

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE + DESIGN



Denver, CO
 Evergreen, CO

303.670.7242
 design@evstudio.com
 inspections@evstudio.com
 www.evstudio.com

RIDGEGATE SENIOR HOUSING

LONE TREE, CO

NOT FOR CONSTRUCTION

PROGRESS SET ONLY

ISSUE

NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO.

DATE: June 13, 2023

RIDGEGATE SENIOR HOUSING

DRAWING TITLE:
 COVER SHEET

C1.0

LEGEND

EXISTING	PROPOSED	
		ASPHALT
		MILL AND OVERLAY ASPHALT
		WALK BY OTHERS
		SIDEWALK / CONCRETE
		BUILDING
		GRAVEL
		ASPHALT PATCH
		SOFTSCAPE
		TOP OF CURB
		FLOWLINE
		PAN
		SUBJECT BOUNDARY
		LOT LINE
		BUILDING SETBACK
		EASEMENT LINE
		RIGHT-OF-WAY (R.O.W.)
		STORM SEWER LINE
		SANITARY SEWER LINE
		SANITARY SERVICE LINE
		WATER LINE
		WATER SERVICE LINE
		GAS LINE
		TELEPHONE LINE
		ELECTRIC LINE
		OVERHEAD ELECTRIC LINE
		ADA PARKING SYMBOL
		STORM SEWER INLET
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		TELECOMM MANHOLE
		LIGHT POLE
		POWER POLE
		FIRE HYDRANT
		WATER VALVE
		FLARED END SECTION
		ELECTRICAL BOX
		GAS METER
		TELEPHONE PEDESTAL/BOX
		FENCE
		PROPERTY CORNER
		MAJOR CONTOUR
		MINOR CONTOUR
		ADA ACCESS ROUTE
		PHASE BOUNDARY
		RETAINING WALL
		SPOT ELEVATION TRUNCATION
		PARKING STALL COUNT
		ENTRANCE TO BUILDING
0.00 = 5000.00		



SITE

VICINITY MAP

1" = 500'



Sheet List Table

Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	PHASING PLAN
C3.1	UPPER SITE PLAN
C3.2	LOWER SITE PLAN
C4.0	FIRE TURNING RADII
C7.0	OVERALL GRADING
C7.1	FIRST FLOOR GRADING PLAN
C7.2	GARAGE GRADING PLAN
C7.3	PHASE 1 GRADING PLAN
C8.0	OVERALL UTILITY PLAN
C8.1	STORM PLAN AND PROFILES
C8.2	WATER PLAN AND PROFILE
C8.3	SANITARY PLAN & PROFILE

CONTACT LIST:

OWNER/DEVELOPER
 KOEBEL & COMPANY
 5291 E. YALE AVENUE
 DENVER, CO 80222
 ATTN: CHRIS MISSROON
 PHONE: (303)-300-8827

SURVEY - TOPO
 MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 ATTN:
 PHONE:
 EMAIL:

WATER & SEWER
 PARKER WATER & SANITATION DISTRICT
 18100 E WOODMAN DR
 PARKER, CO 80134
 ATTN:
 PHONE:
 EMAIL:

BASIS OF BEARING

BENCHMARK

CIVIL ENGINEER
 EVSTUDIO LLC.
 5335 W 48TH AVE, SUITE 300,
 DENVER, CO 80212
 ATTN: BRIAN WELCH, PE
 PHONE: (303)-670-7242 X50
 EMAIL: brian.welch@evstudio.com

SURVEY - EASEMENTS
 AZTEC CONSULTANTS, INC.
 300 E MINERAL AVE #1,
 LITTLETON, CO 80122
 ATTN:
 PHONE:
 EMAIL:

FIRE
 SOUTH METRO FIRE RESCUE
 9195 E MINERAL AVE,
 CENTENNIAL, CO 80112
 ATTN:
 PHONE:
 EMAIL:

City of Lone Tree

Date

These construction plans have been reviewed by the City of Lone Tree for street, drainage, grading & erosion control improvements only.

Engineering Division Acceptance Block

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025

CITY OF LONE TREE STANDARD NOTES

1. THE CITY OF LONE TREE ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE CITY OF LONE TREE SUBDIVISION RESOLUTION OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY OF LONE TREE ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
2. ALL ROADWAY CONSTRUCTION SHALL CONFORM TO CURRENT DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LONE TREE ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF LONE TREE PUBLIC WORKS, INSPECTION SECTION, (303) 662-8112, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION, AND/OR BEFORE RESTARTING CONSTRUCTION AFTER A SHUTDOWN OF MORE THAN 10 DAYS.
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION, CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 OR 811.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY (SIGNED BY BOTH DESIGN ENGINEER AND CITY OF LONE TREE) OF THE CONSTRUCTION PLANS AND GESC REPORT AND PLAN, AND ONE (1) COPY OF THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AT THE JOB SITE AT ALL TIMES.
7. ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER, OR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
WATER TIE-IN SHEET 3
STORM SEWER CONNECTION SHEET 6
8. A ROW/CONSTRUCTION PERMIT MUST BE OBTAINED BEFORE ANY WORK WITHIN EXISTING OR PROPOSED PUBLIC ROW. THE PERMIT APPLICATION MUST BE SUBMITTED TO THE CITY OF LONE TREE ENGINEER FOR REVIEW/PROCESSING A MINIMUM OF 7 DAYS PRIOR TO UPDATED 2:4:09 REQUESTED START FOR THE WORK IN THE ROW.
9. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE CITY OF LONE TREE ENGINEER FOR ACCEPTANCE WITH THE PERMIT APPLICATION. AN EXCAVATION OR PUBLIC IMPROVEMENT'S CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
10. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR TWO (2) YEARS FROM THE DATE OF CITY OF LONE TREE ACCEPTANCE/APPROVAL. IF APPLICABLE CONSTRUCTION PERMITS HAVE NOT BEEN OBTAINED, AND CONSTRUCTION STARTED WITHIN THAT TIME, THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LONE TREE.
11. CONTRACTOR SHALL NOTIFY THE CITY OF LONE TREE ENGINEER INSPECTOR WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY WHICH WILL BE CONVEYED TO THE CITY, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATORS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES). FAILURE TO NOTIFY ENGINEERING INSPECTOR TO ALLOW THEM TO INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITIES/INFRASTRUCTURE BY CITY AND/OR URBAN DRAINAGE.



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RIDGEGATE
SENIOR HOUSING
LONE TREE, CO

STAMP:

**NOT FOR
CONSTRUCTION**

PROGRESS SET ONLY

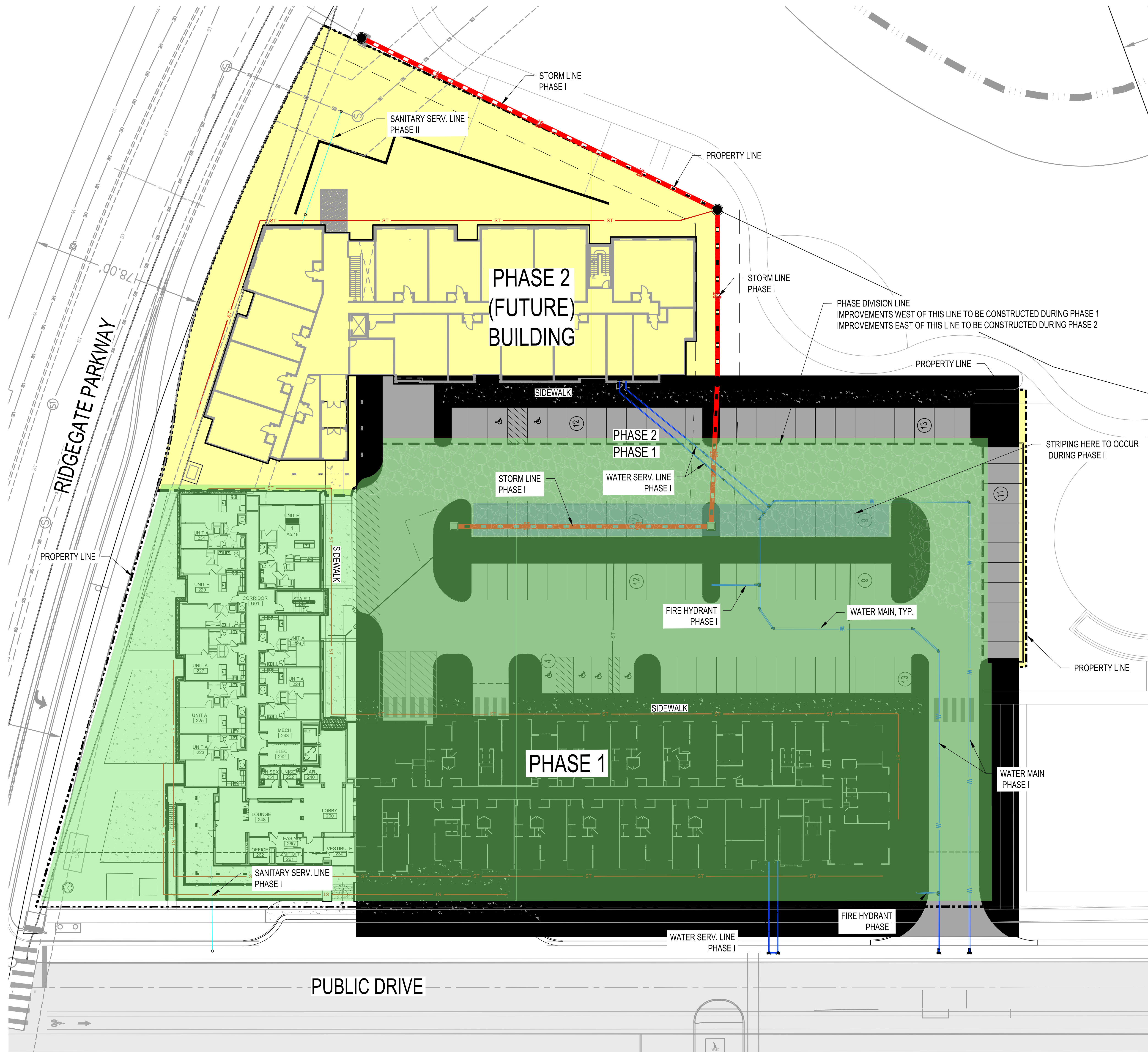
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NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO.		RIDGEGATE SENIOR HOUSING
DATE:	June 13, 2023	

DRAWING TITLE: COVER SHEET C1.0

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RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
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LEGEND

	AGGREGATE REMAIN IN PHASE I AND TO BE PAVED DURING PHASE II
	PHASE II
	PHASE I



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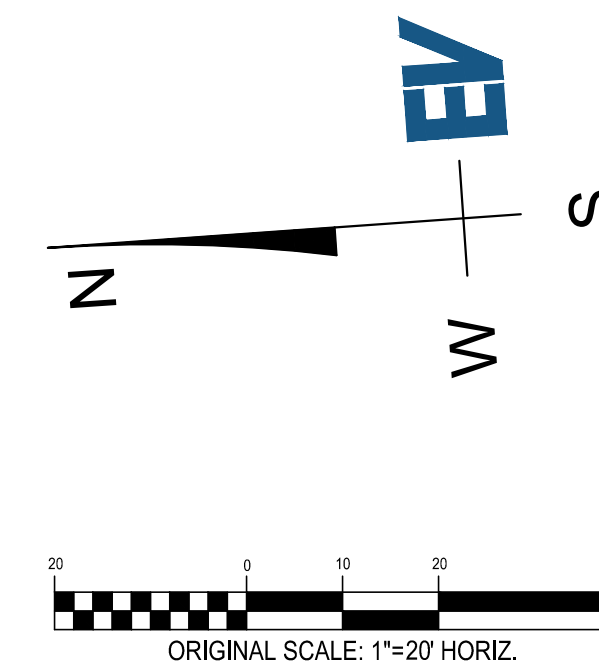
ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO. _____
DATE: June 13, 2023

RIDGEGATE SENIOR HOUSING

DRAWING TITLE:
PHASING PLAN

C2.0



September 8, 2023 11:52 AM 13:22:03 EVERPROJECTS CURRENT/23037 - RIDGEGATE SENIOR HOUSING DESIGN/01-CIVIL/CD/CONSTRUCTION/SIP23/SP23-C-PHASING PLAN.DWG

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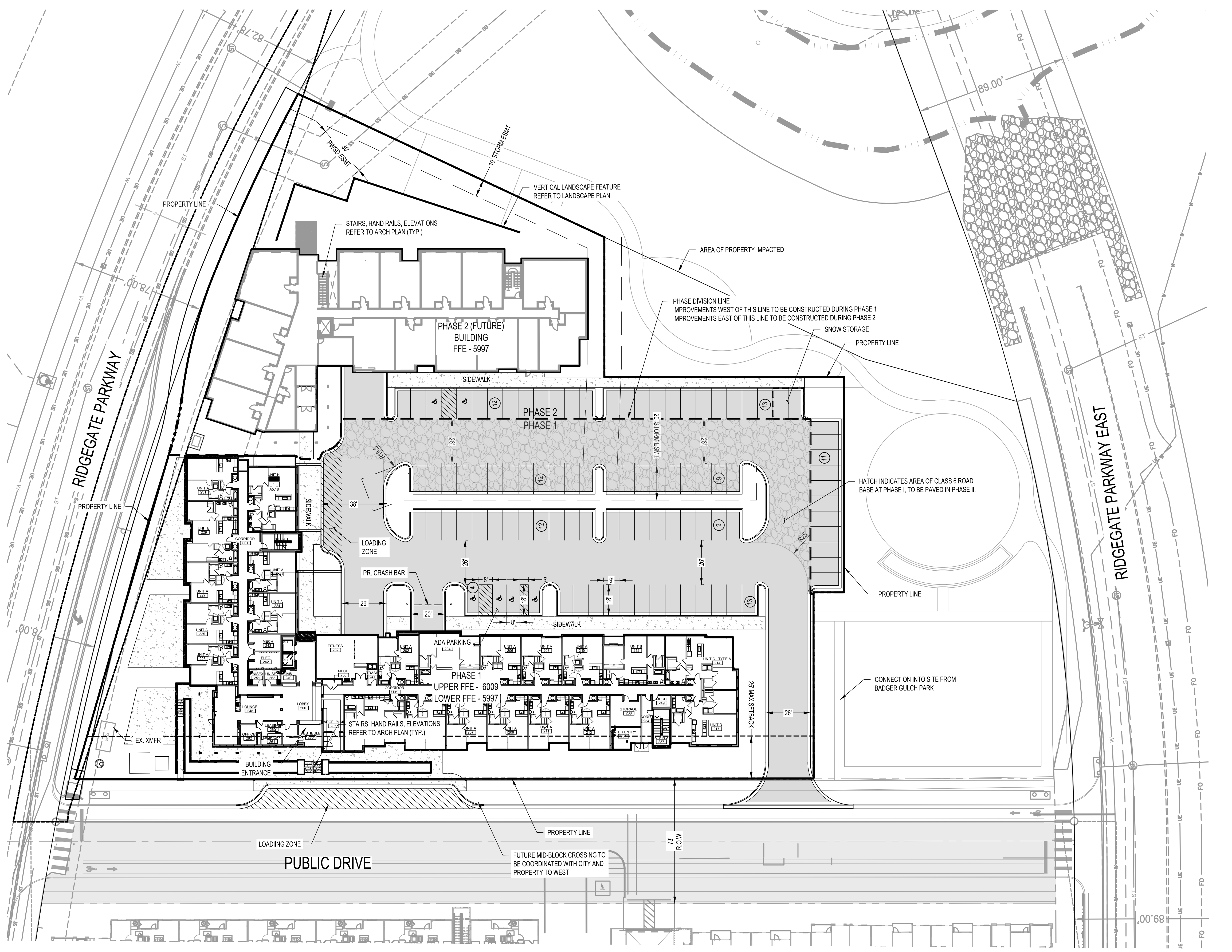


