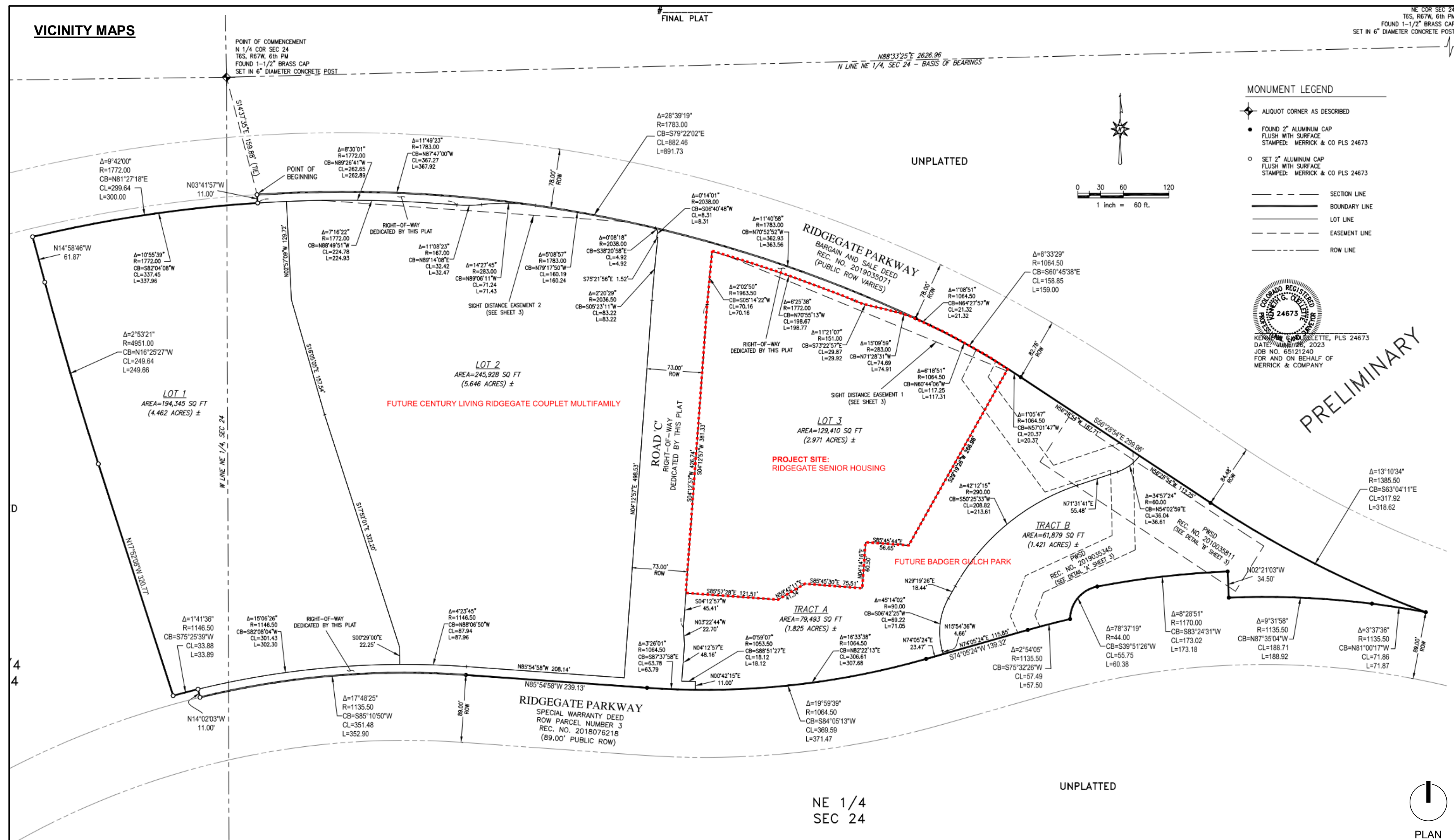


RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



APPROVAL CERTIFICATE

This site improvement plan was approved for filing by the Council of the City of Lone Tree, CO, on the day of _____, 20____, subject to any conditions specified herein. The dedications of rights-of-way, and easements are accepted.

All expenses incurred with respect to improvements for all utility services, paving, grading, landscaping, curbs, gutters, sidewalks, road lighting, road signs, flood protection devices, drainage structures and all other improvements that may be required shall be the responsibility of the developer and not the City.

This acceptance does not guarantee that the soil conditions, subsurface geology, groundwater conditions or flooding conditions of any site shown herein are such that a building permit will be issued.

(Signature)
Jackie Millet, Mayor, City of Lone Tree

OWNER SIGNATORY BLOCK

The Owner of the lands described herein, hereby agree (1) to develop and maintain the Property described hereon in accordance with this approved Site Improvement Plan and in compliance with Chapter 16 of the Lone Tree Municipal Code and that (2) the heirs, successors and assigns of the Owner shall also be bound. The signatures of the Owner's Representative below indicates that any required authorizations to enter this agreement, including any corporate authorizations, have been obtained.

(Name of Owner) _____

(Signature of Owner) _____

(Printed Name and Title) _____

State of _____)

County of _____)

Subscribed and sworn to before me this _____ day of _____, 20____.

By _____

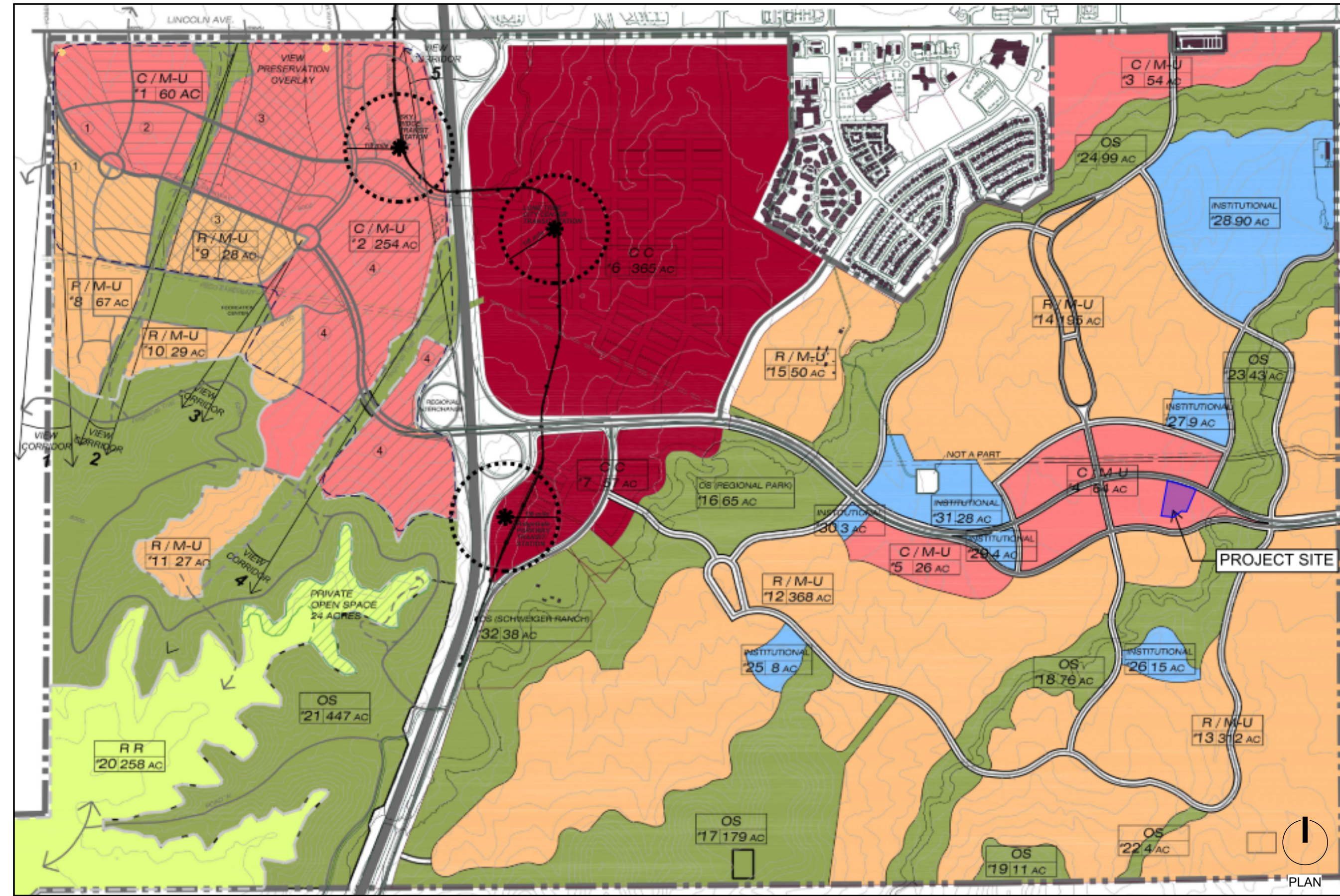
Witness my hand and official seal.
My commission expires: _____/_____/_____

Notary Public _____

STATEMENT OF SIP EXPIRATION EXTENSION

This SIP shall be effective for five (5) years from the date of recording as memorialized in the Amended and Restated Annexation and Development Agreement for the East Side Property. RidgeGate Parkway Affordable LLC shall be considered for an additional five (5) year extension through a City of Lone Tree administrative approval, which is to be coordinated with the Annexation Agreement requirements and CHFA funding cycle for the Phase II building.

Extensions beyond the initial five (5) years shall be requested by RidgeGate Parkway Affordable LLC and approved by the Community Development Director on an annual basis. Each annual request for a Site Improvement Plan extension shall be supported by a rationale and evidence of the Phase II's CHFA funding application status.



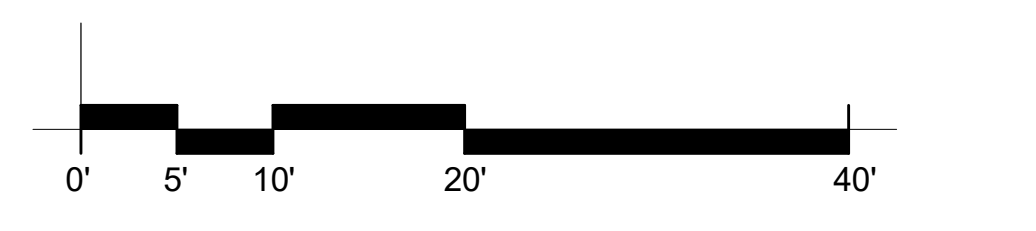
SIP NOTES

- The property described herein is subject to all applicable requirements of the Lone Tree Zoning Code and Design Standards, including but not limited to, property maintenance, lighting, parking, signage, landscaping and outdoor storage, except as may otherwise be addressed in an approved planned development plan, sub-area plan, or other applicable plan or agreement approved by the City.
- The applicant assumes responsibility to ensure the project is completed in accordance with the approved SIP and any associated materials sample boards and further assumes the risk associated with any changes or omissions made without prior City approval. Modifications to structures or sites may require an amendment to the SIP as determined by the City's Community Development Director, per Sec. 16-27-180. Unauthorized changes or omissions made without prior City approval corrective actions, delay of permits or citations for zoning violations with associated fines and legal measures. Building plans shall conform to the approved SIP.
- Within site triangles, as shown, limited landscaping shall be allowed with no solid structures permitted as stated in the City of Lone Tree's Landscape Design Guidelines and Standards for Landscaping. Landscaping within the sight triangle shall be maintained by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office.
- The owner is responsible for the installation of all roadway signage, including "no parking/fire lane" signage, as required by the City Public Works Department and/or the Fire District. Such signage shall be maintained by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office.
- Site landscaping, site amenities and furnishings, and all site improvements including, but not limited to, sidewalks and parking areas shall be maintained in a state of good repair consistent with the approved SIP and the Lone Tree Municipal Code and Design Guidelines and Standards. Such maintenance shall include the regular maintenance of pet waste stations (when present), to include waste collection and waste bag replacement. Landscape plantings must be alive and all irrigation must be functional. All maintenance obligations shall be completed by the property owner or appropriate association or district, as may be identified in maintenance agreements recorded with the Douglas County Clerk and Recorder's Office.
- The City of Lone Tree requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owner shall be responsible for the maintenance of all drainage facilities, including inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on their land unless modified by the site improvement plan improvements agreement. Should the owner fail to adequately maintain said facilities, the City of Lone Tree shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property owner or the responsible maintenance authority.
- All present and future owners and occupants of land hereby subject to a Site Improvement Plan are hereby notified that the property is located within proximity to Centennial Airport and is subject to the terms of that certain Avigation and Hazard Easement recorded at reception number 2020016188 on March 6, 2020 in the records of the Douglas County Clerk and Recorder, as may be amended.
- Proximity to Centennial Airport may have many number of impacts on the property occupants, the property, and the development, improvement, use, enjoyment or occupancy of the property, including without limitation odors, aircraft noise, vibration, fumes, fuel particles, exhaust, and the operation and passage of aircraft above or near the property. Individual sensitivities to the potential Centennial Airport impacts can vary from person to person, and potential airport impacts can vary from location to location within the property and from time to time. records and information concerning Centennial Airport and potential airport impacts are publicly available through various federal, state, and local governmental agencies, including Centennial Airport. All present and future owners and occupants are solely responsible for evaluating and determining whether the airport impacts, if any, are acceptable to them.
- It shall be the responsibility of the owner (or responsible association or district, as may be identified by maintenance agreements) to maintain all playground equipment and park infrastructure on the property in a state of good repair in conformance with all applicable building and safety regulations.

SHEET INDEX

NUMBER	NAME	AUTHOR	ISSUED
1.0	COVER SHEET	BFAD	■
2.0	PHASING PLAN	EV STUDIO	■
3.0	ARCHITECTURAL SITE PLAN	BFAD	■
3.1	UPPER SITE PLAN (CIVIL)	EV STUDIO	■
3.2	LOWER SITE PLAN (CIVIL)	EV STUDIO	■
3.3	ROOF PLAN	BFAD	■
4.0	FIRE TURNING RADI	EV STUDIO	■
5.0	LANDSCAPE PLAN	STACKLOT	■
5.1	LANDSCAPE NOTES & DETAILS	STACKLOT	■
6.0	IRRIGATION CONCEPT PLAN	STACKLOT	■
7.0	OVERALL GRADING	EV STUDIO	■
7.1	FIRST FLOOR GRADING	EV STUDIO	■
7.2	PARKING GRADING PLAN	EV STUDIO	■
7.3	PHASE 1 GRADING PLAN	EV STUDIO	■
8.0	OVERALL UTILITY	EV STUDIO	■
8.1	STORM PLAN AND PROFILES	EV STUDIO	■
8.2	WATER PLAN AND PROFILE	EV STUDIO	■
8.3	SANITARY PLAN & PROFILE	EV STUDIO	■
9.0	SITE FURNISHINGS DETAILS	STACKLOT	■
9.1	LANDSCAPE ENLARGEMENT PLAN	STACKLOT	■
10.0	PHOTOMETRIC PLAN	PROFICIENT	■
10.1	PHOTOMETRIC CUT SHEETS	PROFICIENT	■
10.2	PHOTOMETRIC CUT SHEETS	PROFICIENT	■
11.0	BUILDING ELEVATIONS	BFAD	■
11.1	BUILDING ELEVATIONS	BFAD	■
11.2	BUILDING ELEVATIONS - ENLARGED	BFAD	■
11.3	BUILDING ELEVATIONS - ENLARGED	BFAD	■
11.4	BUILDING ELEVATIONS - ENLARGED	BFAD	■
11.5	BUILDING ELEVATIONS - ENLARGED	BFAD	■
11.6	BUILDING ELEVATIONS - ENLARGED	BFAD	■
11.10	MATERIAL DIAGRAM - PHASE 1	BFAD	■
11.11	MATERIAL DIAGRAM - PHASE 2	BFAD	■
11.20	SITE DETAILS	BFAD	■
12.0	RENDERINGS	BFAD	■
12.1	RENDERINGS	BFAD	■
12.2	RENDERINGS	BFAD	■
12.3	RENDERINGS	BFAD	■
12.4	RENDERINGS	BFAD	■
12.5	RENDERINGS	BFAD	■
12.6	MATERIAL BOARD	BFAD	■

BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

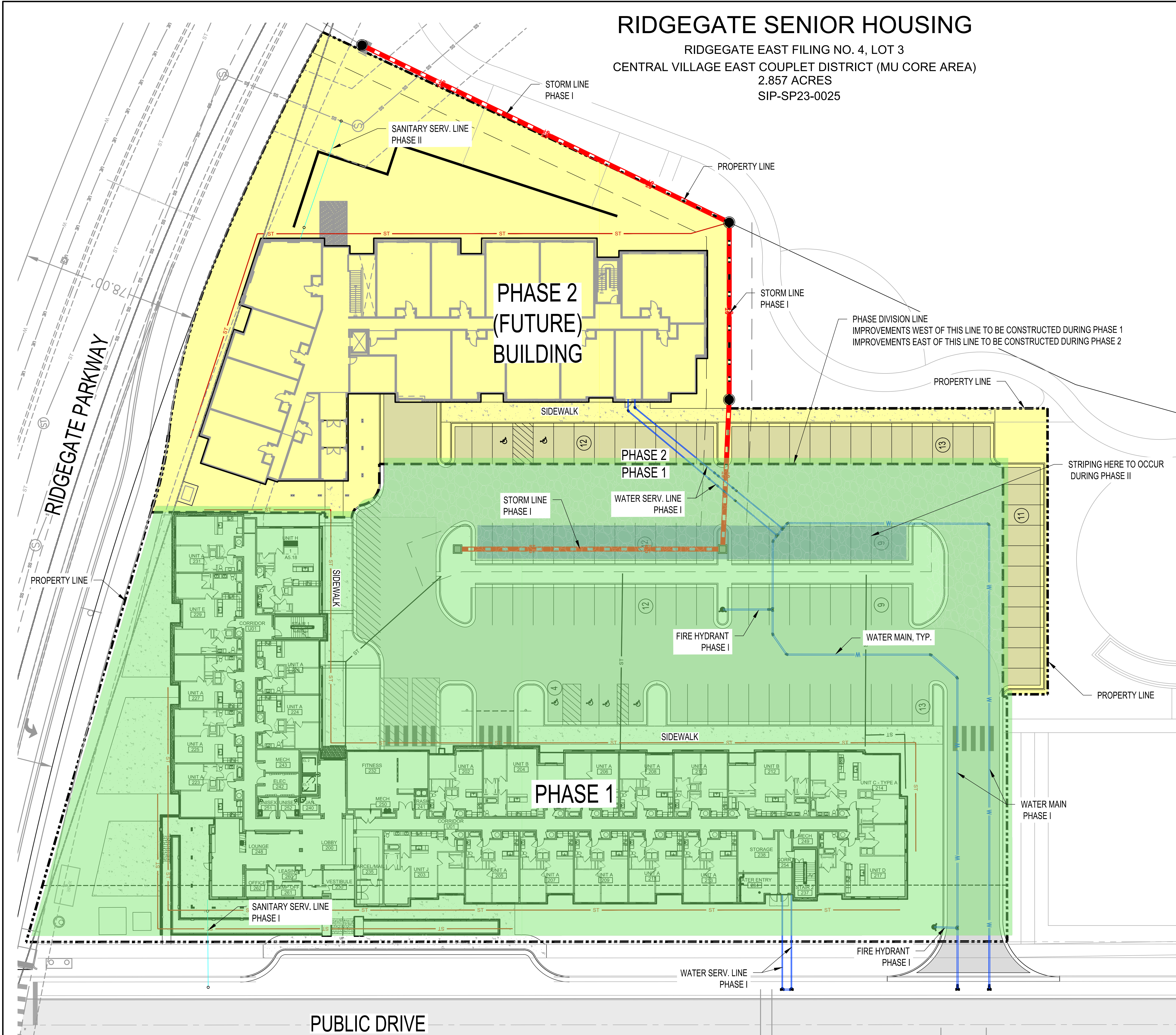


PREPARATION DATE: _____

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

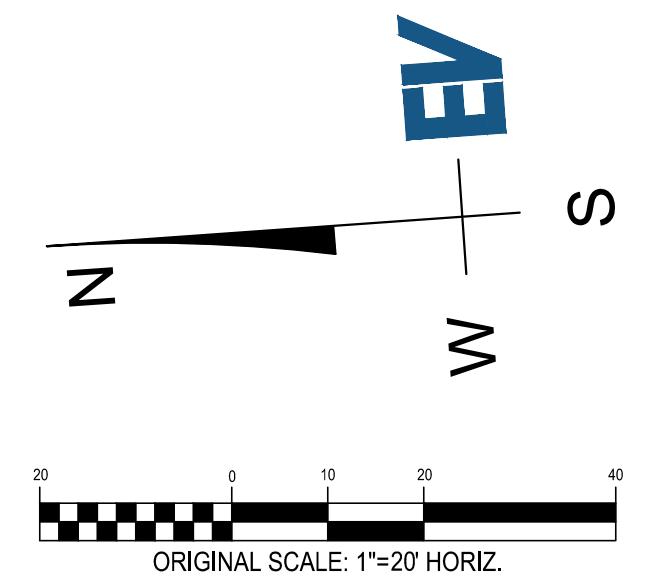
RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



LEGEND

- AGGREGATE REMAIN IN PHASE I AND TO BE PAVED DURING PHASE II
- PHASE II
- PHASE I



B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
www.bryantflink.com

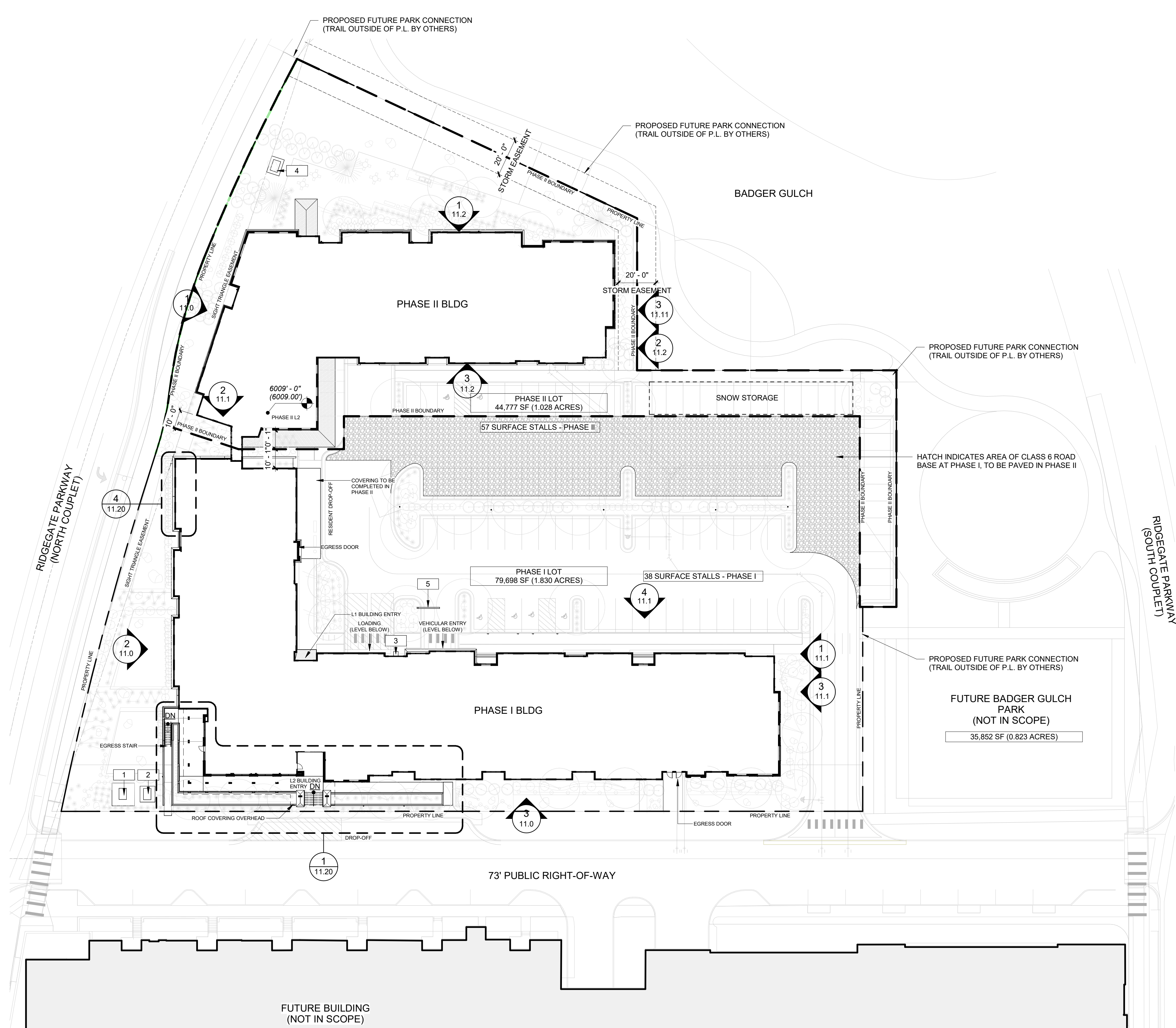
CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

PLAN TRUE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



ARCHITECTURAL SYMBOLS

- GRID LINE AND IDENTIFICATION
- NORTH DIRECTION MARK
- PLAN TRUE
- EXTERIOR ELEVATION MARK
- DRAWING NUMBER, TYP.
- SHEET NUMBER, TYP.
- SECTION MARK
- CALLOUT MARK
- ELEVATION MARK
- SPOT ELEVATION MARK
- MATERIAL TAG
- DRAWING TITLE
- SCALE
- DRAWING NUMBER
- HIDDEN LINE (ABOVE, BELOW OR BEYOND)
- PROPERTY LINE
- MATCH LINE
- SCOPE OF WORK LINE

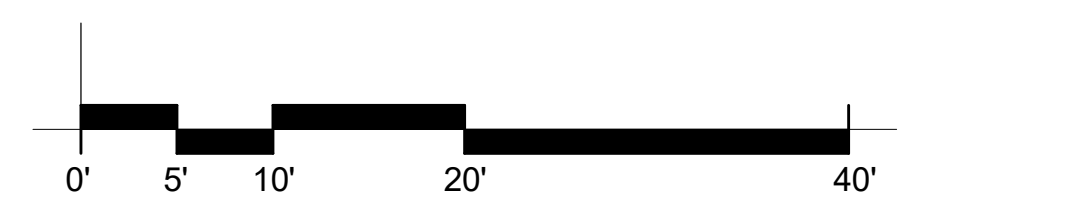
PLAN KEYNOTES

1	[00.00] REGIONAL SWITCHBOARD EQUIPMENT, BY OTHERS
2	[26.0000] TRANSFORMER, RE: ELECTRICAL
3	[22.0000] GAS METER, RE: PLUMBING
4	[26.0000] PHASE 2 TRANSFORMER, RE: ELECTRICAL
5	[32.0000] VEHICLE CRASH BAR, RE: STRUCTURAL

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com

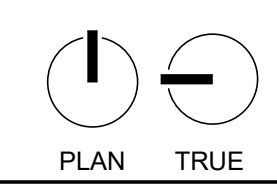
CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

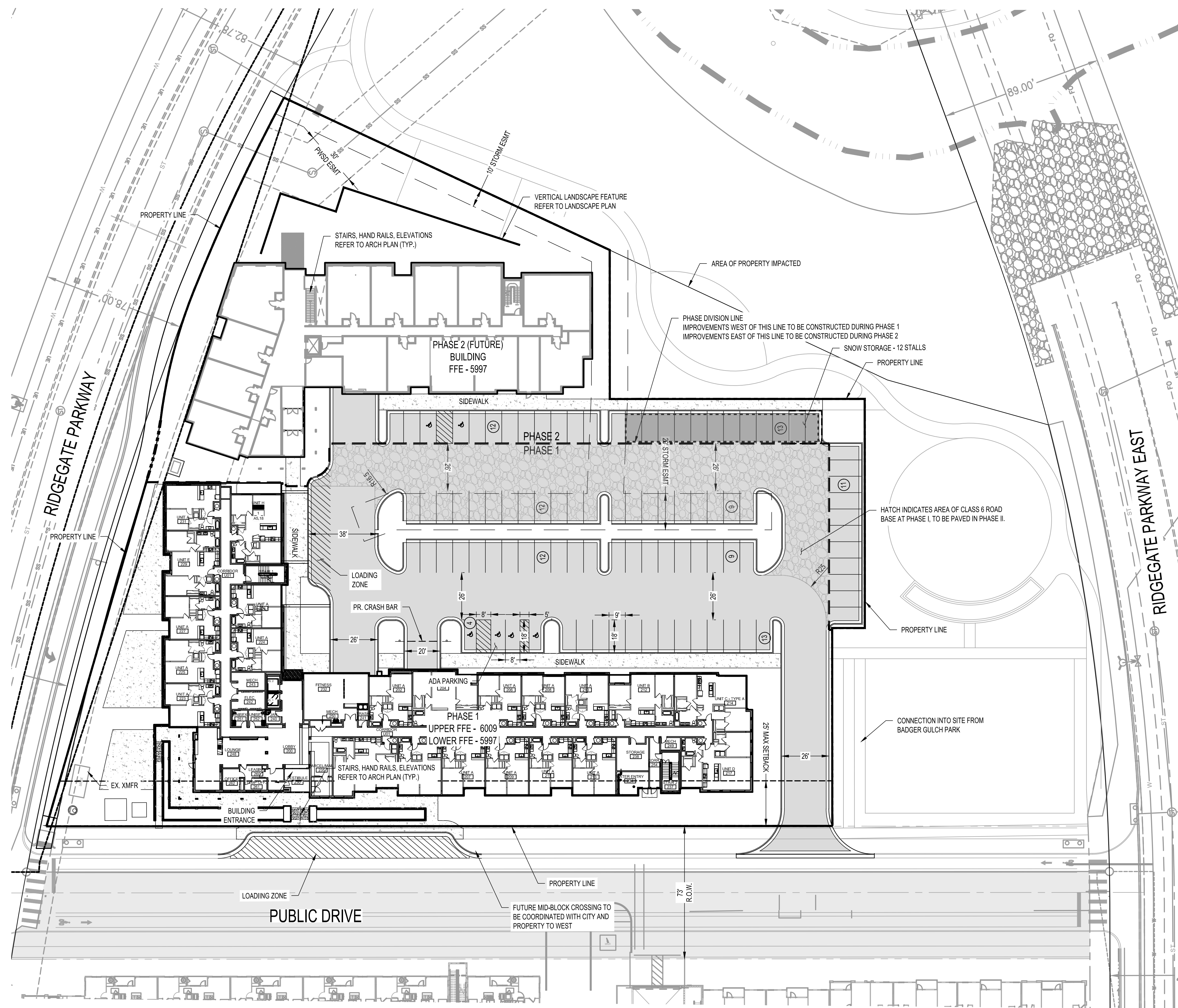
1 ARCHITECTURAL SITE PLAN
 1" = 30'-0"



9/8/2023 11:58:57 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



SITE DATA TABLE		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA		
Total Building Footprint		
Phase I	27,437.29	22.04%
PHASE II	16,104.14	12.94%
Parking/Roads	35,944	28.88%
Landscaped/Hardscaped Area		
Landscaped Area	12,844	10.32%
Hardscape Area	7,419.44	5.96%
Lawn/Turf Area	16,166.49	12.99%
Native Seed Area	8,560	6.88%
Natural Area Retained	N/A	N/A
BUILDING SIZE		
Total Floor Area		
PHASE I	130,468	N/A
PHASE II	74,861	N/A
PARKING		
	REQUIRED	PROVIDED
Standard Spaces	79	158
Accessible Spaces	4	7
Bicycle Spaces	4	4
Delivery/Loading Spaces	1	2

PARKING CALCULATION TABLE			
	NUMBER OF UNITS/TOTAL SF	REQUIRED PARKING (Per unit or sf.)	TOTAL REQUIRED (Per use type)
Use Type - Residence, Senior Adult Housing	165	1.5 SPACES PER DEWELLING UNIT, PLUS 0.5 GUEST SPACES PER UNIT	330 STALLS
# of Employees on Max. Shift	3		
Use Type B			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type C			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type D			
# of Employees on Max. Shift	N/A	N/A	N/A
		TOTAL PARKING REQUIRED	330 STALLS
PERCENTAGE REDUCTION (if applicable)		0.5 SPACES PER DEWELLING UNIT	83 STALLS
		TOTAL PARKING PROVIDED	165 STALLS

- NOTE:
- SNOW STORAGE TO OCCUR AT TWELVE PARKING STALLS. SNOW STORAGE IS ALLOWED TO OCCUR WITHIN STALLS ABOVE THE MINIMUM OBLIGATION PER SECTION 16-28-130 (2) B OF LONE TREE MUNICIPAL CODE
 - SNOW SHALL NOT BE PLACED IN THE PLACED IN THE PUBLIC RIGHT OF WAY.

