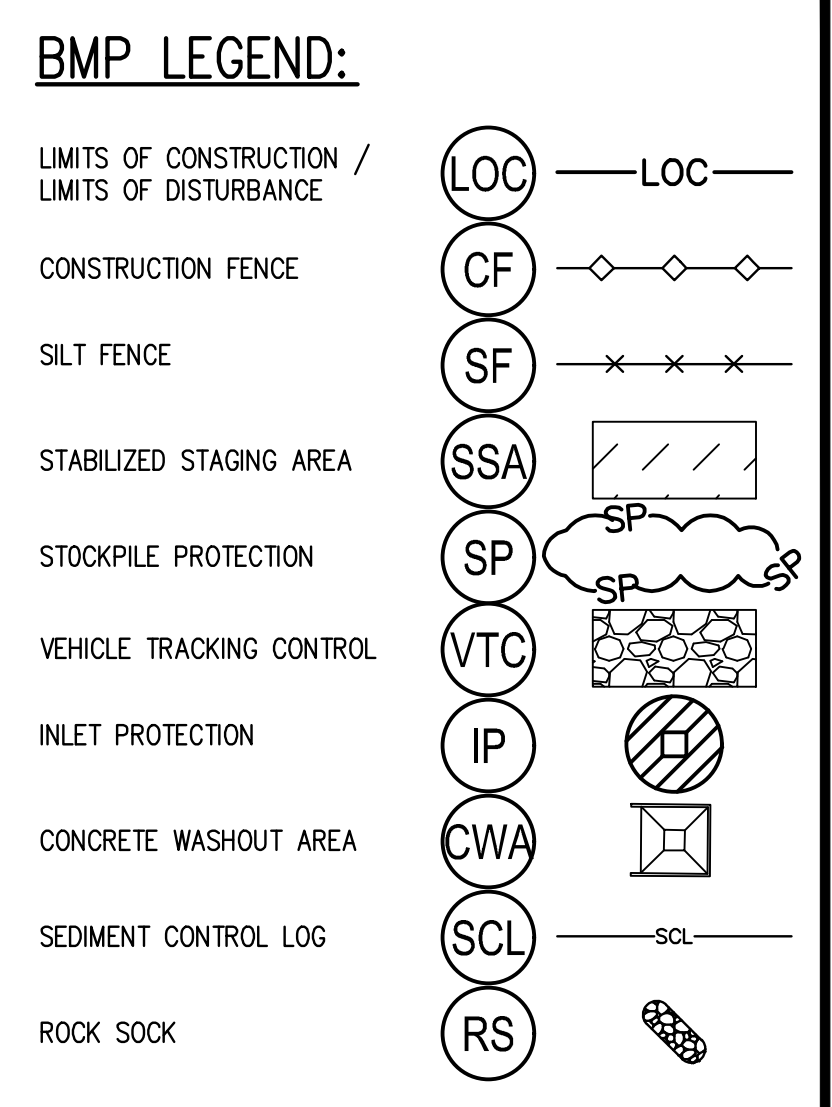
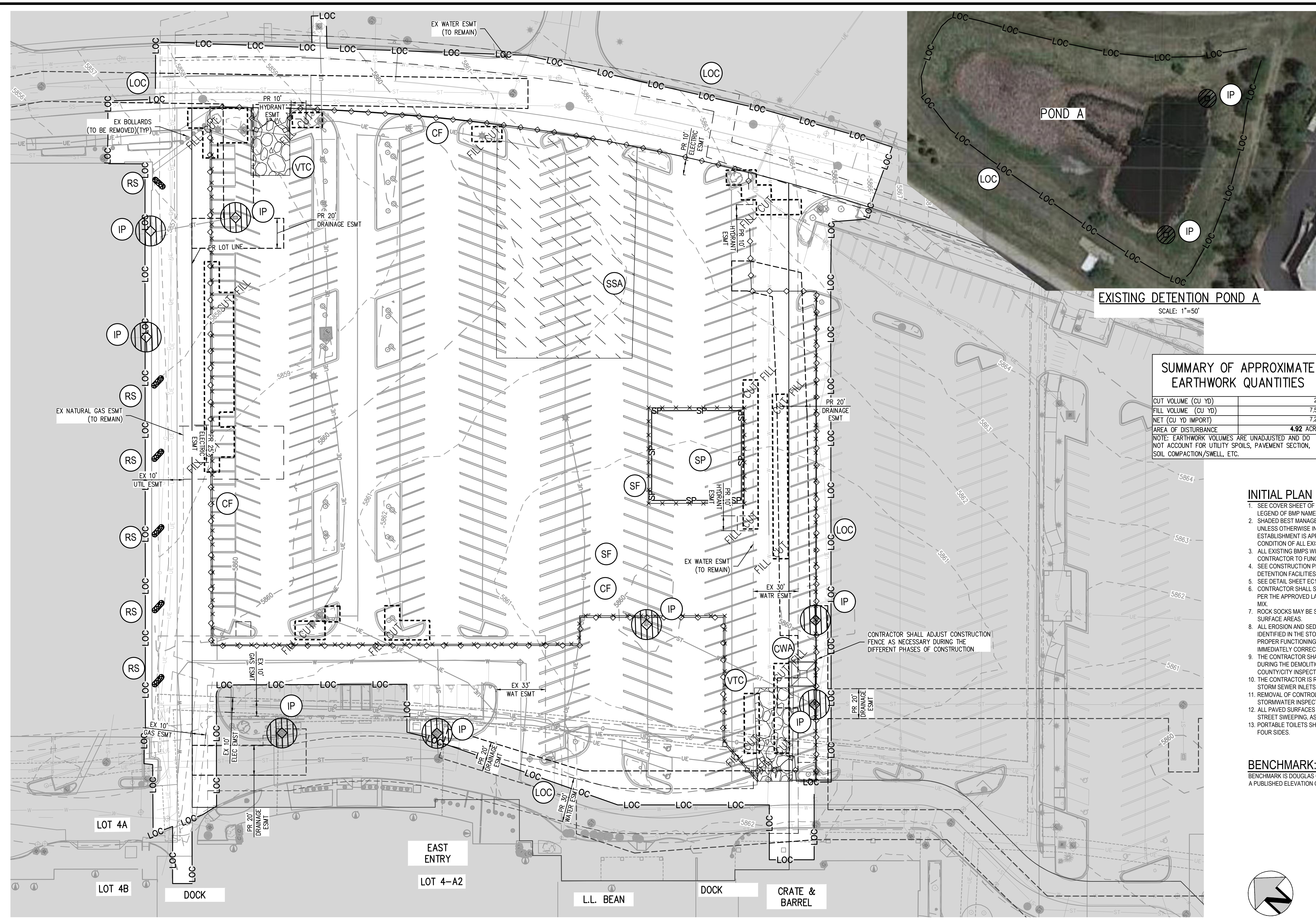
1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
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 HarrisKocherSmith.com

**PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 DEMOLITION PLAN - BELOW GRADE - PHASE 1A**

PROJECT #: 231016
 SHEET NUMBER
EC3
 3 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



SUMMARY OF APPROXIMATE EARTHWORK QUANTITIES

| | |
|---------------------|------------|
| CUT VOLUME (CU YD) | 289 |
| FILL VOLUME (CU YD) | 7,558 |
| NET (CU YD IMPORT) | 7,259 |
| AREA OF DISTURBANCE | 4.92 ACRES |

NOTE: EARTHWORK VOLUMES ARE UNADJUSTED AND DO NOT ACCOUNT FOR UTILITY SPOILS, PAVEMENT SECTION, SOIL COMPACTION/SWELL, ETC.

- INITIAL PLAN**
- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
 - SHADED BEST MANAGEMENT PRACTICES (BMPs) WERE INSTALLED IN AN EARLIER PHASE, AND UNLESS OTHERWISE INDICATED SHALL BE LEFT IN PLACE UNTIL REVEGETATION ESTABLISHMENT IS APPROVED BY THE CITY OF LONE TREE. CONTRACTOR SHALL VERIFY THE CONDITION OF ALL EXISTING BMPs AND REMOVE AND REPLACE THEM AS NECESSARY.
 - ALL EXISTING BMPs WILL NEED TO BE PROPERLY REFRESHED OR REINSTALLED BY THE CONTRACTOR TO FUNCTION AS ORIGINALLY DESIGNED.
 - SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND INLET AND OUTLET PROTECTION.
 - SEE DETAIL SHEET EC12-EC14 FOR EROSION CONTROL MEASURE CONSTRUCTION DETAILS.
 - CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS NOT FORMALLY LANDSCAPED PER THE APPROVED LANDSCAPE PLAN SEED MIX OR THE CITY OF LONE TREE STANDARD SEED MIX.
 - ROCK SOCKS MAY BE SUBSTITUTED FOR SILT FENCE AS PERIMETER CONTROL ON HARDCAPE SURFACE AREAS.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE STORMWATER MANAGEMENT PLAN (SWMP) MUST BE MAINTAINED IN PROPER FUNCTIONING CONDITION. CONTRACTOR SHALL MONITOR ALL BMPs AND IMMEDIATELY CORRECT OR REAPPLY ANY THAT ARE NO LONGER FUNCTIONING EFFECTIVELY.
 - THE CONTRACTOR SHALL PROVIDE SURFACE ROUGHENING AND SEEDING & MULCHING DURING THE DEMOLITION AND EARTHWORK PHASES AS REQUIRED BY THE SWMP AND COUNTY/CITY INSPECTOR.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IMMEDIATELY ADJACENT TO AND DOWNSTREAM OF THE PROJECT SITE.
 - REMOVAL OF CONTROL MEASURES SHALL NOT OCCUR WITHOUT THE APPROVAL OF STORMWATER INSPECTOR.
 - ALL PAVED SURFACES MUST REMAIN FREE OF SEDIMENT AND REQUIRE CLEANING, INCLUDING STREET SWEEPING, AS NEEDED.
 - PORTABLE TOILETS SHALL BE PLACED ON A PERVIOUS SURFACE AND STAKED DOWN ON ALL FOUR SIDES.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

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ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\21016\ENGINEERING\SERVICES\EC - INITIAL GESC PLAN\DRAWING LAYOUT LAYOUT 1.dwg
 PLOTTED: TUE 06/04/24 5:58:31P BY: LIBBEY ENLERSBE

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Know what's below.
Call before you dig.

DESIGNED BY: ODV
 CHECKED BY: JDO
 DRAWN BY: ODV

ISSUE DATE: 03-29-2024

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HKS HARRIS KOCHER SMITH

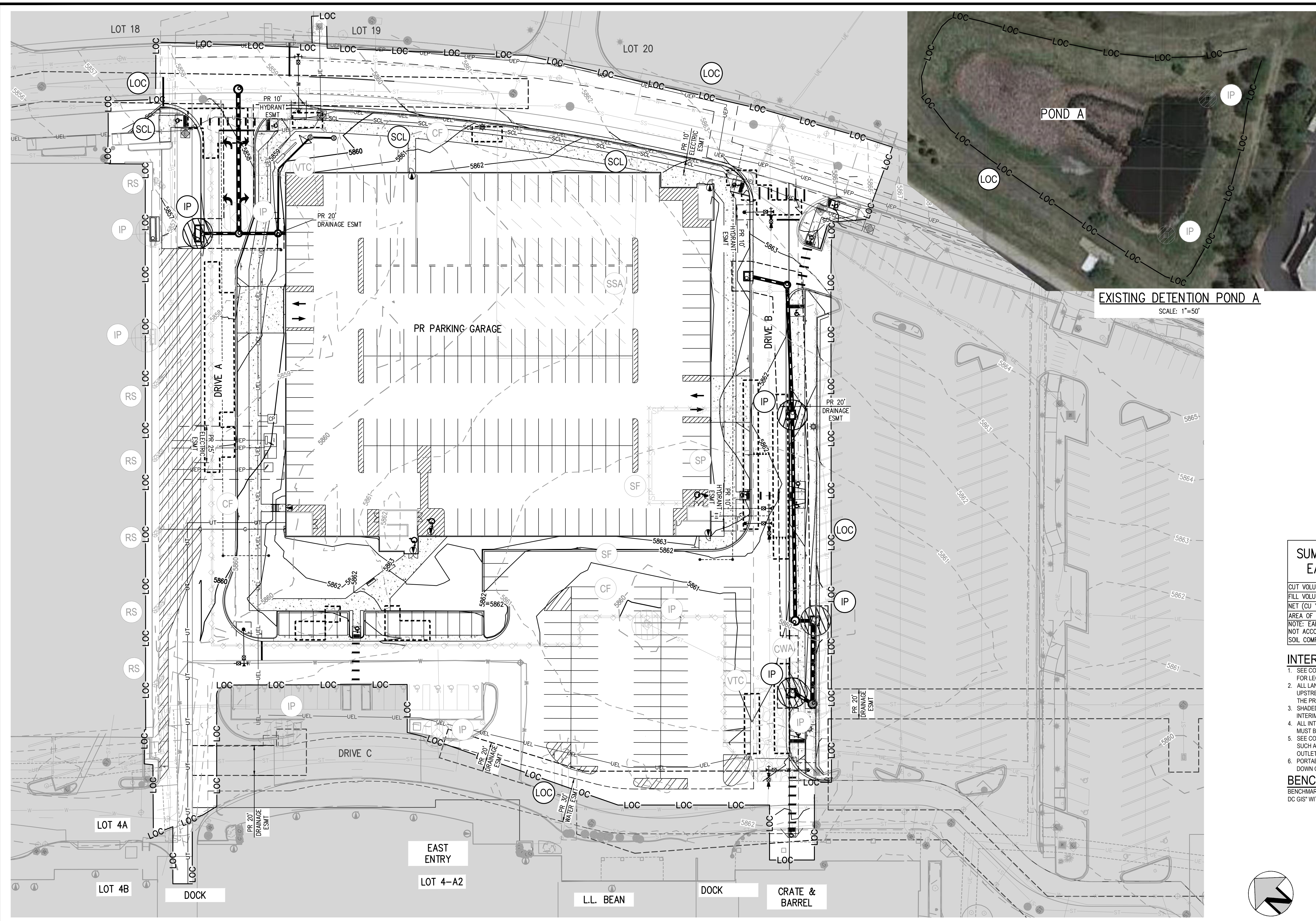
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 HarrisKocherSmith.com

PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 INITIAL GESC PLAN - PHASE 1A

PROJECT #: 231016
 SHEET NUMBER
EC4
 4 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- BMP LEGEND:**
- LOC — LOC
 - CF — CF
 - SF — SF
 - SSA — SSA
 - SP — SP
 - VTC — VTC
 - IP — IP
 - CWA — CWA
 - SCL — SCL
 - RS — RS
 - ECB — ECB

- LEGEND**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY
 - UTILITY EASEMENT
 - AREA NOT TO BE DISTURBED
 - CUT/FILL BOUNDARY
 - SANITARY SEWER W/ MANHOLE
 - SANITARY SERVICE W/CLEANOUT
 - WATER LINE AND GATE VALVE
 - WATER SERVICE
 - STORM SEWER W/ MANHOLE & INLETS
 - FIRE HYDRANT
 - STREET LIGHT
 - GAS MAIN
 - ELECTRIC PULL BOX
 - PED/BIKE CROSSING

SUMMARY OF APPROXIMATE EARTHWORK QUANTITIES

| | |
|---------------------|------------|
| CUT VOLUME (CU YD) | 289 |
| FILL VOLUME (CU YD) | 7,558 |
| NET (CU YD IMPORT) | 7,259 |
| AREA OF DISTURBANCE | 4.92 ACRES |

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- INTERIM PLAN**
- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
 - ALL LANDSCAPE DRAIN AREA INLETS SHALL HAVE INLET PROTECTION UNTIL THE UPSTREAM AREA HAS BEEN FORMALLY LANDSCAPED AND ESTABLISHED. REFER TO THE PRIVATE STORM SEWER PLANS FOR EXACT LOCATIONS OF ALL AREA INLETS.
 - SHADED BMPs INSTALLED IN THE INITIAL STAGE SHALL BE LEFT IN PLACE IN THE INTERIM STAGE.
 - ALL INTERIM BMPs, INCLUDING SEEDING AND MULCHING OF DISTURBED AREAS, MUST BE COMPLETED PRIOR TO ISSUANCE OF ANY CURB AND GUTTER PERMITS.
 - SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND INLET AND OUTLET PROTECTION.
 - PORTABLE TOILETS SHALL BE PLACED ON A PERVIOUS SURFACE AND STAKED DOWN ON ALL FOUR SIDES.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\2010\ENGINEERING\GESC\INTERIM_GESC_PLAN.DWG LAYOUT: LAYOUT1
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DESIGNED BY: ODV
CHECKED BY: JDO
DRAWN BY: ODV

ISSUE DATE: 03-29-2024

| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |

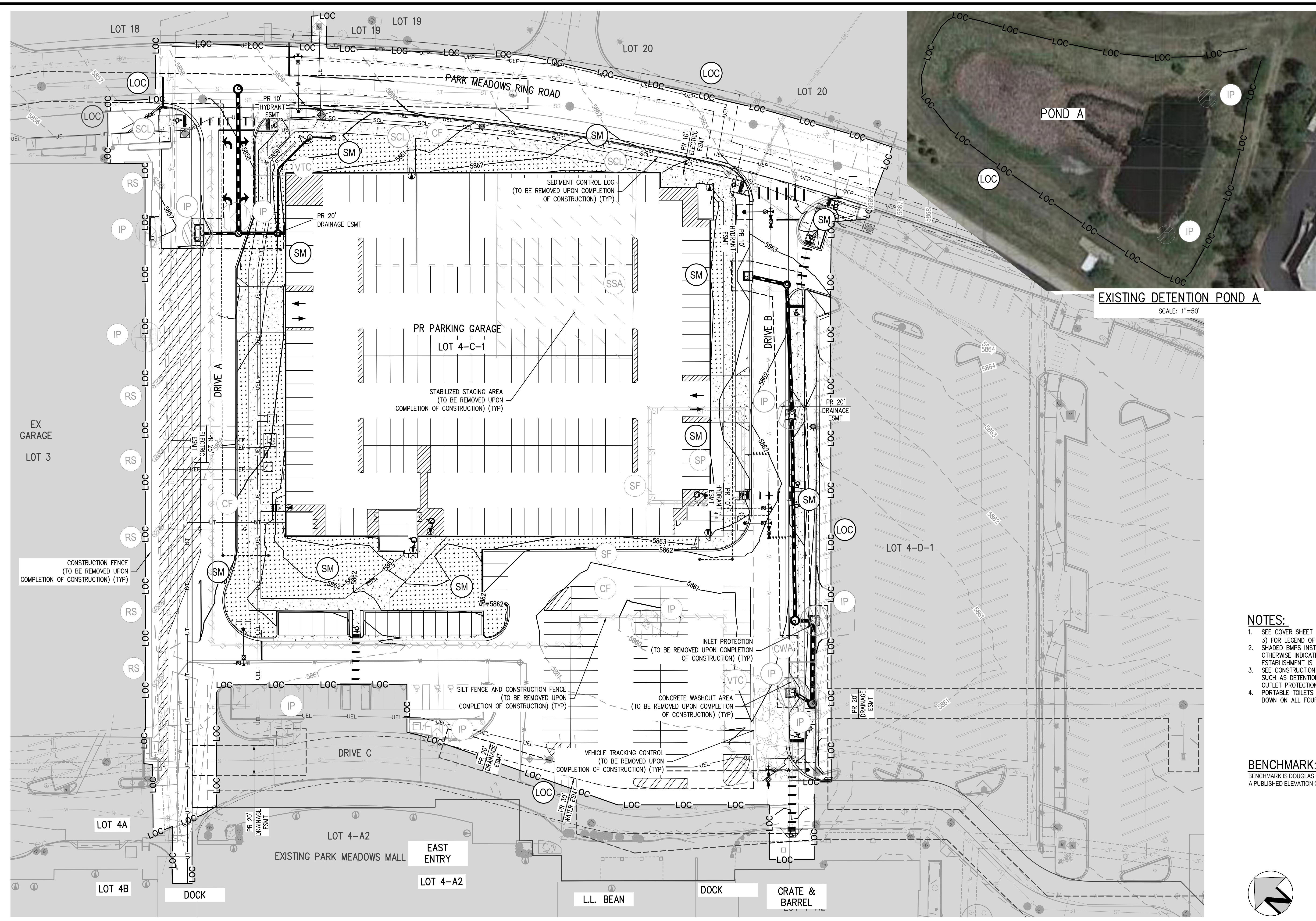
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
INTERIM GESC PLAN - PHASE 1A

PROJECT #: 231016
SHEET NUMBER
EC5
5 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



BMP LEGEND:
LIMITS OF CONSTRUCTION / LIMITS OF DISTURBANCE (LOC)

- CONSTRUCTION FENCE (CF)
- SILT FENCE (SF)
- STABILIZED STAGING AREA (SSA)
- STOCKPILE PROTECTION (SP)
- VEHICLE TRACKING CONTROL (VTC)
- INLET PROTECTION (IP)
- CONCRETE WASHOUT AREA (CWA)
- SEDIMENT CONTROL LOG (SCL)
- ROCK SOCK (RS)
- EROSION CONTROL BLANKET (ECB)
- SEEDING & MULCHING (SM)

LEGEND

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- UTILITY EASEMENT
- AREA NOT TO BE DISTURBED
- SANITARY SEWER W/ MANHOLE (SS)
- SANITARY SERVICE W/CLEANOUT (W)
- WATER LINE AND GATE VALVE
- WATER SERVICE
- STORM SEWER W/ MANHOLE & INLETS
- FIRE HYDRANT
- STREET LIGHT
- GAS MAIN
- ELECTRIC PULL BOX
- FLOW ARROW
- PED/BIKE CROSSING

EXISTING

- NOTES:**
- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
 - SHADED BMPs INSTALLED IN THE INITIAL AND INTERIM GESC PLANS, UNLESS OTHERWISE INDICATED, SHALL BE LEFT IN PLACE UNTIL REVEGETATION ESTABLISHMENT IS APPROVED BY THE CITY.
 - SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND INLET AND OUTLET PROTECTION.
 - PORTABLE TOILETS SHALL BE PLACED ON A PERVIOUS SURFACE AND STAKED DOWN ON ALL FOUR SIDES.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\21016\ENGINEERING\GESC\GESC-FINAL GESC PLANNING LAYOUT LAYOUT.rvt
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CHECKED BY: JDO
PLOTTED: TUE 06/04/24 5:58:50P BY: LIBBEY ENGBERSSE

DESIGNED BY: JDO
CHECKED BY: JDO
DRAWN BY: JTKR

ISSUE DATE: 03-29-2024

| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |

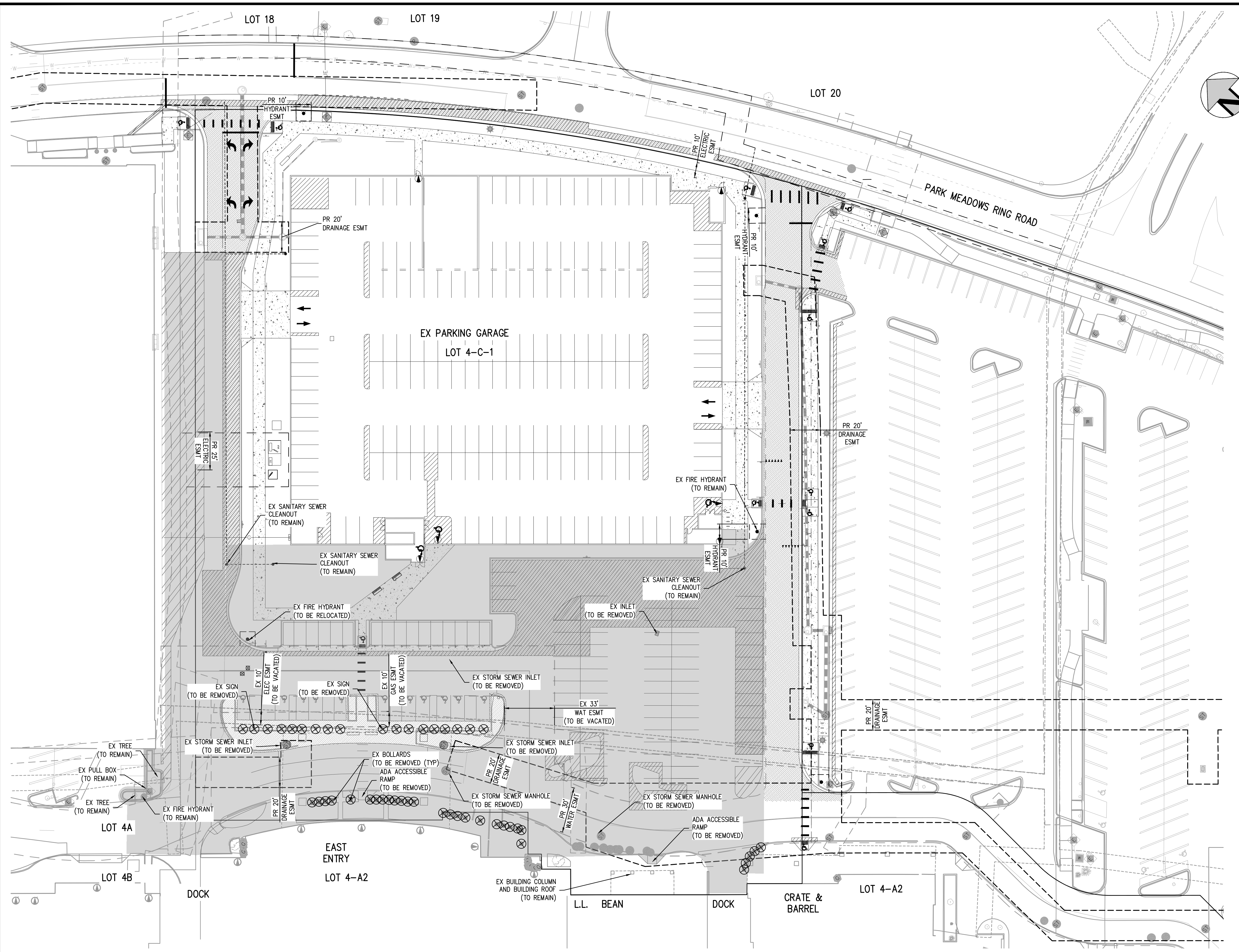
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

PARK MEADOWS MALL, LLC/
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
FINAL GESC PLAN - PHASE 1A

PROJECT #: 231016
SHEET NUMBER
EC6
6 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- NOTES:**
1. THE LIMITS OF DEMOLITION SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL EXPECTATION OF WHAT MAY/MAY NOT NEED TO BE REMOVED AND DEMOLISHED PRIOR TO CONSTRUCTION. THE LIMITS AND AMOUNT OF DEMOLITION MAY NEED TO BE ADJUSTED BY THE CONTRACTOR BASED ON THE MEANS AND METHODS OF CONSTRUCTION. THE EXTENT OF DEMOLITION SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
 2. EXISTING UTILITY MANHOLES/RIMS/BOXES/STRUCTURES/ETC. CALLED OUT TO REMAIN SHALL BE ADJUSTED TO FINAL GRADE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS TO DETERMINE THE REQUIREMENTS FOR ADJUSTING EXISTING PULL BOXES/MANHOLES/STRUCTURES/ETC.
 3. THIS DEMOLITION PLAN IS FOR INFORMATION ONLY AND SHOWS KNOWN INFORMATION PROVIDED BY UTILITY PROVIDER MAPS AND SURVEY DATA AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL CONDUCT ITS OWN SITE VISIT AND INVESTIGATION TO DETERMINE THE DEMOLITION REQUIREMENTS NECESSARY TO CONSTRUCT THE PROJECT PER THE APPROVED CONSTRUCTION DRAWINGS.
 4. THIS DEMOLITION PLAN GENERALLY COVERS ALL KNOWN IMPROVEMENTS WITHIN THE SITE.
 5. FINAL SCOPE AND LIMITS OF REMOVAL/ABANDONMENT /DEMOLITION OF EXISTING UTILITIES SHALL BE DETERMINED BY THE GENERAL CONTRACTOR AFTER COORDINATION WITH THE APPLICABLE UTILITY PROVIDERS/OWNERS.
 6. CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS WITH THE APPLICABLE REVIEWING AUTHORITIES PRIOR TO STARTING DEMOLITION ACTIVITIES.
 7. EXISTING ELECTRICAL UTILITIES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH CURRENT XCEL ENERGY SPECIFICATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM XCEL ENERGY PRIOR TO MODIFICATION TO THESE UTILITIES. IN SOME CASES XCEL ENERGY, NOT THE CONTRACTOR, WILL BE RESPONSIBLE FOR REMOVAL OF CERTAIN INFRASTRUCTURE. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL INFRASTRUCTURE WITH THE UTILITY PROVIDER.
 8. EXISTING TELECOMMUNICATION, CABLE TV, PHONE LINES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE CURRENT APPLICABLE UTILITY PROVIDERS SPECIFICATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM APPLICABLE INFRASTRUCTURE OWNERS PRIOR TO MODIFICATION. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL INFRASTRUCTURE WITH THE UTILITY PROVIDER.
 9. EXISTING WASTEWATER (STORM SEWER AND SANITARY SEWER) INFRASTRUCTURE TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH CURRENT SOUTH GATE WATER & SANITATION DISTRICT, CITY OF LONE TREE, AND STATE SPECIFICATIONS. SEE APPROVED UTILITY PLANS FOR MORE DETAILS.
 10. THE EXISTING STRUCTURES, INCLUDING THE FOUNDATIONS, SHOULD BE COMPLETELY REMOVED FROM THE SITE. ANY OTHER BELOW GRADE APPURTENANCES ASSOCIATED WITH THE STRUCTURE SHOULD ALSO BE REMOVED. ANY WELLS ENCOUNTERED SHOULD BE ABANDONED IN ACCORDANCE WITH THE REGULATIONS OF THE COLORADO STATE ENGINEER. ALL CONCRETE PADS SHOULD BE REMOVED FROM THE SITE.
 11. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL SITE DEVELOPMENT STUDY FOR ADDITIONAL SITE DEVELOPMENT RECOMMENDATIONS.
 12. THIS PLAN DOES NOT SHOW LIMITS OF EXISTING PAVEMENT REMOVAL REQUIRED FOR UTILITY TRENCHES AND INSTALLATION.

- LEGEND:**
- PROPERTY BOUNDARY
 - EX UNDERGROUND TELECOM
 - EX STORM SEWER LINE
 - EX SANITARY SEWER LINE
 - EX GAS LINE
 - PHASE 1A STORM
 - LIMITS OF CONSTRUCTION / LIMITS OF DISTURBANCE LOC
 - DEMO LANDSCAPE ISLAND
 - DEMO ASPHALT / CONCRETE

BENCHMARK:
 BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\2016\ENGINEERING\CD\PHASE 1B\CD - DEMO PLAN ABOVE GRADE PHOTO MIDDING LAYOUT.LAYOUT
 DATE: 03-29-2024
 PLOTTED: TUE 03/29/2024 5:56:56P BY: LIBBEY ENDERBEE

DESIGNED BY: EE
 CHECKED BY: JDO
 DRAWN BY: JTKR

| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
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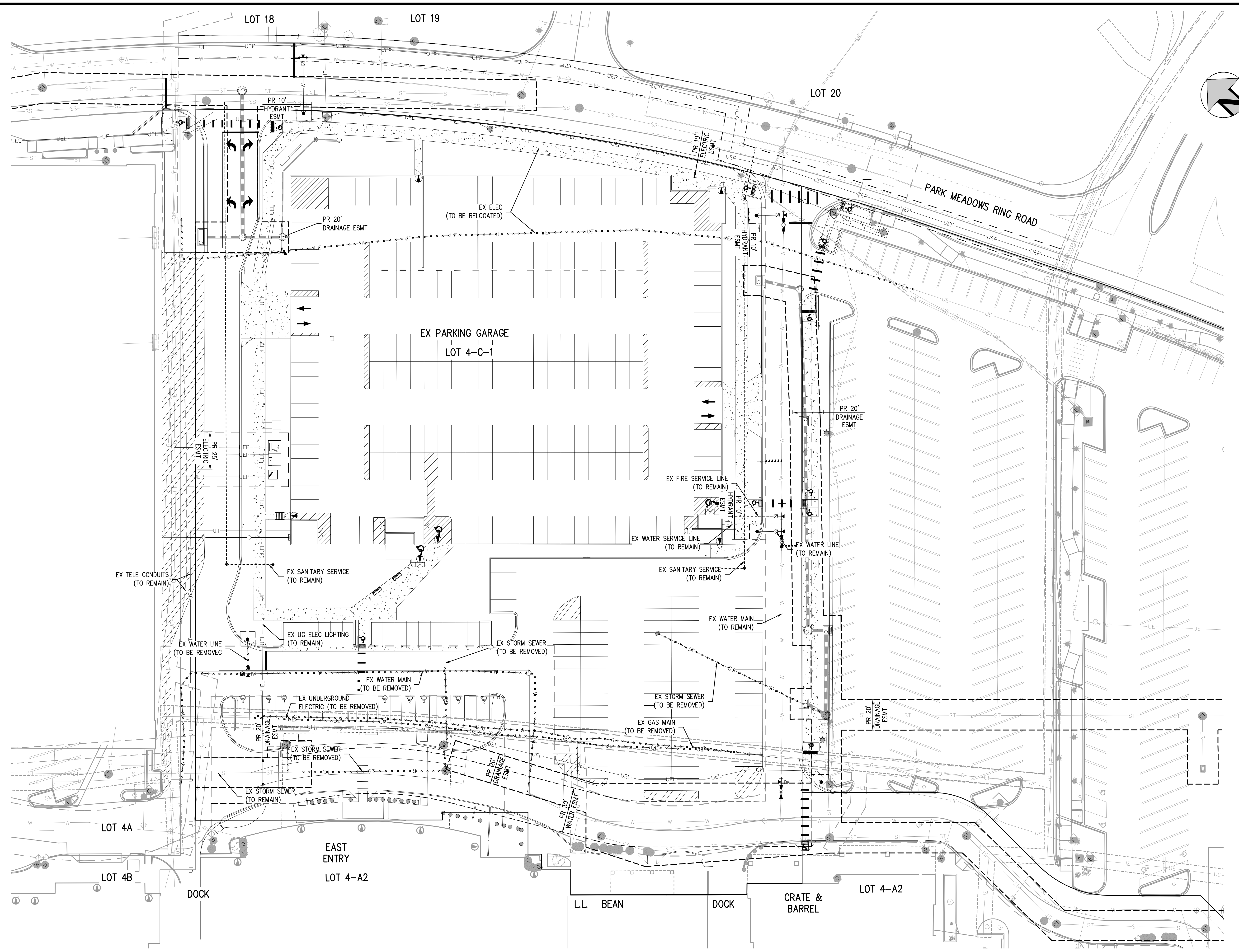
1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

**PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 DEMOLITION PLAN - ABOVE GRADE - PHASE 1B**

PROJECT #: 231016
 SHEET NUMBER
EC7
 7 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- NOTES:**
1. THE LIMITS OF DEMOLITION SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE INTENDED TO GIVE THE CONTRACTOR A GENERAL EXPECTATION OF WHAT MAY/MAY NOT NEED TO BE REMOVED AND DEMOLISHED PRIOR TO CONSTRUCTION. THE LIMITS AND AMOUNT OF DEMOLITION MAY NEED TO BE ADJUSTED BY THE CONTRACTOR BASED ON THE MEANS AND METHODS OF CONSTRUCTION. THE EXTENT OF DEMOLITION SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
 2. EXISTING UTILITY MANHOLES/RIMS/BOXES/STRUCTURES/ETC. CALLED OUT TO REMAIN SHALL BE ADJUSTED TO FINAL GRADE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS TO DETERMINE THE REQUIREMENTS FOR ADJUSTING EXISTING PULL BOXES/MANHOLES/STRUCTURES/ETC.
 3. THIS DEMOLITION PLAN IS FOR INFORMATION ONLY AND SHOWS KNOWN INFORMATION PROVIDED BY UTILITY PROVIDER MAPS AND SURVEY DATA AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL CONDUCT ITS OWN SITE VISIT AND INVESTIGATION TO DETERMINE THE DEMOLITION REQUIREMENTS NECESSARY TO CONSTRUCT THE PROJECT PER THE APPROVED CONSTRUCTION DRAWINGS.
 4. THIS DEMOLITION PLAN GENERALLY COVERS ALL KNOWN IMPROVEMENTS WITHIN THE SITE.
 5. FINAL SCOPE AND LIMITS OF REMOVAL/ABANDONMENT /DEMOLITION OF EXISTING UTILITIES SHALL BE DETERMINED BY THE GENERAL CONTRACTOR AFTER COORDINATION WITH THE APPLICABLE UTILITY PROVIDERS/OWNERS.
 6. CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS WITH THE APPLICABLE REVIEWING AUTHORITIES PRIOR TO STARTING DEMOLITION ACTIVITIES.
 7. EXISTING ELECTRICAL UTILITIES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH CURRENT XCEL ENERGY SPECIFICATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM XCEL ENERGY PRIOR TO MODIFICATION TO THESE UTILITIES. IN SOME CASES XCEL ENERGY, NOT THE CONTRACTOR, WILL BE RESPONSIBLE FOR REMOVAL OF CERTAIN INFRASTRUCTURE. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL INFRASTRUCTURE WITH THE UTILITY PROVIDER.
 8. EXISTING TELECOMMUNICATION, CABLE TV, PHONE LINES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE CURRENT APPLICABLE UTILITY PROVIDERS SPECIFICATIONS. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM APPLICABLE INFRASTRUCTURE OWNERS PRIOR TO MODIFICATION. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL INFRASTRUCTURE WITH THE UTILITY PROVIDER.
 9. EXISTING WASTEWATER (STORM SEWER AND SANITARY SEWER) INFRASTRUCTURE TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH CURRENT SOUTH GATE WATER & SANITATION DISTRICT, CITY OF LONE TREE, AND STATE SPECIFICATIONS. SEE APPROVED UTILITY PLANS FOR MORE DETAILS.
 10. THE EXISTING STRUCTURES, INCLUDING THE FOUNDATIONS, SHOULD BE COMPLETELY REMOVED FROM THE SITE. ANY OTHER BELOW GRADE APPURTENANCES ASSOCIATED WITH THE STRUCTURE SHOULD ALSO BE REMOVED. ANY WELLS ENCOUNTERED SHOULD BE ABANDONED IN ACCORDANCE WITH THE REGULATIONS OF THE COLORADO STATE ENGINEER. ALL CONCRETE PADS SHOULD BE REMOVED FROM THE SITE.
 11. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL SITE DEVELOPMENT STUDY FOR ADDITIONAL SITE DEVELOPMENT RECOMMENDATIONS.
 12. THIS PLAN DOES NOT SHOW LIMITS OF EXISTING PAVEMENT REMOVAL REQUIRED FOR UTILITY TRENCHES AND INSTALLATION.

- LEGEND:**
- PROPERTY BOUNDARY
 - EX UNDERGROUND TELECOM
 - EX STORM SEWER LINE
 - EX SANITARY SEWER LINE
 - EX GAS LINE
 - PHASE 1A STORM
 - LIMITS OF CONSTRUCTION / LIMITS OF DISTURBANCE LOC
 - DEMO LANDSCAPE ISLAND
 - DEMO ASPHALT / CONCRETE

BENCHMARK:
 BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED
 BY THE CITY OF LONE TREE FOR GRADING AND EROSION
 CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\20231016\ENGINEERING\CD\PHASE 1B\CD - DEMO PLAN BELOW GRADE-PHOTO.DWG LAYOUT: LAYOUT1
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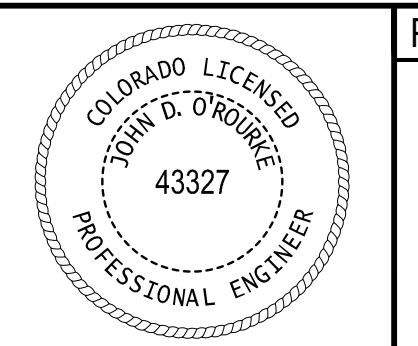
DESIGNED BY: EE
 CHECKED BY: JDO
 DRAWN BY: JTKR

| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |



**PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 DEMOLITION PLAN - BELOW GRADE - PHASE 1B**



PROJECT #: 231016
 SHEET NUMBER
EC8
 8 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

SUMMARY OF APPROXIMATE EARTHWORK QUANTITIES

| | |
|---------------------|------------|
| CUT VOLUME (CU YD) | 287 |
| FILL VOLUME (CU YD) | 2,460 |
| NET (CU YD IMPORT) | 2,173 |
| AREA OF DISTURBANCE | 2.38 ACRES |

NOTE: EARTHWORK VOLUMES ARE UNADJUSTED AND DO NOT ACCOUNT FOR UTILITY SPOILS, PAVEMENT SECTION, SOIL COMPACTION/SWELL, ETC.

BMP LEGEND:

- LIMITS OF CONSTRUCTION / LIMITS OF DISTURBANCE (LOC) — LOC —
- CONSTRUCTION FENCE (CF) — CF —
- SILT FENCE (SF) — SF —
- STABILIZED STAGING AREA (SSA) — SSA —
- STOCKPILE PROTECTION (SP) — SP —
- VEHICLE TRACKING CONTROL (VTC) — VTC —
- INLET PROTECTION (IP) — IP —
- CONCRETE WASHOUT AREA (CWA) — CWA —
- SEDIMENT CONTROL LOG (SCL) — SCL —
- ROCK SOCK (RS) — RS —

LEGEND

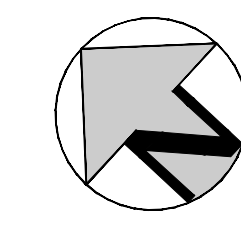
- PROPERTY BOUNDARY (EXISTING)
- RIGHT-OF-WAY
- UTILITY EASEMENT
- AREA NOT TO BE DISTURBED
- CUT/FILL BOUNDARY
- SANITARY SEWER W/ MANHOLE (SS)
- SANITARY SERVICE W/CLEANOUT (W)
- WATER LINE AND GATE VALVE
- WATER SERVICE
- STORM SEWER W/ MANHOLE & INLETS
- FIRE HYDRANT
- STREET LIGHT
- GAS MAIN
- ELECTRIC PULL BOX
- PED/BIKE CROSSING

INITIAL PLAN

- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
- SHADED BEST MANAGEMENT PRACTICES (BMPs) WERE INSTALLED IN AN EARLIER PHASE, AND UNLESS OTHERWISE INDICATED SHALL BE LEFT IN PLACE UNTIL REVEGETATION ESTABLISHMENT IS APPROVED BY THE CITY OF LONE TREE. CONTRACTOR SHALL VERIFY THE CONDITION OF ALL EXISTING BMPs AND REMOVE AND REPLACE THEM AS NECESSARY.
- ALL EXISTING BMPs WILL NEED TO BE PROPERLY REFRESHED OR REINSTALLED BY THE CONTRACTOR TO FUNCTION AS ORIGINALLY DESIGNED.
- SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND INLET AND OUTLET PROTECTION.
- SEE DETAIL SHEET EC12-EC14 FOR EROSION CONTROL MEASURE CONSTRUCTION DETAILS.
- CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS NOT FORMALLY LANDSCAPED PER THE APPROVED LANDSCAPE PLAN SEED MIX OR THE CITY OF LONE TREE STANDARD SEED MIX.
- ROCK SOCKS MAY BE SUBSTITUTED FOR SILT FENCE AS PERIMETER CONTROL ON HARDCAPE SURFACE AREAS.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE STORMWATER MANAGEMENT PLAN (SWMP) MUST BE MAINTAINED IN PROPER FUNCTIONING CONDITION. CONTRACTOR SHALL MONITOR ALL BMPs AND IMMEDIATELY CORRECT OR REAPPLY ANY THAT ARE NO LONGER FUNCTIONING EFFECTIVELY.
- THE CONTRACTOR SHALL PROVIDE SURFACE ROUGHENING AND SEEDING & MULCHING DURING THE DEMOLITION AND EARTHWORK PHASES AS REQUIRED BY THE SWMP AND COUNTY/CITY INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IMMEDIATELY ADJACENT TO AND DOWNSTREAM OF THE PROJECT SITE.
- REMOVAL OF CONTROL MEASURES SHALL NOT OCCUR WITHOUT THE APPROVAL OF STORMWATER INSPECTOR.
- ALL PAVED SURFACES MUST REMAIN FREE OF SEDIMENT AND REQUIRE CLEANING, INCLUDING STREET SWEEPING, AS NEEDED.
- PORTABLE TOILETS SHALL BE PLACED ON A PERVIOUS SURFACE AND STAKED DOWN ON ALL FOUR SIDES.

BENCHMARK:

BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

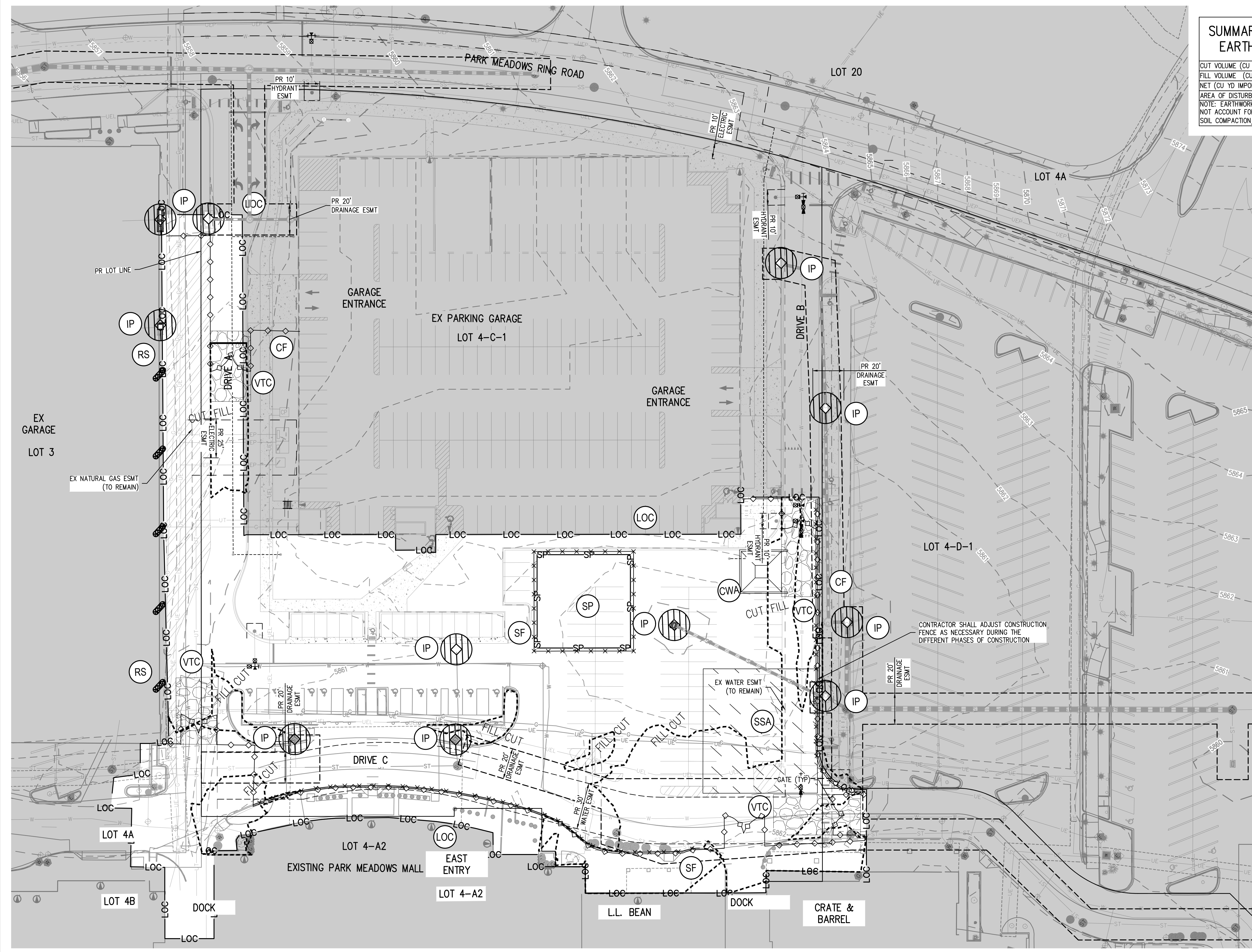


CITY OF LONE TREE

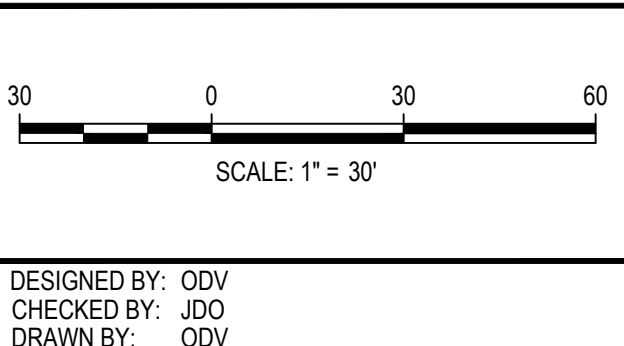
DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



FILE PATH: P:\2023\231016\ENGINEERING\GERSOSON\EC - INITIAL GESC PLAN\PH16.DWG LAYOUT LAYOUT1
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CHECKED BY: JDO
DRAWN BY: ODV
PLOTTED: TUE 06/04/2024 5:56:15 PM BY: LIBBY ENDERBEE



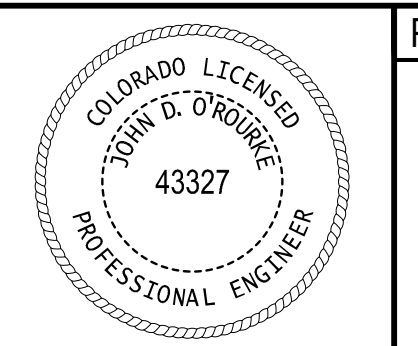
| DATE | REVISION COMMENTS |
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| 04-05-2024 | BID ADDENDUM |
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ISSUE DATE: 03-29-2024



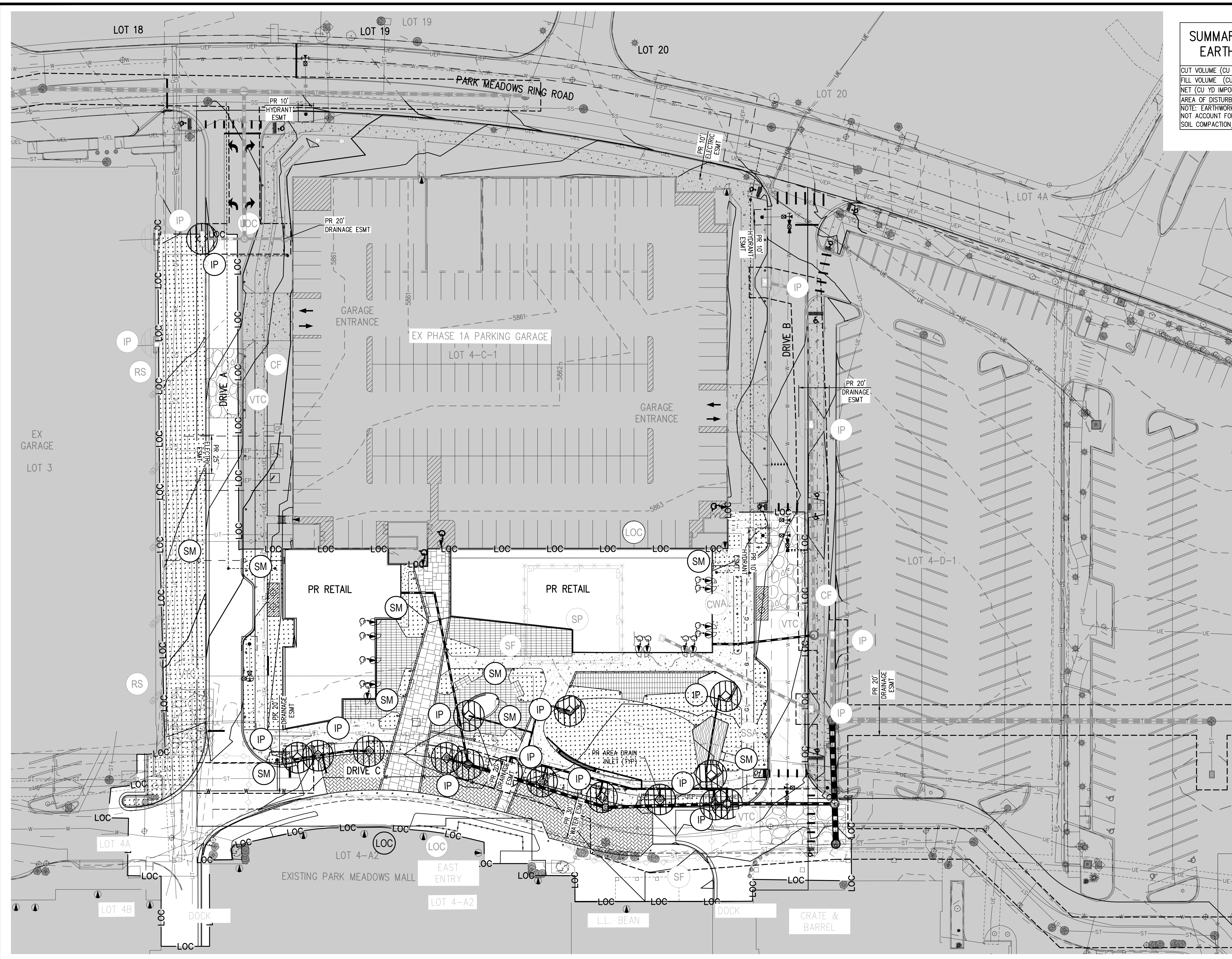
PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
INITIAL GESC PLAN - PHASE 1B



PROJECT #: 231016
SHEET NUMBER
EC9
9 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



SUMMARY OF APPROXIMATE EARTHWORK QUANTITIES

| | |
|---------------------|------------|
| CUT VOLUME (CU YD) | 287 |
| FILL VOLUME (CU YD) | 2,460 |
| NET (CU YD IMPORT) | 2,173 |
| AREA OF DISTURBANCE | 2.38 ACRES |

NOTE: EARTHWORK VOLUMES ARE UNADJUSTED AND DO NOT ACCOUNT FOR UTILITY SPOILS, PAVEMENT SECTION, SOIL COMPACTION/SWELL, ETC.