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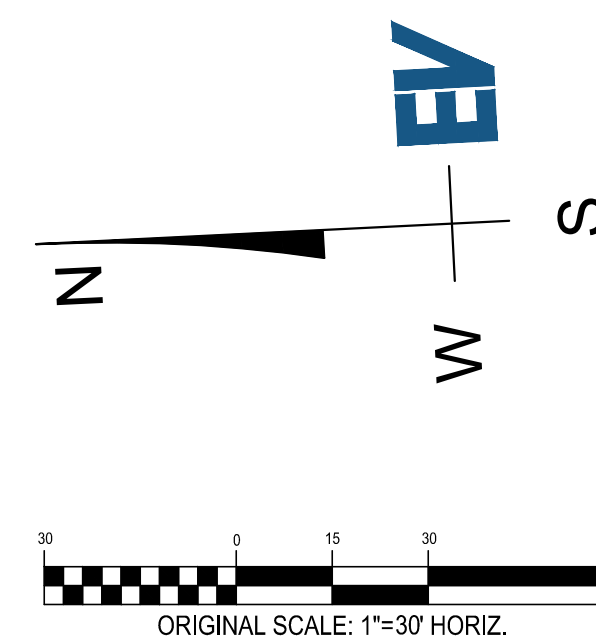
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EXISTING	PROPOSED	
		ASPHALT
		SIDEWALK / CONCRETE
		BUILDING
		GRAVEL
		ASPHALT PATCH
		SOFTSCAPE
		COVERED PARKING
		GRAVEL DURING PH. 1
		PAVED DURING PH. 2
		TOP OF CURB
		FLOWLINE
		PAN
		SUBJECT BOUNDARY
		LOT LINE
		BUILDING SETBACK
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		RIGHT-OF-WAY (R.O.W.)
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		WATER SERVICE LINE
		WATER FIRE LINE
		GAS LINE
		TELEPHONE LINE
		ELECTRIC LINE
		OVERHEAD ELECTRIC LINE
		ADA PARKING SYMBOL
		STORM SEWER INLET
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		TELECOMM MANHOLE
		LIGHT POLE
		POWER POLE
		FIRE HYDRANT
		WATER VALVE
		FLARED END SECTION
		ELECTRICAL BOX
		GAS METER
		TELEPHONE PEDESTAL/BOX
		FENCE
		PROPERTY CORNER
		MAJOR CONTOUR
		MINOR CONTOUR
		ADA ACCESS ROUTE
		SPOT ELEVATION TRUNCATION
		PARKING STALL COUNT

NOTE:
1. SNOW STORAGE TO OCCUR AT TWO PARKING STALLS. SNOW STORAGE IS ALLOWED TO OCCUR WITHIN STALLS ABOVE THE MINIMUM OBLIGATION PER SECTION 16-28-130 (2) B OF LONE TREE MUNICIPAL CODE
2. SNOW SHALL NOT BE PLACED IN THE PLACED IN THE PUBLIC RIGHT OF WAY.



SITE DATA TABLE		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA		
Total Building Footprint		
Phase I	27,437.29	22.04%
Phase II	16,104.14	12.94%
Parking/Roads	35,944	28.88%
Landscaped/Hardscaped Area		
Landscaped Area	12,844	10.32%
Hardscape Area	7,419.44	5.96%
Lawn/Turf Area	16,166.49	12.99%
Native Seed Area	8,560	6.88%
Natural Area Retained	N/A	N/A
BUILDING SIZE		
Total Floor Area		
PHASE I	130,468	N/A
PHASE II	74,861	N/A
PARKING		
	REQUIRED	PROVIDED
Standard Spaces	79	158
Accessible Spaces	4	7
Bicycle Spaces	4	4
Delivery/Loading Spaces	1	2

PARKING CALCULATION TABLE			
	NUMBER OF UNITS/TOTAL SF	REQUIRED PARKING (Per unit or sf.)	TOTAL REQUIRED (Per use type)
Use Type - Residence, Senior Adult Housing	165	1.5 SPACES PER DEWELLING UNIT, PLUS 0.5 GUEST SPACES PER UNIT	330 STALLS
# of Employees on Max. Shift	3		
Use Type B			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type C			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type D			
# of Employees on Max. Shift	N/A	N/A	N/A
		TOTAL PARKING REQUIRED	330 STALLS
		PERCENTAGE REDUCTION (If applicable)	0.5 SPACES PER DEWELLING UNIT
		TOTAL PARKING PROVIDED	165 STALLS

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ISSUE		
NO.	DATE	DESCRIPTION
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PROJECT NO.	RIDGEGATE SENIOR HOUSING
DATE:	June 13, 2023

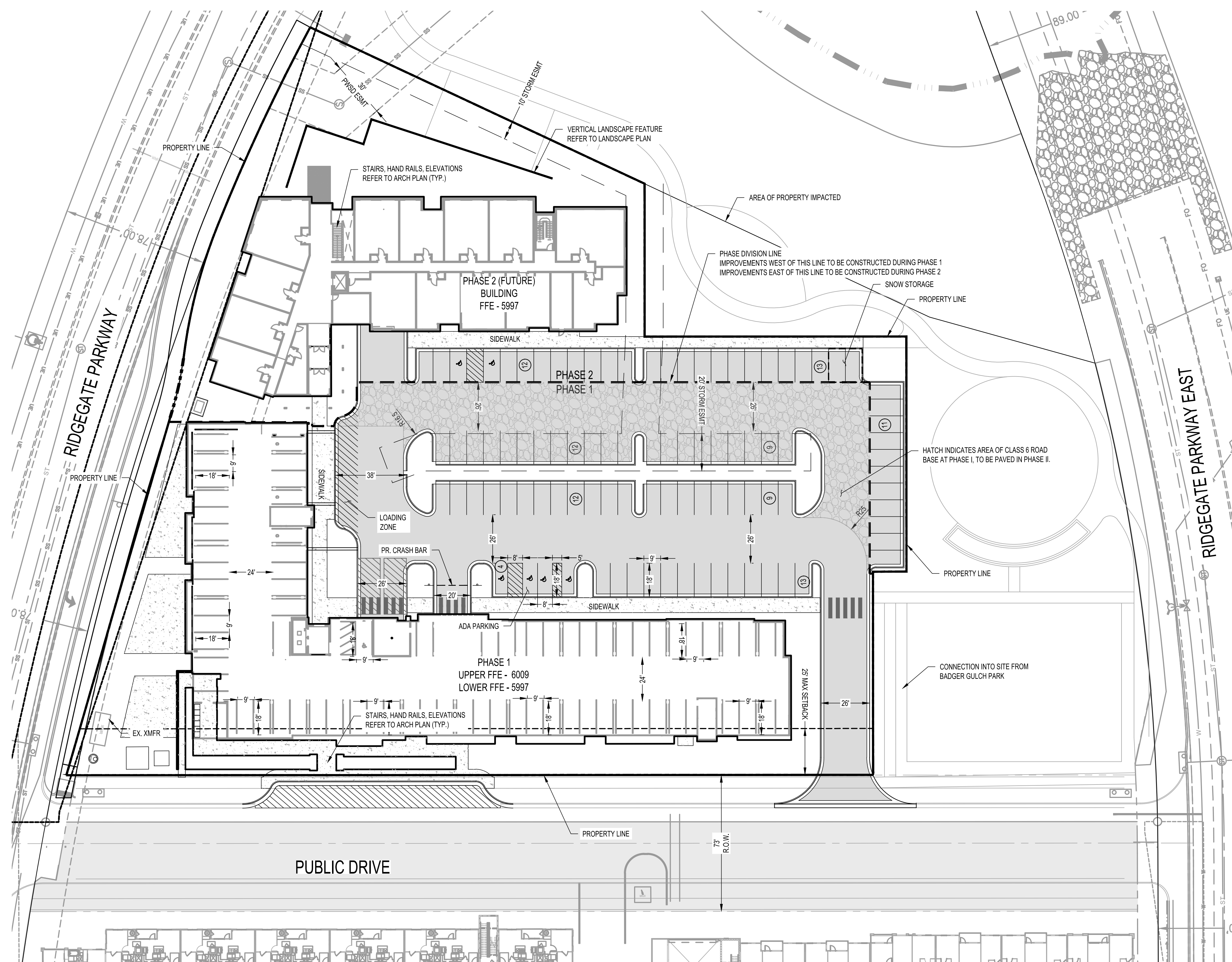
DRAWING TITLE:	UPPER SITE PLAN
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C3.1

September 8, 2023 1182.108.13.228/E/SERVER/PROJECTS/CURRENT/23A037-RIDGEGATE SENIOR HOUSING/DESIGN/1-CIVIL/LOADING CONSTRUCTION/SIP23A037-C-SITE PLAN.DWG

RIDGEGATE SENIOR HOUSING

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CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



LEGEND

EXISTING	PROPOSED	
[Hatch pattern]	[Hatch pattern]	ASPHALT
[Hatch pattern]	[Hatch pattern]	SIDEWALK / CONCRETE
[Hatch pattern]	[Hatch pattern]	BUILDING
[Hatch pattern]	[Hatch pattern]	GRAVEL
[Hatch pattern]	[Hatch pattern]	ASPHALT PATCH
[Hatch pattern]	[Hatch pattern]	SOFTSCAPE
[Hatch pattern]	[Hatch pattern]	COVERED PARKING
[Hatch pattern]	[Hatch pattern]	GRAVEL DURING PH. 1
[Hatch pattern]	[Hatch pattern]	PAVED DURING PH. 2
[Hatch pattern]	[Hatch pattern]	TOP OF CURB
[Line type]	[Line type]	FLOWLINE
[Line type]	[Line type]	PAN
[Line type]	[Line type]	SUBJECT BOUNDARY
[Line type]	[Line type]	LOT LINE
[Line type]	[Line type]	BUILDING SETBACK
[Line type]	[Line type]	EASEMENT LINE
[Line type]	[Line type]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	STORM SEWER LINE
[Symbol]	[Symbol]	SANITARY SEWER LINE
[Symbol]	[Symbol]	SANITARY SERVICE LINE
[Symbol]	[Symbol]	WATER LINE
[Symbol]	[Symbol]	WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	GAS LINE
[Symbol]	[Symbol]	TELEPHONE LINE
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

NOTE:
1. SNOW STORAGE TO OCCUR AT TWO PARKING STALLS. SNOW STORAGE IS ALLOWED TO OCCUR WITHIN STALLS ABOVE THE MINIMUM OBLIGATION PER SECTION 16-28-130 (2) B OF LONE TREE MUNICIPAL CODE
2. SNOW SHALL NOT BE PLACED IN THE PLACED IN THE PUBLIC RIGHT OF WAY.