LEGEND

EXISTING	PROPOSED	
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	STORM SEWER LINE
[Symbol]	[Symbol]	SANITARY SEWER LINE
[Symbol]	[Symbol]	SANITARY SERVICE LINE
[Symbol]	[Symbol]	WATER LINE
[Symbol]	[Symbol]	WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	GAS LINE
[Symbol]	[Symbol]	TELEPHONE LINE
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
www.bryantflink.com

CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921

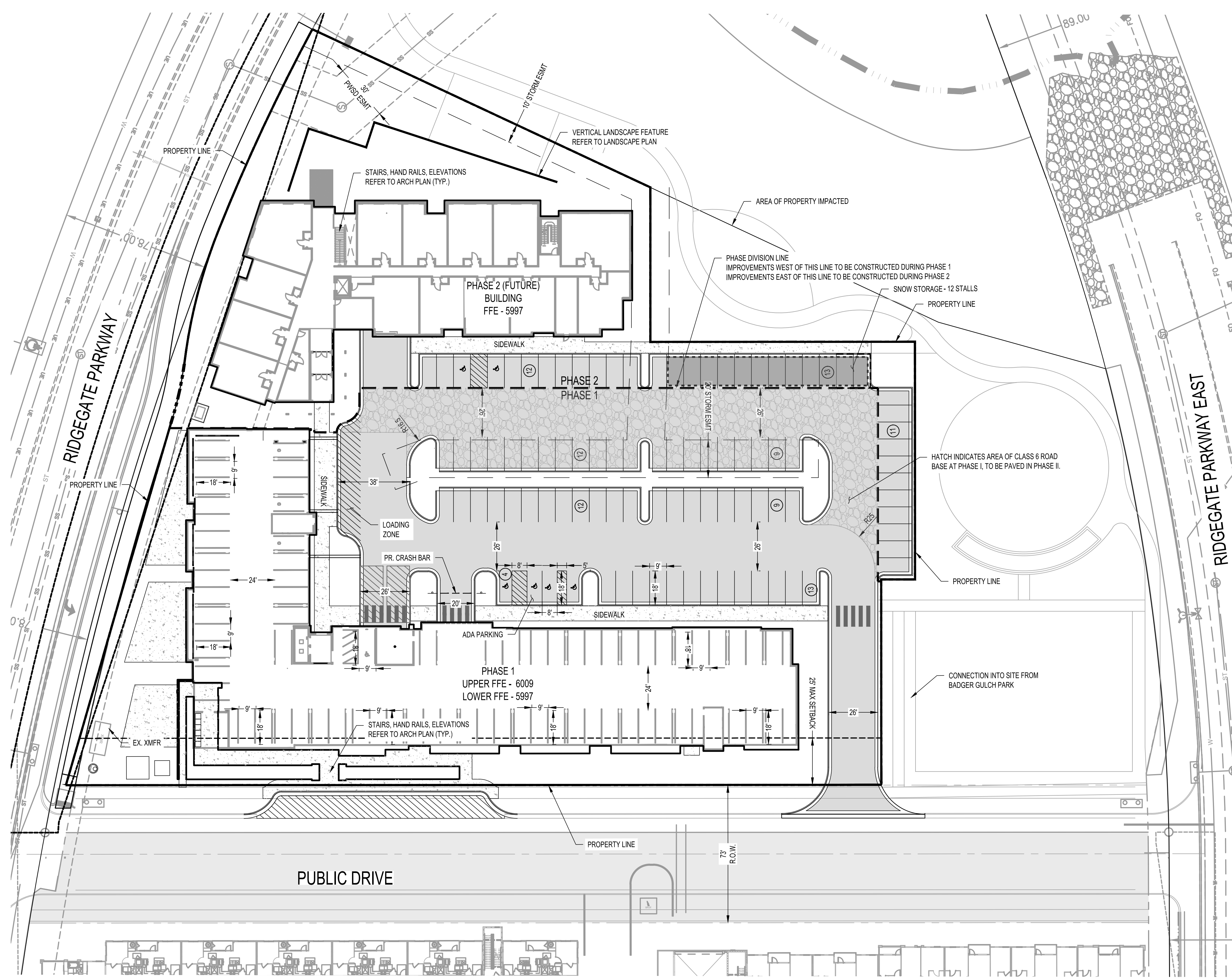
ORIGINAL SCALE: 1"=30' HORIZ.

PLAN TRUE

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



SITE DATA TABLE		
ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA		
Total Building Footprint		
Phase I	27,437.29	22.04%
PHASE II	16,104.14	12.94%
Parking/Roads	35,944	28.88%
Landscaped/Hardscaped Area		
Landscaped Area	12,844	10.32%
Hardscape Area	7419.44	5.96%
Lawn/Turf Area	16,166.49	12.99%
Native Seed Area	8,560	6.88%
Natural Area Retained	N/A	N/A
BUILDING SIZE		
Total Floor Area		
PHASE I	130,468	N/A
PHASE II	74,861	N/A
PARKING		
	REQUIRED	PROVIDED
Standard Spaces	79	158
Accessible Spaces	4	7
Bicycle Spaces	4	4
Delivery/Loading Spaces	1	2

PARKING CALCULATION TABLE			
	NUMBER OF UNITS/TOTAL SF	REQUIRED PARKING (Per unit or sf.)	TOTAL REQUIRED (Per use type)
Use Type - Residence, Senior Adult Housing	165	1.5 SPACES PER DEWELLING UNIT, PLUS 0.5 GUEST SPACES PER UNIT	330 STALLS
# of Employees on Max. Shift	3		
Use Type B			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type C			
# of Employees on Max. Shift	N/A	N/A	N/A
Use Type D			
# of Employees on Max. Shift	N/A	N/A	N/A
		TOTAL PARKING REQUIRED	330 STALLS
	PERCENTAGE REDUCTION (if applicable)	0.5 SPACES PER DEWELLING UNIT	83 STALLS
		TOTAL PARKING PROVIDED	165 STALLS

- NOTE:
- SNOW STORAGE TO OCCUR AT TWELVE PARKING STALLS. SNOW STORAGE IS ALLOWED TO OCCUR WITHIN STALLS ABOVE THE MINIMUM OBLIGATION PER SECTION 18-28-130 (2) B OF LONE TREE MUNICIPAL CODE
 - SNOW SHALL NOT BE PLACED IN THE PLACED IN THE PUBLIC RIGHT OF WAY.

LEGEND

EXISTING	PROPOSED	
		ASPHALT
		SIDEWALK / CONCRETE
		BUILDING
		GRAVEL
		ASPHALT PATCH
		SOFTSCAPE
		COVERED PARKING
		GRAVEL DURING PH. 1
		PAVED DURING PH. 2
		TOP OF CURB
		FLOWLINE
		PAN
		SUBJECT BOUNDARY
		LOT LINE
		BUILDING SETBACK
		EASEMENT LINE
		RIGHT-OF-WAY (R.O.W.)
		STORM SEWER LINE
		SANITARY SEWER LINE
		SANITARY SERVICE LINE
		WATER LINE
		WATER SERVICE LINE
		WATER FIRE LINE
		GAS LINE
		TELEPHONE LINE
		ELECTRIC LINE
		OVERHEAD ELECTRIC LINE
		ADA PARKING SYMBOL
		STORM SEWER INLET
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		TELECOMM MANHOLE
		LIGHT POLE
		POWER POLE
		FIRE HYDRANT
		WATER VALVE
		FLARED END SECTION
		ELECTRICAL BOX
		GAS METER
		TELEPHONE PEDESTAL/BOX
		FENCE
		PROPERTY CORNER
		MAJOR CONTOUR
		MINOR CONTOUR
		ADA ACCESS ROUTE
		SPOT ELEVATION TRUNCATION
		PARKING STALL COUNT

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

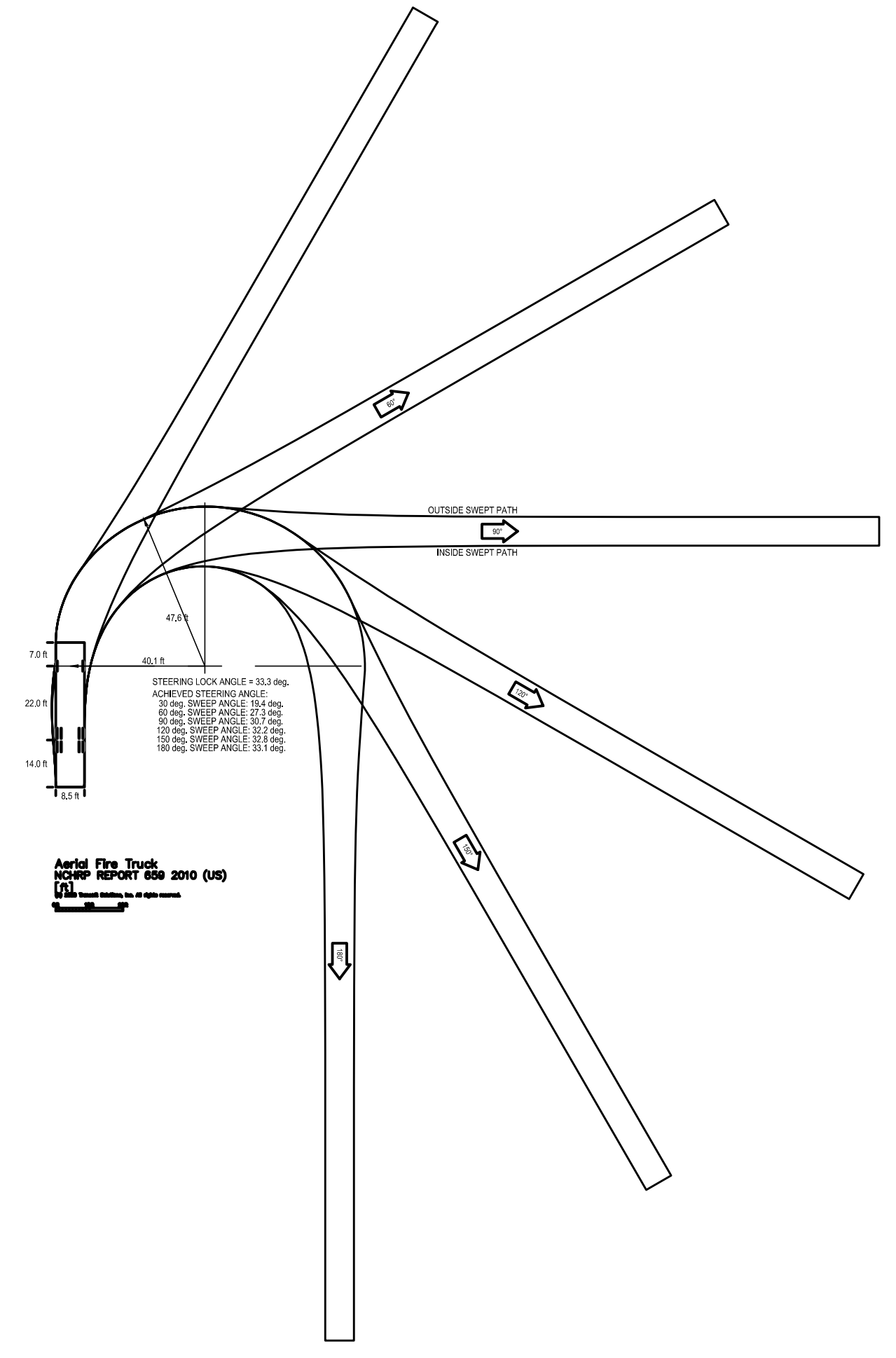
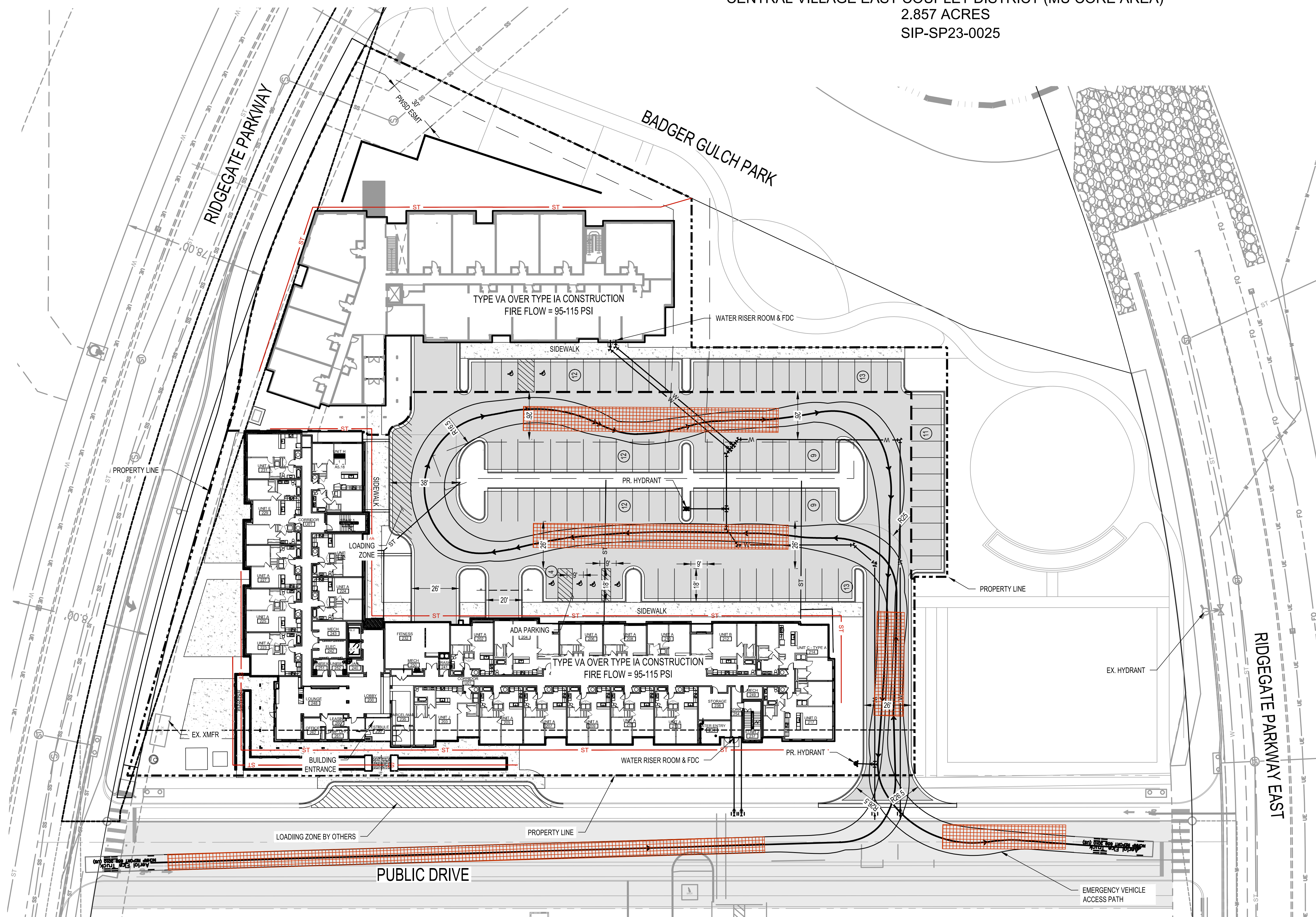
ORIGINAL SCALE: 1"=30' HORIZ.

PLAN TRUE

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

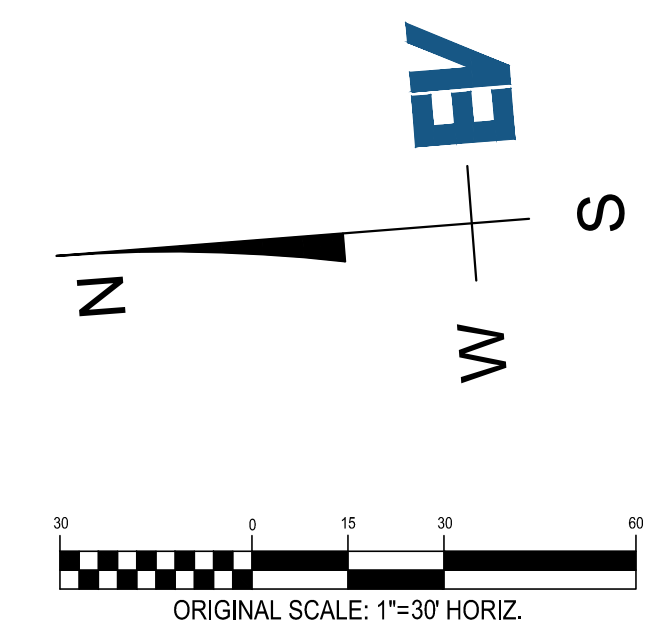


1. "NO PARKING, FIRE LANE" SIGN



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

EXISTING	PROPOSED	
		HYDRANT
		GRADE SLOPE
		MAJOR CONTOUR
		MINOR CONTOUR
		ACCESS AREA
		WALKABLE ACCESS AREA



PLAN TRUE

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

FIRE TURNING RADII C4.0

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SPXX-XX

LEGEND

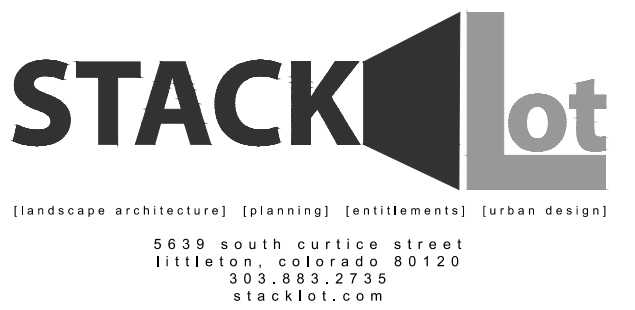
- DECIDUOUS TREES
- ORNAMENTAL TREES
- SHRUBS
- ORNAMENTAL GRASSES
- Ground Covers**
 - NATIVE SEED W/ EROSION CONTROL BLANKET
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE
 - MIX RATIO: SEEDING RATE - 20lbs/acre
10% ALKALI SACATON - Sporobolus airoides
10% INLAND SALTGRASS - Distichlis spicata
10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana
10% PRAIRIE CORDGRASS - Spartina pectinata
10% SLENDER WHEATGRASS - Elymus trachycalus spp.
10% WESTERN WHEATGRASS - Pascopyrum smithii
10% FOWL MANNAGRASS - Glyceria striata
10% HARDSTEM BULRUSH - Scirpus acutus
10% BALTIC RUSH - Juncus balticus
10% CREEPING SPIKERUSH - Eleocharis palustris
 -
 -
 -
 - HARDWOOD MULCH: DARK BROWN
 - STEEL EDGING WITH PROTECTIVE CAP
 -

PLANT LIST

QUAN.	SYM.	COMMON/BOTANICAL NAME	INSTALLED SIZE	COND.
DECIDUOUS TREES				
5	eo	ENGLISH OAK <i>Quercus robur</i>	2 1/2" CAL. SINGLE TRUNK	B & B
4	sh	GREENSPIRE LINDEN <i>Tilia cordata</i> 'Greenspire'	2 1/2" CAL. SINGLE TRUNK	B & B
5	swo	SWAMP WHITE OAK <i>Quercus bicolor</i>	2 1/2" CAL. SINGLE TRUNK	B & B
5	kc	KENTUCKY COFFEETREE <i>Gymnocladus dioica</i>	2 1/2" CAL. SINGLE TRUNK	B & B
ORNAMENTAL TREES				
6	rjc	RED JEWEL CRABAPPLE <i>Malus sp.</i> 'Red Jewel'	2" CAL. SINGLE TRUNK	B & B
12	stg	SKY TOWER GINKGO <i>Ginkgo biloba</i> 'JN9'	2" CAL. SINGLE TRUNK	B & B
SHRUBS				
50	gc	GREEN MOUND ALPINE CURRANT <i>Ribes alpinum</i> 'Green Mound'	5 GAL.	CONT.
9	pbp	PINK BEAUTY POTENTILLA <i>Potentilla fruticosa</i> 'Pink Beauty'	5 GAL.	CONT.
19	nm	NINEBARK MOUNTAIN <i>Physocarpus opulifolius</i>	5 GAL.	CONT.
18	thb	MOUNTAIN MAHOGANY <i>Cercocarpus ledifolius</i>	5 GAL.	CONT.
44	af	DOGWOOD ARCTIC FIRE <i>Cornus stolonifera</i> 'Farrow PP18523'	5 GAL.	CONT.
21	gls	DWARF FRAGRANT SUMAC <i>Rhus aromatica</i> 'Gro-Low'	5 GAL.	CONT.
76	hm	ST. JOHN'S WORT <i>Hypericum frondosum</i> 'Sunburst'	5 GAL.	CONT.
34	ea	BURNING BUSH 'Dwarf Nana' <i>Eouonymus alata</i> 'Dwarf Nana'	5 GAL.	CONT.
16	bm	BLUE MIST SPIREA <i>Caryopteris x clandonensis</i> 'First Choice'	5 GAL.	CONT.
9	dr	DWARF RUSSIAN SAGE <i>Perovskia artilifolia</i>	5 GAL.	CONT.
35	rc	ROCKSPRAY COTONEASTER <i>Cotoneaster horizontalis</i>	5 GAL.	CONT.
90	ct	CREEPING THYME <i>Thymus praecox</i>	5 GAL.	CONT.
53	mn	TALLHEDGE COLUMNAR BUCKTHORN <i>Rhamnus frangula</i> 'Columnaris'	6' HT. MIN.	CONT.
GROUND COVER / GRASSES / PERENNIALS / ANNUALS				
230	kfg	FEATHER REED GRASS <i>Calamagostis acutiflora</i> 'Karl Foerster'	1 GAL.	CONT.
69	pmg	PURPLE MAIDEN GRASS <i>Miscanthus sinensis</i> 'Purpurascens'	1 GAL.	CONT.
84	dfg	DWARF FOUNTAIN GRASS <i>Pennisetum alopecuroides</i> 'Hameln'	1 GAL.	CONT.

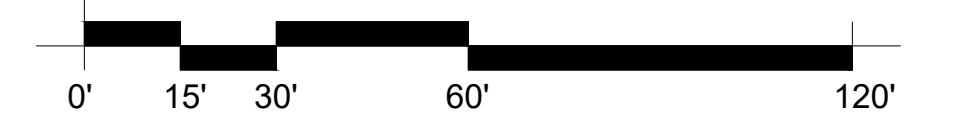
GENERAL NOTES:

- ALL TREES SHALL BE PLANTED A MINIMUM OF 8' FROM WATER AND SANITARY SEWER MAIN LINES.
- PHASING: DURING CONSTRUCTION, ALL PHASE 2 AREAS THAT ARE DISTURBED WILL BE ESTABLISHED AND SEEDING WITH THE NATIVE MIX FOR EROSION CONTROL AND AESTHETIC PURPOSES. PHASE 2 NATIVE GRASSES WILL BE MAINTAINED UNTIL COMMENCEMENT OF PHASE 2 CONSTRUCTION.
- ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION.
- ALL MULCH AND/OR ROCK COBBLE SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS.
- THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED.