BMP LEGEND:

- LIMITS OF CONSTRUCTION / LIMITS OF DISTURBANCE: LOC
- CONSTRUCTION FENCE: CF
- SILT FENCE: SF
- STABILIZED STAGING AREA: SSA
- STOCKPILE PROTECTION: SP
- VEHICLE TRACKING CONTROL: VTC
- INLET PROTECTION: IP
- CONCRETE WASHOUT AREA: CWA
- SEDIMENT CONTROL LOG: SCL
- ROCK SOCK: RS
- EROSION CONTROL BLANKET: ECB
- SEEDING & MULCHING: SM

LEGEND

- PROPERTY BOUNDARY: Dashed line
- RIGHT-OF-WAY: Dashed line
- UTILITY EASEMENT: Dashed line
- AREA NOT TO BE DISTURBED: Shaded area
- CUT AREA: Dashed line
- SANITARY SEWER W/ MANHOLE: SS
- SANITARY SERVICE W/CLEANOUT: W
- WATER LINE AND GATE VALVE: W
- WATER SERVICE: W
- STORM SEWER W/ MANHOLE & INLETS: S
- FIRE HYDRANT: FH
- STREET LIGHT: SL
- GAS MAIN: G
- ELECTRIC PULL BOX: EPB
- PED/BIKE CROSSING: PBC

- INTERIM PLAN**
- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
 - ALL LANDSCAPE DRAIN AREA INLETS SHALL HAVE INLET PROTECTION UNTIL THE UPSTREAM AREA HAS BEEN FORMALLY LANDSCAPED AND ESTABLISHED. REFER TO THE PRIVATE STORM SEWER PLANS FOR EXACT LOCATIONS OF ALL AREA INLETS.
 - SHADED BMPs INSTALLED IN THE INITIAL STAGE SHALL BE LEFT IN PLACE IN THE INTERIM STAGE.
 - ALL INTERIM BMPs, INCLUDING SEEDING AND MULCHING OF DISTURBED AREAS, MUST BE COMPLETED PRIOR TO ISSUANCE OF ANY CURB AND GUTTER PERMITS.
 - SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND INLET AND OUTLET PROTECTION.
 - PORTABLE TOILETS SHALL BE PLACED ON A PERVIOUS SURFACE AND STAKED DOWN ON ALL FOUR SIDES.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE CITY OF LONE TREE FOR GRADING AND EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2023\231016\ENGINEERING\GESC\INTERIM_GESC_PLAN-PH1B.DWG LAYOUT LAYOUT1
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 PLOTTED: TUE 06/04/2024 5:59:25P BY: LIBBEY ENDERSE

DESIGNED BY: ODV
 CHECKED BY: JDO
 DRAWN BY: ODV

ISSUE DATE: 03-29-2024

| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |

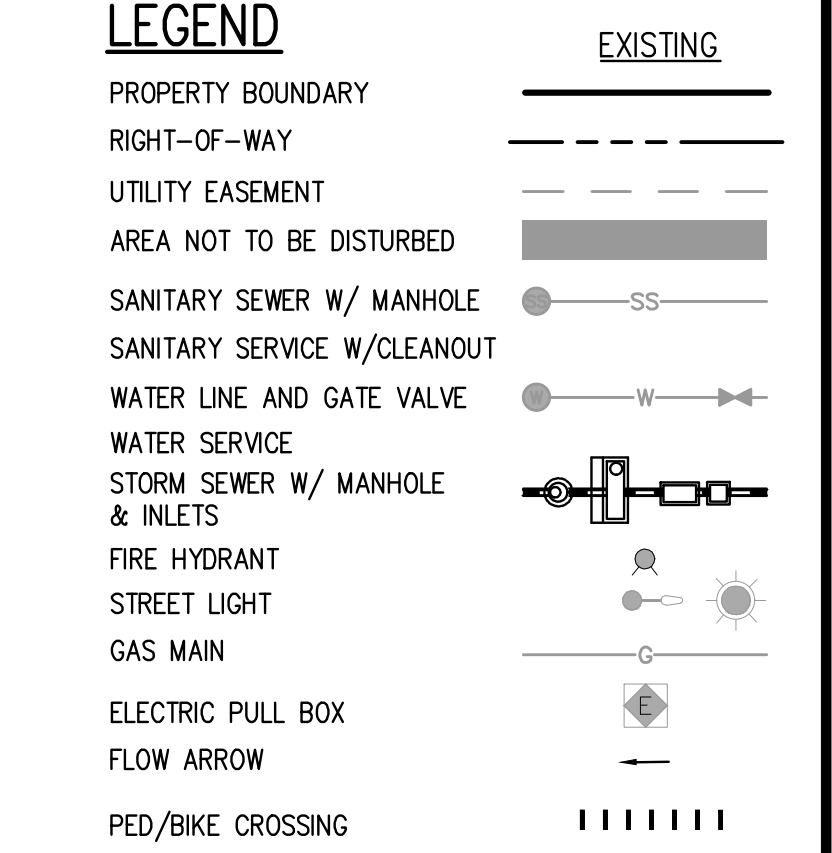
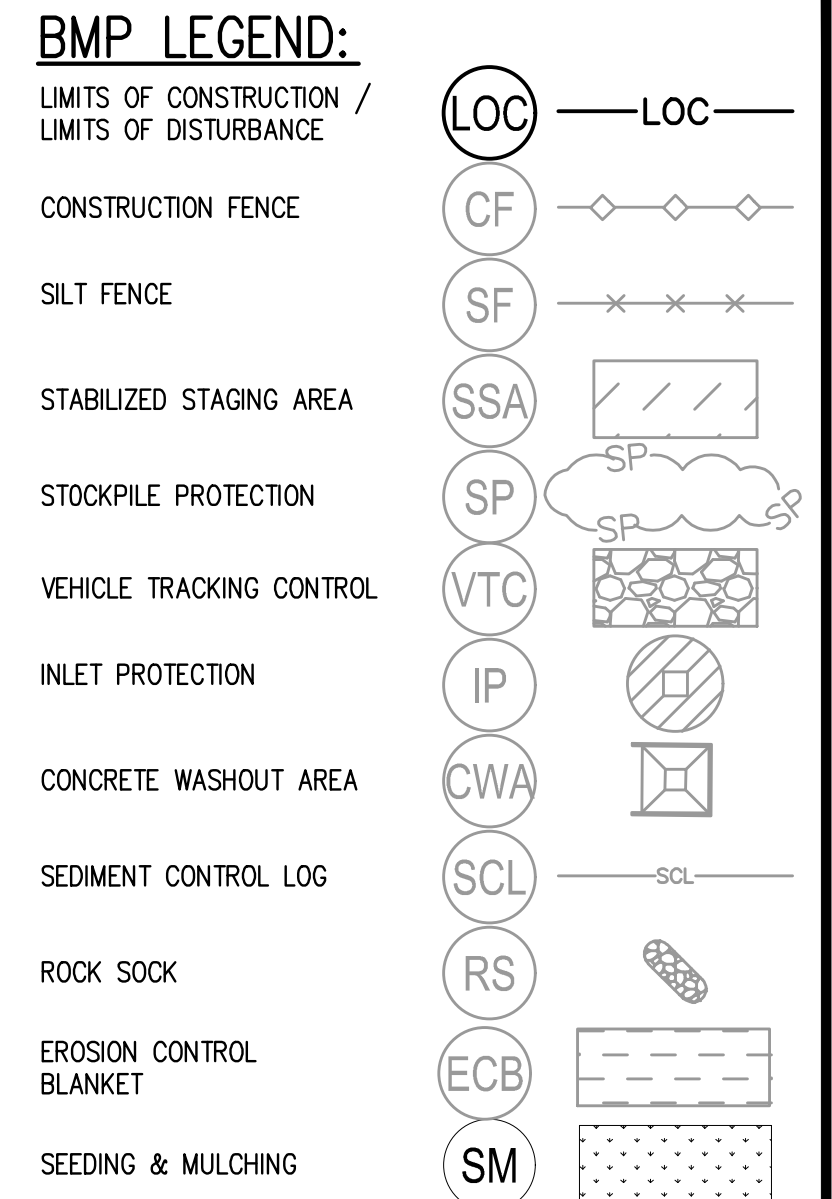
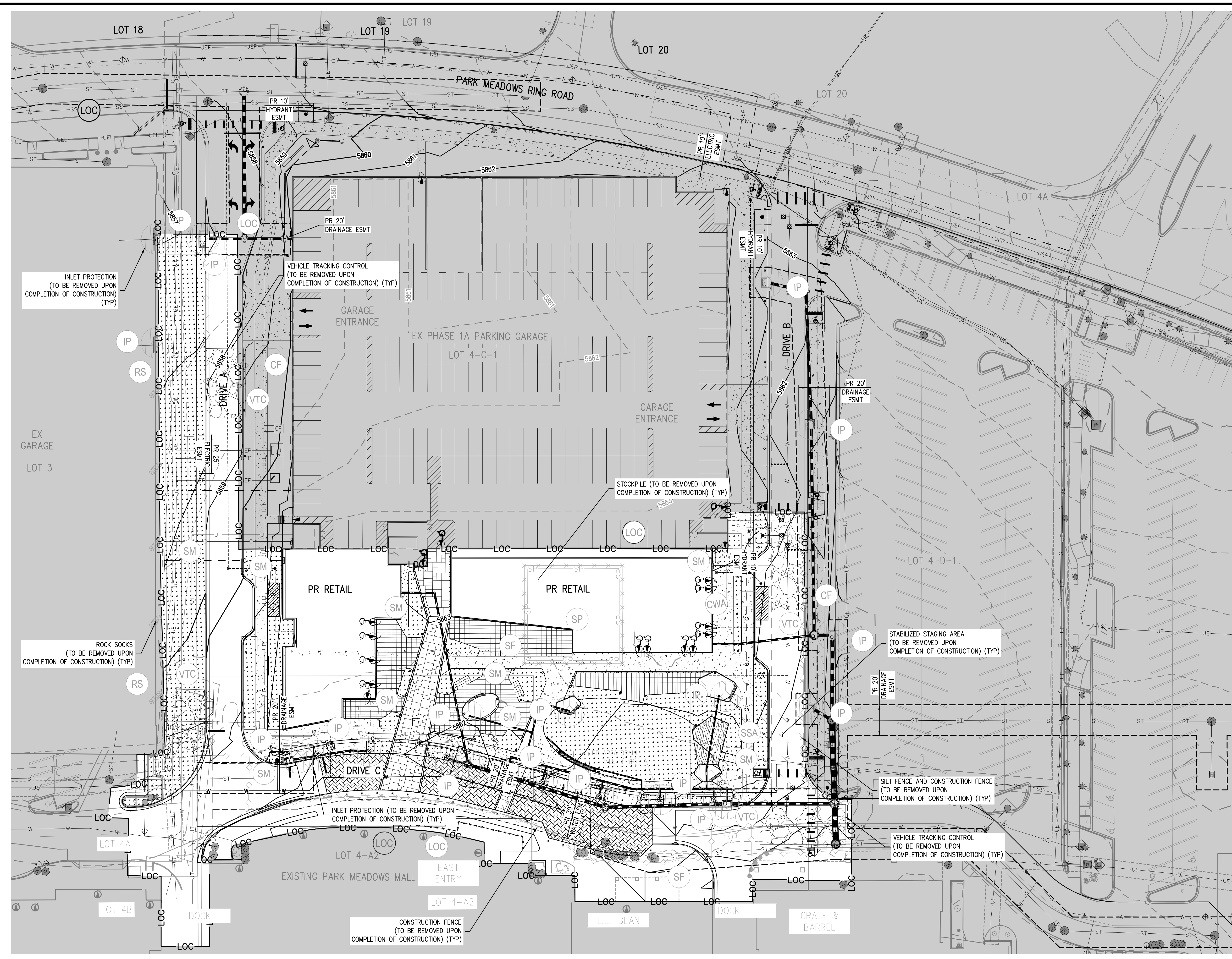
1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 INTERIM GESC PLAN - PHASE 1B

PROJECT #: 231016
 SHEET NUMBER
EC10
 10 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- NOTES:**
- SEE COVER SHEET OF LONE TREE STANDARD NOTES AND DETAILS (SHEET 1 OF 3) FOR LEGEND OF BMP NAMES AND SYMBOLS.
 - SHADED BMPs INSTALLED IN THE INITIAL AND INTERIM GESC PLANS, UNLESS OTHERWISE INDICATED, SHALL BE LEFT IN PLACE UNTIL REVEGETATION ESTABLISHMENT IS APPROVED BY THE CITY.
 - SEE CONSTRUCTION PLANS FOR DETAILS OF PERMANENT DRAINAGE FACILITIES SUCH AS DETENTION FACILITIES, CULVERTS, STORM DRAINS, AND INLET AND OUTLET PROTECTION.
 - PORTABLE TOILETS SHALL BE PLACED ON A PERVIOUS SURFACE AND STAKED DOWN ON ALL FOUR SIDES.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE _____

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ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2022\21016\ENGINEERING\GESC\ONEC-FINAL GESC PLAN\PH01B.DWG LAYOUT LAYOUT LAYOUT
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CHECKED: JDO
DRAWN: ODV
PLOTTED: TUE 06/04/24 5:59:37P BY: LIBBEY ENDERSE

DESIGNED BY: ODV
CHECKED BY: JDO
DRAWN BY: ODV

ISSUE DATE: 03-29-2024

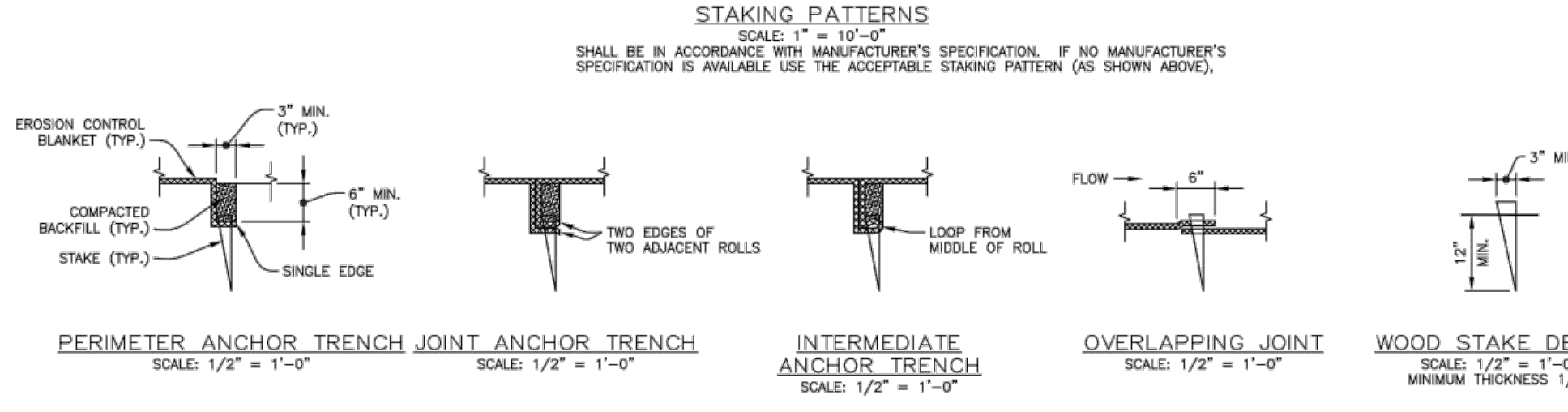
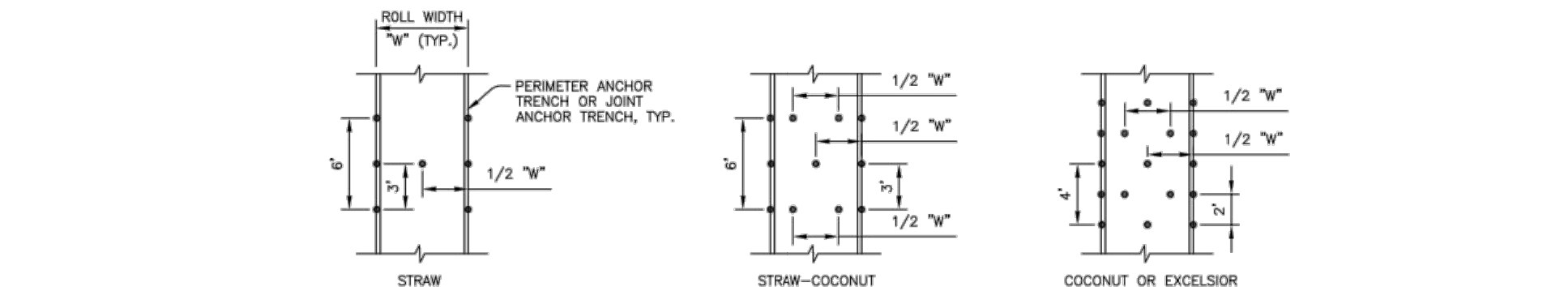
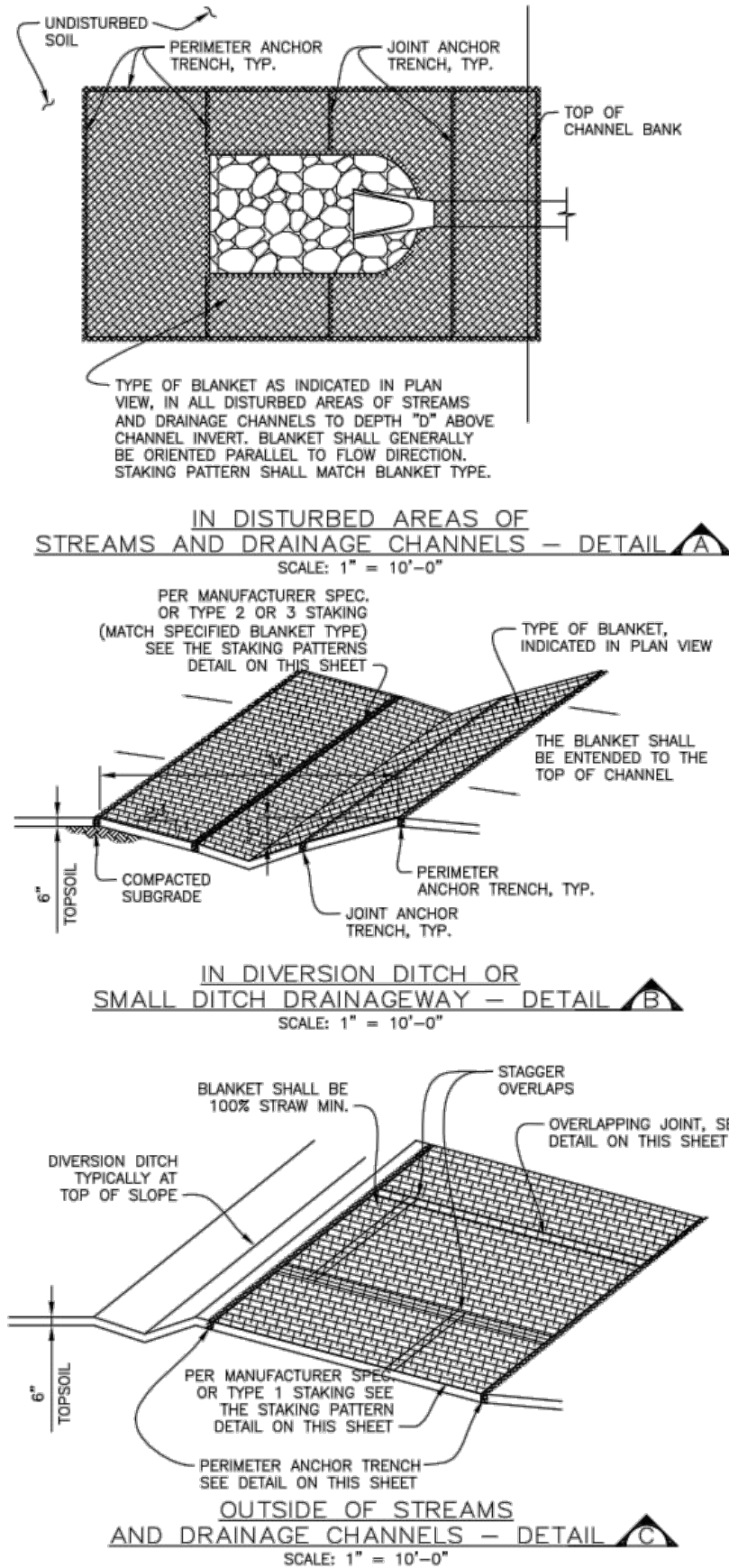
| DATE | REVISION COMMENTS |
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| 06-04-2024 | CITY SUBMITTAL |

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Denver, Colorado 80203
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PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
FINAL GESC PLAN - PHASE 1B

PROJECT #: 231016
SHEET NUMBER
EC11
11 OF 17



EROSION CONTROL BLANKET INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF PERIMETER OF EROSION CONTROL BLANKET.
 - TYPE OF BLANKET (STRAW, STRAW-COCOANUT, COCONUT OR EXCELSIOR).
 - AREA "A" IN SQUARE YARDS OF EACH TYPE OF BLANKET.
- ALL EROSION CONTROL BLANKETS AND NETTING SHALL BE MADE OF 100% NATURAL AND BIODEGRADABLE MATERIAL, NO PLASTIC OR OTHER SYNTHETIC MATERIAL, EVEN IF PHOTO DEGRADABLE, SHALL BE ALLOWED.
- IN AREAS WHERE EROSION CONTROL BLANKET IS SHOWN ON THE PLANS, THE PERMITEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING BELOW THE BLANKET IN ACCORDANCE WITH THE REQUIREMENTS OF DETAIL 17. SEEDING AND MULCHING SUBGRADE SHALL BE SMOOTH AND MOST PRIOR TO BLANKET INSTALLATION AND THE BLANKET SHALL BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
- PERIMETER ANCHOR TRENCH SHALL BE USED AT OUTSIDE PERIMETER OF ALL BLANKET AREAS.
- JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF BLANKETS TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL BLANKETS EXCEPT STRAW, WHICH MAY USE AN OVERLAPPING JOINT.
- INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF THE ROLL LENGTH FOR COCONUT AND EXCELSIOR BLANKETS.
- THE OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF BLANKETS TOGETHER FOR BLANKETS ON SLOPES.
- MATERIAL SPECIFICATIONS OF EROSION CONTROL BLANKET SHALL CONFORM TO TABLE 7.1.

EROSION CONTROL BLANKET TYPE

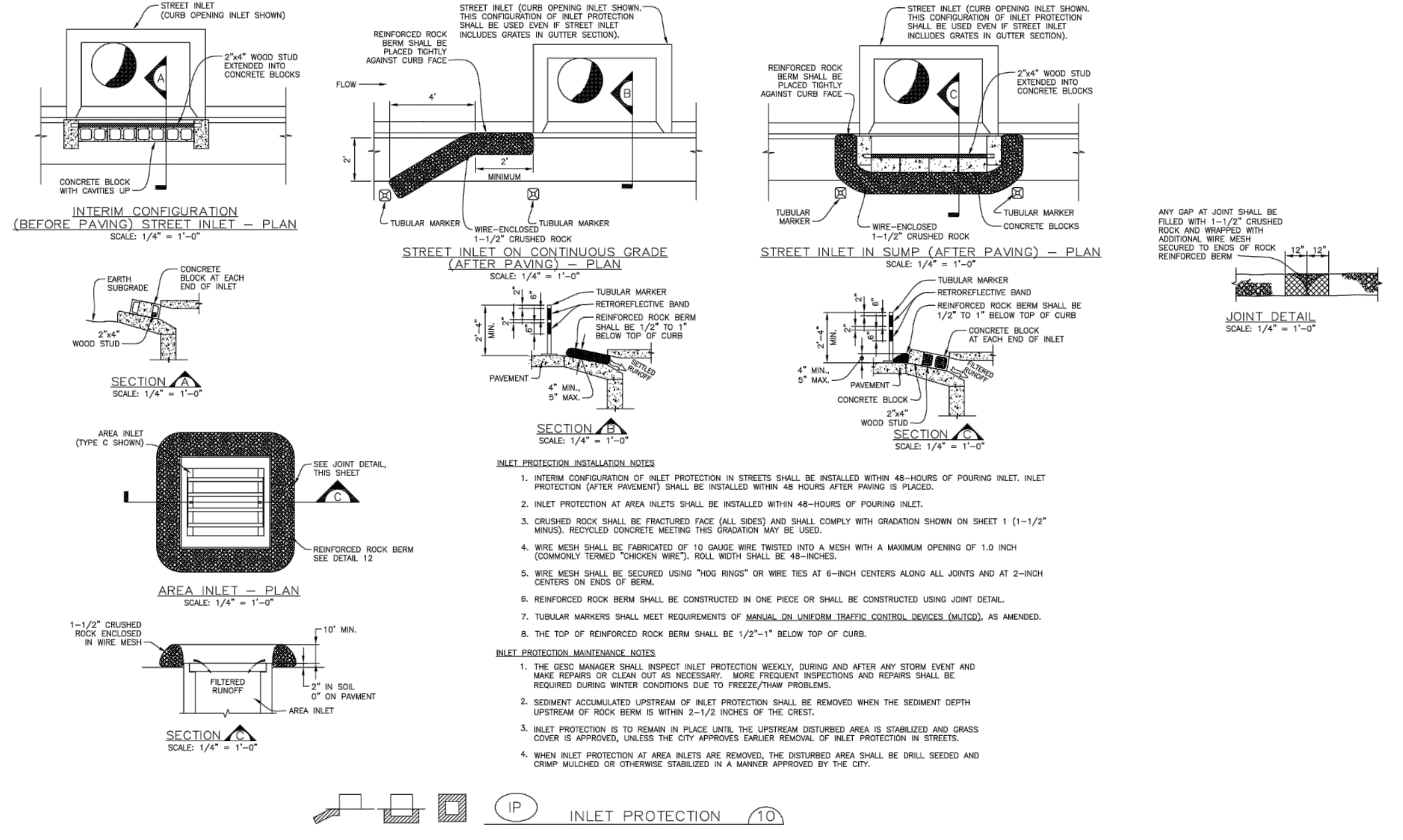
| TYPE | COCONUT | STRAW | EXCELSIOR | NETTING MIN. |
|----------------|---------|----------|-----------|----------------|
| STRAW* | - | 100% | - | DOUBLE/NATURAL |
| STRAW-COCOANUT | 30% | MIN. 70% | MAX. | DOUBLE/NATURAL |
| COCONUT | 100% | - | 100% | DOUBLE/NATURAL |
| EXCELSIOR | - | - | 100% | DOUBLE/NATURAL |

* FOR OUTSIDE OF STREAMS AND DRAINAGE CHANNELS

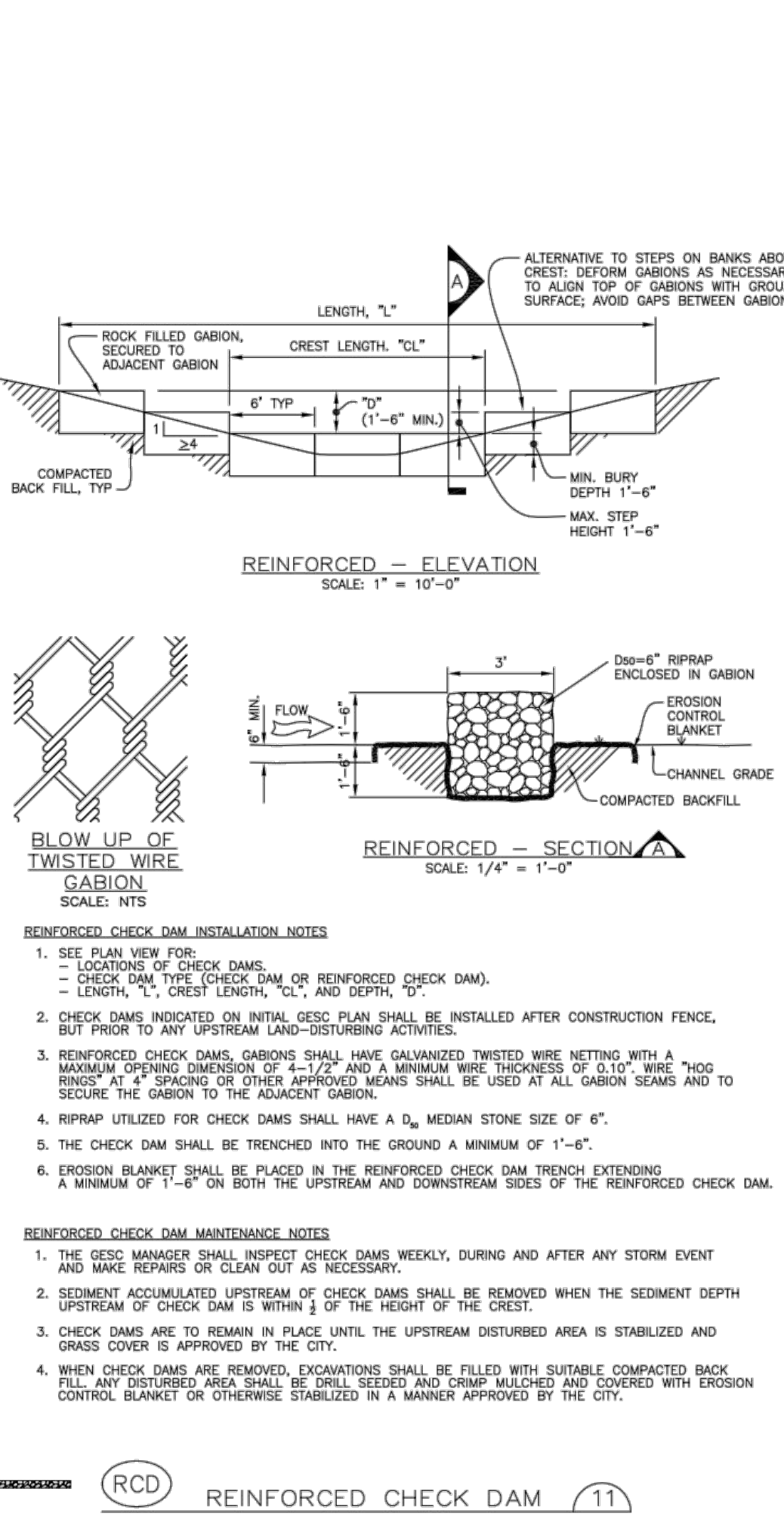
EROSION CONTROL BLANKET MAINTENANCE NOTES

- THE GESC MANAGER SHALL INSPECT EROSION CONTROL BLANKETS WEEKLY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS AS NECESSARY.
- EROSION CONTROL BLANKET IS TO BE LEFT IN PLACE UNLESS REQUESTED TO BE REMOVED BY THE CITY.
- ANY EROSION CONTROL BLANKET PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE RE-INSTALLED. ANY SUBGRADE AREAS BELOW THE BLANKET THAT HAVE ERODED TO CREATE A VOID UNDER THE BLANKET, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEDED AND MULCHED AND THE EROSION CONTROL BLANKET REINSTALLED.

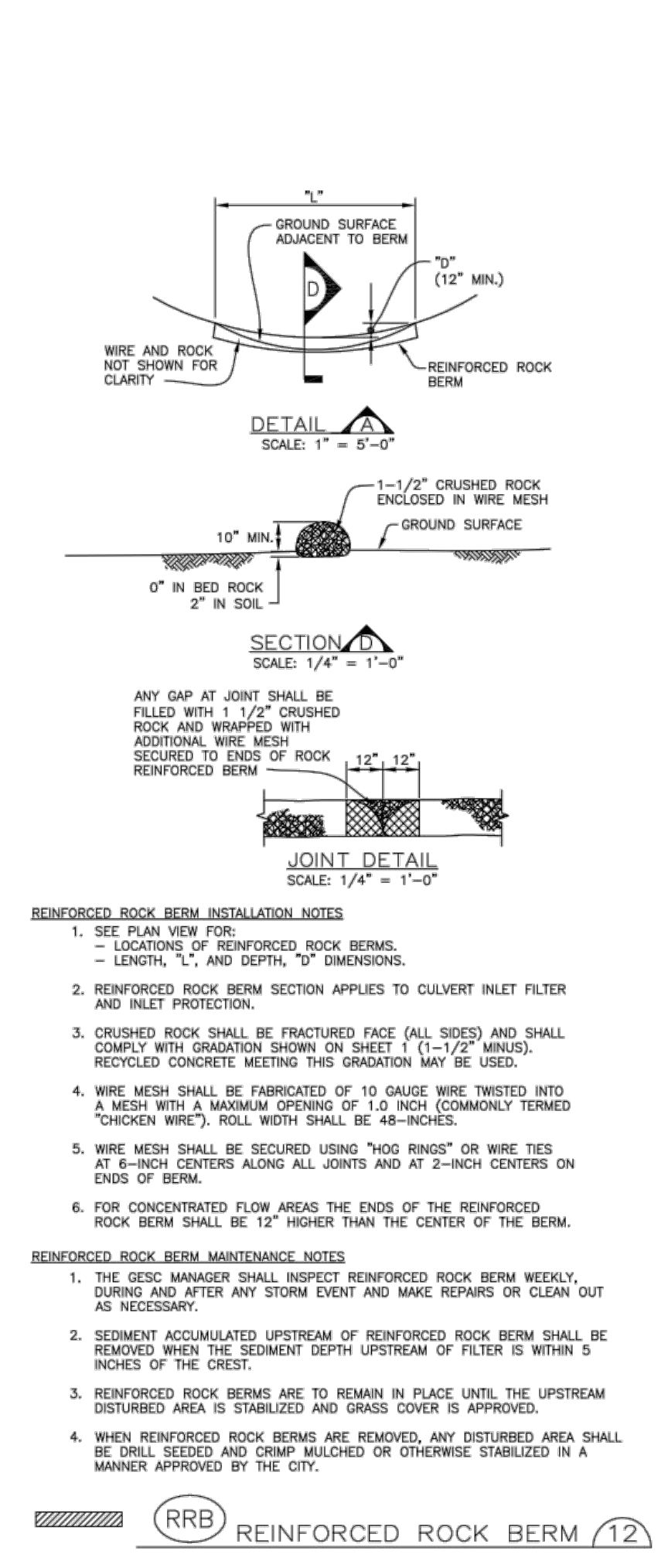
EROSION CONTROL BLANKET 9



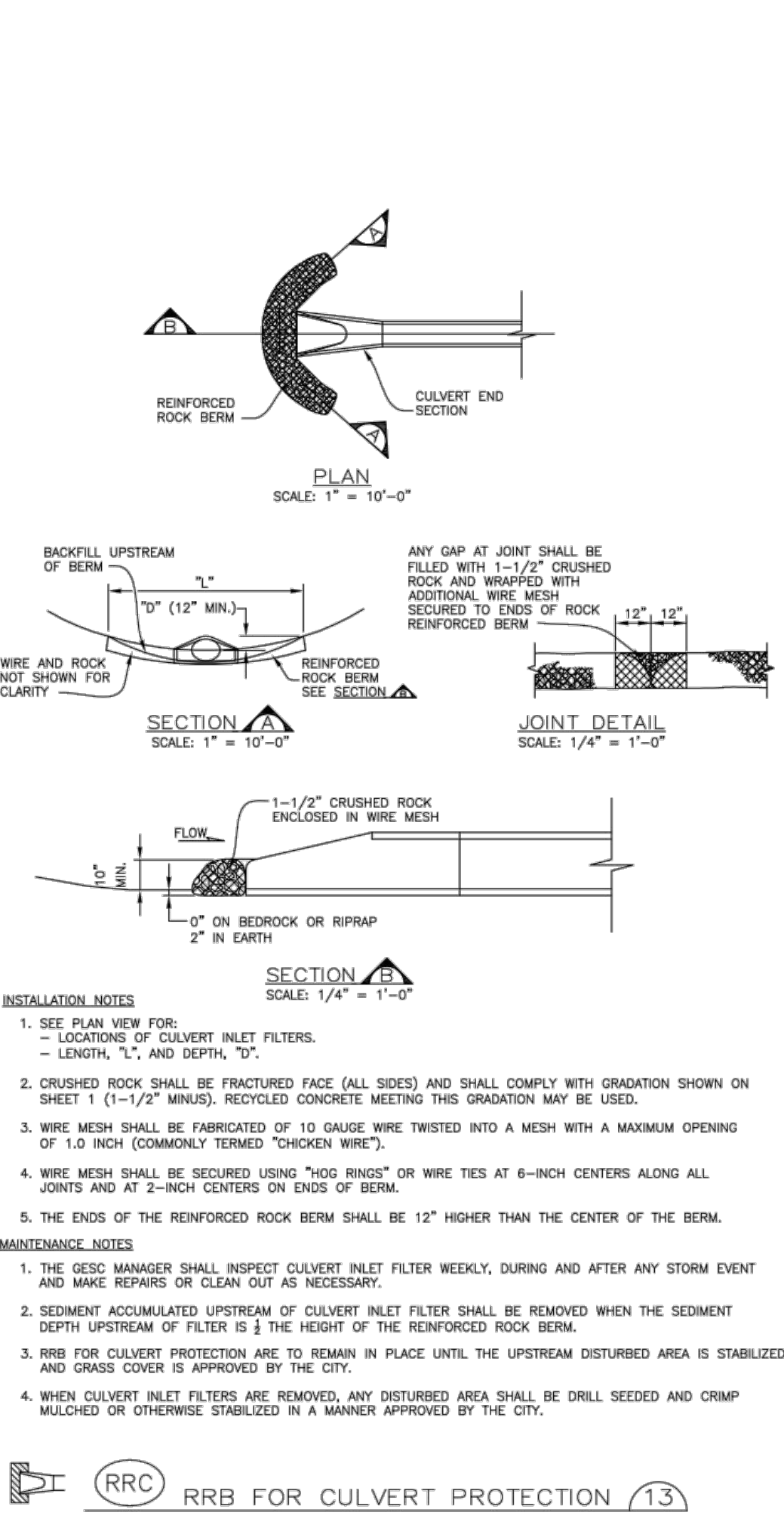
INLET PROTECTION 10



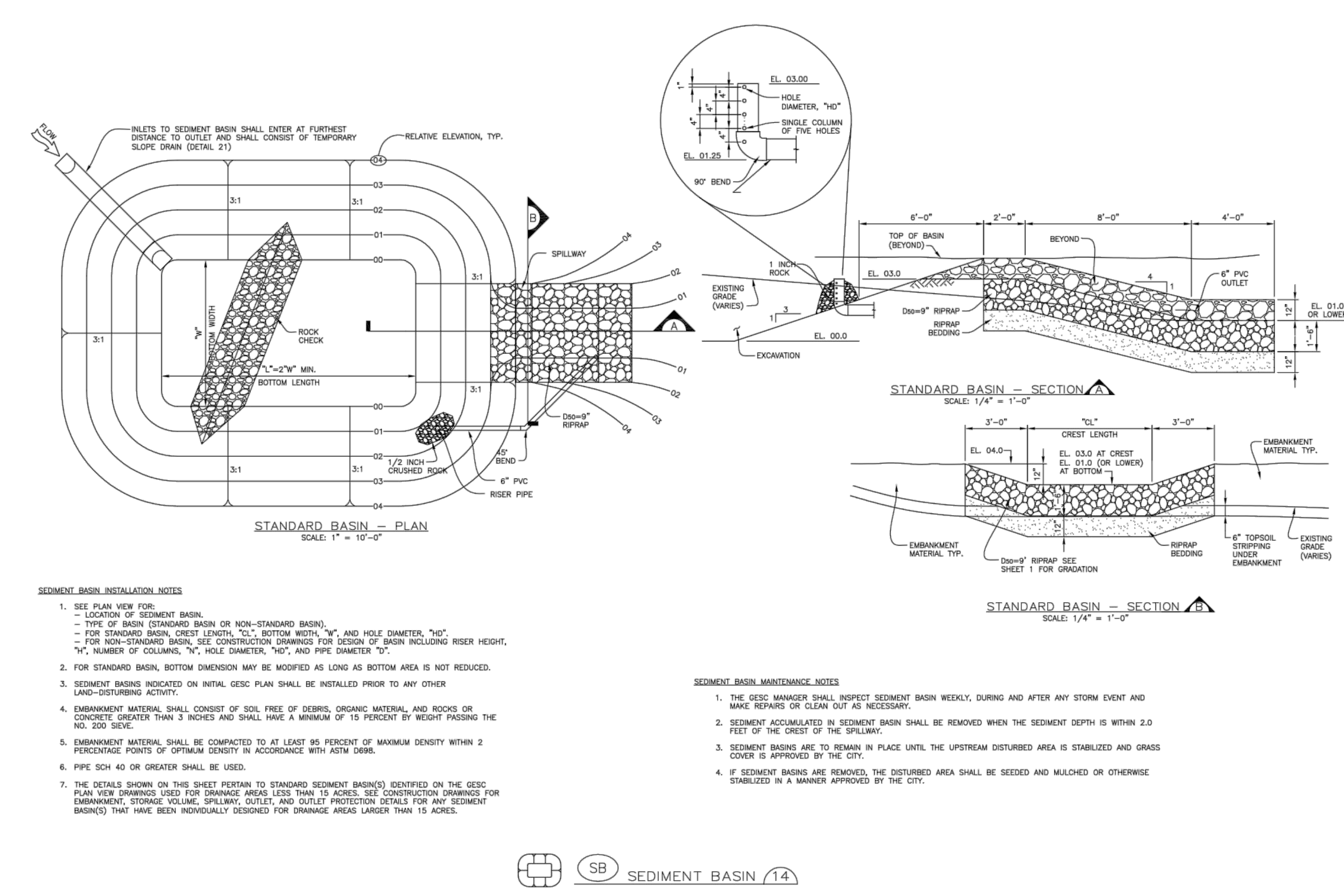
REINFORCED CHECK DAM 11



REINFORCED ROCK BERM 12



RRB FOR CULVERT PROTECTION 13



SEDIMENT BASIN 14

Sheet Revisions

| Date | Description | By |
|---------|---|-----|
| 6/30/05 | ADOPTED FROM DOUGLAS COUNTY GESC PLANS | MLP |
| 5/ /08 | EDIT UPDATES | GAW |
| 11/ /08 | ADD CURB SOCK DETAIL (REF UDFCC, V3 FIGURE C5-23), MISC. NOTE EDITS | GAW |

NOTE: SCALES SHOWN ARE FOR 24"x36" SHEETS; ADJUST ACCORDINGLY FOR 11"x17" SHEETS.

CITY OF LONE TREE
DEPARTMENT OF PUBLIC WORKS
Engineering Division

GESC GRADING, EROSION, AND SEDIMENT CONTROL

GESC PLAN STANDARD NOTES AND DETAILS SHEET 2 OF 3

LEGAL DESCRIPTION:

LOT 4-C-1, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 8TH AMENDMENT, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTHWEST LINE OF LOT 4-B, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 6TH AMENDMENT RECORDED AT RECEPTION NO. 2002087418 AS BEARINGS NORTH 47°09'19" EAST. SAID LINE BEING MONUMENTED AT THE NORTHEAST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 28668", AND AT THE SOUTHWEST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 38098".

BENCHMARK:

BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED "2.113021 DC GIS" WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

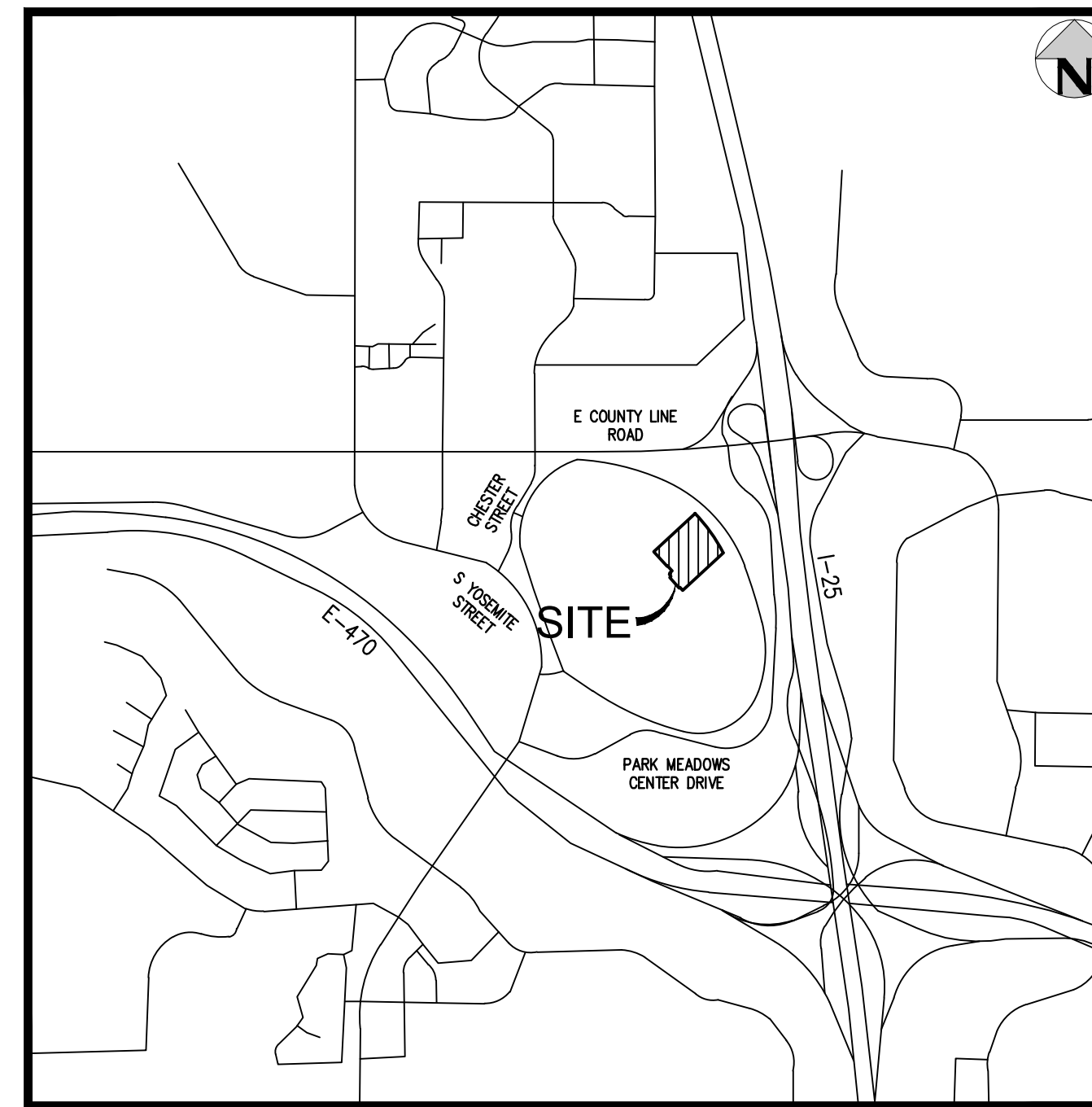
GENERAL NOTES:

- THE CITY OF LONE TREE ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE CITY OF LONE TREE SUBDIVISION RESOLUTION OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY OF LONE TREE ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- ALL ROADWAY CONSTRUCTION SHALL CONFORM TO CURRENT DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LONE TREE ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF LONE TREE PUBLIC WORKS, INSPECTION SECTION, (303) 662-8112, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION, AND/OR BEFORE RESTARTING CONSTRUCTION AFTER A SHUTDOWN OF MORE THAN 10 DAYS.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION, CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT (800) 922-1987 OR 811.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY (SIGNED BY BOTH DESIGN ENGINEER AND CITY OF LONE TREE) OF THE CONSTRUCTION PLANS AND GESC REPORT AND PLAN, AND ONE (1) COPY OF THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER, OR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
STORM SEWER CONNECTION SHEETS ST4, ST5, ST12, & ST13
- A ROW/CONSTRUCTION PERMIT MUST BE OBTAINED BEFORE ANY WORK WITHIN EXISTING OR PROPOSED PUBLIC ROW. THE PERMIT APPLICATION MUST BE SUBMITTED TO THE CITY OF LONE TREE ENGINEER FOR REVIEW/PROCESSING A MINIMUM OF 7 DAYS PRIOR TO REQUESTED START FOR THE WORK IN THE ROW.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE CITY OF LONE TREE ENGINEER FOR ACCEPTANCE WITH THE PERMIT APPLICATION. AN EXCAVATION OR PUBLIC IMPROVEMENTS CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
- THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR TWO (2) YEARS FROM THE DATE OF CITY OF LONE TREE ACCEPTANCE/APPROVAL. IF APPLICABLE CONSTRUCTION PERMITS HAVE NOT BEEN OBTAINED, AND CONSTRUCTION STARTED WITHIN THAT TIME, THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LONE TREE.
- CONTRACTOR SHALL NOTIFY THE CITY OF LONE TREE ENGINEER INSPECTOR WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY WHICH WILL BE CONVEYED TO THE CITY, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATORS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES). FAILURE TO NOTIFY ENGINEERING INSPECTOR TO ALLOW THEM TO INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITIES/INFRASTRUCTURE BY CITY AND/OR URBAN DRAINAGE.

PARK MEADOWS - GARAGE AND RETAIL

SITUATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

STORM WATER PLANS



VICINITY MAP
SCALE: 1" = 1000'

| LEGEND: | EXISTING | PROPOSED |
|---|----------|----------|
| (NOTE THAT SYMBOLS MAY BE SCALED LARGER THAN ACTUAL SIZE FOR CLARITY) | | |
| PROPERTY BOUNDARY | --- | --- |
| EASEMENT LINE | --- | --- |
| STORM SEWER | --- | --- |
| SANITARY SEWER | SS | SS |
| WATER LINE | W | W |
| FIBER OPTIC | FO | FO |
| UNDERGROUND TELEPHONE | UT | UT |
| UNDERGROUND ELECTRIC | UE | UE |
| OVERHEAD ELECTRIC | OE | OE |
| TRANSFORMER | ⊠ | ⊠ |
| STREET LIGHT | ⊙ | ⊙ |
| GAS MAIN | G | G |
| FENCE | --- | --- |
| TYPE 1 HANDRAIL | --- | --- |
| TYPE 2 HANDRAIL | --- | --- |
| RETAINING WALL | --- | --- |
| BUILDING ENTRANCE | ⊙ | ⊙ |
| HANDICAP PARKING | ♿ | ♿ |
| PARKING COUNT | 5400 | 5400 |
| CONTOUR | --- | --- |
| TREES | ⊙ | ⊙ |
| SANITARY SERVICE W/ CLEAN OUT | ⊙ | ⊙ |

| ABBREVIATIONS | |
|---------------|--------------------------|
| BLDG | BUILDING |
| BOP | BOTTOM OF PIPE |
| BS | BOTTOM OF STEP |
| BW | BOTTOM OF WALL (FG) |
| CONC | CONCRETE |
| DIA | DIAMETER |
| DIP | DUCTILE IRON PIPE |
| DR | DOOR |
| DS | DOWNSPOUT |
| E | EAST, EASTING |
| EGL | ENERGY GRADE LINE |
| EL | ELEVATION |
| EOA | EDGE OF ASPHALT |
| EOC | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| ESMT | EASEMENT |
| EX | EXISTING |
| FES | FLARED END SECTION |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| GB | GRADE BREAK |
| GV | GATE VALVE |
| HC | HANDICAP |
| HGL | HYDRAULIC GRADE LINE |
| HORZ | HORIZONTAL |
| HP | HIGH POINT |
| INV | INVERT |
| LP | LOW POINT |
| LSD | LANDSCAPE DRAIN |
| MAX | MAXIMUM |
| MH | MANHOLE |
| MIN | MINIMUM |
| MJ | MECHANICAL JOINT |
| N | NORTH, NORTHING |
| PHS | PHASE |
| PR | PROPOSED |
| PVC | POLYVINYL CHLORIDE |
| RCP | REINFORCED CONCRETE PIPE |
| ROW | RIGHT-OF-WAY |
| SAN | SANITARY |
| SL | STREET LIGHT |
| SS | SANITARY SEWER |
| STA | STATION |
| STM | STORM |
| TB | THRUST BLOCK |
| TBC | TOP/BACK OF CURB |
| TOP | TOP OF PIPE |
| TS | TOP OF STEP |
| TW | TOP OF WALL (FG) |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| WAT | WATER |

| SHEET INDEX | |
|--------------|--|
| Sheet Number | Sheet Title |
| ST1 | COVER SHEET |
| ST2 | OVERALL GRADING PLAN - PHASE 1A |
| ST3 | MAJOR DRAINAGE PLAN 1A |
| ST4 | STORM PLAN & PROFILE - PHASE 1A |
| ST5 | STORM PLAN & PROFILE - PHASE 1A |
| ST6 | LANDSCAPE DRAIN PLAN - PHASE 1A |
| ST7 | FOUNDATION DRAIN PLAN - PHASE 1A |
| ST8 | WATER QUALITY DETENTION POND PLAN - PHASE 1A |
| ST9 | WATER QUALITY DETENTION POND STRUCTURE DETAILS- PHASE 1A |
| ST10 | OVERALL GRADING PLAN - PHASE 1B |
| ST11 | MAJOR DRAINAGE PLAN PHASE 1B |
| ST12 | STORM PLAN & PROFILE - PHASE 1B |
| ST13 | STORM PLAN & PROFILE - PHASE 1B |
| ST14 | LANDSCAPE DRAIN PLAN - PHASE 1B |
| ST15 | LANDSCAPE DRAIN DETAILS |
| ST16 | STORM DETAILS |
| ST17 | STORM DETAILS |

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.
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 Project: THE 060424.5.59.55P By: Libby Ederob



| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
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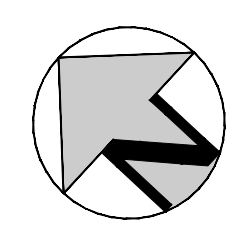
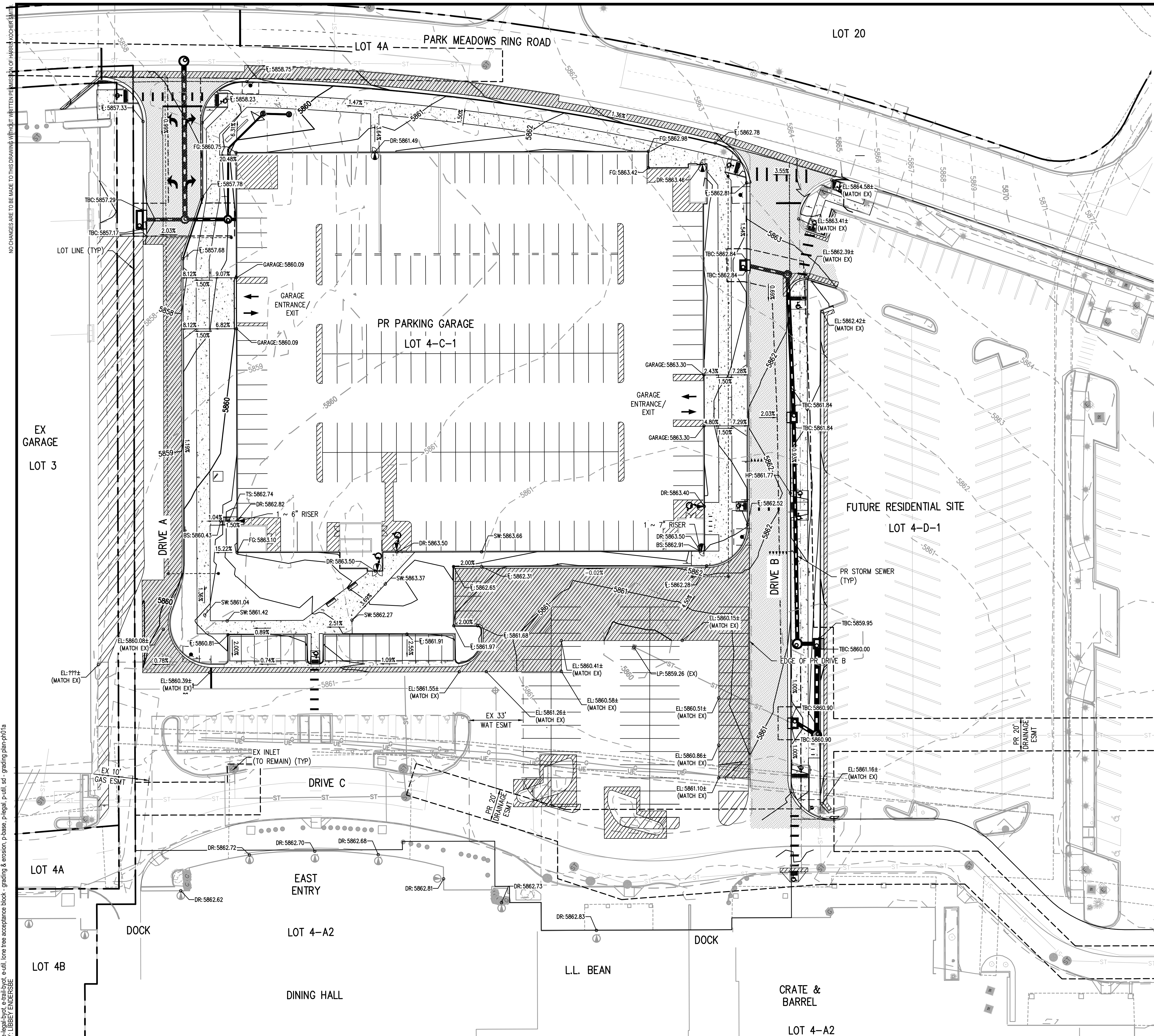


CITY OF LONE TREE

DATE _____

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ENGINEERING DIVISION ACCEPTANCE BLOCK



LEGEND

- EX
MANHOLE
- STORM SEWER
- CONTOURS
- PR
MANHOLE
- INLET
- STORM SEWER
- CONTOURS
- RETAINING WALL
- RETAINING WALL HEIGHT
- EX GRADES GREATER THAN SLOPE 5:1

- WATER QUALITY/RETENTION NOTES
1. WATER QUALITY (WQ) AND DETENTION WILL BE PROVIDED BY THE EXISTING REGIONAL WQ/RETENTION POND LOCATED SOUTHWEST OF THE SITE.
 2. THE EXISTING REGIONAL WQ/RETENTION POND OUTLET STRUCTURE WILL BE MODIFIED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS OUTLINED HEREIN.

BENCHMARK:
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CITY OF LONE TREE

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 CHECKED BY: JDO
 DRAWN BY: BS
 PLOTTED: TUE 06/04/2024 8:00:04 AM BY: LIBBEY ENDERSSE

DESIGNED BY: LME
 CHECKED BY: JDO
 DRAWN BY: BS

| DATE | REVISION COMMENTS |
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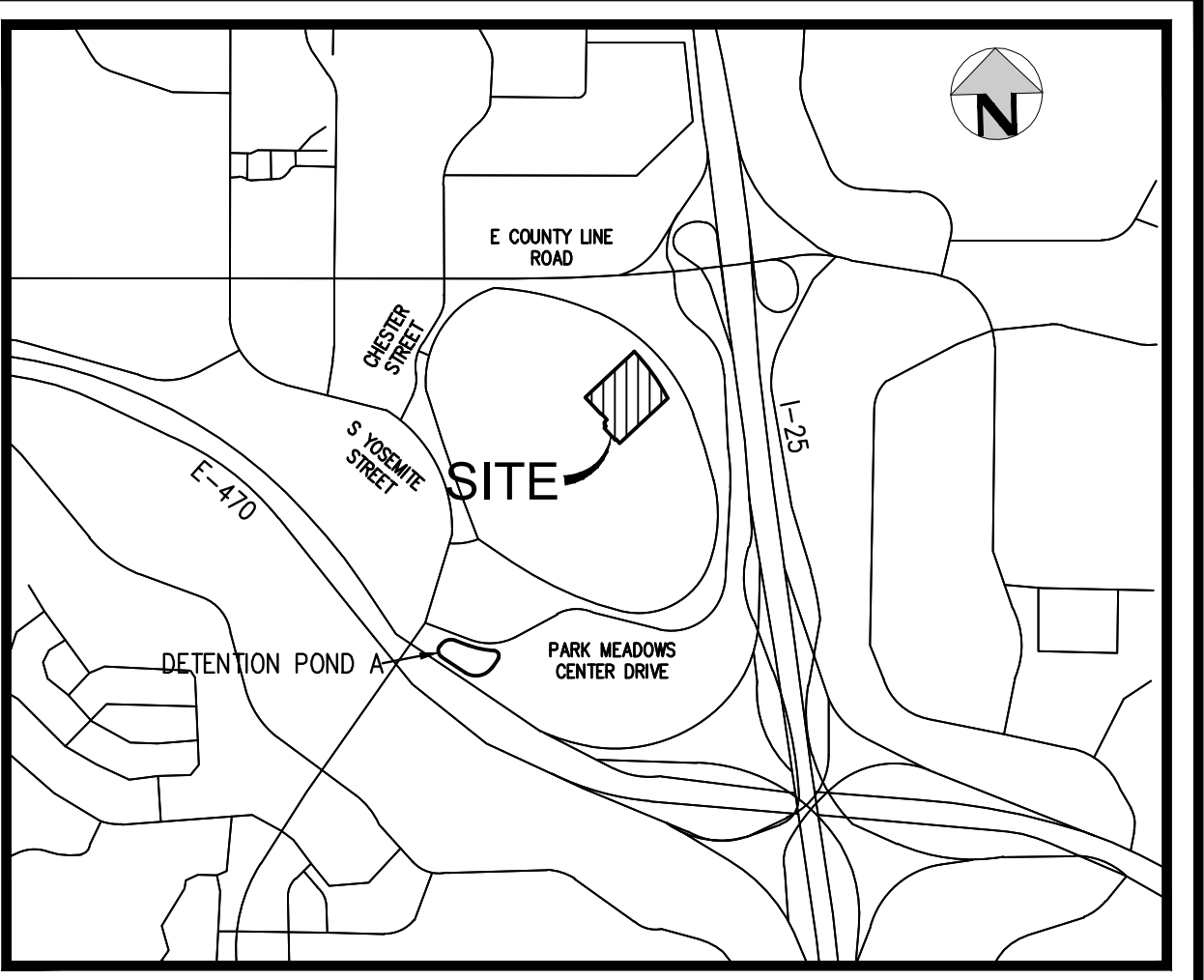
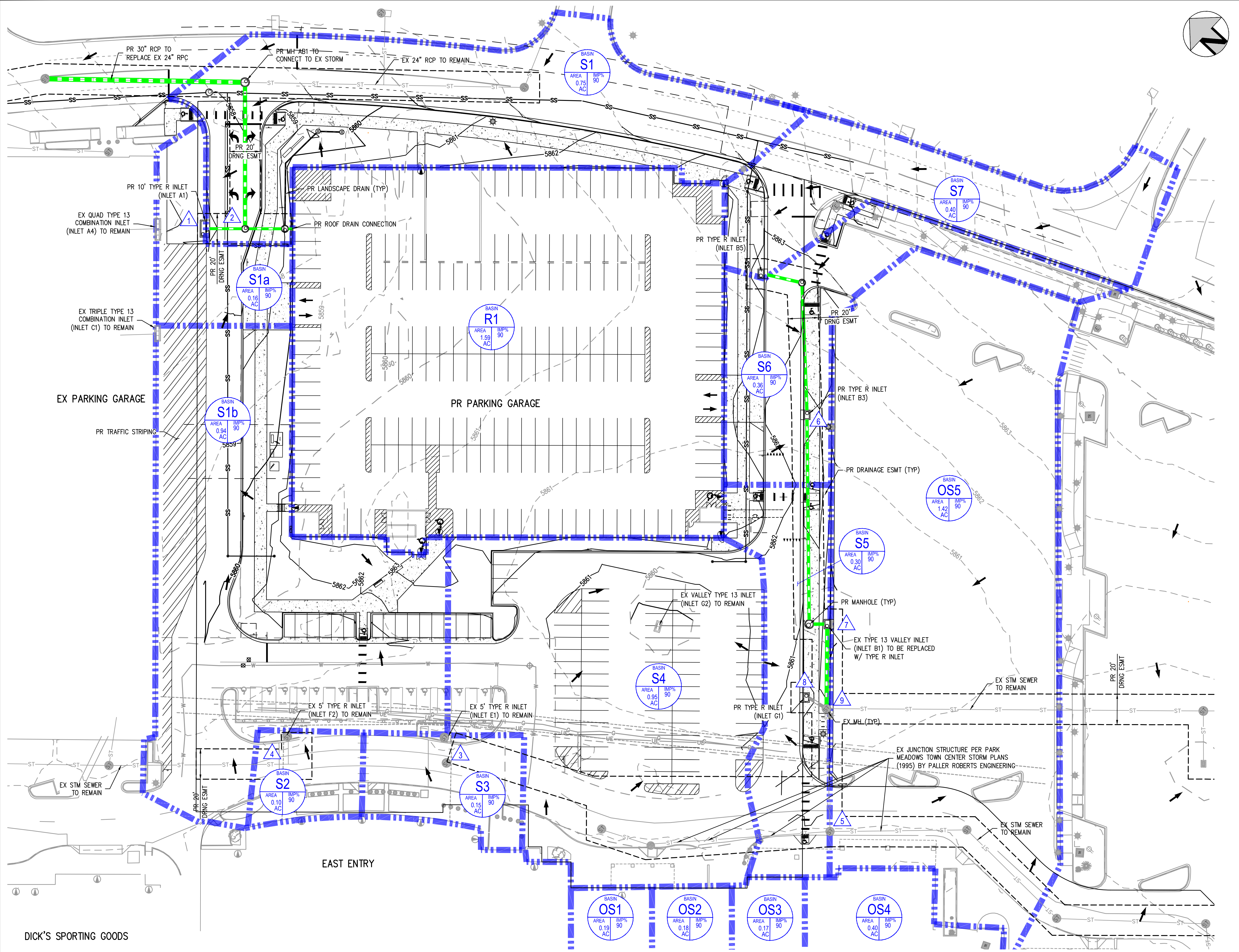
1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

**PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 OVERALL GRADING PLAN - PHASE 1A**

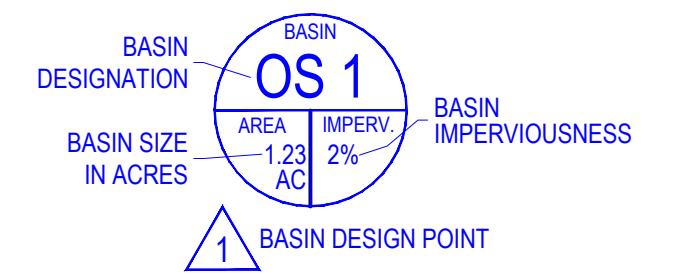
PROJECT #: 231016
 SHEET NUMBER
ST2
 2 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.
 FILE # 1: P:\2023\21016\ENGINEERING\DRAINAGE\PLAN 1A - P1A.DWG LAYOUT: MAJOR DRAINAGE PLAN 1A
 PLOTTED: TUE 05/04/24 6:00:48 BY: LIBBY ENGERSSE



VICINITY MAP
SCALE: 1"=1000'

- LEGEND:**
- BASIN BOUNDARY - - - - -
 - PROPOSED STORM SEWER W/ MH & INLET - - - - -
 - DRAINAGE FLOW →
 - PROPOSED CONTOURS - - - - -
 - EXISTING CONTOURS - - - - -
 - EXISTING STORM SEWER W/ MH & INLET - - - - -



DIRECT RUNOFF SUMMARY TABLE

| SUB-BASIN | AREA (AC) | Q5 (CFS) | Q100 (CFS) |
|-----------|-----------|----------|------------|
| S1 | 0.75 | 2.16 | 4.97 |
| S1a | 0.16 | 0.46 | 1.06 |
| S1b | 0.94 | 2.71 | 6.23 |
| S2 | 0.10 | 0.29 | 0.66 |
| S3 | 0.15 | 0.43 | 0.99 |
| S4 | 0.95 | 2.74 | 6.29 |
| S5 | 0.30 | 0.87 | 1.99 |
| S6 | 0.36 | 1.04 | 2.39 |
| S7 | 0.40 | 1.15 | 2.65 |
| R1 | 1.59 | 4.59 | 10.53 |
| OS1 | 0.19 | 0.55 | 1.26 |
| OS2 | 0.18 | 0.52 | 1.19 |
| OS3 | 0.17 | 0.49 | 1.13 |
| OS4 | 0.40 | 1.15 | 2.65 |
| OS5 | 1.42 | 4.10 | 9.41 |

BENCHMARK:
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 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

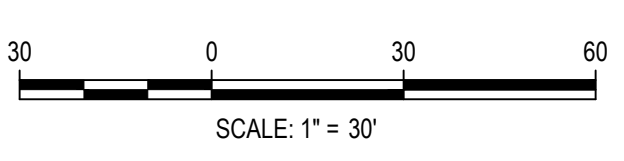
CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

DICK'S SPORTING GOODS



ISSUE DATE: 03-29-2024

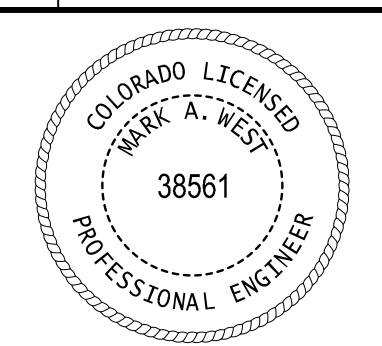
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| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