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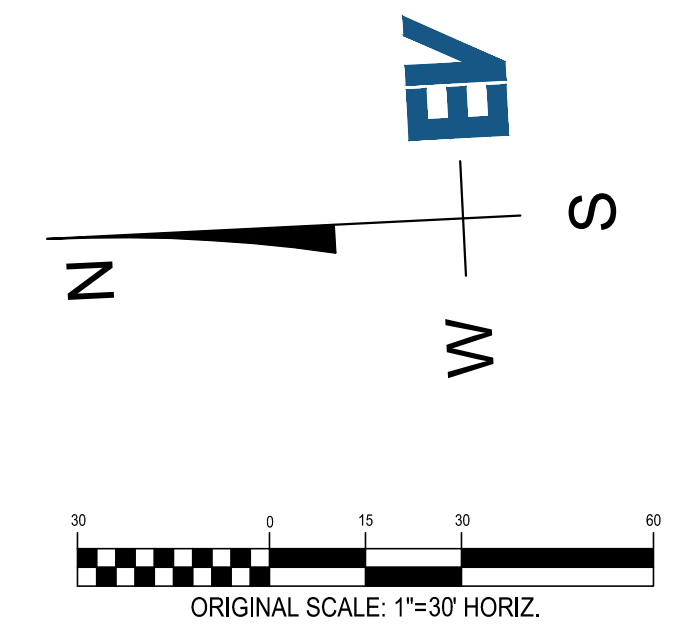
DATE: June 13, 2023

DRAWING TITLE: **LOWER SITE PLAN**

C3.2

SITE DATA TABLE		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA		
Total Building Footprint		
Phase I	27,437.29	22.04%
PHASE II	16,104.14	12.94%
Parking/Roads	35,344	28.88%
Landscaped/Hardscaped Area		
Landscaped Area	12,844	10.32%
Hardscape Area	7419.44	5.96%
Lawn/Turf Area	16,166.49	12.99%
Native Seed Area	8,560	6.88%
Natural Area Retained	N/A	N/A
BUILDING SIZE		
Total Floor Area		
PHASE I	130,468	N/A
PHASE II	74,861	N/A
PARKING		
REQUIRED		PROVIDED
Standard Spaces	79	158
Accessible Spaces	4	7
Bicycle Spaces	4	4
Delivery/Loading Spaces	1	2

PARKING CALCULATION TABLE			
	NUMBER OF UNITS/TOTAL SF	REQUIRED PARKING (Per unit or sf.)	TOTAL REQUIRED (Per use type)
Use Type - Residence, Senior Adult Housing	165	1.5 SPACES PER DEWELLING UNIT, PLUS 0.5 GUEST SPACES PER UNIT	330 STALLS
# of Employees on Max. Shift	3		
Use Type B			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type C			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type D			
# of Employees on Max. Shift	N/A	N/A	N/A
TOTAL PARKING REQUIRED			330 STALLS
PERCENTAGE REDUCTION (if applicable)		0.5 SPACES PER DEWELLING UNIT	83 STALLS
TOTAL PARKING PROVIDED			165 STALLS



September 8, 2023 11:02:10 1:22:28 (SERVER) PROJECTS CURRENT\230307 - RIDGEGATE SENIOR HOUSING\DESIGN\01-CIVIL\LOADING\CONSTRUCTION\SIP22A037-C-SITE PLAN.DWG

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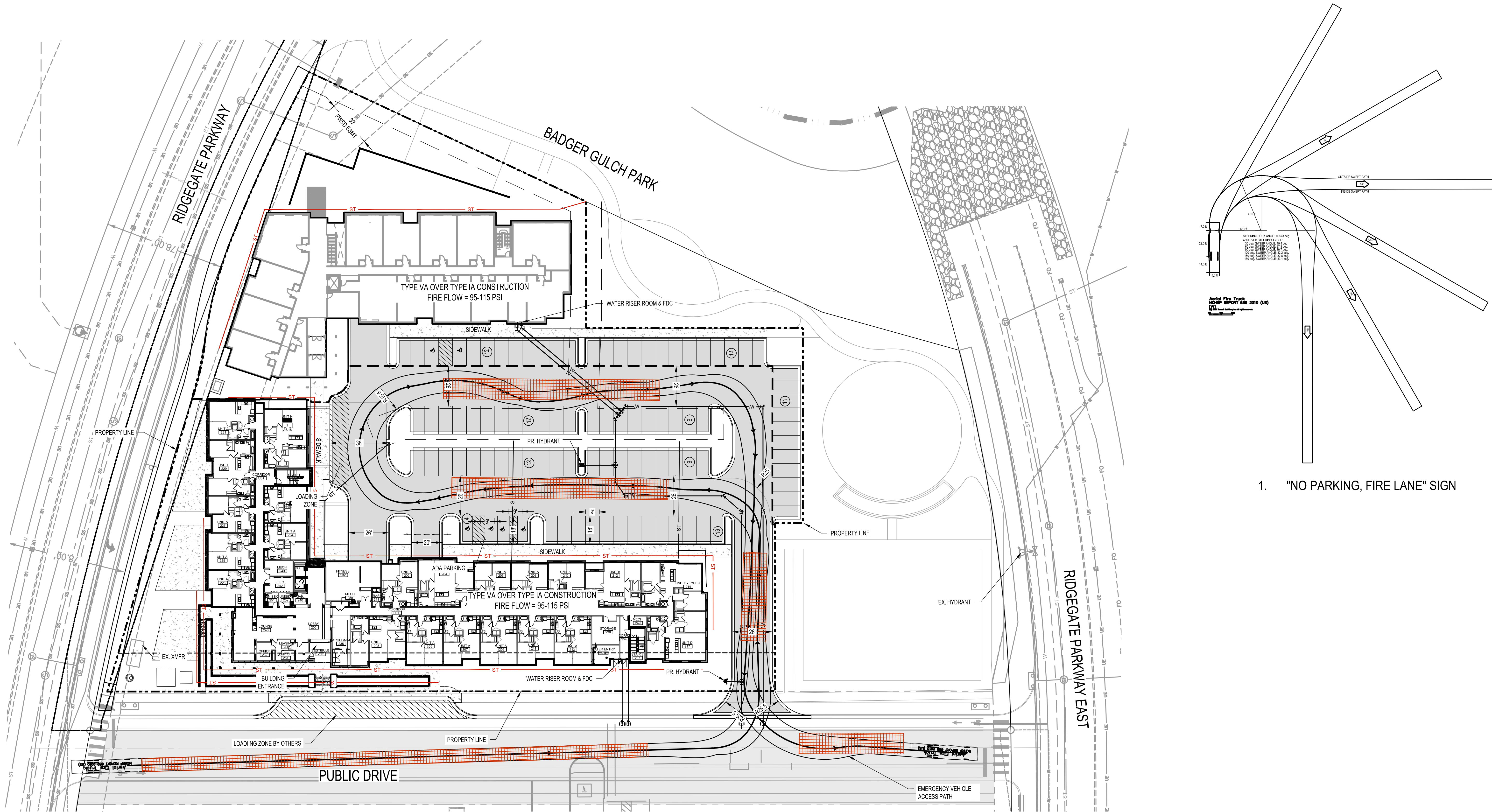
PROJECT NO.

RIDGEGATE SENIOR HOUSING

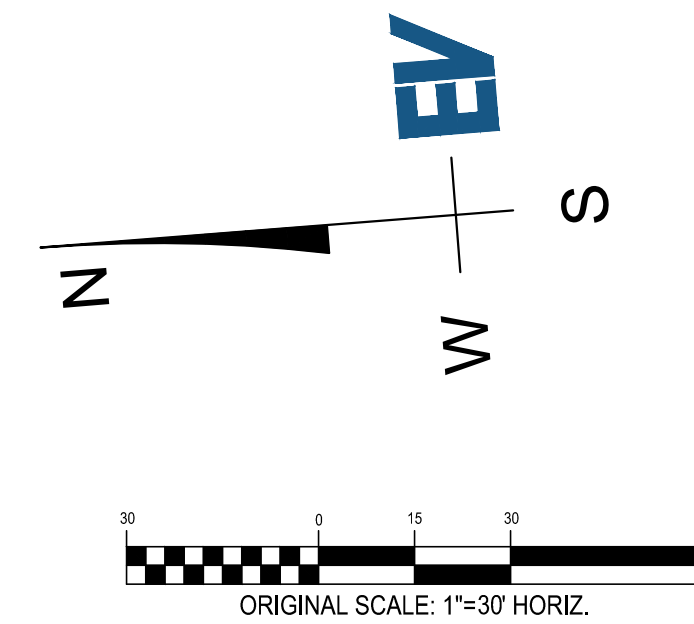
DATE:
June 13, 2023

DRAWING TITLE:
FIRE TURNING RADII

C4.0



1. "NO PARKING, FIRE LANE" SIGN



August 31, 2023 \\192.168.13.228\ev\server\projects\current\23087 - RIDGEGATE SENIOR HOUSING\DESIGN\1-CIVIL\CAD\CONSTRUCTION\SIP23\2A037-C-FIRE ACCESS & COVERAGE - TRUCKY ACCESS.DWG

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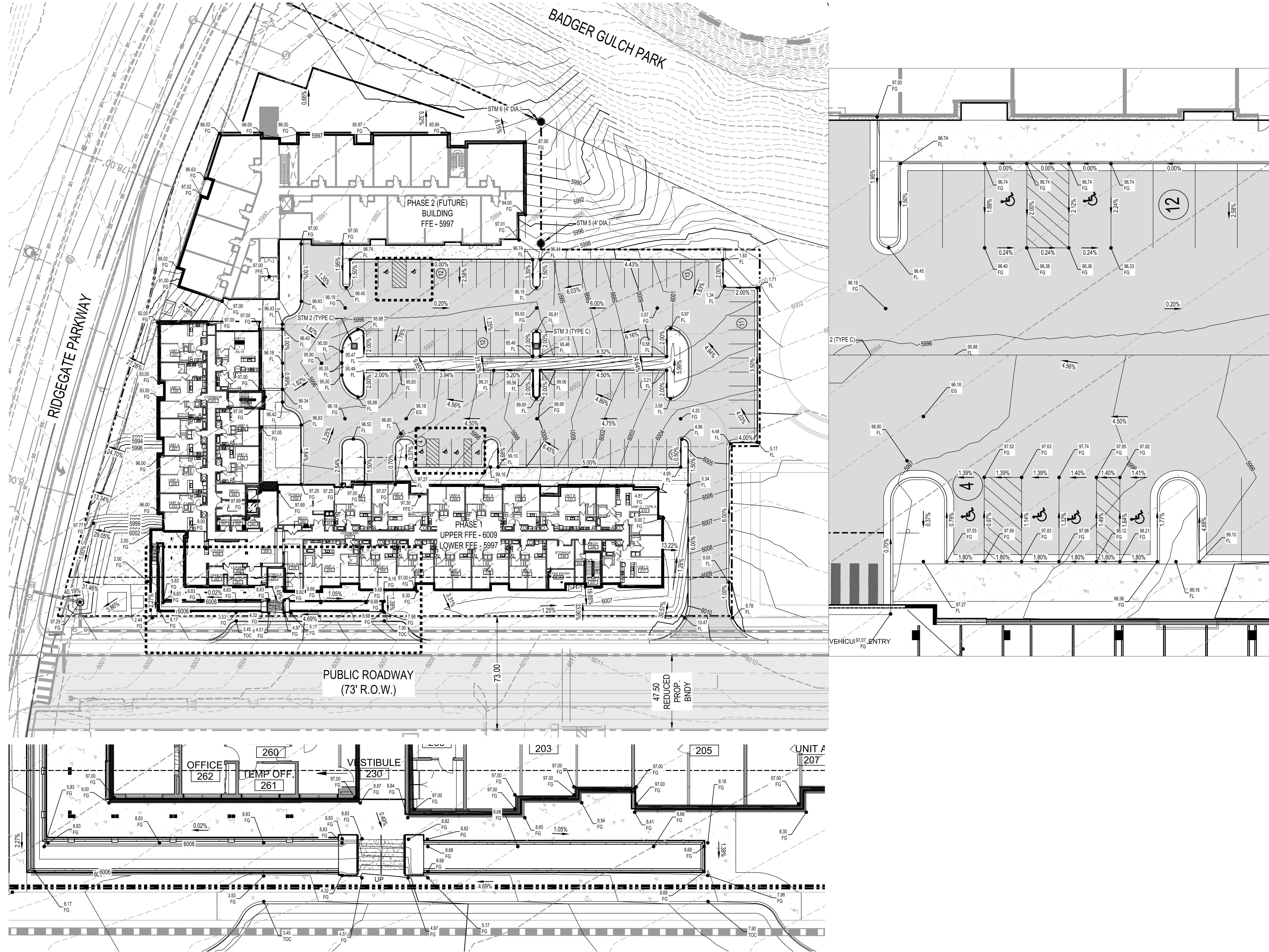


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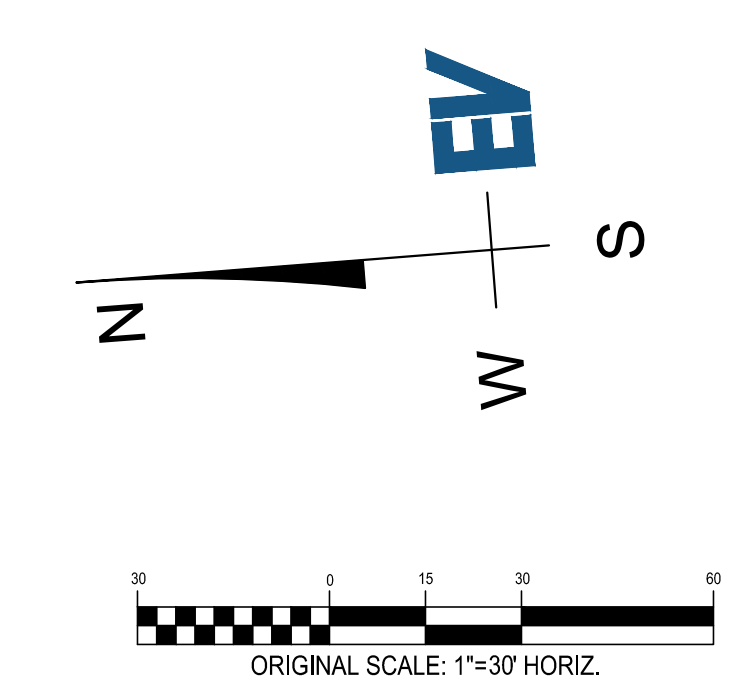


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EXISTING	PROPOSED	
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		SIDEWALK / CONCRETE
		BUILDING
		GRAVEL
		ASPHALT PATCH
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		TELECOMM MANHOLE
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ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO.: **RIDGEGATE SENIOR HOUSING**
 DATE: June 13, 2023