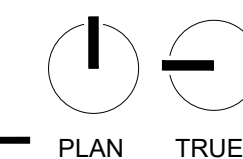
B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921



PREPARATION DATE: 09.08.23

NO.	DATE	DESCRIPTION
1	07/14/2023	SIP SUBMITTAL #1
2	09/08/2023	SIP SUBMITTAL #2
3	9/11/2023	SIP SUBMITTAL #3



GENERAL LANDSCAPE NOTES:

RIDGEGATE SENIOR HOUSING

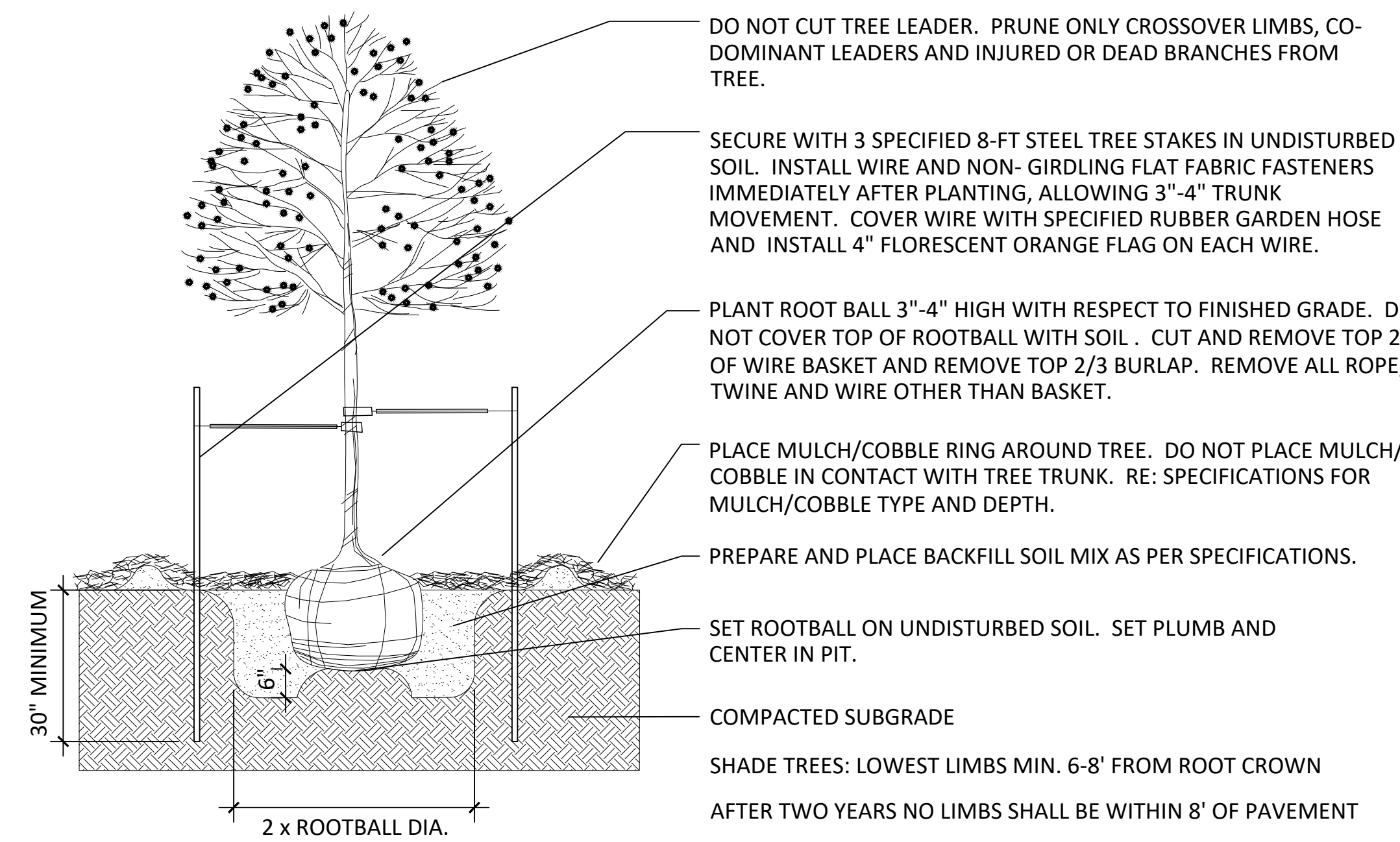
RIDGEGATE EAST FILING NO. 4, LOT 3

CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)

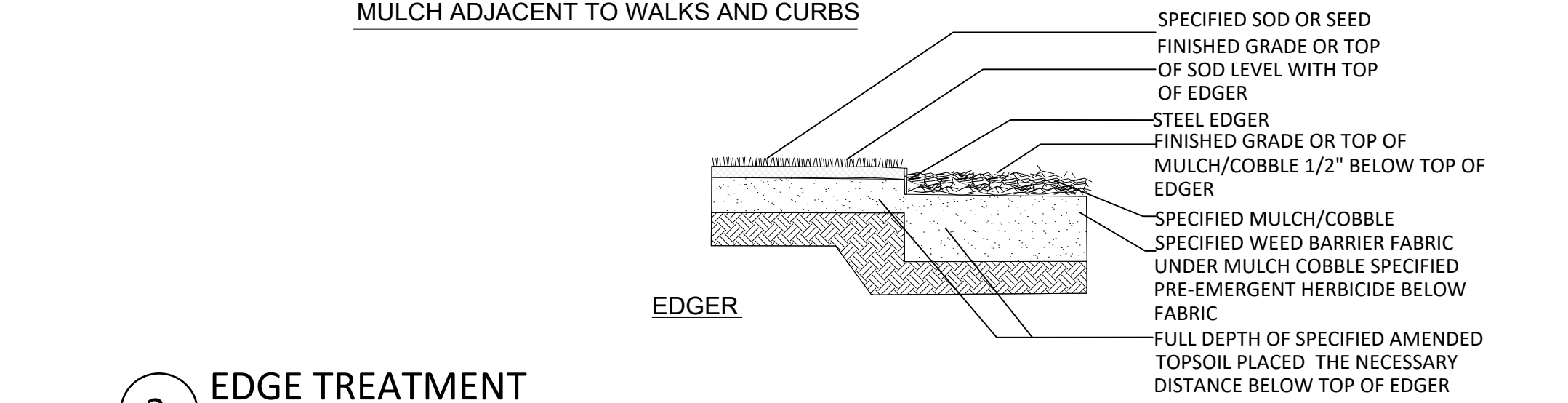
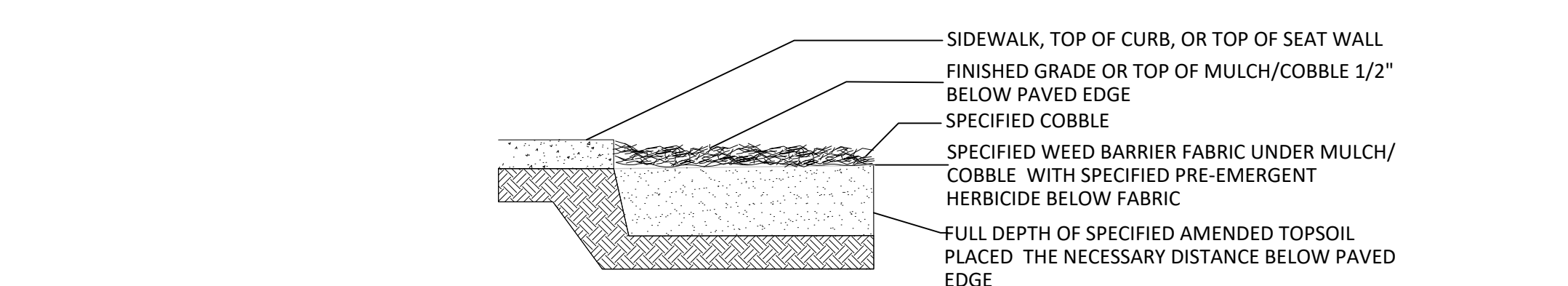
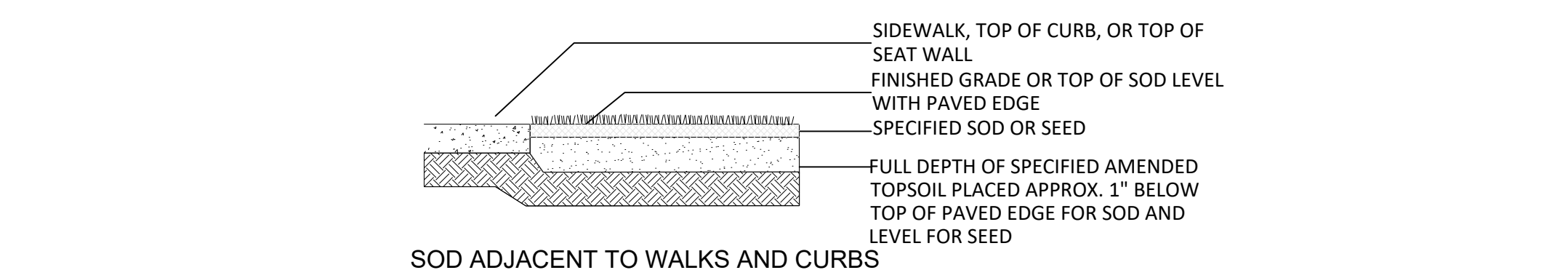
2.857 ACRES

SIP-SPXX-XX

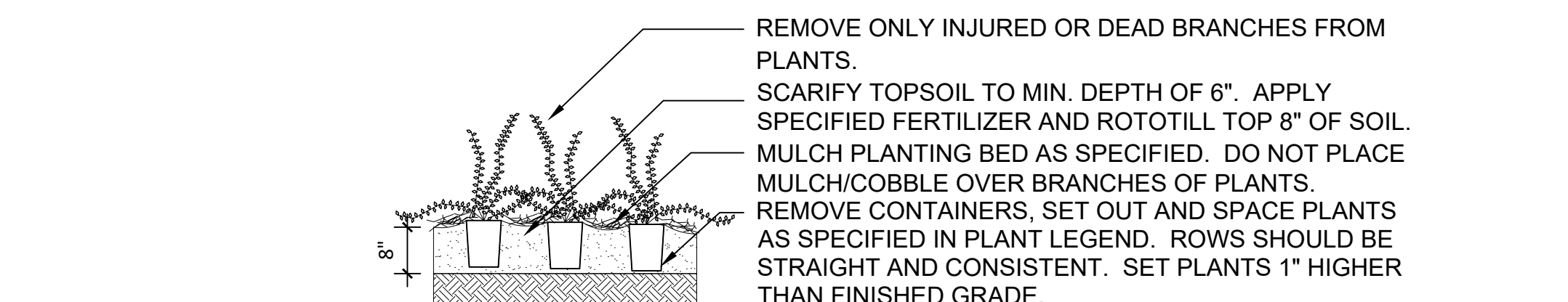
1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER, GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO LANDSCAPE INSTALLATION.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY. ALL PLANTS TO BE ON THE TOWN OF SUPERIOR PLANT LIST AND RECEIVE TOWN APPROVAL THROUGH A TOWN FIELD CHANGE ORDER PROCESS
5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ENTIRE WIRE BASKET SHALL BE REMOVED PRIOR TO PLANTING. BACKFILL SHALL BE THOROUGHLY WATERED ONCE AGAIN.
10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUNK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
12. COMMERCIAL GRADE 3/8" INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. EDGING TO HAVE A ROLLED TOP. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURERS RECOMMENDATIONS.
13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. USE SHREDDED CEDAR MULCH AROUND ALL NEWLY PLANTED TREES AND SHRUBS WITHIN 'TREE SAUCERS'.
15. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF ALL PROPOSED ROCK AND OTHER MULCH'S PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT WILL REVIEW AND PROVIDE WRITTEN APPROVAL PRIOR TO INSTALLATION.
16. PLACE A MINIMUM OF FOUR INCHES OF ROCK AND MULCH MATERIAL IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS. ALL MULCH AREAS SHALL INCLUDE WEED FABRIC IN THE PLANTING BEDS. PERENNIAL AND GROUND COVER BEDS EXEMPT.
17. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
18. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
19. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
20. ALL TREES AND PLANT MATERIAL IS TO BE PRE-SELECTED AND TAGGED BY OWNER AND THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO STAGING AND INSTALLATION.
21. PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES SHALL BE SAFE AND CLEARLY MARKED THROUGHOUT THE CONSTRUCTION PROCESS.
22. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE PLANS BEFORE PRICING THE WORK.
23. CONTRACTOR SHALL PROVIDE TWELVE INCHES OF NEW TOPSOIL AT ALL PLANTING BEDS AND 6 INCHES OF NEW TOPSOIL AT ALL TURF AREAS AND SEED LOCATIONS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. CONTRACTOR SHALL REVIEW AND FOLLOW RECOMMENDATIONS OUTLINED IN THE SOIL, WATER AND PLANT LAB REPORT PROVIDED BY COLORADO STATE UNIVERSITY DATED 3.16.2022 AS PROVIDED BY THE OWNER.
24. STANDARDS SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
25. PLANTS SHALL EXCEED THE MINIMUM SIZE AT PLANTING REQUIREMENTS NOTED ON THE PLANS, REGARDLESS OF THE SIZE OF THE CONTAINER. NO EXCEPTIONS. PREPARE BIDS BASED ON THE PLANT SIZE, NOT THE CONTAINER SIZE. A LARGER CONTAINER SIZE PLANT MAY BE REQUIRED TO MEET THE PLANT SIZE MINIMUMS. NO COST ADJUSTMENTS WILL BE ALLOWED FOR USE OF LARGER CONTAINER PLANTS. MEASUREMENTS SHALL BE MADE WITH THE PLANT IN A NATURAL, UNSUPPORTED POSITION.
26. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
27. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST.
28. ALL PLANT MATERIAL SHALL FULFILL SPECIFICATIONS AND MEET OR EXCEED SIZES SPECIFIED IN PLANT LIST.
29. CONTRACTOR IS RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
30. ALL EXISTING TREES AND SHRUBS THAT ARE TO REMAIN SHALL BE PROTECTED BY TEMPORARY FENCING PLACED AT THE DRIP LINE AND BE PROPERLY MAINTAINED DURING CONSTRUCTION. NO EQUIPMENT MAY BE DRIVEN OR PARKED WITHIN THE DRIP LINE OF ANY TREE, UNLESS THE TREE OVERHANGS A PAVED PARKING AREA OR TRAFFIC LANE.
31. LANDSCAPE AREAS NOT SHOWN WITH NEW LANDSCAPE WHICH ARE DISTURBED SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
32. ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, SOILS, IRRIGATION, UTILITY AND GRADING SYSTEMS ARE NOT A PART OF THIS LANDSCAPE SET. REFER TO OTHER DRAWINGS FOR THESE ITEMS.
33. ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION.
34. ALL MULCH AND/OR ROCK COBBLE SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS.
35. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED.



1 TREE PLANTING DETAIL NOT TO SCALE

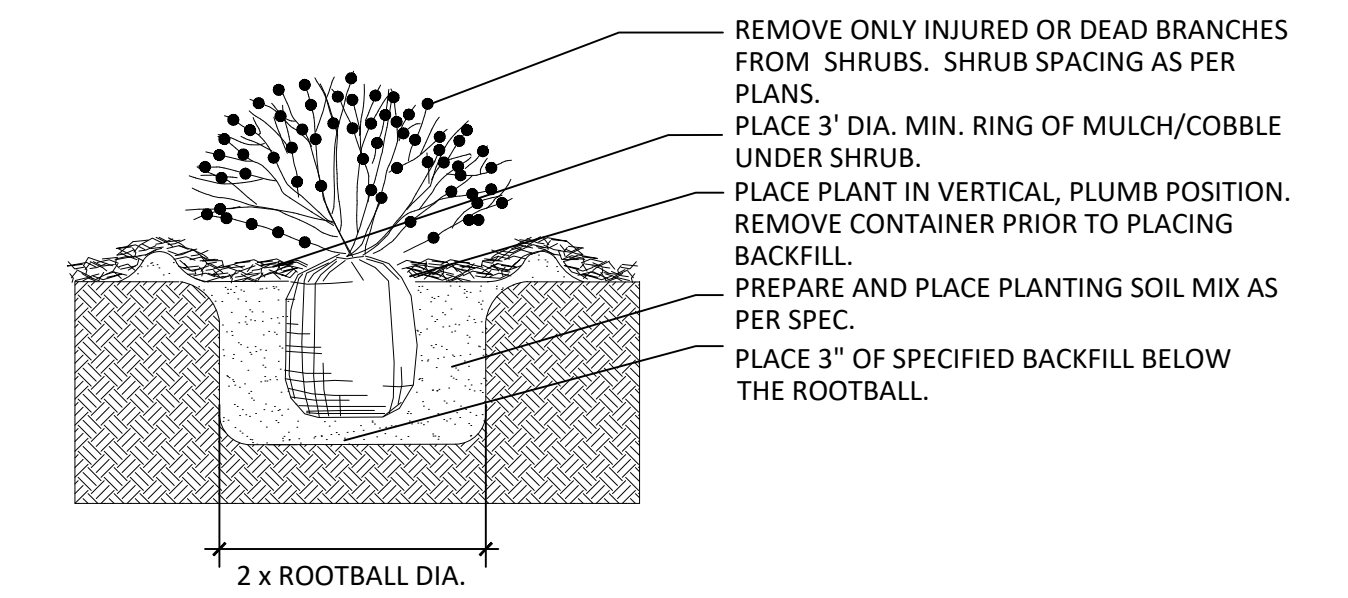


3 EDGE TREATMENT NOT TO SCALE



PLANT SPACING	A	B	C	D
6"	6"	6"	5"	6"
8"	8"	6"	7"	8"
12"	12"	6"	10"	12"
18"	18"	8"	15"	18"
24"	24"	18"	20"	24"
30"	30"	18"	26"	30"
36"	36"	24"	31"	36"
48"	48"	24"	41"	48"

4 ORNAMENTAL GRASS / SHRUB SPACING NOT TO SCALE



2 SHRUB PLANTING NOT TO SCALE

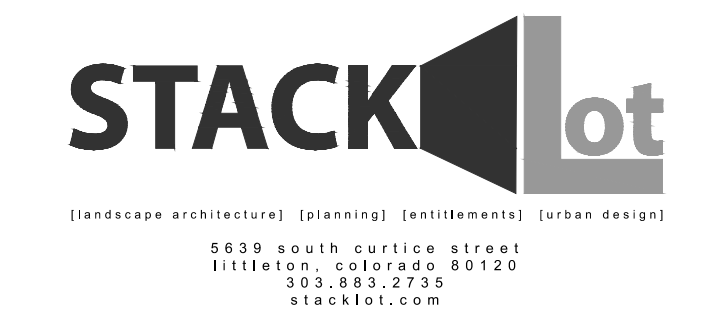
PERFORMANCE GUARANTEE:

ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.

ANY PLANT MATERIAL THAT DIES PRIOR TO THE ACCEPTANCE OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH PLANT MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE TO FULFILL ALL PLANT LIST SPECIFICATIONS.

BOULDERS

43 TOTAL BOULDERS, MINIMUM: 3'-5' IN SIZE. BOULDERS ARE TO BE PRE-SELECTED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com



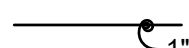
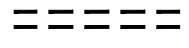






CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	07/14/2023	SIP SUBMITTAL #1
2	09/08/2023	SIP SUBMITTAL #2
3	9/11/2023	SIP SUBMITTAL #3

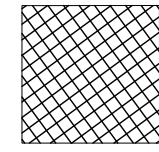
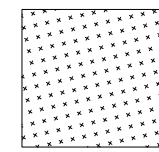
RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SPXX-XX

LEGEND

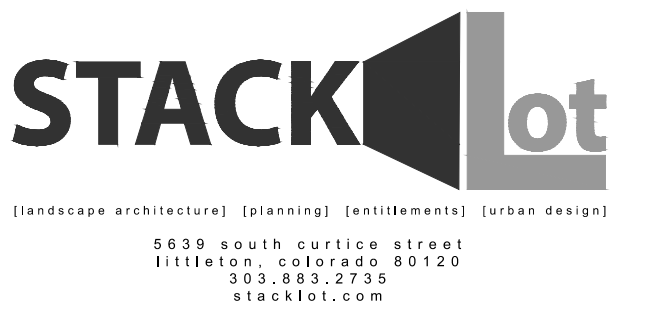
-  ELECTRIC REMOTE VALVE - RAINBIRD PEB
-  2" IRRIGATION MAINLINE - CONTRACTOR TO CONFIRM SIZE, CAPACITY AND LOCATION
-  IRRIGATION LATERAL LINE - CLASS 200 IRRIGATION LATERAL LINE DIA. SIZE
-  IRRIGATION SLEEVE - 40 SCHEDULE
-  24 STATION RAINBIRD ESP-LXME
-  RAIN BIRD WR2 RAIN / FREEZE SENSOR INSTALL ON ROOF OF BUILDING
-  RAIN BIRD PGA ANGLE 2" ELECTRIC MASTER VALVE, ANGLE. INSTALL DOWNSTREAM OF BACKFLOW
-  POINT TO CONNECTION 3/4" FEBCO 825 YA SERIES - INSTALL IN A STL. CAGE ENCLOSURE W/IN LANDSCAPE AREA.
-  BACKFLOW PREVENTER
-  HOSE BIB

IRRIGATION DESIGN STRATEGY

HATCH	DESCRIPTION	TYPE	AREA
	SHRUB BEDS	POINT SOURCE DRIP	12,600 S.F.
	NATIVE GRASS	12' SPRAY HEADS	8,560 S.F.

GENERAL NOTES:

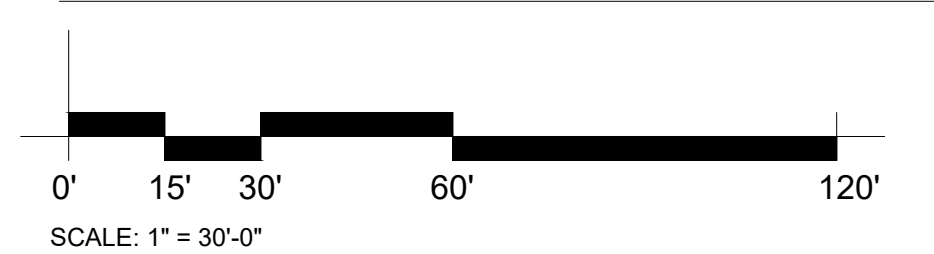
1. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 A.M.
2. ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING
3. PIPE AND / OR OTHER EQUIPMENT MAY BE SHOWN IN CONCRETE, ASPHALT, OR OFF-SITE FOR DIAGRAMMATIC PURPOSES. INSTALL ALL PIPE AND / OR EQUIPMENT ON-SITE AND IN LANDSCAPE AREAS, EXCEPT WHEN NECESSARY TO CROSS PARKING, DRIVES AND SIDEWALKS.
4. PERMANENT IRRIGATION SYSTEMS, ARE GENERALLY REQUIRED IN ALL CASES; HAND WATERING MAY BE USED FOR PLANTINGS IN FLOWERPOTS AND TEMPORARY IRRIGATION MAY BE USED FOR THE ESTABLISHMENT OF NATIVE GRASSES.
5. THIS IRRIGATION PLAN ASSUMES A STATIC, IRRIGATION PRESSURE OF 40 PSI. IF PRESSURE TESTS ARE BELOW 40 PSI, THEN AN IRRIGATION PUMP OR SEPARATE IRRIGATION TAP AND METER MAY BE REQUIRED. CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR EITHER AN IRRIGATION PUMP OR SEPARATE IRRIGATION METER AND TAP TO ACCOUNT FOR THESE ADDITIONAL COSTS AFTER PRESSURE TESTS ARE PERFORMED.



B F A D

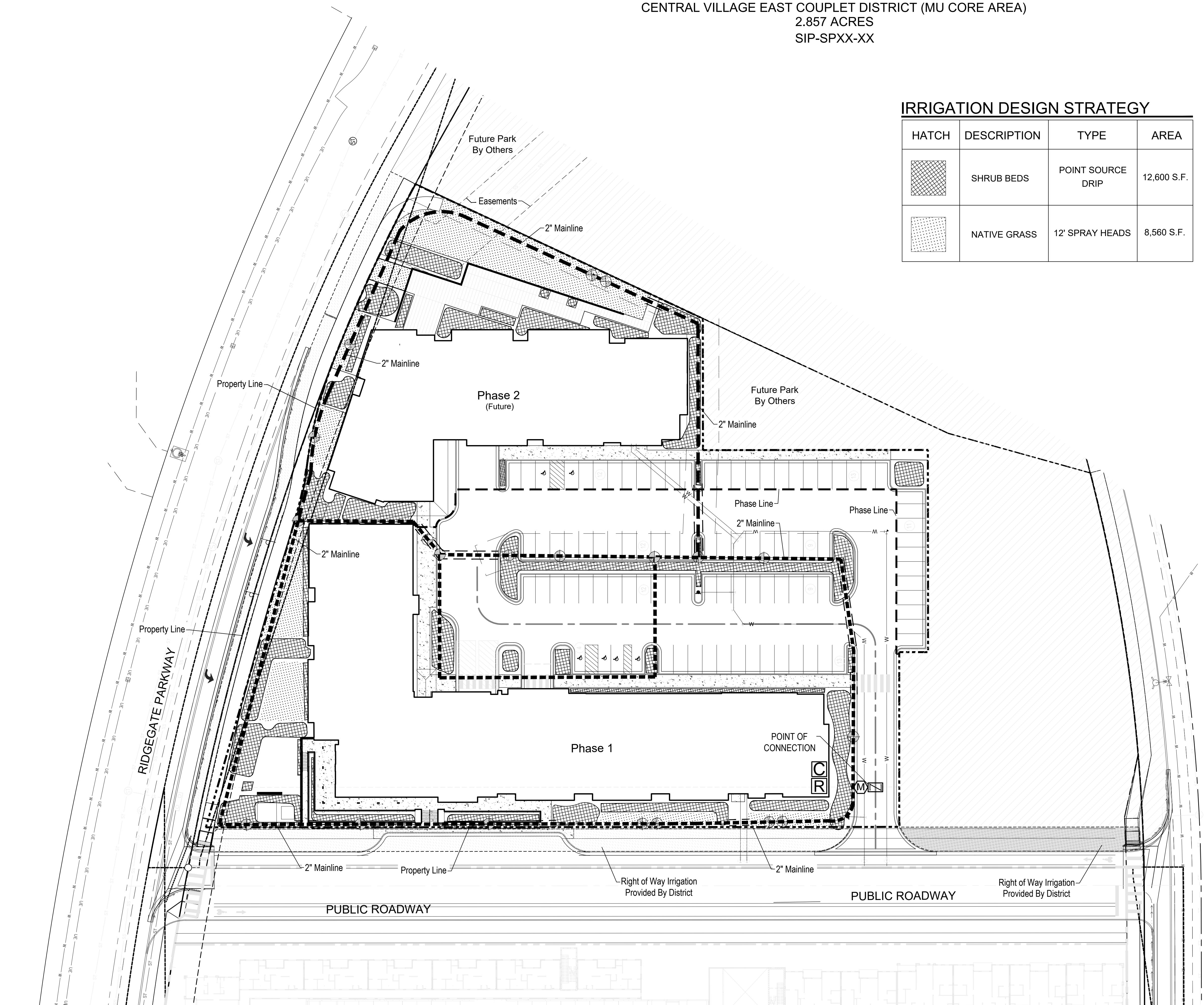
BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



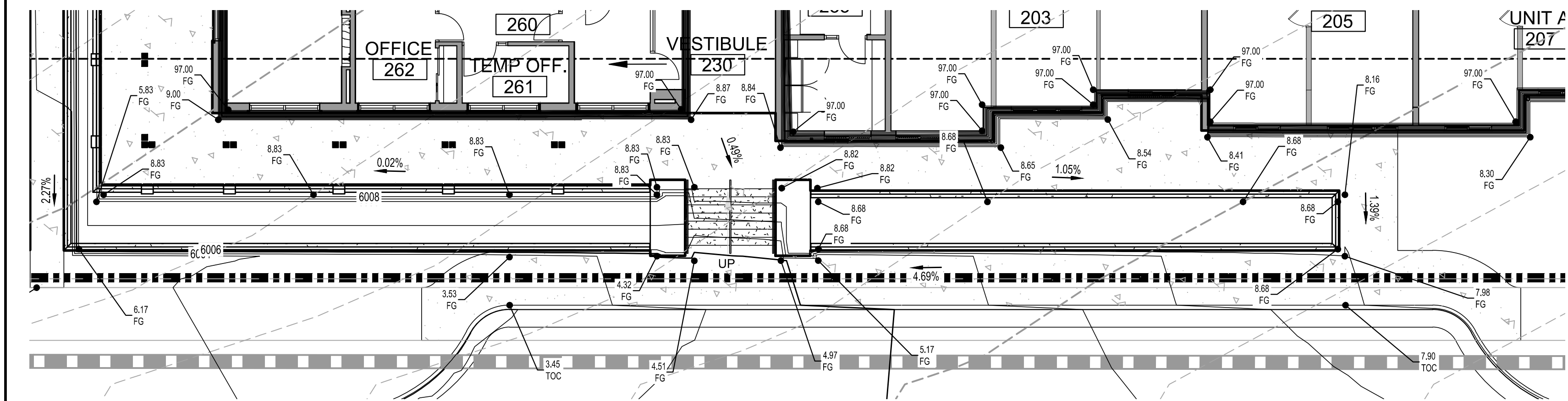
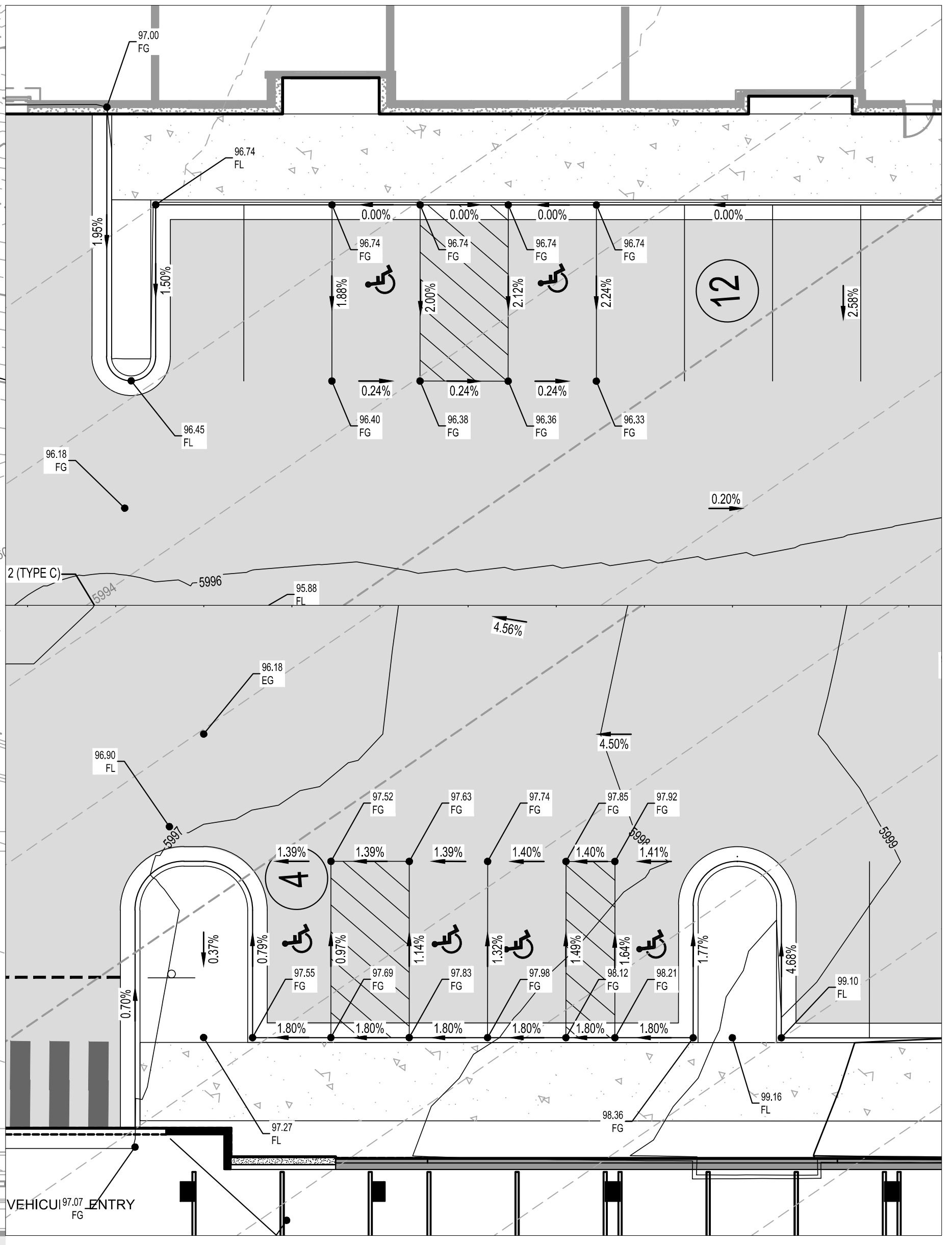
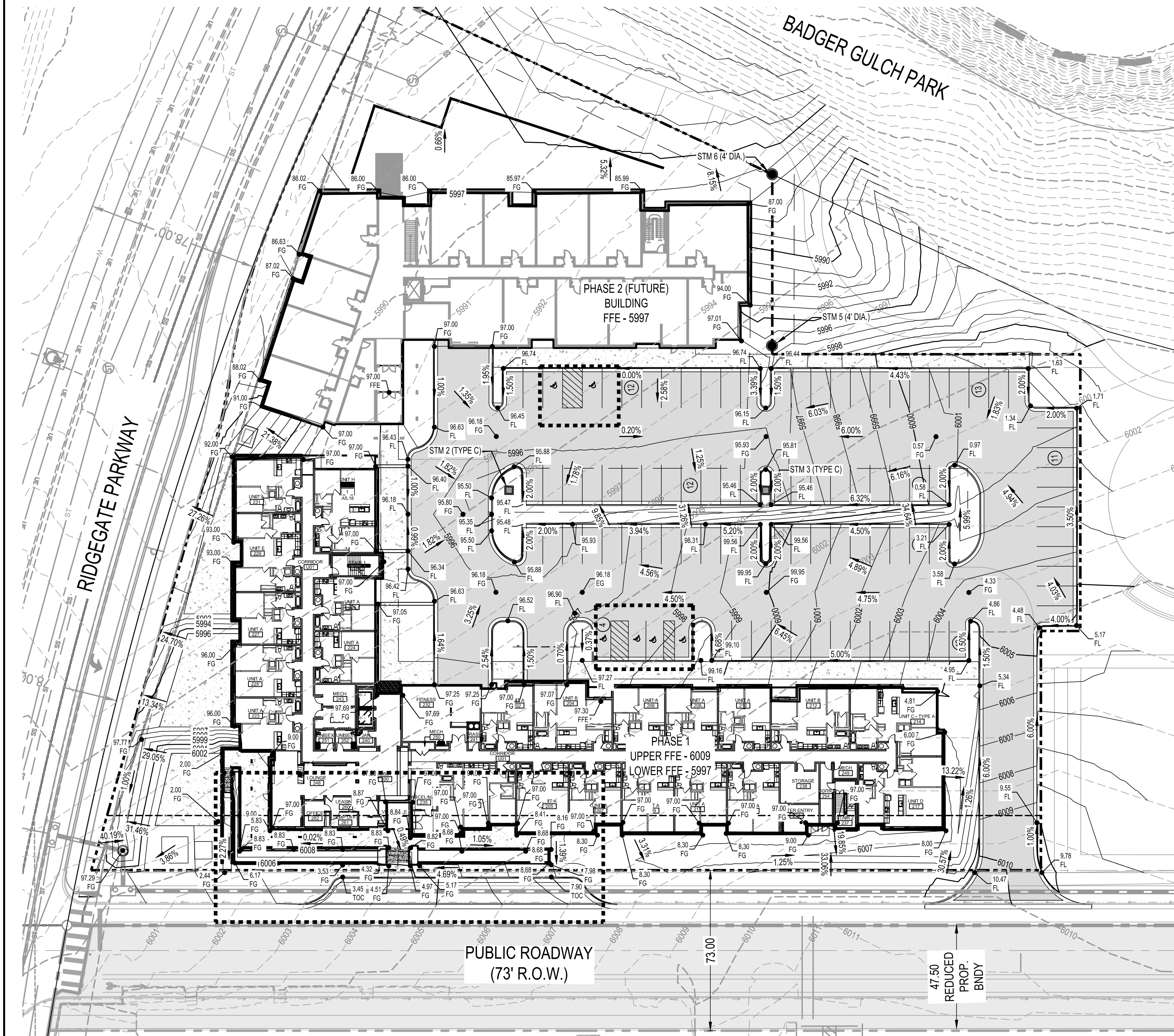
PREPARATION DATE: 08.03.23