HKS HARRIS KOCHER SMITH

1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

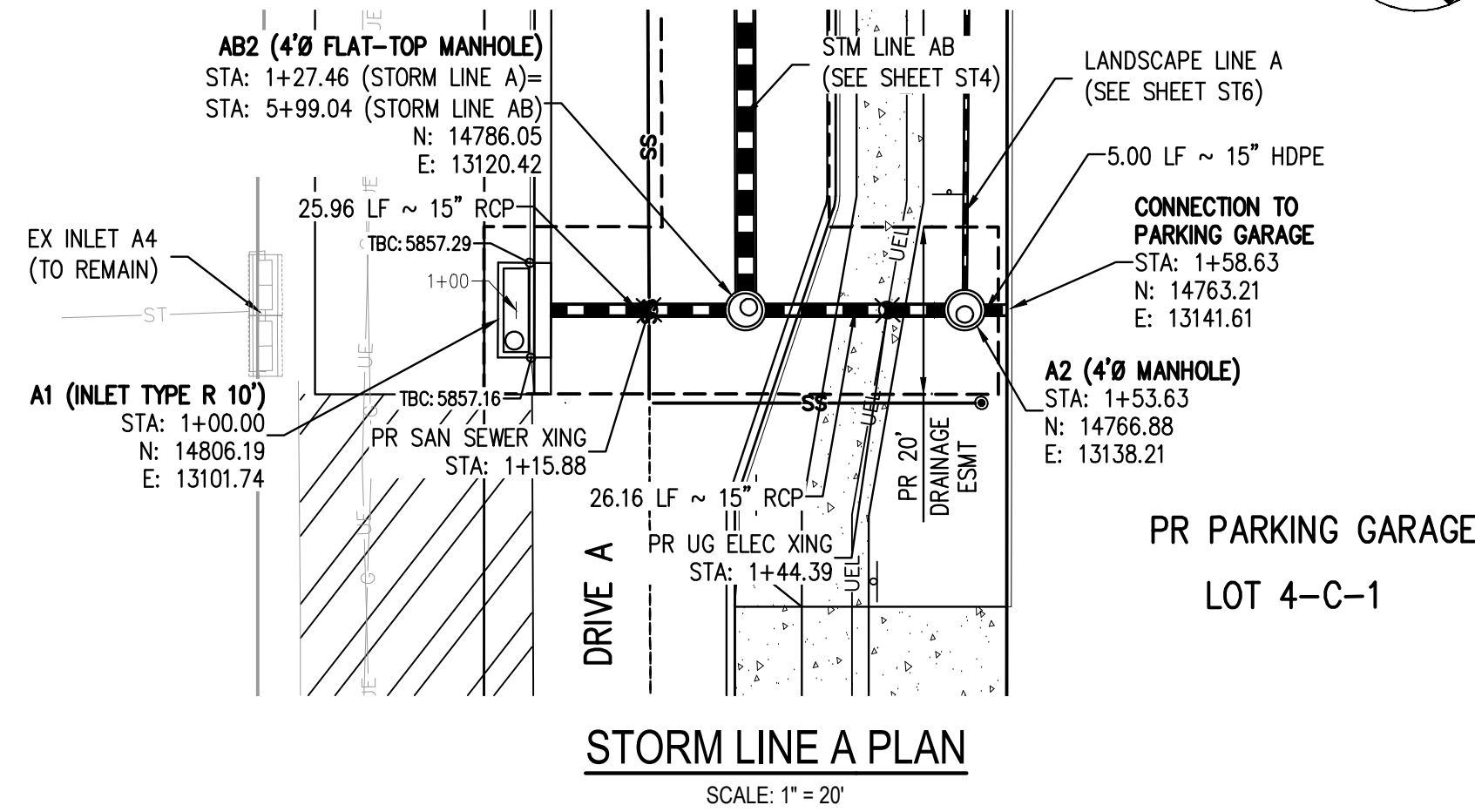
PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 MAJOR DRAINAGE PLAN 1A

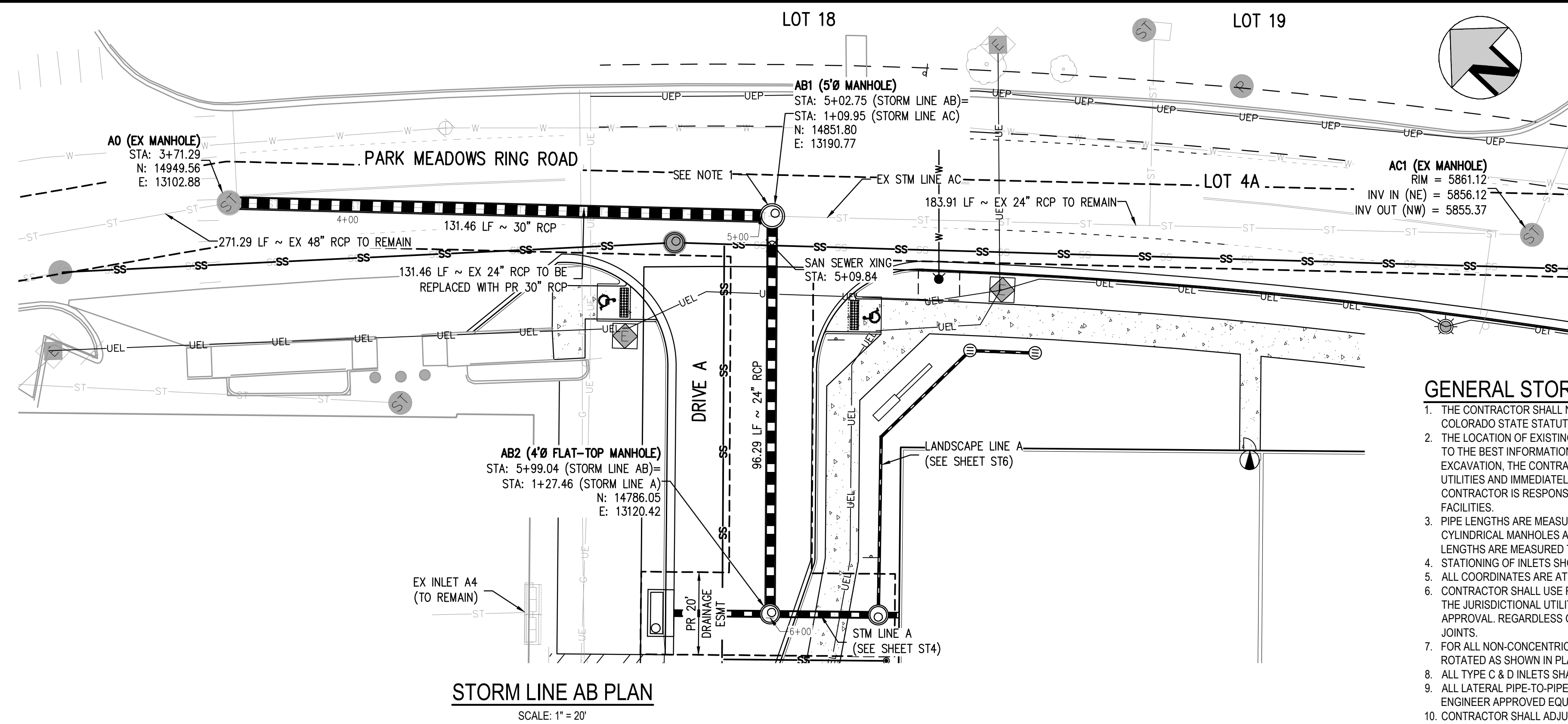


PROJECT #: 231016
 SHEET NUMBER
ST3
 3 OF 16

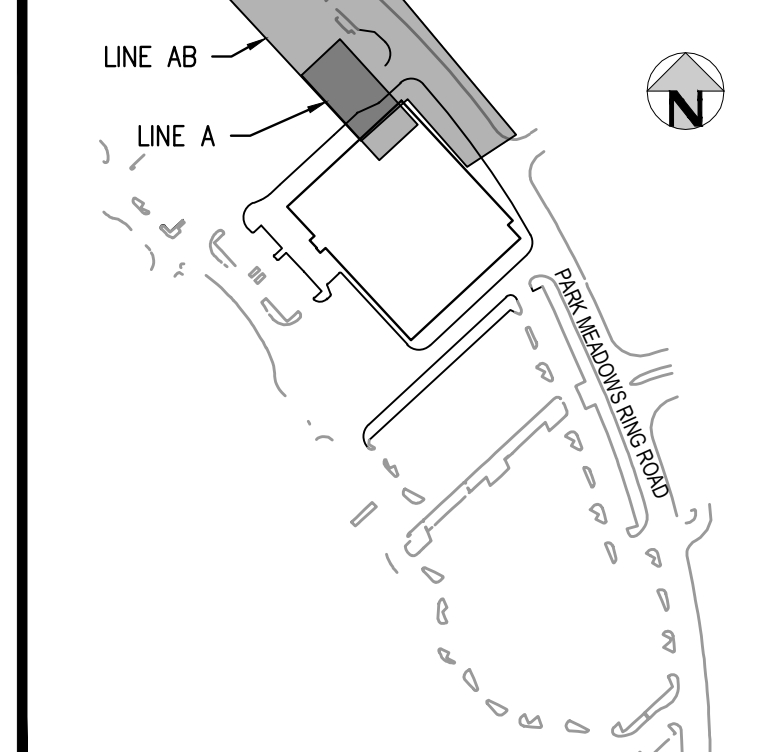
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STORM LINE A PLAN
SCALE: 1" = 20'



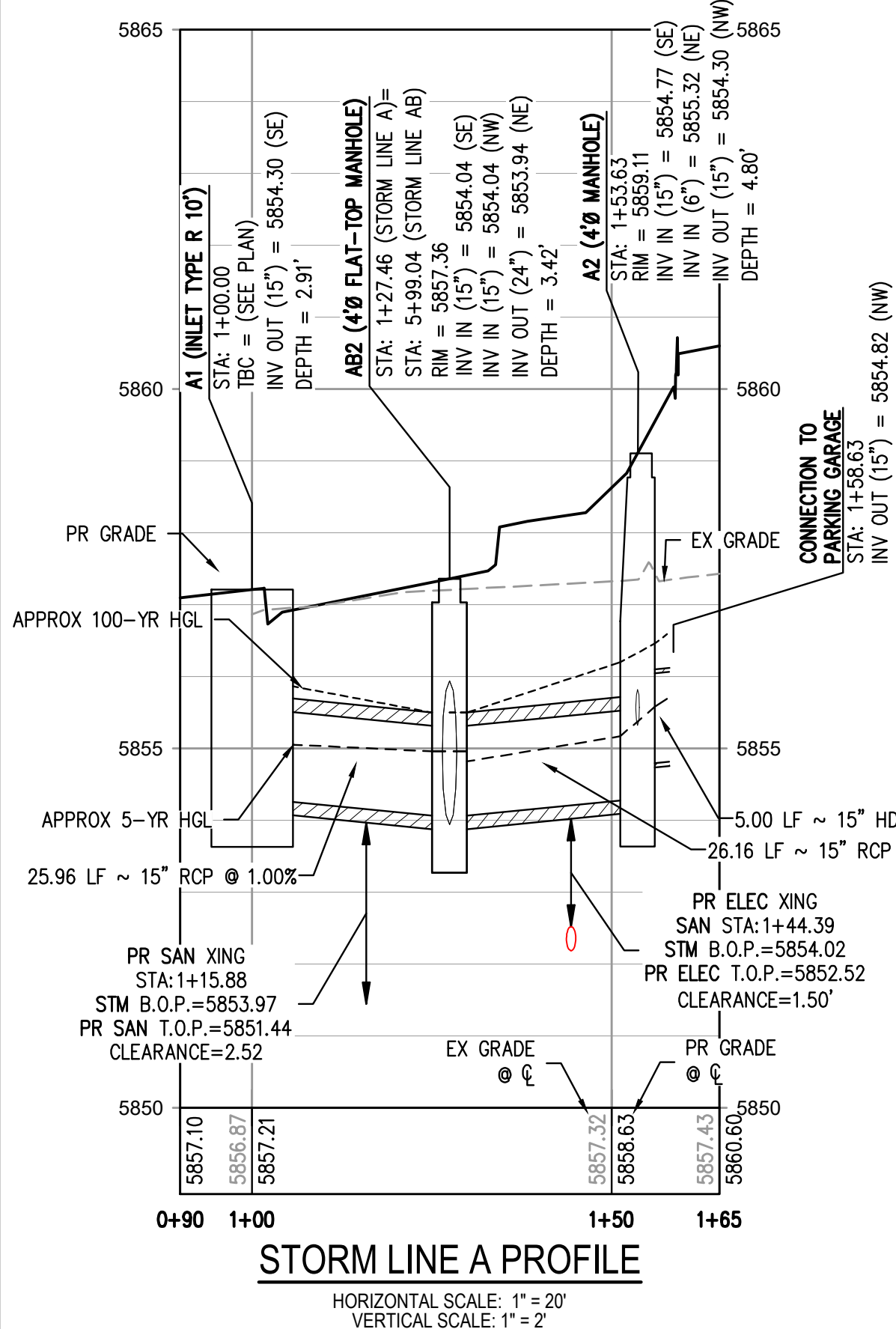
STORM LINE AB PLAN
SCALE: 1" = 20'



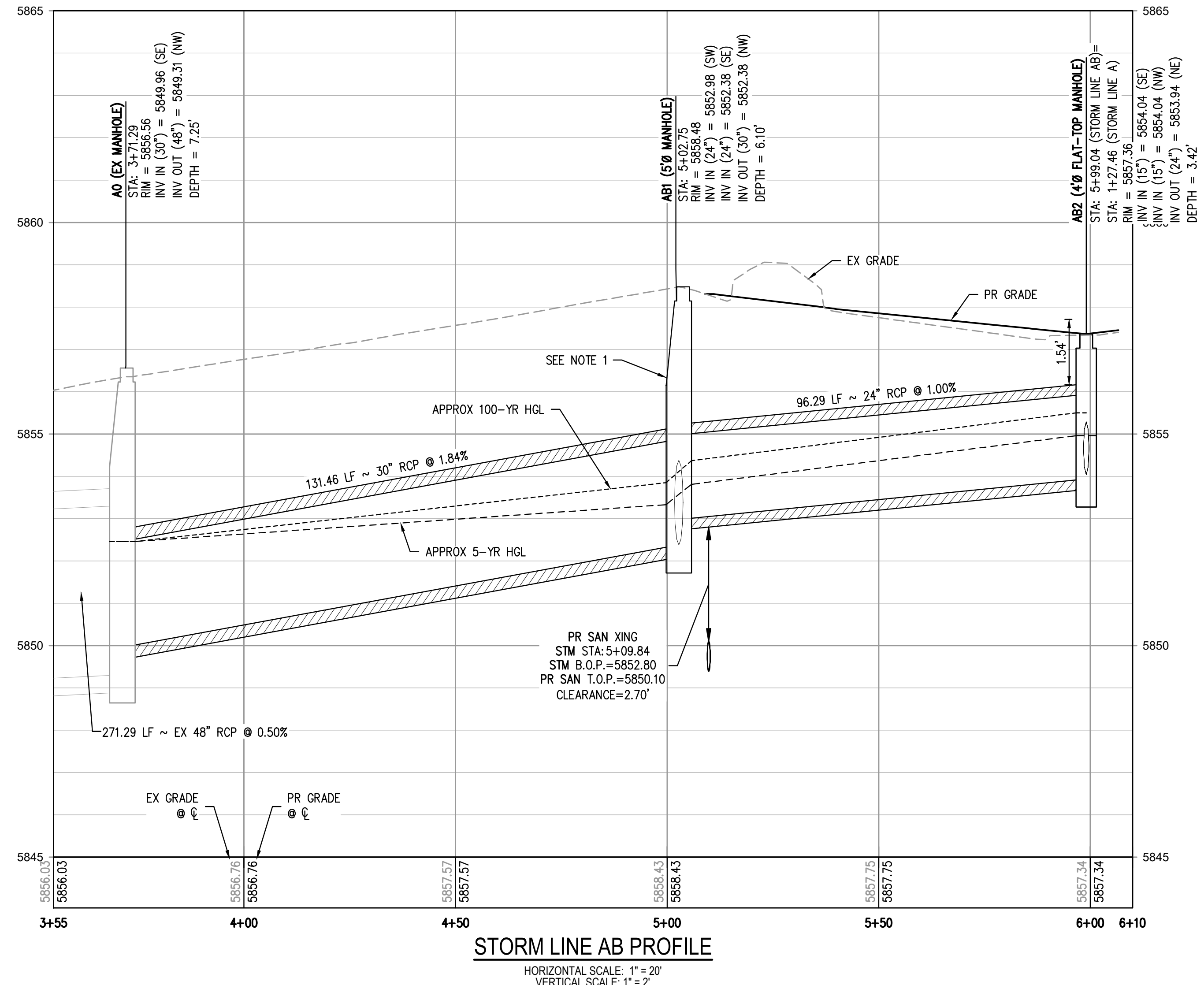
KEYMAP
SCALE: 1" = 300'

GENERAL STORM NOTES:

1. THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION, IN ACCORDANCE WITH COLORADO STATE STATUTES.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE. AS SUPPLIED BY THE UTILITY OWNERS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
3. PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE FOR CYLINDRICAL MANHOLES AND TO THE INSIDE FACE OF INLETS AND OTHER BOX STRUCTURES. PIPE LENGTHS ARE MEASURED TO THE END OF THE STRUCTURE FOR ALL FLARED END SECTIONS.
4. STATIONING OF INLETS SHOWN IN STORM SEWER PROFILES IS AT CENTER OF STRUCTURE.
5. ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
6. CONTRACTOR SHALL USE RCP, PVC, PP, OR HDPE PIPES FOR THE MAIN LINES, BUT SHALL NOTIFY THE JURISDICTIONAL UTILITY PROVIDER AND THE ENGINEER, PRIOR TO INSTALLATION, FOR APPROVAL. REGARDLESS OF PIPE MATERIAL, ALL STORM SEWER SHALL UTILIZE WATER-TIGHT JOINTS.
7. FOR ALL NON-CONCENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
8. ALL TYPE C & D INLETS SHALL HAVE CLOSE MESH GRATES.
9. ALL LATERAL PIPE-TO-PIPE CONNECTIONS SHALL BE MADE USING KOR-N-TEE CONNECTORS OR ENGINEER APPROVED EQUIVALENT.
10. CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
11. CONTRACTOR SHALL MODIFY INLET BASES AS NEEDED IN ORDER TO ENSURE ALL STORM PIPES CONNECT PROPERLY TO THE INLET. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ENGINEER, OWNER, AND CITY/COUNTY PRIOR TO INSTALLATION.
12. CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS, DESIGNED BY A LICENSED ENGINEER, DETAILING THE STRUCTURAL DESIGN OF ALL POND IMPROVEMENTS (FOREBAY, ENERGY DISSIPATING Baffles, OUTLET STRUCTURE, ETC.) FOR REVIEW AND APPROVAL BY ENGINEER, OWNER, AND CITY/COUNTY PRIOR TO INSTALLATION.
13. ANY SUBSURFACE DETENTION AND/OR WATER QUALITY SYSTEM DESIGNS SHOWN ON THESE PLANS (IF APPLICABLE) ARE SPECIFICALLY LIMITED TO ELEVATIONS, GRADES AND STORMWATER DETENTION AND/OR WATER QUALITY DESIGN VOLUMES AND RELEASE RATES. THE DESIGN AND PROFESSIONAL ENGINEER'S SEAL SPECIFICALLY EXCLUDES STRUCTURAL DESIGN (INCLUDING, BUT NOT LIMITED TO, BUOYANCY CALCULATIONS AND CONSTRUCTION, TRAFFIC, OR OTHER LOADING), DEWATERING, EXCAVATION, SHORING, AND MATERIALS AND BACKFILL SPECIFICATIONS. IF THE PROPOSED SYSTEM UTILIZES A PROPRIETARY AND/OR PRE-MANUFACTURED DETENTION AND/OR WATER QUALITY SYSTEM, THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED SYSTEM DESIGN, CALCULATIONS, MATERIALS AND BACKFILL SPECIFICATIONS WITH THE UNDERGROUND DETENTION AND/OR WATER QUALITY SYSTEM MANUFACTURER AND/OR SUPPLIER. CONSTRUCTION OBSERVATION BY THE MANUFACTURER'S REPRESENTATIVE IS ESSENTIAL FOR PROPER INSTALLATION OF UNDERGROUND DETENTION AND/OR WATER QUALITY SYSTEMS. AT A MINIMUM, THE INSTALLATION SHOULD BE INSPECTED BY THE MANUFACTURER'S REPRESENTATIVE DURING CONSTRUCTION AND ANY DEFICIENCIES OF THE INSTALLATION IDENTIFIED BY THE MANUFACTURER'S INSPECTION SHOULD BE CORRECTED IMMEDIATELY.



STORM LINE A PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



STORM LINE AB PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

LEGEND

- | | | | | |
|----|---|----------------------------|----|---|
| EX | ● | MANHOLE | PR | ⊙ |
| | ○ | HYDRANT | | ● |
| | — | STREET LIGHT | | — |
| | — | UNDERGROUND ELECTRIC WATER | | — |
| | — | DOMESTIC WATER SERVICE | | — |
| | — | FIRE WATER SERVICE | | — |
| | — | IRRIGATION WATER | | — |
| | — | GAS | | — |
| | — | STORM SEWER | | — |
| | — | SANITARY SEWER | | — |
| | — | UNDERGROUND TELECOMM | | — |
| | — | WATER | | — |
| | — | STORM SEWER | | — |
| | — | SANITARY SEWER | | — |
| | — | SANITARY SERVICE | | — |

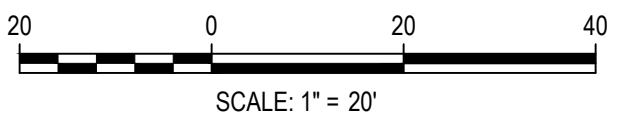
BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED*
2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

NOTE:
1. THE INVERT IN ELEVATION FOR MANHOLE AB1 IS APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION FOR THE EXISTING STORM PIPE IT WILL BE CONNECTED TO. THIS MANHOLE MUST BE CAST-IN-PLACE AROUND THE EXISTING PIPE TO ACCOMMODATE MINOR ADJUSTMENTS IN THE ELEVATIONS DUE TO THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL DETERMINE THE EXISTING PIPE ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2. HYDRAULIC GRADE LINES ARE REPRESENTATIVE OF THE PHASE FLOWS FOR LINES A AND AB, AS MORE FLOW AND AREA CONTRIBUTE TO THE LINES IN THE ULTIMATE CONDITION.

CITY OF LONE TREE
DATE
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ENGINEERING DIVISION ACCEPTANCE BLOCK



Know what's below.
Call before you dig.



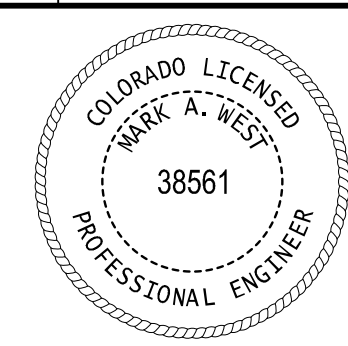
DESIGNED BY: LME
CHECKED BY: JDO
DRAWN BY: BS

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PARK MEADOWS - GARAGE AND RETAIL
STORM PLAN & PROFILE - PHASE 1A

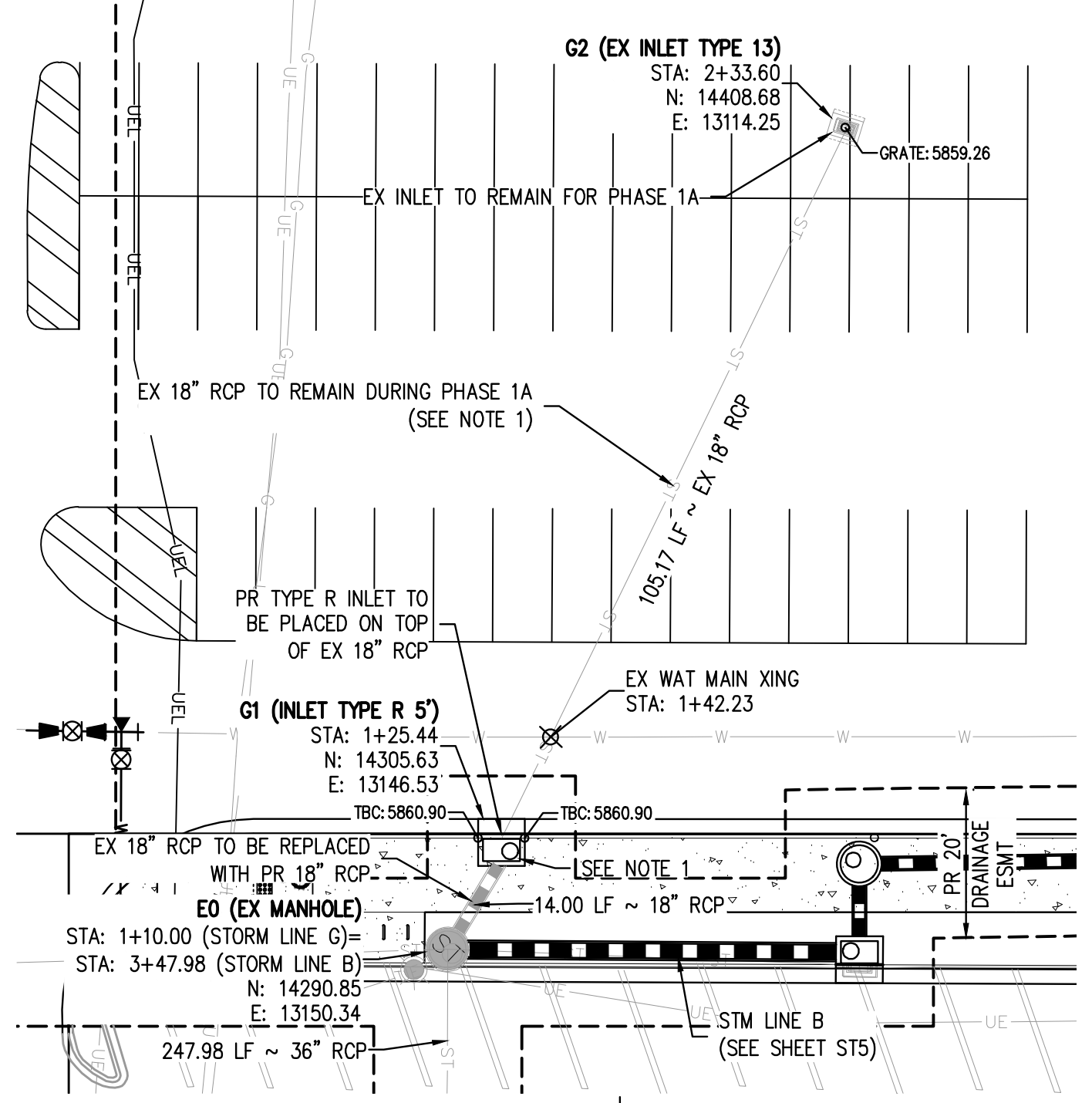


PROJECT #: 231016

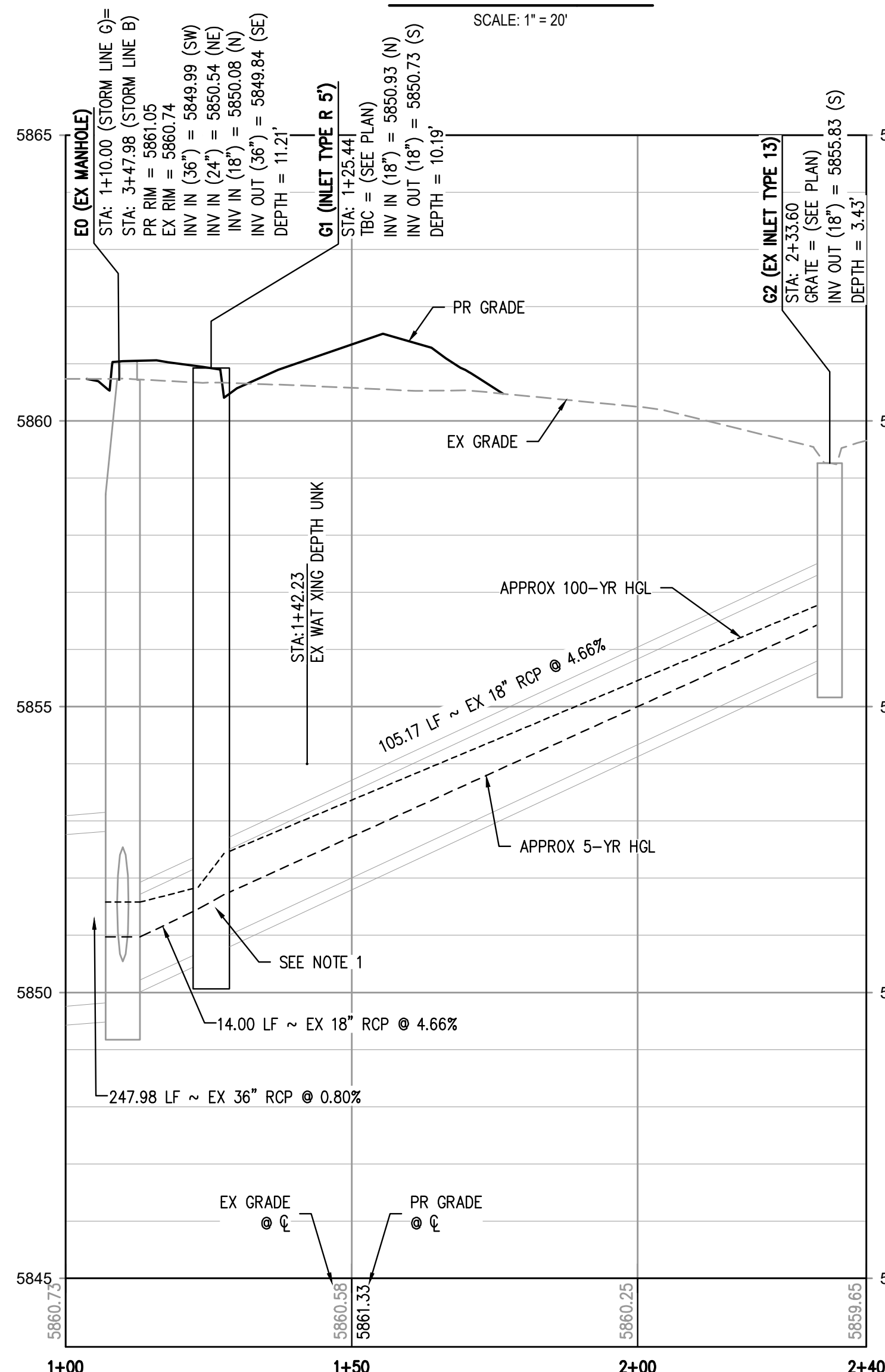
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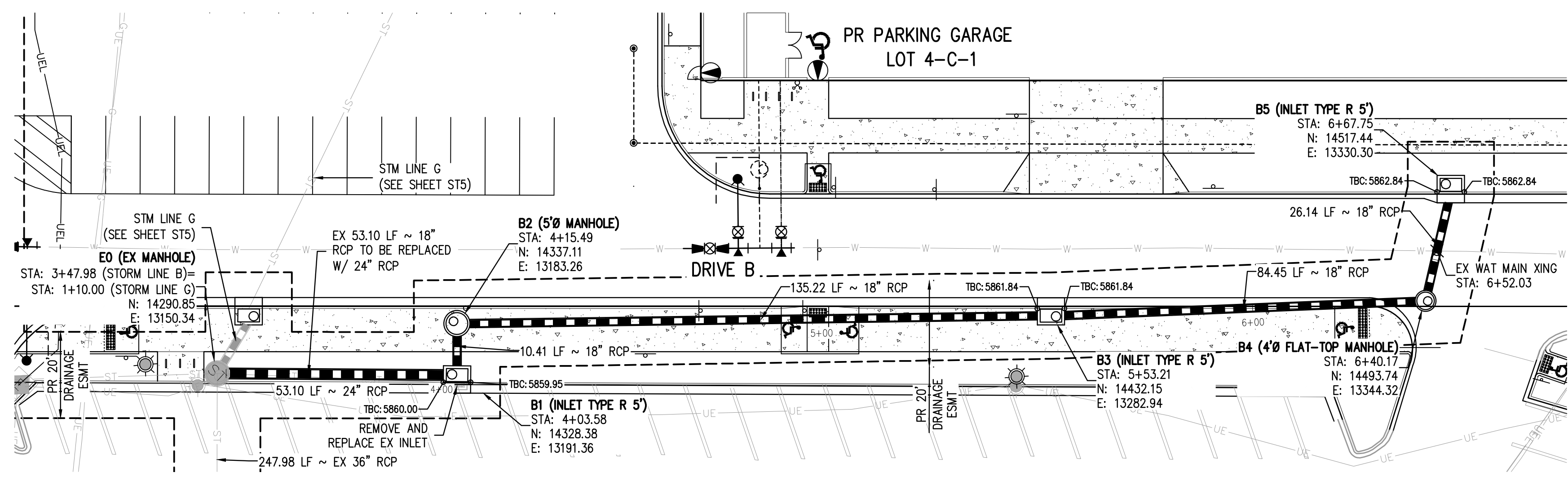
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STORM LINE G PLAN
SCALE: 1" = 20'

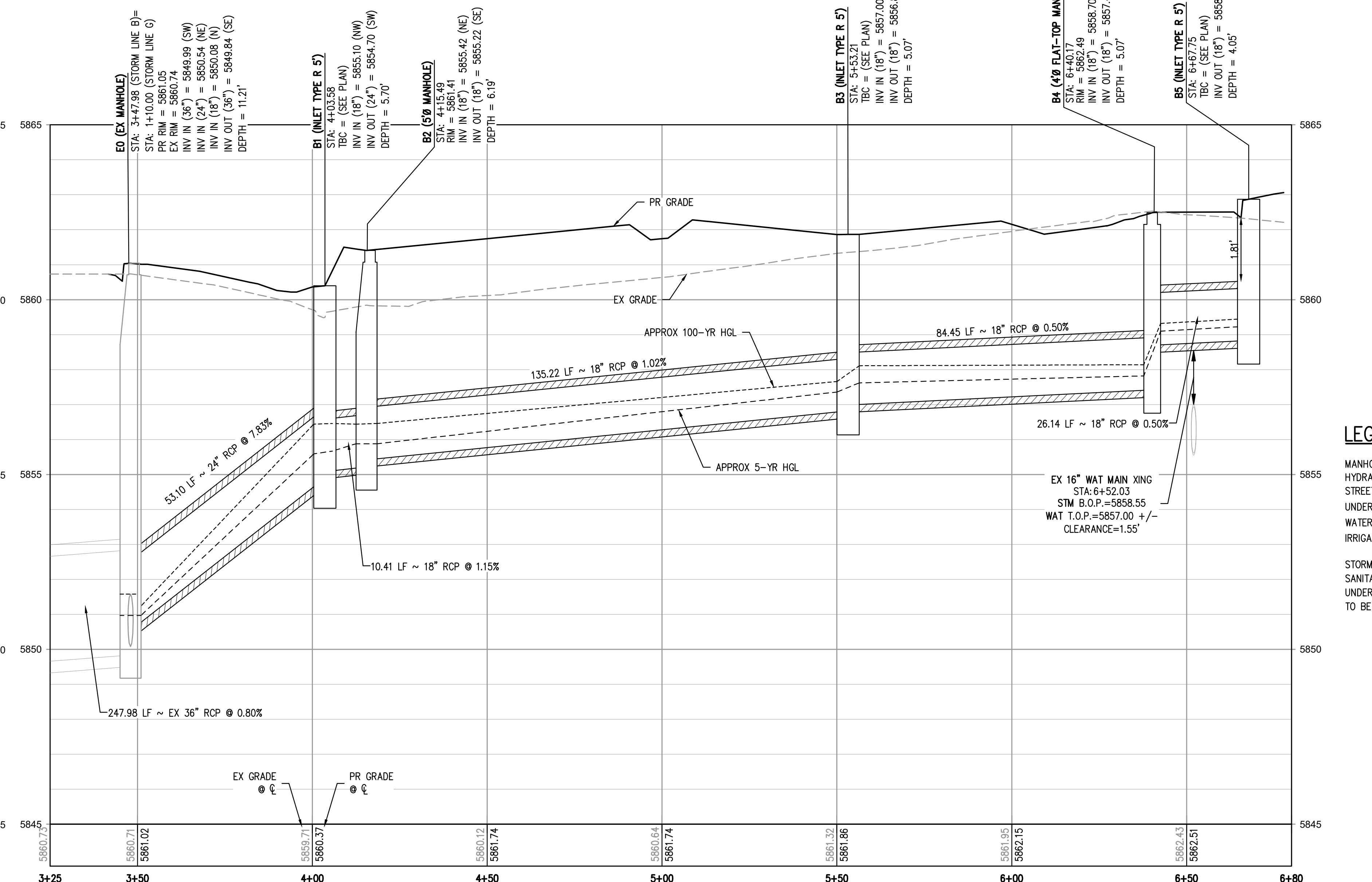


STORM LINE G PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

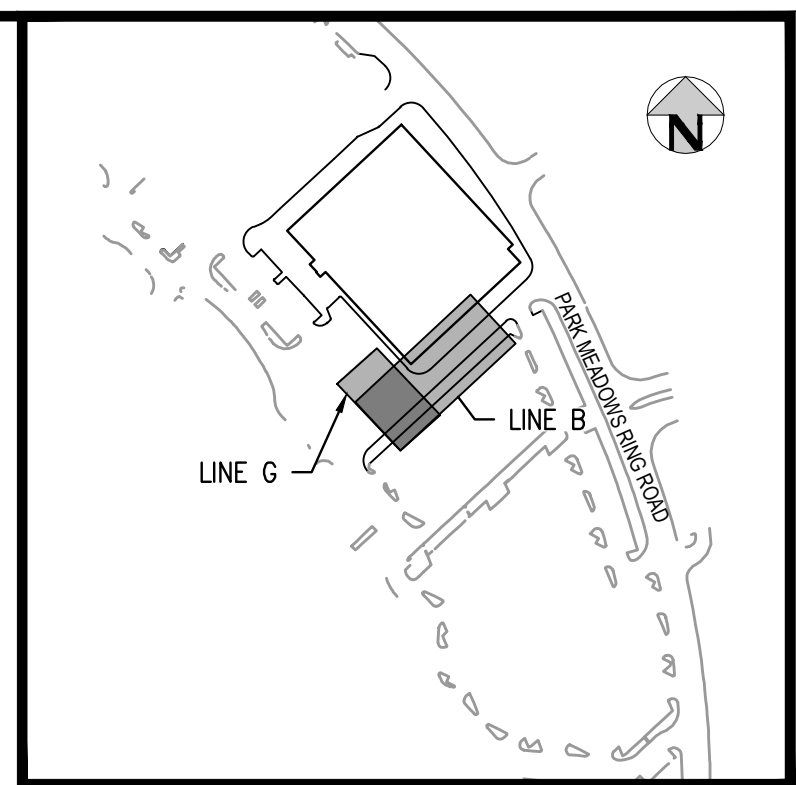


STORM LINE B PLAN
SCALE: 1" = 20'

NOTE:
1. THE INVERT IN ELEVATION FOR INLET G1 IS APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION FOR THE EXISTING STORM PIPE IT WILL BE CONNECTED TO. THIS INLET MUST BE CAST-IN-PLACE AROUND THE EXISTING PIPE TO ACCOMMODATE MINOR ADJUSTMENTS IN THE ELEVATIONS DUE TO THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL DETERMINE THE EXISTING PIPE ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



STORM LINE B PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



KEYMAP
SCALE: 1" = 300'

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 7. FOR ALL NON-CENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
 8. ALL TYPE C & D INLETS SHALL HAVE CLOSE MESH GRATES.
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LEGEND

| EX | PR |
|----------------------|------------------------|
| MANHOLE | MANHOLE |
| HYDRANT | HYDRANT |
| STREET LIGHT | STREET LIGHT |
| UNDERGROUND ELECTRIC | UNDERGROUND ELECTRIC |
| WATER | DOMESTIC WATER SERVICE |
| IRRIGATION WATER | FIRE WATER SERVICE |
| | INLET |
| | STREET LIGHT |
| STORM SEWER | UNDERGROUND ELECTRIC |
| SANITARY SEWER | GAS |
| UNDERGROUND TELECOMM | WATER |
| TO BE DEMOLISHED | STORM SEWER |
| | SANITARY SEWER |
| | SANITARY SERVICE |

BENCHMARK:
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CITY OF LONE TREE

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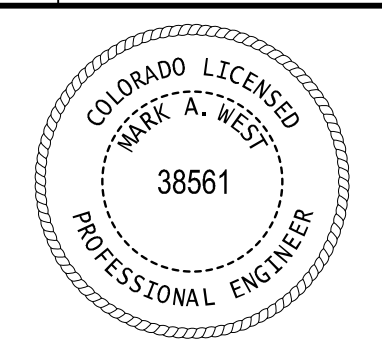
DESIGNED BY: LME
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PARK MEADOWS MALL, LLC
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PARK MEADOWS - GARAGE AND RETAIL
STORM PLAN & PROFILE - PHASE 1A



PROJECT #: 231016

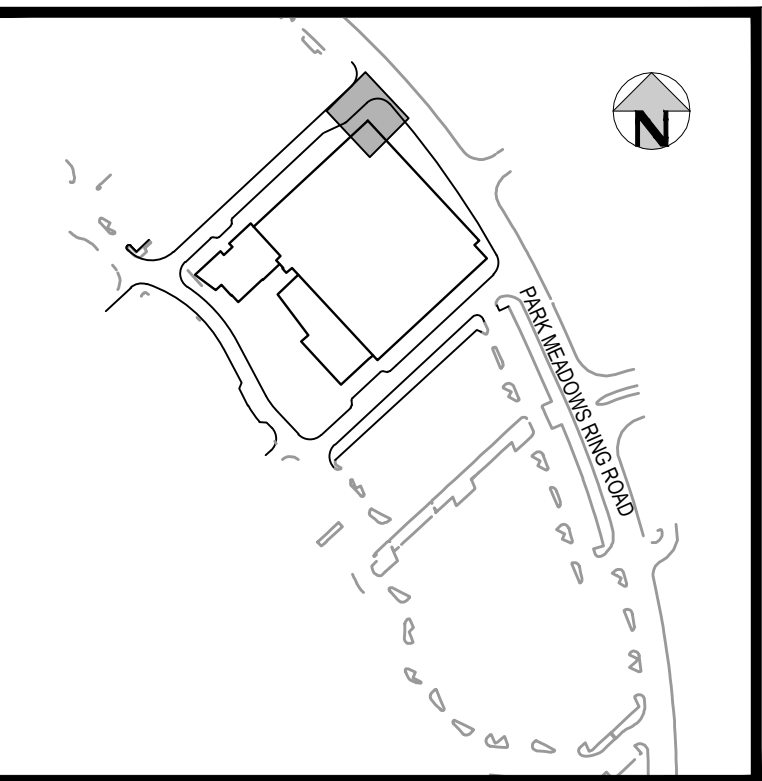
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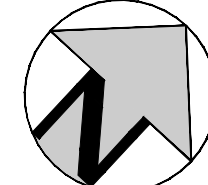
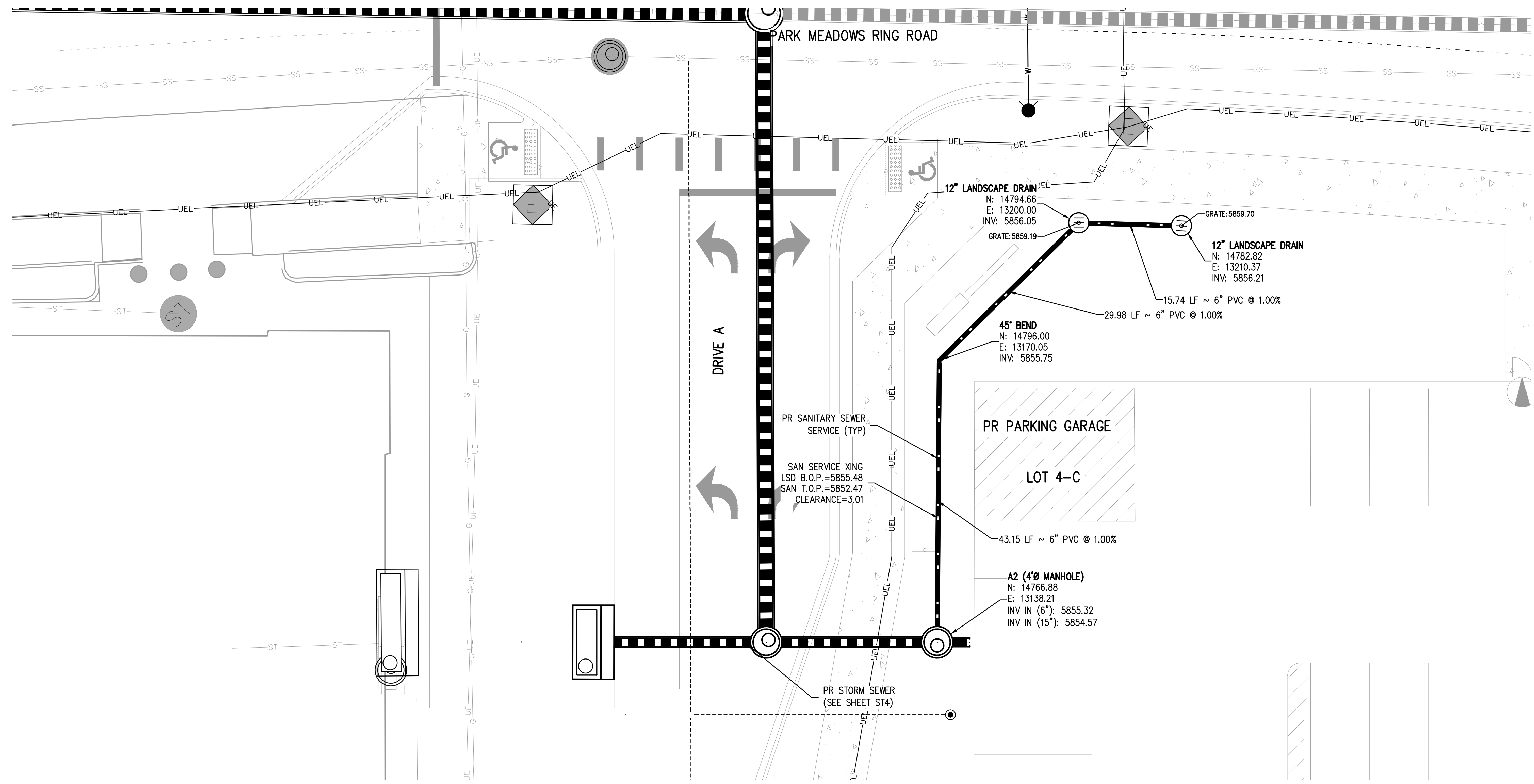
5 OF 16

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DATE PLOTTED: 05-07-2024 8:00:34P BY: LIBBEY.ENDERSE

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



KEYMAP
SCALE: 1"=300'



GENERAL LANDSCAPE DRAIN NOTES:

- CONTRACTOR SHALL USE 90-DEGREE WYES AT PERPENDICULAR JOINTS WHERE POSSIBLE.
- CONTRACTOR SHALL USE CONCENTRIC REDUCERS UNLESS OTHERWISE NOTED. WHERE ECCENTRIC REDUCERS ARE USED THE INVERTS MUST MATCH.
- CONTRACTOR SHALL USE STANDARD PVC FITTINGS WHEN POSSIBLE UNLESS OTHERWISE NOTED ON THE PLAN.
- ALL LANDSCAPE DRAIN PIPES SHALL BE WATERTIGHT PVC, RIGID HDPE WITH SMOOTH INNER WALL, OR ENGINEER APPROVED EQUIVALENT.
- ALL LANDSCAPE DRAIN PIPES SHALL BE A MINIMUM OF 2-FT DEEP (UNLESS OTHERWISE NOTED) AND SHALL HAVE A 0.50% MINIMUM SLOPE.
- LANDSCAPE DRAIN GRATES IN LANDSCAPED AREAS SHALL BE NYLOPLAST 12-INCH DOME STYLE GRATES/COVERS, OR ENGINEER-APPROVED EQUIVALENT.
- LANDSCAPE DRAIN GRATES IN PAVEMENT SHALL BE PEDESTRIAN-FRIENDLY, 4-INCH ROUND BRASS GRATES OR ENGINEER-APPROVED EQUIVALENT. TRENCH DRAINS SHALL HAVE AN INVERT SLOPE OF AT LEAST 0.50%. TRENCH DRAIN INVERT SHALL MATCH THE CONNECTING LANDSCAPE DRAIN PIPE INVERT. FOR GRATE ELEVATIONS SEE THIS SHEET.
- LANDSCAPE DRAINS LOCATED AT THE END OF A LINE SHALL BE INSTALLED WITH A RISER AND 90 DEGREE BEND MATCHING THE SIZE OF THE PIPE CONNECTING TO THE DRAIN AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE.
- LANDSCAPE DRAINS CONNECTING TO ROOF DOWNSPOUTS SHALL BE INSTALLED WITH A RISER AND 90 DEGREE BEND MATCHING THE SIZE OF THE PIPE CONNECTING TO THE ROOF DRAIN AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE.
- IN-LINE LANDSCAPE DRAINS SHALL BE INSTALLED WITH A RISER AND TEE FITTING MATCHING THE SIZE OF THE MAIN LINE CONNECTION AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE. IF TWO OR MORE PIPE SIZES INTERSECT AT THE IN-LINE DRAIN CONNECTION THEN THE LARGER PIPE SIZE SHALL DICTATE THE SIZE OF THE RISER.
- AT ANY LOCATION WHERE MORE THAN TWO LANDSCAPE DRAIN PIPES INTERSECT AND CANNOT BE CONNECTED WITH STANDARD FITTINGS, A DRAIN BASIN SHALL BE INSTALLED. THE DRAIN BASIN SHALL BE SIZED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- FOR GRATE ELEVATIONS SEE DETAILED GRADING PLAN SHEET(S).

BENCHMARK:

BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED* 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

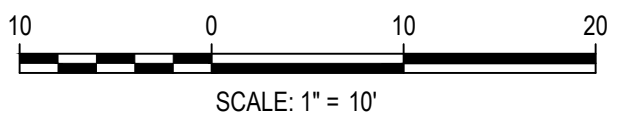
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ENGINEERING DIVISION ACCEPTANCE BLOCK

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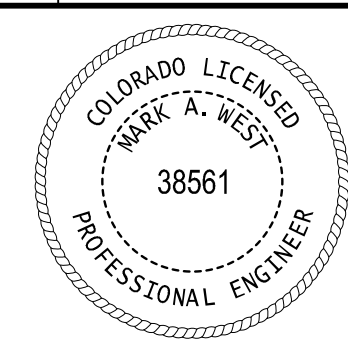
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 DRAWN BY: BS

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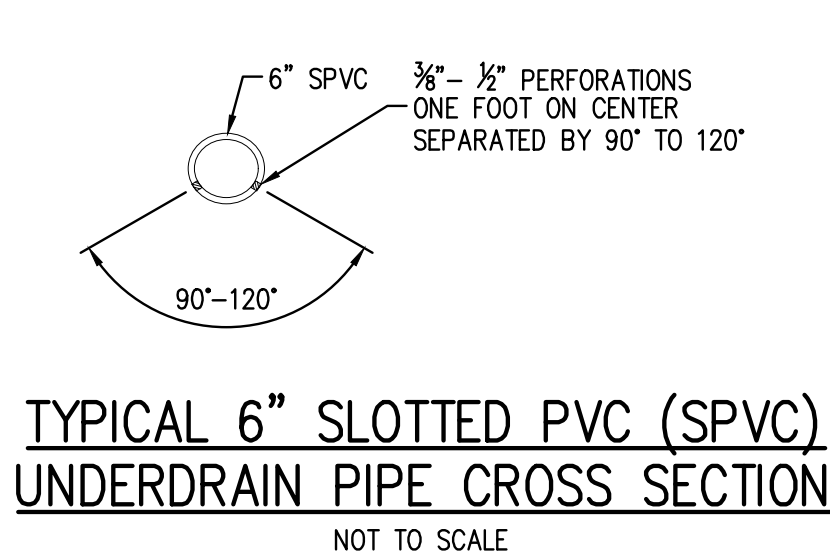
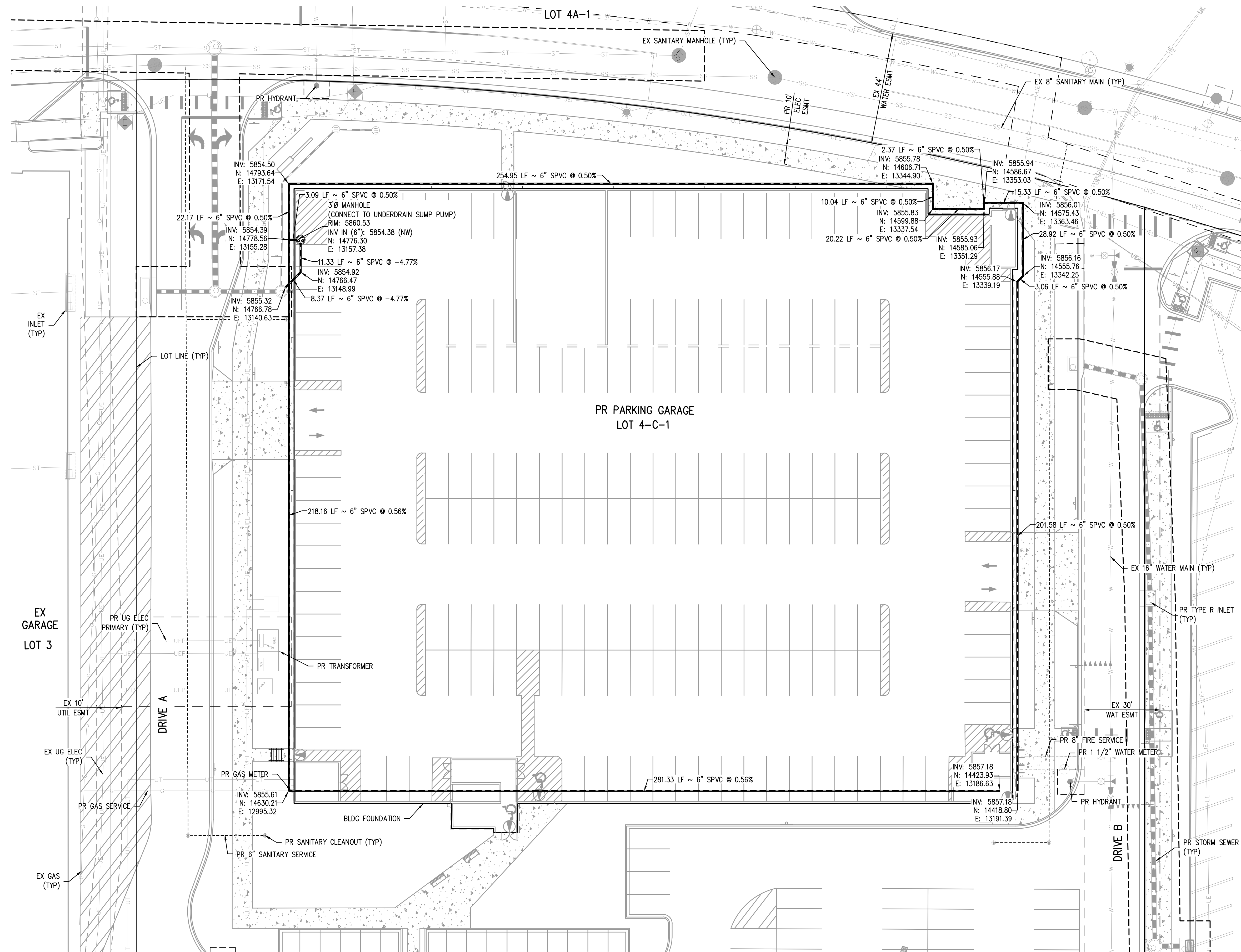
PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 LANDSCAPE DRAIN PLAN - PHASE 1A



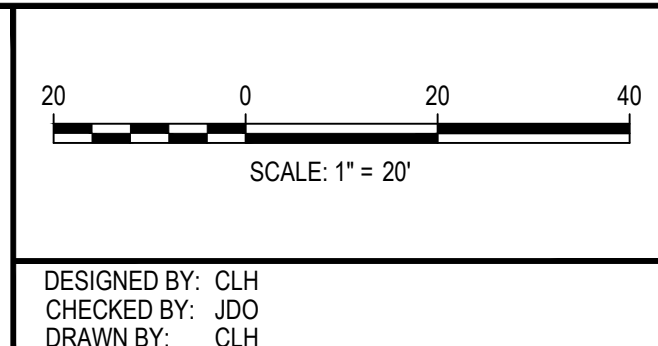
PROJECT #: 231016
 SHEET NUMBER
ST6
 6 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- NOTES:**
1. THE UNDERDRAIN SYSTEM WAS DESIGNED PER RECOMMENDATIONS GIVEN IN THE "GEOTECHNICAL ENGINEERING STUDY" FOR PARK MEADOWS MALL BY KUMAR & ASSOCIATES (09/20/2022).
 2. SEE MEP PLANS FOR LOCATION AND SIZING OF UNDERGROUND UTILITIES.
 3. SEE STRUCTURAL PLANS FOR LOCATION AND SIZING OF DRILLED PIERS, FOUNDATION FOOTINGS, AND FOUNDATION WALLS.
 4. ALL PERFORATED PIPE SHALL BE WRAPPED WITH GEOTEXTILE FABRIC (MIRAFI 140N) OR ENGINEER APPROVED EQUIVALENT.
 5. CLEANOUTS SHALL BE PLACED NEAR 45 TO 90-DEGREE BENDS SPACED APPROXIMATELY 100- FEET APART PER THE GEOTECH REPORT.
 6. THE AGGREGATE SURROUNDING THE PERFORATED PIPE SHALL BE CLEAN 1/2-INCH OR 1-INCH GRAVEL CLASSIFIED AS "GP" AND CONTAINING LESS THAN 5% PASSING A #200 SIEVE.
 7. NON-WOVEN 4-OUNCE PER SQUARE YARD GEOTEXTILE SHALL BE PROVIDED BETWEEN THE DRAINAGE MATERIAL AND ON-SITE SOILS.
 8. THE OWNER SHALL INSTALL A FLOAT ALARM, WHICH SHALL ACTIVATE WHEN THE WATER LEVEL IN THE MANHOLE IS WITHIN FIVE FEET OF THE TOP OF THE MANHOLE.
 9. THE UNDERDRAIN SYSTEM SHALL NOT BE LOCATED DIRECTLY UNDERNEATH MAT FOUNDATIONS AND SHOULD AVOID ALL PIER LOCATIONS.