DRAWING TITLE:
OVERALL GRADING
 C7.0

RIDGEGATE SENIOR HOUSING

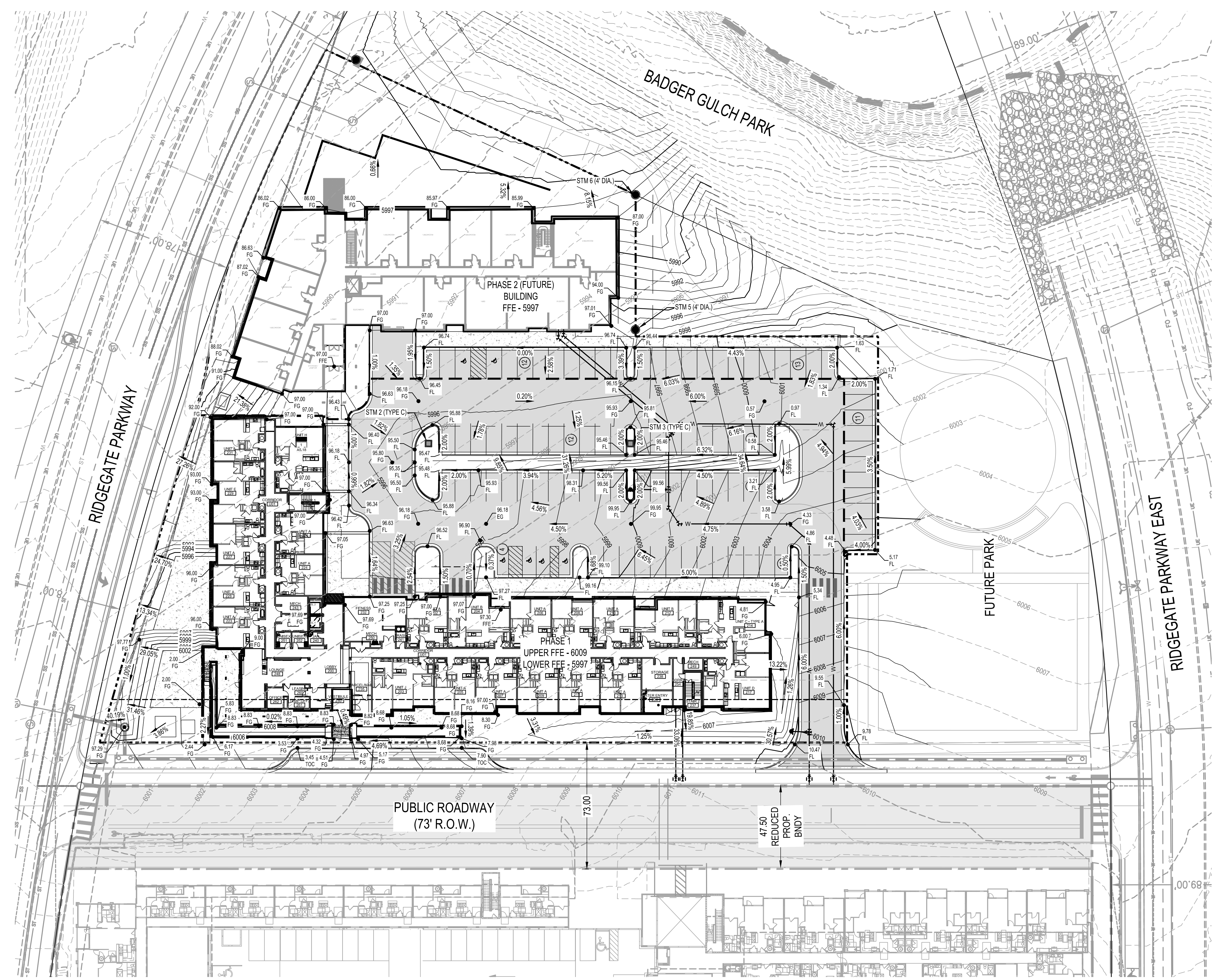
RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE + DESIGN

EVstudio
 Denver, CO
 Evergreen, CO

303.670.7242
 design@evstudio.com
 inspections@evstudio.com
 www.evstudio.com



LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Pattern]	[Pattern]	ASPHALT
[Pattern]	[Pattern]	SIDEWALK / CONCRETE
[Pattern]	[Pattern]	BUILDING
[Pattern]	[Pattern]	GRAVEL
[Pattern]	[Pattern]	ASPHALT PATCH
[Pattern]	[Pattern]	SOFTSCAPE
[Pattern]	[Pattern]	COVERED PARKING
[Pattern]	[Pattern]	GRAVEL DURING PH. 1
[Pattern]	[Pattern]	PAVED DURING PH. 2
[Line]	[Line]	TOP OF CURB
[Line]	[Line]	FLOWLINE
[Line]	[Line]	PAN
[Line]	[Line]	SUBJECT BOUNDARY
[Line]	[Line]	LOT LINE
[Line]	[Line]	BUILDING SETBACK
[Line]	[Line]	EASEMENT LINE
[Line]	[Line]	RIGHT-OF-WAY (R.O.W.)
---ST---ST	[Symbol]	STORM SEWER LINE
---SS---SS	[Symbol]	SANITARY SEWER LINE
---SAN SRV	[Symbol]	SANITARY SERVICE LINE
---W---W	[Symbol]	WATER LINE
---WTR SRV	[Symbol]	WATER SERVICE LINE
---G---G	[Symbol]	WATER FIRE LINE
---T---T	[Symbol]	GAS LINE
---E---E	[Symbol]	TELEPHONE LINE
---OE---OE	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
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---S281---	[Symbol]	PROPERTY CORNER
---S281---	[Symbol]	MAJOR CONTOUR
---S281---	[Symbol]	MINOR CONTOUR
---S281---	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

RIDGEGATE SENIOR HOUSING

LONE TREE, CO

STAMP: **NOT FOR CONSTRUCTION**

PROGRESS SET ONLY

ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO.
RIDGEGATE SENIOR HOUSING

DATE:
 June 13, 2023

DRAWING TITLE:
FIRST FLOOR GRADING PLAN

RIDGEGATE SENIOR HOUSING

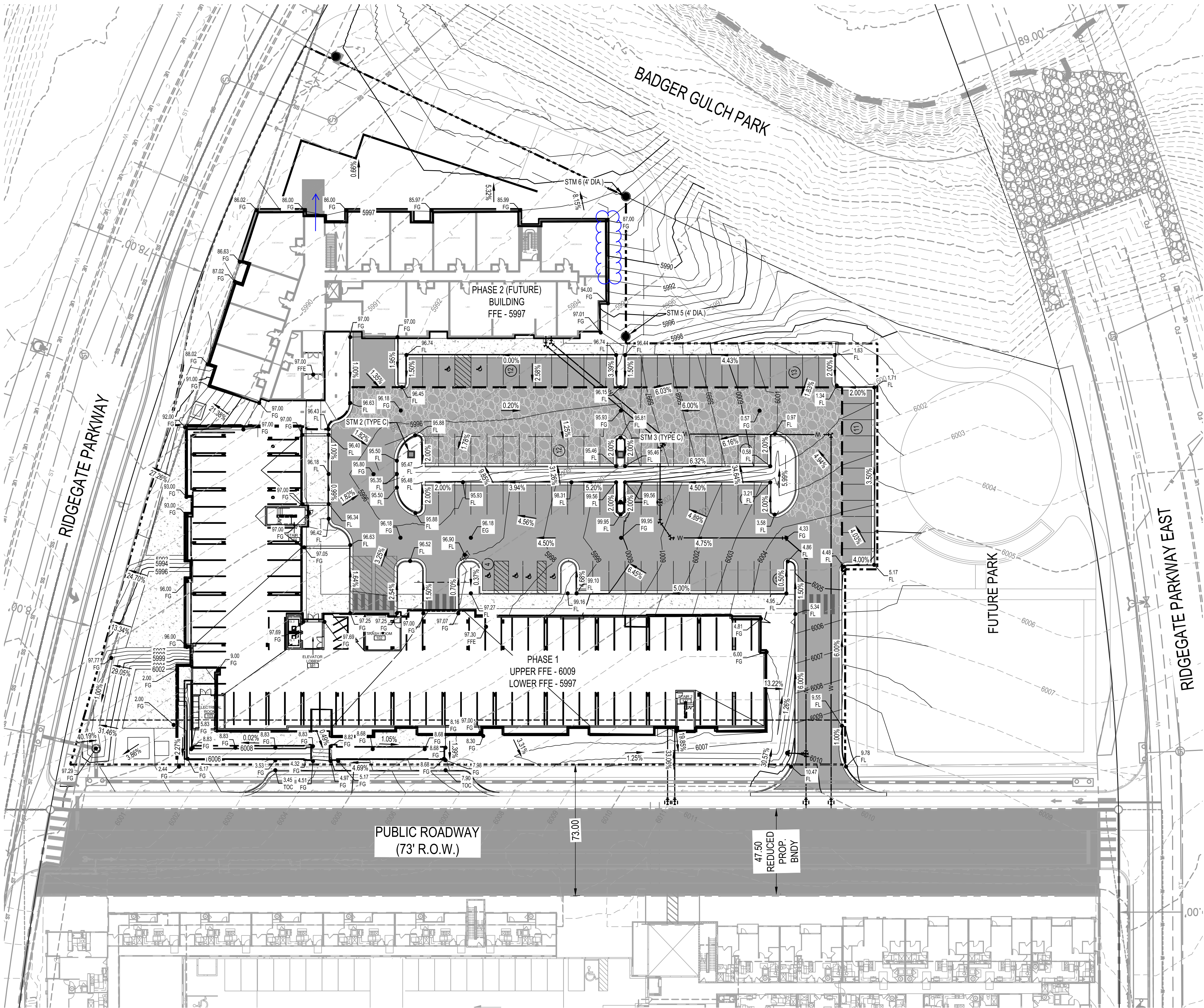
RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



BRYANT FLINK ARCHITECTURE + DESIGN

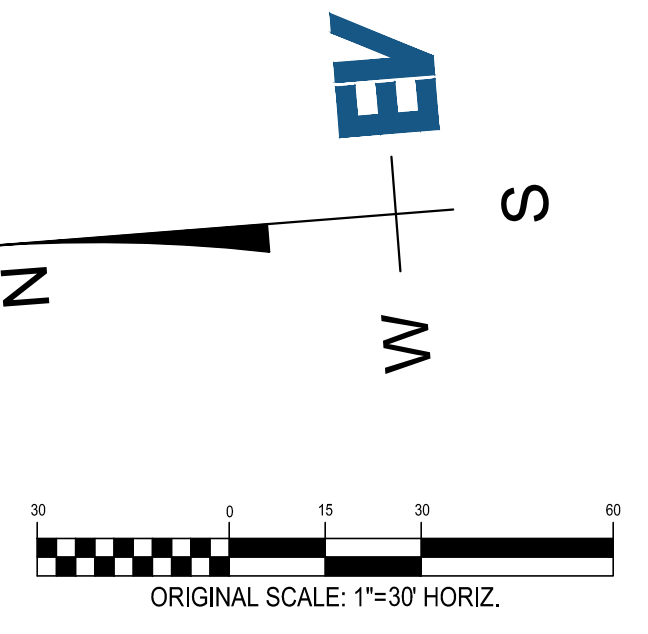


Denver, CO
Evergreen, CO
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design@evstudio.com
inspections@evstudio.com
www.evstudio.com



LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
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[Symbol]	[Symbol]	GRAVEL DURING PH 1 PAVED DURING PH 2
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[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	STORM SEWER LINE
[Symbol]	[Symbol]	SANITARY SEWER LINE
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[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
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[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
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[Symbol]	[Symbol]	FLARED END SECTION
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[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT



RIDGEGATE SENIOR HOUSING
LONE TREE, CO

NOT FOR CONSTRUCTION

PROGRESS SET ONLY

ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO. **RIDGEGATE SENIOR HOUSING**
DATE: June 13, 2023

DRAWING TITLE:
GARAGE GRADING PLAN
C7.2

September 11, 2023 \\192.168.13.226\EV\SERVER\PROJECTS\CURRENT\23A037 - RIDGEGATE SENIOR HOUSING\DESIGN\01-CIVIL\LOAD CONSTRUCTION\SIP23A037-C-OVERALL GRADING.DWG

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025

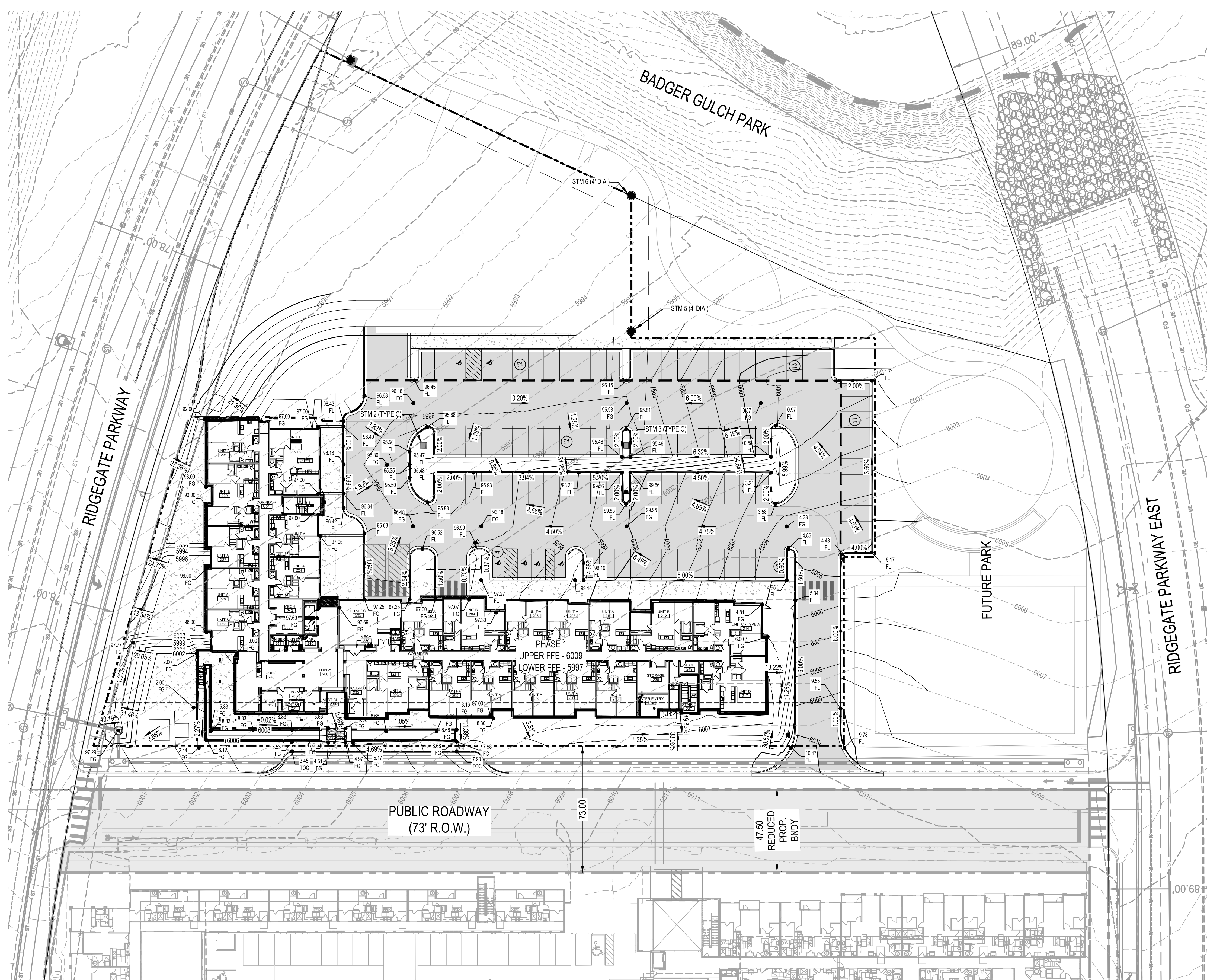


BRYANT FLINK ARCHITECTURE + DESIGN



Denver, CO
Evergreen, CO

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inspections@evstudio.com
www.evstudio.com