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	07/14/2023	SIP SUBMITTAL #1
2	09/08/2023	SIP SUBMITTAL #2
3	9/11/2023	SIP SUBMITTAL #3



RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



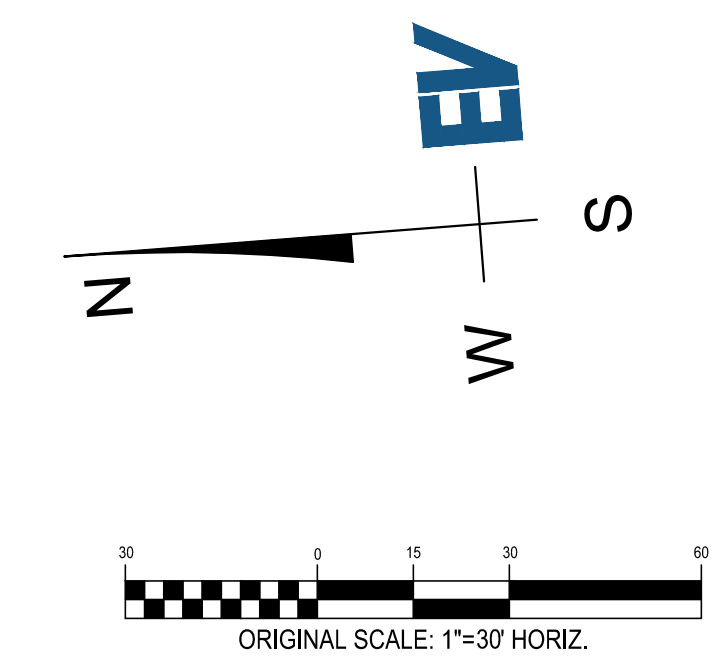
LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	STORM SEWER LINE
[Symbol]	[Symbol]	SANITARY SEWER LINE
[Symbol]	[Symbol]	SANITARY SERVICE LINE
[Symbol]	[Symbol]	WATER LINE
[Symbol]	[Symbol]	WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	GAS LINE
[Symbol]	[Symbol]	TELEPHONE LINE
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE: _____

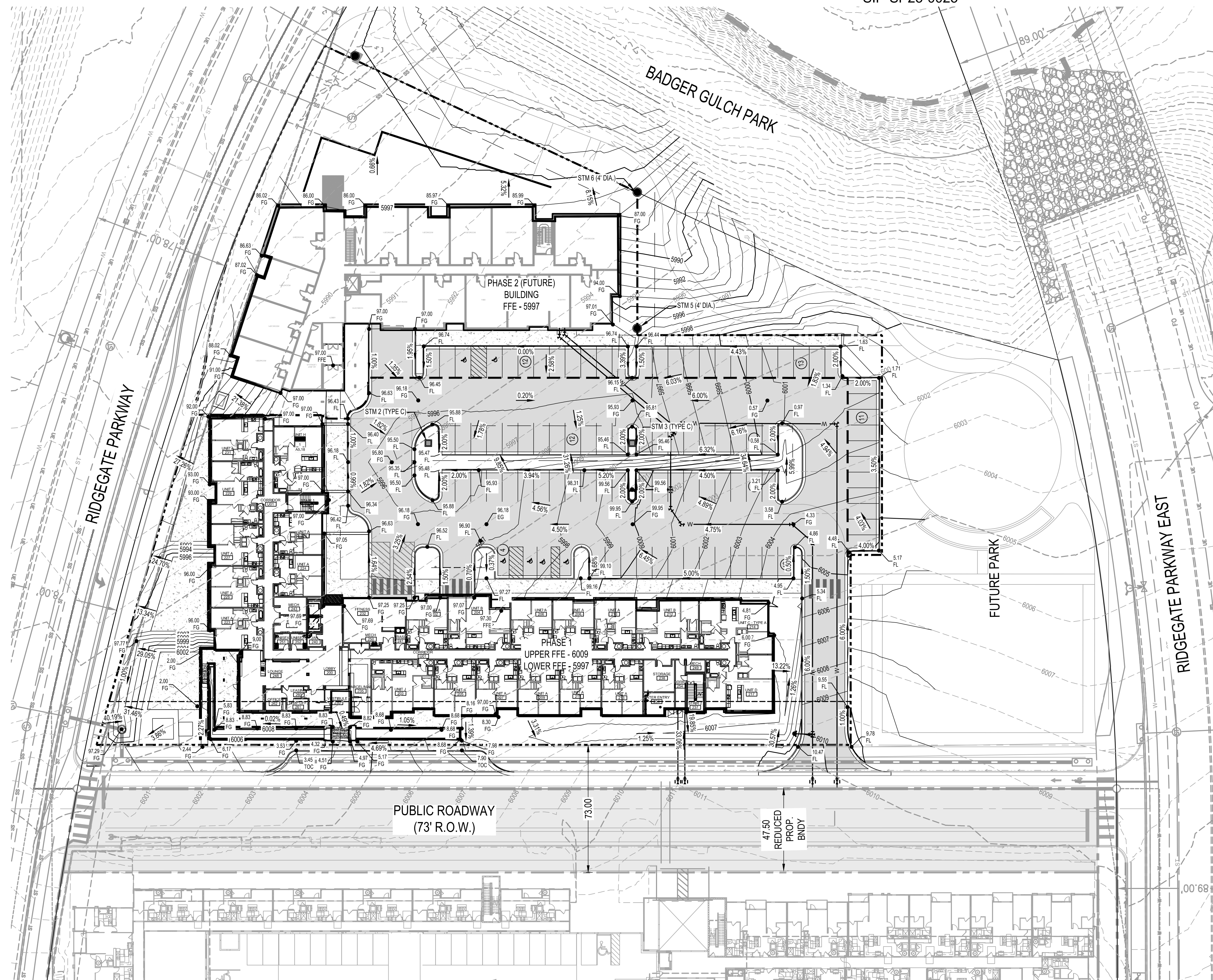
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

OVERALL GRADING C7.0

PLAN TRUE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



EXISTING	PROPOSED	
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST—ST STORM SEWER LINE
[Symbol]	[Symbol]	SS—SS SANITARY SEWER LINE
[Symbol]	[Symbol]	SAN SRV SANITARY SERVICE LINE
[Symbol]	[Symbol]	W—W WATER LINE
[Symbol]	[Symbol]	WTR SRV WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	G—G GAS LINE
[Symbol]	[Symbol]	T—T TELEPHONE LINE
[Symbol]	[Symbol]	E—E ELECTRIC LINE
[Symbol]	[Symbol]	OE—OE OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

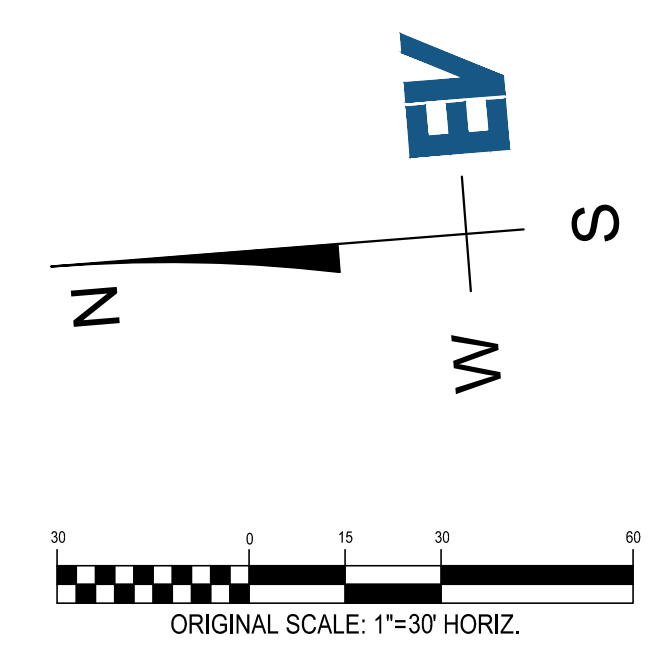
B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073

www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



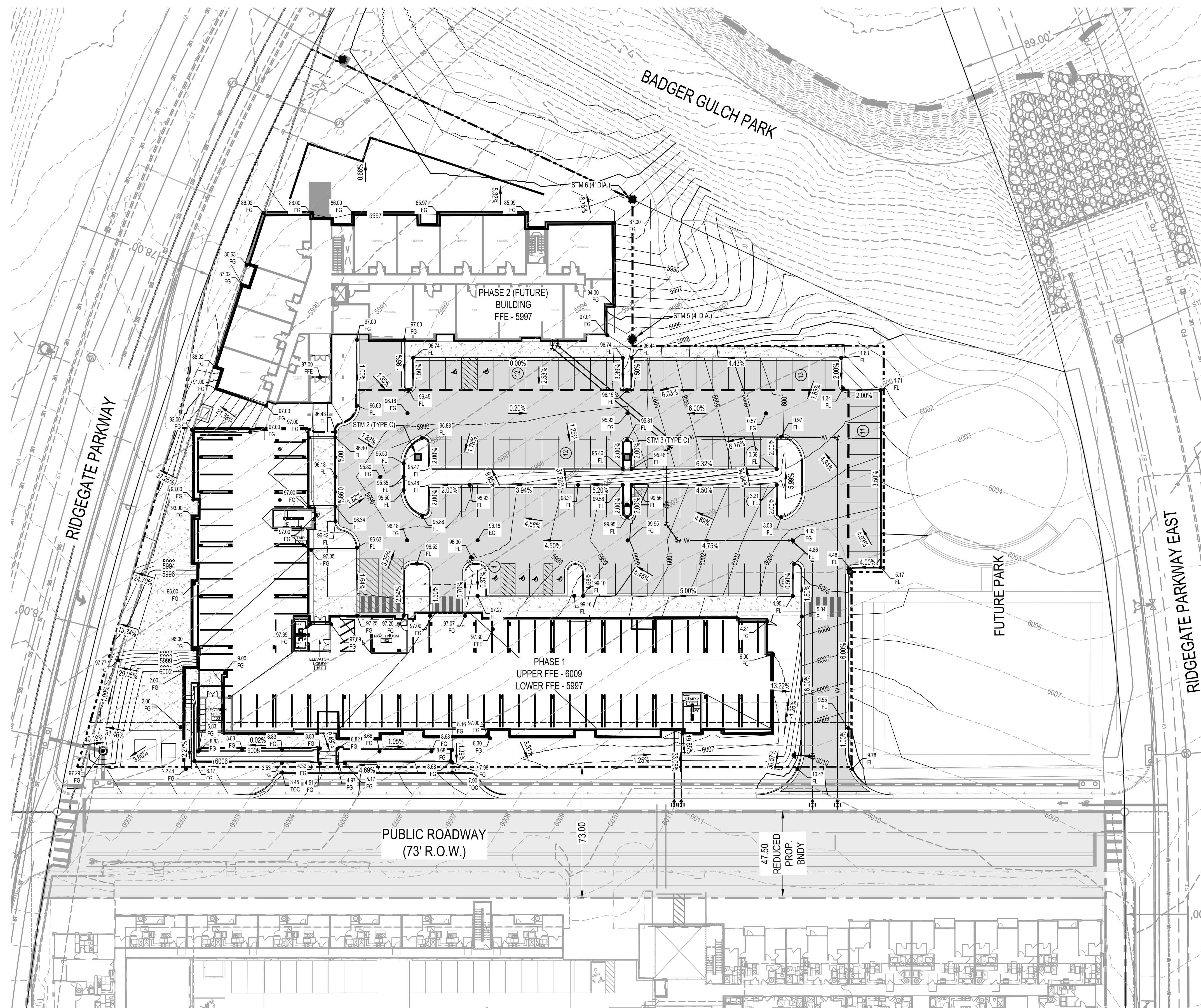
PLAN TRUE

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

FIRST FLOOR GRADING PLAN 1

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



LEGEND

EXISTING	PROPOSED	
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	STORM SEWER LINE
[Symbol]	[Symbol]	SANITARY SEWER LINE
[Symbol]	[Symbol]	SANITARY SERVICE LINE
[Symbol]	[Symbol]	WATER LINE
[Symbol]	[Symbol]	WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	GAS LINE
[Symbol]	[Symbol]	TELEPHONE LINE
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

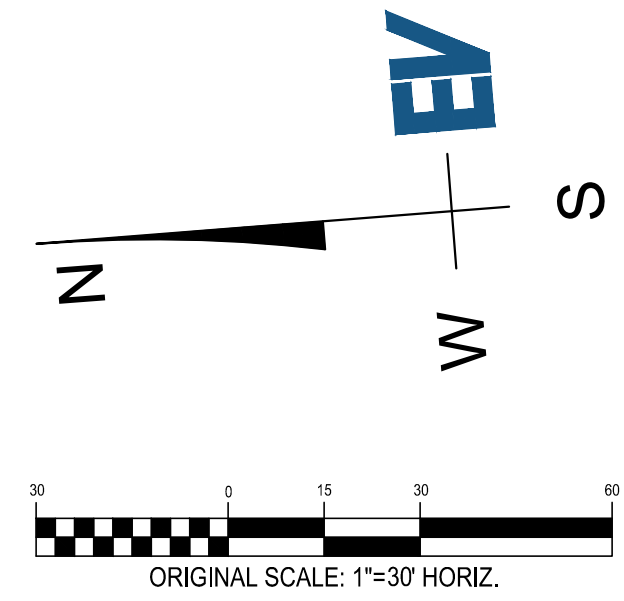
B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073

www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



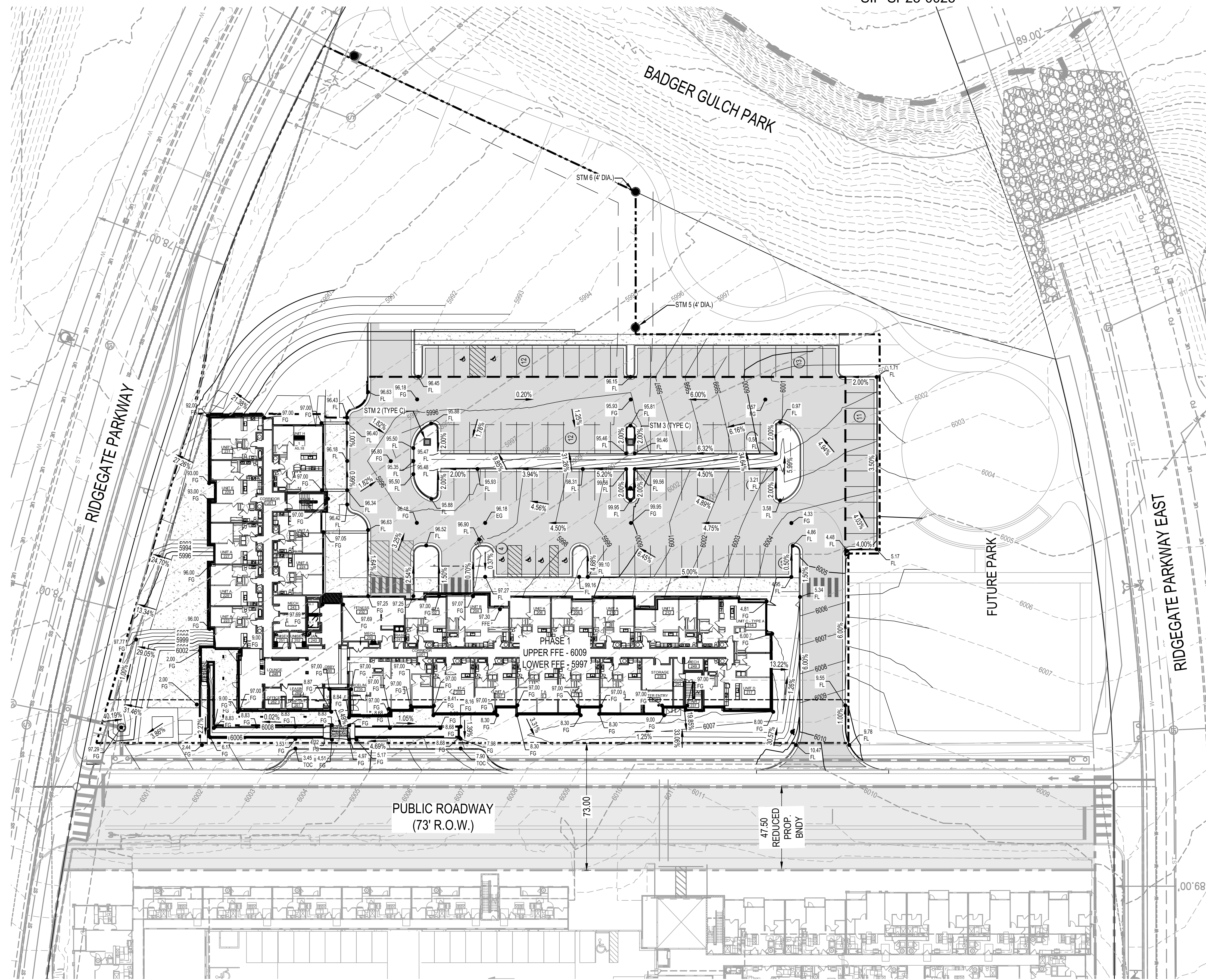
PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

PARKING GRADING PLAN C7.2

PLAN TRUE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



EXISTING	PROPOSED	
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST-STM STORM SEWER LINE
[Symbol]	[Symbol]	SS-SS SANITARY SEWER LINE
[Symbol]	[Symbol]	SAN SRV SANITARY SERVICE LINE
[Symbol]	[Symbol]	W-W WATER LINE
[Symbol]	[Symbol]	WTR SRV WATER SERVICE LINE
[Symbol]	[Symbol]	W-F WATER FIRE LINE
[Symbol]	[Symbol]	G-G GAS LINE
[Symbol]	[Symbol]	T-T TELEPHONE LINE
[Symbol]	[Symbol]	E-E ELECTRIC LINE
[Symbol]	[Symbol]	OE-OE OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT

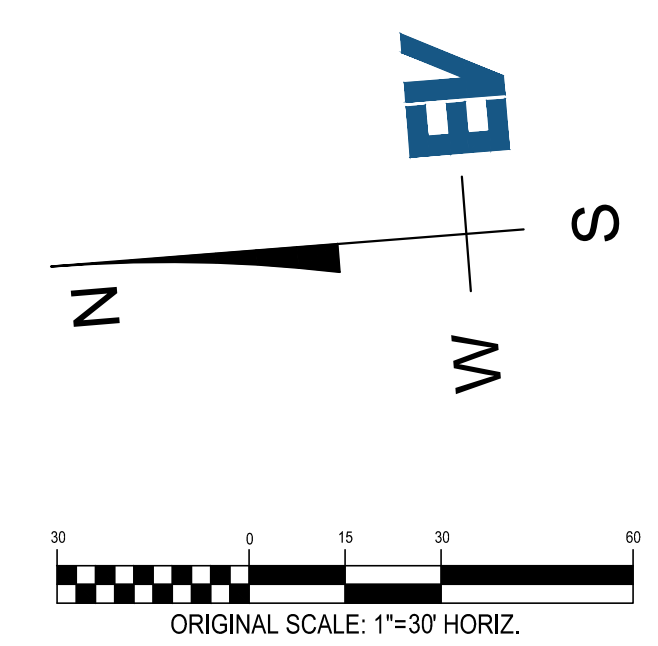
B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073

www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

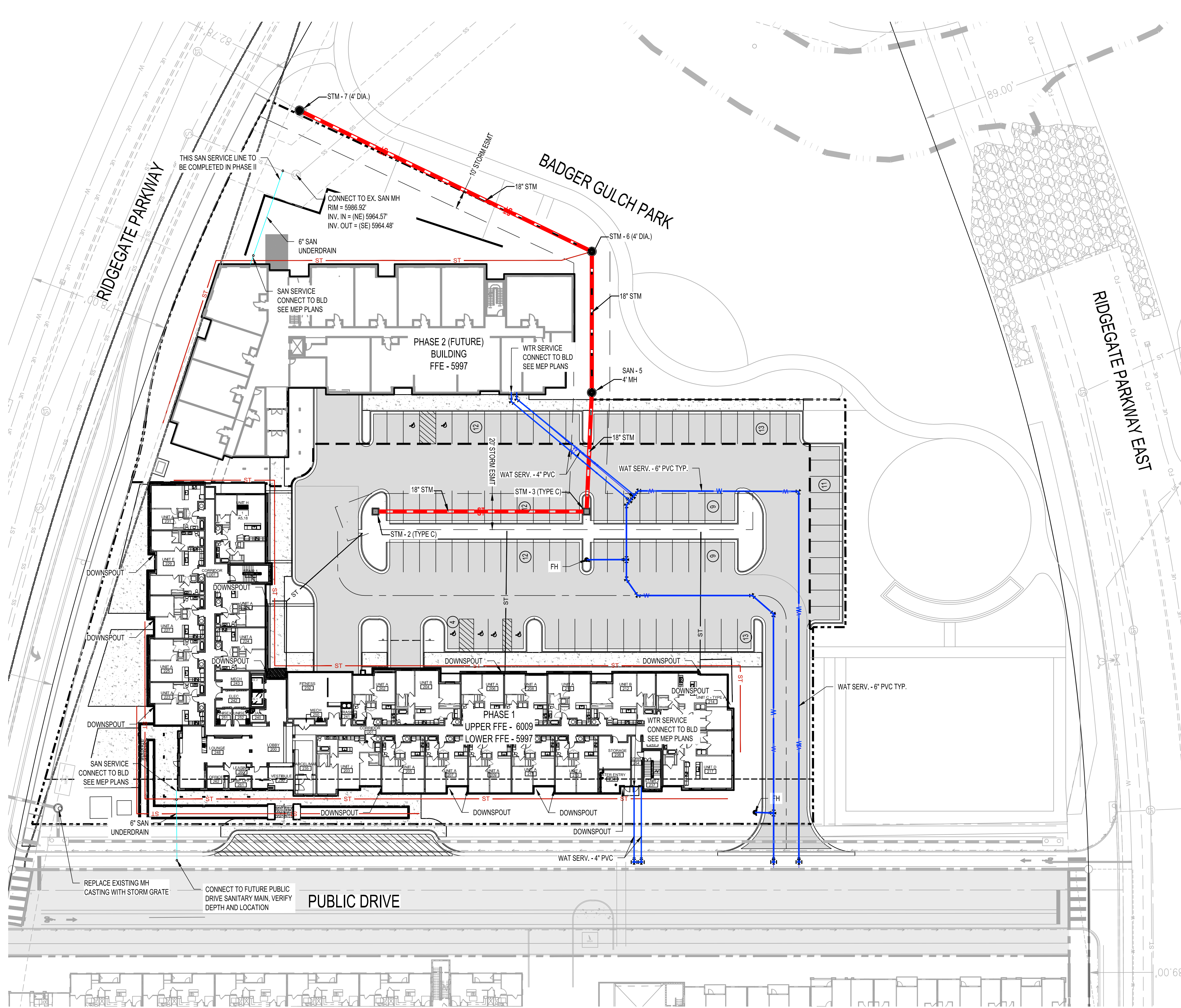


PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

PLAN TRUE

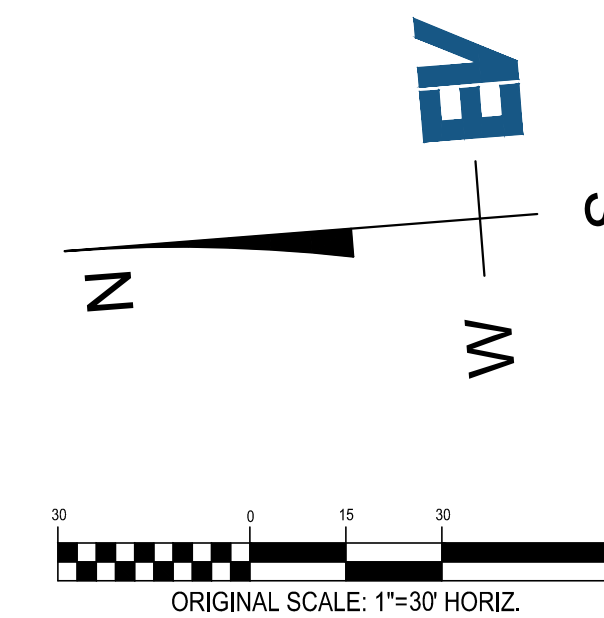
RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



LEGEND

EXISTING	PROPOSED	
[Pattern]	[Pattern]	ASPHALT
[Pattern]	[Pattern]	SIDEWALK / CONCRETE
[Pattern]	[Pattern]	BUILDING
[Pattern]	[Pattern]	GRAVEL
[Pattern]	[Pattern]	ASPHALT PATCH
[Pattern]	[Pattern]	SOFTSCAPE
[Pattern]	[Pattern]	COVERED PARKING
[Pattern]	[Pattern]	GRAVEL DURING PH. 1
[Pattern]	[Pattern]	PAVED DURING PH. 2
[Line]	[Line]	TOP OF CURB
[Line]	[Line]	FLOWLINE
[Line]	[Line]	PAN
[Line]	[Line]	SUBJECT BOUNDARY
[Line]	[Line]	LOT LINE
[Line]	[Line]	BUILDING SETBACK
[Line]	[Line]	EASEMENT LINE
[Line]	[Line]	RIGHT-OF-WAY (R.O.W.)
[Line]	[Line]	STORM SEWER LINE
[Line]	[Line]	SANITARY SEWER LINE
[Line]	[Line]	SAN SRV - SANITARY SERVICE LINE
[Line]	[Line]	W - WATER LINE
[Line]	[Line]	WTR SRV - WATER SERVICE LINE
[Line]	[Line]	WATER FIRE LINE
[Line]	[Line]	G - GAS LINE
[Line]	[Line]	T - TELEPHONE LINE
[Line]	[Line]	E - ELECTRIC LINE
[Line]	[Line]	OE - OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT