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DATE PLOTTED: TUE 06/04/24 6:00:53P BY: LIBBEY ENDERSBE

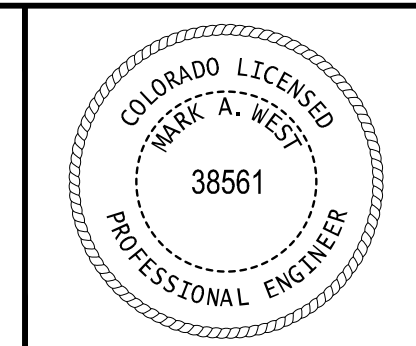


| ISSUE DATE: 03-29-2024 | |
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| DATE | REVISION COMMENTS |
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |



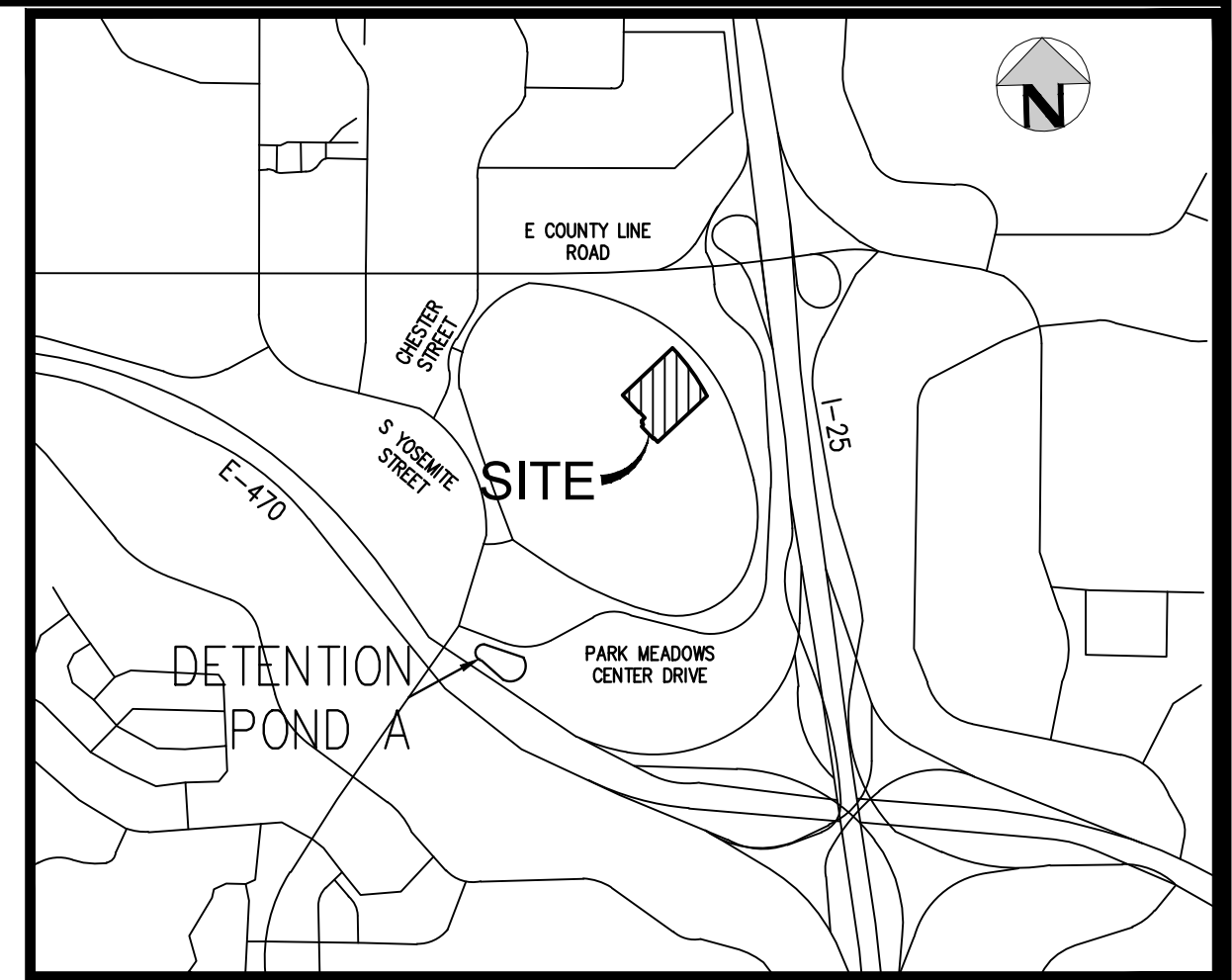
PARK MEADOWS MALL, LLC

PARK MEADOWS - GARAGE AND RETAIL
FOUNDATION DRAIN PLAN - PHASE 1A



PROJECT #: 231016
SHEET NUMBER
ST7
7 OF 17

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



VICINITY MAP
SCALE: 1"=1000'

DETENTION POND A PLAN
1" = 20'

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED*
2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

| |
|---|
| CITY OF LONE TREE |
| DATE |
| THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY. |
| ENGINEERING DIVISION ACCEPTANCE BLOCK |

FILEPATH: P:\2023\21016\ENGINEERING\OUTLET\RESISTOR\MCD-ST-DETENTION POND.DWG LAYOUT: DRAINAGE DETAILS
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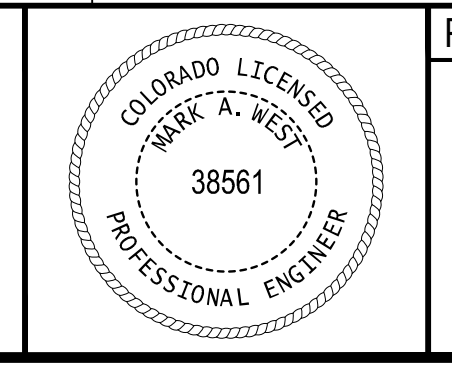
DESIGNED BY: LME
 CHECKED BY: JDO
 DRAWN BY: BS

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| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

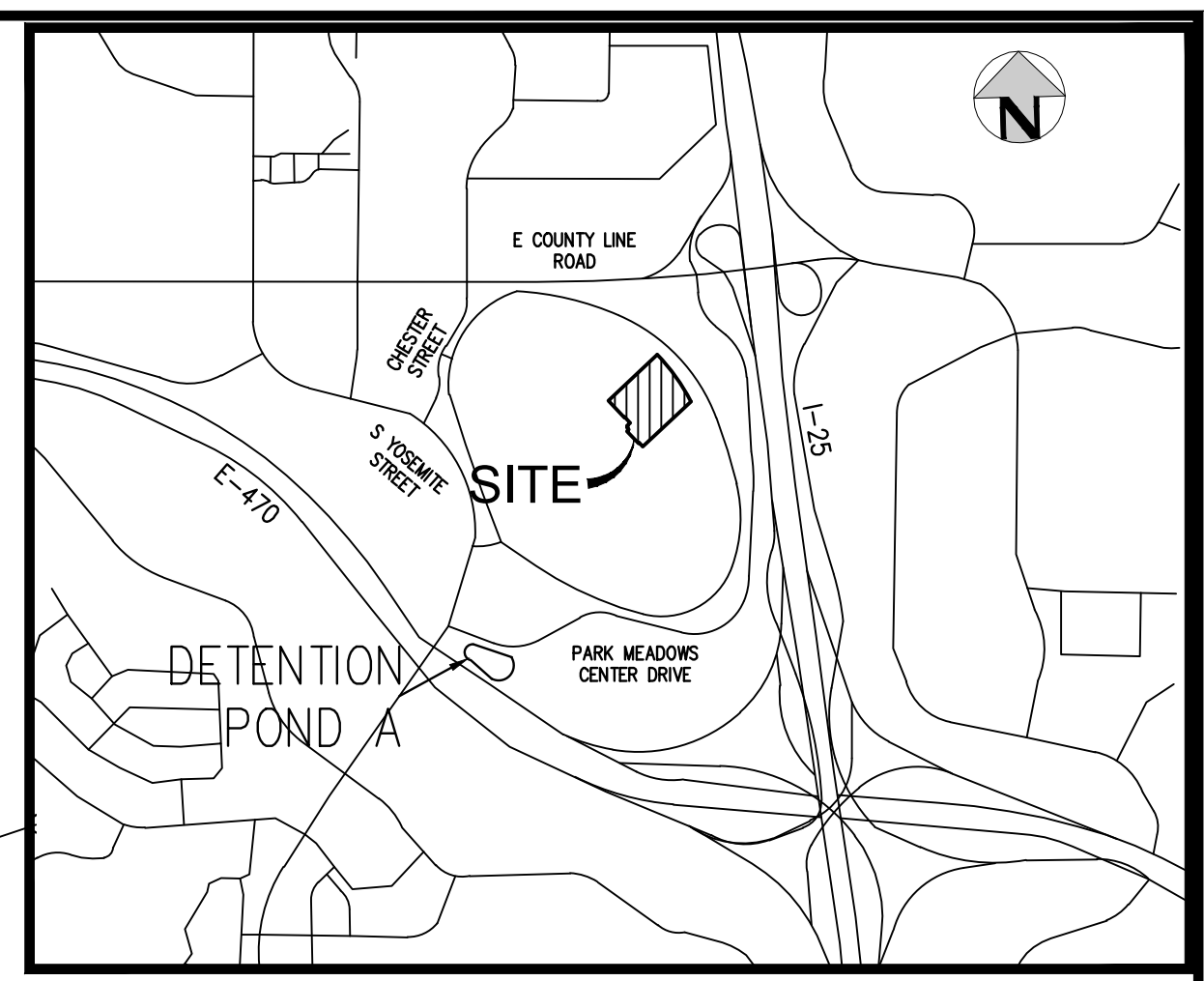
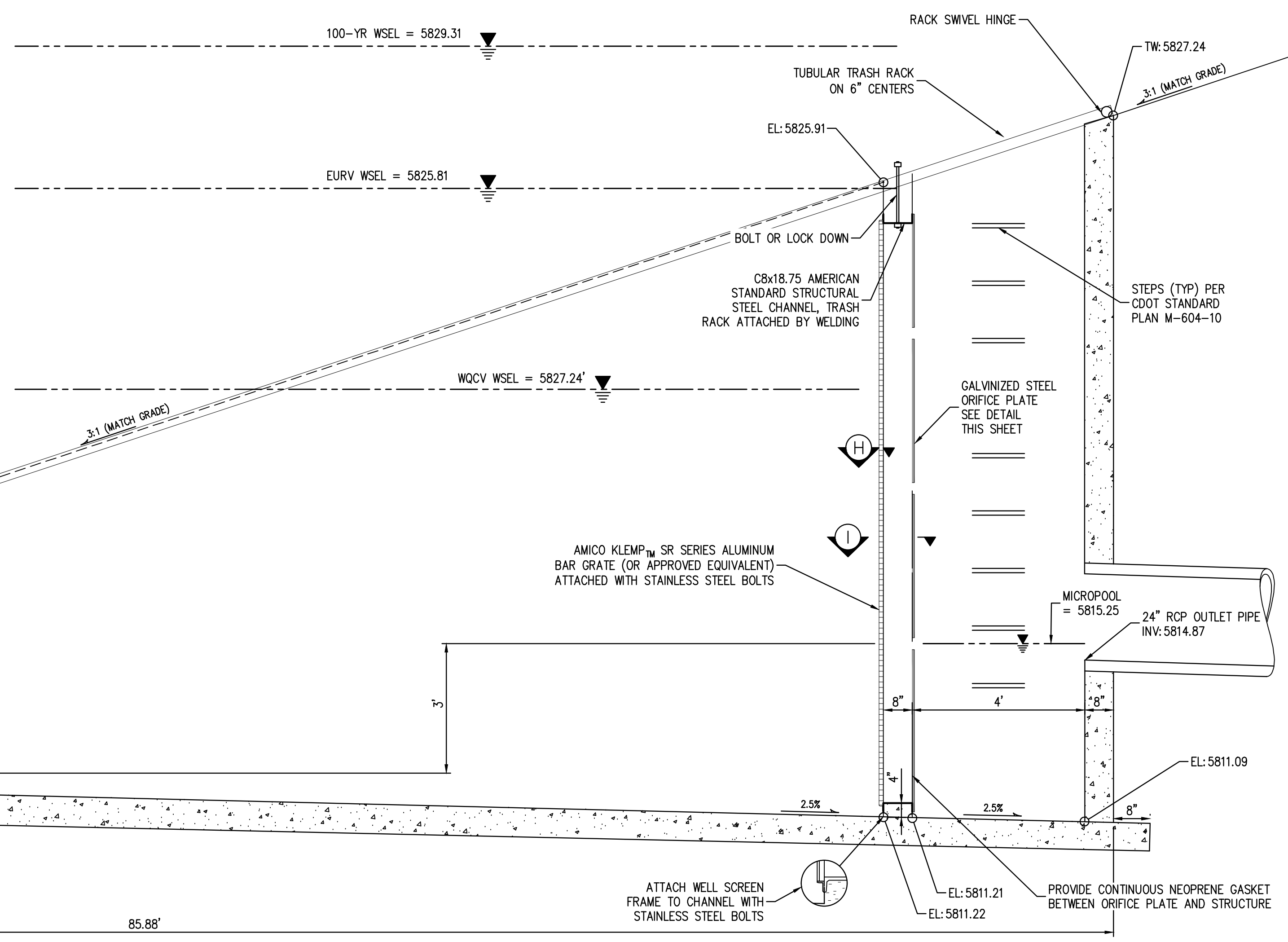
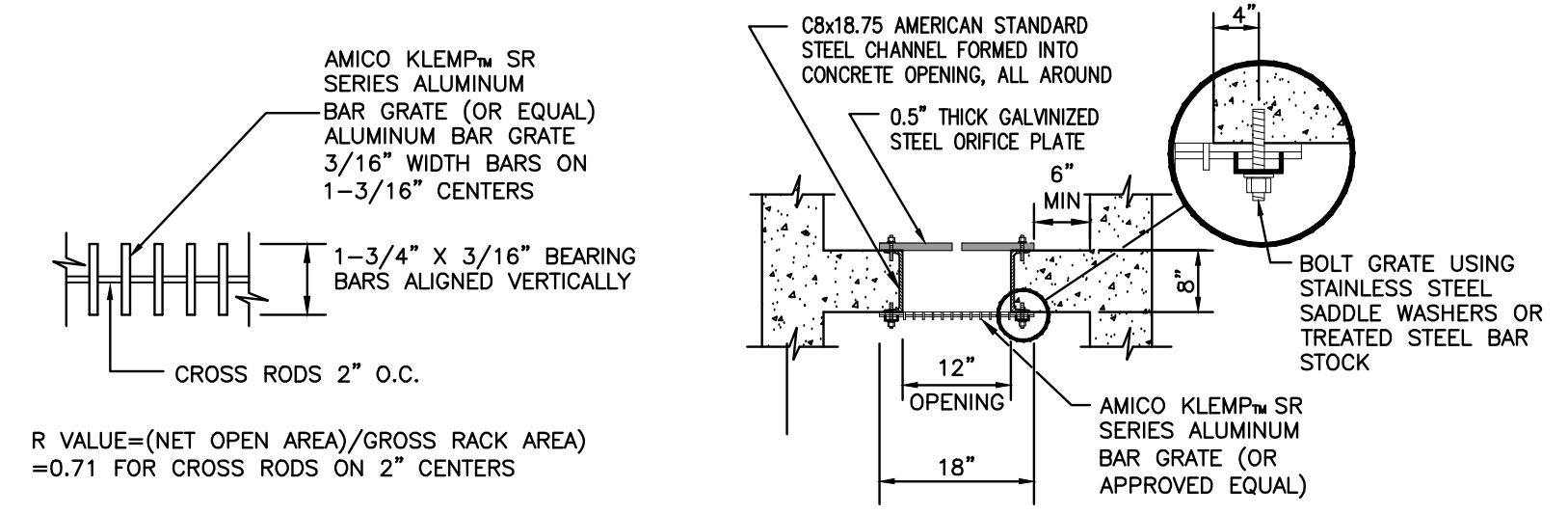
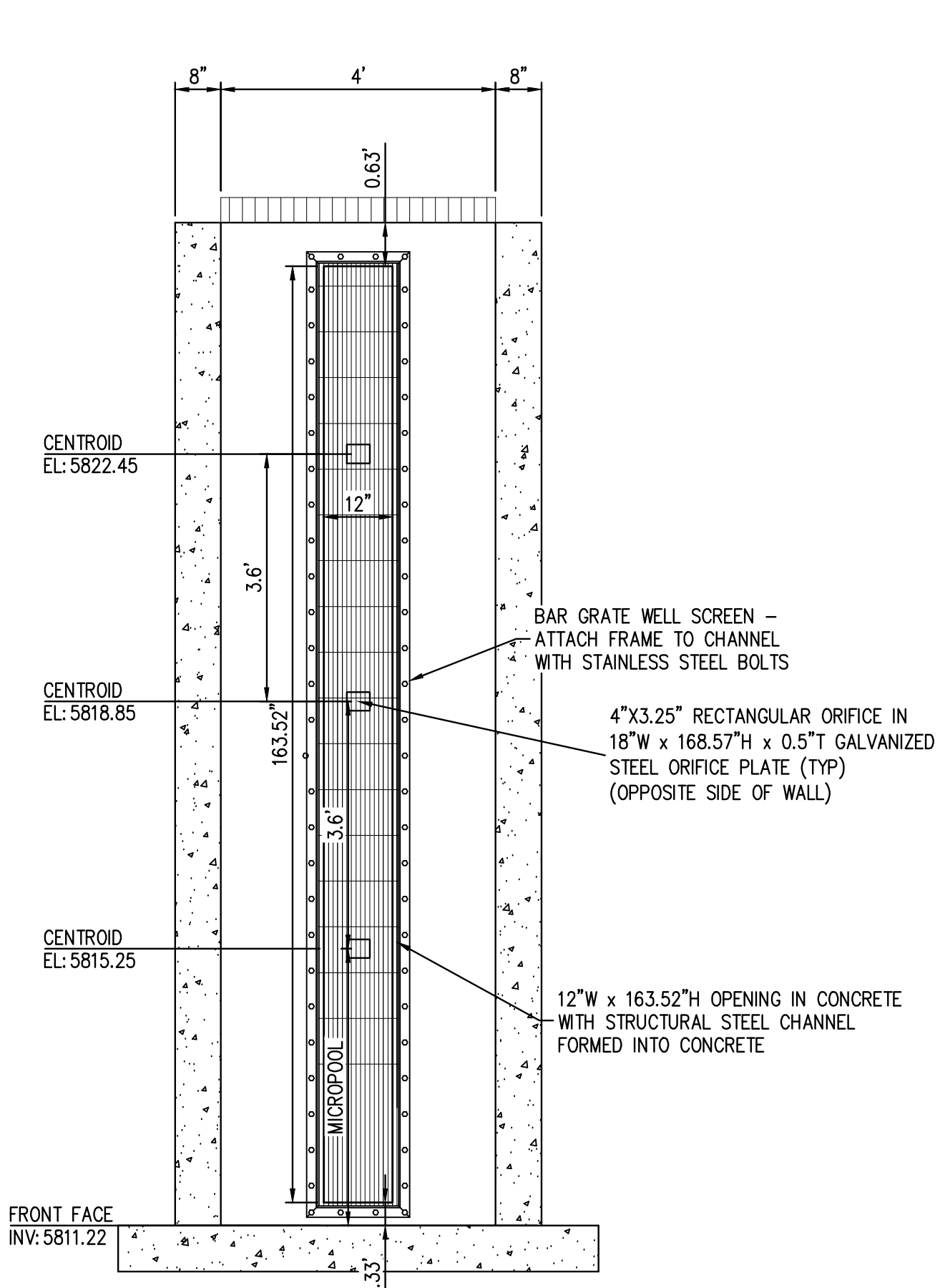
PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 WATER QUALITY DETENTION POND PLAN - PHASE 1A



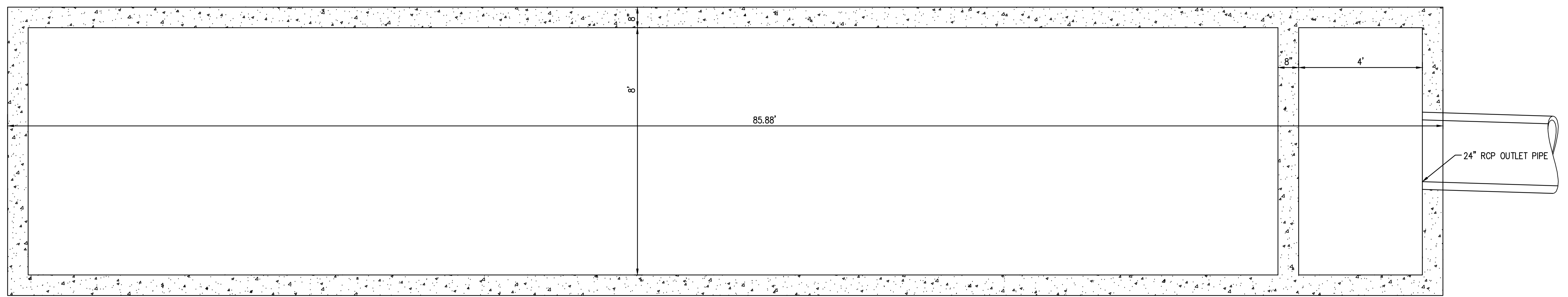
PROJECT #: 231016
 SHEET NUMBER
ST8
 8 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- ORIFICE PLATE NOTES:**
1. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE.
 2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER. SEE SECTION I ABOVE FOR PLATE THICKNESS.
- EURV AND WQCV TRASH RACKS:**
1. BAR GATE TRASH RACKS SHALL BE ALUMINUM AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
 2. STRUCTURAL DESIGN OF TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED* 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).



CITY OF LONE TREE

DATE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

FILE PATH: P:\2022\2010\ENGINEERING\OUTLINES\STORM\CD-ST-POND-OUTLET-STRUCTURE-PH01A.DWG LAYOUT: DRAINAGE DETAILS
DATE PLOTTED: TUE 04/04/24 8:01:10P BY: LIBBEY ENDERSE



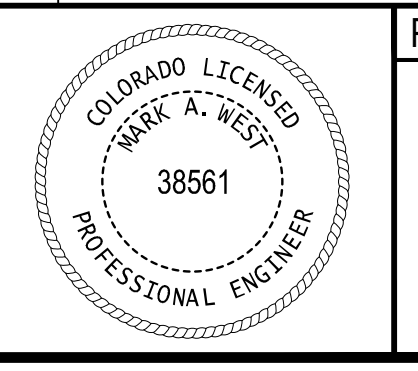
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CHECKED BY: JDO
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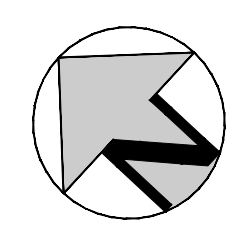
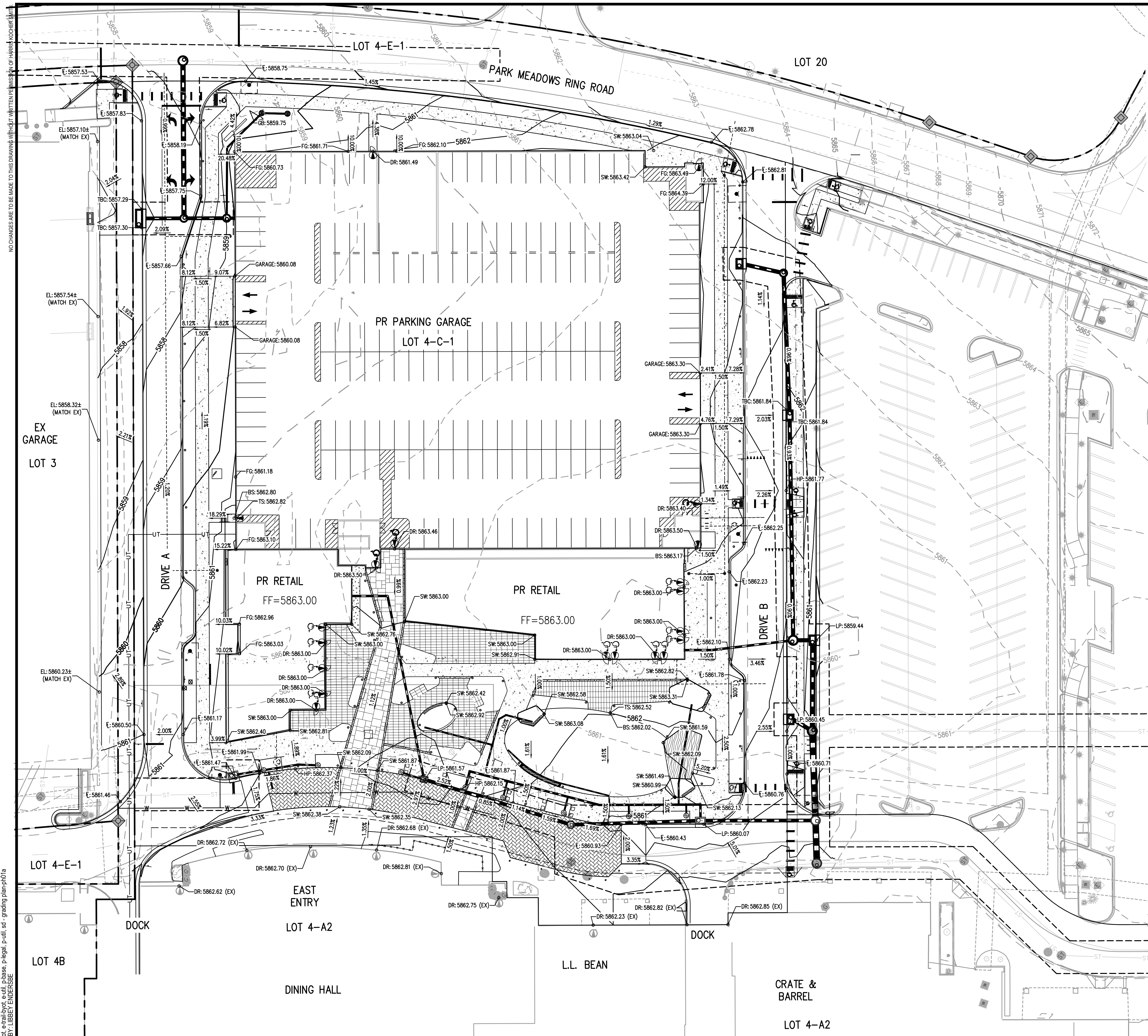


PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
WATER QUALITY DETENTION POND STRUCTURE DETAILS- PHASE 1A



PROJECT #: 231016
SHEET NUMBER
ST9
9 OF 16



LEGEND

- MANHOLE
- STORM SEWER
- CONTOURS
- PR
- MANHOLE
- INLET
- STORM SEWER
- CONTOURS
- RETAINING WALL
- RETAINING WALL HEIGHT
- EX GRADES GREATER THAN SLOPE 5:1

WATER QUALITY/RETENTION NOTES

1. WATER QUALITY (WQ) AND DETENTION WILL BE PROVIDED BY THE EXISTING REGIONAL WQ/RETENTION POND LOCATED SOUTHWEST OF THE SITE.
2. THE EXISTING REGIONAL WQ/RETENTION POND OUTLET STRUCTURE WILL BE MODIFIED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS OUTLINED HEREIN.

BENCHMARK:
 BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED*
 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR GRADING & EROSION CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH
 FILE PATH: P:\2023\202310\ENGINEERING\GRADING\PHASE 1B\CD - ST - OVERALL GRADING PLAN-PH1B.DWG LAYOUT: LAYOUT1
 5 SHEETS: 10 OF 15
 PLOTTED: TUE 06/04/24 8:01:22P BY: LIBBEY ENDERSBEE



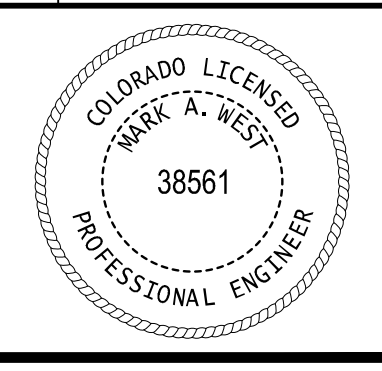
DESIGNED BY: LME
 CHECKED BY: JDO
 DRAWN BY: BS

| DATE | REVISION COMMENTS |
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| 06-04-2024 | |



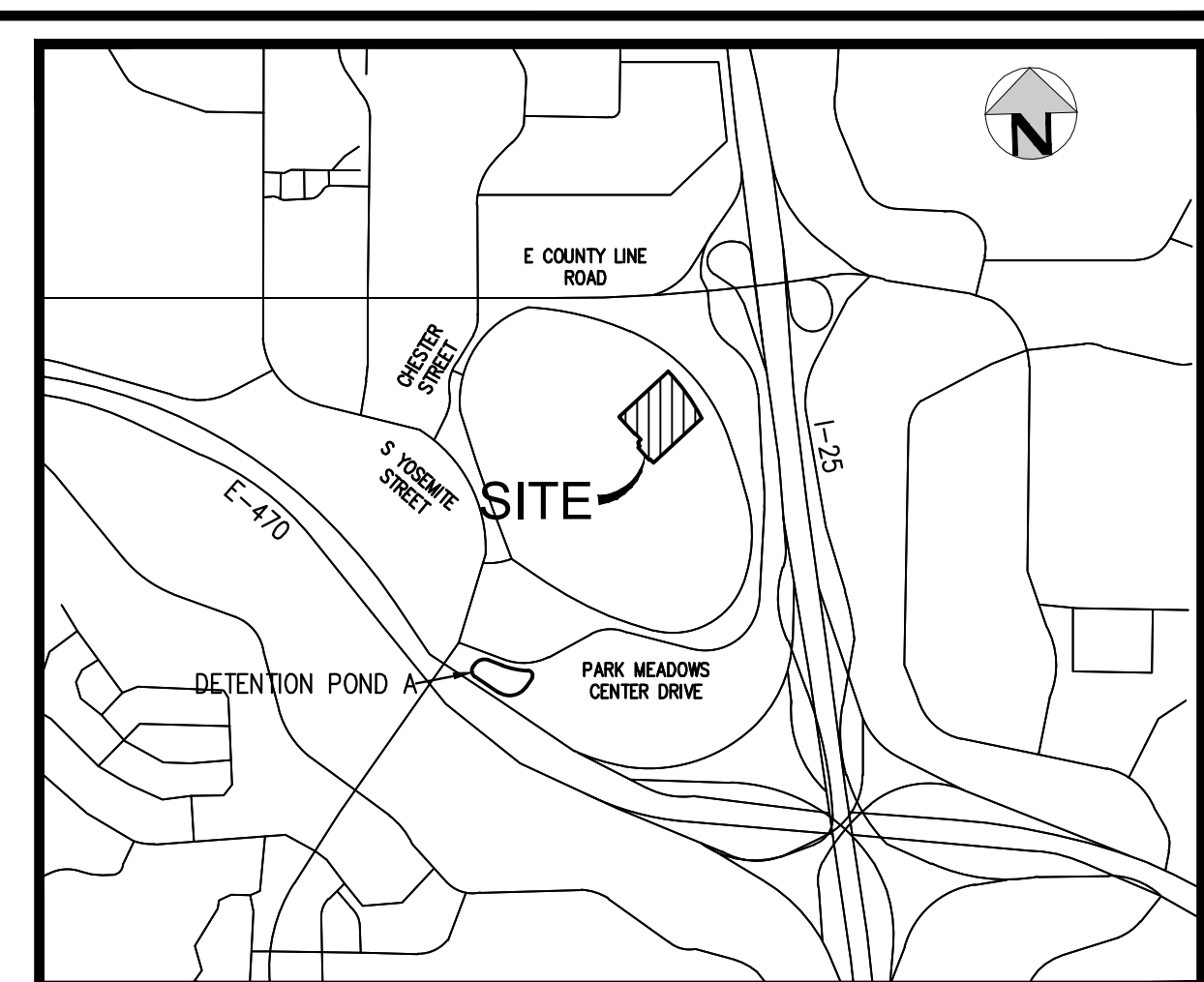
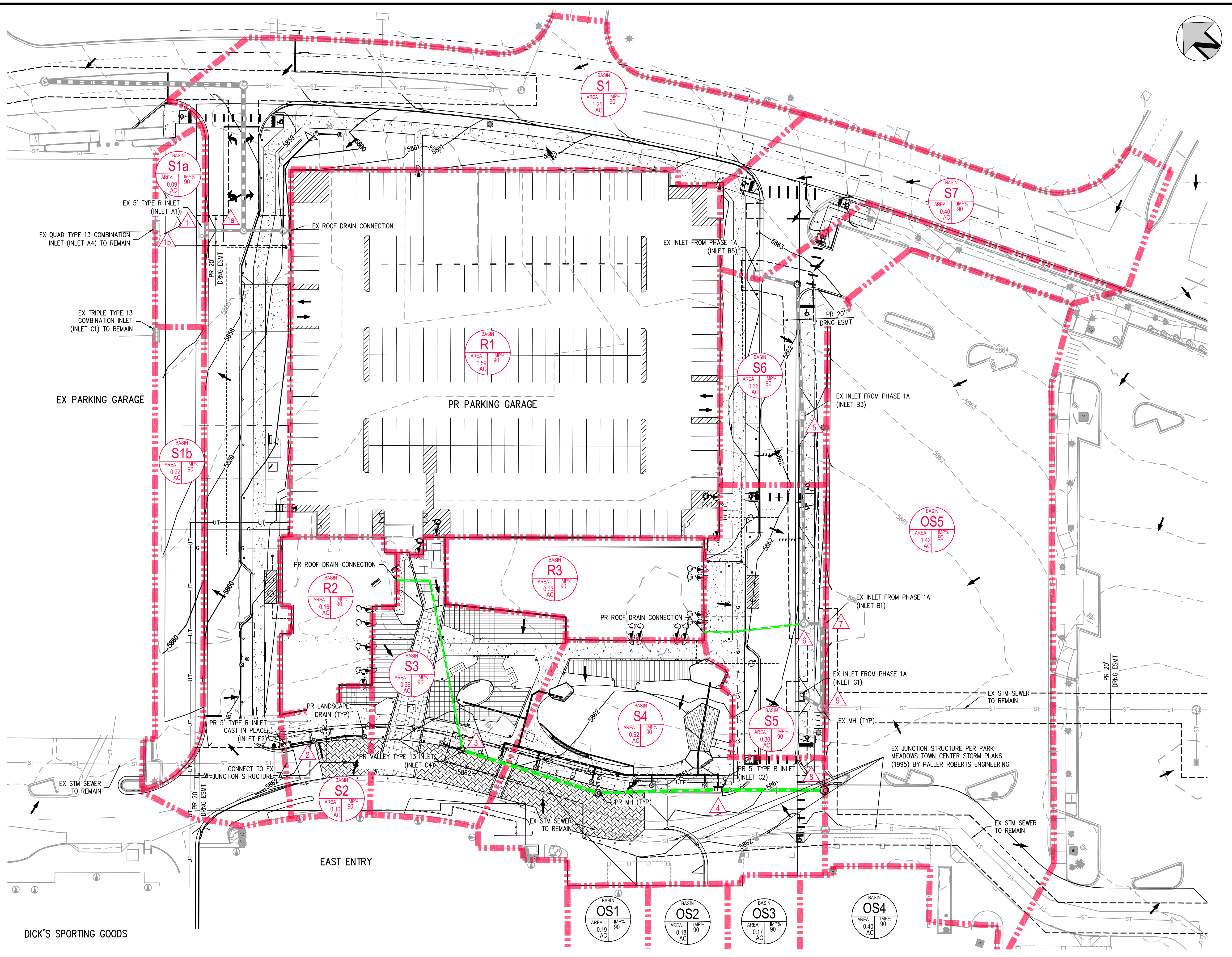
**PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 OVERALL GRADING PLAN - PHASE 1B**



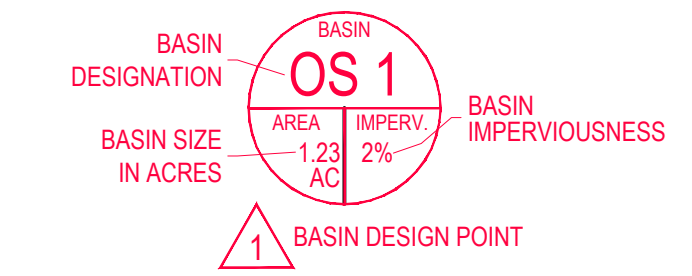
PROJECT #: 231016
 SHEET NUMBER
ST10
 10 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.
 FILE PATH: P:\2023\231016\ENGINEERING\DRAINAGE\DRAINAGE PLAN - PAVING LAYOUT MAJOR DRAINAGE PLAN 1B
 PLOTTED: TUE 06/04/2024 8:01:32P BY: LIBBEY ENDERBEE



VICINITY MAP
SCALE: 1"=1000'

- LEGEND:**
- BASIN BOUNDARY ---
 - PROPOSED STORM SEWER W/ MH & INLET ---
 - DRAINAGE FLOW →
 - PROPOSED CONTOURS ---
 - EXISTING CONTOURS ---
 - EXISTING STORM SEWER W/ MH & INLET ---



| DIRECT RUNOFF SUMMARY TABLE | | | |
|-----------------------------|-----------|----------|------------|
| SUB-BASIN | AREA (AC) | Q5 (CFS) | Q100 (CFS) |
| S1 | 1.25 | 3.61 | 8.28 |
| S1a | 0.09 | 0.26 | 0.60 |
| S1b | 0.22 | 0.63 | 1.46 |
| S2 | 0.10 | 0.29 | 0.66 |
| S3 | 0.36 | 1.04 | 2.39 |
| S4 | 0.62 | 1.79 | 4.11 |
| S5 | 0.30 | 0.87 | 1.99 |
| S6 | 0.36 | 1.04 | 2.39 |
| S7 | 0.40 | 1.15 | 2.65 |
| R1 | 1.59 | 4.59 | 10.53 |
| R2 | 0.16 | 0.46 | 1.06 |
| R3 | 0.23 | 0.66 | 1.52 |
| OS1 | 0.19 | 0.55 | 1.26 |
| OS2 | 0.18 | 0.52 | 1.19 |
| OS3 | 0.17 | 0.49 | 1.13 |
| OS4 | 0.40 | 1.15 | 2.65 |
| OS5 | 1.42 | 4.10 | 9.41 |

BENCHMARK:
 BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED*
 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE

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ENGINEERING DIVISION ACCEPTANCE BLOCK

DICK'S SPORTING GOODS



SCALE: 1" = 30'

| |
|------------------|
| DESIGNED BY: LME |
| CHECKED BY: JDO |
| DRAWN BY: BS |

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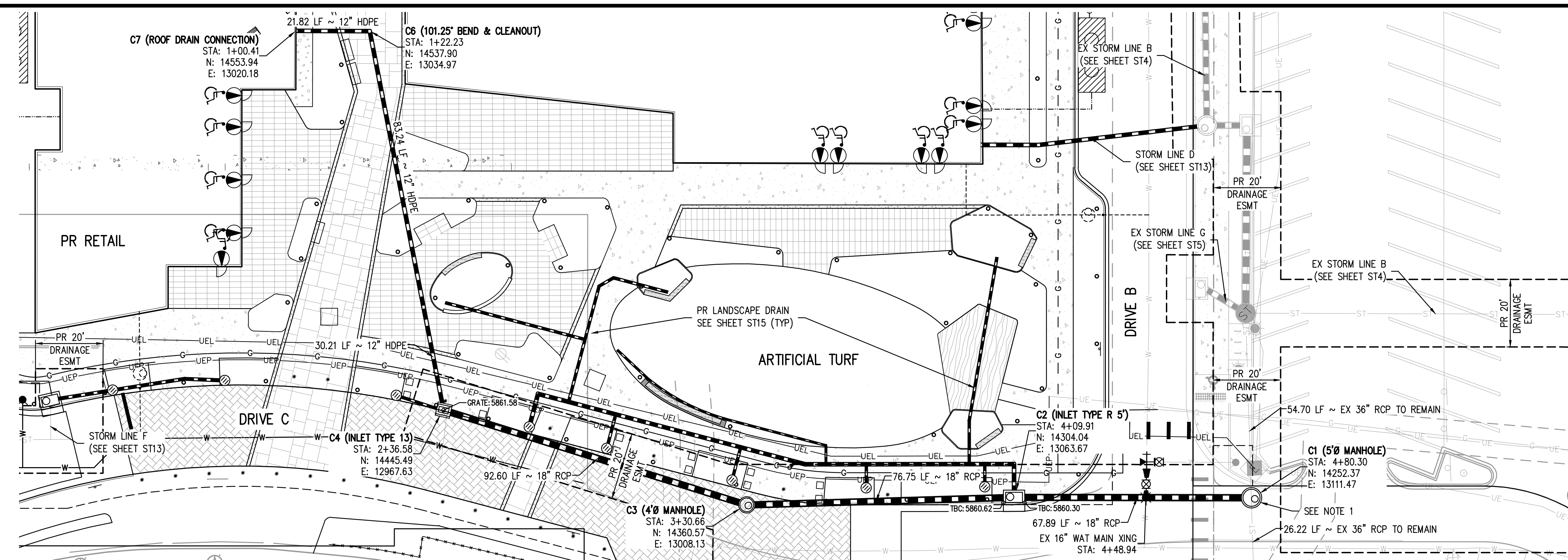
PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 MAJOR DRAINAGE PLAN PHASE 1B

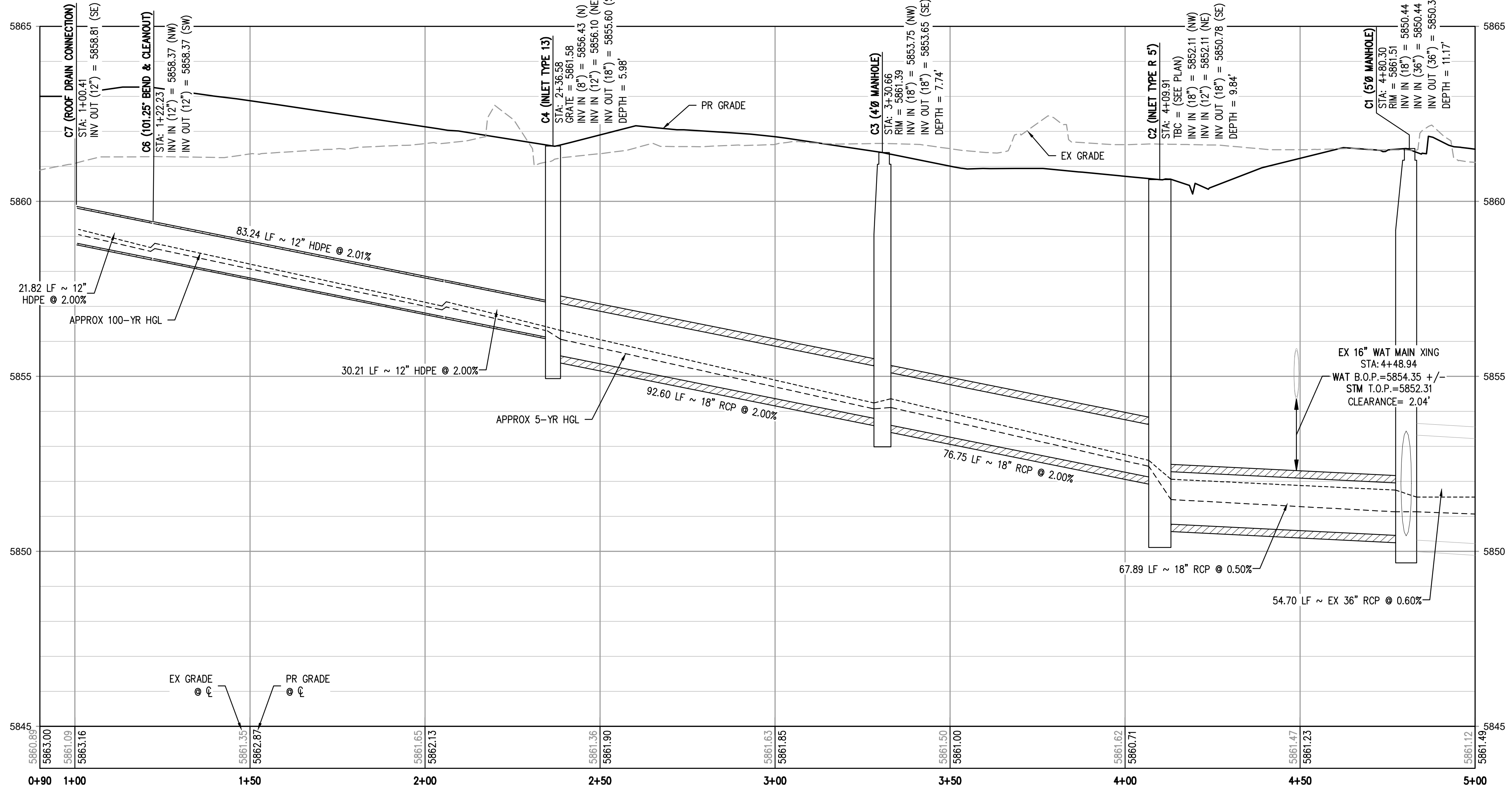


PROJECT #: 231016
 SHEET NUMBER
ST11
 11 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



STORM LINE C PLAN
SCALE: 1" = 20'



STORM LINE C PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

LEGEND

- MANHOLE
- HYDRANT
- STREET LIGHT
- UNDERGROUND ELECTRIC
- WATER
- IRRIGATION WATER
- GAS
- STORM SEWER
- SANITARY SEWER
- UNDERGROUND TELECOMM
- TO BE DEMOLISHED

PR

- MANHOLE
- HYDRANT
- DOMESTIC WATER SERVICE
- FIRE WATER SERVICE
- INLET
- STREET LIGHT
- UNDERGROUND ELECTRIC
- GAS
- WATER
- STORM SEWER
- SANITARY SEWER
- SANITARY SERVICE

- GENERAL STORM NOTES:**
- THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION, IN ACCORDANCE WITH COLORADO STATE STATUTES.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AS SUPPLIED BY THE UTILITY OWNERS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
 - PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE FOR CYLINDRICAL MANHOLES AND TO THE INSIDE FACE OF INLETS AND OTHER BOX STRUCTURES. PIPE LENGTHS ARE MEASURED TO THE END OF THE STRUCTURE FOR ALL FLARED END SECTIONS.
 - STATIONING OF INLETS SHOWN IN STORM SEWER PROFILES IS AT CENTER OF STRUCTURE.
 - ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL USE RCP, PVC, PP, OR HDPE PIPES FOR THE MAIN LINES, BUT SHALL NOTIFY THE JURISDICTIONAL UTILITY PROVIDER AND THE ENGINEER, PRIOR TO INSTALLATION, FOR APPROVAL. REGARDLESS OF PIPE MATERIAL, ALL STORM SEWER SHALL UTILIZE WATER-TIGHT JOINTS.
 - FOR ALL NON-CENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
 - ALL TYPE C & D INLETS SHALL HAVE CLOSE MESH GRATES.
 - ALL LATERAL PIPE-TO-PIPE CONNECTIONS SHALL BE MADE USING KOR-N-TREE CONNECTORS OR ENGINEER APPROVED EQUIVALENT.
 - CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
 - CONTRACTOR SHALL MODIFY INLET BASES AS NEEDED IN ORDER TO ENSURE ALL STORM PIPES CONNECT PROPERLY TO THE INLET. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ENGINEER, OWNER, AND CITY/COUNTY PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS, DESIGNED BY A LICENSED ENGINEER, DETAILING THE STRUCTURAL DESIGN OF ALL POND IMPROVEMENTS (FOREBAY, ENERGY DISSIPATING BAFFLES, OUTLET STRUCTURE, ETC.) FOR REVIEW AND APPROVAL BY ENGINEER, OWNER, AND CITY/COUNTY PRIOR TO INSTALLATION.
 - ANY SUBSURFACE DETENTION AND/OR WATER QUALITY SYSTEM DESIGNS SHOWN ON THESE PLANS (IF APPLICABLE) ARE SPECIFICALLY LIMITED TO ELEVATIONS, GRADES AND STORMWATER DETENTION AND/OR WATER QUALITY DESIGN VOLUMES AND RELEASE RATES. THE DESIGN AND PROFESSIONAL ENGINEER'S SEAL SPECIFICALLY EXCLUDES STRUCTURAL DESIGN (INCLUDING, BUT NOT LIMITED TO, BUOYANCY CALCULATIONS AND CONSTRUCTION, TRAFFIC, OR OTHER LOADS), DEWATERING, EXCAVATION, SHORING, AND MATERIALS AND BACKFILL SPECIFICATIONS. IF THE PROPOSED SYSTEM UTILIZES A PROPRIETARY AND/OR PRE-MANUFACTURED DETENTION AND/OR WATER QUALITY SYSTEM, THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED SYSTEM DESIGN, CALCULATIONS, MATERIALS AND BACKFILL SPECIFICATIONS WITH THE UNDERGROUND DETENTION AND/OR WATER QUALITY SYSTEM MANUFACTURER AND/OR SUPPLIER. CONSTRUCTION OBSERVATION BY THE MANUFACTURER'S REPRESENTATIVE IS ESSENTIAL FOR PROPER INSTALLATION OF UNDERGROUND DETENTION AND/OR WATER QUALITY SYSTEMS. AT A MINIMUM, THE INSTALLATION SHOULD BE INSPECTED BY THE MANUFACTURER'S REPRESENTATIVE DURING CONSTRUCTION AND ANY DEFICIENCIES OF THE INSTALLATION IDENTIFIED BY THE MANUFACTURER'S INSPECTION SHOULD BE CORRECTED IMMEDIATELY.
 - THE INVERT OUT ELEVATION FOR INLET F2 IS APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION FOR THE EXISTING STORM PIPE IT WILL BE CONNECTED TO. THIS INLET MUST BE CAST-IN-PLACE AROUND THE EXISTING PIPE TO ACCOMMODATE MINOR ADJUSTMENTS IN THE ELEVATIONS DUE TO THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL DETERMINE THE EXISTING PIPE ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

NOTE:

1. THE INVERT IN ELEVATION FOR MANHOLE C1 IS APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION FOR THE EXISTING STORM PIPE IT WILL BE CONNECTED TO. THIS MANHOLE MUST BE CAST-IN-PLACE AROUND THE EXISTING PIPE TO ACCOMMODATE MINOR ADJUSTMENTS IN THE ELEVATIONS DUE TO THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL DETERMINE THE EXISTING PIPE ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED* 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



DESIGNED BY: LME
CHECKED BY: JDO
DRAWN BY: BS

| DATE | REVISION COMMENTS |
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| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

HKS HARRIS KOCHER SMITH

1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
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HarrisKocherSmith.com

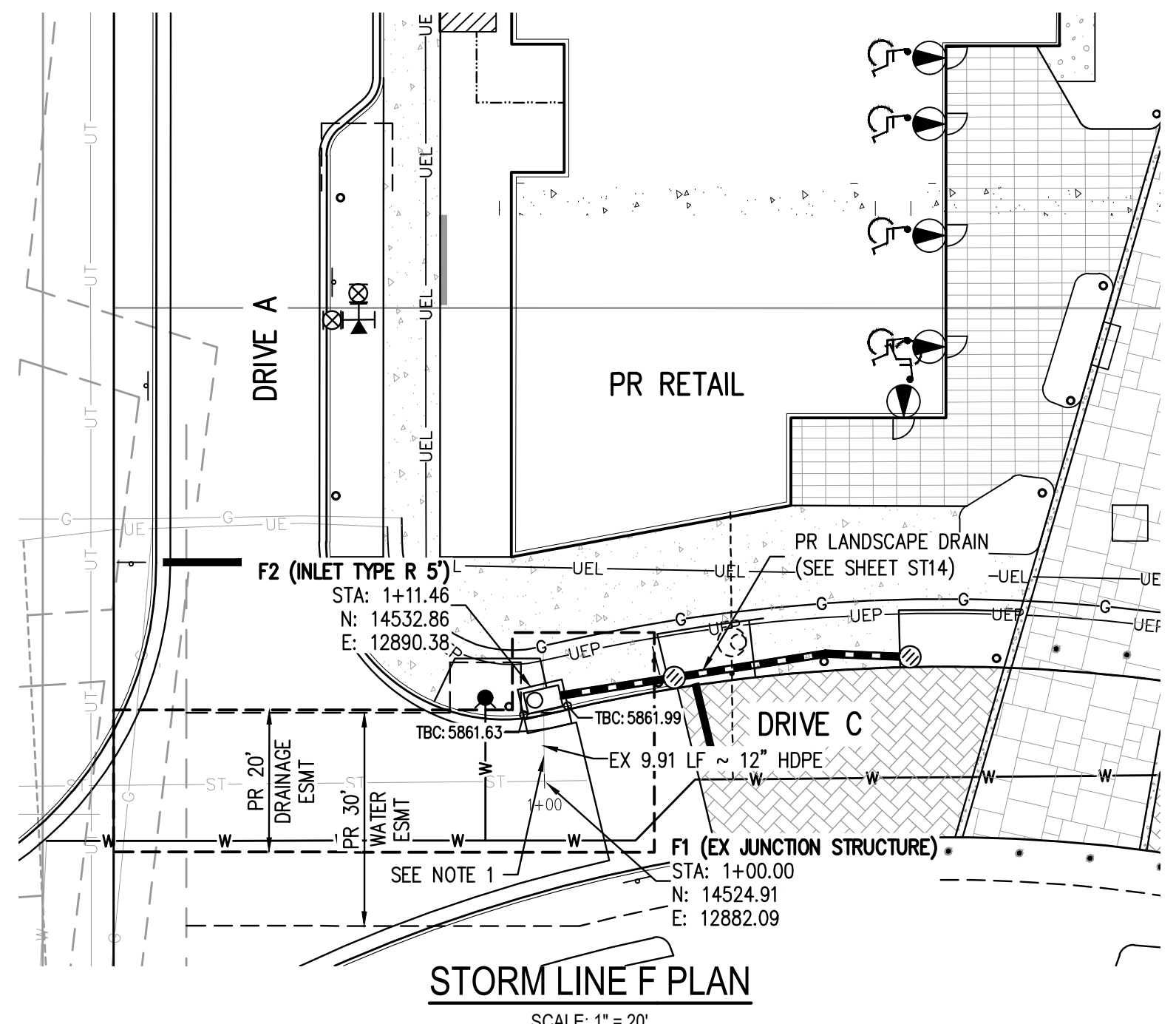
PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
STORM PLAN & PROFILE - PHASE 1B

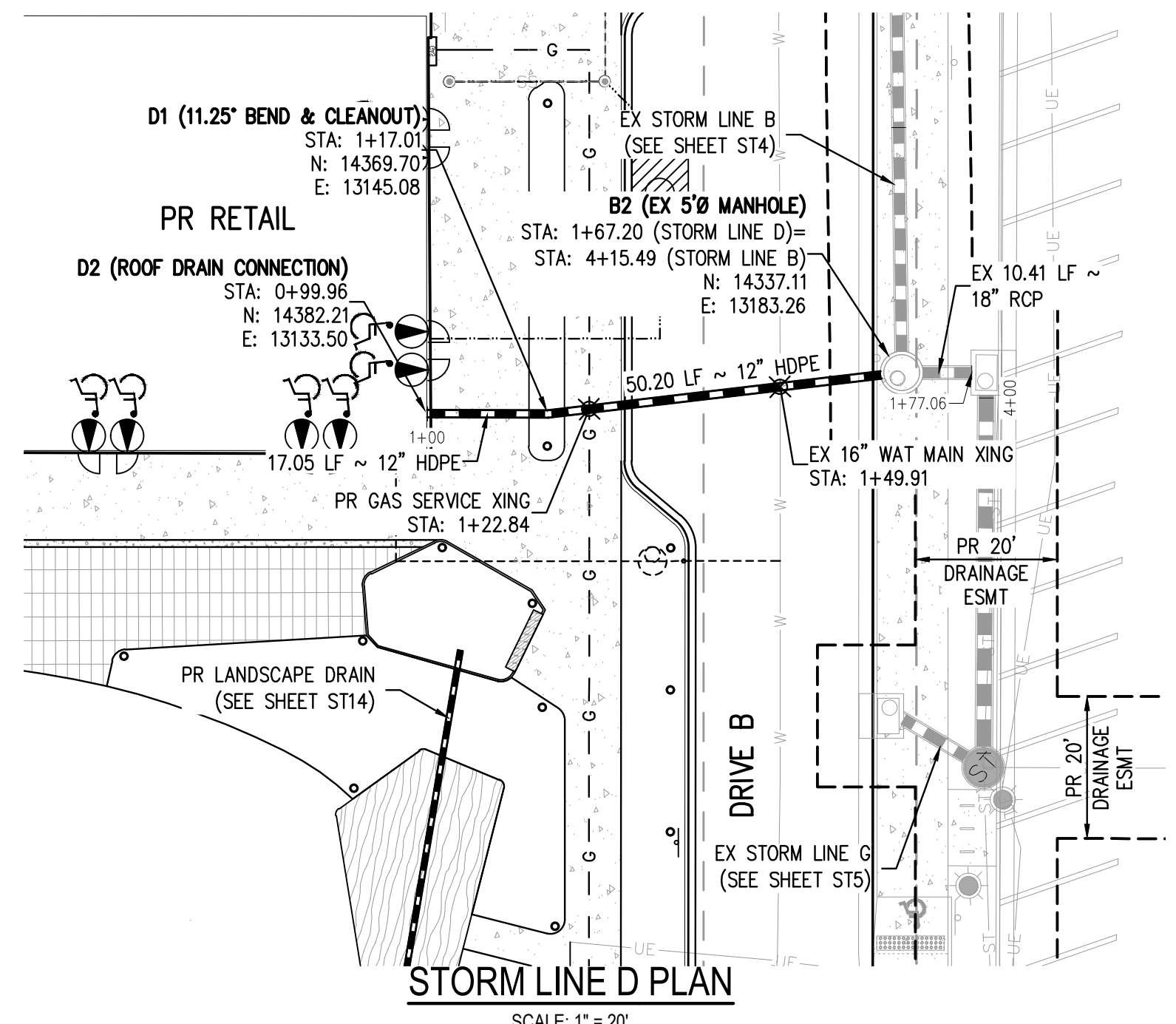


PROJECT #: 231016
SHEET NUMBER
ST12
12 OF 16

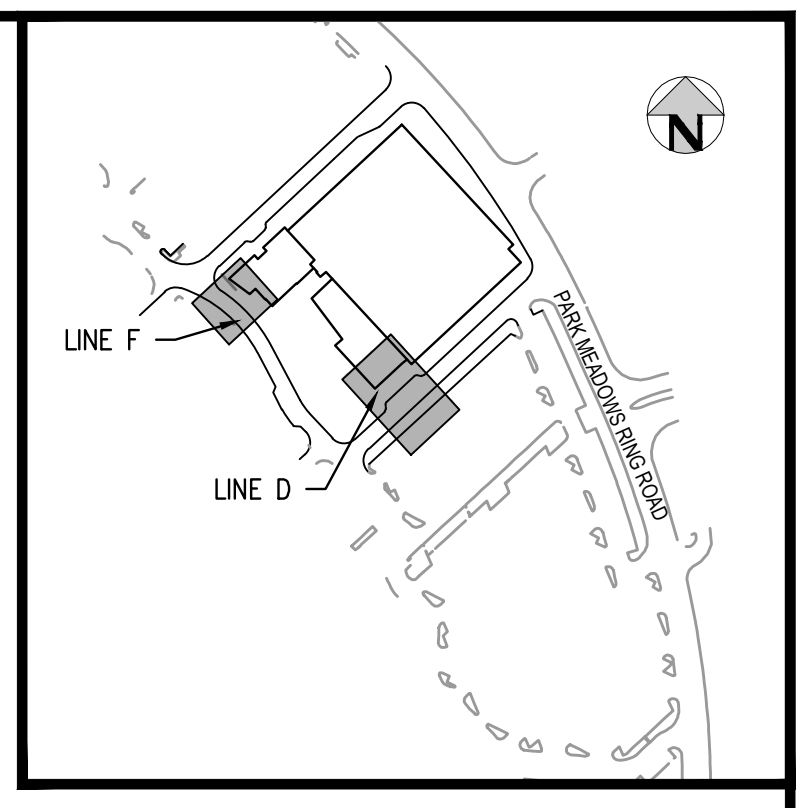
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STORM LINE F PLAN
SCALE: 1" = 20'

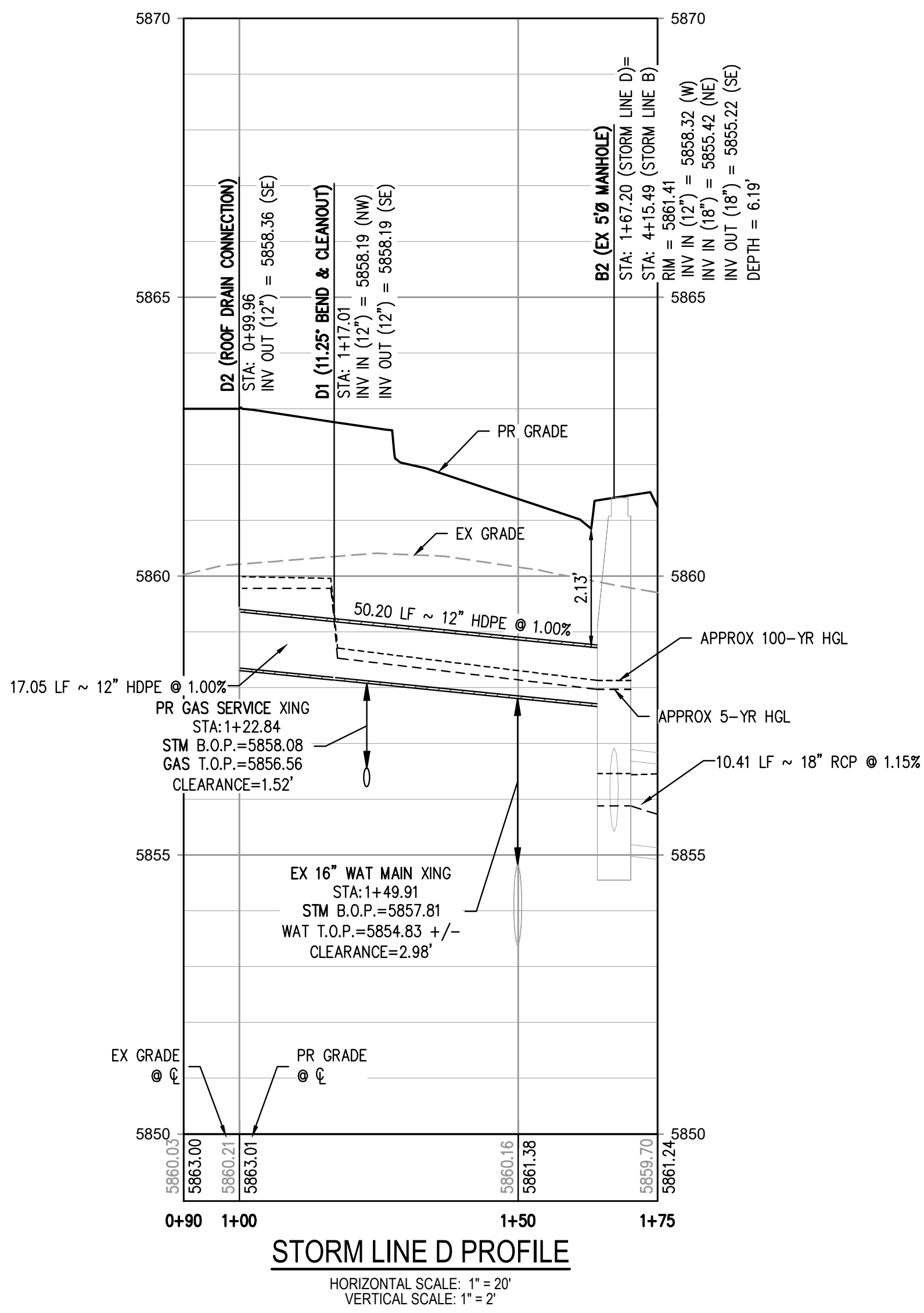
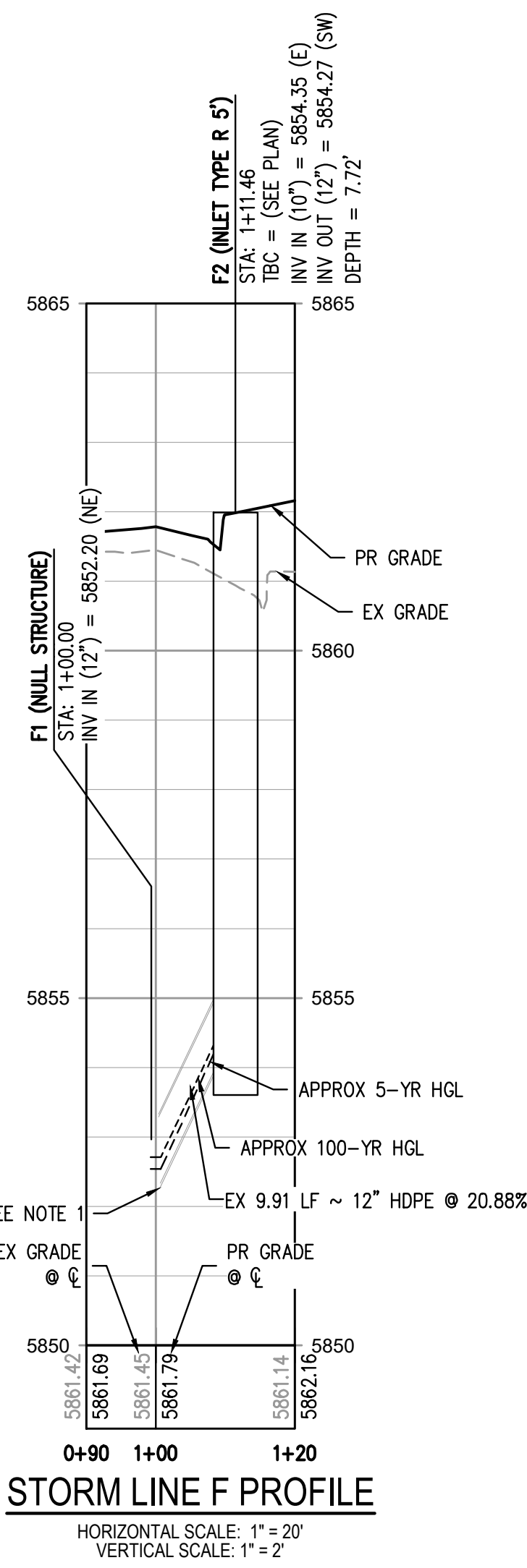


STORM LINE D PLAN
SCALE: 1" = 20'



KEYMAP
SCALE: 1" = 300'

- GENERAL STORM NOTES:**
1. THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION, IN ACCORDANCE WITH COLORADO STATE STATUTES.
 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE. AS SUPPLIED BY THE UTILITY OWNERS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
 3. PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE FOR CYLINDRICAL MANHOLES AND TO THE INSIDE FACE OF INLETS AND OTHER BOX STRUCTURES. PIPE LENGTHS ARE MEASURED TO THE END OF THE STRUCTURE FOR ALL FLARED END SECTIONS.
 4. STATIONING OF INLETS SHOWN IN STORM SEWER PROFILES IS AT CENTER OF STRUCTURE.
 5. ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
 6. CONTRACTOR SHALL USE RCP, PVC, PP, OR HDPE PIPES FOR THE MAIN LINES, BUT SHALL NOTIFY THE JURISDICTIONAL UTILITY PROVIDER AND THE ENGINEER, PRIOR TO INSTALLATION, FOR APPROVAL. REGARDLESS OF PIPE MATERIAL, ALL STORM SEWER SHALL UTILIZE WATER-TIGHT JOINTS.
 7. FOR ALL NON-CONCENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
 8. ALL TYPE C & D INLETS SHALL HAVE CLOSE MESH GRATES.
 9. ALL LATERAL PIPE-TO-PIPE CONNECTIONS SHALL BE MADE USING KOR-N-TEE CONNECTORS OR ENGINEER APPROVED EQUIVALENT.
 10. CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
 11. CONTRACTOR SHALL MODIFY INLET BASES AS NEEDED IN ORDER TO ENSURE ALL STORM PIPES CONNECT PROPERLY TO THE INLET. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ENGINEER, OWNER, AND CITY/COUNTY PRIOR TO INSTALLATION.
 12. CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS, DESIGNED BY A LICENSED ENGINEER, DETAILING THE STRUCTURAL DESIGN OF ALL POND IMPROVEMENTS (FOREBAY, ENERGY DISSIPATING BAFFLES, OUTLET STRUCTURE, ETC.) FOR REVIEW AND APPROVAL BY ENGINEER, OWNER, AND CITY/COUNTY PRIOR TO INSTALLATION.
 13. ANY SUBSURFACE DETENTION AND/OR WATER QUALITY SYSTEM DESIGNS SHOWN ON THESE PLANS (IF APPLICABLE) ARE SPECIFICALLY LIMITED TO ELEVATIONS, GRADES AND STORMWATER DETENTION AND/OR WATER QUALITY DESIGN VOLUMES AND RELEASE RATES. THE DESIGN AND PROFESSIONAL ENGINEER'S SEAL SPECIFICALLY EXCLUDES STRUCTURAL DESIGN (INCLUDING, BUT NOT LIMITED TO, BUOYANCY CALCULATIONS AND CONSTRUCTION, TRAFFIC, OR OTHER LOADING), DEWATERING, EXCAVATION, SHORING, AND MATERIALS AND BACKFILL SPECIFICATIONS. IF THE PROPOSED SYSTEM UTILIZES A PROPRIETARY AND/OR PRE-MANUFACTURED DETENTION AND/OR WATER QUALITY SYSTEM, THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED SYSTEM DESIGN, CALCULATIONS, MATERIALS AND BACKFILL SPECIFICATIONS WITH THE UNDERGROUND DETENTION AND/OR WATER QUALITY SYSTEM MANUFACTURER AND/OR SUPPLIER. CONSTRUCTION OBSERVATION BY THE MANUFACTURER'S REPRESENTATIVE IS ESSENTIAL FOR PROPER INSTALLATION OF UNDERGROUND DETENTION AND/OR WATER QUALITY SYSTEMS. AT A MINIMUM, THE INSTALLATION SHOULD BE INSPECTED BY THE MANUFACTURER'S REPRESENTATIVE DURING CONSTRUCTION AND ANY DEFICIENCIES OF THE INSTALLATION IDENTIFIED BY THE MANUFACTURER'S INSPECTION SHOULD BE CORRECTED IMMEDIATELY.
 14. THE INVERT OUT ELEVATION FOR INLET F2 IS APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION FOR THE EXISTING STORM PIPE IT WILL BE CONNECTED TO. THIS INLET MUST BE CAST-IN-PLACE AROUND THE EXISTING PIPE TO ACCOMMODATE MINOR ADJUSTMENTS IN THE ELEVATIONS DUE TO THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL DETERMINE THE EXISTING PIPE ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



LEGEND

| | |
|----------------------|------|
| MANHOLE | ● |
| HYDRANT | ● |
| STREET LIGHT | ○ |
| UNDERGROUND ELECTRIC | —UE— |
| WATER | —W— |
| IRRIGATION WATER | —IR— |
| GAS | —G— |
| STORM SEWER | —ST— |
| SANITARY SEWER | —SS— |
| UNDERGROUND TELECOMM | —UT— |
| TO BE DEMOLISHED | --- |

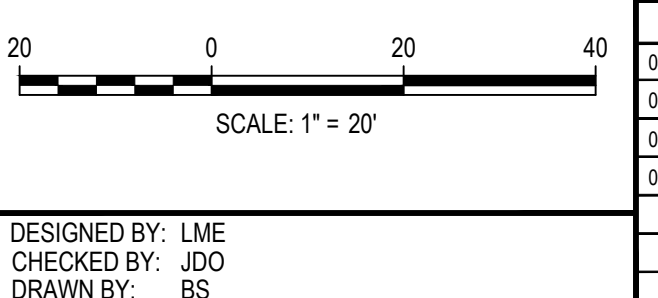
PR

| | |
|------------------------|-------|
| MANHOLE | ⊙ |
| HYDRANT | ● |
| DOMESTIC WATER SERVICE | —DWS— |
| FIRE WATER SERVICE | —FWS— |
| INLET | □ |
| STREET LIGHT | ○ |
| UNDERGROUND ELECTRIC | —UE— |
| GAS | —G— |
| WATER | —W— |
| STORM SEWER | —ST— |
| SANITARY SEWER | —SS— |
| SANITARY SERVICE | —SS— |

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED* 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD8).