EXISTING	PROPOSED	
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
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[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST - ST STORM SEWER LINE
[Symbol]	[Symbol]	SS - SS SANITARY SEWER LINE
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[Symbol]	[Symbol]	T - T TELEPHONE LINE
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[Symbol]	[Symbol]	ADA PARKING SYMBOL
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[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

RIDGEGATE SENIOR HOUSING

LONE TREE, CO

STAMP: **NOT FOR CONSTRUCTION**

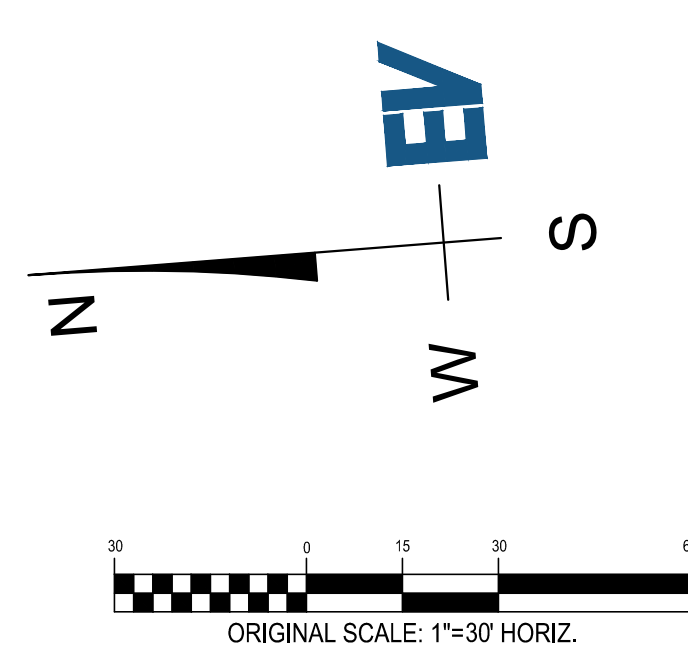
PROGRESS SET ONLY

ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO.	RIDGEGATE SENIOR HOUSING
DATE:	June 13, 2023

DRAWING TITLE:	PHASE 1 GRADING PLAN
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C7.3



September 11, 2023 1182.188.13.228/EVERPROJECTS/CURRENT/23/037 - RIDGEGATE SENIOR HOUSING - CIVIL/CAD/CONSTRUCTION/SIP23/025/C-GRADING-PHASE-1.DWG

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



BRYANT FLINK ARCHITECTURE + DESIGN



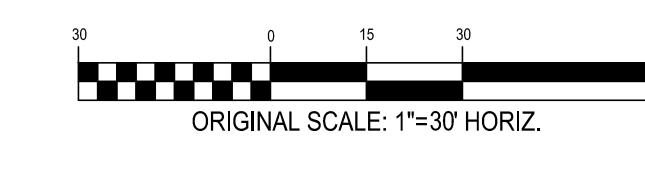
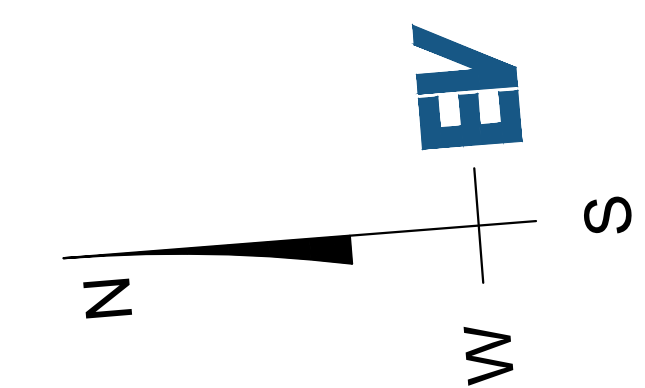
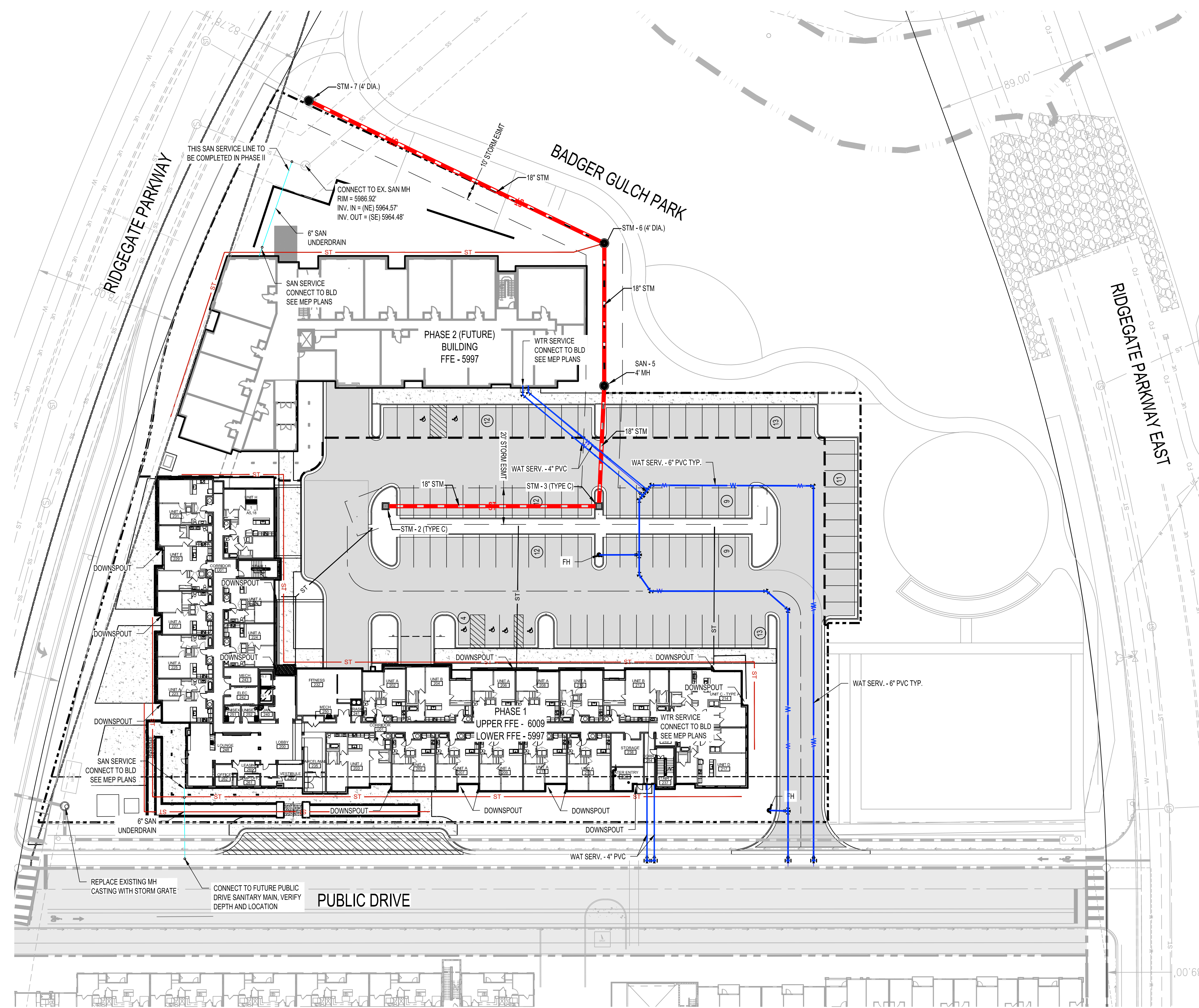
Denver, CO
Evergreen, CO

303.670.7242
design@evstudio.com
inspections@evstudio.com
www.evstudio.com

LEGEND

EXISTING	PROPOSED	
[Pattern]	[Pattern]	ASPHALT
[Pattern]	[Pattern]	SIDEWALK / CONCRETE
[Pattern]	[Pattern]	BUILDING
[Pattern]	[Pattern]	GRAVEL
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[Pattern]	[Pattern]	COVERED PARKING
[Pattern]	[Pattern]	GRAVEL DURING PH. 1
[Pattern]	[Pattern]	PAVED DURING PH. 2
[Line]	[Line]	TOP OF CURB
[Line]	[Line]	FLOWLINE
[Line]	[Line]	PAN
[Line]	[Line]	SUBJECT BOUNDARY
[Line]	[Line]	LOT LINE
[Line]	[Line]	BUILDING SETBACK
[Line]	[Line]	EASEMENT LINE
[Line]	[Line]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST- ST STORM SEWER LINE
[Symbol]	[Symbol]	SS- SS SANITARY SEWER LINE
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[Symbol]	[Symbol]	W- W WATER LINE
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[Symbol]	[Symbol]	E- E ELECTRIC LINE
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[Symbol]	[Symbol]	ADA PARKING SYMBOL
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[Symbol]	[Symbol]	TELECOMM MANHOLE
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[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
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[Symbol]	[Symbol]	FENCE
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[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

0.00 = 5000.00
1



RIDGEGATE SENIOR HOUSING
LONE TREE, CO

STAMP: **NOT FOR CONSTRUCTION**

PROGRESS SET ONLY

ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO. **RIDGEGATE SENIOR HOUSING**
DATE: June 13, 2023