B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com

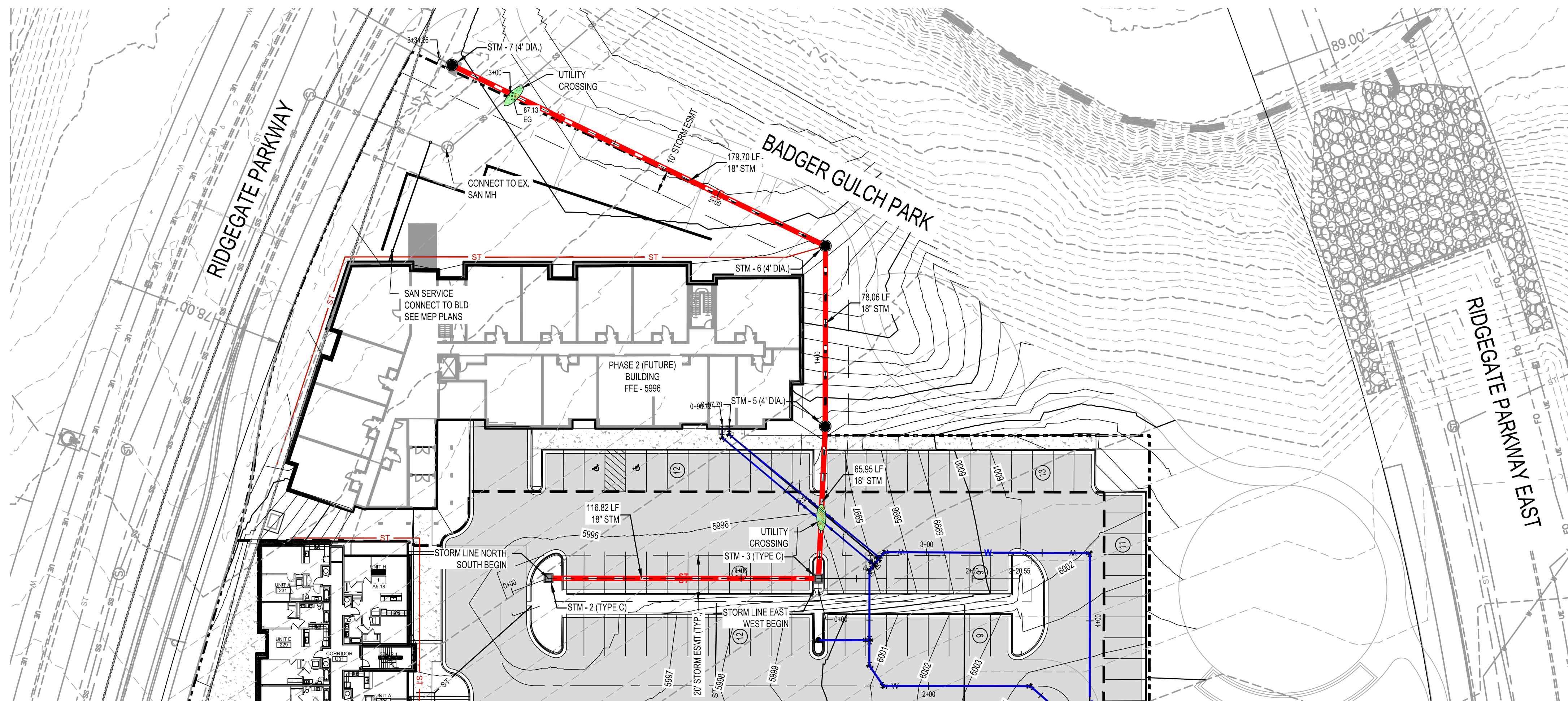
CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

PLAN TRUE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

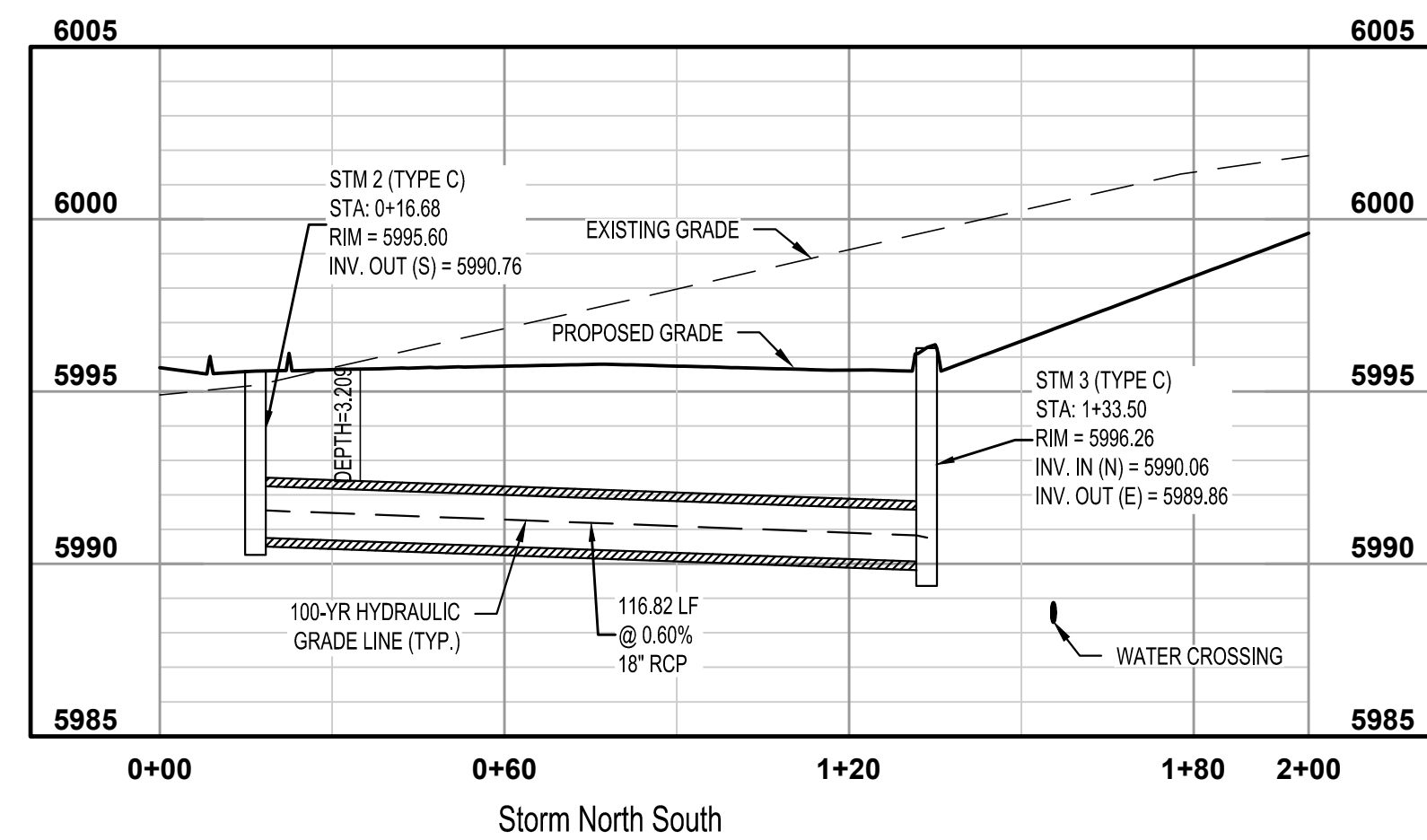


PLAN VIEW - STORM

HORIZONTAL 1" = 30'

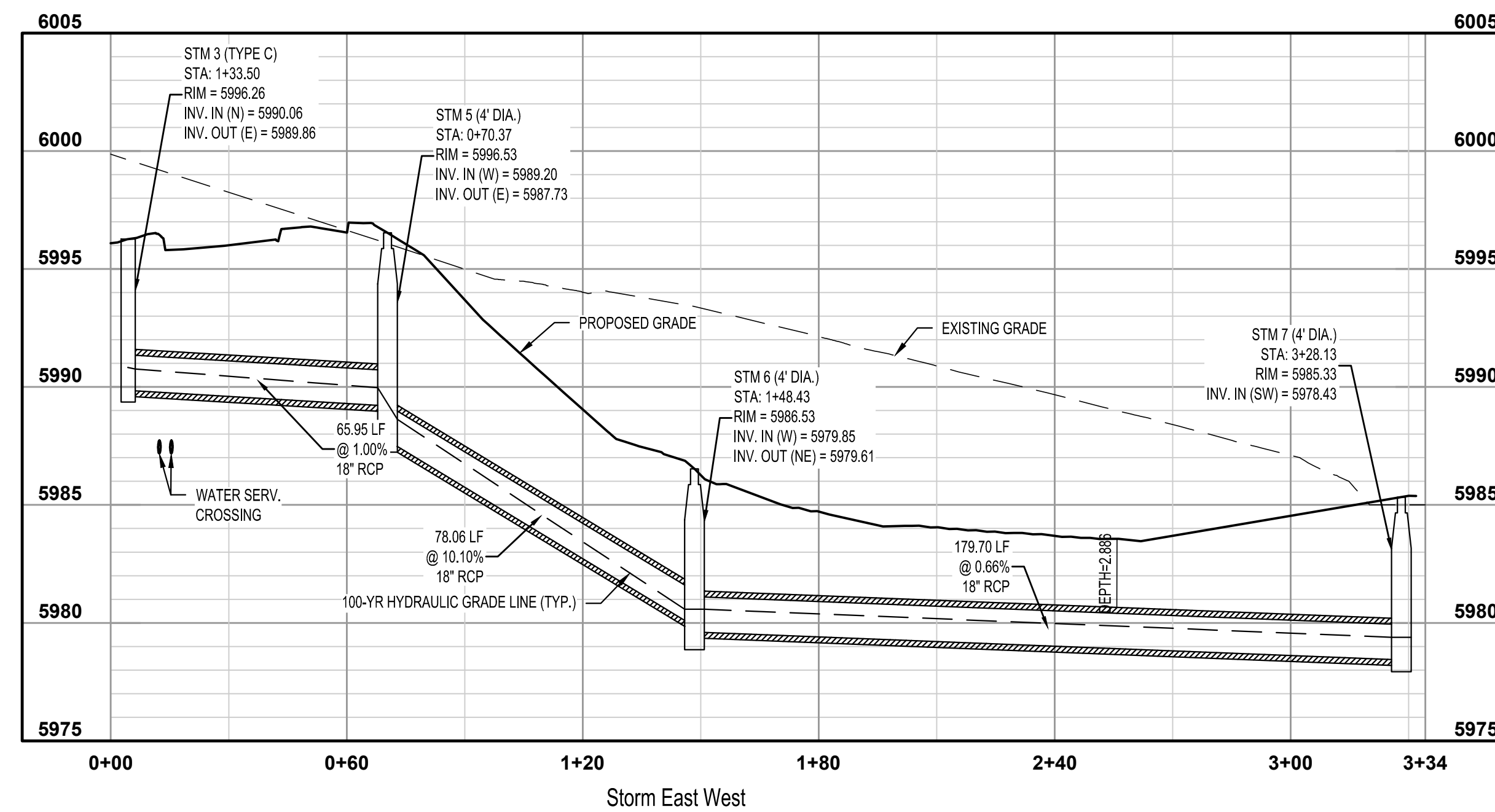
LEGEND

EXISTING	PROPOSED	
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST-ST STORM SEWER LINE
[Symbol]	[Symbol]	SS-SS SANITARY SEWER LINE
[Symbol]	[Symbol]	SAN SRV SANITARY SERVICE LINE
[Symbol]	[Symbol]	W-W WATER LINE
[Symbol]	[Symbol]	WTR SRV WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	G-G GAS LINE
[Symbol]	[Symbol]	T-T TELEPHONE LINE
[Symbol]	[Symbol]	E-E ELECTRIC LINE
[Symbol]	[Symbol]	OE-OE OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	PARKING STALL COUNT



PROFILE VIEW - STORM

HORIZ. 1" = 30', VERT. 1" = 5'



Storm East West



ORIGINAL SCALE: 1"=30' HORIZ.



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073

www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:

REVISION / COMMENTS

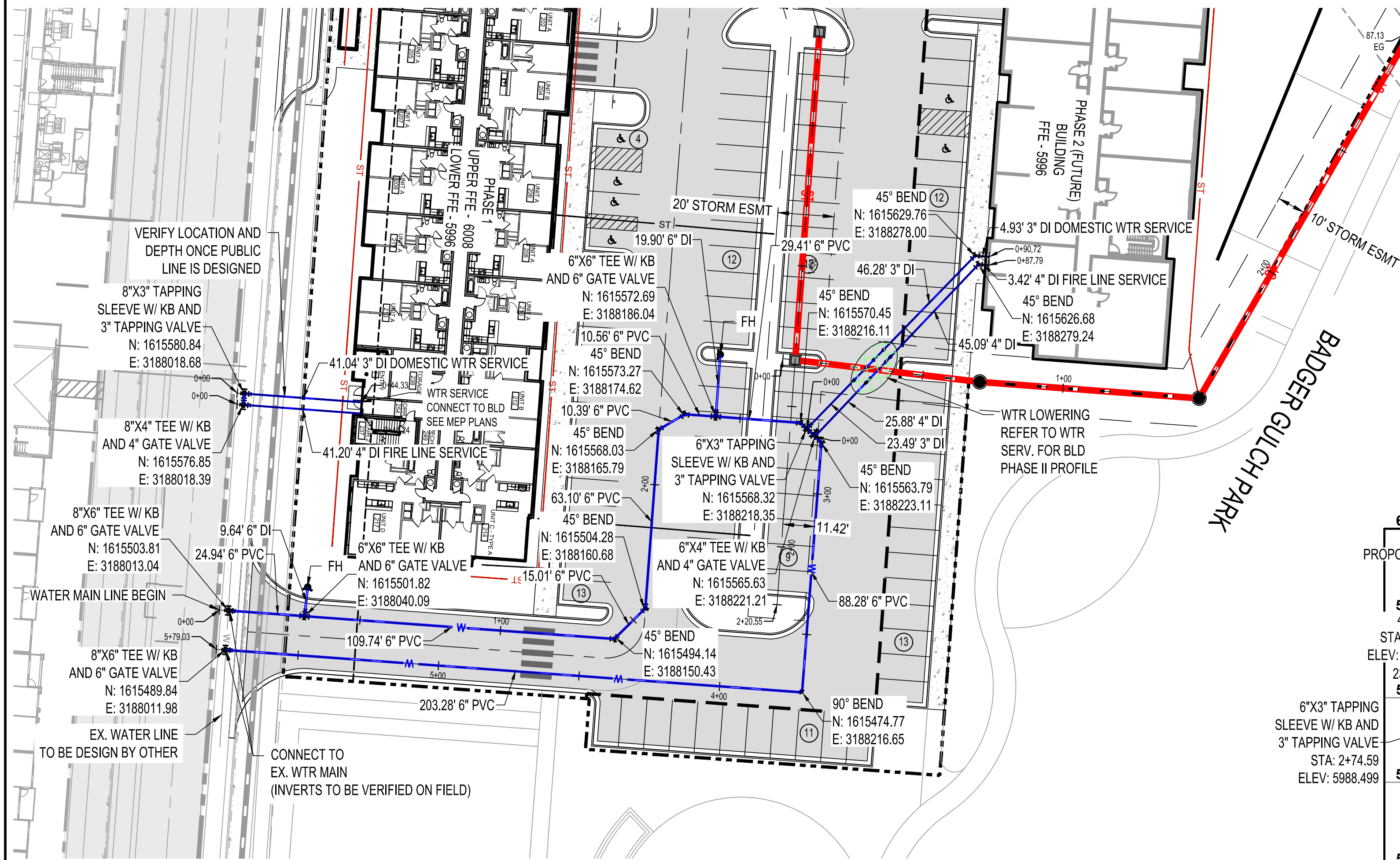
NO.	DATE	DESCRIPTION

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

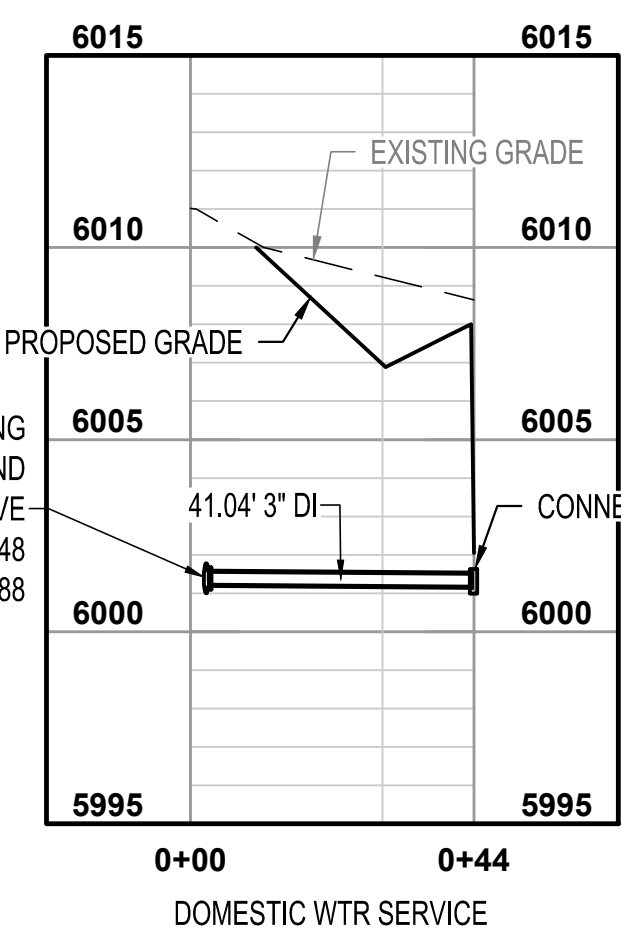
LEGEND

EXISTING	PROPOSED	
		ASPHALT
		SIDEWALK / CONCRETE
		BUILDING
		GRAVEL
		ASPHALT PATCH
		SOFTSCAPE
		COVERED PARKING
		GRAVEL DURING PH. 1
		PAVED DURING PH. 2
		TOP OF CURB
		FLOWLINE
		PAN
		SUBJECT BOUNDARY
		LOT LINE
		BUILDING SETBACK
		EASEMENT LINE
		RIGHT-OF-WAY (R.O.W.)
		STORM SEWER LINE
		SANITARY SEWER LINE
		WATER LINE
		WATER SERVICE LINE
		WATER FIRE LINE
		GAS LINE
		TELEPHONE LINE
		ELECTRIC LINE
		OVERHEAD ELECTRIC LINE
		ADA PARKING SYMBOL
		STORM SEWER INLET
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		TELECOMM MANHOLE
		LIGHT POLE
		POWER POLE
		FIRE HYDRANT
		WATER VALVE
		FLARED END SECTION
		ELECTRICAL BOX
		GAS METER
		TELEPHONE PEDESTAL/BOX
		PROPERTY CORNER
		MAJOR CONTOUR
		MINOR CONTOUR
		ADA ACCESS ROUTE
		SPOT ELEVATION TRUNCATION
		PARKING STALL COUNT



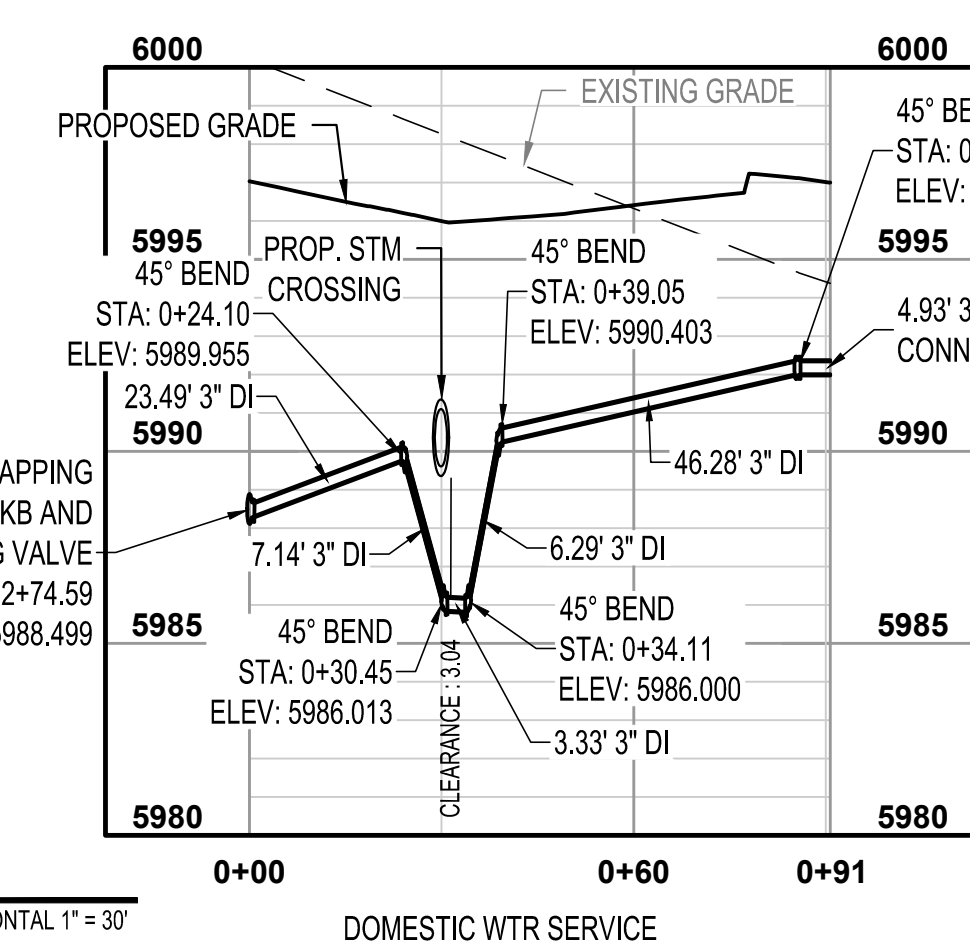
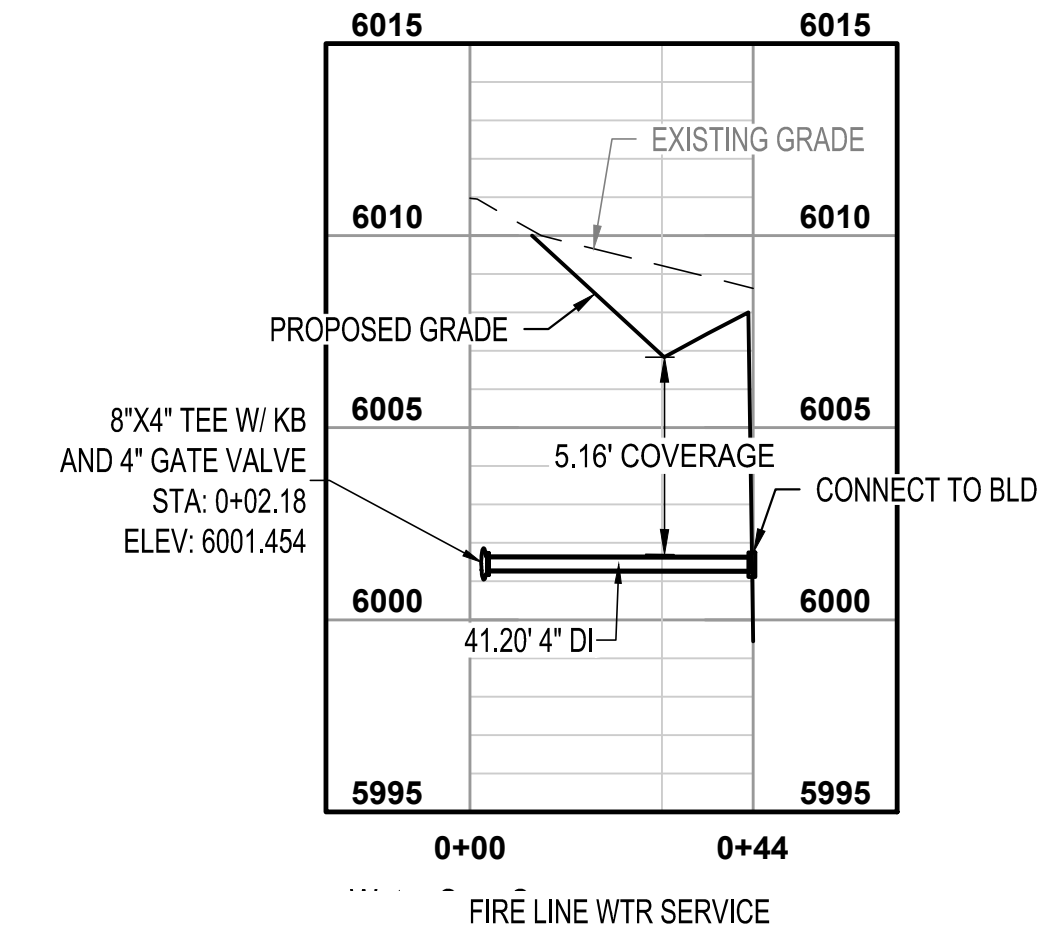
PLAN VIEW - WATER MAIN

HORIZONTAL 1" = 30'



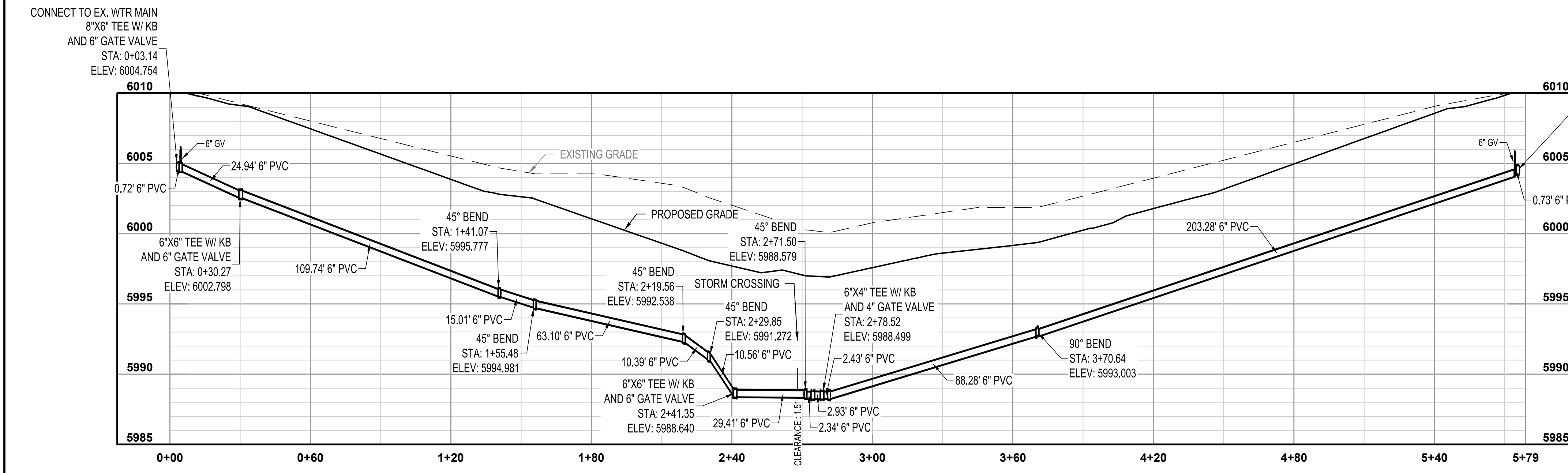
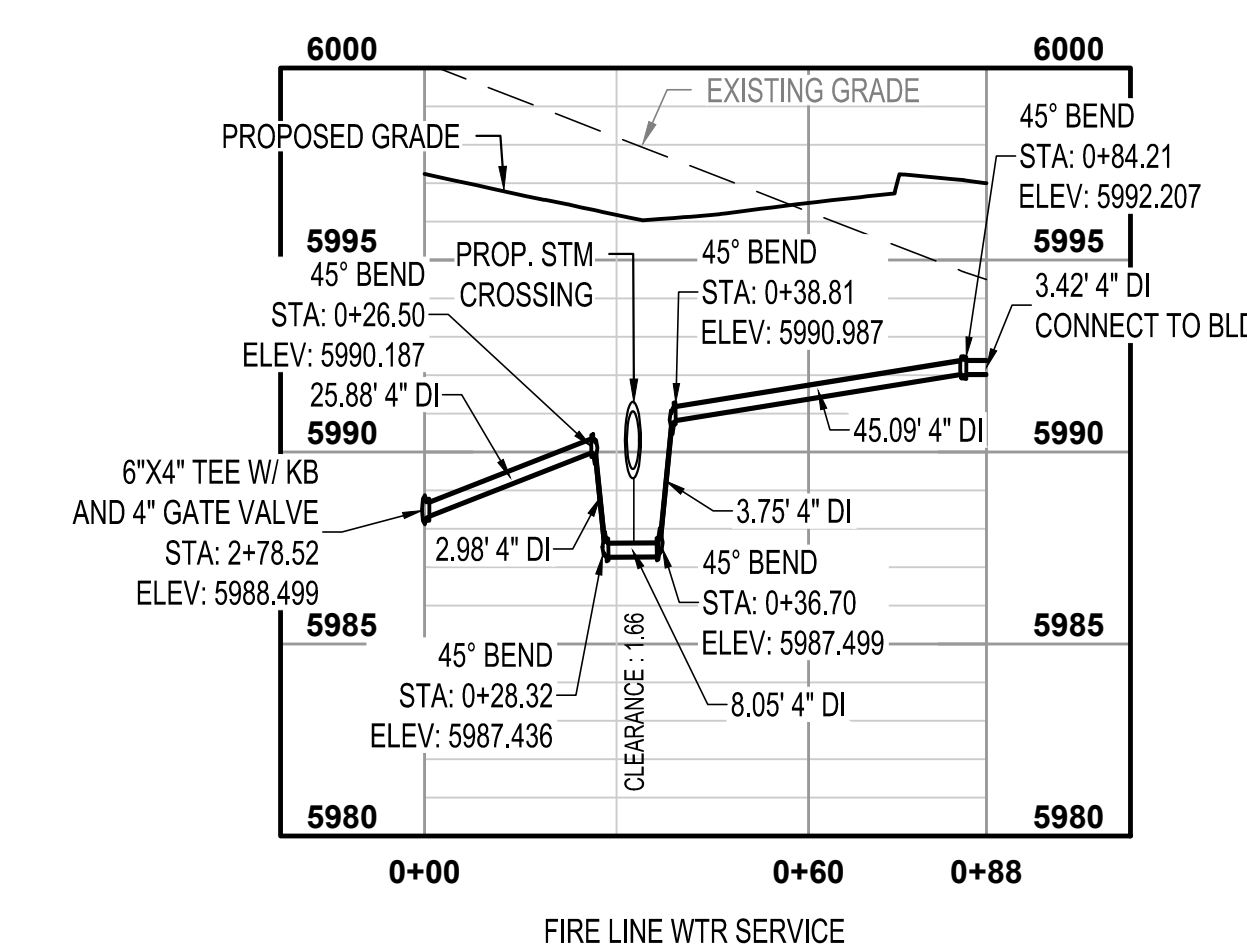
PROFILE VIEW - WTR SERV. FOR BLD PHASE I