NOTE:
1. THE INVERT IN ELEVATION FOR INLET F2 IS APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION FOR THE EXISTING STORM PIPE IT WILL BE CONNECTED TO. THIS INLET MUST BE CAST-IN-PLACE AROUND THE EXISTING PIPE TO ACCOMMODATE MINOR ADJUSTMENTS IN THE ELEVATIONS DUE TO THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL DETERMINE THE EXISTING PIPE ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

FILE PATH: P:\2022\202101\ENGINEERING\UTILITIES\STORM\CD - ST - STORM\PRP-PHASE\DWG LAYOUT: LAYOUT (2) PLOT: ST13.DWG PLOTTED: 05-03-2024 10:41:48 AM PLOTTED BY: LIBBEY EXDERSER

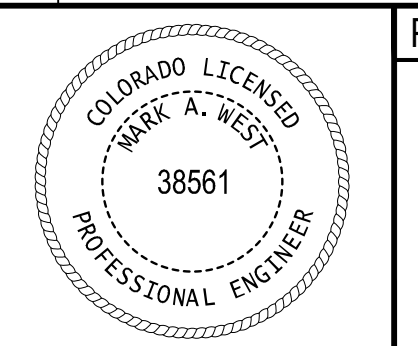


| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

**PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
STORM PLAN & PROFILE - PHASE 1B**

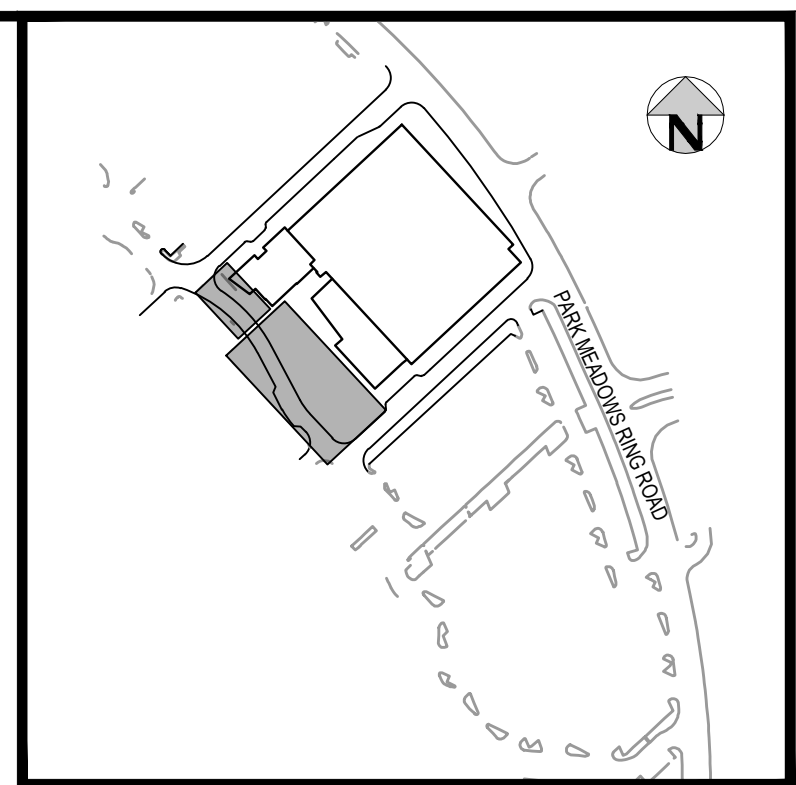
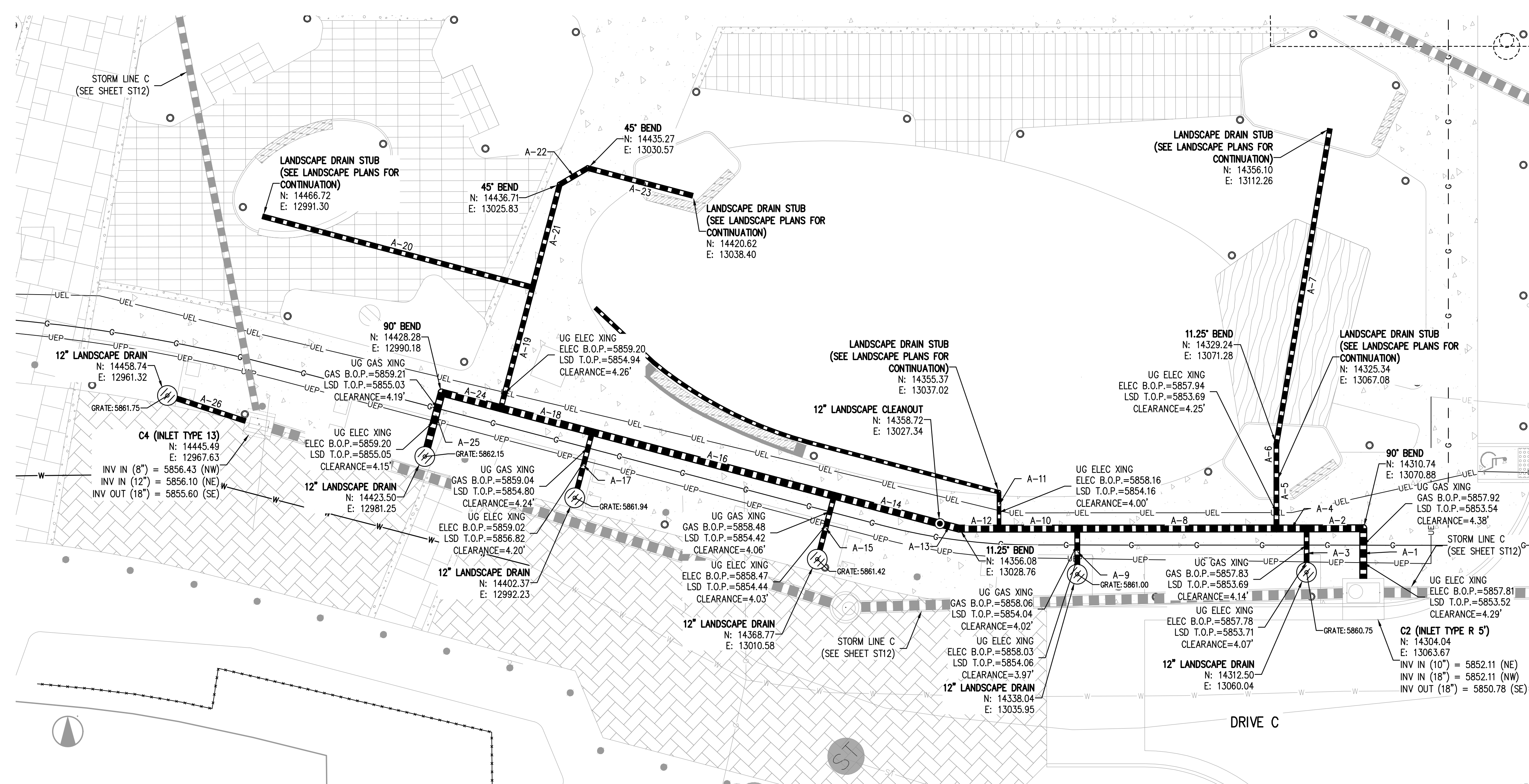


PROJECT #: 231016
SHEET NUMBER
ST13
13 OF 16

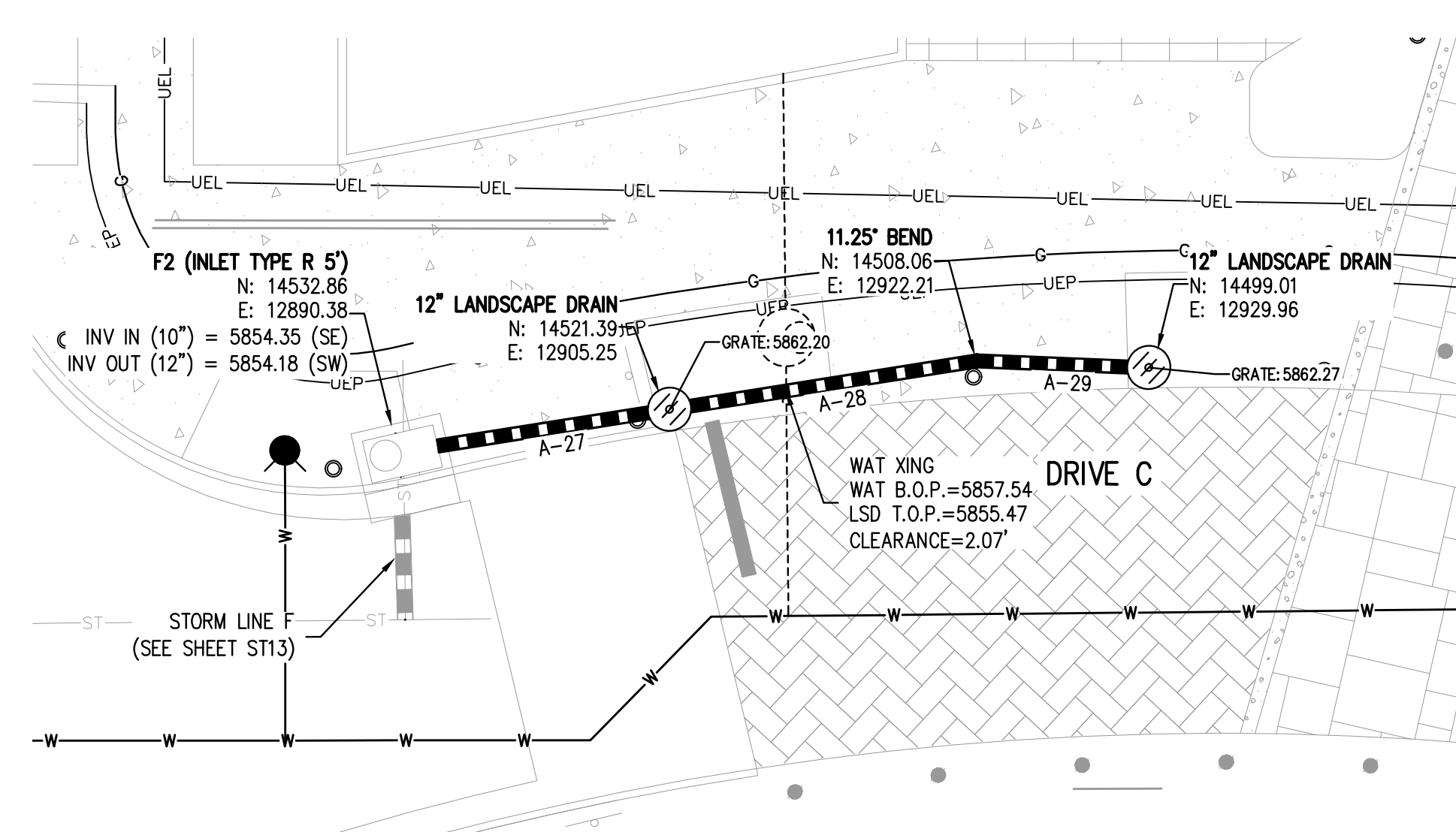
ENGINEERING DIVISION ACCEPTANCE BLOCK

CITY OF LONE TREE
DATE
THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- GENERAL LANDSCAPE DRAIN NOTES:**
- CONTRACTOR SHALL USE 90-DEGREE WYES AT PERPENDICULAR JOINTS WHERE POSSIBLE.
 - CONTRACTOR SHALL USE CONCENTRIC REDUCERS UNLESS OTHERWISE NOTED. WHERE ECCENTRIC REDUCERS ARE USED THE INVERTS MUST MATCH.
 - CONTRACTOR SHALL USE STANDARD PVC FITTINGS WHEN POSSIBLE UNLESS OTHERWISE NOTED ON THE PLAN.
 - ALL LANDSCAPE DRAIN PIPES SHALL BE WATERTIGHT PVC, RIGID HDPE WITH SMOOTH INNER WALL, OR ENGINEER APPROVED EQUIVALENT.
 - ALL LANDSCAPE DRAIN PIPES SHALL BE A MINIMUM OF 2-FT DEEP (UNLESS OTHERWISE NOTED) AND SHALL HAVE A 0.50% MINIMUM SLOPE.
 - LANDSCAPE DRAIN GRATES IN LANDSCAPED AREAS SHALL BE NYLOPLAST 12-INCH DOME STYLE GRATES/COVERS, OR ENGINEER-APPROVED EQUIVALENT.
 - LANDSCAPE DRAIN GRATES IN PAVEMENT SHALL BE PEDESTRIAN-FRIENDLY, 4-INCH ROUND BRASS GRATES OR ENGINEER-APPROVED EQUIVALENT UNLESS OTHERWISE NOTED ON THE PLAN.
 - TRENCH DRAINS SHALL BE ACO CLASSIC KS100S WITH TYPE 461Q DUCTILE IRON SLOTTED GRATE OR ENGINEER-APPROVED EQUIVALENT. TRENCH DRAINS SHALL HAVE AN INVERT SLOPE OF AT LEAST 0.50%. TRENCH DRAIN INVERT SHALL MATCH THE CONNECTING LANDSCAPE DRAIN PIPE INVERT. FOR GRATE ELEVATIONS SEE THIS SHEET.
 - LANDSCAPE DRAINS LOCATED AT THE END OF A LINE SHALL BE INSTALLED WITH A RISER AND 90 DEGREE BEND. MATCHING THE SIZE OF THE PIPE CONNECTING TO THE DRAIN AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE.
 - LANDSCAPE DRAINS CONNECTING TO ROOF DOWNSPOUTS SHALL BE INSTALLED WITH A RISER AND 90 DEGREE BEND MATCHING THE SIZE OF THE PIPE CONNECTING TO THE ROOF DRAIN AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE.
 - IN-LINE LANDSCAPE DRAINS SHALL BE INSTALLED WITH A RISER AND TEE FITTING MATCHING THE SIZE OF THE MAIN LINE CONNECTION AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE. IF TWO OR MORE PIPE SIZES INTERSECT AT THE IN-LINE DRAIN CONNECTION THEN THE LARGER PIPE SIZE SHALL DICTATE THE SIZE OF THE RISER.
 - AT ANY LOCATION WHERE MORE THAN TWO LANDSCAPE DRAIN PIPES INTERSECT AND CANNOT BE CONNECTED WITH STANDARD FITTINGS, A DRAIN BASIN SHALL BE INSTALLED. THE DRAIN BASIN SHALL BE SIZED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
 - FOR GRATE ELEVATIONS SEE DETAILED GRADING PLAN SHEETS(S).



| PIPE TABLE | | | | | |
|------------|------|--------|-------|-----------------|-------------------|
| NAME | SIZE | LENGTH | SLOPE | UPSTREAM INVERT | DOWNSTREAM INVERT |
| A-1 | 12" | 7.68' | 1.00% | 5852.19 | 5852.11 |
| A-2 | 12" | 8.68' | 1.00% | 5852.28 | 5852.19 |
| A-3 | 8" | 6.74' | 1.00% | 5852.35 | 5852.28 |
| A-4 | 12" | 4.61' | 1.00% | 5852.33 | 5852.28 |
| A-5 | 8" | 7.15' | 1.00% | 5852.40 | 5852.33 |
| A-6 | 8" | 5.73' | 1.00% | 5852.46 | 5852.40 |
| A-7 | 8" | 49.00' | 1.00% | 5852.95 | 5852.46 |
| A-8 | 12" | 30.50' | 1.00% | 5852.63 | 5852.33 |
| A-9 | 8" | 7.01' | 1.00% | 5852.70 | 5852.63 |
| A-10 | 12" | 11.97' | 1.00% | 5852.75 | 5852.63 |
| A-11 | 6" | 5.58' | 1.00% | 5852.81 | 5852.75 |
| A-12 | 12" | 6.14' | 1.00% | 5852.81 | 5852.75 |
| A-13 | 12" | 3.00' | 1.00% | 5852.64 | 5852.81 |
| A-14 | 12" | 16.76' | 1.00% | 5853.01 | 5852.84 |
| A-15 | 8" | 10.05' | 1.00% | 5853.11 | 5853.01 |
| A-16 | 12" | 38.29' | 1.00% | 5853.39 | 5853.01 |
| A-17 | 8" | 10.40' | 1.00% | 5853.49 | 5853.39 |
| A-18 | 12" | 14.45' | 1.00% | 5853.53 | 5853.39 |
| A-19 | 8" | 19.11' | 1.00% | 5853.72 | 5853.53 |
| A-20 | 8" | 42.74' | 1.00% | 5854.15 | 5853.72 |

| PIPE TABLE | | | | | |
|------------|------|--------|-------|-----------------|-------------------|
| NAME | SIZE | LENGTH | SLOPE | UPSTREAM INVERT | DOWNSTREAM INVERT |
| A-21 | 8" | 16.31' | 1.00% | 5853.88 | 5853.72 |
| A-22 | 8" | 4.95' | 1.00% | 5853.93 | 5853.88 |
| A-23 | 8" | 16.61' | 1.00% | 5854.10 | 5853.93 |
| A-24 | 12" | 9.36' | 1.00% | 5853.62 | 5853.53 |
| A-25 | 12" | 10.13' | 1.00% | 5853.72 | 5853.62 |
| A-26 | 8" | 12.54' | 1.00% | 5856.56 | 5856.43 |
| A-27 | 10" | 16.28' | 1.00% | 5854.51 | 5854.35 |
| A-28 | 10" | 21.57' | 1.00% | 5854.73 | 5854.51 |
| A-29 | 10" | 11.91' | 1.00% | 5854.85 | 5854.73 |

BENCHMARK:
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED* 2.113021 DC GIS* WITH A PUBLISHED ELEVATION OF 5919.47 (NAVD88).

CITY OF LONE TREE

DATE

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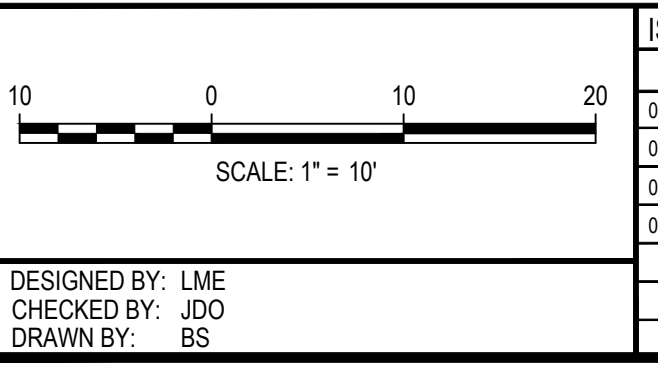
ENGINEERING DIVISION ACCEPTANCE BLOCK

PROJECT #: 231016
SHEET NUMBER

ST14

14 OF 16

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DESIGNED BY: JDO
CHECKED BY: JDO
PLOTTED: TUE 06/04/2024 8:02:40 AM BY: LIBBEY ENDERSBE

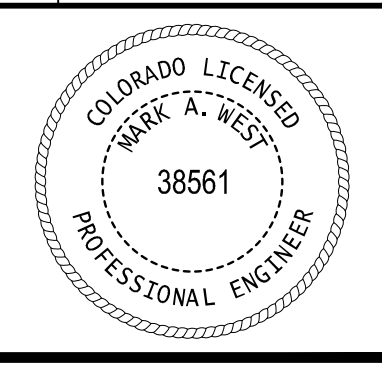


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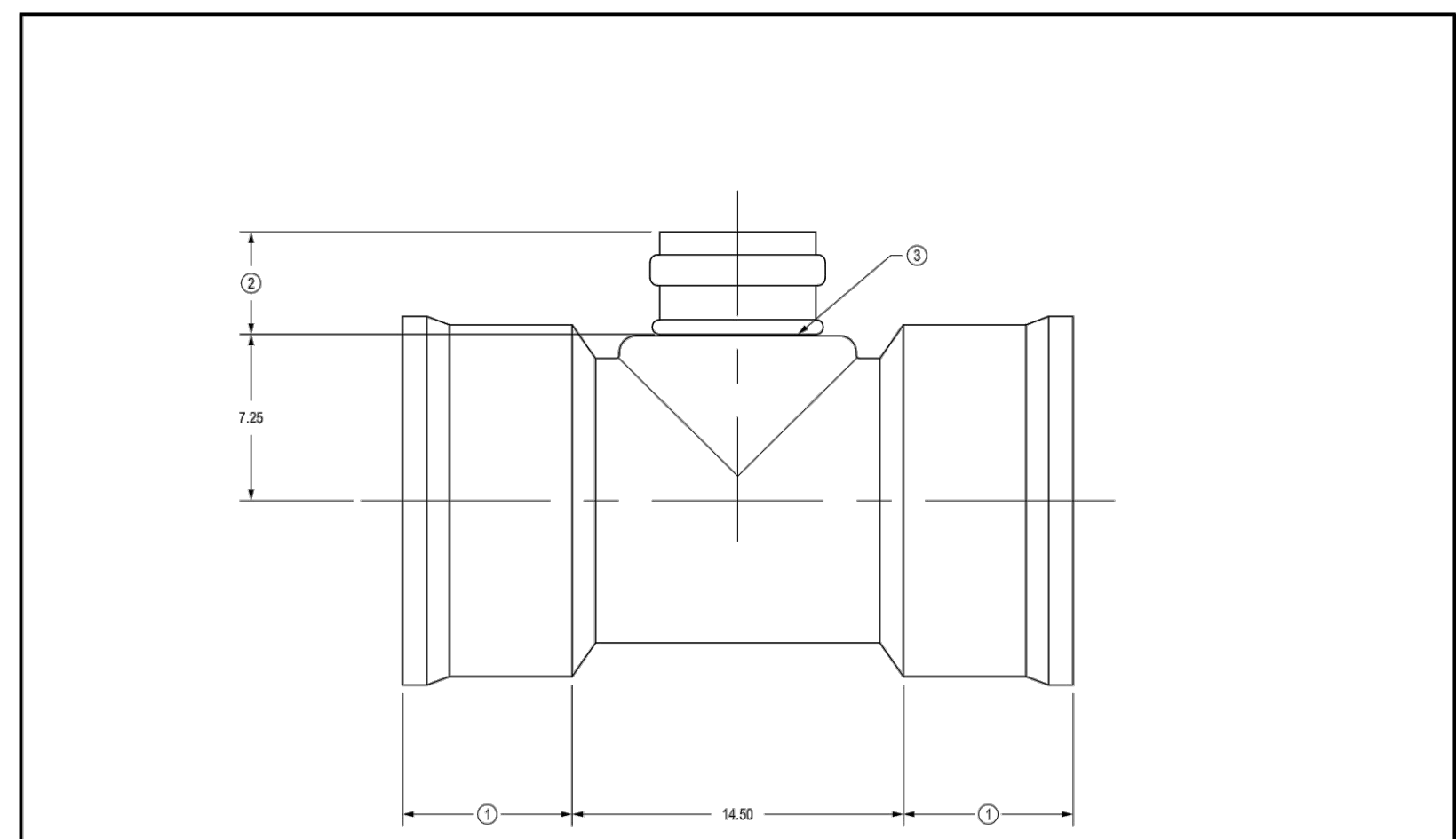
PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
LANDSCAPE DRAIN PLAN - PHASE 1B



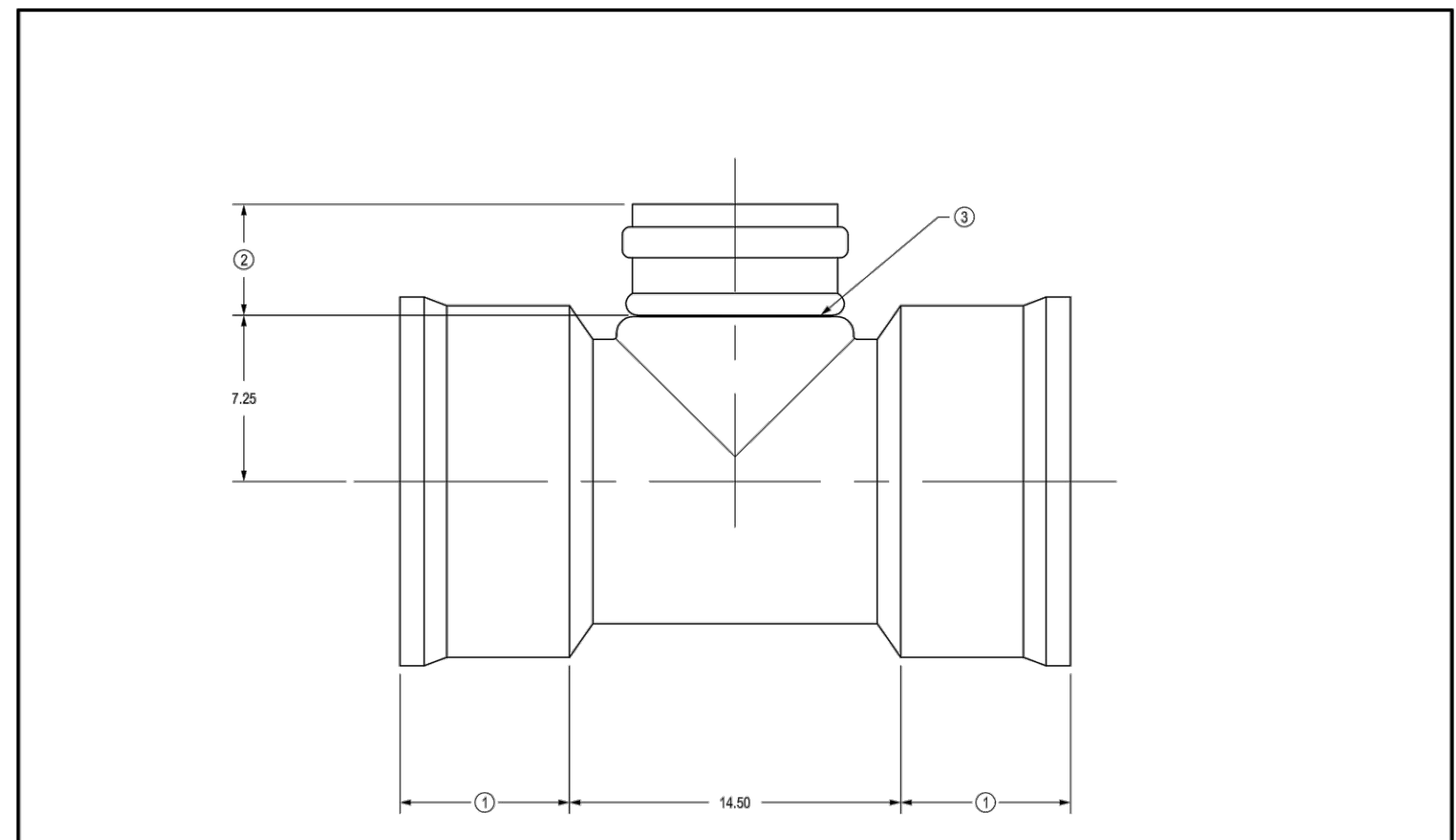
14 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



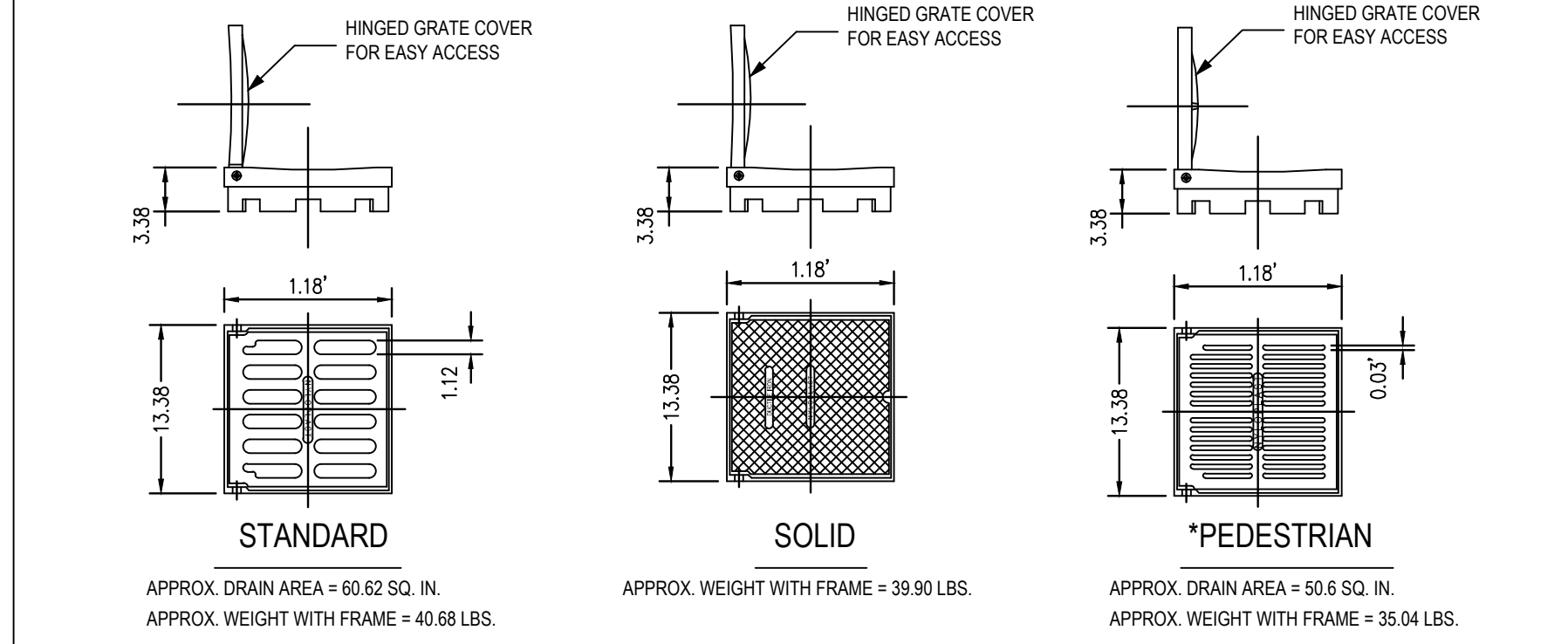
1. SEE DRAWING NO. 7001-110-275 FOR ADS N-12 & HANCOR DUAL WALL BELL INFORMATION
 2. SEE DRAWING NO. 0115-001-010 FOR GASKETED SWR BELL INFORMATION
 3. SEE DRAWING NO. 7003-110-021 FOR WATER TIGHT SWAGE JOINT DETAIL
 4. DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
 5. DIMENSIONS ARE IN INCHES.

| | | |
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|---|---|--|



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 2. SEE DRAWING NO. 0115-001-010 FOR GASKETED SWR BELL INFORMATION
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|---|---|--|



NYLOPLAST 12" GRATES/COVERS
 STANDARD GRATE HAS H-25 HEAVY DUTY RATING
 SOLID COVER HAS H-25 HEAVY DUTY RATING
 PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING
 QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-5 & A48-CLASS 30B
 MATERIAL: DUCTILE IRON GRATE W/CAST IRON FRAME
 PAINT: CASTINGS ARE FINISHED WITH A BLACK PAINT
 LOCKING DEVICE AVAILABLE UPON REQUEST
 PRICE INCLUDES FRAME & GRATE/COVER

APPROX. DRAIN AREA = 60.62 SQ. IN.
 APPROX. WEIGHT WITH FRAME = 40.68 LBS.

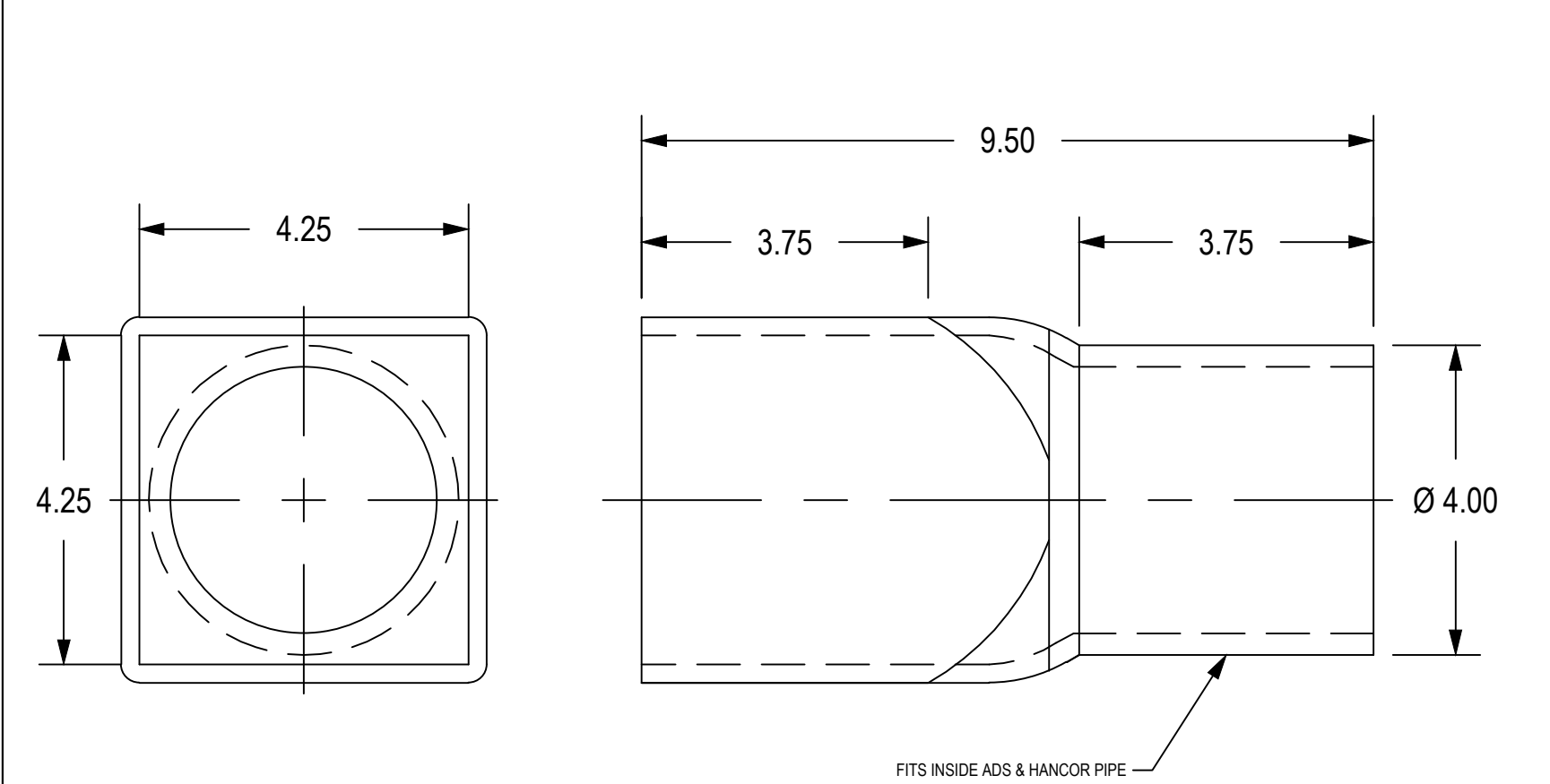
APPROX. WEIGHT WITH FRAME = 39.90 LBS.

APPROX. DRAIN AREA = 50.6 SQ. IN.
 APPROX. WEIGHT WITH FRAME = 35.04 LBS.

* SIZE OF OPENING MEETS REQUIREMENTS OF AMERICAN DISABILITY ACT AS STATED IN FEDERAL REGISTER PART III, DEPARTMENT OF JUSTICE, 28 CFR PART 36, NONDISCRIMINATION ON THE BASIS OF DISABILITY BY PUBLIC ACCOMMODATIONS AND IN COMMERCIAL FACILITIES, FINAL RULE.

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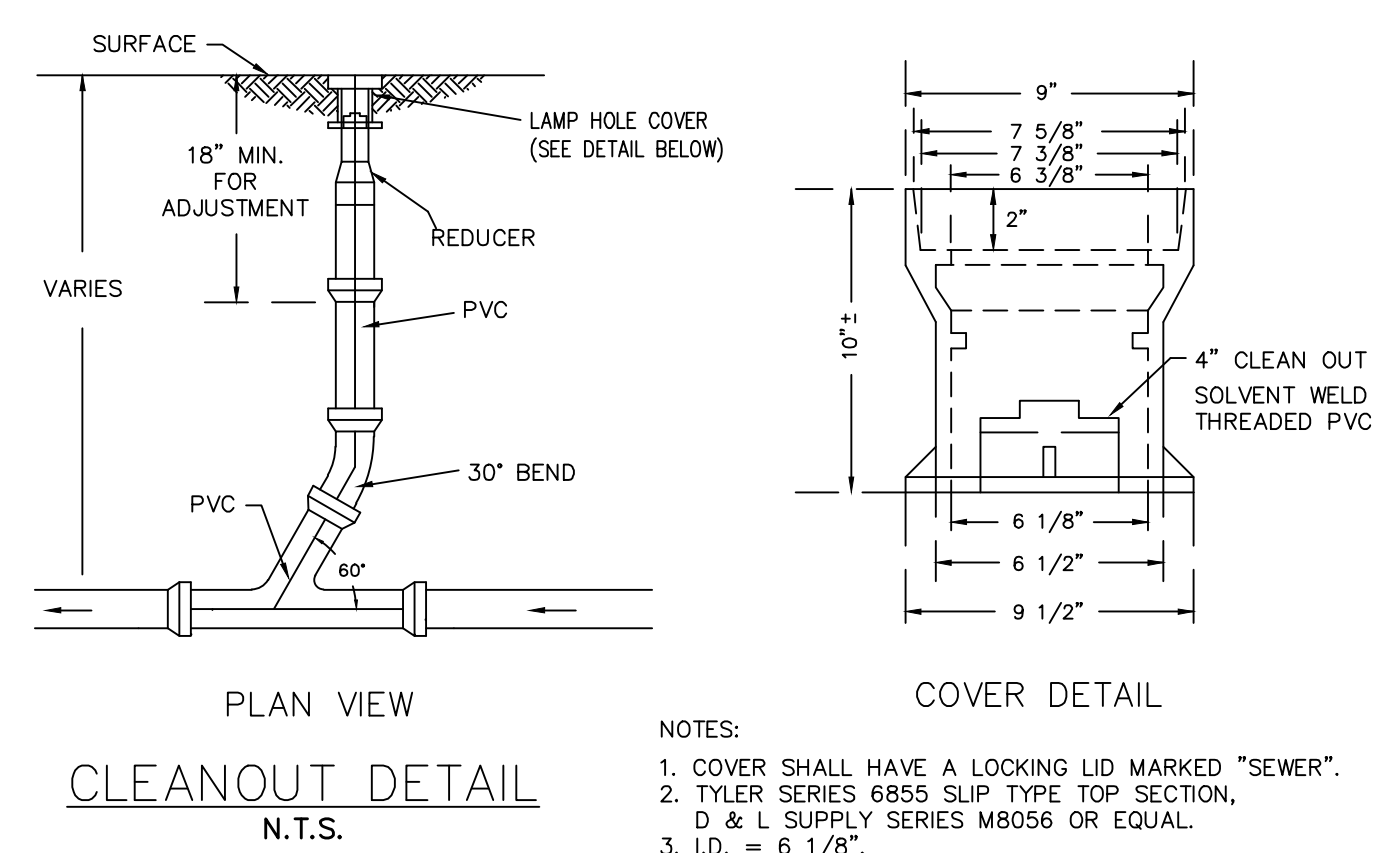
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|--|---|



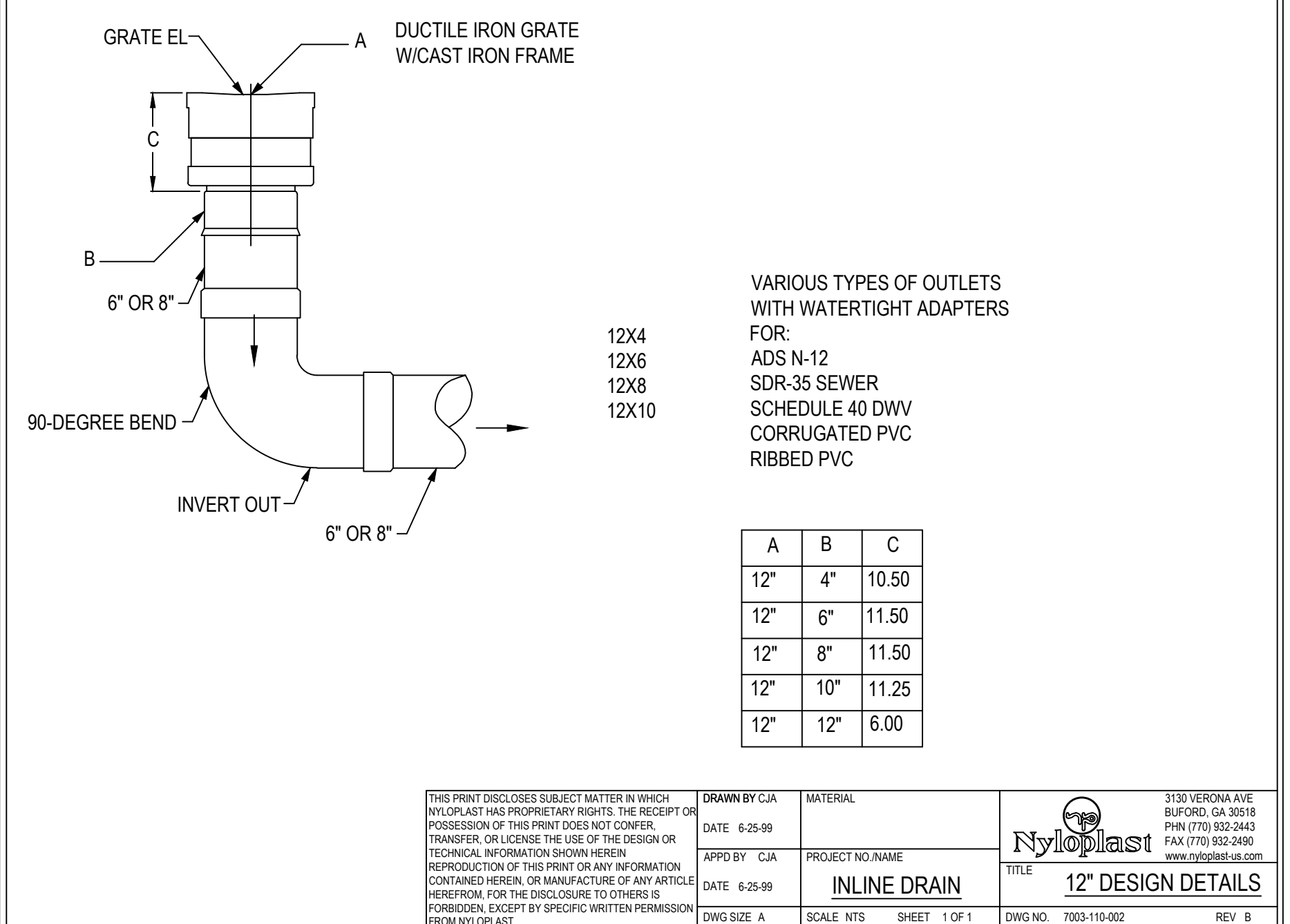
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| DRAWN BY: EBC DATE: 6-6-06 APP'D BY: CIA DATE: 6-6-06 DWS SIZE: A SCALE: 1/2" SHEET: 1 OF 1 DWS NO.: 8449H REV: A | MATERIAL: PVC PROJECT NO: NAME TITLE: 4" X 4" X 4" DOWNSPOUT ADAPTER 3130 VERONA AVE SUFORD, GA 30016 PHN (770) 932-2443 FAX (770) 932-2486 WWW.NYLOPLAST.COM |
|---|--|



NOTES:
 1. COVER SHALL HAVE A LOCKING LID MARKED "SEWER".
 2. TYLER SERIES 6855 SLIP TYPE TOP SECTION, D & L SUPPLY SERIES M8056 OR EQUAL.
 3. I.D. = 6 1/8".

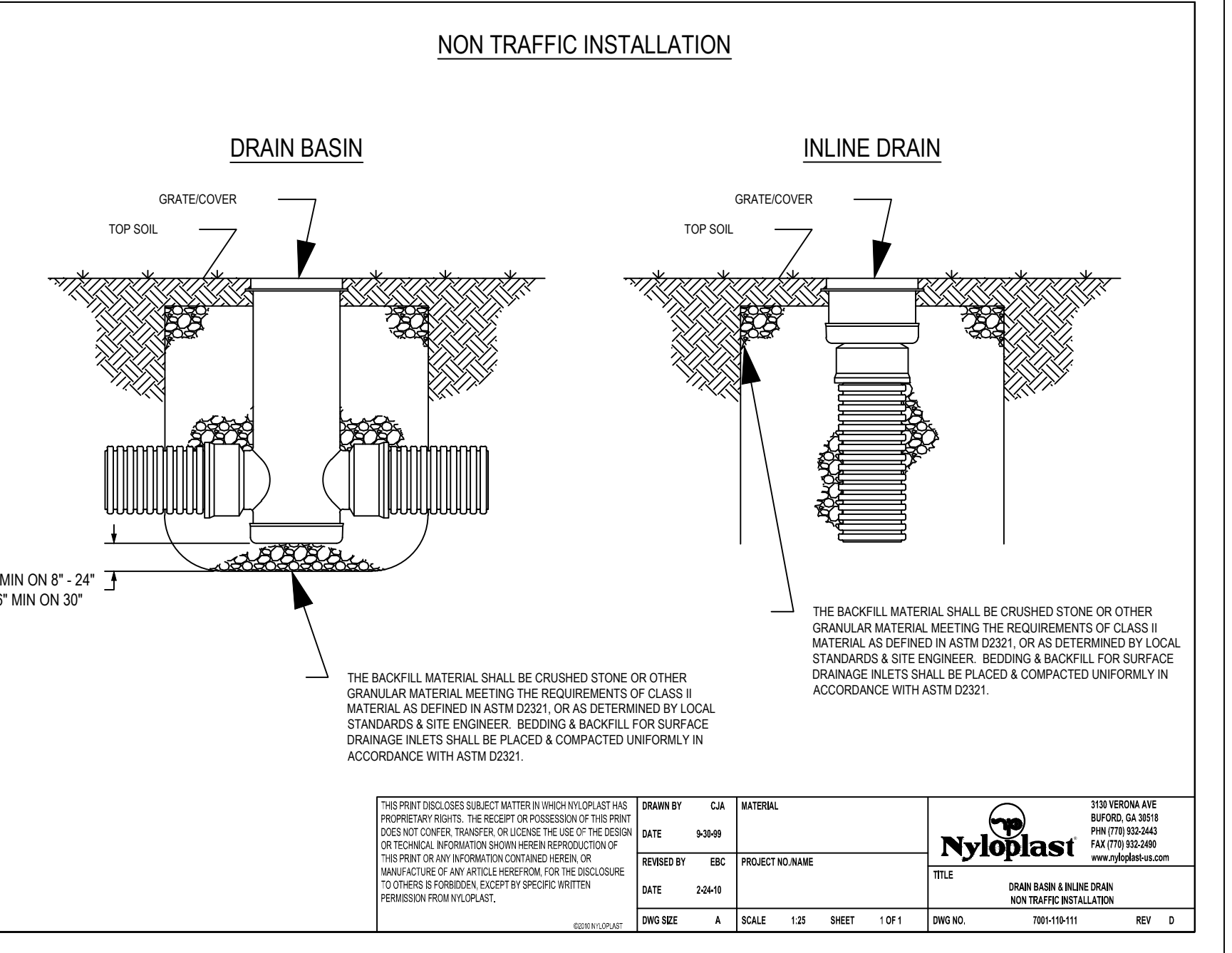


VARIOUS TYPES OF OUTLETS WITH WATERTIGHT ADAPTERS FOR:
 ADS N-12
 SDR-35 SEWER
 SCHEDULE 40 DWV
 CORRUGATED PVC
 RIBBED PVC

| A | B | C |
|-----|-----|-------|
| 12" | 4" | 10.50 |
| 12" | 6" | 11.50 |
| 12" | 8" | 11.50 |
| 12" | 10" | 11.25 |
| 12" | 12" | 6.00 |

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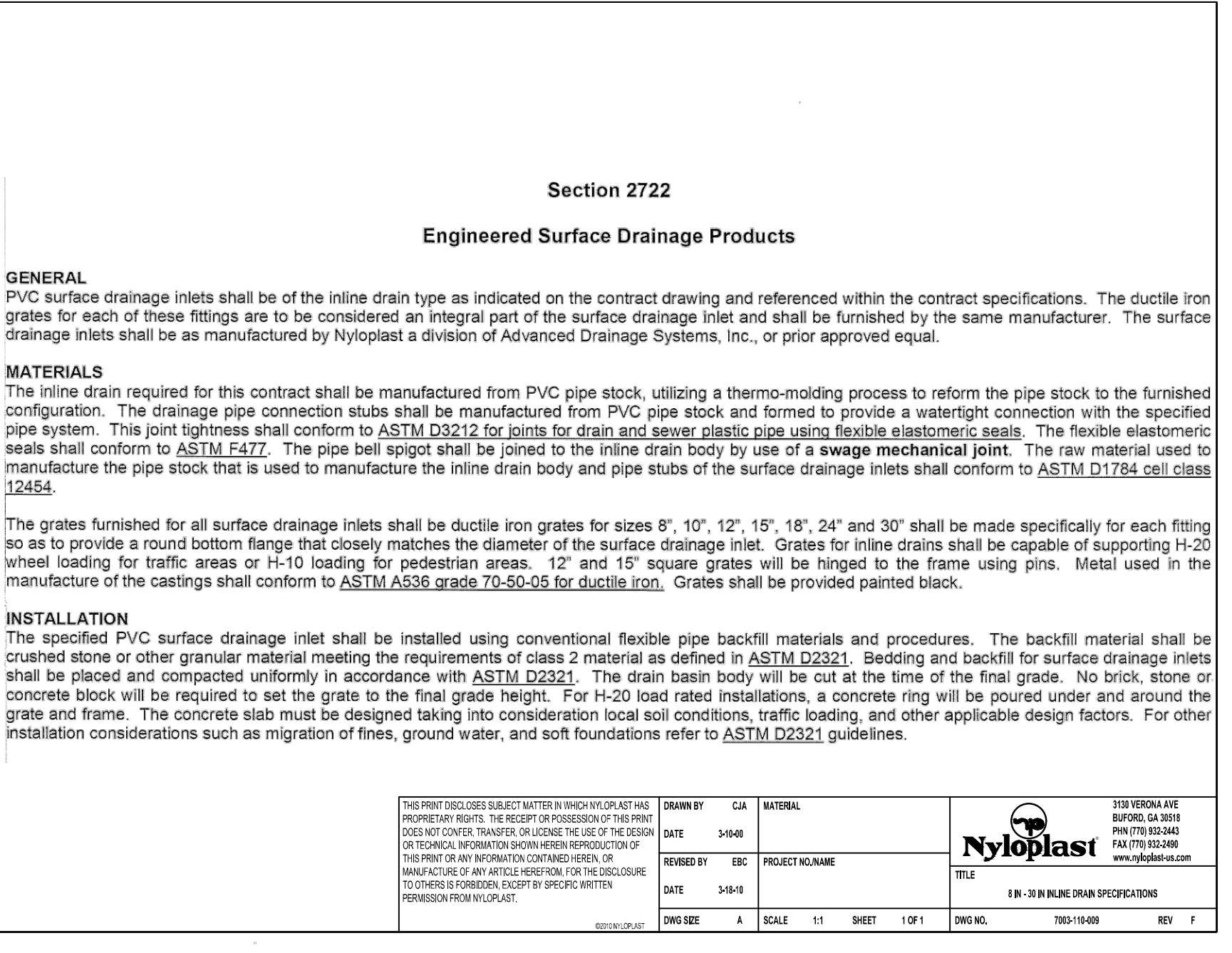
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|---|--|
| DRAWN BY: CIA DATE: 6-25-99 APP'D BY: CIA DATE: 6-25-99 DWS SIZE: A SCALE: NTS SHEET: 1 OF 1 DWS NO.: 7003-110-002 REV: B | MATERIAL: PVC PROJECT NO: NAME TITLE: 12" DESIGN DETAILS 3130 VERONA AVE SUFORD, GA 30016 PHN (770) 932-2443 FAX (770) 932-2486 WWW.NYLOPLAST.COM |
|---|--|



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321, OR AS DETERMINED BY LOCAL STANDARDS & SITE ENGINEER. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

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| DRAWN BY: CIA DATE: 9-20-08 APP'D BY: EBC DATE: 9-20-08 DWS SIZE: A SCALE: 1/2" SHEET: 1 OF 1 DWS NO.: 7003-110-111 REV: D | MATERIAL: DUCTILE IRON PROJECT NO: NAME TITLE: DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION 3130 VERONA AVE SUFORD, GA 30016 PHN (770) 932-2443 FAX (770) 932-2486 WWW.NYLOPLAST.COM |
|--|--|



Section 2722
Engineered Surface Drainage Products

GENERAL
 PVC surface drainage inlets shall be of the inline drain type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS
 The inline drain required for this contract shall be manufactured from PVC pipe stock, utilizing a thermo-molding process to reform the pipe stock to the finished configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the inline drain body by use of a swage mechanical joint. The raw material used to manufacture the pipe stock that is used to manufacture the inline drain body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates furnished for all surface drainage inlets shall be ductile iron grates for sizes 8", 10", 12", 15", 18", 24" and 30" shall be made specifically for each fitting so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for inline drains shall be capable of supporting H-20 wheel loading for traffic areas or H-10 loading for pedestrian areas. 12" and 15" square grates will be hinged to the frame using pins. Metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-55 for ductile iron. Grates shall be provided painted black.