DRAWING TITLE: **OVERALL UTILITY PLAN**

C8.0

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025

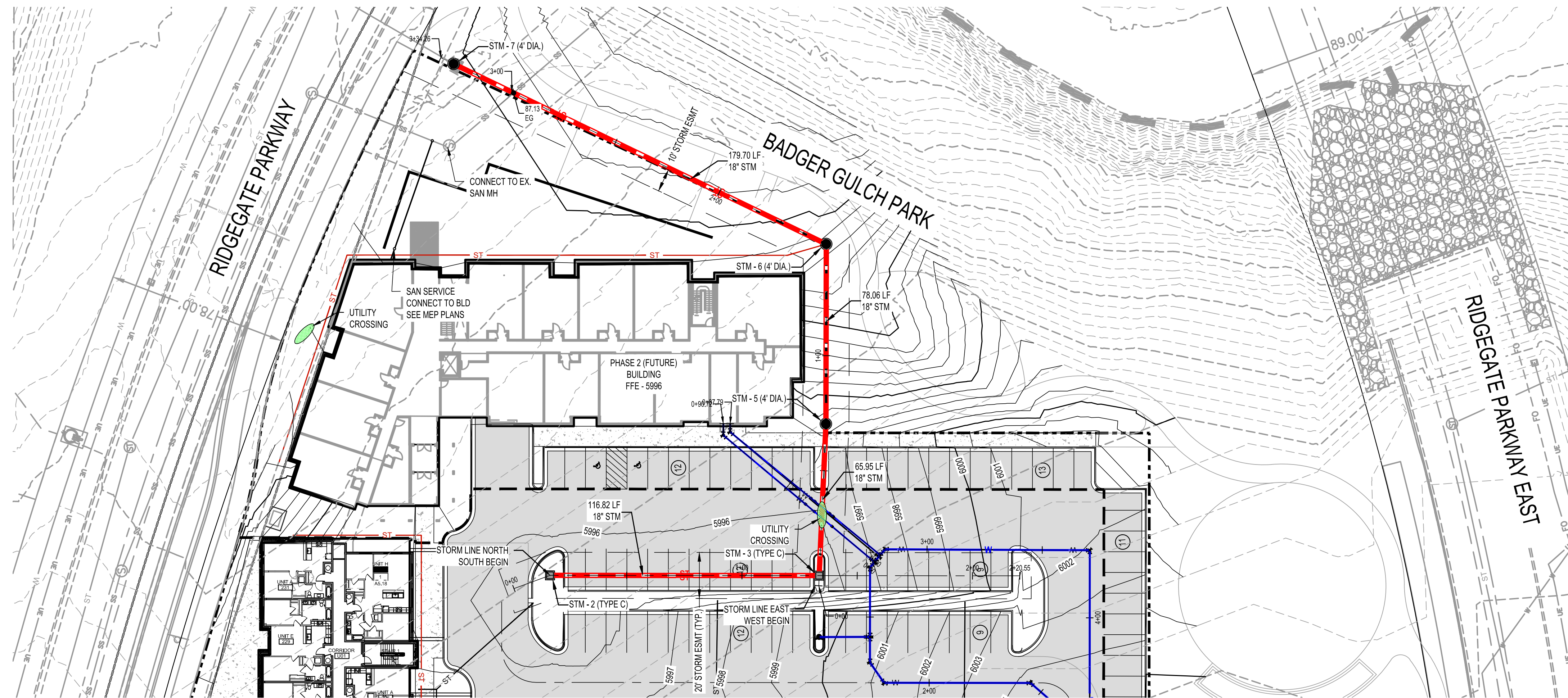


BRYANT FLINK ARCHITECTURE + DESIGN



Denver, CO
Evergreen, CO

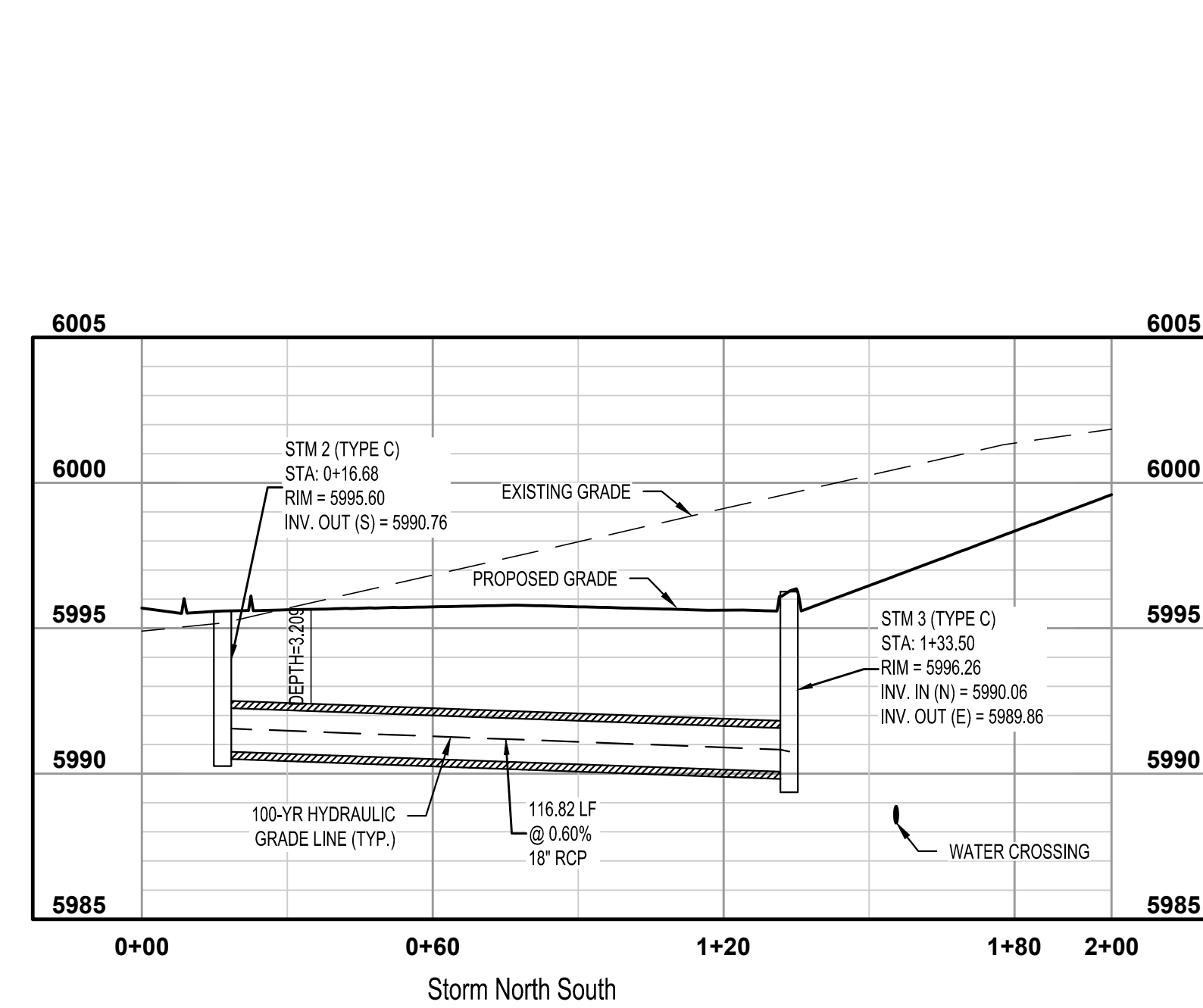
303.670.7242
design@evstudio.com
inspections@evstudio.com
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PLAN VIEW - STORM

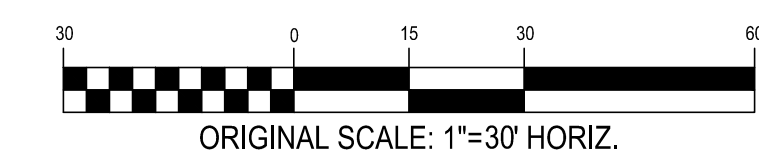
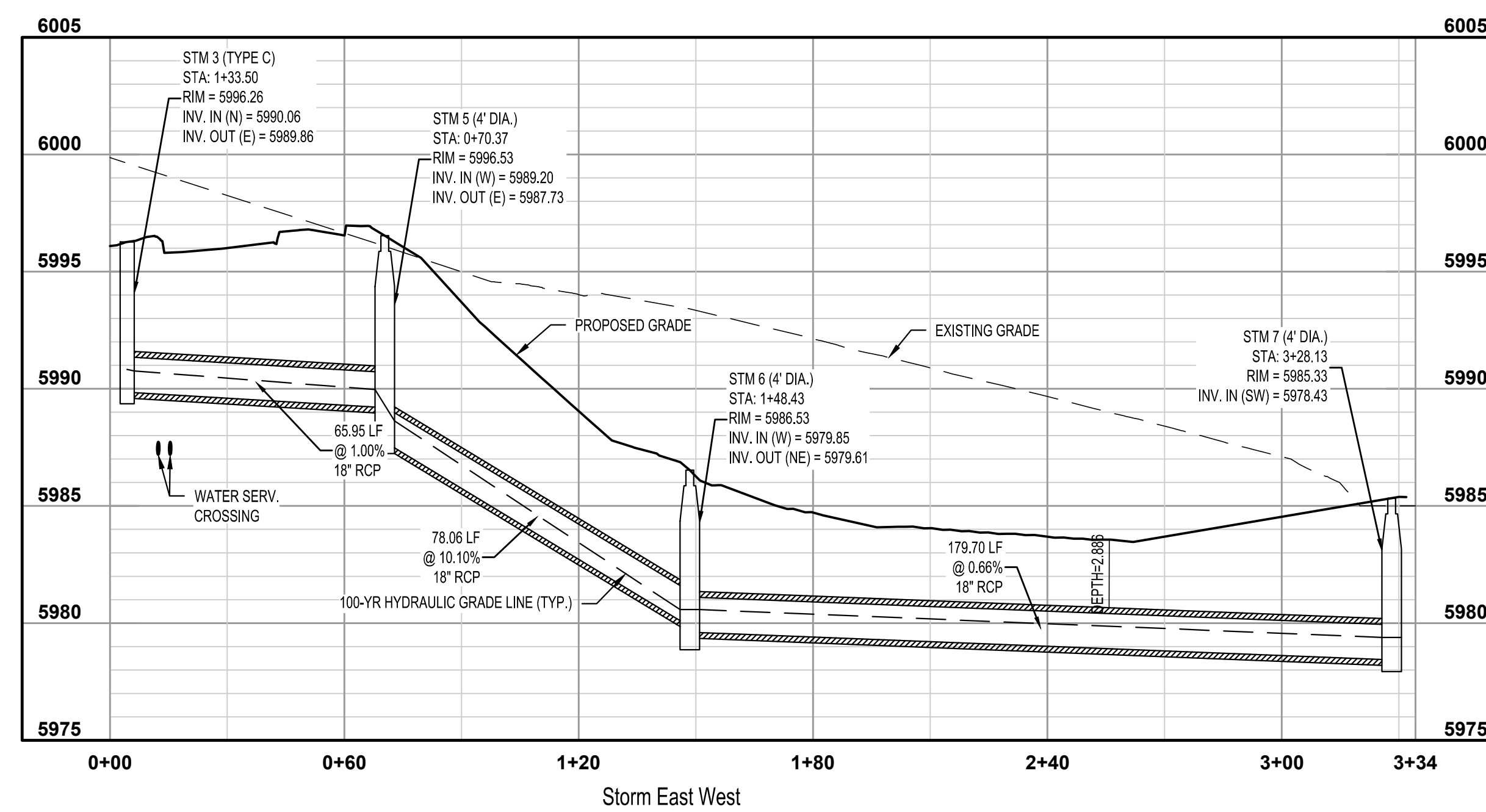
HORIZONTAL 1" = 30'

EXISTING	PROPOSED	
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[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST - ST STORM SEWER LINE
[Symbol]	[Symbol]	SS - SS SANITARY SEWER LINE
[Symbol]	[Symbol]	SAN SRV SANITARY SERVICE LINE
[Symbol]	[Symbol]	W - W WATER LINE
[Symbol]	[Symbol]	WTR SRV WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
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[Symbol]	[Symbol]	T - T TELEPHONE LINE
[Symbol]	[Symbol]	E - E ELECTRIC LINE
[Symbol]	[Symbol]	OE - OE OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
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[Symbol]	[Symbol]	POWER POLE
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[Symbol]	[Symbol]	FLARED END SECTION
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[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
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[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT



PROFILE VIEW - STORM

HORIZ. 1" = 30', VERT. 1" = 5'



RIDGEGATE SENIOR HOUSING

LONE TREE, CO

NOT FOR CONSTRUCTION

PROGRESS SET ONLY

ISSUE		
NO.	DATE	DESCRIPTION
1	3/17/2023	100% SCHEMATIC DESIGN

PROJECT NO.	RIDGEGATE SENIOR HOUSING
DATE:	
June 13, 2023	

DRAWING TITLE:
STORM PLAN AND PROFILES

September 8, 2023 \\192.168.13.228\evstudio\projects\CURRENT\23A037 - RIDGEGATE SENIOR HOUSING\DESIGN\01-CIVIL\CAO\CONSTRUCTION\SIP23A037-C-STORM-WATER PLAN AND PROFILES.DWG

RIDGEGATE SENIOR HOUSING

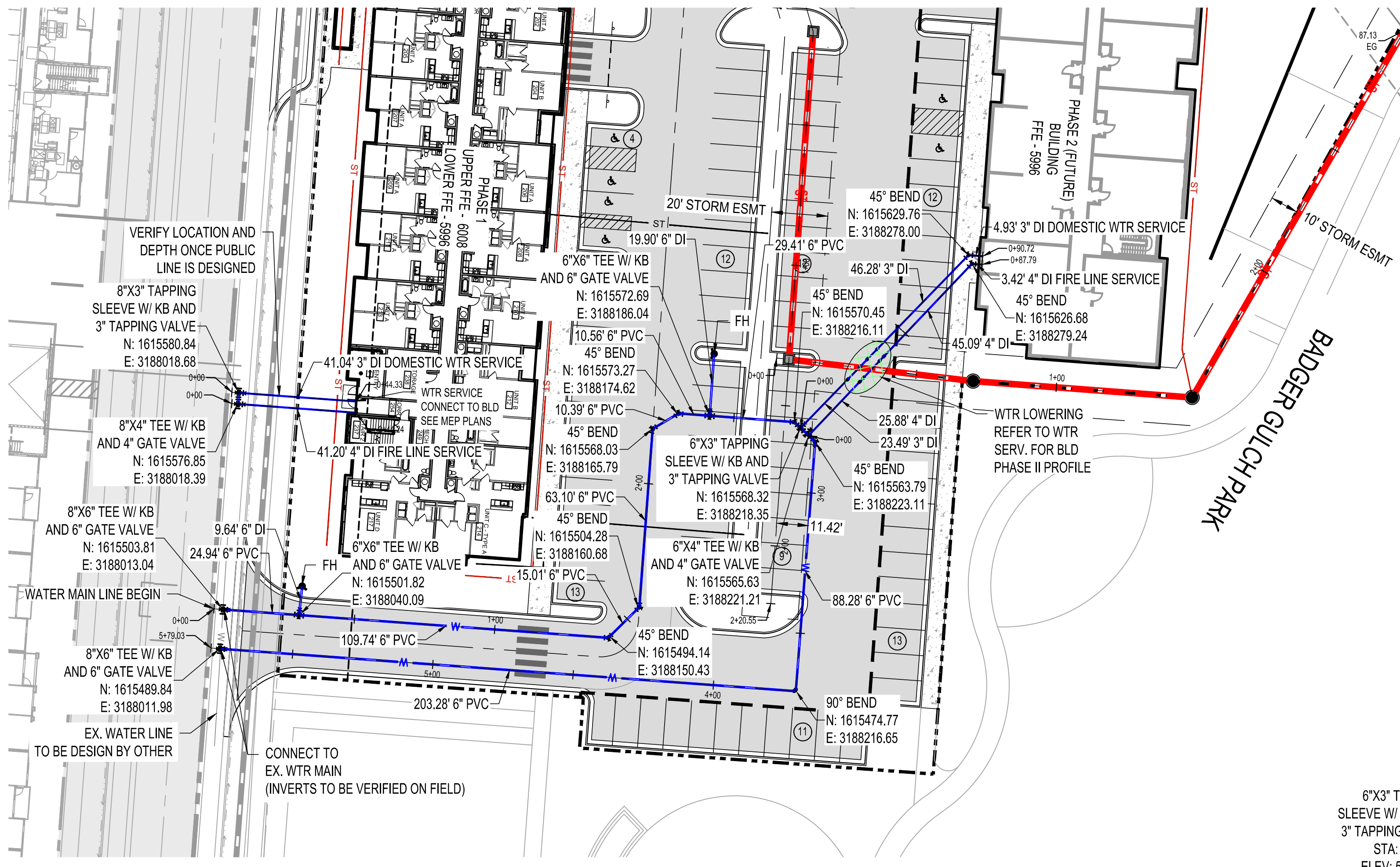
RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