HORIZ. 1" = 30', VERT. 1" = 5'



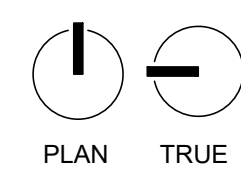
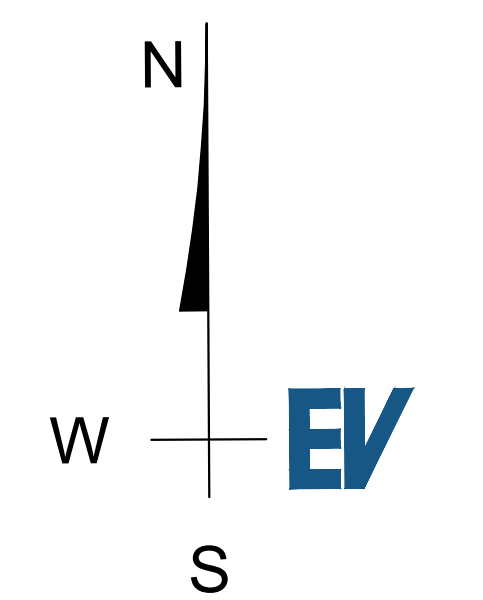
PROFILE VIEW - WTR SERV. FOR BLD PHASE II

HORIZ. 1" = 30', VERT. 1" = 5'



PROFILE VIEW - WATER MAIN

HORIZ. 1" = 30', VERT. 1" = 5'



B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
 www.bryantflink.com

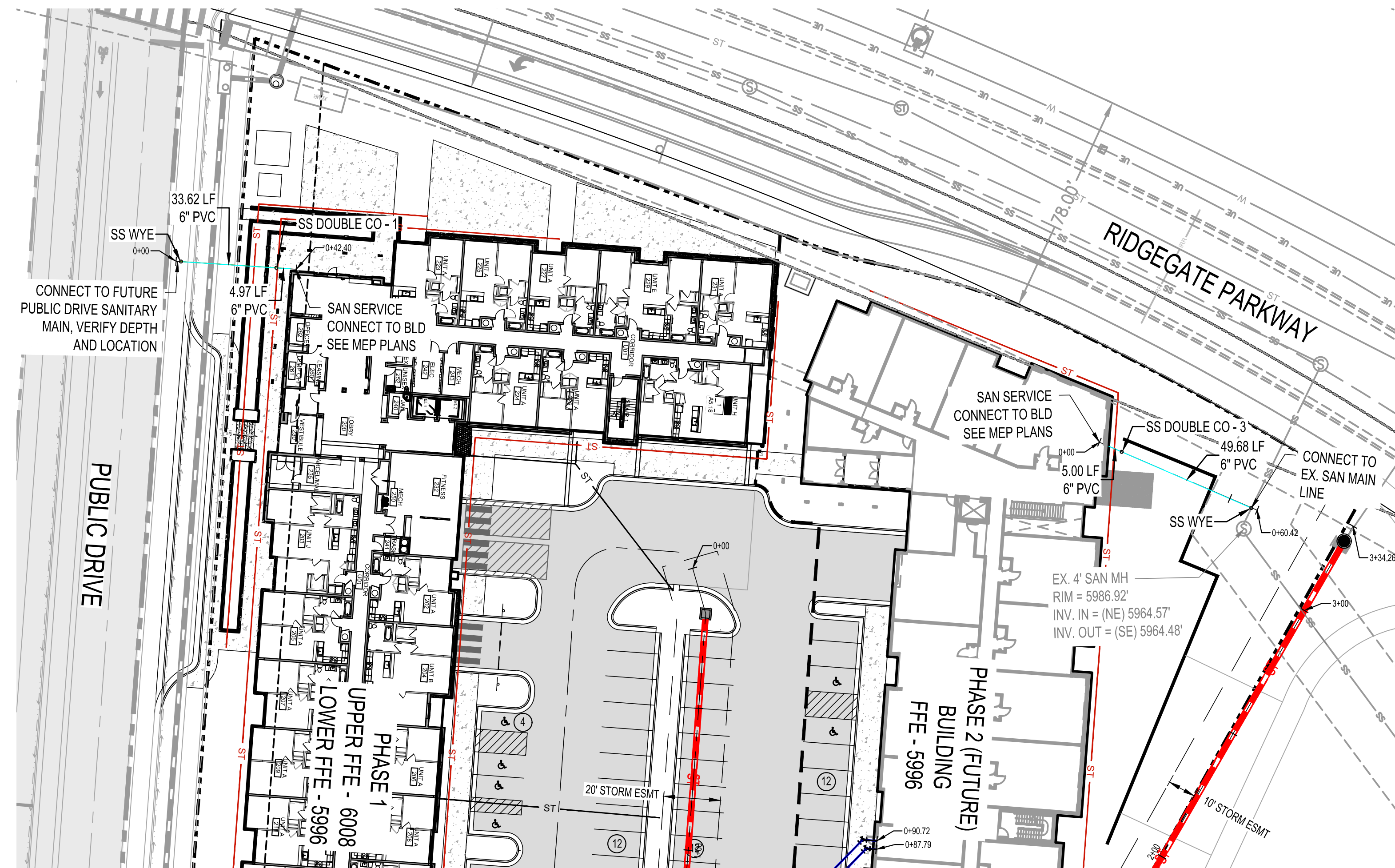
CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE: _____

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

RIDGEGATE SENIOR HOUSING

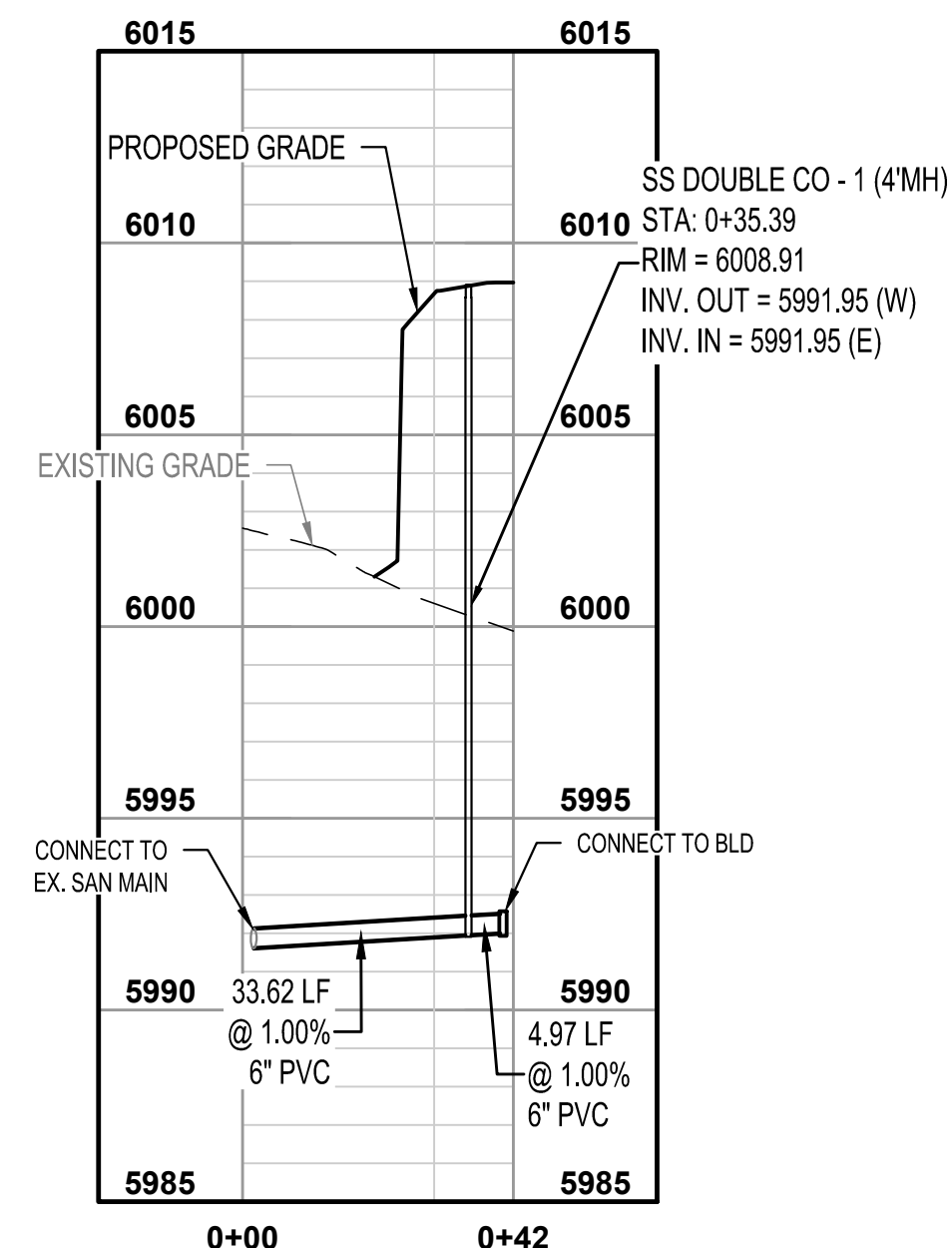
RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



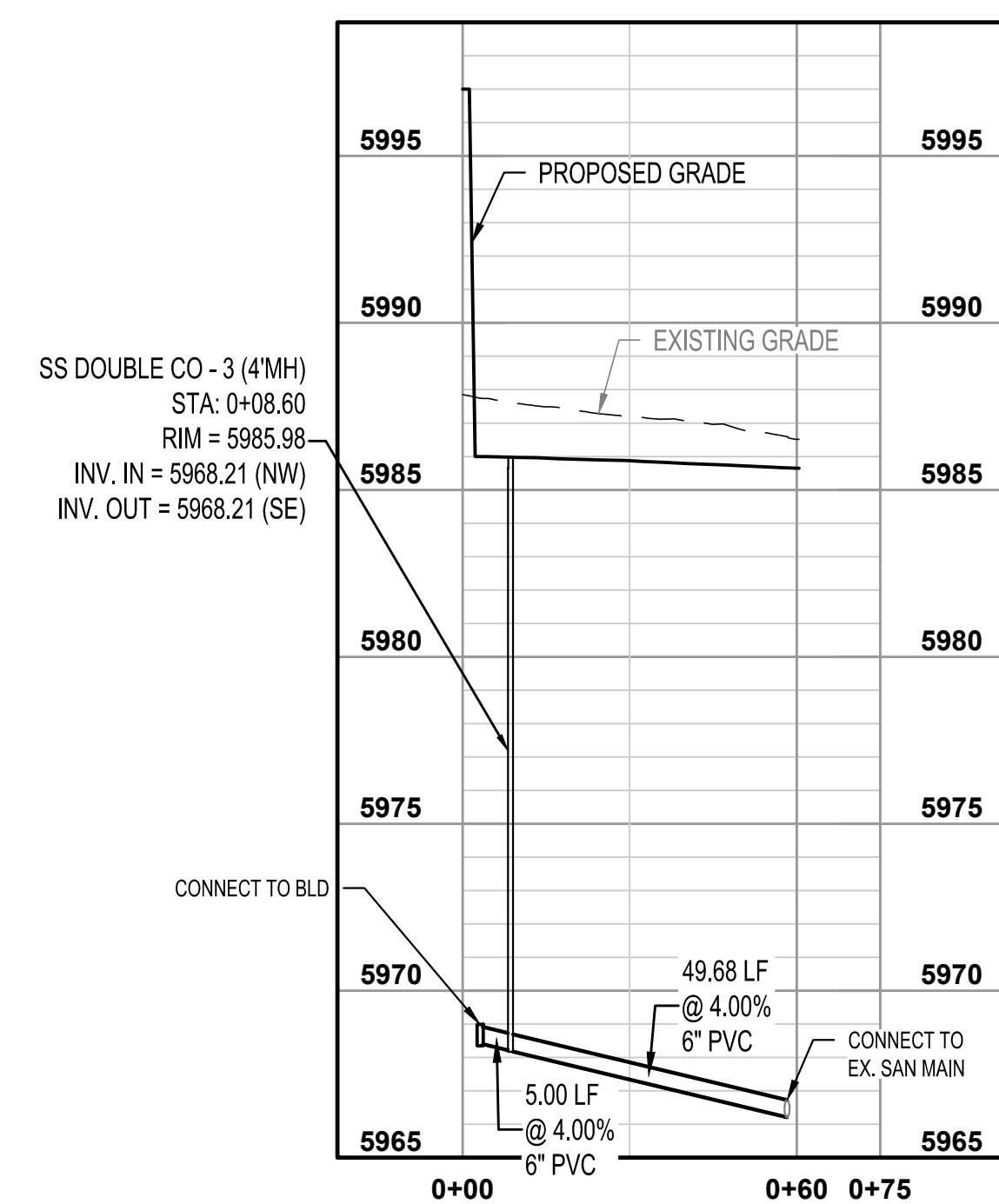
PLAN VIEW - SANITARY SERVICES

HORIZONTAL 1" = 30'

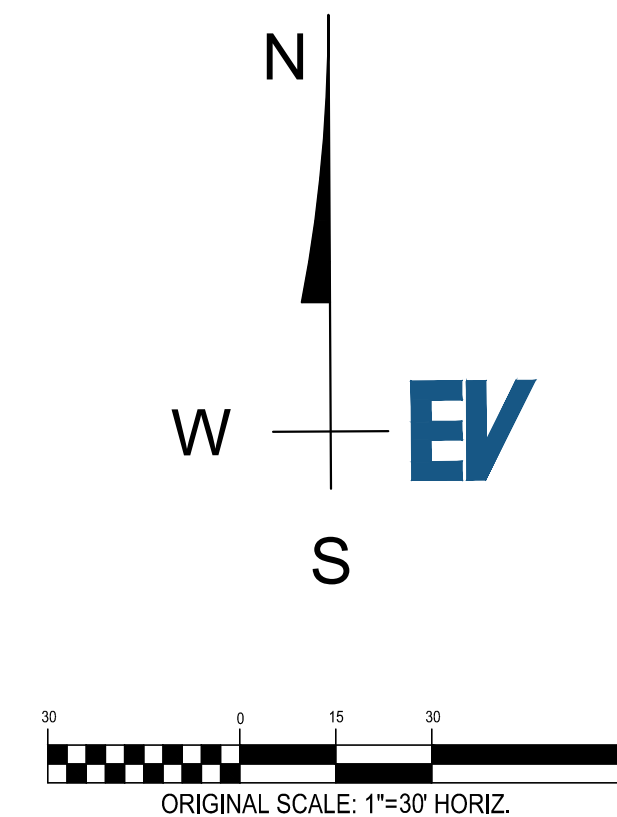
EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	SIDEWALK / CONCRETE
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	GRAVEL
[Symbol]	[Symbol]	ASPHALT PATCH
[Symbol]	[Symbol]	SOFTSCAPE
[Symbol]	[Symbol]	COVERED PARKING
[Symbol]	[Symbol]	GRAVEL DURING PH. 1
[Symbol]	[Symbol]	PAVED DURING PH. 2
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	PAN
[Symbol]	[Symbol]	SUBJECT BOUNDARY
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	BUILDING SETBACK
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (R.O.W.)
[Symbol]	[Symbol]	ST-ST STORM SEWER LINE
[Symbol]	[Symbol]	SS-SS SANITARY SEWER LINE
[Symbol]	[Symbol]	SAN SRV SANITARY SERVICE LINE
[Symbol]	[Symbol]	W-W WATER LINE
[Symbol]	[Symbol]	WTR SRV WATER SERVICE LINE
[Symbol]	[Symbol]	WATER FIRE LINE
[Symbol]	[Symbol]	G-G GAS LINE
[Symbol]	[Symbol]	T-T TELEPHONE LINE
[Symbol]	[Symbol]	E-E ELECTRIC LINE
[Symbol]	[Symbol]	OE-OE OVERHEAD ELECTRIC LINE
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	TELECOMM MANHOLE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FLARED END SECTION
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL/BOX
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY CORNER
[Symbol]	[Symbol]	5281 MAJOR CONTOUR
[Symbol]	[Symbol]	5281 MINOR CONTOUR
[Symbol]	[Symbol]	ADA ACCESS ROUTE
[Symbol]	[Symbol]	SPOT ELEVATION TRUNCATION
[Symbol]	[Symbol]	1 PARKING STALL COUNT



PROFILE VIEW - SAN SERV. FOR BLD PHASE 1
 HORIZ. 1" = 30', VERT. 1" = 5'



PROFILE VIEW - SAN SERV. FOR BLD PHASE 2
 HORIZ. 1" = 30', VERT. 1" = 5'



B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
www.bryantflink.com

CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION

PLAN TRUE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SPXX-XX

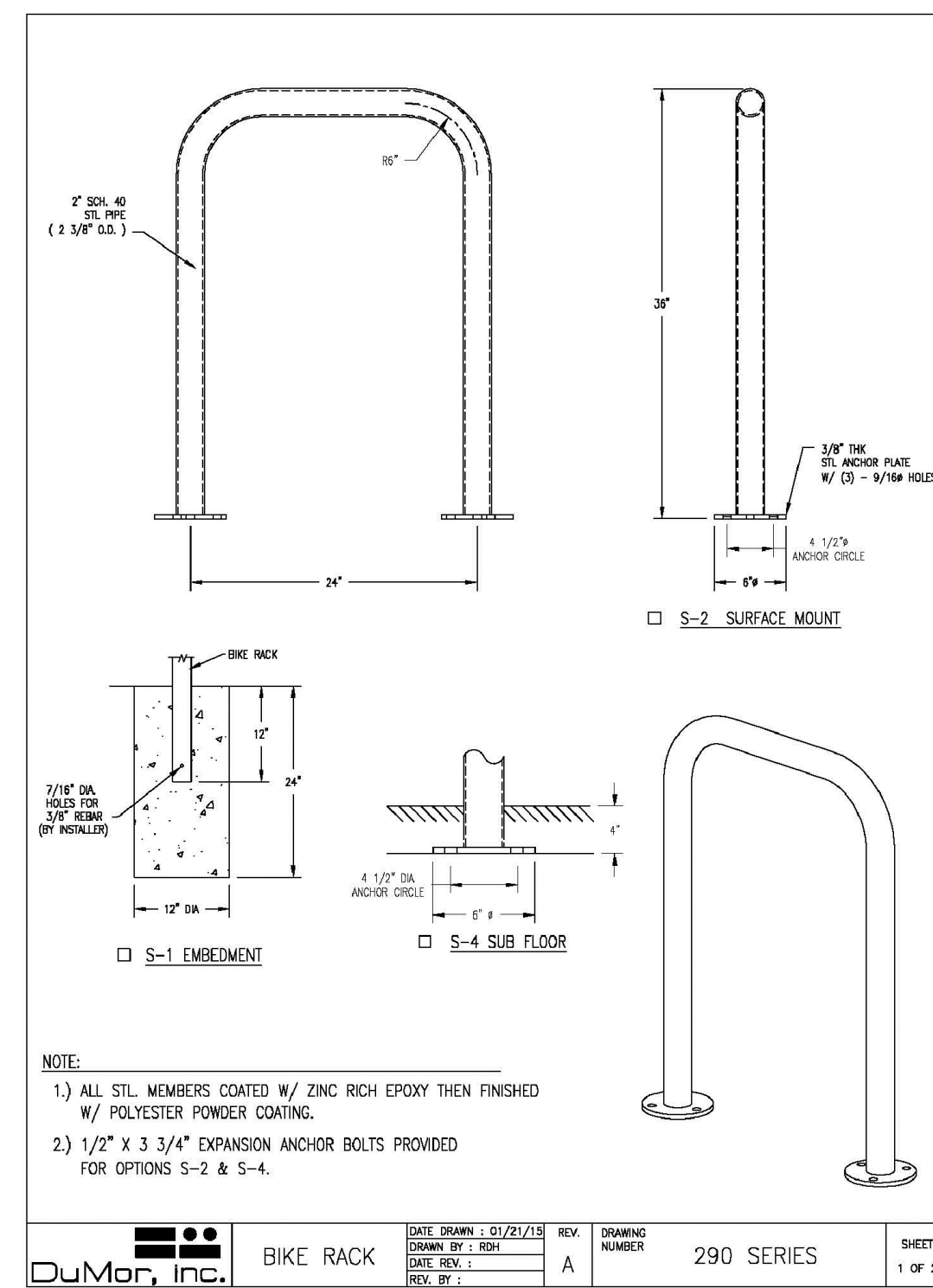
FURNISHING SPECIFICATION SCHEDULE:

FURNISHING	MANUFACTURER	MODEL	COLOR
BENCH	DU-MORE INC.	500-60TX	BLACK
TRASH RECEPTACLE	DU-MORE INC.	272-3250	BLACK
BIKE RACK	DU-MORE INC.	290-00/S-4	BLACK
TABLE	DU-MORE INC.	297-36-30HS	BLACK

PLANT INSTALLATION SCHEDULE:

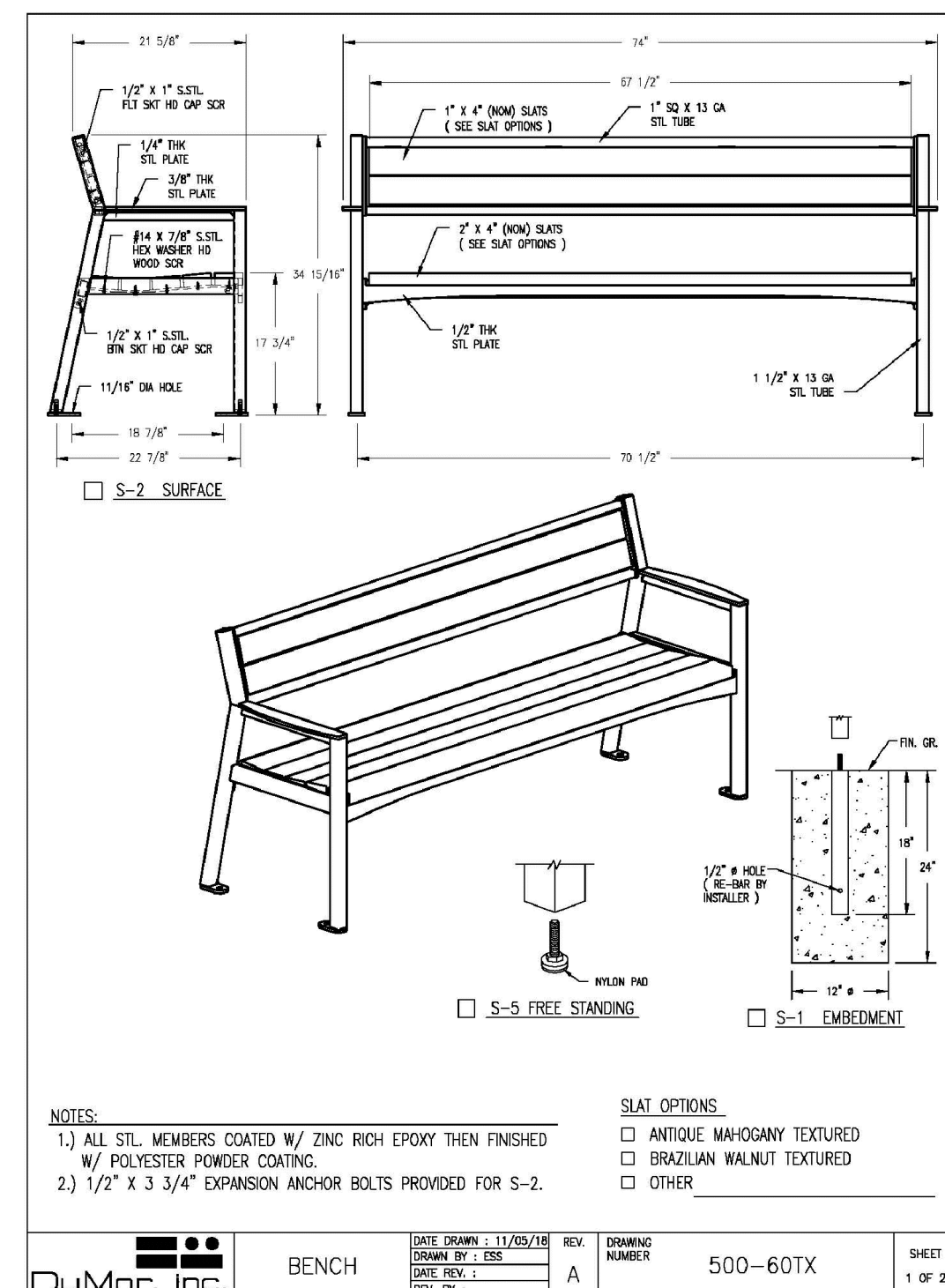
ALL PLANT MATERIALS MUST BE INSTALLED & PLANTED WITHIN THE FOLLOWING SCHEDULED INSTALLATION TIMEFRAMES. ANY DEVIATION FROM THE FOLLOWING PLANT INSTALLATION SCHEDULE MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT OF RECORD.

PLANT TYPE	INSTALLATION TIMEFRAME	RECOMMENDATIONS
TREE	Mid-March to Mid-October	Plant in early fall, not in hot temps.
SHRUB		
ORNAMENTAL GRASS	Late-May to June	Plant after frost danger Not in hot temps. (over 95 Degrees)
PERENNIAL		
ANNUAL	Mid-August to Mid-September	Not in hot temps. (over 95 Degrees)
TURF		



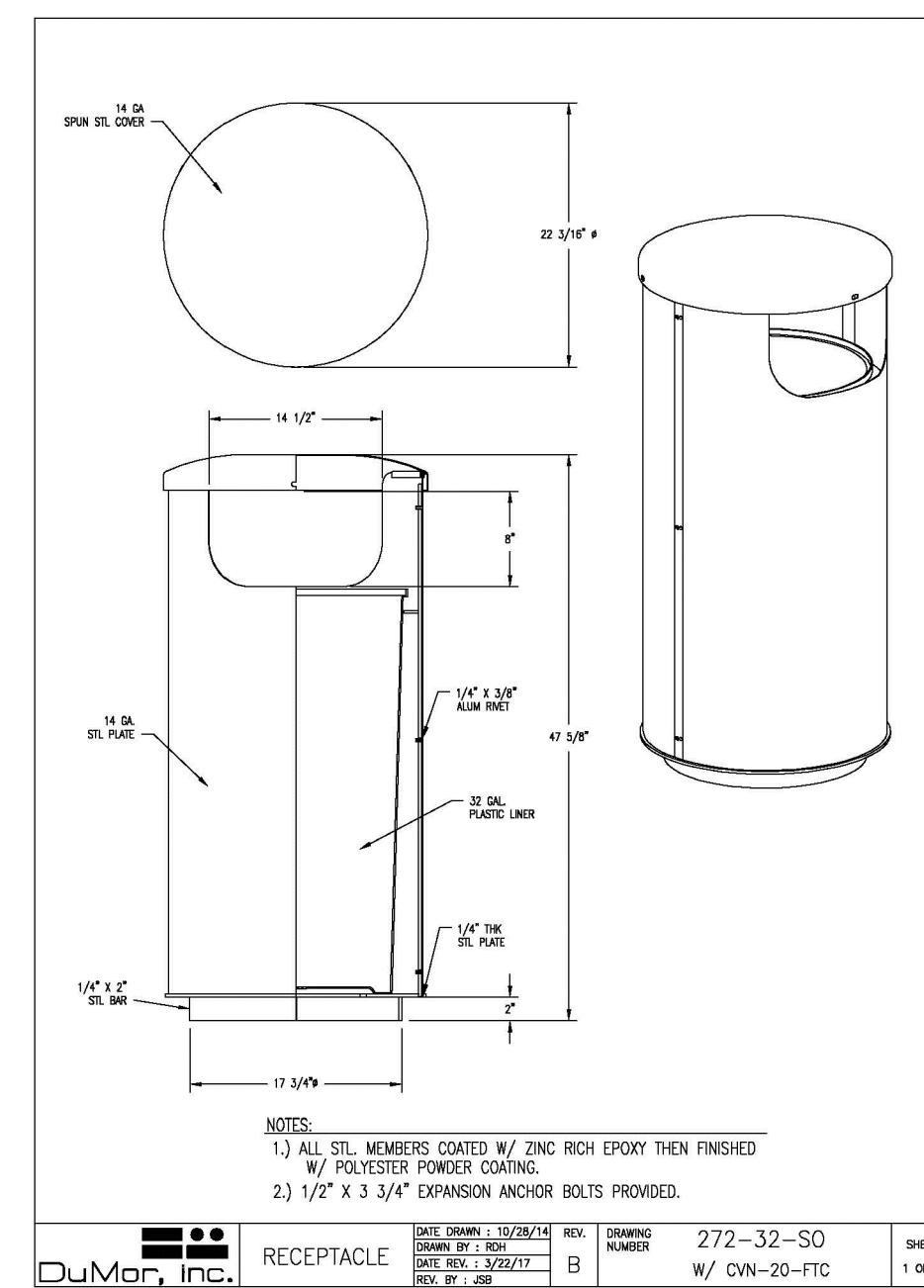
1 BIKE RACK

NOT TO SCALE



2 BENCH

NOT TO SCALE



3 TRASH RECEPTACLE

NOT TO SCALE



4 ROCK MULCH

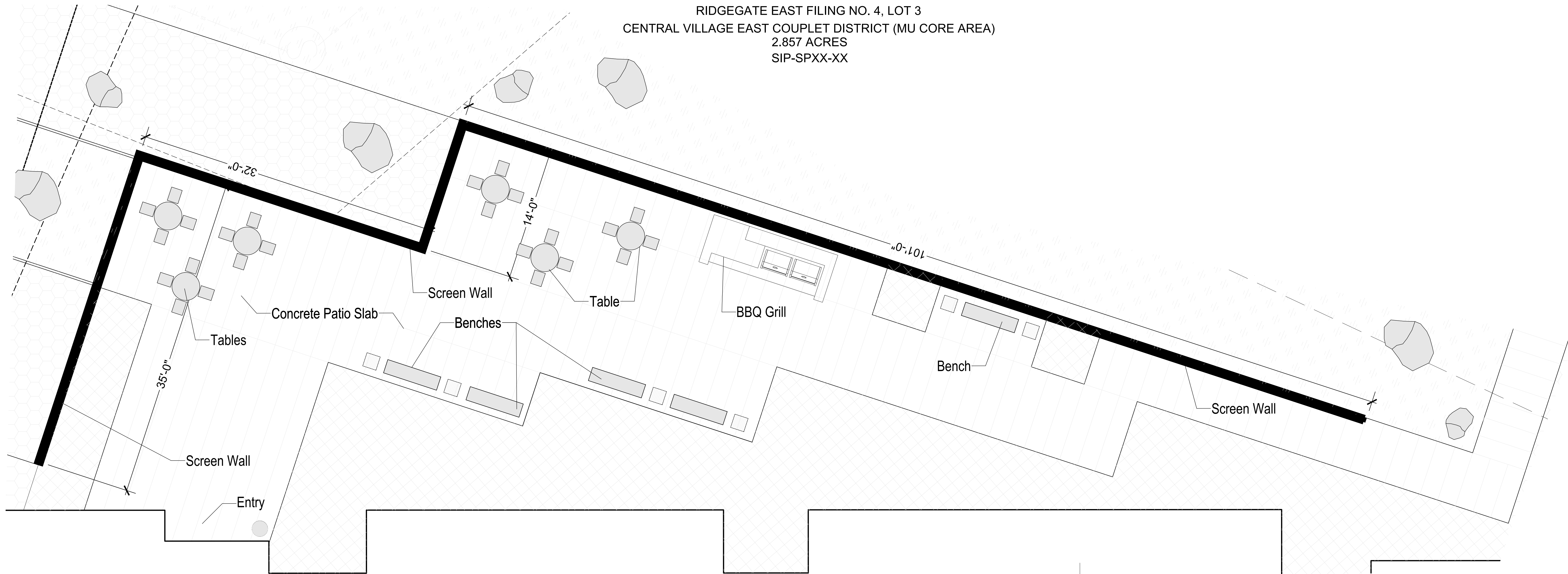


BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

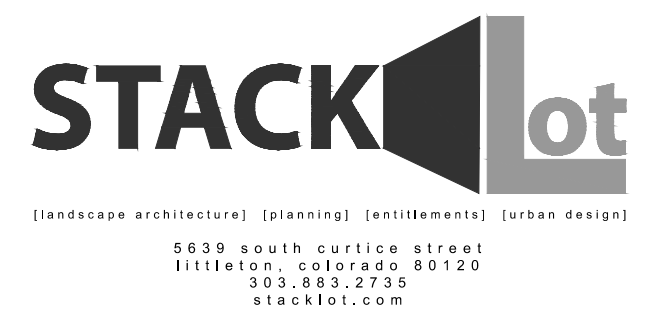
PREPARATION DATE: 08.03.23		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	07/14/2023	SIP SUBMITTAL #1
2	09/08/2023	SIP SUBMITTAL #2
3	9/11/2023	SIP SUBMITTAL #3