INSTALLATION
 The specified PVC surface drainage inlet shall be installed using conventional flexible pipe bedding materials and procedures. The bedding material shall be crushed stone or other granular material meeting the requirements of class II material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be placed and compacted uniformly in accordance with ASTM D2321. The concrete ring must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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| DRAWN BY: CIA DATE: 3-9-08 APP'D BY: EBC DATE: 3-9-08 DWS SIZE: A SCALE: 1/2" SHEET: 1 OF 1 DWS NO.: 7003-110-009 REV: F | MATERIAL: PVC PROJECT NO: NAME TITLE: 12" X 6" INLINE DRAIN SPECIFICATIONS 3130 VERONA AVE SUFORD, GA 30016 PHN (770) 932-2443 FAX (770) 932-2486 WWW.NYLOPLAST.COM |
|--|--|

CITY OF LONE TREE

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THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



| ISSUE DATE: 03-29-2024 | REVISION COMMENTS |
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| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

DESIGNED BY: LME
 CHECKED BY: JDO
 DRAWN BY: BS



PARK MEADOWS MALL, LLC /
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 LANDSCAPE DRAIN DETAILS



PROJECT #: 231016
 SHEET NUMBER
ST15
 15 OF 16

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

REINFORCED CONCRETE PIPE

GENERAL NOTES

- ADAPTABLE COVER SHALL BE PROVIDED DURING CONSTRUCTION TO PROTECT THE PIPE FROM DAMAGE. THE MINIMUM COVER SHALL BE AS SHOWN ON THESE TABLES OR CONFORM TO AASHTO REQUIREMENTS, WHICHEVER IS GREATER. THE MINIMUM COVER FOR REINFORCED CONCRETE PIPE IS MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE PAVEMENT (HMA OR PCPP).
- FILL HEIGHTS GREATER THAN MAXIMUM ALLOWED IN THE HEIGHTS OF FILL TABLE ON THIS SHEET REQUIRE SPECIAL DESIGN OF STRUCTURE.
- PIPE DESIGN IS BASED ON SAFETY FACTOR OF 1.33 ON ULTIMATE STRENGTH.
- THE HEIGHTS OF FILL OVER TOP OF PIPE ARE BASED ON UNIT WEIGHT OF SOIL AT 135 LBS PER CUBIC FT.
- PIPE CLASS IS DETERMINED FROM 0.01 IN CRACK D-LOAD.
- BEDDING IS CLASS B (MODIFIED) FROM CONCRETE PIPE DESIGN MANUAL-AMERICAN CONCRETE PIPE ASSOCIATION WITH SETTLEMENT RATIO $R = 0.05$ (YIELDING BED). BEDDING MATERIAL FOR RIGID PIPE IN SOIL SHALL BE 3 IN. LOOSE THICKNESS STRUCTURE BACKFILL CLASS 2. BEDDING MATERIAL FOR RIGID PIPE IN ROCK SHALL BE 12 IN. LOOSE THICKNESS STRUCTURE BACKFILL CLASS 1.
- CHANGES IN DESIGN FACTORS REQUIRE COMPENSATING CHANGES IN PIPE DESIGN.
- MINIMUM WALL THICKNESS DIMENSIONS ARE BASED ON AASHTO M 170 (WALL B) FOR CIRCULAR PIPE, AND AASHTO M 207 FOR ELLIPTICAL PIPE.
- SPACING FOR MULTIPLE PIPE INSTALLATIONS SHALL CONFORM TO THE DETAILS SHOWN ON STANDARD PLAN M-603-1.
- WHEN A PIPE IS TO BE EXTENDED, THE SAME PIPE MATERIAL AND SIZE AS IN THE ORIGINAL PIPE INSTALLATION SHALL BE USED.

NONREINFORCED CONCRETE PIPE

- AT THE OPTION OF THE CONTRACTOR, NONREINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 86 MAY BE USED IN LIEU OF REINFORCED CONCRETE PIPE FOR ALL SIZES 36 INCHES IN DIAMETER AND SMALLER. THE NONREINFORCED CONCRETE PIPE SHALL MEET THE SAME D-LOAD TO PRODUCE THE ULTIMATE LOAD UNDER THE THREE-EDGE BEARING METHOD AS SPECIFIED FOR REINFORCED CONCRETE PIPE IN CONFORMANCE WITH AASHTO M 170. THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION OF CONFORMANCE. THE WALL THICKNESS OF THE NONREINFORCED PIPE MAY BE INCREASED AS REQUIRED TO MEET D-LOAD REQUIREMENT.
- ALL REQUIREMENTS FOR REINFORCED CONCRETE PIPE, EXCEPT THOSE REFERRING TO REINFORCEMENT, SHALL APPLY TO NONREINFORCED CONCRETE PIPE.

Computer File Information

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Sheet Revisions

| Date | Comments |
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REINFORCED CONCRETE PIPE

STANDARD PLAN NO. M-603-2

Issued By: Project Development Branch on July 4, 2012 Sheet No. 1 of 1

REINFORCED CONCRETE PIPE

GENERAL NOTES

- ADAPTABLE COVER SHALL BE PROVIDED DURING CONSTRUCTION TO PROTECT THE PIPE FROM DAMAGE. THE MINIMUM COVER SHALL BE AS SHOWN ON THESE TABLES OR CONFORM TO AASHTO REQUIREMENTS, WHICHEVER IS GREATER. THE MINIMUM COVER FOR REINFORCED CONCRETE PIPE IS MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE PAVEMENT (HMA OR PCPP).
- FILL HEIGHTS GREATER THAN MAXIMUM ALLOWED IN THE HEIGHTS OF FILL TABLE ON THIS SHEET REQUIRE SPECIAL DESIGN OF STRUCTURE.
- PIPE DESIGN IS BASED ON SAFETY FACTOR OF 1.33 ON ULTIMATE STRENGTH.
- THE HEIGHTS OF FILL OVER TOP OF PIPE ARE BASED ON UNIT WEIGHT OF SOIL AT 135 LBS PER CUBIC FT.
- PIPE CLASS IS DETERMINED FROM 0.01 IN CRACK D-LOAD.
- BEDDING IS CLASS B (MODIFIED) FROM CONCRETE PIPE DESIGN MANUAL-AMERICAN CONCRETE PIPE ASSOCIATION WITH SETTLEMENT RATIO $R = 0.05$ (YIELDING BED). BEDDING MATERIAL FOR RIGID PIPE IN SOIL SHALL BE 3 IN. LOOSE THICKNESS STRUCTURE BACKFILL CLASS 2. BEDDING MATERIAL FOR RIGID PIPE IN ROCK SHALL BE 12 IN. LOOSE THICKNESS STRUCTURE BACKFILL CLASS 1.
- CHANGES IN DESIGN FACTORS REQUIRE COMPENSATING CHANGES IN PIPE DESIGN.
- MINIMUM WALL THICKNESS DIMENSIONS ARE BASED ON AASHTO M 170 (WALL B) FOR CIRCULAR PIPE, AND AASHTO M 207 FOR ELLIPTICAL PIPE.
- SPACING FOR MULTIPLE PIPE INSTALLATIONS SHALL CONFORM TO THE DETAILS SHOWN ON STANDARD PLAN M-603-1.
- WHEN A PIPE IS TO BE EXTENDED, THE SAME PIPE MATERIAL AND SIZE AS IN THE ORIGINAL PIPE INSTALLATION SHALL BE USED.

NONREINFORCED CONCRETE PIPE

- AT THE OPTION OF THE CONTRACTOR, NONREINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 86 MAY BE USED IN LIEU OF REINFORCED CONCRETE PIPE FOR ALL SIZES 36 INCHES IN DIAMETER AND SMALLER. THE NONREINFORCED CONCRETE PIPE SHALL MEET THE SAME D-LOAD TO PRODUCE THE ULTIMATE LOAD UNDER THE THREE-EDGE BEARING METHOD AS SPECIFIED FOR REINFORCED CONCRETE PIPE IN CONFORMANCE WITH AASHTO M 170. THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION OF CONFORMANCE. THE WALL THICKNESS OF THE NONREINFORCED PIPE MAY BE INCREASED AS REQUIRED TO MEET D-LOAD REQUIREMENT.
- ALL REQUIREMENTS FOR REINFORCED CONCRETE PIPE, EXCEPT THOSE REFERRING TO REINFORCEMENT, SHALL APPLY TO NONREINFORCED CONCRETE PIPE.

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Sheet Revisions

| Date | Comments |
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REINFORCED CONCRETE PIPE

STANDARD PLAN NO. M-603-2

Issued By: Project Development Branch on July 04, 2006 Sheet No. 1 of 1

CONCRETE INLET TYPE 13

GENERAL NOTES

- CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
- CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
- EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED $\frac{1}{4}$ OF A INCH.
- REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 INCH MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE GRADE 60 AND EPOXY COATED.
- STEPS SHALL BE PROVIDED WHEN INLET DIMENSION H IS EQUAL TO OR GREATER THAN 3 FEET 6 INCHES AND SHALL CONFORM TO AASHTO M 189.
- ALL GRATES AND FRAMES SHALL BE GRAY DR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
- STATION POINT IS AT THE CENTER OF THE INLET.
- GRATE SHALL HAVE "HUMP NO WASTE GRAINS TO STREAM" MESSAGE CAST ON SURFACE.

Computer File Information

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Sheet Revisions

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CONCRETE INLET TYPE 13

STANDARD PLAN NO. M-604-13

Standard Sheet No. 1 of 1

Issued by the Project Development Branch July 31, 2019 Project Sheet Number:

MANHOLES

GENERAL NOTES

- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
- THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE H HEIGHT IS AT LEAST 8 FT.
- THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A CEMENT GROUT IN UNPAVED AREA OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
- DESIGN OF BOX BASE IS BASED ON STRAIGHT RIGID PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
- PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 189 (FORM C 470).
- CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
- STEPS ARE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT. 6 IN. AND SHALL CONFORM TO AASHTO M 189.
- ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLAZED AT CENTERING OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
- ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONCRETE BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, SLOPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
- FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
- STUB-OUTS SHALL EXCEED 3 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
- THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.

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Sheet Revisions

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MANHOLES

STANDARD PLAN NO. M-604-20

Sheet No. 1 of 3

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FILE PATH: P:\02020101\06\ENGINEERING\UTILITIES\FORMS\CDOT - ST - DETAILS\DWG LAYOUT\ LAYOUT1.PLT
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811
 Know what's below.
 Call before you dig.

DESIGNED BY: LME
 CHECKED BY: JDO
 DRAWN BY: LME

ISSUE DATE: 03-29-2024

| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

HKS HARRIS KOCHER SMITH

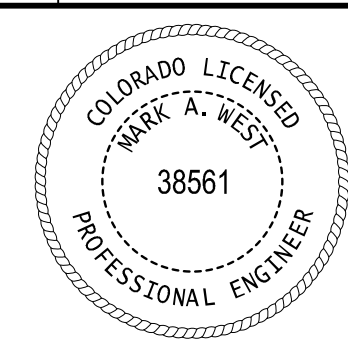
1120 Lincoln Street, Suite 1000
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 HarrisKocherSmith.com

PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
STORM DETAILS

ENGINEERING DIVISION ACCEPTANCE BLOCK

PROJECT #: 231016
 SHEET NUMBER
ST16
 16 OF 16



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

FLAT TOP SECTION DETAIL

SECTION A-A MANHOLE RING AND COVER

SECTION B-B END VIEW

MANHOLE RING AND COVER
FINAL GRADE
CONCRETE GRADE RINGS
PRECAST MH SECTIONS
5' 4" MH RISER SECTIONS
FLOW CHANNEL
MANHOLE STEPS
SEE SHEET 3 FOR CONCRETE COLLAR DETAILS

REINFORCING PER ASTM C 478
WHEN FINAL GRADE IS PAVED SURFACE, RECESSE MANHOLE RING AND COVER 1/4" MAX. 1/2" MAX.

MANHOLE RING AND COVER
TOTAL WEIGHT: APPROXIMATELY 400 LBS. SHALL BE SOFT OR DUCTILE CAST IRON CONFORMING TO CAST STANDARD SPECIFICATIONS, SUBSECTION 712.06.

REFERENCE: CDOT M & S STANDARDS M-604-20

MANHOLES

Issued: 05/2013
Revised: _____
Drawing No. **SP.43e**

PLAN
NOT TO SCALE

ELEVATION
NOT TO SCALE

SECTION
NOT TO SCALE

DETAIL PIN BLOCK OUT
NOT TO SCALE

POLYPROPYLENE REINFORCED PLASTIC STEP

GENERAL NOTES

- ASTM SPECIFICATIONS:
A. ASTM C-478
B. ASTM A-615 GRADE 60 (STEEL REBAR)
C. ASTM 2146-89, TYPE II, GRADE 18906 (POLYPROPYLENE).
- STEPS INSTALLED IN MANHOLE BARREL SECTIONS OR VERTICAL WALLS OF STRUCTURES SHALL HAVE A 9/16" LEG AND SHALL PROJECT FROM THE WALL 1/2".
- STEPS INSTALLED IN MANHOLE CONE SECTIONS SHALL HAVE AN 9/16" LEG AND SHALL PROJECT FROM THE WALL 1/2".
- ALL STEPS SHALL HAVE A PENETRATION DEPTH INTO THE WALL OF 3/8".
- STEPS SHALL BE INSTALLED BY THE "PRESS-FIT" METHOD UTILIZING A SPECIALLY TAPERED PIN TO FORM THE INSERT HOLE AS SHOWN, FOLLOWING MANUFACTURER'S RECOMMENDED PROCEDURE AND SHALL NOT BE GROUTED IN PLACE.
- INSTALLED STEPS SHALL BE CAPABLE OF WITHSTANDING A PULL-OUT FORCE OF 2500 LB. PER LEG FOR A MINIMUM PERIOD OF TWO MINUTES.
- PINS MUST BE SMOOTH AND CONTINUOUSLY TAPERED. DIMENSIONS OF THE PIN AND THE INSERTED PORTION OF THE MANHOLE STEP ARE TYPICAL ONLY. DOUGLAS COUNTY INSTALLATIONS REQUIRE A MATCHED COMBINATION OF A TAPERED INSERT PIN AND MANHOLE STEP, AS RECOMMENDED OR REQUIRED BY SPECIFIC MANUFACTURER OF THE STEP TO BE USED.
- THIS STEP CAN ALSO BE USED IN TOE POCKET INSTALLATIONS PROVIDED 5" TOE CLEARANCE IS ALLOWED.

REFERENCE: CITY AND COUNTY OF DENVER DRAWING NUMBER S-750

MANHOLE AND INLET STEPS

Issued: 05/2013
Revised: _____
Drawing No. **SP.45**

PLAN VIEW

SECTION A-A REGULAR INLET

SECTION A-A INLET WITH DROP BOX-H>5 FT.

SECTION B-B END VIEW

SECTION C-C & D-D (DOTTED LINES ARE IN SECTION D-D)

TRANSITION CURB

CURB FACE ASSEMBLY

GENERAL NOTES:

- FOR LENGTH (L) GREATER THAN 5 FT. PROVIDE MAINTENANCE ACCESS AT BOTH ENDS.
- ADDITIONAL MANHOLE RING AND COVER REQUIRED WHEN L=10 FT. OR MORE. CUT REINFORCEMENT BAR ACCORDINGLY.
- WHEN A TYPE R INLET IS USED WITH MOUNTABLE CURB AND GUTTER, 5 FT. TRANSITION SHALL BE CONSTRUCTED. TRANSITION SHALL BE PADDED FOR AS CURB AND GUTTER.
- MEET SHAPE OF NORMAL BARRIER CURB AND GUTTER HERE.
- SEE CHANNEL LAYOUT ON SHEET 2.
- FOR A 1'-0" PAN SLOPE 2' PER FT.
- PLACE ENTIRE ASSEMBLY BEFORE POURING CONCRETE.
- MANHOLE RING AND COVER, STATION POINT AND OUTFLOW PIPE SHALL BE LOCATED AT THE SAME END OF THE INLET.

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Date: _____ Comments: _____

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CURB INLET TYPE R

Issued By: Project Development Branch on July 04, 2006

STANDARD PLAN NO. M-604-12
Sheet No. 1 of 2

FILE PATH: P:\2020\2010\ENGINEERING\OUTLINES\STORM\CD-ST-DETAILS.DWG LAYOUT: LAYOUT1 (2)
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DESIGNED BY: LME
CHECKED BY: JDO
DRAWN BY: LME

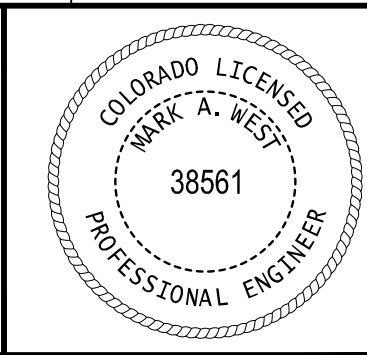
| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | |

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PARK MEADOWS MALL, LLC /
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
STORM DETAILS



PROJECT #: 231016
SHEET NUMBER
ST17
17 OF 16

CITY OF LONE TREE

DATE

THESE CONSTRUCTION DRAWINGS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET & DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

LEGAL DESCRIPTION:

LOT 4-C-1, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 8TH AMENDMENT, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTHWEST LINE OF LOT 4-B, PARK MEADOWS TOWN CENTER FILING NO. 1-A, 6TH AMENDMENT RECORDED AT RECEPTION NO. 2002087418 AS BEARINGS NORTH 47°09'19" EAST. SAID LINE BEING MONUMENTED AT THE NORTHEAST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 28668", AND AT THE SOUTHWEST END BY A NAIL & TAG STAMPED "FARNSWORTH PLS 38098".

BENCHMARK:

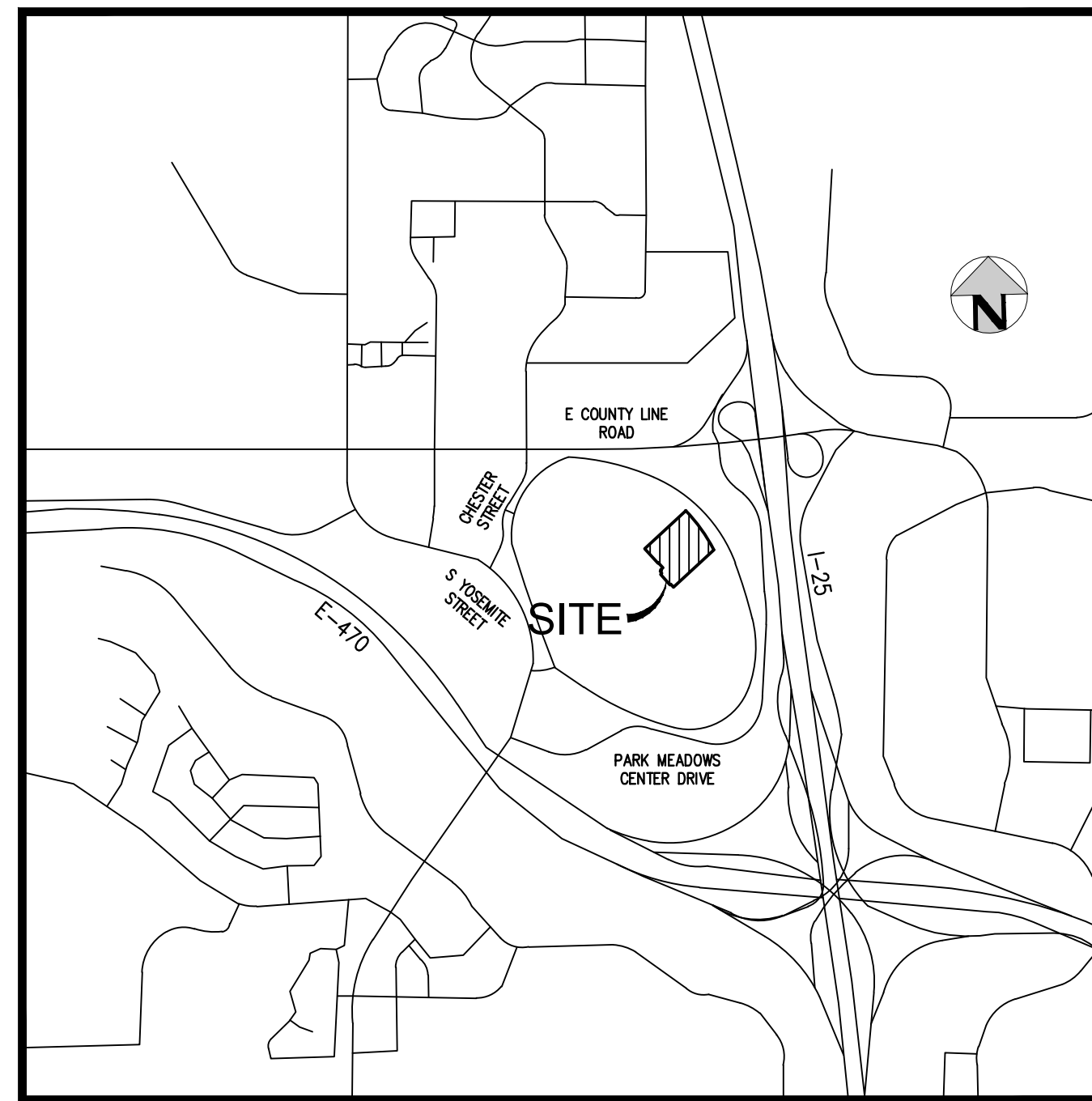
BENCHMARK IS DOUGLAS COUNTY CONTROL POINT 2113021 STAMPED 2.113021 DC GIS WITH A PUBLISHED ELEVATION OF 5914.49 FT (NAVD88).

SOUTHGATE SANITATION DISTRICT PLAN NOTES:

- 1. ALL SEWER LINES, MANHOLES, SANITARY SEWER SYSTEM PLANS, AND CONSTRUCTION WILL CONFORM TO CURRENT SOUTHGATE SANITATION DISTRICT SPECIFICATIONS, AND ARE SUBJECT TO CONSTRUCTION OBSERVATION BY SOUTHGATE PERSONNEL OR REPRESENTATIVES. A COPY OF SOUTHGATE'S SPECIFICATIONS ARE AVAILABLE AT WWW.SOUTHGATEDISTRICTS.ORG.
2. ONLY AFTER CONSTRUCTION PLANS HAVE BEEN REVIEWED AND APPROVED BY SOUTHGATE, THE OWNER, THE OWNERS ENGINEER OR CONTRACTOR, WILL SCHEDULE A PRE-CONSTRUCTION MEETING WITH SOUTHGATE AT LEAST 2 BUSINESS DAYS PRIOR TO THE STARTING CONSTRUCTION. APPROVED CONSTRUCTION PLANS, SIGNED BY THE DISTRICT ENGINEER, WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING.
3. CONSTRUCTION WILL NOT BE PERMITTED TO START UNTIL ALL EASEMENTS ARE SIGNED AND RECORDED AND THE PRE-CONSTRUCTION MEETING HAS BEEN HELD.
4. ALL PERMITS AND FEES MUST BE PAID PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF ALL PERMITS FOR THE CONSTRUCTION OF MAINS AND SERVICES.
5. SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO START OF CONSTRUCTION AND NOTIFICATION OF A BREAK IN CONSTRUCTION (DUE TO WEATHER, SCHEDULING, ETC.) WHEN CONSTRUCTION WILL RESUME.
6. SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO ANY OVERTIME ON A WEEKDAY. COSTS AY SOUTHGATE ASSOCIATED WITH CONSTRUCTION OVERTIME WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. A MINIMUM OF ONE COPY EACH OF ALL SURVEY CUT SHEETS MUST BE GIVEN TO SOUTHGATE AND TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR NOTIFICATION AND LOCATES PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES AND COSTS THAT RESULT BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES, INCLUDING SOUTHGATE UTILITIES.
9. SOUTHGATE OR ITS REPRESENTATIVE IS NOT A GUARANTOR OF THE CONSTRUCTION CONTRACTORS' OBLIGATIONS AND PERFORMANCE OF CONTRACT.
10. OBSERVATIONS OF WORK IN PROGRESS AND ONSITE VISITS ARE NOT TO CONSTRUED AS A GUARANTEE BY SOUTHGATE OR REPRESENTATIVE OF THE CONTRACTORS PERFORMANCE.
11. SOUTHGATE AND/OR ITS REPRESENTATIVE IS NOT RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE AY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
12. SOUTHGATE AND/OR ITS REPRESENTATIVE EXERCISE NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, COMPONENTS, SCAFFOLDING, FORMS, OR ANY OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME.
13. SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO ANY WEEKEND OR NIGHT WORK COSTS INCURED BY SOUTHGATE ASSOCIATED WITH WEEKEND AND NIGHT WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. A SET OF APPROVED PLANS SHALL BE MAINTAINED AY THE CONTRACTOR AND KEPT ON SITE AT ALL TIMES. THESE PLANS SHALL USED TO MAKE THE "AS-CONSTRUCTED" NOTES DURING THE COURSE OF THE CONSTRUCTION. THESE NOTES SHALL INCLUDE, BUT ARE NOT LIMITED TO, ANY DEVIATIONS FROM THE APPROVED PLANS, NOTING THE TYPES AND LOCATIONS OF THE MATERIALS IN PLACE.
15. ALL REQUIRED TESTING EQUIPMENT AS SUPPLIED AY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, AIR MONITORING AND VENTILATION EQUIPMENT. THE CONTRACTOR MUST SUPPLY ANY ADDITIONAL EQUIPMENT REQUIRED BY OSHA FOR MANHOLE ENTRY, DURING TESTING. SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO TESTING FOR SCHEDULING PURPOSES.
16. THE CONTRACTOR WILL SCHEDULE COMPACTION TESTING WITH THE SOILS CONSULTANT. SEVERAL COMPACTION TESTS ARE REQUIRED AT INTERSECTIONS WITH OTHER UTILITIES, AT MANHOLES, SERVICE STUDS, AND AT RANDOM LOCATIONS OVER THE SEWER LINE. TESTING WILL BE REQUIRED WHEN SOILS MATERIAL CHANGES. TESTING WILL BE REQUIRED FOR EVERY THIRD SERVICE INSTALLATION. THE SOILS ENGINEER IS REQUIRED TO SUBMIT COMPACTION TEST RESULTS ON A DAILY BASIS.
17. ALL SEWER LINES WILL BE FLUSHED AND CLEANED PRIOR TO ANY VIDEOING ON THE PROJECT. THE WATER USED IN THE FLUSHING AND CLEANING OPERATION SHALL BE PUMPED OUT OF THE SYSTEM. WATER WILL NOT BE DISCHARGED INTO ADJOINING SYSTEM. THE PLUG AT DISCHARGE END OF THE PROJECT MUST REMAIN IN PLACE UNTIL THE SYSTEM HAS BEEN ACCEPTED AND NOTICE HAS BEEN GIVEN BY SOUTHGATE FOR THE SYSTEM TO BE PLACED INTO SERVICE.
18. ALL SEWER LINES MUST BE JETTED PRIOR TO THE START OF THE WARRANTY PERIOD AND MAY AGAIN PRIOR TO RELEASE OF WARRANTY BY SOUTHGATE. COSTS OF JETTING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PUMPING ASSOCIATED WITH THE LINE JETTING.
19. CONSTRUCTION WATER IS AVAILABLE BY PURCHASING A PERMIT FROM SOUTHGATE WATER DISTRICT AND DENVER WATER. CURRENT DENVER WATER CERTIFICATION IS REQUIRED ON ALL WATER METERS. SOUTHGATE WATER DISTRICT DOES NOT SUPPLY WATER METERS.
20. PIPELINE ACCEPTANCE AND THE START OF THE WARRANTY PERIOD OF THE NEW SEWER MANS WILL NOT BE CONSIDERED UNTIL ALL REQUIREMENTS FOR ACCEPTANCE HAVE BEEN FULFILLED, INCLUDING:
A. ALL TESTING IS COMPLETE SATISFACTORY RESULTS.
B. COMPLETE SET OF SIGNED COMPACTION TEST RESULTS IS SUBMITTED TO SOUTHGATE
C. ALL SEWER CUT SHEETS ARE SUBMITTED TO SOUTHGATE.
D. ALL PUNCH LIST ITEMS ARE COMPLETED TO THE SATISFACTORY OF SOUTHGATE
E. FIRST LIFT OF PAVING IS COMPLETED. AT A MINIMUM
F. SURVEYED RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY SOUTHGATE. REQUIREMENTS FOR RECORD DRAWINGS CAN GE FOUND AT WWW.SOUTHGATEDISTRICTS.ORG.
G. RECORDED ADDRESS PLAT, IF APPLICABLE, IS SUBMITTED TO SOUTHGATE.
H. WARRANTY FUNDS ARE SUBMITTED TO SOUTHGATE IN THE FORM OF A LETTER OF CREDIT OR CHECK TO TEN PERCENT (10%) OF THE TOTAL COST OF SEWER IMPROVEMENTS. THE LETTER OR CHECK MUST BE EFFECTIVE FOR A MINIMUM OF FIFTEEN (15) MONTHS FROM START OF WARRANTY PERIOD.
21. THE NEW SEWER SYSTEM WILL BE TESTED IN ACCORDANCE WITH SOUTHGATE'S SPECIFICATIONS. ALL TESTING MUST BE COMPLETED PRIOR TO THE START OF THE WARRANTY PERIOD.
A. VIDEO 100% OF NEW SYSTEM.
B. LOW PRESSURE AIR TEST 100% OF NEW SYSTEM.
C. DEFLECTION TEST 100% OF NEW SYSTEM
22. RELEASE OF SECURITY AND WARRANTY OF FACILITIES IS DEPENDENT UPON SUCCESSFUL COMPLETION OF A MINIMUM OF ONE (1) YEAR WARRANTY PERIOD AND CONVEYANCE OF DOCUMENTS.
23. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM FROM PIPE ACCEPTANCE TO RELEASE OF SECURITY AND WARRANTY. FAILURE TO MAINTAIN SEWER LINES BY THE TERMS OF THE IMPROVEMENTS AGREEMENT MAY BE CONSIDERED GROUNDS FOR PERMANENT ABANDONMENT OF FACILITIES.
24. SEWER SERVICE TAPS WILL NOT BE SOLD UNTIL PROJECT ACCEPTANCE IS ACHIEVED.
25. MANHOLE RIMS WILL BE SET AT AN ELEVATION RELATIVE TO THE PAVEMENT, IN ACCORDANCE WITH THE APPROPRIATE CITY, COUNTY, OR STATE HIGHWAY DEPARTMENT STANDARDS. REGARDLESS IF THE MANHOLE IS IN A PAVED OR UNPAVED AREA. A MINIMUM OF FOUR INCHES OF CONCRETE RISER RINGS SHALL BE INSTALLED TO ADJUST RIM ELEVATIONS TO FINAL GRADE. THE MAXIMUM ACCEPTABLE VERTICAL ADJUSTMENT RINGS IS TWELVE INCHES (12"). NOTE: CONCRETE ADJUSTMENT SECTIONS ARE ALSO APPROVED FOR USE IN VERTICAL ADJUSTMENTS OF RING AND COVER. RISER SECTION WILL BE REQUIRED FOR VERTICAL ADJUSTMENT.
26. EXISTING PIPE AT THE POINT OF CONNECTION WILL NOT BE "BROKEN OUT" AND NO SERVICE CONNECTIONS WILL BE MADE UNTIL THE NEW SYSTEM IS ACCEPTED BY SOUTHGATE.
27. THE CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF EXISTING LINES BY MEANS OF CERTIFIED SURVEY PRIOR TO THE INSTALLATION OF BARREL AND CONE SECTION.
28. THE CONTRACTOR WILL VERIFY EXISTING MANHOLE INVERTS AT PROPOSED POINTS OF CONNECTION, PRIOR TO CONSTRUCTION STAKING.
29. THE ALIGNMENT SHALL BE STAKED EVERY 25 FEET FOR THE FIRST 100 FEET OUT OF EACH MANHOLE AND EVERY 50 FEET THEREAFTER, ALONG BOTH SIDES OF THE EASEMENT (FOR USE WITH LASER EQUIPMENT ONLY).
30. TRENCH COMPACTION IN STREET RIGHT-OF-WAY TO CONFORM APPLICABLE MUNICIPAL STANDARDS (COLORADO DEPARTMENT TRANSPORTATION, ARAPAHOE COUNTY, DOUGLAS COUNTY, CITY GREENWOOD VILLAGE, CITY OF CENTENNIAL, OR THE CITY OF LONE TREE).
31. CONNECTION TIES INTO AN EXISTING SEWER LINE SHALL BE PLUGGED WITH A PLUMBERS PLUG IN THE UPSTREAM PIPE AND TIED OFF TO A STEP INSIDE THE MANHOLE. THIS PLUG SHALL REMAIN IN PLACE UNTIL THE NEW SYSTEM IS ACCEPTED. SOUTHGATE WILL ISSUE NOTICE FOR SERVICE CONNECTIONS AND REMOVAL OF PLUG.
32. ALL PRIVATE SERVICE LINES MUST BE INSPECTED BEFORE BACKFILL • CALL SOUTHGATE AT 303-779-0261 TO SCHEDULE YOUR INSPECTION.
33. ALL GREASE AND SAND/OIL INTERCEPTORS MUST BE INSPECTED BEFORE BACKFILL - CALL SOUTHGATE AT 303.779-0261 TO SCHEDULE YOUR INSPECTION.

PARK MEADOWS - GARAGE AND RETAIL
SITUATED IN THE NORTH HALF OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

SANITARY SEWER PLANS



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX

- SS1 COVER SHEET
SS2 OVERALL UTILITY PLAN - PHASE 1A
SS3 SANITARY SERVICE PLAN & PROFILE - PHASE 1A
SS4 SANITARY SERVICE PLAN & PROFILE - PHASE 1A
SS5 SANITARY DETAILS

LEGEND

- MANHOLE
HYDRANT
STREET LIGHT
UNDERGROUND ELECTRIC
WATER
IRRIGATION WATER
GAS
STORM SEWER
SANITARY SEWER
UNDERGROUND TELECOMM TO BE DEMOLISHED
MANHOLE
HYDRANT
DOMESTIC WATER SERVICE
FIRE WATER SERVICE
INLET
STREET LIGHT
UNDERGROUND ELECTRIC
GAS
WATER
STORM SEWER
SANITARY SEWER
SANITARY SERVICE

EX

PR

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like BLDG (BUILDING), BOP (BOTTOM OF PIPE), BS (BOTTOM OF STEP), BW (BOTTOM OF WALL (FG)), CONC (CONCRETE), DIA (DIAMETER), DIP (DUCTILE IRON PIPE), DR (DOOR), DS (DOWNSPOUT), E (EAST EASTING), EGL (ENERGY GRADE LINE), EOL (ELEVATION), EOA (EDGE OF ASPHALT), EOC (EDGE OF CONCRETE), EOP (EDGE OF PAVEMENT), ESMT (EASEMENT), EX (EXISTING), FES (FLARED END SECTION), FF (FINISHED FLOOR), FG (FINISHED GRADE), FH (FIRE HYDRANT), FL (FLOW LINE), GB (GRADE BREAK), GV (GATE VALVE), HC (HANDICAP), HGL (HYDRAULIC GRADE LINE), HORZ (HORIZONTAL), HP (HIGH POINT), INV (INVERT), LP (LOW POINT), LSD (LANDSCAPE DRAIN), MAX (MAXIMUM), MH (MANHOLE), MIN (MINIMUM), MJ (MECHANICAL JOINT), N (NORTH, NORTHING), PHS (PHASE), PR (PROPOSED), PVC (POLYVINYL CHLORIDE), RCP (REINFORCED CONCRETE PIPE), ROW (RIGHT-OF-WAY), SAN (SANITARY), SL (STREET LIGHT), SS (SANITARY SEWER), STA (STATION), STM (STORM), TB (THRUST BLOCK), TBC (TOP/BACK OF CURB), TOP (TOP OF PIPE), TS (TOP OF STEP), TW (TOP OF WALL (FG)), TYP (TYPICAL), UG (UNDERGROUND), WAT (WATER).

SOUTHGATE CONTACT INFORMATION:

ADDRESS: 3722 E. ORCHARD RD. CENTENNIAL, CO
PHONE: (303)-779-0261
CONTACT: ERIC VK

OWNER

ARCHITECT

LANDSCAPE ARCHITECT

CIVIL ENGINEER

LIGHTING



Know what's below. Call before you dig.

PARK MEADOWS MALL, LLC / PARK MEADOWS ANCHOR ACQUISITION, LLC

8401 PARK MEADOWS CENTER DRIVE
LONE TREE, CO 80124
POC: PAUL MADDEN
PAUL.MADDEN@PRETAIL.COM



2040 ADDISON ST
BERKELEY CA, 94704
WWW.ELSARCH.COM
P: 510-549-2929
POC: DAVID MASENTEN
DMASENTEN@ELSARCH.COM



1360 WALNUT ST
BOULDER, CO 80302
P: 720-274-0814 - EXT. 3508
POC: NURAIN RAFFAE
MRAFAE@LANDDESIGN.COM



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
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HarrisKocherSmith.com



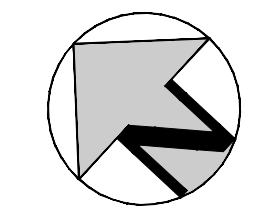
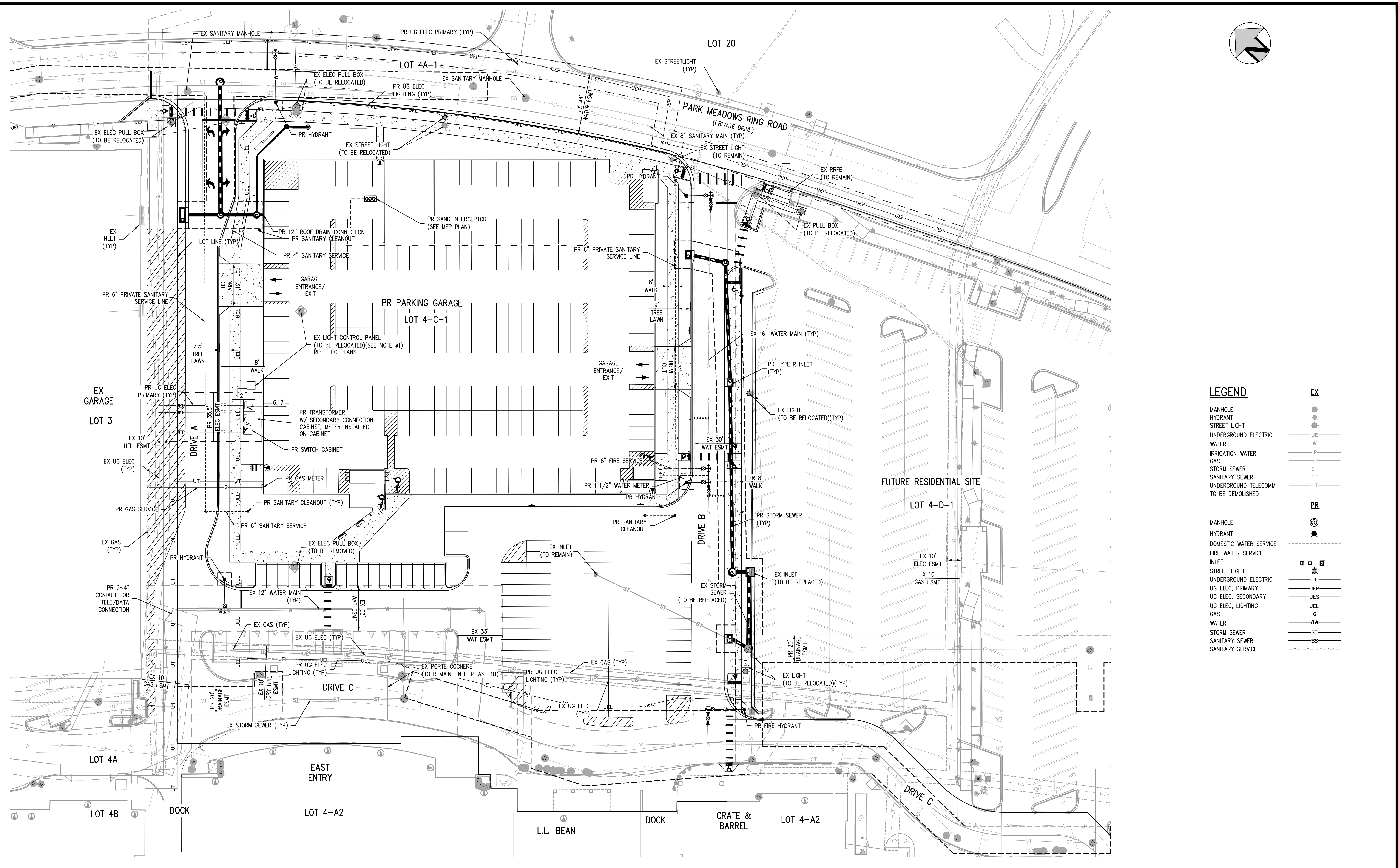
102 W SAN FRANCISCO ST STE 15
SANTA FE, NM 87501
P: 906-283-2425
POC: ERIN GUSSERT
ERIN.GUSSERT@RLSTUDIO

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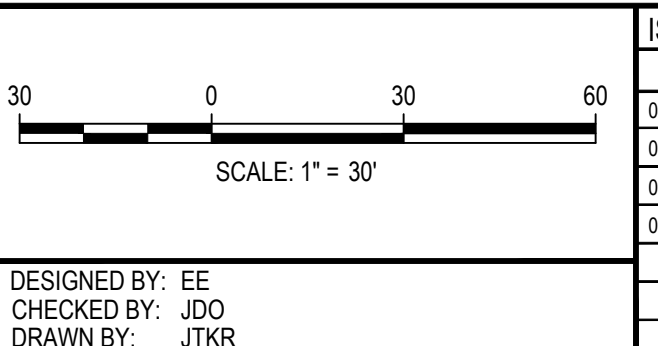
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LEGEND

| | |
|---------------------------------------|-------|
| MANHOLE | EX |
| HYDRANT | ● |
| STREET LIGHT | ☼ |
| UNDERGROUND ELECTRIC | UE |
| WATER | W |
| IRRIGATION WATER | IR |
| GAS | G |
| STORM SEWER | ST |
| SANITARY SEWER | SS |
| UNDERGROUND TELECOMM TO BE DEMOLISHED | UT |
| PR | |
| MANHOLE | ⊙ |
| HYDRANT | ● |
| DOMESTIC WATER SERVICE | --- |
| FIRE WATER SERVICE | --- |
| INLET | □ □ □ |
| STREET LIGHT | ☼ |
| UNDERGROUND ELECTRIC | UE |
| UG ELEC, PRIMARY | UEP |
| UG ELEC, SECONDARY | UES |
| UG ELEC, LIGHTING | UEL |
| GAS | C |
| WATER | BW |
| STORM SEWER | ST |
| SANITARY SEWER | SS |
| SANITARY SERVICE | --- |

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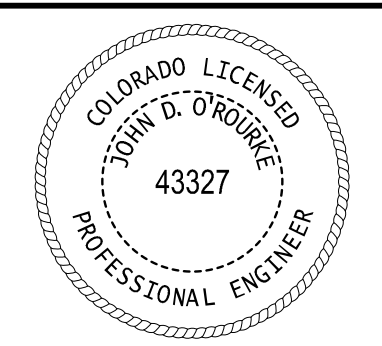


| DATE | REVISION COMMENTS |
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| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |



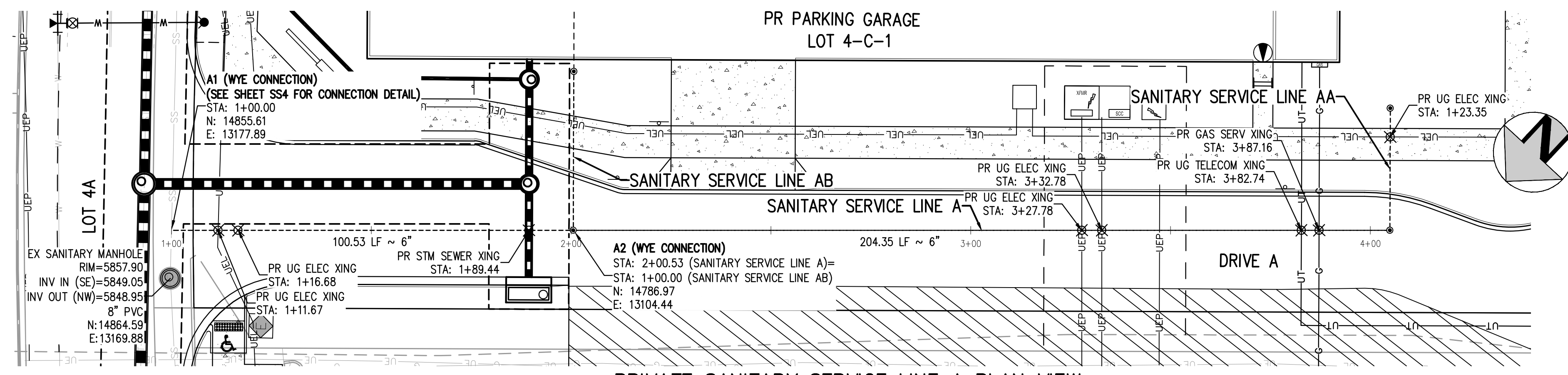
**PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 OVERALL UTILITY PLAN - PHASE 1A**

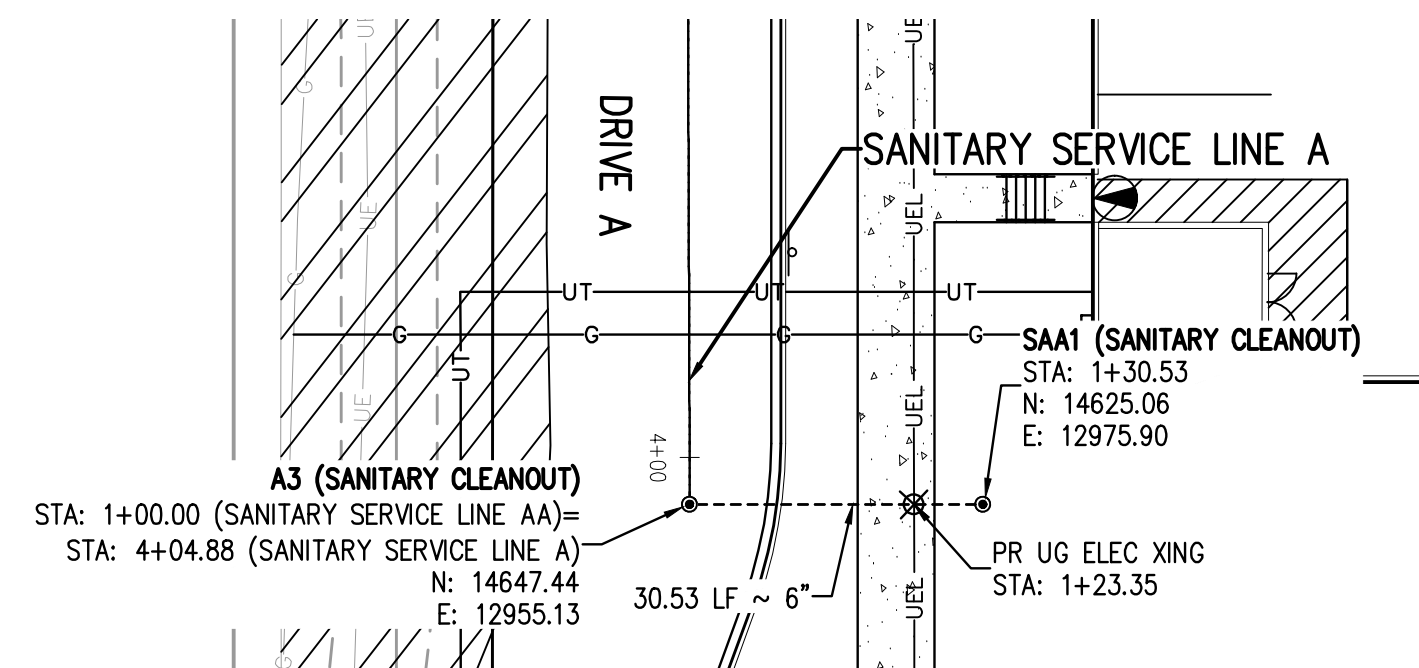


PROJECT #: 231016
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SS2
 2 OF 5

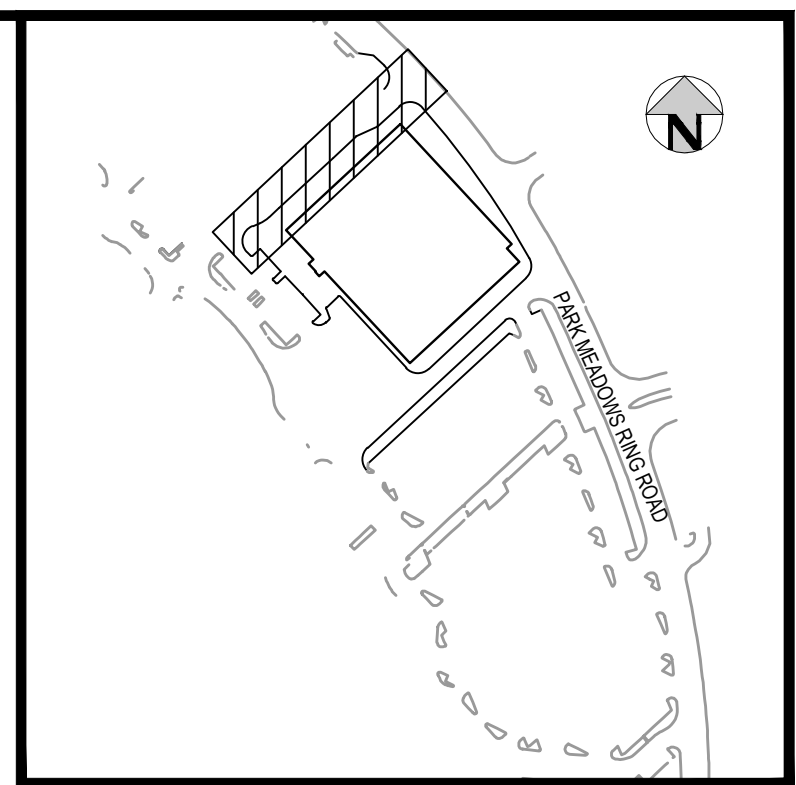
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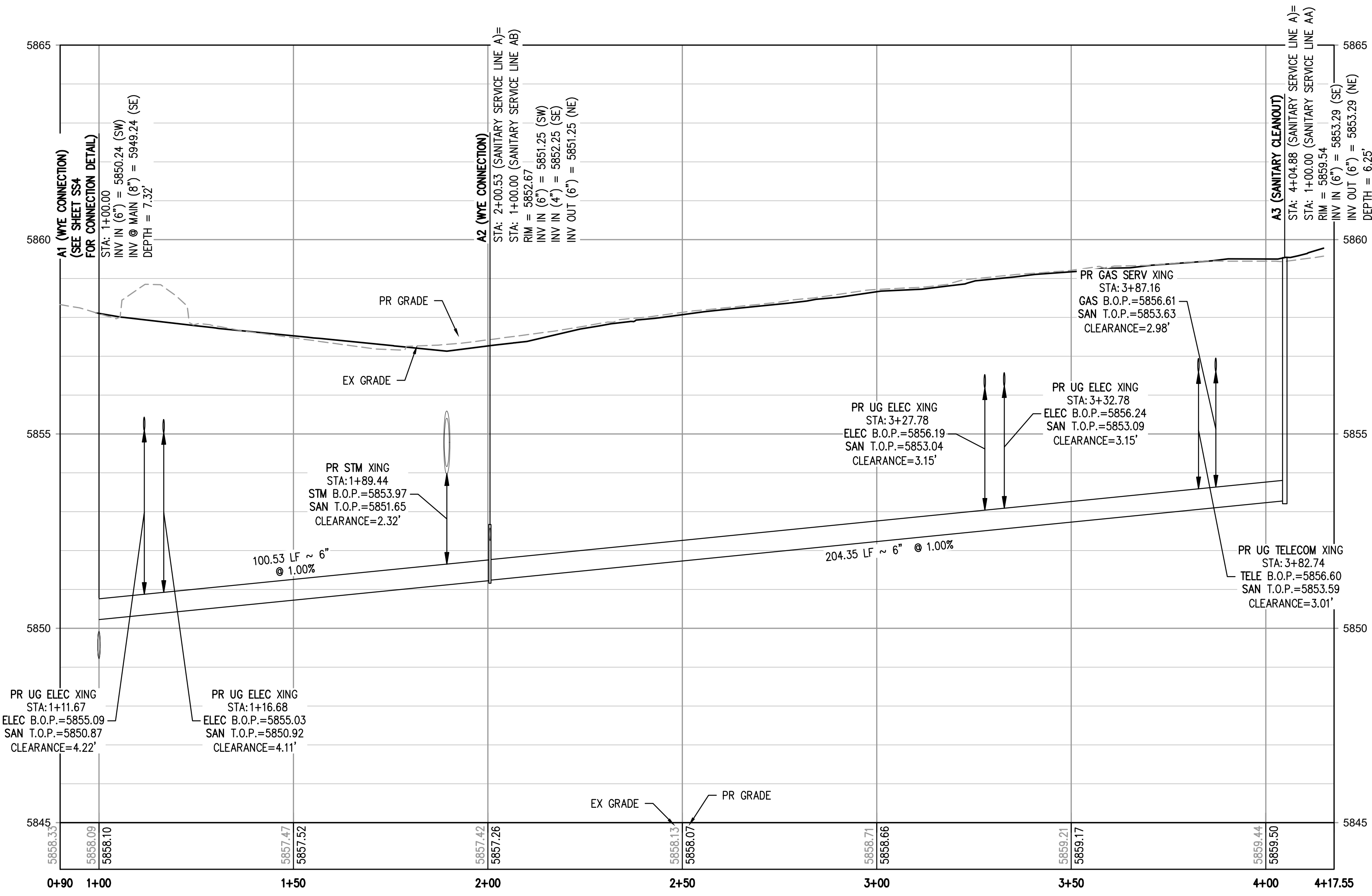
PRIVATE SANITARY SERVICE LINE A PLAN VIEW
SCALE: 1" = 20'



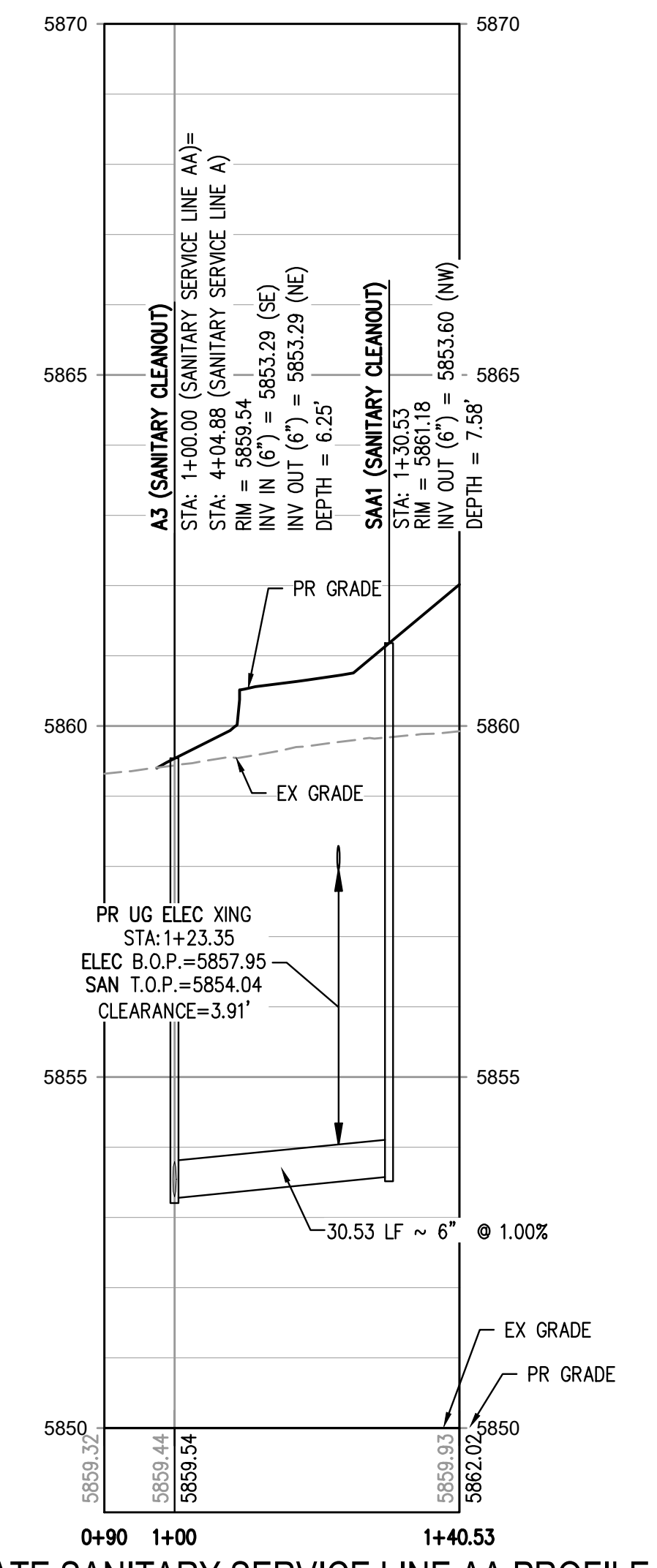
PRIVATE SANITARY SERVICE LINE AA PLAN VIEW
SCALE: 1" = 20'



KEYMAP
SCALE: 1"=300'



PRIVATE SANITARY SERVICE LINE A PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



PRIVATE SANITARY SERVICE LINE AA PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

GENERAL SANITARY NOTES:

1. THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION, IN ACCORDANCE WITH COLORADO STATE STATUTES.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE, AS SUPPLIED BY THE UTILITY OWNERS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
3. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
4. PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
5. ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY THE UTILITY PROVIDER'S REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN THERE IS A LACK OF ADHERENCE TO STANDARD CONSTRUCTION PRACTICES.
6. MAINTAIN A MINIMUM OF TEN FEET OF HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER AND DOMESTIC WATER MAINS AND SERVICES IN ACCORDANCE WITH STATE OF COLORADO AND JURISDICTIONAL UTILITY PROVIDER SPECIFICATIONS.
7. FOR ALL NON-CONCENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
8. CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
9. ALL SANITARY SERVICE CLEANOUTS LOCATED ADJACENT TO A BUILDING SHALL BE TWO-WAY CLEANOUTS.
10. THE CONTRACTOR IS RESPONSIBLE FOR:
 - a. OBTAINING ALL APPLICABLE LICENSES, BONDS, PERMITS, STANDARDS AND SPECIFICATIONS FOR SEWER MAIN INSTALLATION.
 - b. VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AND NOTIFYING THE ENGINEER OF ANY DISCREPANCIES.
 - c. RESTORING ALL DISTURBED AREAS TO ORIGINAL CONDITION, OR AS INDICATED ON THE PLANS.
11. ALL SANITARY SEWER CLEANOUTS SHALL BE BI-DIRECTIONAL CLEANOUTS.