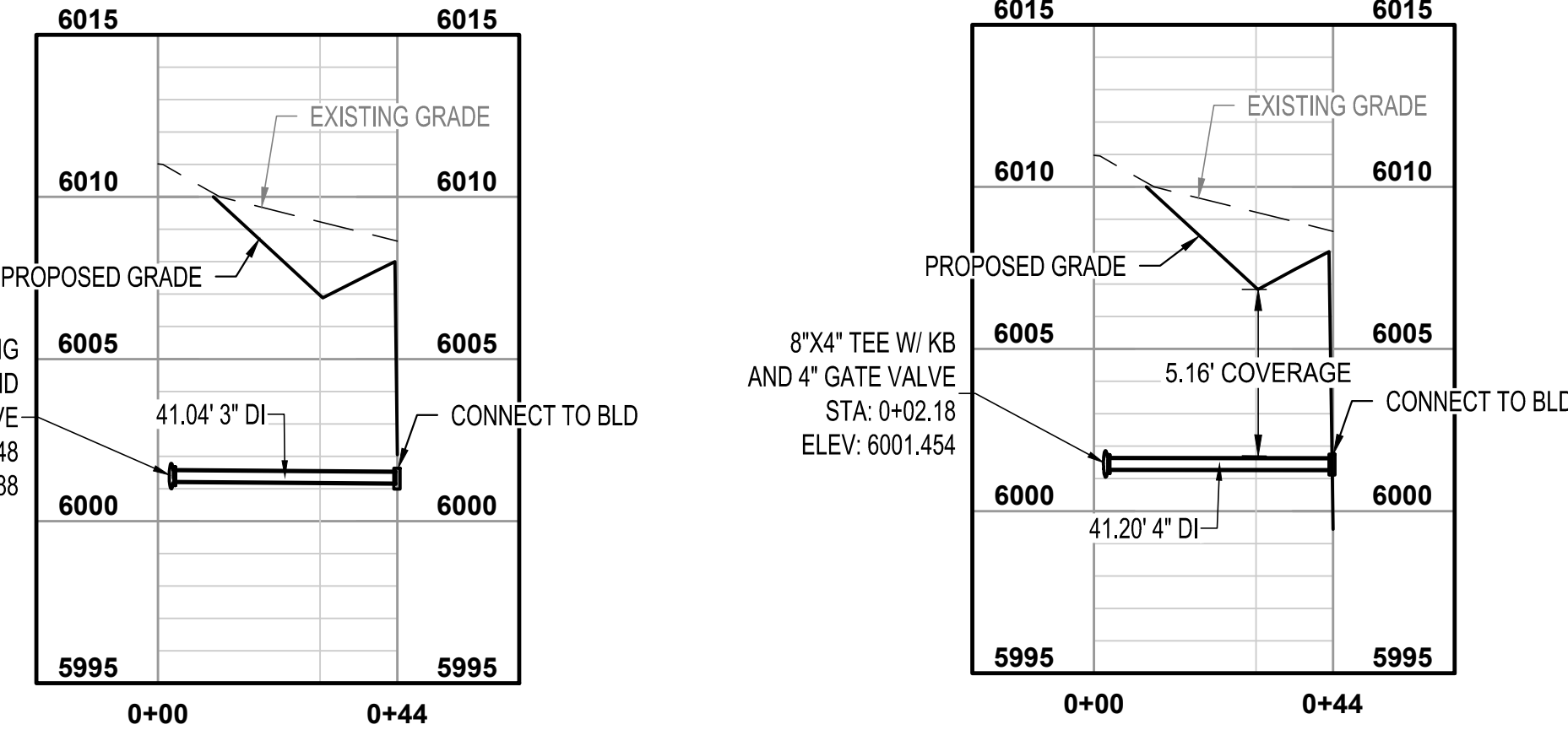
BRYANT FLINK ARCHITECTURE + DESIGN



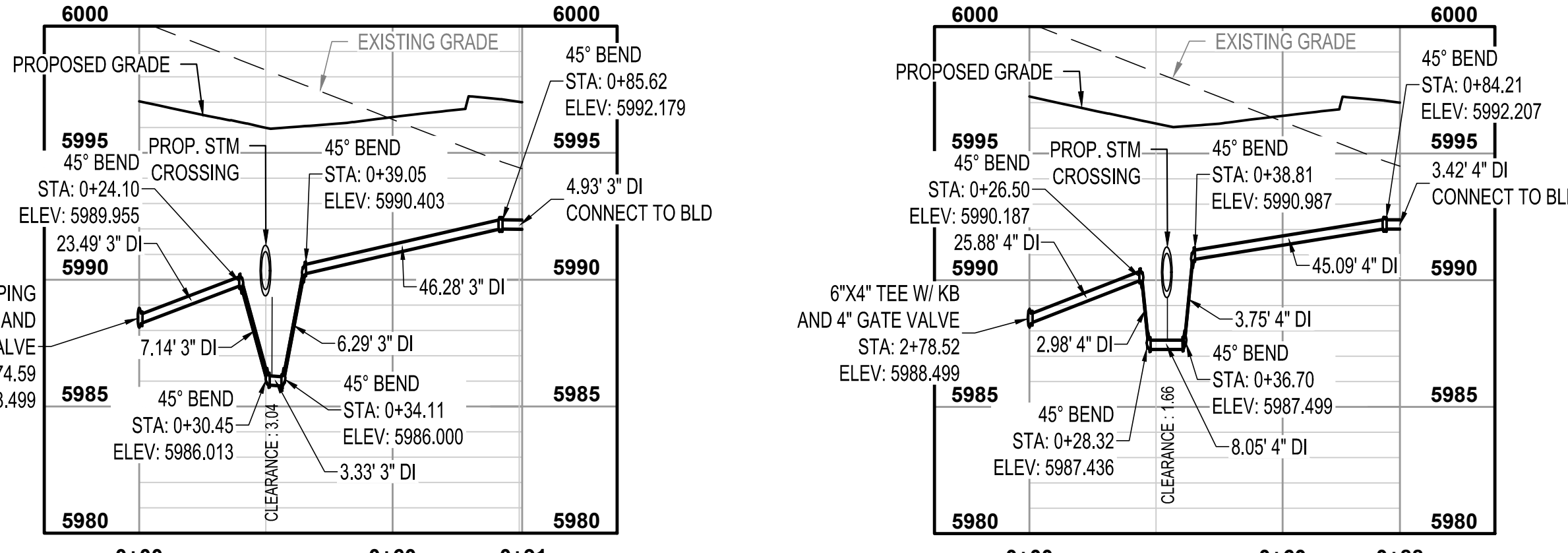
303.670.7242
design@evstudio.com
inspections@evstudio.com
www.evstudio.com



PLAN VIEW - WATER MAIN
HORIZONTAL 1" = 30'

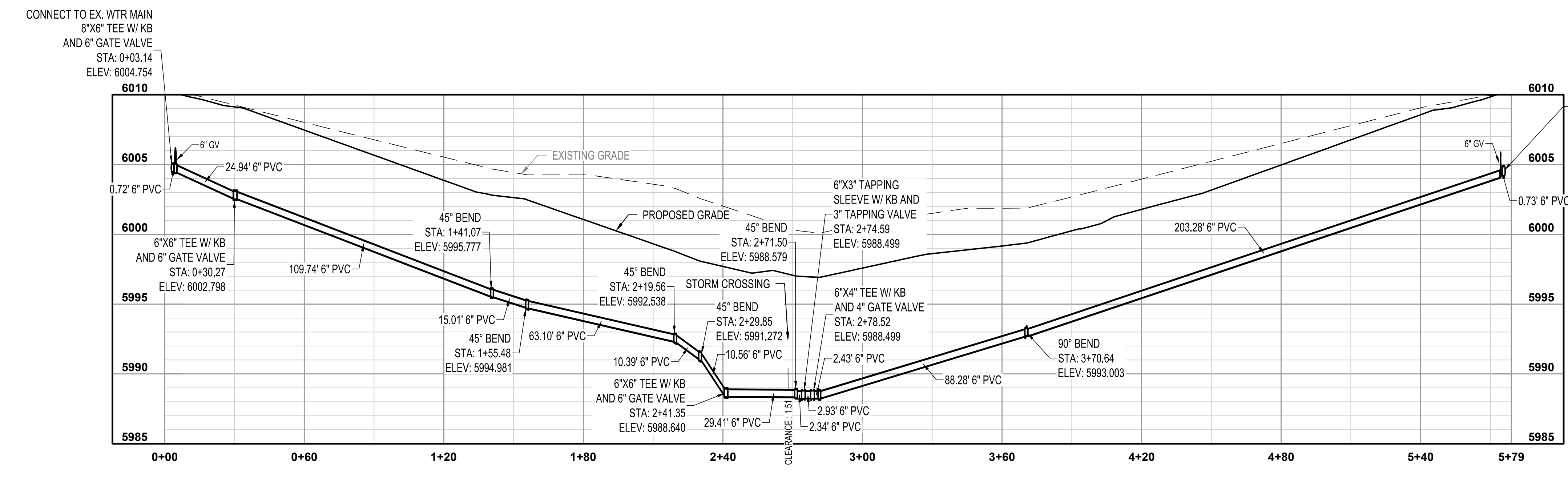


PROFILE VIEW - WTR SERV. FOR BLD PHASE I
HORIZ. 1" = 30', VERT. 1" = 5'

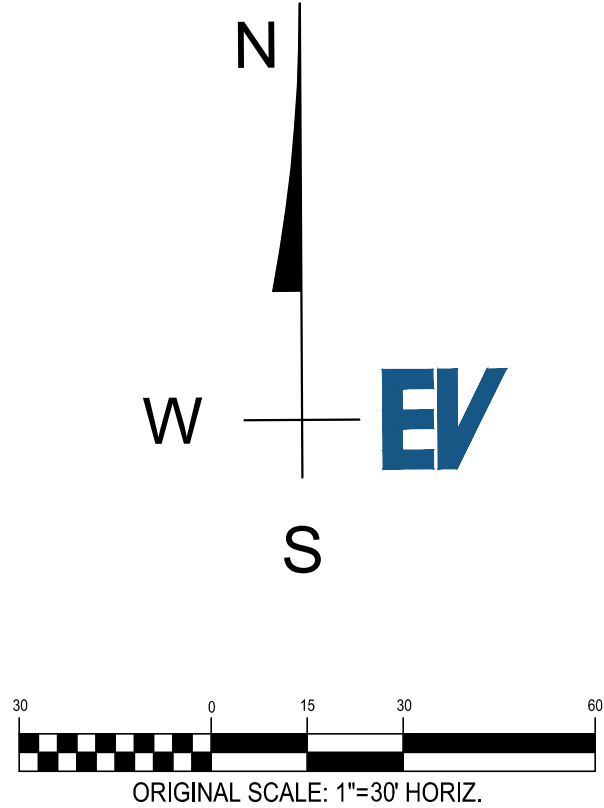


PROFILE VIEW - WTR SERV. FOR BLD PHASE II
HORIZ. 1" = 30', VERT. 1" = 5'

LEGEND	
	EXISTING ASPHALT
	PROPOSED ASPHALT
	EXISTING SIDEWALK / CONCRETE
	PROPOSED SIDEWALK / CONCRETE
	BUILDING
	GRAVEL
	ASPHALT PATCH
	SOFTSCAPE
	COVERED PARKING
	GRAVEL DURING PH. 1
	PAVED DURING PH. 2
	TOP OF CURB
	FLOWLINE
	PAN
	SUBJECT BOUNDARY
	LOT LINE
	BUILDING SETBACK
	EASEMENT LINE
	RIGHT-OF-WAY (R.O.W.)
	STORM SEWER LINE
	SANITARY SEWER LINE
	SANITARY SERVICE LINE
	WATER LINE
	WATER SERVICE LINE
	WATER FIRE LINE
	GAS LINE
	TELEPHONE LINE
	ELECTRIC LINE
	OVERHEAD ELECTRIC LINE
	ADA PARKING SYMBOL
	STORM SEWER INLET
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	TELECOMM MANHOLE
	LIGHT POLE
	POWER POLE
	FIRE HYDRANT
	WATER VALVE
	FLARED END SECTION
	ELECTRICAL BOX
	GAS METER
	TELEPHONE PEDESTAL/BOX
	FENCE
	PROPERTY CORNER
	MAJOR CONTOUR
	MINOR CONTOUR
	ADA ACCESS ROUTE
	SPOT ELEVATION TRUNCATION
	PARKING STALL COUNT



PROFILE VIEW - WATER MAIN
HORIZ. 1" = 30', VERT. 1" = 5'



RIDGEGATE SENIOR HOUSING
LONE TREE, CO

STAMP: **NOT FOR CONSTRUCTION**

PROGRESS SET ONLY

ISSUE		DESCRIPTION
NO.	DATE	

PROJECT NO.	RIDGEGATE SENIOR HOUSING
DATE:	
June 13, 2023	

DRAWING TITLE:
WATER PLAN AND PROFILE
C8.2

September 11, 2023 1182.188.13.228/E/SERVER/PROJECTS/CURRENT/23/037 - RIDGEGATE SENIOR HOUSING/CIVIL/CAD/CONSTRUCTIONSIP/23/037-C-WATER PLAN AND PROFILE.DWG

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RIDGEGATE SENIOR HOUSING

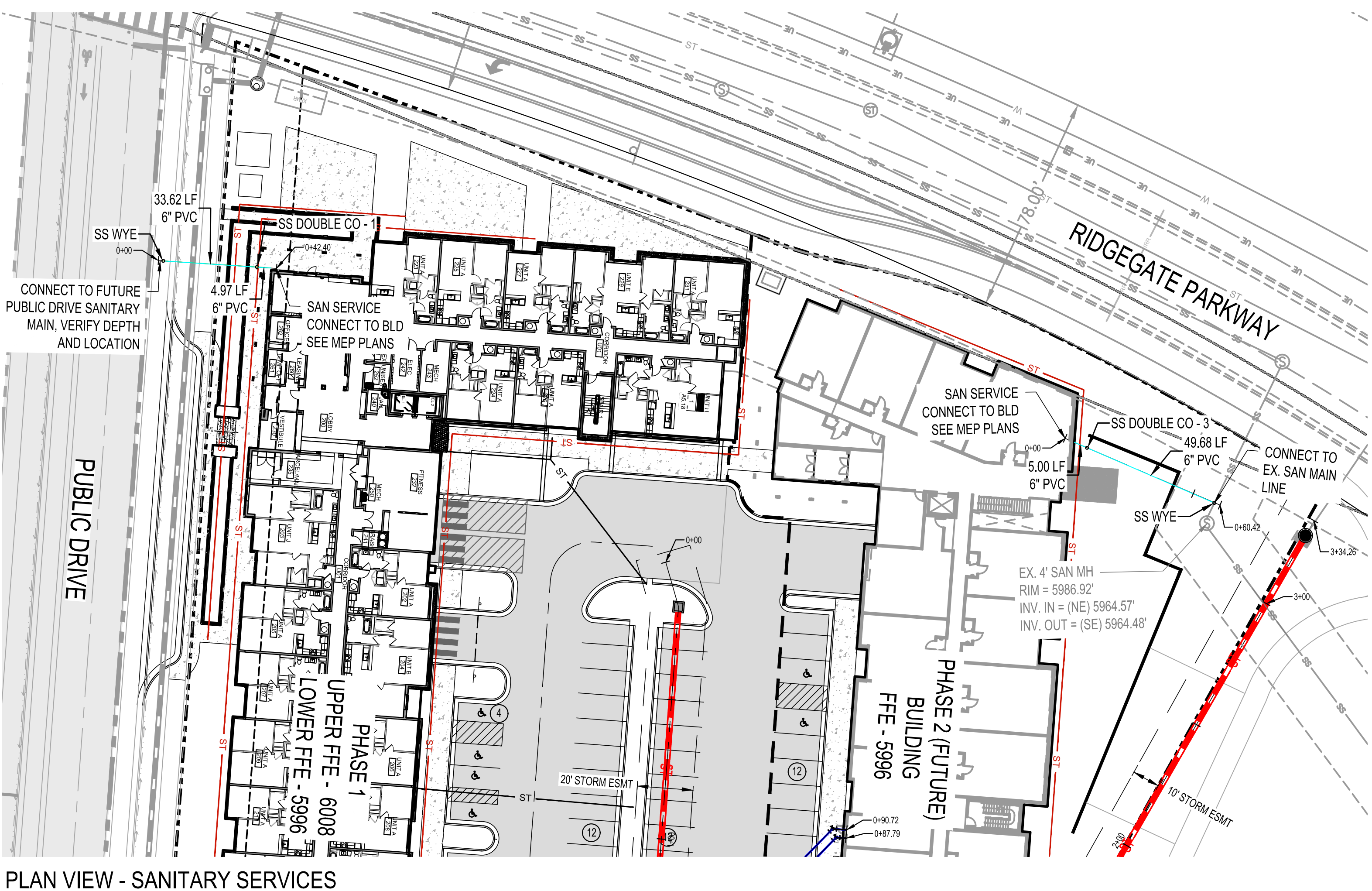
RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