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SPXX-XX



AMENITY PATIO - ENLARGEMENT PLAN



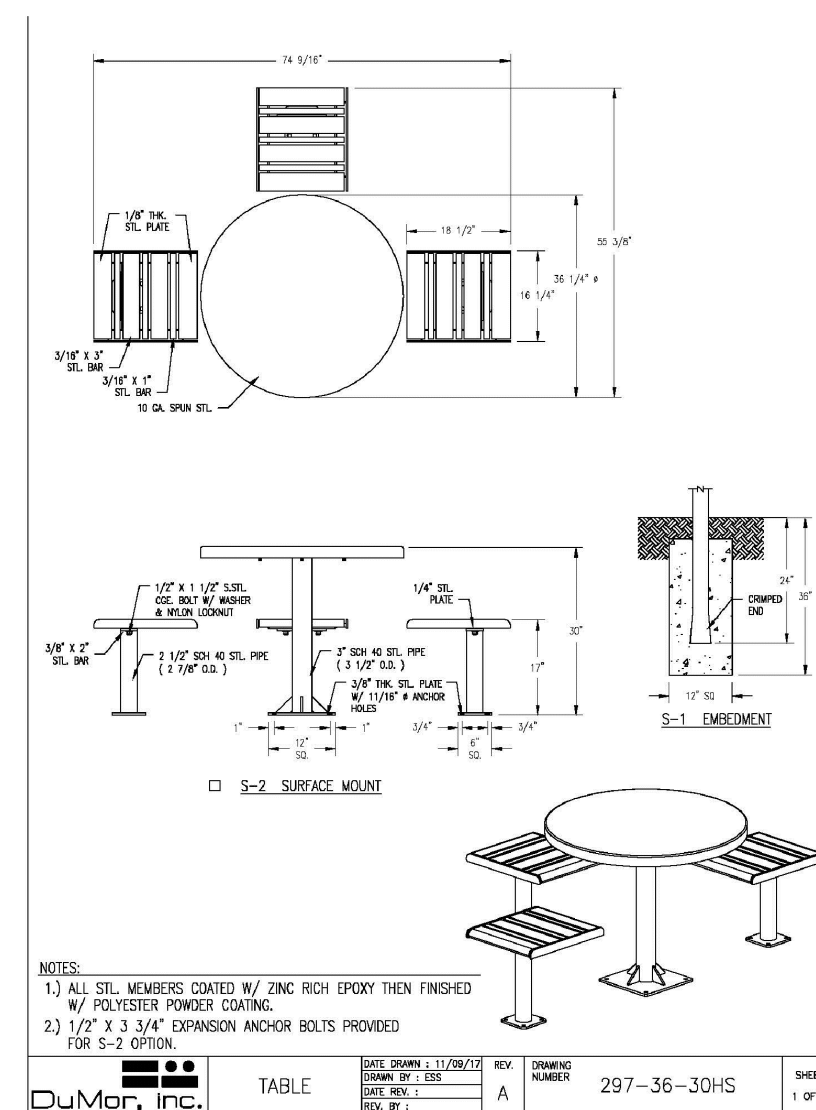
Mont Alpi 805 Propane Gas Island Grill W/ Infrared Side Burner - Stainless Steel - MAI805



NOTE: ALL NATURAL GAS LINE & PLUMBING SHALL BE DESIGNED AND PROVIDED BY OTHERS. INSTALL PER MANUFACTURER, STATE AND LOCAL CODES AND SPECIFICATIONS. EMERGENCY SHUT-OFF VALVE TO BE INSTALLED BY OTHERS.

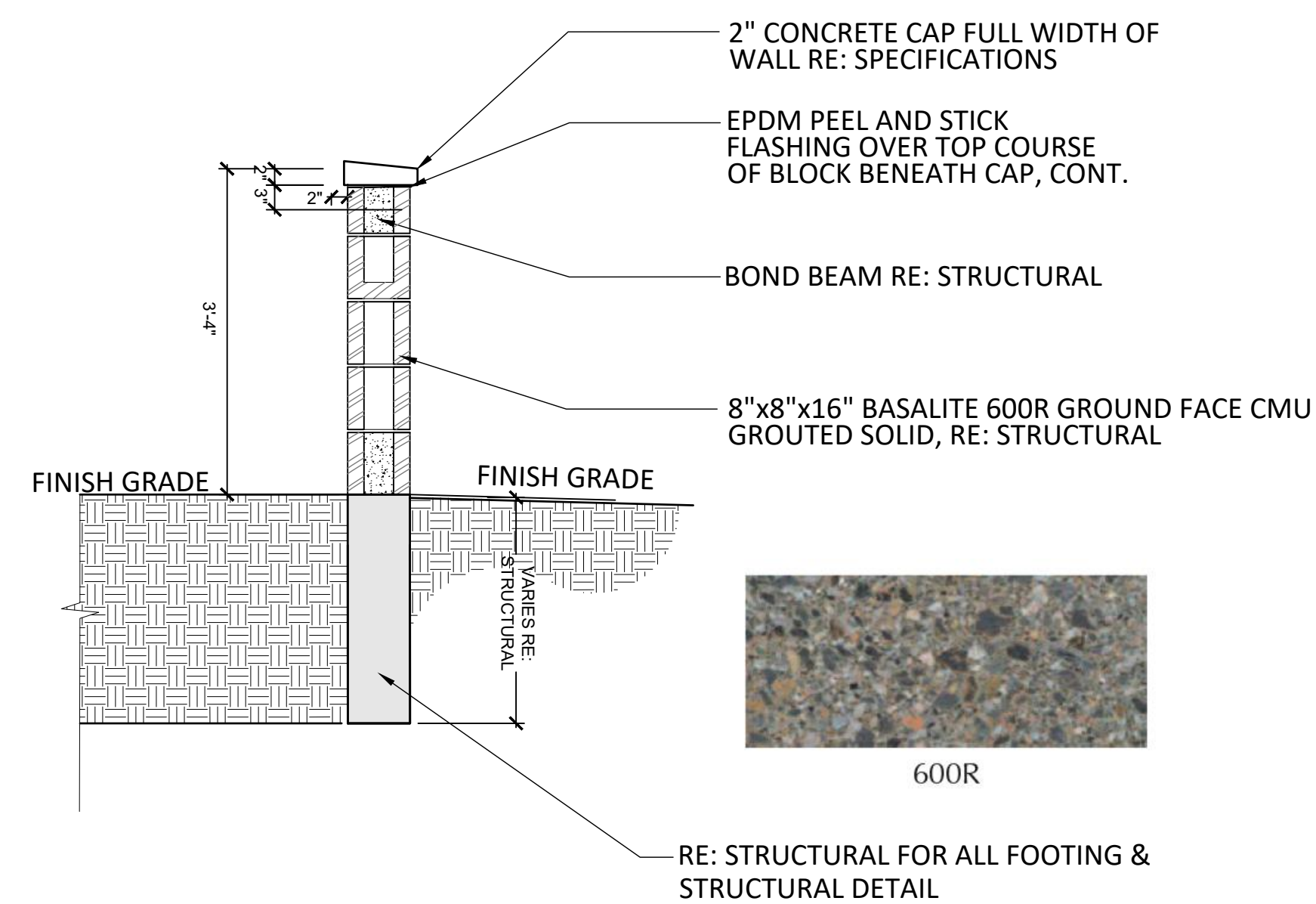
1 NATURAL GAS BBQ GRILL

NOT TO SCALE



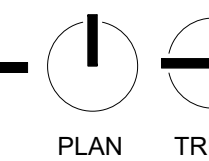
2 TABLE

NOT TO SCALE



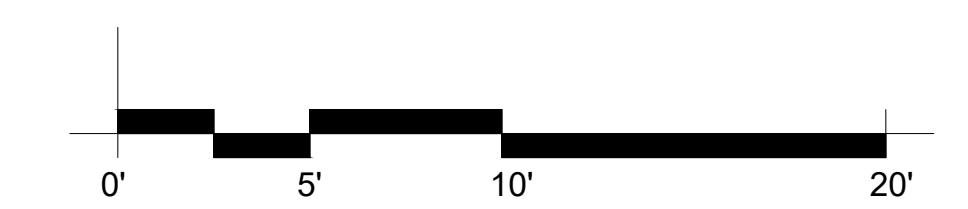
NOTE:
 1. OVERLAP FLASHING JOINTS PER MFG. SPECIFICATIONS FOR CONT. MEMBRANE
 2. REFER TO GRADING PLAN FOR ADJACENT ELEVATION INFORMATION AS VERTICAL WALL DIMENSION MAY VARY BASED ON LOCATION.
 3. REFER TO SPECIFICATIONS FOR ALL MASONRY APPLICATIONS AND INSTALLATIONS.

3 SCREEN WALL



B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

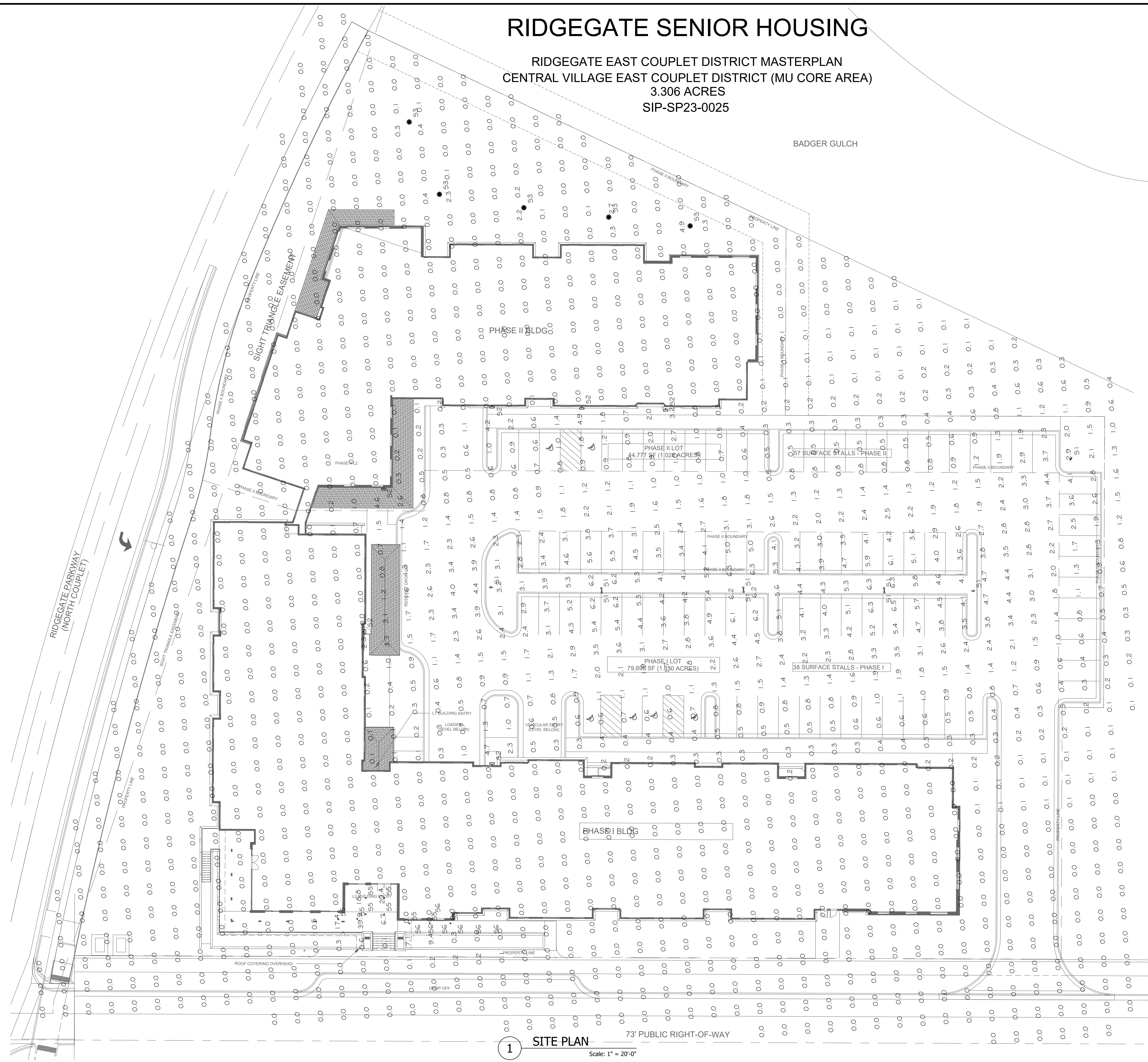
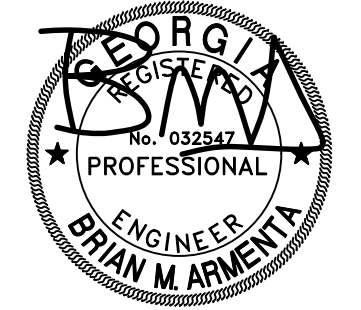


PREPARATION DATE: 08.03.23

NO.	DATE	DESCRIPTION
1	07/14/2023	SIP SUBMITTAL #1
2	09/08/2023	SIP SUBMITTAL #2
3	9/11/2023	SIP SUBMITTAL #3

RIDGEGATE SENIOR HOUSING

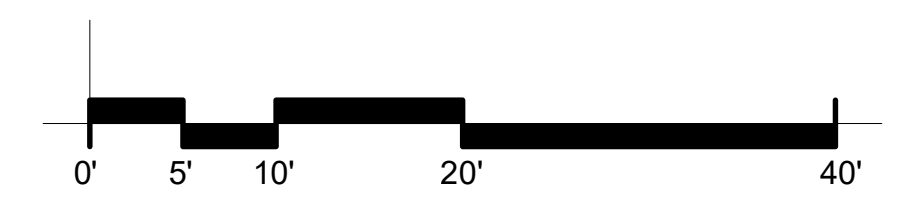
RIDGEGATE EAST COUPLET DISTRICT MASTERPLAN
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 3.306 ACRES
 SIP-SP23-0025



1 SITE PLAN 73' PUBLIC RIGHT-OF-WAY
 Scale: 1" = 20'-0"



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



REVISION DATE:			
REVISION / COMMENTS			
NO.	DATE	SUBMITTAL #	DESCRIPTION
1	7/14/2023	SUBMITTAL #1	
2	8/03/2023	SUBMITTAL #2	
3	9/11/2023	SUBMITTAL #3	

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST COUplet DISTRICT MASTERPLAN
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
3.306 ACRES
SIP-SP23-0025



Radean Arm Mount LED Area Luminaire

Specifications:
EPA: 0.75 ft² (0.05 m²)
Length: 24" (61 cm)
L1: 30" (60.96 cm)
Width: 24" (61 cm)
Height: 4" (10.2 cm)
Weight: 29lbs (13.15kg)

Introduction:
The RADEAN arm mount luminaire is the perfect choice for pedestrian applications where daytime aesthetics and visual comfort are needed. Adding architectural flair to any space, the RADEAN's low-profile shape and smooth curves blend in while adding a touch of elegance. Perfect for campuses, parks, pedestrian malls, courtyards and pathways, the RADEAN arm mount is the Architect's choice to provide beautiful aesthetics both day and night.

Series	Performance package	Color temperature	Distribution	Voltage	Mounting
RAD1 LED	P1 3,000 Lumens	27K 2700K	SYM Symmetric type IV	MVOLT ¹ 277 ²	SPA Square pole mounting (includes adapter)
	P2 5,000 Lumens	30K 3000K	ASY Asymmetric type IV	120 ¹ 347	RPA Round pole mounting
	P3 7,000 Lumens	35K 3500K	PATH Pathway type III	208 ¹ 480	WBA Wall bracket
	PA 11,000 Lumens	40K 4000K		240 ¹	
	PS 16,000 Lumens	50K 5000K			

Option	Other options	Shipped separately	Finish
SHIPPED INSTALLED	SF Single Fuse ¹	HS House-side shield ¹	DOBZD Dark bronze
NZMRC Light AR 2.1 enabled ¹	DF Double Fuse ¹		DOBZD Textured dark bronze
PR Bi-level motion sensor (100% to 30%) ^{1,2,3}	L90 Left rotated optics		DBLXD Black
PE Button photocell ^{1,4}	R90 Right rotated optics		DNAXD Natural aluminum
FAO Field adjustable output ^{1,4}			DNAXD Textured natural aluminum
			DWHTD White
			DWHTD Textured white

Ordering Information: EXAMPLE: RAD1 LED P3 30K SYM MVOLT RPA PE DNAXD

ARC1 LED Architectural Wall Luminaire

Specifications:
Depth (D1): 6.5"
Depth (D2): 4.75"
Height: 5"
Width: 11"
Weight: 7 lbs (without options)

Introduction:
The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback. ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

Luminaire	Standard EM, 9°C	Cold EM, -20°C	Approximate Lumens (±100K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Series	Package	Color Temperature	Voltage	Options	Finish
ARC1 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 ²	EBWH Emergency battery backup, CE compliant (90, 0°C min) ¹	DOBZD Dark bronze
	P2 2,000 Lumens	40K 4000K		PE Button type photocell for dusk-to-dawn operation	DBLXD Black
	P3 3,000 Lumens	50K 5000K		DMG 0-10V dimming wires pulled outside fixture (for use with an external dimmer, ordered separately) ¹	DNAXD Natural aluminum
				SPDXY 80V surge protection	DWHTD White
				FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ^{1,4}	DOBZD Textured dark bronze
					DBLXD Textured black
					DNAXD Textured natural aluminum
					DWHTD Textured white
					DSSTD Textured sandstone

Ordering Information: EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD

LITHONIA LIGHTING LBR6 NCH

FEATURES & SPECIFICATIONS
INTENDED USE: Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION: New Construction. Optional grommets available for additional overlap trim coverage. 1/2" x 1/2" ceiling thickness. 25' ambient temperature. K rated up to 10000m.
OPTICS: LEDs are bonded to a 3-step MacAdam Ellipse. 55° cutoff. New construction frame approved for 6 (4in/4 out) No. 12 AWG conductors rated for 90°C through wiring. BOCR standard (90°C optional).
BOG: USB is zero for fixtures aimed at radii with a cut-off equal to or less than 60deg, per CIE 117-1996 (Discussed Elsewhere in Interior Lighting, IESNA 2015).
ELECTRICAL: Adjustable lumen output with four module options. Flood lumen options also available. MVOLT 120/277V 50/60Hz driver (0-10V & 120V Phase Dimming to 10% or 1% min dimming level). FCC CR Part 47 Part 15 Class B or 277V, FCC CR Title 47 Part 15 Class B for 120V.
LUMEN MAINTENANCE: L80 at 60,000 hours.
LISTINGS: Certified to US and Canadian safety standards. Damp location standard (Wet Location (W1) optional, requires covered ceiling). Some configurations are ENERGY STAR[®] certified, please visit www.lithonia.com for specific products. TBA compliant. IESNA E-30-01 specification compliant for power factor and THD. CSA P100.6.2 compliant for power quality at full output; compliant up to 2000m at fully dimmed output. Drivers are RoHS compliant.
Title: 34 compliant (90°C, up to 10000m).
WARRANTY: 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.lithonia.com Support/Service/Training and conditions.
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Lumen Output	Wattage	30K/90CRI		35K/90CRI		40K/90CRI		50K/90CRI	
		Delivered Lumens	LPW	Delivered Lumens	LPW	Delivered Lumens	LPW	Delivered Lumens	LPW
AL01 (500LM)	6	571	99	585	101	599	103	617	105
AL01 (750LM)	9	865	142	876	150	888	155	917	160
AL01 (1000LM)	13	1270	98	100	1330	102	1372	104	
AL02 (1000LM)	13	1346	108	1378	110	1410	112	1454	115
AL02 (1500LM)	19	1995	105	2011	107	2059	109	2123	111
AL02 (2000LM)	25	2676	109	2733	111	2799	113	2874	116
AL03 (3000LM)	25	2547	103	2606	105	2668	107	2751	109
AL03 (2500LM)	32	3075	96	3146	100	3221	101	3321	104
AL03 (3000LM)	38	3492	93	3573	95	3658	96	3771	99
AL04 (4000LM)	39	4185	107	4265	109	4350	112	4459	115
AL04 (4000LM)	44	4613	105	4707	107	4801	109	4848	110
AL04 (5000LM)	49	5017	102	5119	104	5221	107	5273	108

Performance Data: LBR6 AR LSS MWD, LBR6 MS MWD

Notes:
1 347V not available with EBWH.
2 FAO not available with DMG.

1 TYPE S1

2 TYPE S2

3 TYPE S5

GENERAL PHOTOMETRIC SCHEDULE

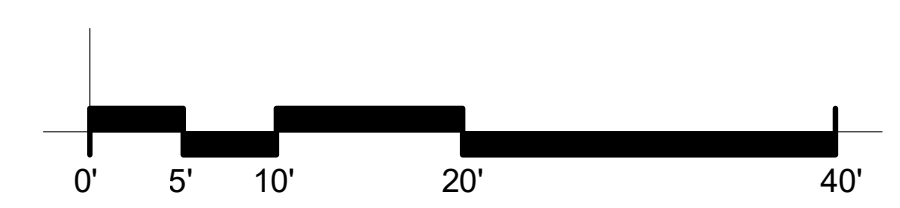
AVERAGE FOOT-CANDLES	0.74
MAXIMUM FOOT-CANDLES	39.9
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	39.94 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.74 / 0.00

SITE LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT VA	COLOR TEMPERATURE	VOLTS
S1	~	(1) LED	AREA LIGHT WITH ASYMMETRIC TYPE IV DISTRIBUTION, POLE MOUNTED AT XX-XX	LITHONIA LIGHTING / RAD1 LED P4 30K ASY MVOLT XXXXX	85.6782	3000K	120V 1P 2W
S2	∩	(1) LED	ARC1 LED WALLPACK WITH 90 MINUTE BATTERY BACKUP	LITHONIA LIGHTING / ARC1 LED P1 30K	10.8751	3000K	120V 1P 2W
S3	•	(1) LED	GOthic I 80 EXTERIOR BOLLARD	ARLUCE, 08G90 I 8A-830-1 G	36	3000K	120V 1P 2W
S5	•	(1) LED	6 INCH RECESSED DOWNLIGHT, WIDE DISTRIBUTION, WET LISTED	LITHONIA LIGHTING, LBRG ALO2 (1500LM) S5W1 (3000K) AR L55 MWD 90CRI	18.74	3000K	120V 1P 2W
S6	▭	(1) LED	WALL STEP LIGHT	WE-EF LIGHTING / STI I 259LED 133-0405	5.6	3000K	120V 1P 2W

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

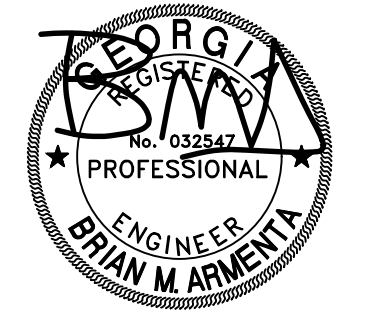


PREPARATION DATE: _____

NO.	DATE	REVISION / COMMENTS	DESCRIPTION
1	7/14/2023	SUBMITTAL #1	
2	8/03/2023	SUBMITTAL #2	
3	9/11/2023	SUBMITTAL #3	


RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST COUPLER DISTRICT MASTERPLAN
CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)
3.306 ACRES
SIP-SP23-0025



Bollard lights Generated on: 06-20-2023 5:13 pm **Arcluce**

GOTHIC180 (Model)










TECHNICAL INFORMATION [IES Files](#)

Watt	19W - 36W
Luminaire	Up to 1750lm
CCT	3000K - 4000K
CRI	>80
Wiring	
LED life time	> 60000h - L80 - B20 (Ta 25°C)
Color	Grey - 16 / Aluminium - 21

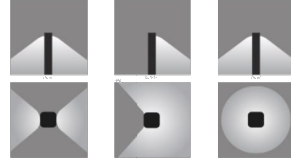
DESCRIPTION

VERSIONS (Click on below link to configure your product)

				
biway	biway	radial	radial_24Vdc	biway_Smart Functions
Size: 7" 3/32 27" 15/16 to 39" 3/8	Size: 7" 3/32 27" 15/16 to 39" 3/8	Size: 7" 3/32 27" 15/16 to 39" 3/8	Size: 7" 3/32 39" 3/8	Size: 7" 3/32 39" 3/8

	
biway_Smart Functions	radial_Smart Functions
Size: 7" 3/32 39" 3/8	Size: 7" 3/32 39" 3/8

OPTICS


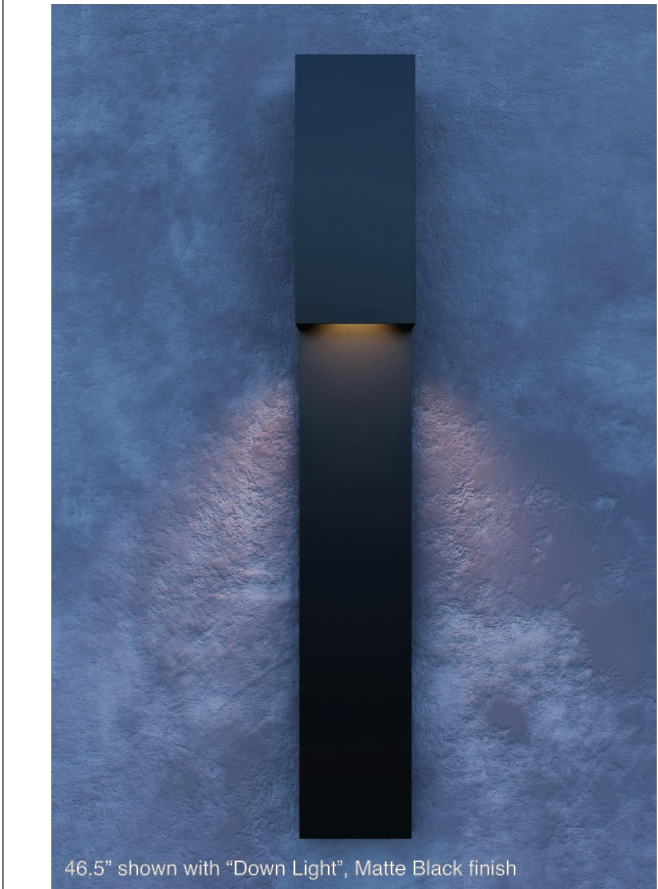


See accessories in the next page

Arcluce North America Inc. 333 Bush Street - San Francisco, CA 94104 - Email: ids@arcluce.it - export4@arcluce.it arcluce-us.com

Brian alva

ARCHITECTURAL SCALE, WET-LISTED OUTDOOR DECORATIVE ACCENT LIGHT

APPLICATIONS
Decorative accent light for building facades. Designed to provide a gentle downward or up and downward light accent.