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CHECKED BY: JDO
DRAWN BY: JTKR

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| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
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HarrisKocherSmith.com

PARK MEADOWS MALL, LLC/
PARK MEADOWS ANCHOR ACQUISITION, LLC

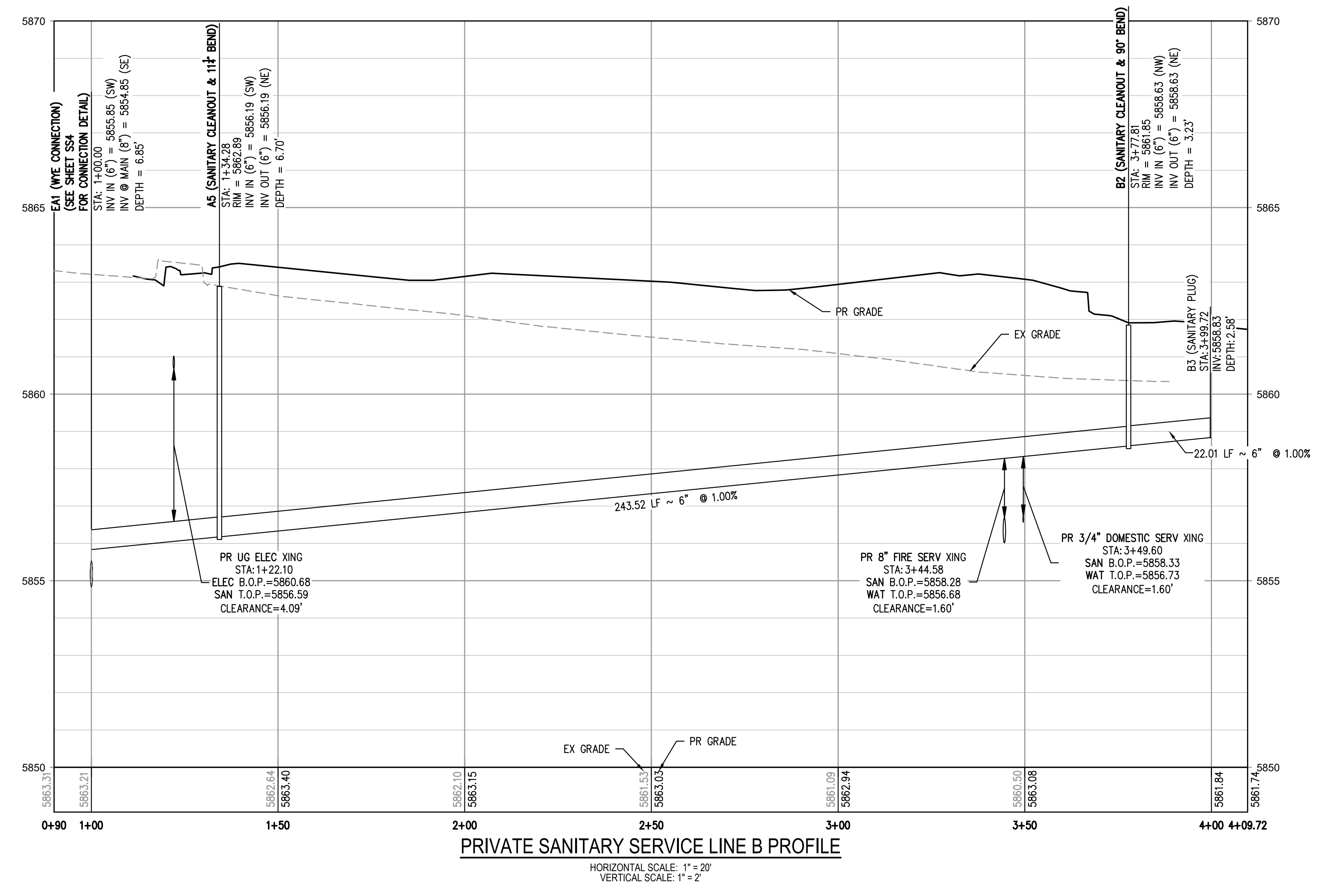
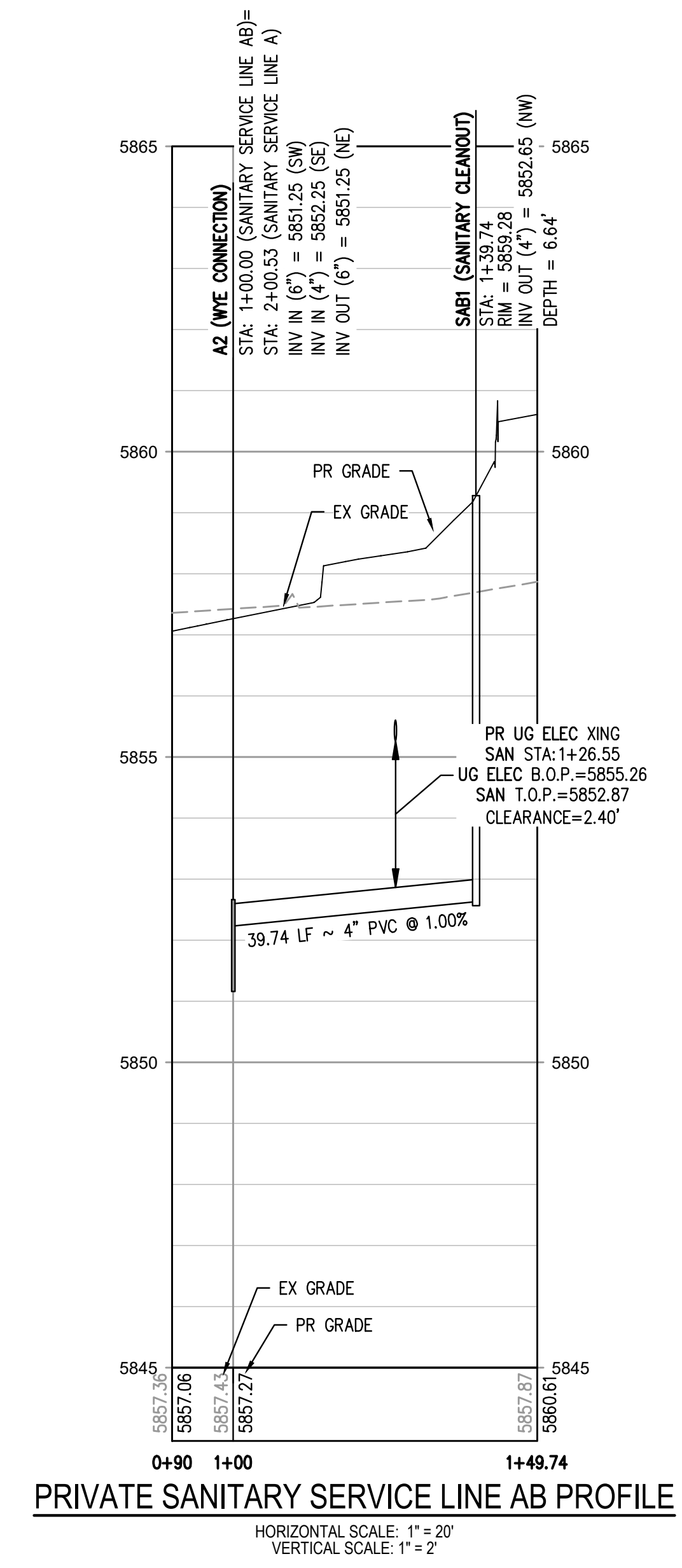
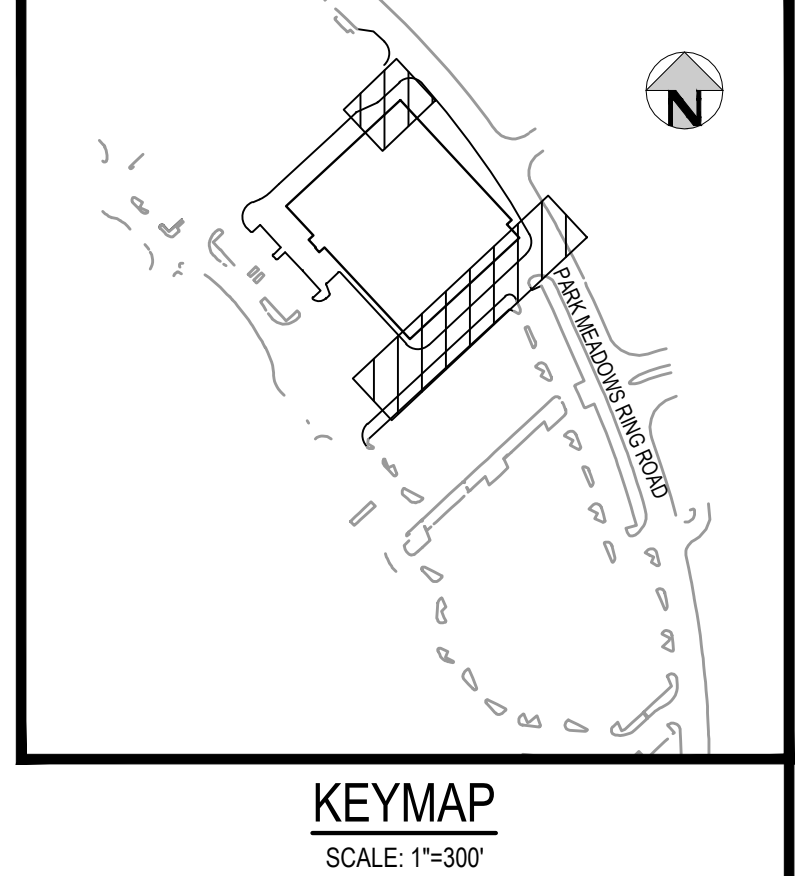
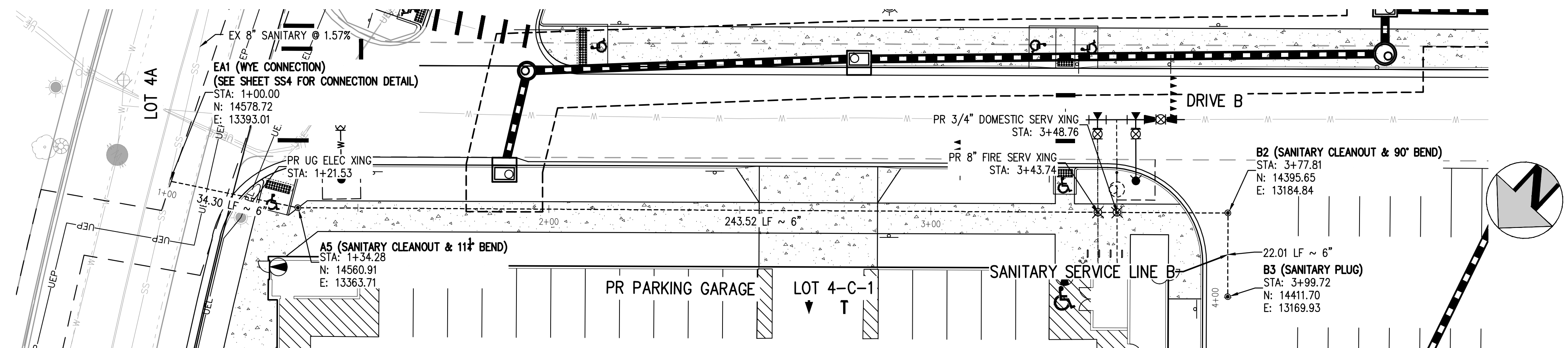
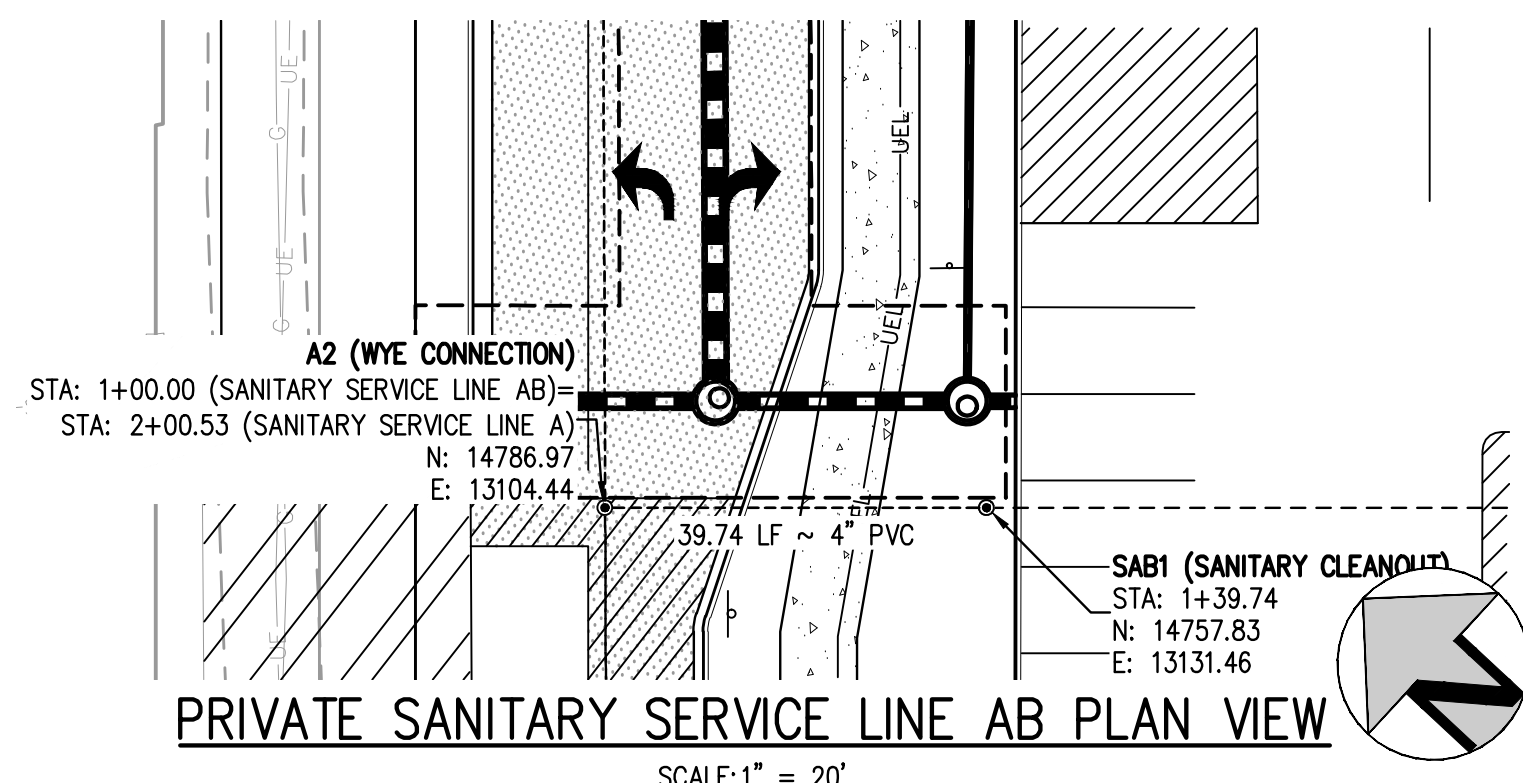
PARK MEADOWS - GARAGE AND RETAIL
SANITARY SERVICE PLAN & PROFILE - PHASE 1A



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GENERAL SANITARY NOTES:

- THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION IN ACCORDANCE WITH COLORADO STATE STATUTES.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE, AS SUPPLIED BY THE UTILITY OWNERS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
- ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY THE UTILITY PROVIDER'S REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN THERE IS A LACK OF ADHERENCE TO STANDARD CONSTRUCTION PRACTICES.
- MAINTAIN A MINIMUM OF TEN FEET OF HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER AND DOMESTIC WATER MAINS AND SERVICES IN ACCORDANCE WITH STATE OF COLORADO AND JURISDICTIONAL UTILITY PROVIDER SPECIFICATIONS.
- FOR ALL NON-CONCENTRIC MANHOLES, MANHOLE RIMS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
- CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
- ALL SANITARY SERVICE CLEANOUTS LOCATED ADJACENT TO A BUILDING SHALL BE TWO-WAY CLEANOUTS.
- THE CONTRACTOR IS RESPONSIBLE FOR:
 - OBTAINING ALL APPLICABLE LICENSES, BONDS, PERMITS, STANDARDS AND SPECIFICATIONS FOR SEWER MAIN INSTALLATION.
 - VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AND NOTIFYING THE ENGINEER OF ANY DISCREPANCIES.
 - RESTORING ALL DISTURBED AREAS TO ORIGINAL CONDITION, OR AS INDICATED ON THE PLANS.
- ALL SANITARY SEWER CLEANOUTS SHALL BE BI-DIRECTIONAL CLEANOUTS.

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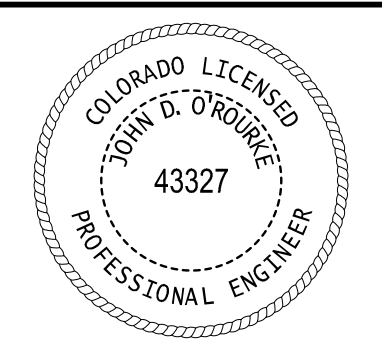
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DRAWN BY: JTKR

| DATE | REVISION COMMENTS |
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| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

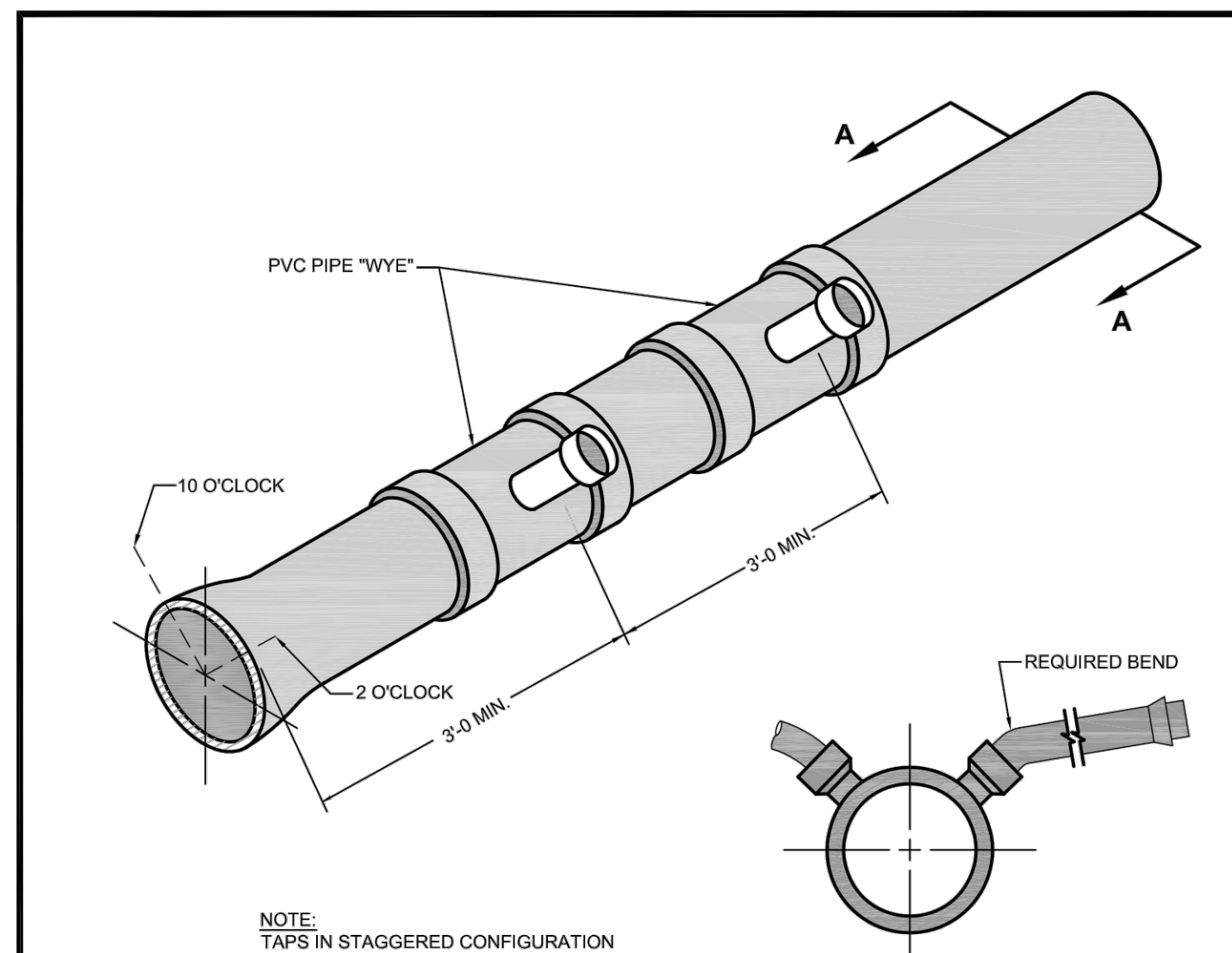
PARK MEADOWS MALL, LLC/
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
SANITARY SERVICE PLAN & PROFILE - PHASE 1A



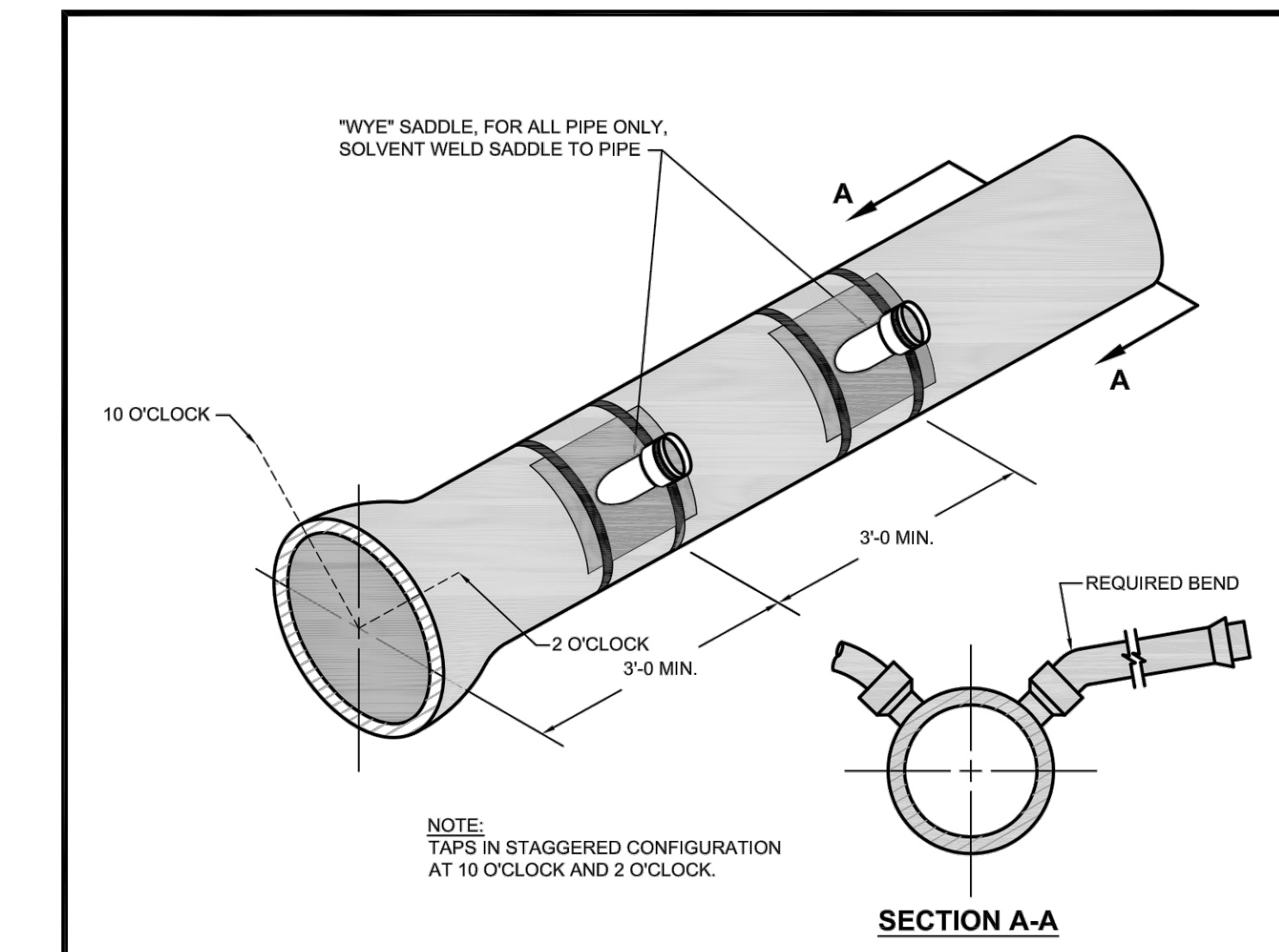
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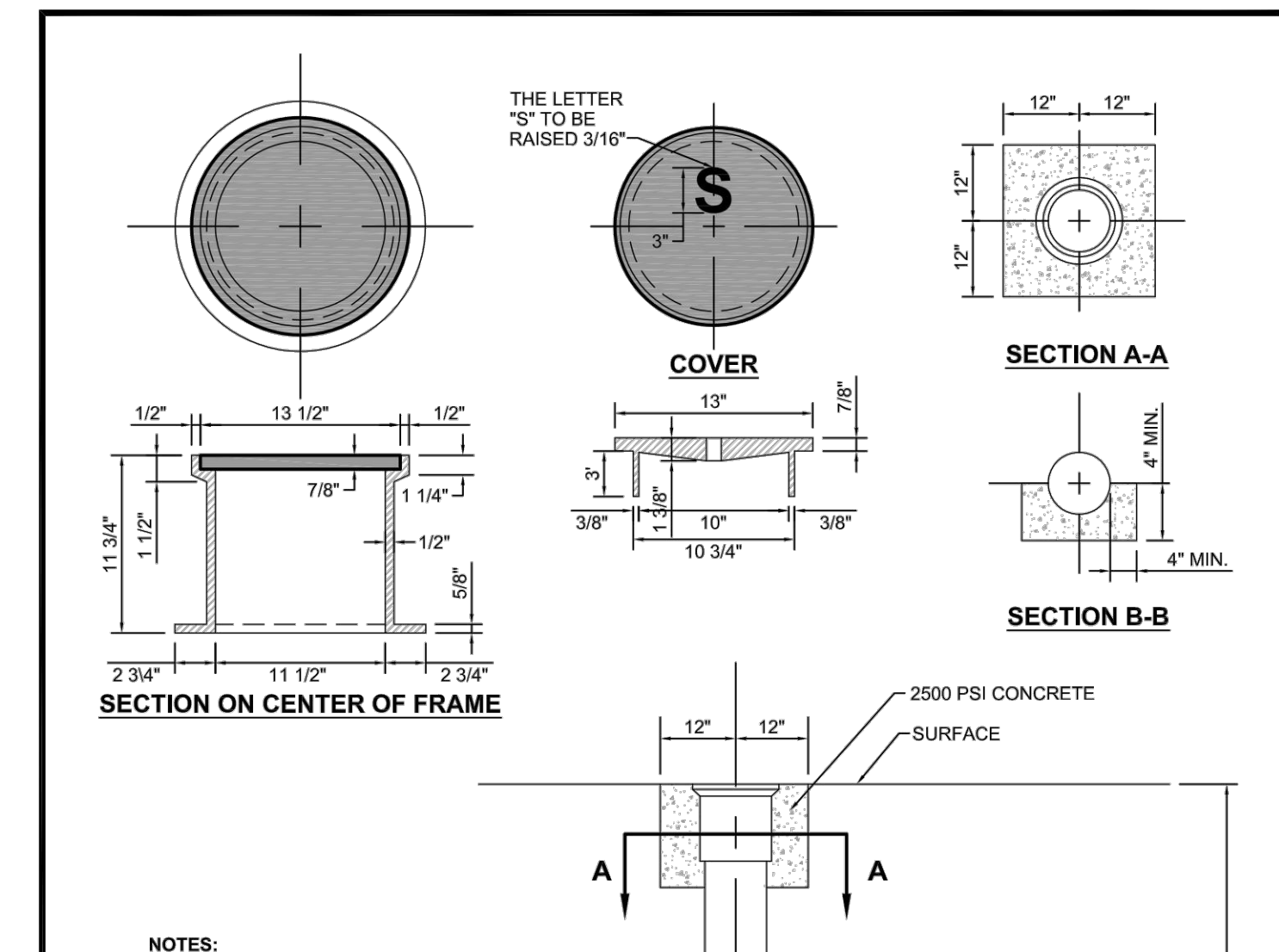
- NOTES:**
TAPS IN STAGGERED CONFIGURATION AT 10 O'CLOCK AND 2 O'CLOCK.
- SANITARY SEWER SERVICE TAPS SHALL BE LOCATED ON THE MAIN AT THE 2 O'CLOCK OR 10 O'CLOCK POSITION.
 - THE MINIMUM DISTANCE BETWEEN ANY TWO CONSECUTIVE FITTINGS SHALL BE 3 FEET, MEASURED BETWEEN FITTING CENTERLINES.
 - SANITARY SEWER SERVICE TAPS SHALL NOT BE MADE WITHIN 3 FEET OF A PIPE JOINT, OR 5 FEET FROM EDGE OF MANHOLE BASE.
 - A MAXIMUM OF FOUR SERVICE TAPS ARE ALLOWED PER 20 FOOT LENGTH OF PIPE.
 - ALL SANITARY SEWER TAPS SHALL USE "WYE" STYLE FITTINGS. TEES ARE NOT ALLOWED.

| | |
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| REVISION | SCALE |
| BY: _____ DATE: _____ | NOT TO SCALE |
| | ISSUE DATE: FEBRUARY 2016 |
| | SHEET: 1 OF 1 DRAWING NO. SS-13 |



- NOTES:**
- SANITARY SEWER SERVICE TAPS SHALL BE LOCATED ON THE MAIN AT THE 2 O'CLOCK OR 10 O'CLOCK POSITION.
 - THE MINIMUM DISTANCE BETWEEN ANY TWO CONSECUTIVE FITTINGS SHALL BE 3 FEET, MEASURED BETWEEN FITTING CENTERLINES.
 - SANITARY SEWER SERVICE TAPS SHALL NOT BE MADE WITHIN 5 FEET OF A PIPE JOINT, OR EDGE OF MANHOLE.
 - A MAXIMUM OF FOUR SERVICE TAPS IS ALLOWED PER 20 FOOT LENGTH OF PIPE.
 - TAPPING OF EXISTING PIPE REQUIRES A LONG BODY STYLE WYE SADDLE WITH TWO STAINLESS STEEL STRAPS. THE TAPPING METHOD SHALL BE APPROVED BY THE DISTRICT. PRIOR TO CONSTRUCTION, THE "WYE" SADDLE SHALL BE FURNISHED WITH A RUBBER GASKET AND THE SADDLE SHALL BE SOLVENT WELDED TO THE PIPE. "TEE" STYLE FITTINGS ARE NOT PERMITTED EXCEPT BY WRITTEN PERMISSION OF THE DISTRICT.
 - CARE SHALL BE TAKEN WHEN EXCAVATING AND COMPACTING AROUND EXISTING LINES. SHOULD A LINE BE BROKEN, THE DISTRICT ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND COORDINATE REPAIR PROCEDURES WITH THE CONTRACTOR.

| | |
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| BY: _____ DATE: _____ | NOT TO SCALE |
| | ISSUE DATE: FEBRUARY 2016 |
| | SHEET: 1 OF 1 DRAWING NO. SS-14 |

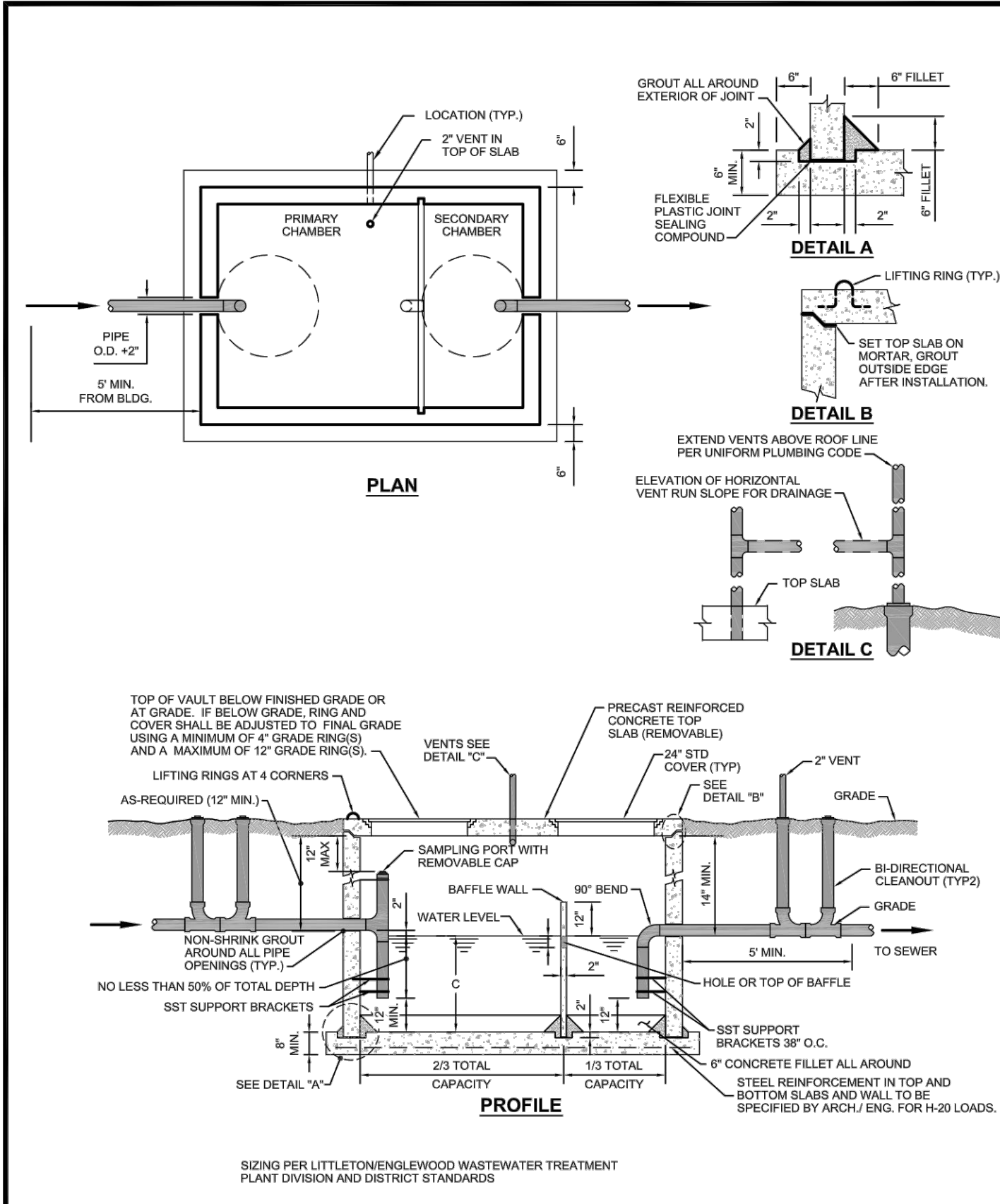


- NOTES:**
- FOR USE IN PRIVATE SANITARY SEWER SERVICES ONLY.
 - PROVIDE ADDITIONAL SWEEPING TEE WITH VERTICAL RISER (MIRROR IMAGE FROM DETAIL SHOWN) FOR ALL BI-DIRECTIONAL CLEANOUTS.

| | |
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| REVISION | SCALE |
| BY: _____ DATE: _____ | NOT TO SCALE |
| | ISSUE DATE: FEBRUARY 2016 |
| | SHEET: 1 OF 1 DRAWING NO. SS-24 |

- SANITARY SEWER - GENERAL NOTES:**
- ALL SEWER LINES, MANHOLES, SANITARY SEWER SYSTEM PLANS, AND CONSTRUCTION SHALL CONFORM TO CURRENT SOUTHGATE SANITATION DISTRICT SPECIFICATIONS AND ARE SUBJECT TO CONSTRUCTION OBSERVATION BY SOUTHGATE PERSONNEL OR REPRESENTATIVE. A COPY OF SOUTHGATE SPECIFICATIONS ARE AVAILABLE AT WWW.SOUTHGATEDISTRICTS.COM.
 - ONLY AFTER CONSTRUCTION PLANS HAVE BEEN REVIEWED AND APPROVED BY SOUTHGATE, THE OWNER OR CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH SOUTHGATE AT LEAST 2 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. APPROVED CONSTRUCTION PLANS, SIGNED BY THE DISTRICT ENGINEER, WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING.
 - CONSTRUCTION SHALL NOT BE PERMITTED TO START UNTIL ALL EASEMENTS ARE SIGNED AND RECORDED AND THE PRE-CONSTRUCTION MEETING HAS BEEN HELD.
 - ALL PERMITS AND FEES MUST BE PAID PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF ALL PERMITS FOR THE CONSTRUCTION OF MAINS AND SERVICES.
 - SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO START OF CONSTRUCTION AND NOTIFICATION OF A BREAK IN CONSTRUCTION (DUE TO WEATHER, SCHEDULING, ETC.) AND CONSTRUCTION WILL RESUME.
 - SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO ANY OVERTIME WORKS ON A WEEKDAY. COSTS INCURRED BY SOUTHGATE ASSOCIATED WITH CONSTRUCTION OVERTIME WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - A MINIMUM OF ONE COPY EACH OF ALL SURVEY CUT SHEETS MUST BE GIVEN TO SOUTHGATE AND TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR NOTIFICATION AND LOCATES PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES AND COSTS THAT RESULT BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES, INCLUDING SOUTHGATE UTILITIES.
 - SOUTHGATE OR ITS REPRESENTATIVE IS NOT A GUARANTOR OF THE CONSTRUCTION CONTRACTOR'S OBLIGATIONS AND PERFORMANCE OF CONTRACT.
 - OBSERVATIONS OF WORK IN PROGRESS AND ON-SITE VISITS ARE NOT TO BE CONSIDERED AS A GUARANTEE BY SOUTHGATE OR ITS REPRESENTATIVE OF THE CONTRACTOR'S PERFORMANCE.
 - SOUTHGATE AND/OR ITS REPRESENTATIVE IS NOT RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
 - SOUTHGATE AND/OR ITS REPRESENTATIVE EXERCISES NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS, OR ANY OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME.
 - SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO ANY WEEKEND OR NIGHT WORK. COSTS INCURRED BY SOUTHGATE ASSOCIATED WITH WEEKEND AND NIGHT WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - A SET OF APPROVED PLANS SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT ON SITE AT ALL TIMES. THESE PLANS SHALL BE USED TO MAKE THE "AS-CONSTRUCTED" NOTES DURING THE COURSE OF THE CONSTRUCTION. THESE NOTES SHALL INCLUDE, BUT ARE NOT LIMITED TO, ANY DEVIATIONS FROM THE APPROVED PLANS, NOTING THE TYPES AND LOCATIONS OF THE MATERIALS IN PLACE.
 - ALL REQUIRED TESTING EQUIPMENT WILL BE SUPPLIED BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, AIR MONITORING AND VENTILATION EQUIPMENT. THE CONTRACTOR MUST SUPPLY ANY ADDITIONAL EQUIPMENT REQUIRED BY OSHA FOR MANHOLE ENTRY, DURING TESTING. SOUTHGATE REQUIRES 2 BUSINESS DAYS NOTICE PRIOR TO TESTING FOR SCHEDULING PURPOSES.
 - THE CONTRACTOR WILL SCHEDULE COMPACTION TESTING WITH THE SOILS CONSULTANT. SEVERAL COMPACTION TESTS ARE REQUIRED AT INTERSECTIONS WITH OTHER UTILITIES, AT MANHOLES, SERVICE STUBS, AND AT RANDOM LOCATIONS OVER THE SEWER LINE. TESTING WILL BE REQUIRED WHEN SOILS MATERIAL CHANGES. TESTING WILL BE REQUIRED FOR EVERY THIRD SERVICE INSTALLATION. THE SOILS ENGINEER IS REQUIRED TO SUBMIT COMPACTION TEST RESULTS ON A DAILY BASIS.
 - ALL SEWER LINES WILL BE FLUSHED AND CLEANED PRIOR TO ANY VIDEING ON THE PROJECT. THE WATER USED IN THE FLUSHING AND CLEANING OPERATION SHALL BE PUMPED OUT OF THE SYSTEM. WATER WILL NOT BE DISCHARGED INTO ADJOINING SYSTEM. THE PLUG AT THE DISCHARGE END OF THE PROJECT MUST REMAIN IN PLACE UNTIL THE SYSTEM HAS BEEN ACCEPTED AND NOTICE HAS BEEN GIVEN BY SOUTHGATE FOR THE SYSTEM TO BE PLACED INTO SERVICE.
 - ALL SEWER LINES MUST BE JETTED PRIOR TO THE START OF THE WARRANTY PERIOD AND MAY BE REQUIRED AGAIN PRIOR TO RELEASE OF WARRANTY BY SOUTHGATE. COSTS OF JETTING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PUMPING ASSOCIATED WITH THE LINE JETTING.
 - CONSTRUCTION WATER IS AVAILABLE BY PURCHASING A PERMIT FROM SOUTHGATE WATER DISTRICT AND DRAINAGE DISTRICT. DRAINAGE WATER CERTIFICATION IS REQUIRED ON ALL WATER METERS. SOUTHGATE WATER DISTRICT DOES NOT SUPPLY WATER METERS.
 - PIPELINE ACCEPTANCE AND THE START OF THE WARRANTY PERIOD OF THE NEW SEWER MAIN WILL NOT BE CONSIDERED UNTIL ALL REQUIREMENTS FOR ACCEPTANCE HAVE BEEN FULFILLED, INCLUDING:
 - ALL TESTING IS COMPLETE WITH SATISFACTORY RESULTS.
 - COMPLETE SET OF SIGNED COMPACTION TEST RESULTS IS SUBMITTED TO SOUTHGATE.
 - ALL PUNCH LIST ITEMS ARE COMPLETED TO THE SATISFACTORY OF SOUTHGATE.
 - A FIRST LIFT OF PAVING IS COMPLETED, AT A MINIMUM.
 - SURVEYED RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY SOUTHGATE. REQUIREMENTS FOR RECORD DRAWINGS CAN BE FOUND AT WWW.SOUTHGATEDISTRICTS.COM.
 - RECORDED ADDRESS PLAT, IF APPLICABLE, IS SUBMITTED TO SOUTHGATE.
 - WARRANTY FUNDS ARE SUBMITTED TO SOUTHGATE IN THE FORM OF A LETTER OF CREDIT CHECK EQUAL TO TEN PERCENT (10%) OF THE TOTAL COST OF SEWER IMPROVEMENTS. THE LETTER OF CREDIT MUST BE EFFECTIVE FOR A MINIMUM OF FIFTEEN (15) MONTHS FROM START OF WARRANTY PERIOD.
 - THE NEW SEWER SYSTEM WILL BE TESTED IN ACCORDANCE WITH SOUTHGATE'S SPECIFICATIONS. ALL REQUIRED TESTING MUST BE COMPLETED PRIOR TO THE START OF WARRANTY PERIOD.
 - VIDEO 100% OF NEW SYSTEM.
 - LOW PRESSURE AIR TEST 100% OF NEW SYSTEM.
 - DEFLECTION TEST 100% OF NEW SYSTEM.
 - RELEASE OF SECURITY AND WARRANTY OF FACILITIES IS DEPENDENT UPON SUCCESSFUL COMPLETION OF A MINIMUM OF ONE (1) YEAR WARRANTY PERIOD AND COMPLETION OF DOCUMENTS.
 - THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM FROM PIPE ACCEPTANCE TO RELEASE OF SECURITY AND WARRANTY. FAILURE TO MAINTAIN SEWER LINES BY THE TERMS OF THE AGREEMENT MAY BE CONSIDERED GROUNDS FOR PERMANENT ABANDONMENT OF CONTRACT.
 - SEWER SERVICE TAPS WILL NOT BE SOLD UNTIL PROJECT ACCEPTANCE IS ACHIEVED.
 - MANHOLE RIMS WILL BE SET AT AN ELEVATION RELATIVE TO THE PAVEMENT, IN ACCORDANCE WITH THE APPROPRIATE CITY, COUNTY, OR STATE HIGHWAY DEPARTMENT STANDARDS. REGARDLESS IF THE MANHOLE IS A DRAINED OR UNDRAINED AREA, A MINIMUM OF FOUR INCHES (4") OF CONCRETE RISES RINGS SHALL BE INSTALLED TO ADJUST RISES TO FINAL GRADE. THE MAXIMUM ACCEPTABLE VERTICAL ADJUSTMENTS UTILIZING RISES RINGS IS TWELVE INCHES (12"). NOTE: CONCRETE ADJUSTMENT SECTIONS ARE ALSO APPROVED FOR USE IN VERTICAL ADJUSTMENTS OF RISES AND COVER. A MINIMUM OF 1 RISER SECTION WILL BE REQUIRED FOR VERTICAL ADJUSTMENT.
 - EXISTING PIPES AT THE POINT OF CONNECTION WILL NOT BE BROKEN OUT AND NO SERVICE CONNECTIONS WILL BE MADE UNTIL THE NEW SYSTEM IS ACCEPTED BY SOUTHGATE.
 - THE CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF EXISTING LINES BY MEANS OF CERTIFIED SURVEY PRIOR TO THE INSTALLATION OF BARREL AND CONE SECTION.
 - THE CONTRACTOR WILL VERIFY EXISTING MANHOLE INVERTS AT PROPOSED POINTS OF CONNECTION PRIOR TO CONSTRUCTION STAKING.
 - THE ALIGNMENT SHALL BE STAKED EVERY 25 FEET FOR THE FIRST 100 FEET OUT OF EACH MANHOLE AND EVERY 50 FEET THEREAFTER, ALONG WITH BOTH SIDES OF THE EASEMENT. (FOR USE WITH LASER EQUIPMENT ONLY)
 - TRENCH CONSTRUCTION IN STREET RIGHT-OF-WAY IS TO CONFORM TO APPLICABLE MUNICIPAL STANDARDS (COLORADO DEPARTMENT OF TRANSPORTATION, ASPHALT COUNTY, SOILS & COUNTY, CITY OF GREENWOOD VILLAGE, CITY OF CENTENNIAL, OR THE CITY OF LOUISVILLE).
 - CONNECTION TIES INTO AN EXISTING SEWER LINE SHALL BE PLUGGED WITH A PLUMBERS PLUG IN THE UPSTREAM PIPE AND TIED OFF TO A STEP INSIDE THE MANHOLE. THE PLUG SHALL REMAIN IN PLACE UNTIL THE NEW SYSTEM IS ACCEPTED. SOUTHGATE WILL ISSUE NOTICE FOR SERVICE CONNECTIONS AND REMOVAL OF PLUG.
 - ALL PRIVATE SEWER LINES MUST BE INSPECTED BEFORE BACKFILL - CALL SOUTHGATE AT 303-779-0281 TO SCHEDULE YOUR INSPECTION.
 - ALL GREASE AND SAND/OIL INTERCEPTORS MUST BE INSPECTED BEFORE BACKFILL - CALL SOUTHGATE AT 303-779-0281 TO SCHEDULE YOUR INSPECTION.

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| REVISION | SCALE |
| BY: _____ DATE: _____ | NOT TO SCALE |
| | ISSUE DATE: FEBRUARY 2016 |
| | SHEET: 1 OF 1 DRAWING NO. SS-31 |



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| REVISION | SCALE |
| BY: _____ DATE: _____ | NOT TO SCALE |
| | ISSUE DATE: FEBRUARY 2016 |
| | SHEET: 1 OF 1 DRAWING NO. SS-28 |

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| ISSUE DATE: 03-22-2024 | |
| DATE | REVISION COMMENTS |
| 04-05-2024 | BID ADDENDUM |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |
| 06-04-2024 | CITY SUBMITTAL |

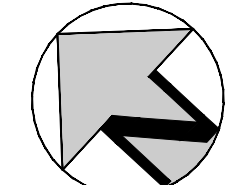
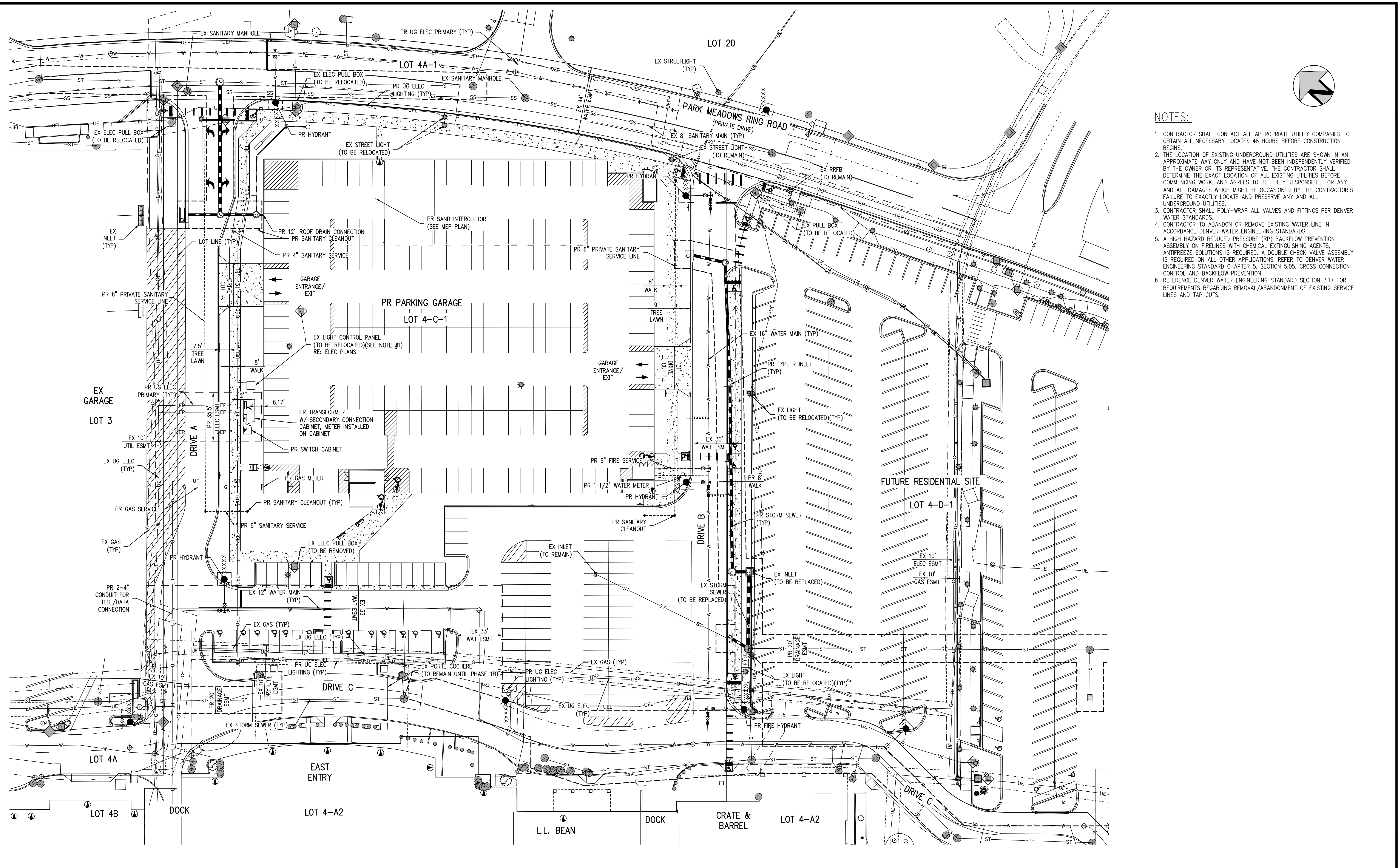


PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
 SANITARY DETAILS

PROJECT #: 231016
 SHEET NUMBER
SS5
 5 OF 5

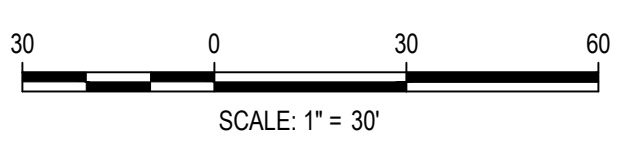
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NOTES:

1. CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES TO OBTAIN ALL NECESSARY LOCATES 48 HOURS BEFORE CONSTRUCTION BEGINS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL POLY-WRAP ALL VALVES AND FITTINGS PER DENVER WATER STANDARDS.
4. CONTRACTOR TO ABANDON OR REMOVE EXISTING WATER LINE IN ACCORDANCE DENVER WATER ENGINEERING STANDARDS.
5. A HIGH HAZARD REDUCED PRESSURE (RP) BACKFLOW PREVENTION ASSEMBLY ON FIRELINES WITH CHEMICAL EXTINGUISHING AGENTS, ANTIFREEZE SOLUTIONS IS REQUIRED. A DOUBLE CHECK VALVE ASSEMBLY IS REQUIRED ON ALL OTHER APPLICATIONS. REFER TO DENVER WATER ENGINEERING STANDARD CHAPTER 5, SECTION 5.05, CROSS CONNECTION CONTROL AND BACKFLOW PREVENTION.
6. REFERENCE DENVER WATER ENGINEERING STANDARD SECTION 3.17 FOR REQUIREMENTS REGARDING REMOVAL/ABANDONMENT OF EXISTING SERVICE LINES AND TAP CUTS.

FILE PATH: P:\2023\21016\ENGINEERING\UTILITIES\WATER\DWG - OVERALL UTILITY PLANNING LAYOUT LAYOUT.DWG
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 PLOTTED: TUE 06/04/24 6:03:08 PM
 BY: LIBBEY ENDERSSEE



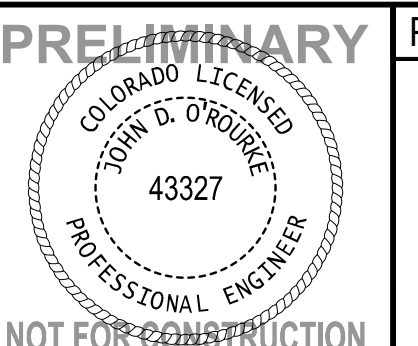
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 CHECKED BY: JDO
 DRAWN BY: JTKR

| ISSUE DATE: 03-22-2024 | |
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| DATE | REVISION COMMENTS |
| 04-05-2024 | BID ADDENDUM |
| 04-16-2024 | 1ST SUBMITTAL |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |

1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

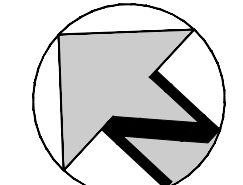
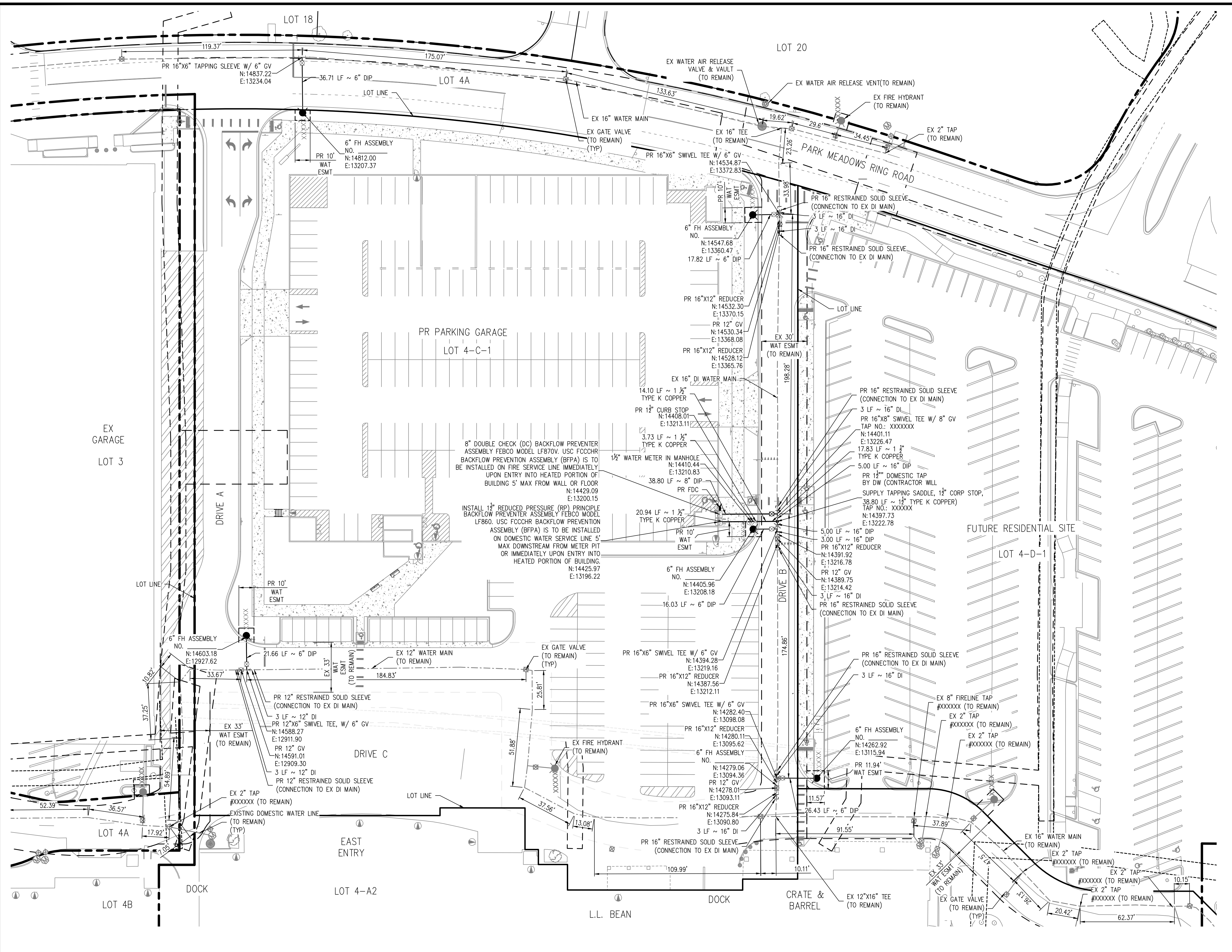
**PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 OVERALL UTILITY PLAN**



PROJECT #: 231016
 SHEET NUMBER
WT2
 2 OF 5

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STANDARD DRAWING INDEX:
 STANDARD DETAILS INCORPORATED BY REFERENCE WITHIN THESE DRAWINGS SHALL CONSIST OF THE FOLLOWING STANDARD DETAILS INDICATED AND ALL SUBSEQUENT DETAILS WHICH MAY BE REFERENCED THEREIN.

- SHEET 1 - STANDARD DRAWING ABBREVIATIONS
- SHEET 2 - STANDARD DRAWING ABBREVIATIONS
- SHEET 3 - TYPICAL TRENCH SECTION
- SHEET 10 - PLAN, PROFILE & LOCATION FOR FIRE HYDRANTS, MAINS & VALVES
- SHEET 14 - STORM & SANITARY SEWER CROSSING
- SHEET 15 - OPEN CUT CROSSING OVER OR UNDER CONDUIT OR CONFLICTING UTILITY
- SHEET 18 - CONCRETE KICKBLOCKS BEARING SURFACES AND INSTALLATION
- SHEET 19 - CONCRETE KICKBLOCK REQUIREMENTS FOR WATER MAIN & PIPE SIZE COMBOS
- SHEET 21 - LENGTH OF RESTRAINED PIPE
- SHEET 45 - VALVE OPERATOR GUIDE
- SHEET 46 - GENERAL METER & SERVICE NOTES
- SHEET 47 - 3" & LARGER DOMESTIC & FIRELINE CONNECTIONS
- SHEET 49 - NATIONAL FIRE PROTECTION ASSOCIATION 13D RESIDENTIAL SPRINKLER SERVICES
- SHEET 57 - LARGE METER IN VAULT
- SHEET 79 - POLYETHYLENE WRAP ON PIPE AND AT TAP INSTALLATION
- SHEET 81 - METALLIC PIPE JOINT BONDING
- SHEET 82 - EXOTHERMIC WELD PROTECTION
- SHEET 88 - ANODE INSTALLATION

STANDARD BACKFLOW PREVENTION NOTES:

DOMESTIC SERVICE - AN APPROVED USC FCCCHR REDUCED PRESSURE BACKFLOW (RP) ASSEMBLY IS REQUIRED TO BE INSTALLED ON THE DOMESTIC WATER SERVICE LINE 5' MAX DOWNSTREAM FROM THE METER PIT OR IMMEDIATELY UPON ENTRY INTO THE HEATED PART OF THE BUILDING 5' (MAX) FROM WALL OR FLOOR. SEE DENVER WATER ENGINEERING STANDARD CHAPTER 5 SECTION 5.05.

FIRE LINES - AN APPROVED USC FCCCHR DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY (DC) IS REQUIRED TO BE INSTALLED IMMEDIATELY UPON ENTRY INTO A HEATED PART OF THE BUILDING 5' (MAX) FROM WALL OR FLOOR. A REDUCED PRESSURE (RP) BACKFLOW PREVENTION ASSEMBLY IS REQUIRED ON FIRE LINES THAT UTILIZE CHEMICAL EXTINGUISHING AGENTS OR ANTIFREEZE SOLUTIONS. SEE DENVER WATER ENGINEERING STANDARD CHAPTER 5 SECTION 5.05.

IRRIGATION - IRRIGATION BRANCH LINES FOR A DOMESTIC SERVICE TAP REQUIRES AN APPROVED USC FCCCHR REDUCED PRESSURE BACKFLOW PREVENTER AND SHALL BE LOCATED 5- FEET DOWNSTREAM FROM THE METER PIT OR IMMEDIATELY UPSTREAM OR DOWNSTREAM OF THE DOMESTIC CONTAINMENT ASSEMBLY UPON ENTRY INTO A HEATED PART OF THE BUILDING.

NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THE VERTICAL/HORIZONTAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. EXOTHERMIC WELD A 48-POUND HIGH POTENTIAL MAGNESIUM ANODE TO DI PIPE, INCLUDING HYDRANT BRANCH LINES AND FIRE LINES AS SHOWN IN THE DRAWING. INSTALL ANODES IN ACCORDANCE WITH CAPITAL PROJECTS CONSTRUCTION STANDARDS SECTION 13 47 15 - GALVANIC CATHODIC PROTECTION AND DETAIL SHEET 88 - ANODE INSTALLATION. BOND NEW JOINTS IN ACCORDANCE WITH DETAIL SHEET 81 - METALLIC PIPE JOINT BONDING. DO NOT BOND TO EXISTING METALLIC PIPE OR ACROSS INSULATING FLANGES OR COUPLINGS. INSTALL V-BIO POLYETHYLENE ENCASEMENT ON DUCTILE IRON PIPE.
3. DENVER WATER (WQO SYSTEM DEVELOPMENT) TO CONDUCT DISINFECTION AND HYDROSTATIC PRESSURE TESTING OF THE WATER MAIN AND ASSOCIATED HYDRANT BRANCHES. PLEASE CONTACT SYSTEM DEVELOPMENT AT 303-634-3470 PRIOR TO CONSTRUCTION FOR TESTING REQUIREMENTS.