BRYANT FLINK ARCHITECTURE + DESIGN



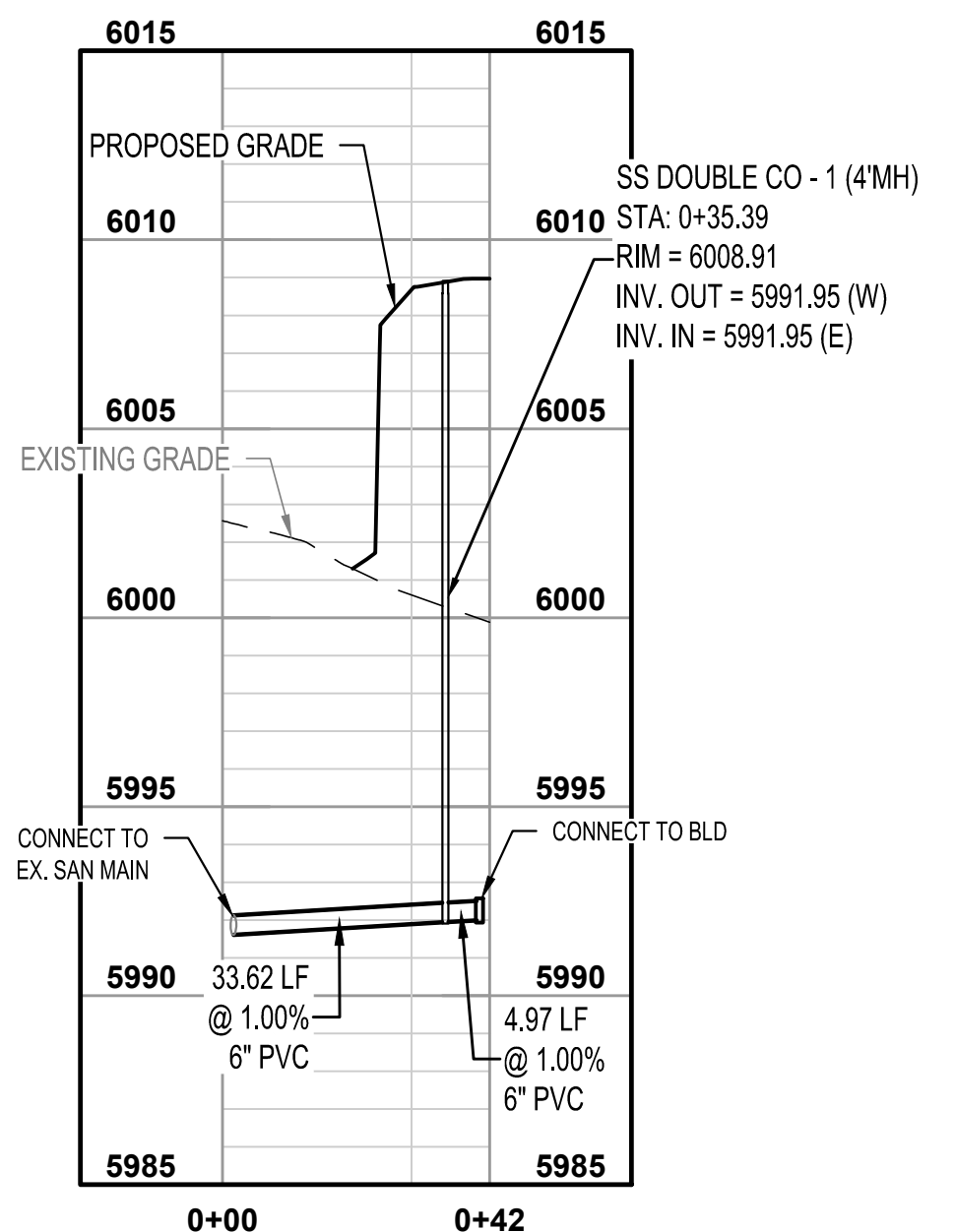
Denver, CO
Evergreen, CO
303.670.7242
design@evstudio.com
inspections@evstudio.com
www.evstudio.com



PLAN VIEW - SANITARY SERVICES

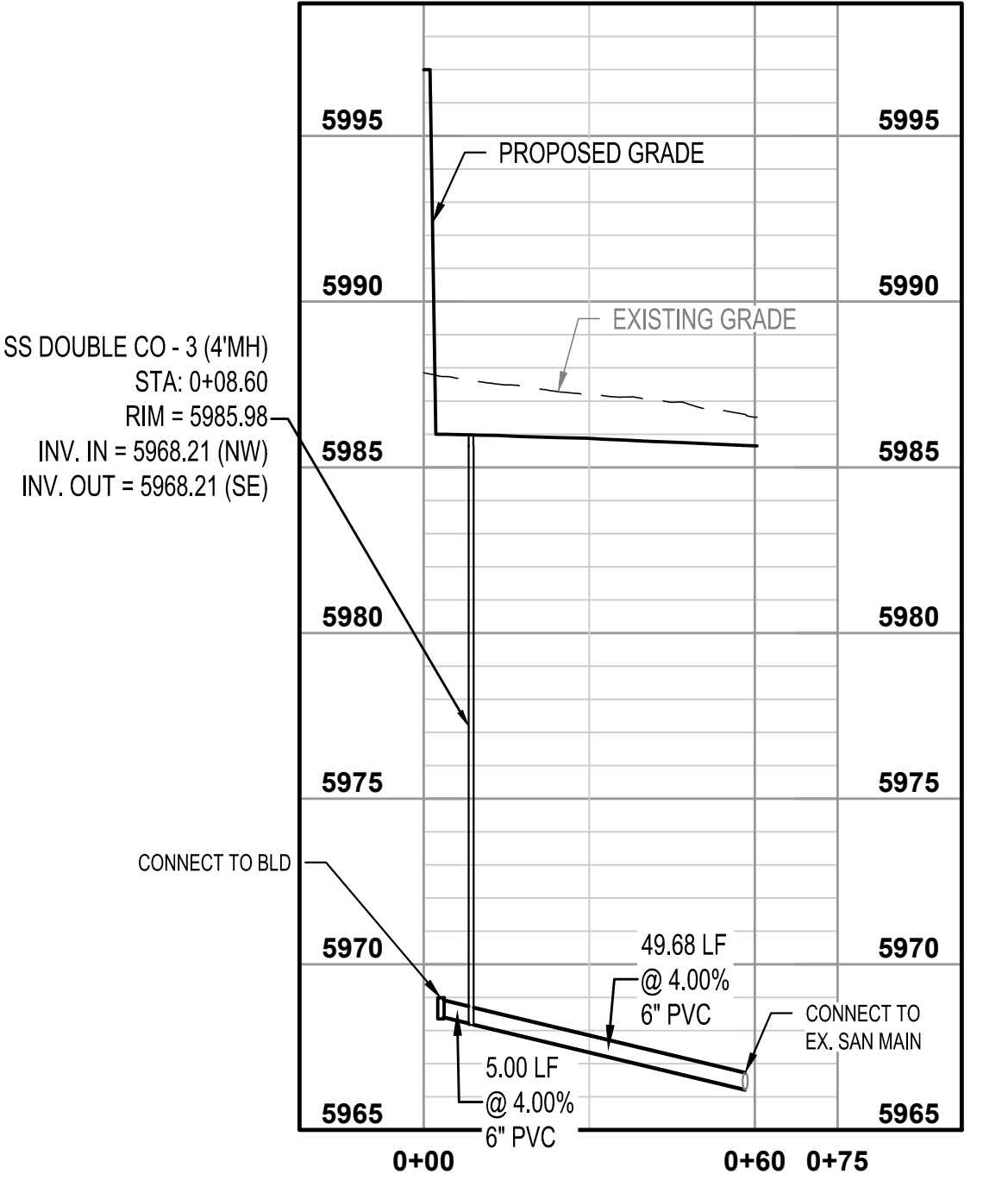
HORIZONTAL: 1" = 30'

EXISTING	PROPOSED	
ASPHALT	ASPHALT	ASPHALT
SIDEWALK / CONCRETE	SIDEWALK / CONCRETE	SIDEWALK / CONCRETE
BUILDING	BUILDING	BUILDING
GRAVEL	GRAVEL	GRAVEL
ASPHALT PATCH	ASPHALT PATCH	ASPHALT PATCH
SOFTSCAPE	SOFTSCAPE	SOFTSCAPE
COVERED PARKING	COVERED PARKING	COVERED PARKING
GRAVEL DURING PH. 1	GRAVEL DURING PH. 1	GRAVEL DURING PH. 1
PAVED DURING PH. 2	PAVED DURING PH. 2	PAVED DURING PH. 2
TOP OF CURB	TOP OF CURB	TOP OF CURB
FLOWLINE	FLOWLINE	FLOWLINE
PAN	PAN	PAN
SUBJECT BOUNDARY	SUBJECT BOUNDARY	SUBJECT BOUNDARY
LOT LINE	LOT LINE	LOT LINE
BUILDING SETBACK	BUILDING SETBACK	BUILDING SETBACK
EASEMENT LINE	EASEMENT LINE	EASEMENT LINE
RIGHT-OF-WAY (R.O.W.)	RIGHT-OF-WAY (R.O.W.)	RIGHT-OF-WAY (R.O.W.)
ST-ST	SS-SS	STORM SEWER LINE
SS-SS	SS-SS	SANITARY SEWER LINE
SAN SRV	SAN SRV	SANITARY SERVICE LINE
W-W	W-W	WATER LINE
WTR SRV	WTR SRV	WATER SERVICE LINE
		WATER FIRE LINE
G-G	G-G	GAS LINE
T-T	T-T	TELEPHONE LINE
E-E	E-E	ELECTRIC LINE
OE-OE	OE-OE	OVERHEAD ELECTRIC LINE
		ADA PARKING SYMBOL
		STORM SEWER INLET
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		TELECOMM MANHOLE
		LIGHT POLE
		POWER POLE
		FIRE HYDRANT
		WATER VALVE
		FLARED END SECTION
		ELECTRICAL BOX
		GAS METER
		TELEPHONE PEDESTAL/BOX
		FENCE
		PROPERTY CORNER
		MAJOR CONTOUR
		MINOR CONTOUR
		ADA ACCESS ROUTE
		SPOT ELEVATION TRUNCATION
		PARKING STALL COUNT



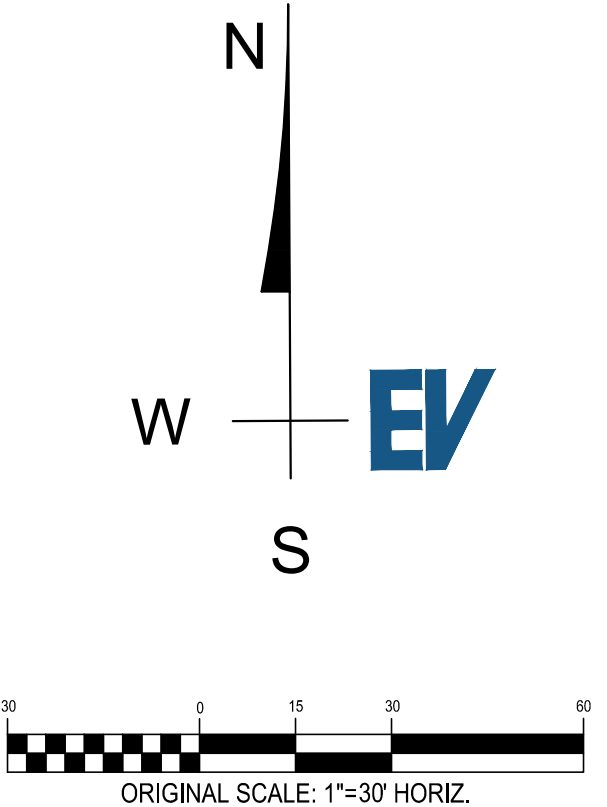
PROFILE VIEW - SAN SERV. FOR BLD PHASE I

HORIZ. 1" = 30'; VERT. 1" = 5'



PROFILE VIEW - SAN SERV. FOR BLD PHASE 2

HORIZ. 1" = 30'; VERT. 1" = 5'



RIDGEGATE SENIOR HOUSING

LONE TREE, CO

STAMP: NOT FOR CONSTRUCTION

PROGRESS SET ONLY

ISSUE		
NO.	DATE	DESCRIPTION

PROJECT NO.	RIDGEGATE SENIOR HOUSING
DATE:	

DRAWING TITLE: SANITARY PLAN & PROFILE

C8.3

August 31, 2023 \\192.168.13.226\evstudio\projects\CURRENT\23A037 - RIDGEGATE SENIOR HOUSING\DESIGN\0 - CIVIL\CAO\CONSTRUCTION\SIP\SP23\0025 - SANITARY PLAN AND PROFILE.DWG