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DESIGNED BY: EE
 CHECKED BY: JDO
 DRAWN BY: JTKR

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| 04-05-2024 | BID ADDENDUM |
| 04-16-2024 | 1ST SUBMITTAL |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |

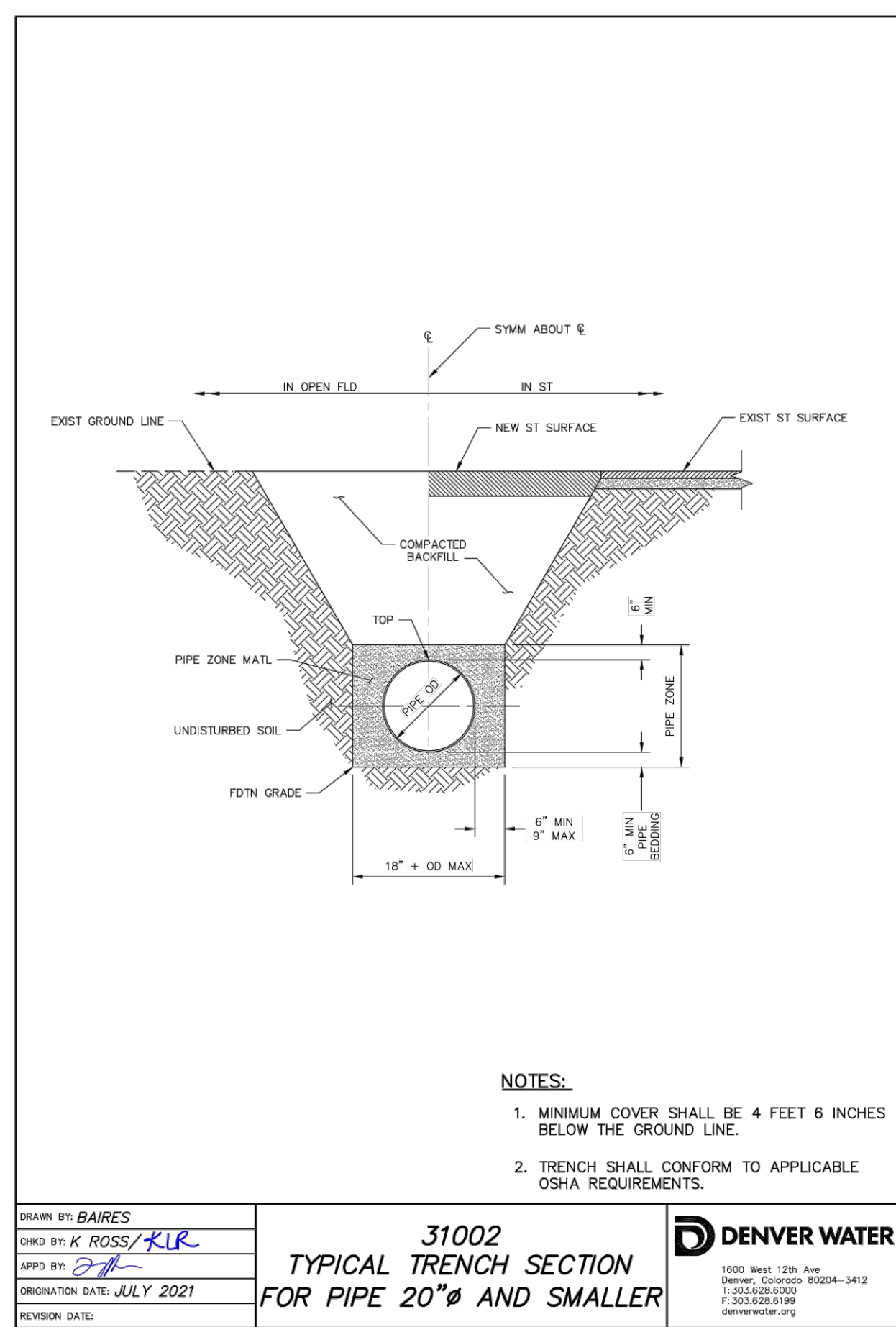
1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
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**PARK MEADOWS MALL, LLC/
 PARK MEADOWS ANCHOR ACQUISITION, LLC**

**PARK MEADOWS - GARAGE AND RETAIL
 WATER PLAN - PHASE 1A**

PROJECT #: 231016
 SHEET NUMBER
WT3
 3 OF 5

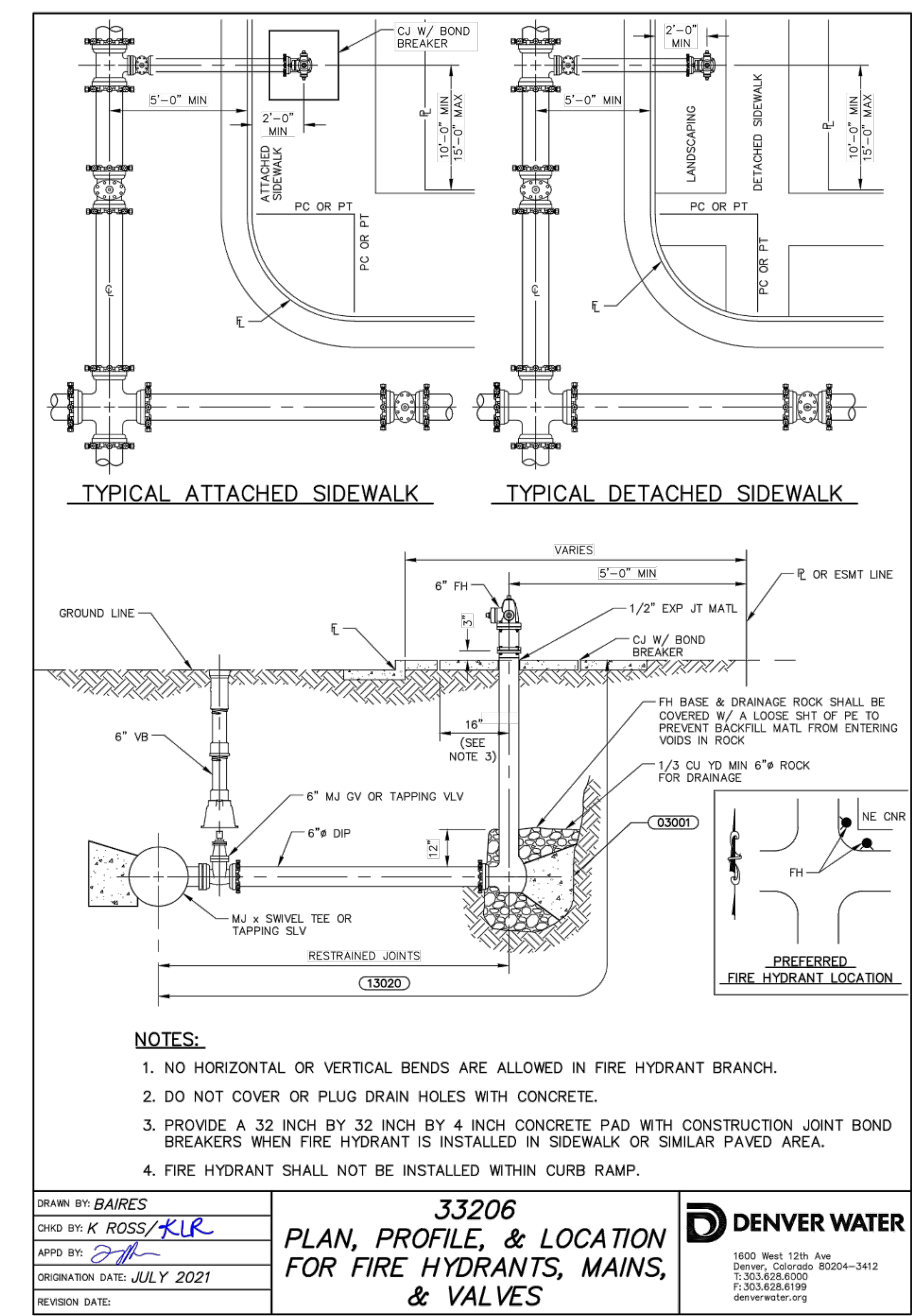
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31002
TYPICAL TRENCH SECTION FOR PIPE 20" AND SMALLER

DRIVEN BY: BAIRE'S
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

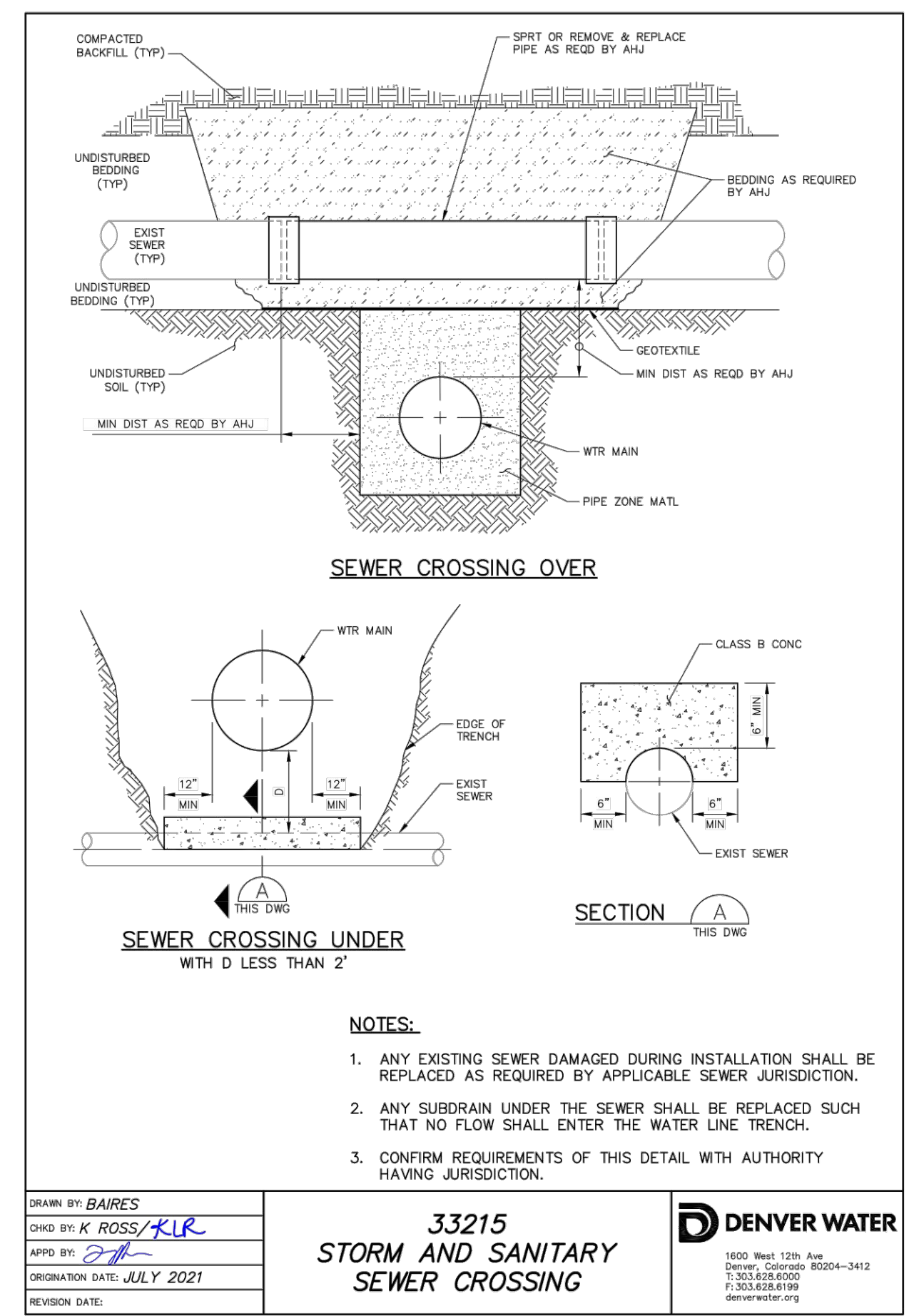
DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



33206
PLAN, PROFILE, & LOCATION FOR FIRE HYDRANTS, MAINS, & VALVES

DRIVEN BY: BAIRE'S
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

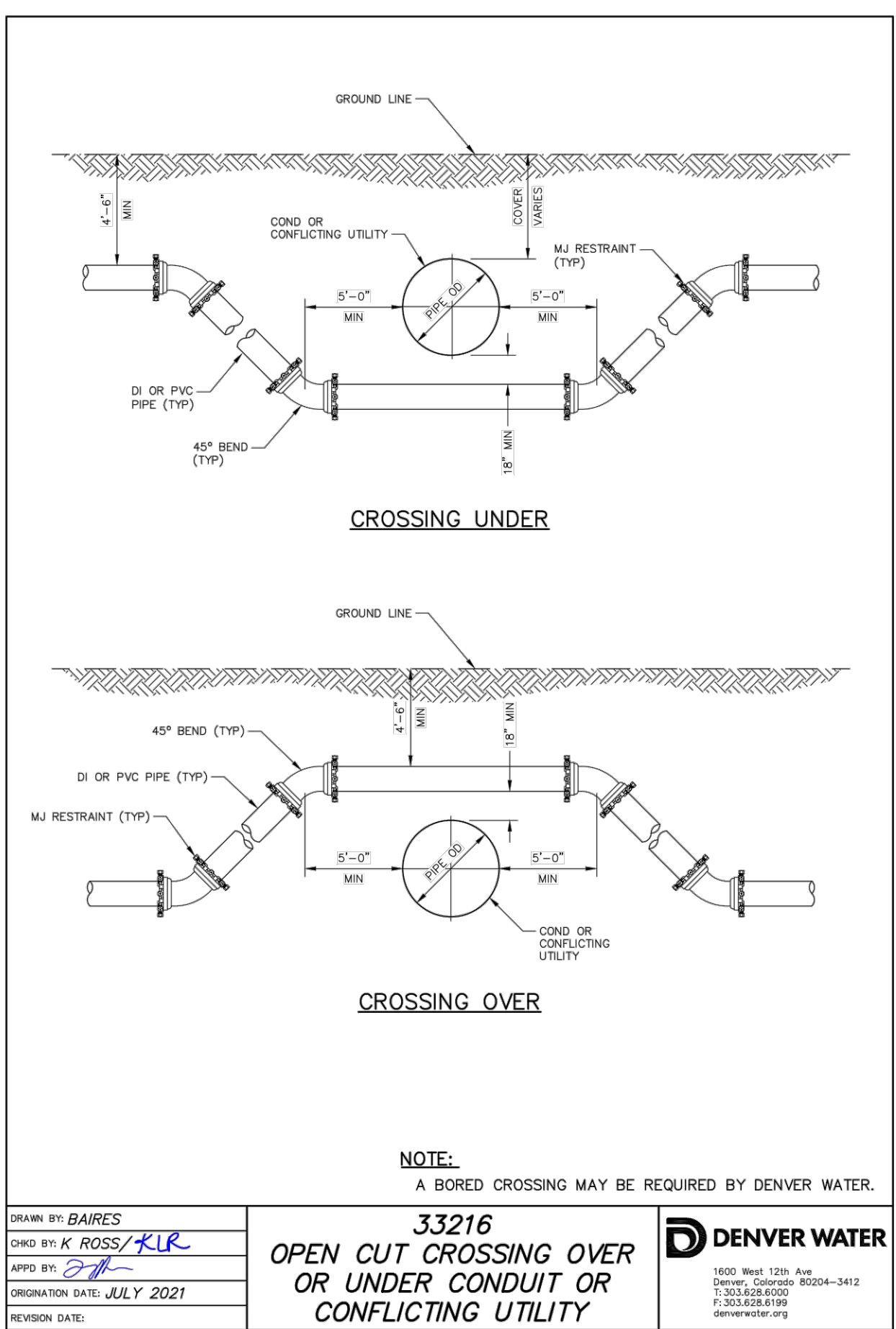
DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



33215
STORM AND SANITARY SEWER CROSSING

DRIVEN BY: BAIRE'S
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

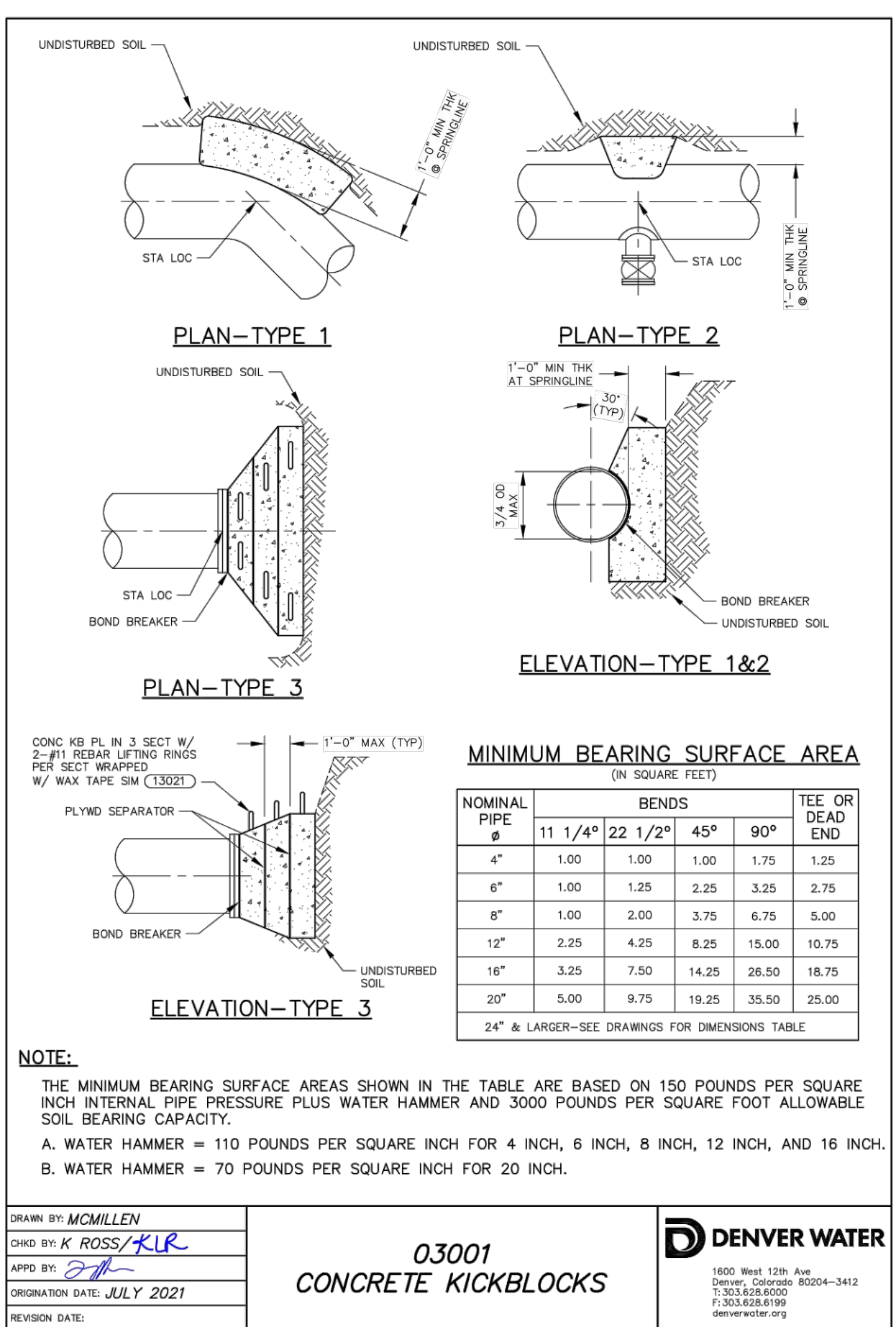
DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



33216
OPEN CUT CROSSING OVER OR UNDER CONDUIT OR CONFLICTING UTILITY

DRIVEN BY: BAIRE'S
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

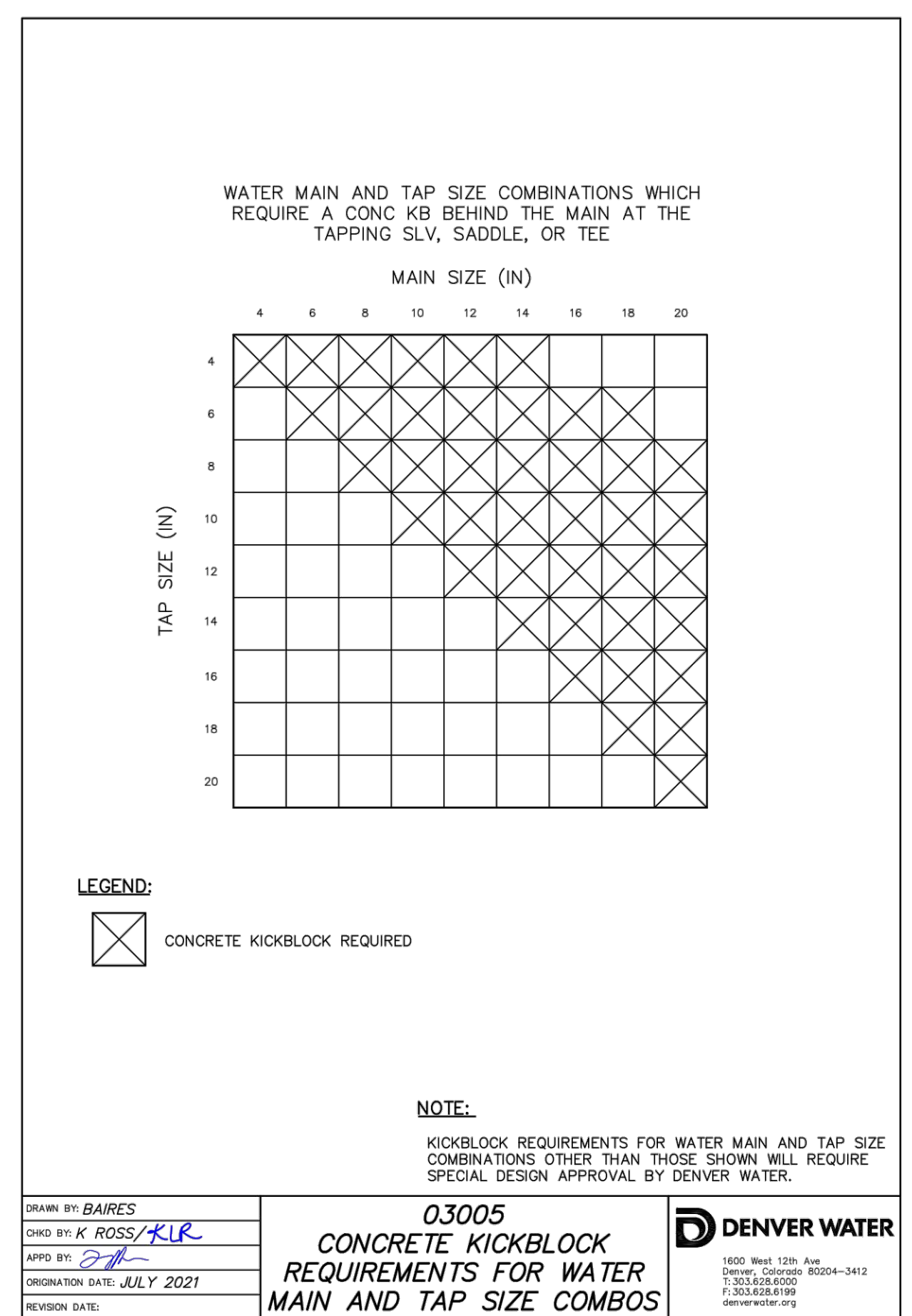
DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



03001
CONCRETE KICKBLOCKS

DRIVEN BY: MC MILLEN
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

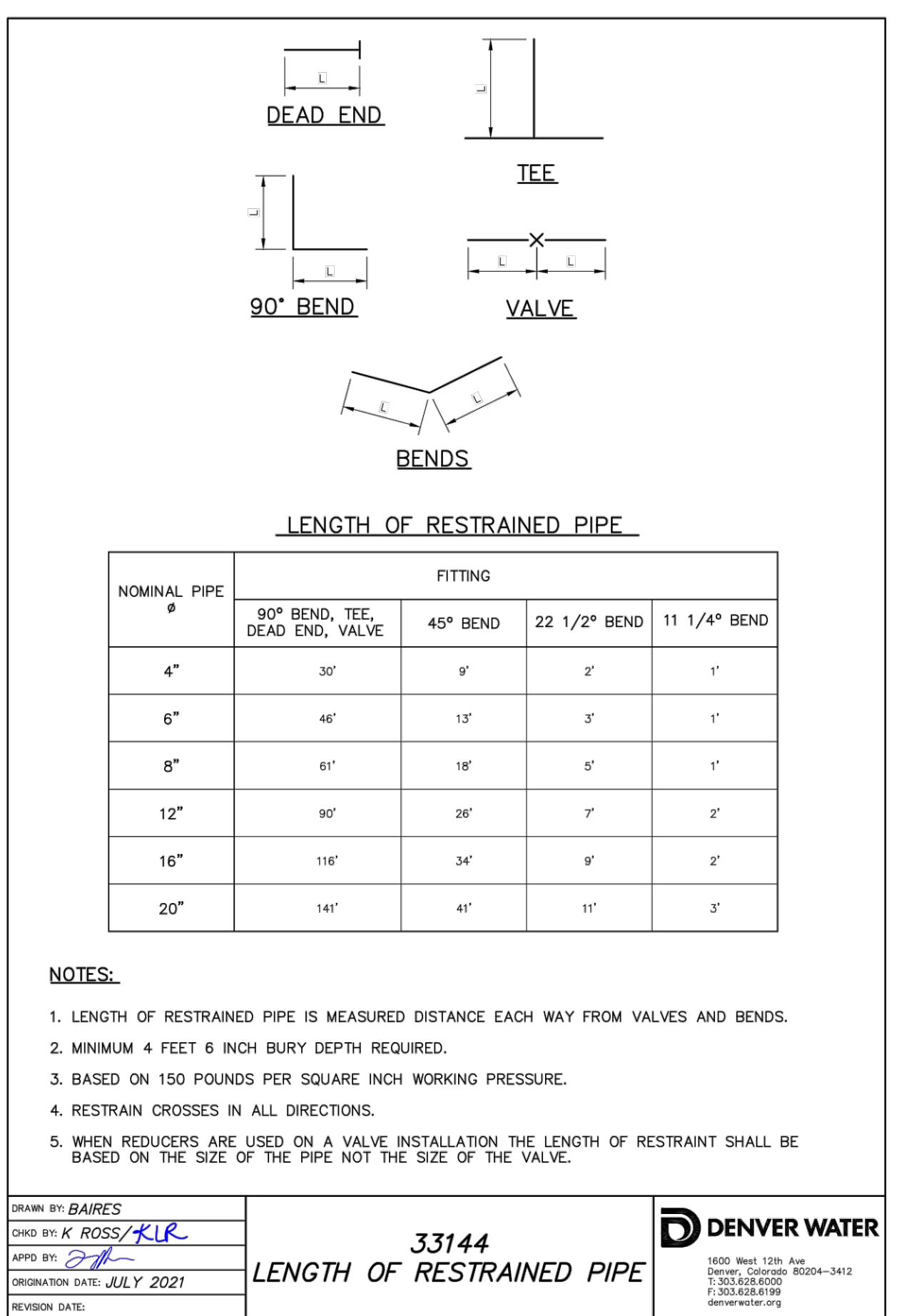
DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



03005
CONCRETE KICKBLOCK REQUIREMENTS FOR WATER MAIN AND TAP SIZE COMBOS

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CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

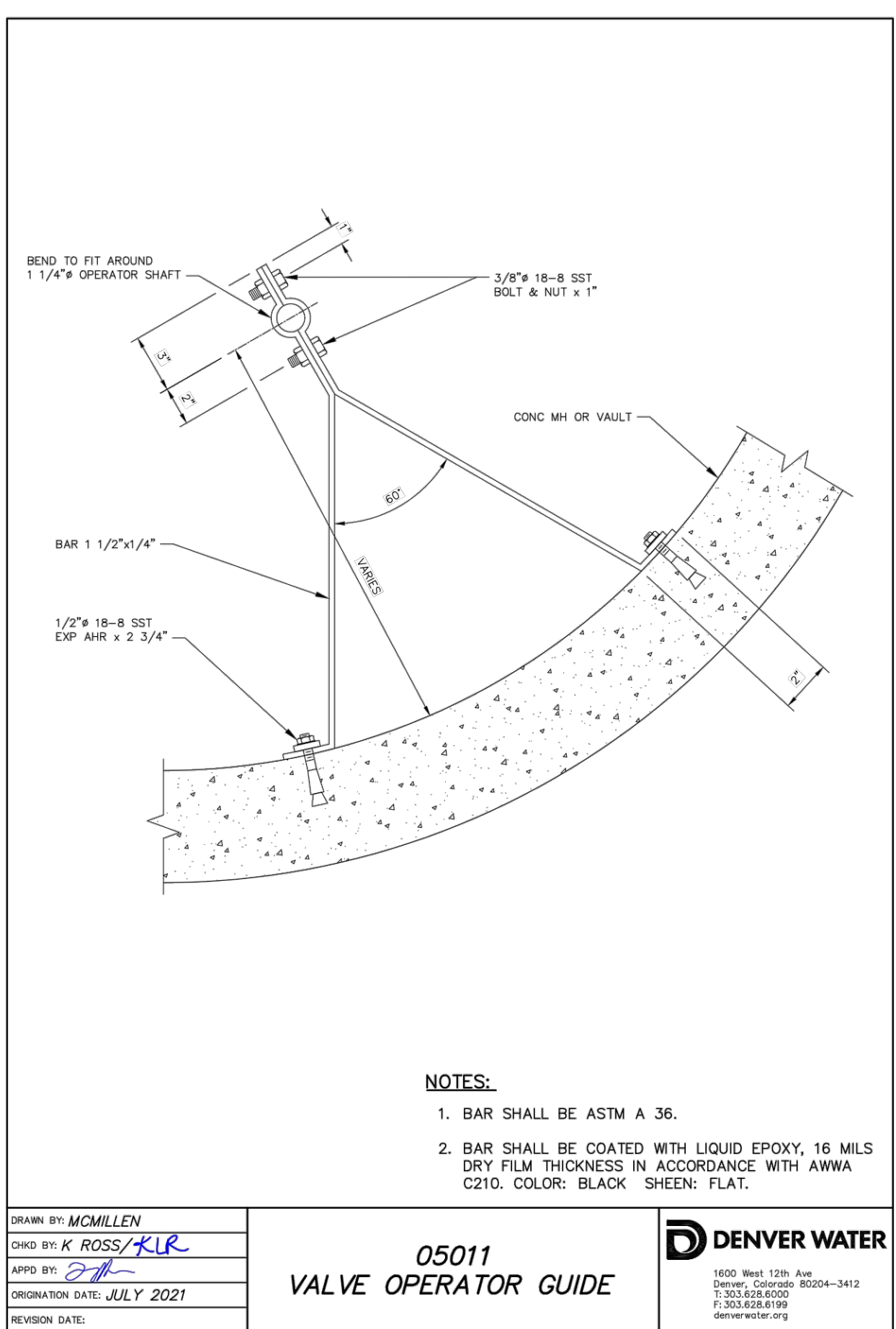
DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



33144
LENGTH OF RESTRAINED PIPE

DRIVEN BY: BAIRE'S
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



05011
VALVE OPERATOR GUIDE

DRIVEN BY: MC MILLEN
CHKD BY: K. ROSS/KLR
APPRO BY: [Signature]
ORIGINATOR DATE: JULY 2021
REVISION DATE:

DENVER WATER
1600 West 120th Ave
Denver, Colorado 80204-3412
T: 303.628.6000
F: 303.628.6199
denverwater.org



DESIGNED BY: EE
CHECKED BY: JDO
DRAWN BY: JTKR

| ISSUE DATE: 03-22-2024 | REVISION COMMENTS |
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| 04-05-2024 | BID ADDENDUM |
| 04-16-2024 | 1ST SUBMITTAL |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |



PARK MEADOWS MALL, LLC/
PARK MEADOWS ANCHOR ACQUISITION, LLC

PARK MEADOWS - GARAGE AND RETAIL
DETAIL 1

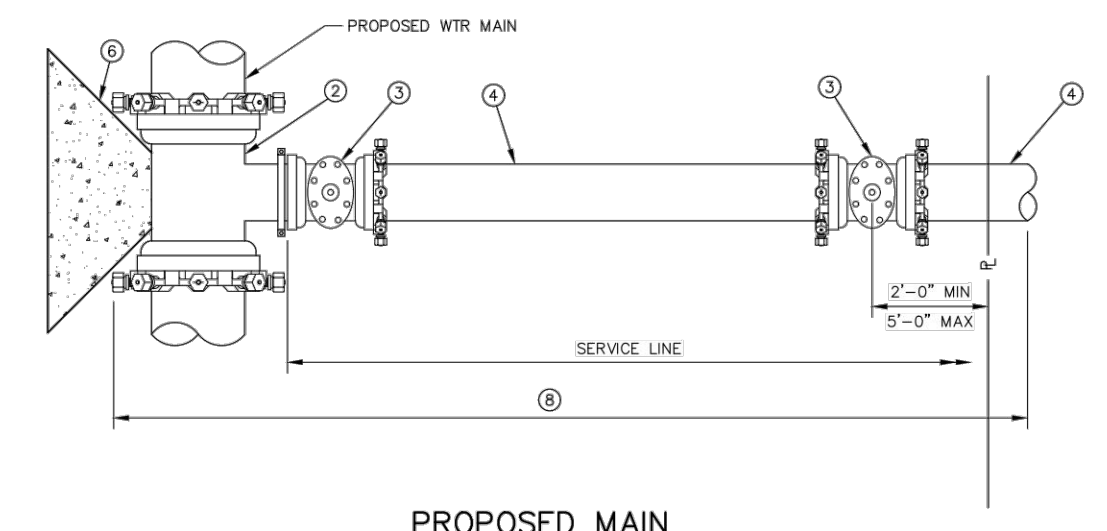


PROJECT #: 231016
SHEET NUMBER
WT4
4 OF 5

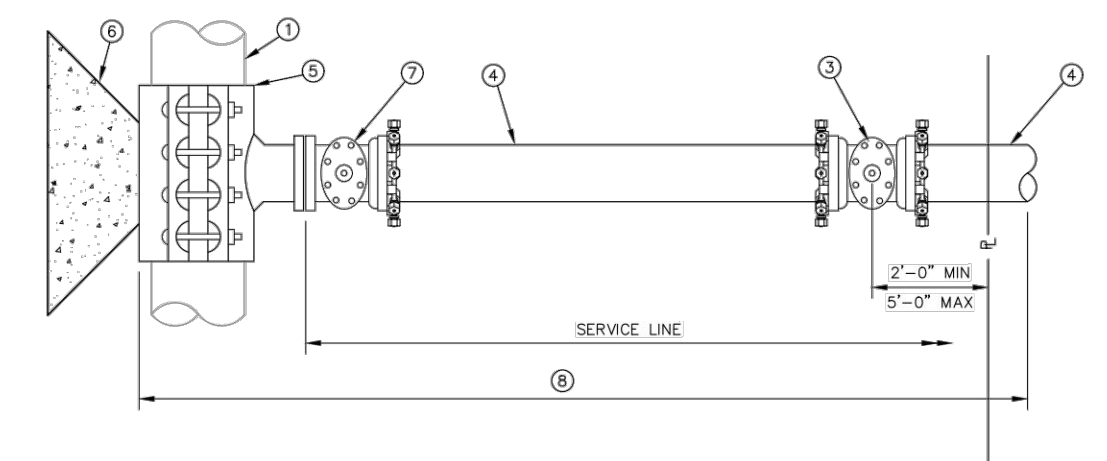
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

NOTES

1. AN ON-SITE PRECONSTRUCTION MEETING WITH DENVER WATER IS REQUIRED FOR TAPS AND SERVICE LINES 1-INCH AND LARGER AND PROJECTS INVOLVING MORE THAN ONE TAP AND SERVICE. PRECONSTRUCTION MEETINGS AND METER INSPECTIONS MAY BE SCHEDULED BY CALLING DENVER WATER AT 303-628-6145.
2. THE METER AND AMR/AMI DEVICE LOCATION SHALL BE APPROVED BY DENVER WATER METER INSPECTION. METER SETTINGS 1-INCH AND LARGER SHALL BE APPROVED IN THE FIELD BY DENVER WATER PRIOR TO THE INSTALLATION OF ANY SERVICE LINE OR TAP.
3. SERVICE LINES WILL NOT BE ACTIVATED UNLESS THE TAP, METER SETTING, AND SERVICE LINE ARE IN ACCORDANCE WITH THE CURRENT VERSION OF THE DENVER WATER ENGINEERING STANDARDS. APPROVED PROJECT DRAWINGS, AND WRITTEN METER INSPECTION INSTRUCTIONS, AS APPLICABLE, DEVIATIONS FROM THESE PLANS AND STANDARDS MUST BE APPROVED IN ADVANCE AND IN WRITING BY DENVER WATER.
4. METER PITS AND VAULTS SHALL BE FLUSH WITH THE FINAL GRADE OF THE LANDSCAPE, WHICH MUST INCLUDE PROPER DEPTH OF SOIL AMENDMENT. IF THE STREET OR GROUND IS NOT TO FINAL GRADE AT THE TIME OF THE METER INSTALLATION OR INSPECTION, THE OWNER MUST RAISE OR LOWER THE METER PIT/VAULT WHEN FINAL GRADE IS ESTABLISHED. THE METER SETTING MUST BE ADJUSTED TO THE ENGINEERING STANDARDS AFTER THE METER PIT/VAULT GRADE HAS BEEN ADJUSTED.
5. PROTECT CURB BOXES, METER PITS, METER VAULTS, AND AMR/AMI DEVICES THROUGHOUT CONSTRUCTION. NO METER MAY BE REMOVED FROM ITS INSTALLED LOCATION UNTIL THE EXISTING TAP HAS BEEN CUT AT THE MAIN.
6. BACKFLOW PREVENTION DEVICES MAY BE REQUIRED IN ACCORDANCE WITH THE DENVER WATER ENGINEERING STANDARDS AND STANDARD DRAWINGS. IF REQUIRED, THEY MUST BE IN PLACE BEFORE THE FINAL METER INSPECTION.
7. FURNISH METER PITS WITH A PLASTIC FROST LID IN ACCORDANCE WITH SPECIFICATION SECTION 33 14 17.
8. THE AMR/AMI DEVICE WILL MOUNT THROUGH THE CAST IRON LID OR UNDER THE COMPOSITE LID, OR A REMOTE AMR DEVICE WILL BE REQUIRED. FURNISH METERS WITH ELECTRONIC DIGITAL ENCODER REGISTERS OR MECHANICALLY ENCODED REGISTERS WITH A REMOTE AMR DEVICE FOR EACH REGISTER.
9. A REMOTE AMR DEVICE WILL BE INSTALLED AT A LOCATION DETERMINED BY DENVER WATER AT THE TIME OF METER INSPECTION. AMR DEVICES WILL TYPICALLY BE INSTALLED ON THE OUTSIDE OF THE BUILDING FACING A PUBLIC STREET. OWNER MUST PROVIDE CONDUIT AND SIGNAL WIRE FROM THE METER TO THE AMR DEVICE LOCATION.
10. MASTER METER AND READ AND BILL DISTRIBUTORS MAY IMPOSE ADDITIONAL STANDARDS NOT REQUIRED BY DENVER WATER.



PROPOSED MAIN



EXISTING MAIN

KEYED NOTES:

- 1 EXIST WTR MAIN
- 2 MJ ANCHORING TEE
- 3 MJ GV
- 4 DIP FULLY RESTRAINED
- 5 TAPPING SLV
- 6 CONC KB
- 7 TAPPING VLV FLG x MJ
- 8 PE WRAPPED

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 CHD BY: **K ROSS/KLR**
 APPD BY: **JK**
 ORIGINATION DATE: **JULY 2021**
 REVISION DATE:

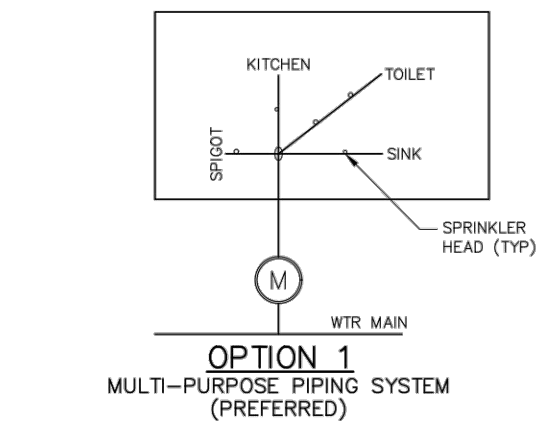
33260
GENERAL METER AND SERVICE NOTES

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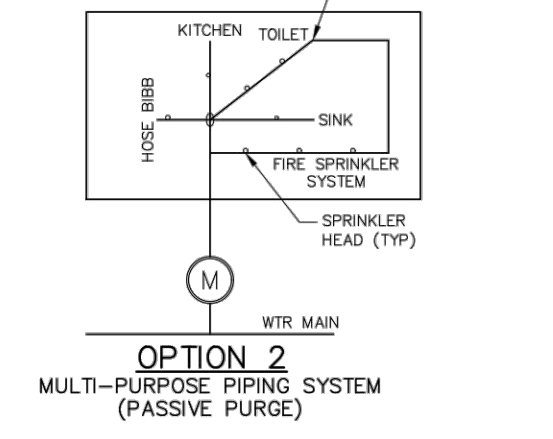
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33261
3" AND LARGER DOMESTIC AND FIRELINE CONNECTION

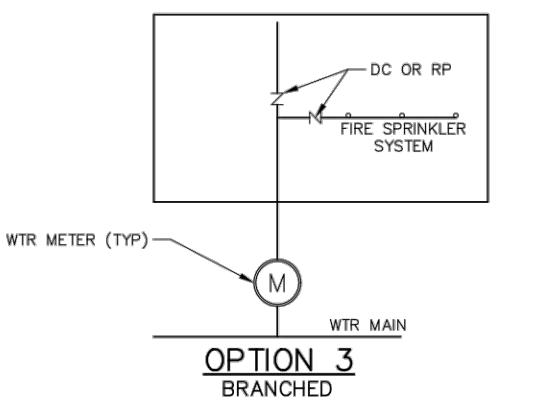
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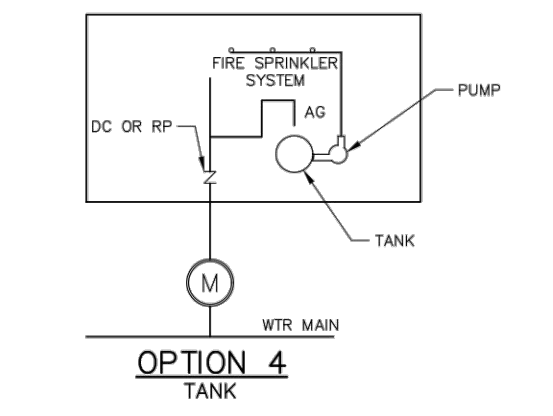
OPTION 1
MULTI-PURPOSE PIPING SYSTEM (PREFERRED)



OPTION 2
MULTI-PURPOSE PIPING SYSTEM (PASSIVE PURGE)



OPTION 3
BRANCHED



OPTION 4
TANK

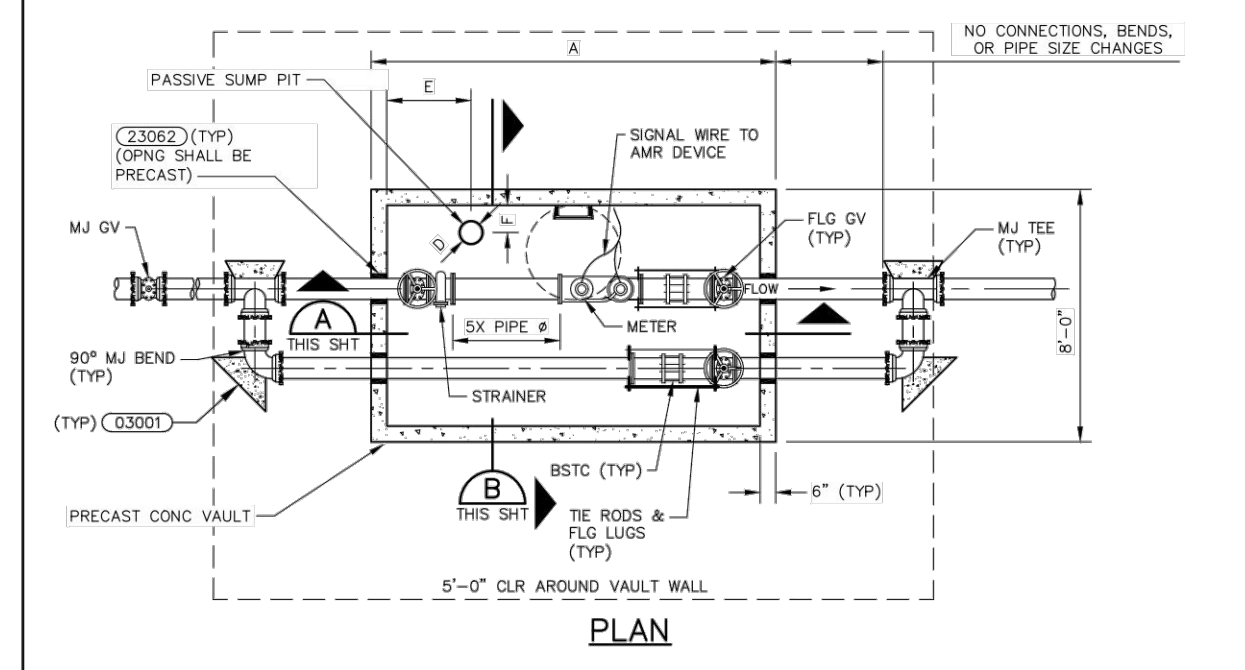
NOTES:

1. CHEMICAL ADDITIVES REQUIRE THE INSTALLATION OF A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER ON THE SPRINKLER SYSTEM BRANCH LINE.
2. OPTION 1 SYSTEM SHALL HAVE ALL BRANCH LINES TERMINATE AT A FIXTURE.
3. OPTION 2 SYSTEM SHALL HAVE NO DEAD-END LINES, SYSTEM PIPING SHALL BE CONSTRUCTED TO MOVE WATER THROUGH THE ENTIRE SYSTEM TO THE FIXTURE END POINT.
4. OPTIONS 3 AND 4 SHALL BE APPROVED BY DENVER WATER, THE LOCAL FIRE DEPARTMENT, AND IF APPLICABLE, THE DISTRIBUTOR PRIOR TO APPLICATION FOR WATER SUPPLY LICENSE.
5. OPTION 4 WILL REQUIRE AN AIR GAP IF THE WATER SUPPLY TO THE TANK IS HARD PIPED. A DC OR RP SHALL BE REQUIRED AT THE WATER ENTRY POINT DEPENDING ON THE HAZARD.

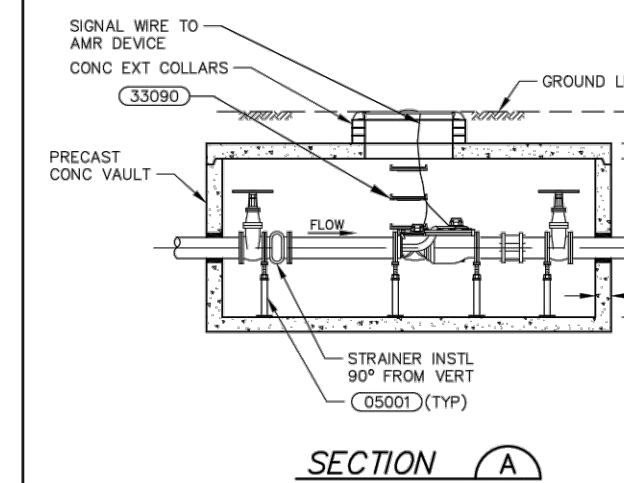
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33263
NATIONAL FIRE PROTECTION ASSOCIATION 13D RESIDENTIAL SPRINKLER SERVICES

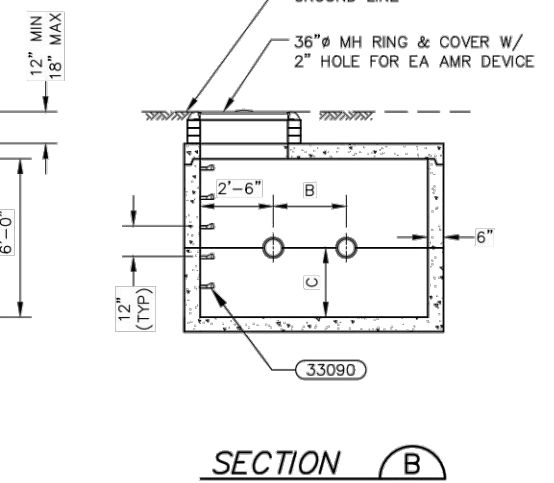
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PLAN



SECTION A
THIS SHIT



SECTION B
THIS SHIT

| METER SIZE & NOMINAL PIPE # | PRECAST VAULT DIMENSIONS | | | | SUMP | |
|-----------------------------|--------------------------|-------|-------|-----------|-------|-------|
| | A | B | C | D | E | F |
| 3" | 9'-0" | 2'-0" | 2'-2" | 12" x 12" | 2'-2" | 1'-6" |
| 4" | 9'-0" | 2'-0" | 2'-2" | 12" x 12" | 2'-2" | 1'-6" |
| 6" | 9'-0" | 2'-0" | 2'-2" | 12" x 12" | 2'-2" | 1'-6" |
| 8" | 13'-6" | 2'-0" | 2'-0" | 18" x 18" | 2'-6" | 1'-9" |
| 10" | 13'-6" | 2'-0" | 2'-0" | 18" x 18" | 2'-6" | 1'-9" |

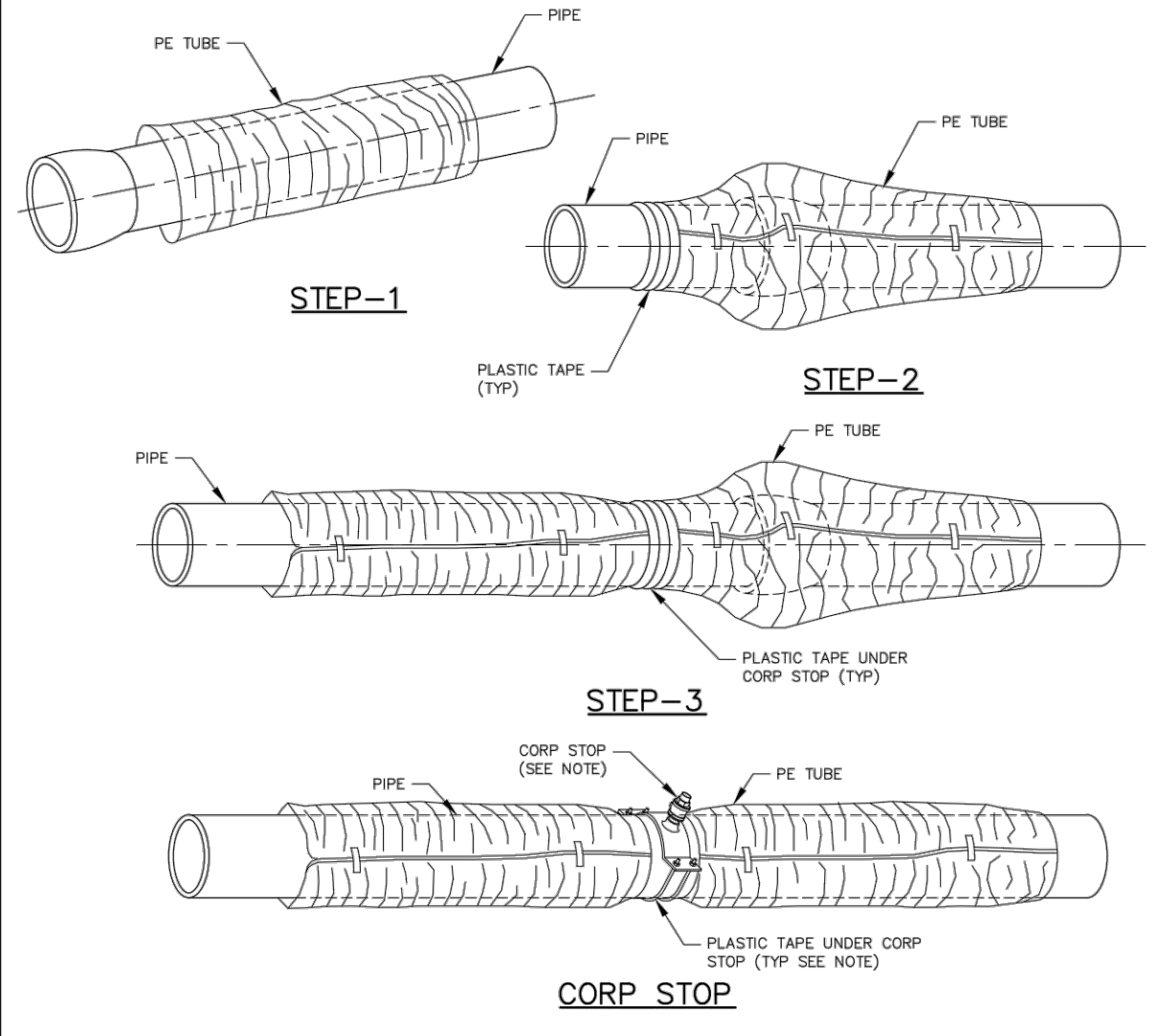
NOTES:

1. VALVES INSIDE THE VAULT SHALL BE NON-RISING STEM, RIGHT HAND OPEN VALVES WITH HAND WHEEL OPERATORS.
2. A CHECK VALVE IS REQUIRED BETWEEN COUPLING AND GATE VALVE IF BACKFLOW PREVENTION ASSEMBLY IS MORE THAN 150 FEET FROM VAULT.
3. INSTALL METER VAULT AND SERVICE LINE IN ACCORDANCE WITH SPECIFICATION SECTION 33 19 13.
4. SERVICE LINES SHALL NOT CROSS INSIDE THE METER VAULT.

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33271
LARGE METER IN VAULT

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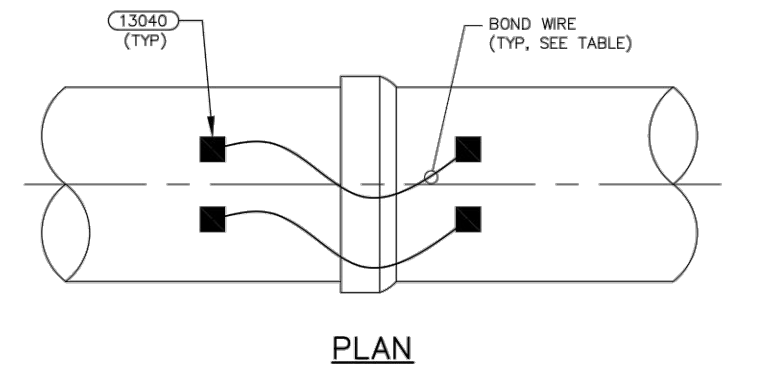
FIELD INSTALLATION - POLYETHYLENE WRAP

- STEP-1** PLACE THE TUBE OF POLYETHYLENE MATERIAL AROUND THE PIPE PRIOR TO LOWERING IT INTO THE TRENCH.
 - STEP-2** PULL THE TUBE OVER THE LENGTH OF THE PIPE. TAPE THE TUBE TO THE PIPE AT THE JOINT. FOLD MATERIAL AROUND THE ADJACENT SPIGOT END AND WRAP WITH THREE CIRCUMFERENTIAL TURNS OF 2 INCH WIDE PLASTIC TAPE TO HOLD PLASTIC TUBE AROUND SPIGOT END.
 - STEP-3** ADJACENT TUBE OVERLAPS FIRST TUBE AND SECURED WITH PLASTIC ADHESIVE TAPE. THE POLYETHYLENE TUBE MATERIAL COVERING THE PIPE WILL BE LOOSE. EXCESS MATERIAL SHALL BE NEATLY DRAWN UP AROUND THE PIPE BARREL, FOLDED INTO AN OVERLAP ON TOP OF THE PIPE, AND HELD IN PLACE BY MEANS OF PIECES OF PLASTIC TAPE AT APPROXIMATELY 3 FOOT INTERVALS.
- NOTES:**
1. AT LOCATION OF TAP, APPLY FOUR WRAPS OF PLASTIC TAPE AROUND THE PIPE FOR A WIDTH THAT WILL PROVIDE PROTECTION OF THE POLYETHYLENE WRAP FROM THE TAPPING MACHINE.
 2. APPLIES TO STANDARD AND V-BIO POLYETHYLENE WRAP INSTALLATIONS.

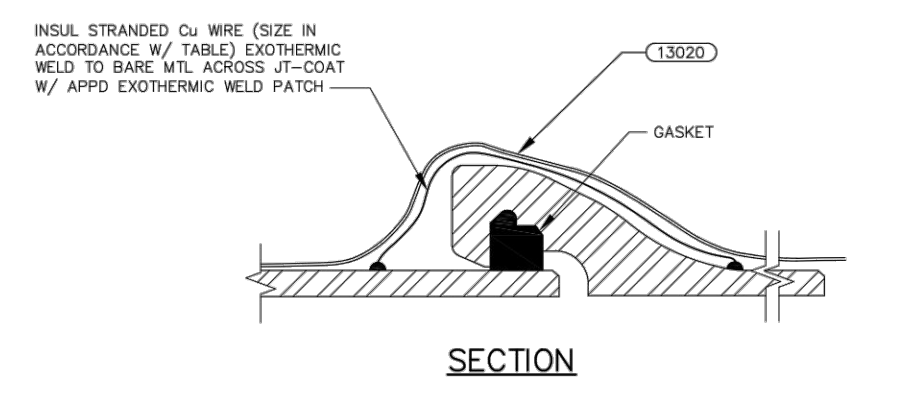
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 APPD BY: **JK**
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13020
FIELD INSTALLATION - POLYETHYLENE WRAP

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PLAN



SECTION

| NOMINAL PIPE # | WIRE SIZE AND TYPE (AWG) |
|----------------|--------------------------|
| 4" - 12" | #8 HMWPE |
| 16" - 20" | #4 HMWPE |
| 24" ≤ 36" | #4 HMWPE |
| 36" ≤ 60" | #2 HMWPE |
| 60" OR LARGER | 2x #2 HMWPE |

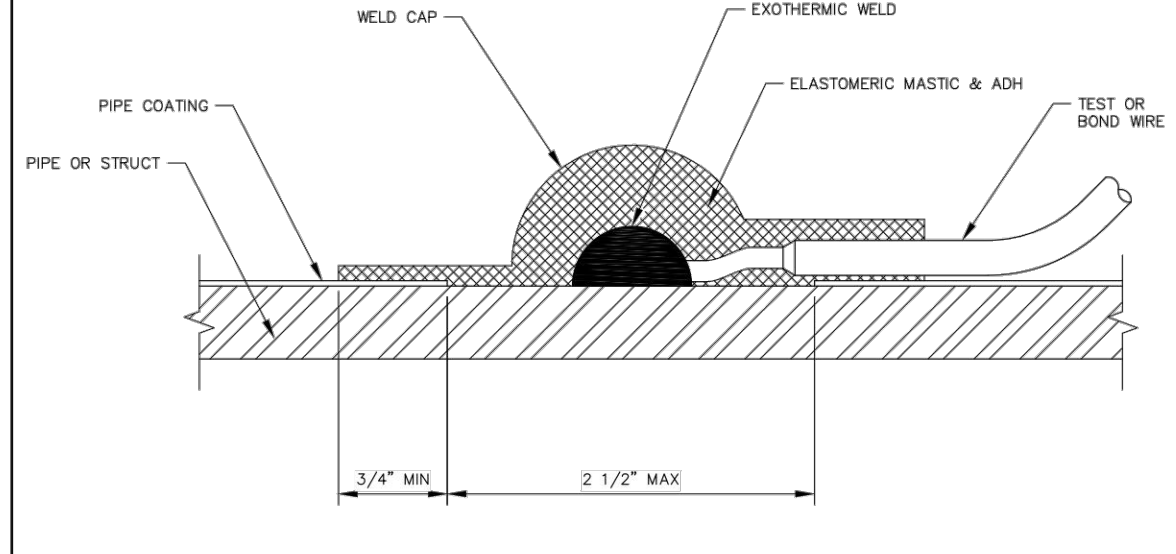
NOTES:

1. PROVIDE AND INSTALL REDUNDANT BOND WIRES, EVENLY SPACED AROUND THE PIPE.
2. REMOVE A 2 1/2 INCH SQUARE (MAXIMUM) OF PIPE COATING FOR EXOTHERMIC WELD CONNECTION.
3. WELD CAP SHALL EXTEND AT LEAST 3/4 INCH OVER PIPE COATING.
4. EXOTHERMIC WELDS SHALL BE CLEANED AND COATED. SIZE EXOTHERMIC WELD CHARGE BASED ON PIPE MATERIAL.
5. JOINT TYPE MAY VARY.

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13080
METALLIC PIPE JOINT BONDING

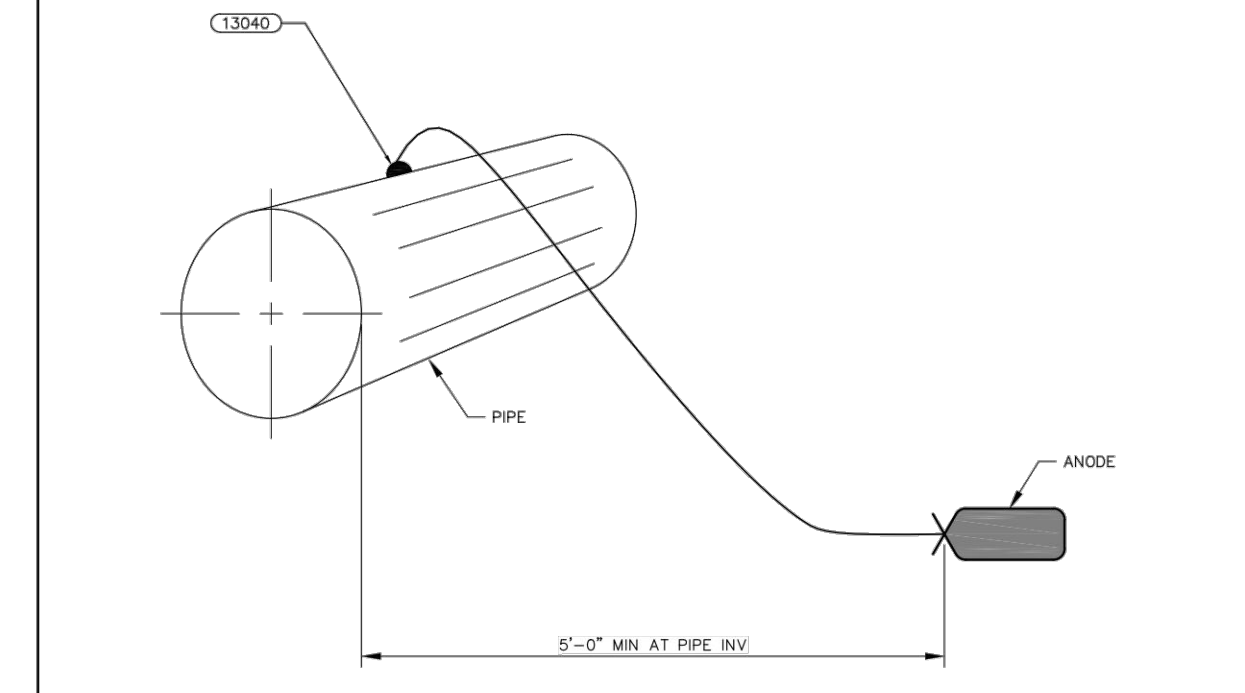
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13040
EXOTHERMIC WELD CONNECTION

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13025
ANODE INSTALLATION

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| DATE | REVISION COMMENTS |
|------------|-------------------|
| 04-05-2024 | BID ADDENDUM |
| 04-16-2024 | 1ST SUBMITTAL |
| 05-03-2024 | 95% PERMIT SET |
| 05-07-2024 | CITY SUBMITTAL |



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PARK MEADOWS - GARAGE AND RETAIL
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SHEET NUMBER

WT5