SHADE DIMENSIONS

- 7" W x 15.5" H x 4" D
- 7" W x 31" H x 4" D
- 7" W x 46.5" H x 4" D

WEIGHT

- 15.5" H - 6 lb
- 31" H - 8 lb
- 46.5" H - 12 lb

MOUNTING

- Steel mounting system with mounting plate and cover with rubber gaskets between the junction box and mounting plate. Mounts to center of J-box at 5.5" from top of rectangular shade

SPECIFICATIONS

- Dark Sky Compliant, Full cut-off (applies to "Down Light" version)
- High efficiency, fully integrated proprietary LED module
- IP66 Rated
- BUG Rating B1-U0-G0
- 120-277V input
- 100,000+ hours rated life time
- 10 Year Limited Warranty (excludes shade)
- Title 24 Compliant
- ADA Compliant

LAMPING

- 3000K or 3500K CCT
- MT1 (down light) 250 lumens delivered
- MT2 (down and up) 150 lumens down, 150 lumens up
- 33W

CONSTRUCTION
Manufactured from aluminum with industrial powder coat finish

46.5" shown with "Down Light", Matte Black finish


TITLE 24 ADA 10YR WARRANTY ETL

ALVALIGHT.COM / 510 993 0898 SPECIFICATIONS SUBJECT TO CHANGE, REVISED 01/18/2022

STI259 LED **we-ef**

133-0405 (previous product code: 615-1321 for reference only)

1/3



Description
Downward aimed shielded light source. ADA (American Disabilities Act) Compliant. IP66. Class I. IK10. Marine-grade, die-cast aluminum alloy. 5CE superior corrosion protection including PCS hardware. Silicone CCG® Controlled Compression Gasket. Safety glass lens. Two cable entries. Integral driver. Factory-installed LED circuit board. 0-10V Dimming standard. A pre-installation blackout is available and recommended for mounting in concrete walls; to be ordered separately. Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX (Accessory 1)

Beam Type asymmetric, 'forward-throw' [A60]

Light Source LED-18/4W - 3000 K

CRI 80

Gear Type electronic gear

Nominal Luminous Flux (lm)

LED Lumens	740 lm
LEDs	1
Total Lumens	740 lm
Tj	25 °C

Delivered Lumens Flux (lm)

LED Lumens	178 lm
Total Lumens	178 lm
Ta	25 °C

Rated Input Power 5.6 W

WE-EF LIGHTING USA LLC
Spec Support Hotline: +1 412 783 0948 | 410-D Keystone Drive | Warrandale PA 15086 U.S.A. | Tel +1 724 742 0030 | info.usa@we-ef.com | www.we-ef.com | 29-03-2023 23:15
Technical modifications and errors excepted

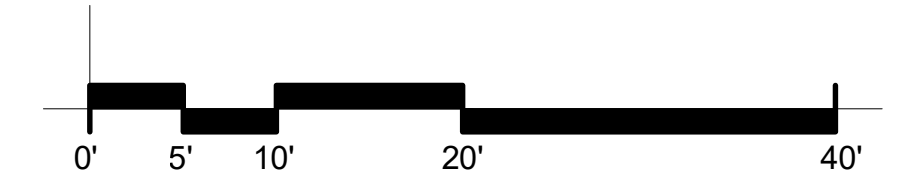
1 TYPE S3

2 TYPE S4

3 TYPE S6

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921



PREPARATION DATE: _____

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



3 WEST ELEVATION - PHASE I
 1/16" = 1'-0"

MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
 Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000
 BR-2 Brick - Running Bond - Alternating Recessed Courses
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000
 BR-3 Brick - Rowlock
 Interstate Brick "Ash" 100%
 FINISH: Matte SPEC: 04 2000
 BR-4 Brick - Recessed Stretcher
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face Shot Blast
 SPEC: 04 2000
 CMU-2 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face
 SPEC: 04 2000
 CMU-3 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Ground Face
 SPEC: 04 2000
 CMU-4 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Split Face
 SPEC: 04 2000

BR-G Glass Brick - 4x8x3
 SEVES VISTABRIK
 3" SOLID GLASS BLOCK CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

FCS-1 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-1 & PTE-4 SPEC:
 FCS-2 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:
 FCS-3 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:
 FCS-4 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:
 FCS-5 Fiber-Cement Siding
 Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:
 FCS-6 Fiber-Cement Siding
 Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:
 ARS-1 Asphalt Roof Shingles
 Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
 1" Insulated Vision Glass
 SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
 Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113
 PTE-2 Paint Color
 Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113
 PTE-3 Paint Color
 Sherwin Williams SW 6216 Jasper SPEC: 09 9113
 PTE-4 Paint Color
 Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

ELEVATION KEYNOTES

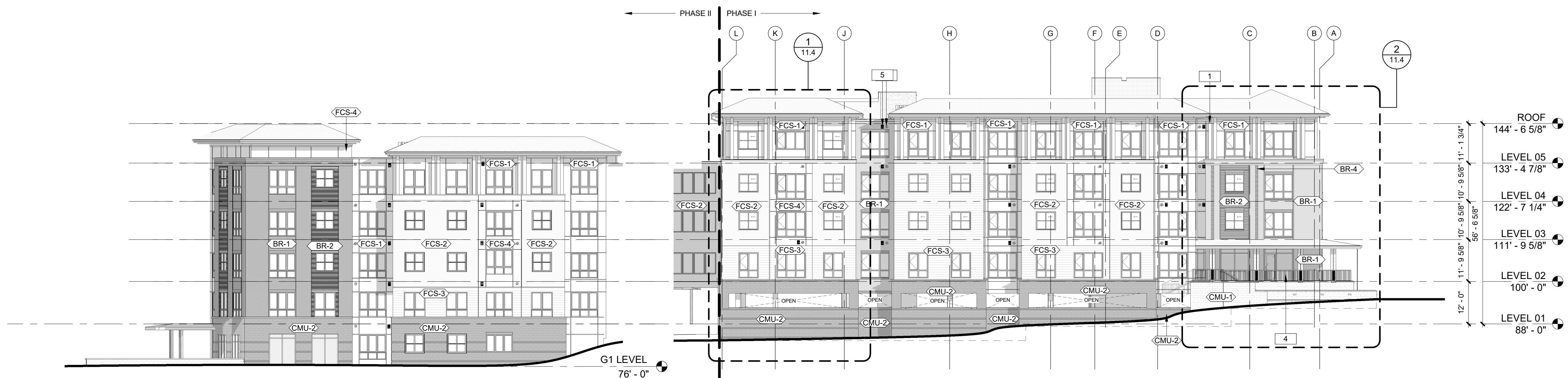
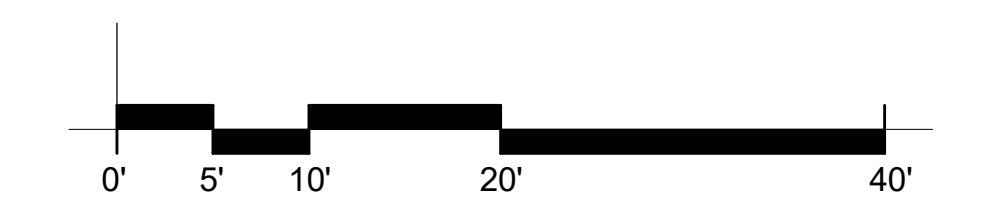
- 1 [07 4646] TRIM BOX-OUT/FAUX COLUMN
- 2 [00 00] REGIONAL SWITCHBOARD EQUIPMENT, BY OTHERS
- 3 [23 0000] UNIT W/H CONCENTRIC VENT, PAINT TO MATCH ADJACENT CLADDING
- 4 [05 5000] MTL RAILING W/ HIGH PERFORMANCE COATING
- 5 [23 0000] UNIT EXHAUST: XVENT DVEB-84-S, PAINT TO MATCH ADJACENT CLADDING
- 6 [07 6200] PRE-FINISHED ALUM DOWNSPOUT
- 7 [26 0000] TRANSFORMER, RE. ELECTRICAL

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



1 NORTH ELEVATION - PHASE II
 1/16" = 1'-0"

2 NORTH ELEVATION - PHASE I
 1/16" = 1'-0"

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
 Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000
 BR-2 Brick - Running Bond - Alternating Recessed Courses
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000
 BR-3 Brick - Rowlock
 Interstate Brick "Ash" 100%
 FINISH: Matte SPEC: 04 2000
 BR-4 Brick - Recessed Stretcher
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face Shot Blast
 SPEC: 04 2000
 CMU-2 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face
 SPEC: 04 2000
 CMU-3 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Ground Face
 SPEC: 04 2000
 CMU-4 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Split Face
 SPEC: 04 2000

BR-G Glass Brick - 4x8x3
 SEVES VISTA BRK
 3" SOLID GLASS BLOCK CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

FCS-1 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-1 & PTE-4 SPEC:
 FCS-2 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:
 FCS-3 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:
 FCS-4 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:
 FCS-5 Fiber-Cement Siding
 Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:
 FCS-6 Fiber-Cement Siding
 Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:
 ARS-1 Asphalt Roof Shingles
 Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
 1" Insulated Vision Glass
 SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
 Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113
 PTE-2 Paint Color
 Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113
 PTE-3 Paint Color
 Sherwin Williams SW 6216 Jasper SPEC: 09 9113
 PTE-4 Paint Color
 Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

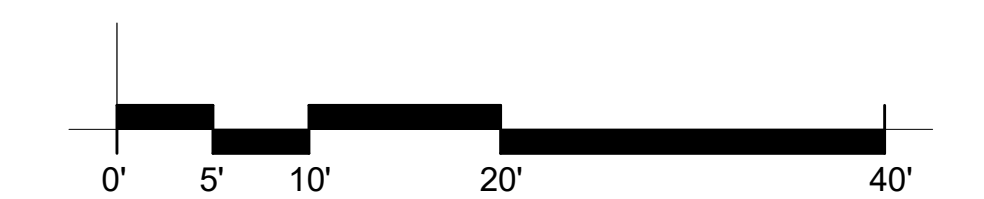
ELEVATION KEYNOTES

- 1 [07 4646] FIBER CEMENT SIDING
- 2 [03 4500] PRECAST CONCRETE COPING
- 3 [07 4646] TRIM BOX-OUT/FAUX COLUMN
- 4 [07 6200] PRE-FINISHED ALUM DOWNSPOUT
- 5 [03 4500] PRECAST CONCRETE CAP
- 6 [23 0000] UNIT W/H CONCENTRIC VENT. PAINT TO MATCH ADJACENT CLADDING
- 7 [00 000] REGIONAL SWITCHBOARD EQUIPMENT, BY OTHERS
- 8 [22 0000] GAS METER, RE. PLUMBING
- 9 [23 0000] UNIT EXHAUST, XVENT DVEB-84-S, PAINT TO MATCH ADJACENT CLADDING

BFAD

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



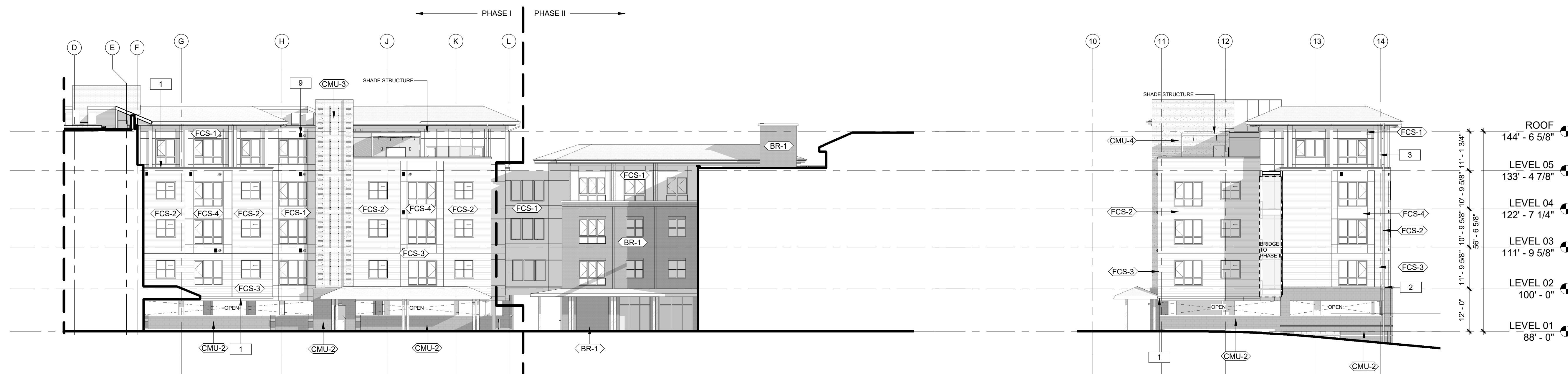
PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3



3 SOUTH ELEVATION - PHASE I
 1/16" = 1'-0"

4 EAST ELEVATION - PHASE I
 1/16" = 1'-0"



1 SOUTH ELEVATION - PHASE I
 1/16" = 1'-0"

2 EAST ELEVATION - PHASE I
 1/16" = 1'-0"

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025

MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000

BR-2 Brick - Running Bond - Alternating Recessed Courses
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000

BR-3 Brick - Rowlock
Interstate Brick "Ash" 100%
FINISH: Matte SPEC: 04 2000

BR-4 Brick - Recessed Stretcher
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
Basalite COLOR: 600R FINISH: Ground Face Shot Blast
SPEC: 04 2000

CMU-2 CMU - 8x8x16
Basalite COLOR: 600R FINISH: Ground Face
SPEC: 04 2000

CMU-3 CMU - 4x8x16
Basalite COLOR: 923R FINISH: Ground Face
SPEC: 04 2000

CMU-4 CMU - 4x8x16
Basalite COLOR: 923R FINISH: Split Face
SPEC: 04 2000

BR-G Glass Brick - 4x8x3
SEVES VISTABRIK
3" SOLID GLASS BLOCK CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

FCS-1 Fiber-Cement Siding
Allura Panel FINISH: Smooth COLOR: PTE-1 & PTE-4 SPEC:

FCS-2 Fiber-Cement Siding
Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:

FCS-3 Fiber-Cement Siding
Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:

FCS-4 Fiber-Cement Siding
Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:

FCS-5 Fiber-Cement Siding
Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:

FCS-6 Fiber-Cement Siding
Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:

ARS-1 Asphalt Roof Shingles
Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
1" Insulated Vision Glass
SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113

PTE-2 Paint Color
Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113

PTE-3 Paint Color
Sherwin Williams SW 6216 Jasper SPEC: 09 9113

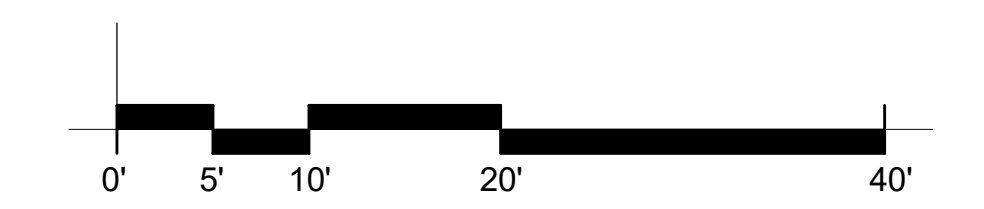
PTE-4 Paint Color
Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

ELEVATION KEYNOTES



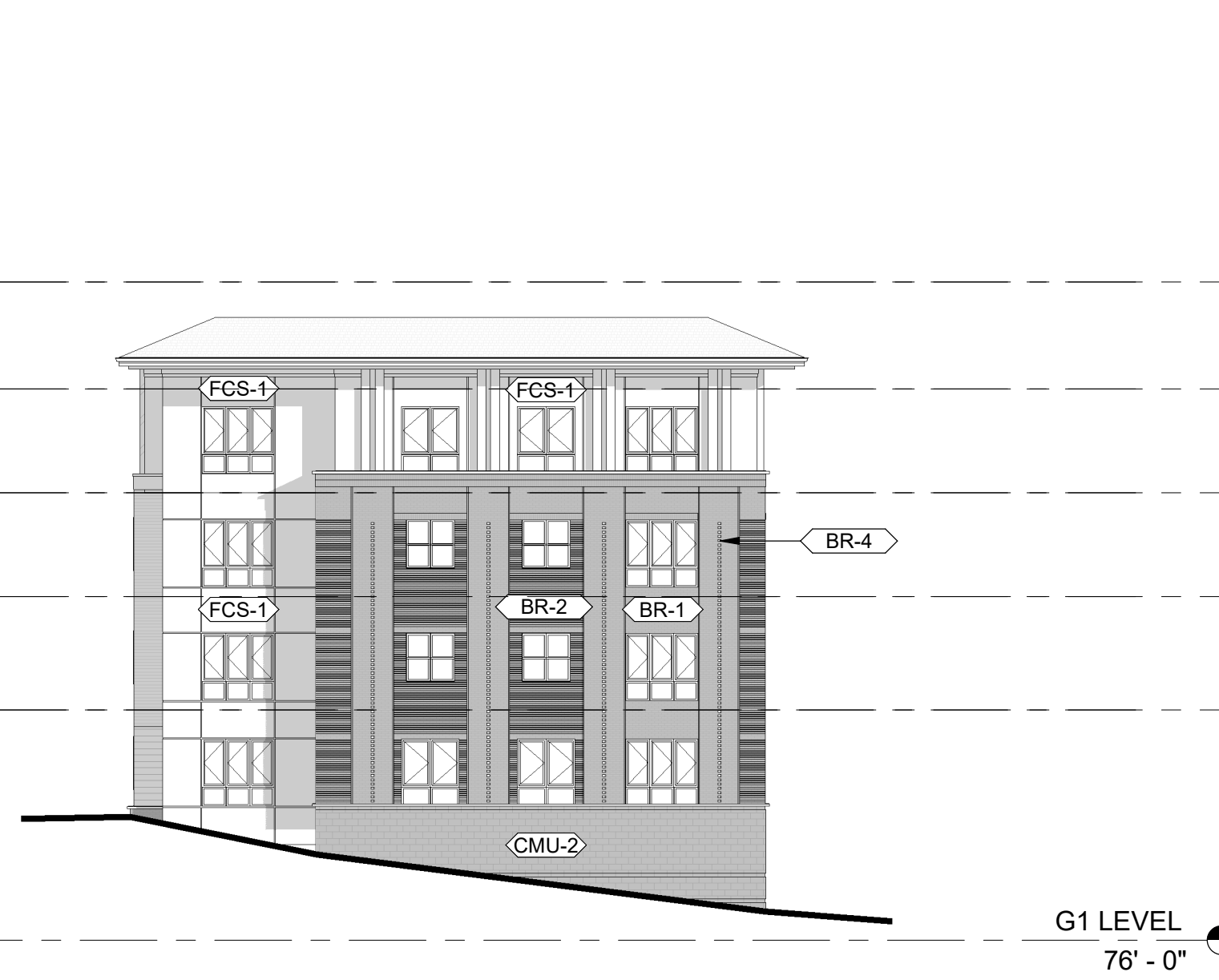
BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com

CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

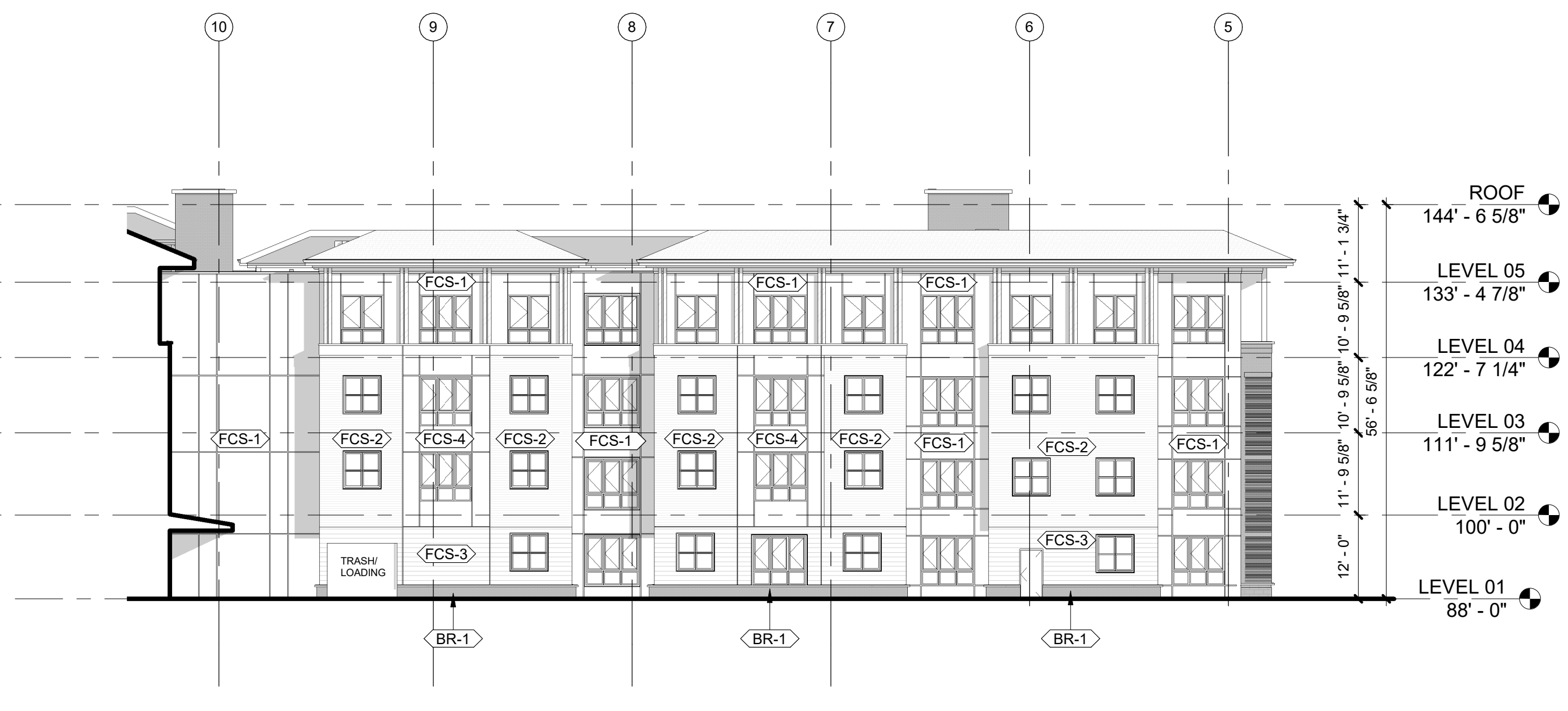


PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3



2 SOUTH ELEVATION - PHASE II
1/16" = 1'-0"



3 WEST ELEVATION - PHASE II
1/16" = 1'-0"



1 EAST ELEVATION - PHASE II
1/16" = 1'-0"

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
 Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

BR-2 Brick - Running Bond - Alternating Recessed Courses
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

BR-3 Brick - Rowlock
 Interstate Brick "Ash" 100%
 FINISH: Matte SPEC: 04 2000

BR-4 Brick - Recessed Stretcher
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face Shot Blast
 SPEC: 04 2000

CMU-2 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face
 SPEC: 04 2000

CMU-3 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Ground Face
 SPEC: 04 2000

CMU-4 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Split Face
 SPEC: 04 2000

BR-G Glass Brick - 4x8x3
 SEVES VISTABRIK
 3" SOLID GLASS BLOCK: CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

FCS-1 Fiber-Cement Siding
 Allura Panel FINISH: Smooth, COLOR: PTE-1 & PTE-4 SPEC:

FCS-2 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:

FCS-3 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:

FCS-4 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:

FCS-5 Fiber-Cement Siding
 Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:

FCS-6 Fiber-Cement Siding
 Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:

ARS-1 Asphalt Roof Shingles
 Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
 1" Insulated Vision Glass
 SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
 Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113

PTE-2 Paint Color
 Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113

PTE-3 Paint Color
 Sherwin Williams SW 6216 Jasper SPEC: 09 9113

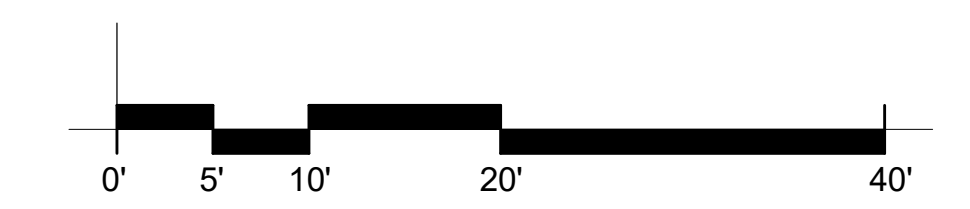
PTE-4 Paint Color
 Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3



1 WEST ELEVATION @ ENTRANCE
 1/4" = 1'-0"

9/8/2023 11:58:36 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
 Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000
 BR-2 Brick - Running Bond - Alternating Recessed Courses
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000
 BR-3 Brick - Rowlock
 Interstate Brick "Ash" 100%
 FINISH: Matte SPEC: 04 2000
 BR-4 Brick - Recessed Stretcher
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face Shot Blast
 SPEC: 04 2000
 CMU-2 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face
 SPEC: 04 2000
 CMU-3 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Ground Face
 SPEC: 04 2000
 CMU-4 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Split Face
 SPEC: 04 2000

BR-G Glass Brick - 4x8x3
 SEVES VISTA BRICK
 3" SOLID GLASS BLOCK CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

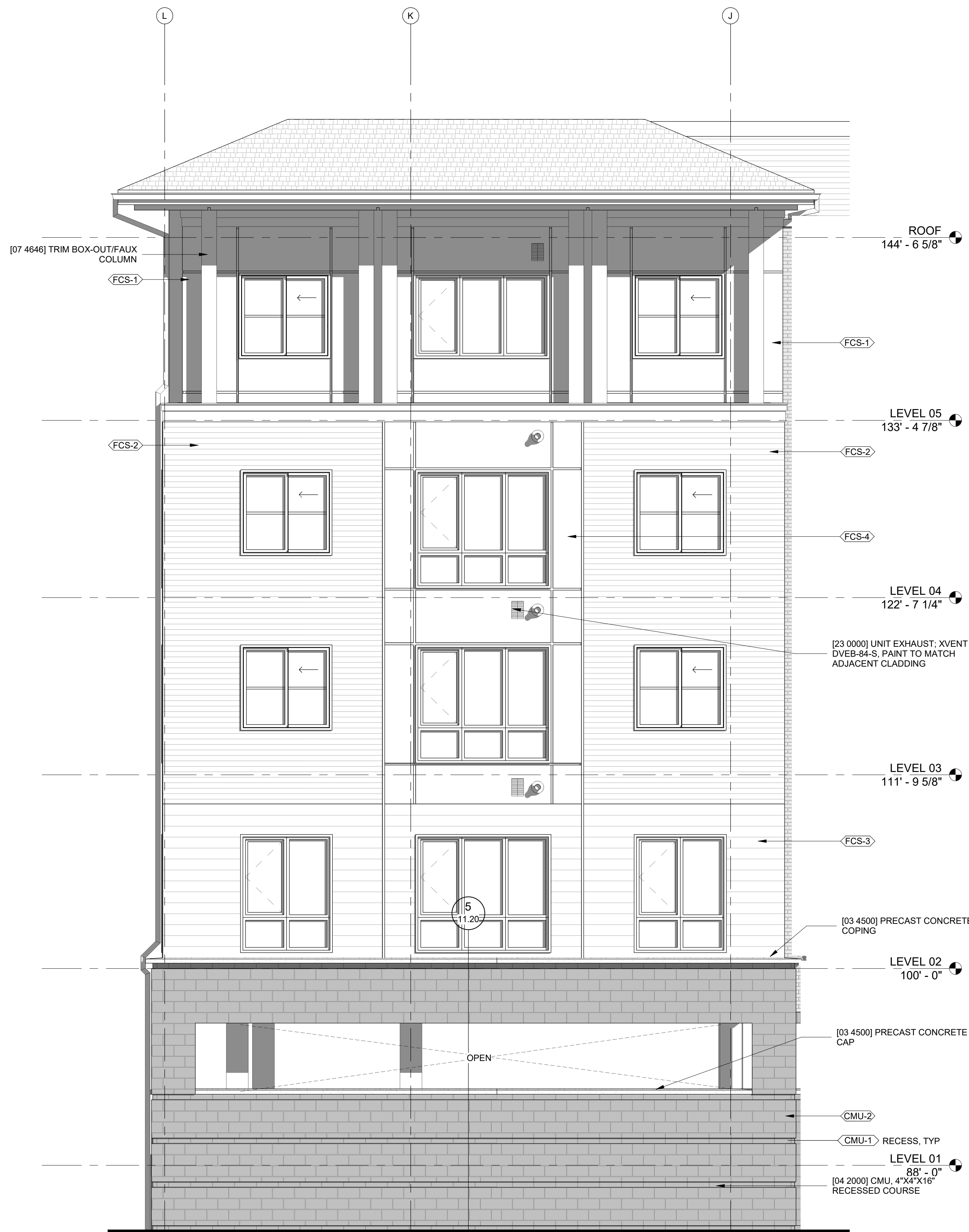
FCS-1 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-1 & PTE-4 SPEC:
 FCS-2 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:
 FCS-3 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:
 FCS-4 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:
 FCS-5 Fiber-Cement Siding
 Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:
 FCS-6 Fiber-Cement Siding
 Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:
 ARS-1 Asphalt Roof Shingles
 Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
 1" Insulated Vision Glass
 SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
 Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113
 PTE-2 Paint Color
 Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113
 PTE-3 Paint Color
 Sherwin Williams SW 6216 Jasper SPEC: 09 9113
 PTE-4 Paint Color
 Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113



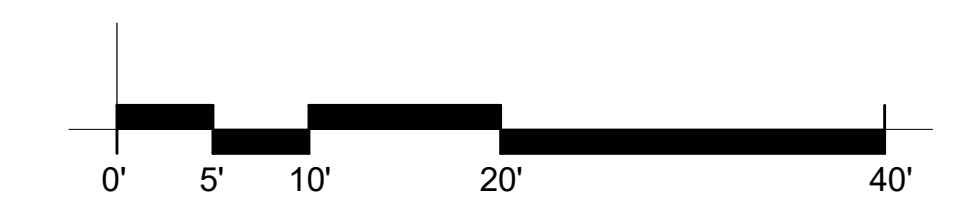
1 NORTH ELEVATION - CMU DETAIL
 1/4" = 1'-0"



2 NORTH ELEVATION @ PATIO
 1/4" = 1'-0"

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

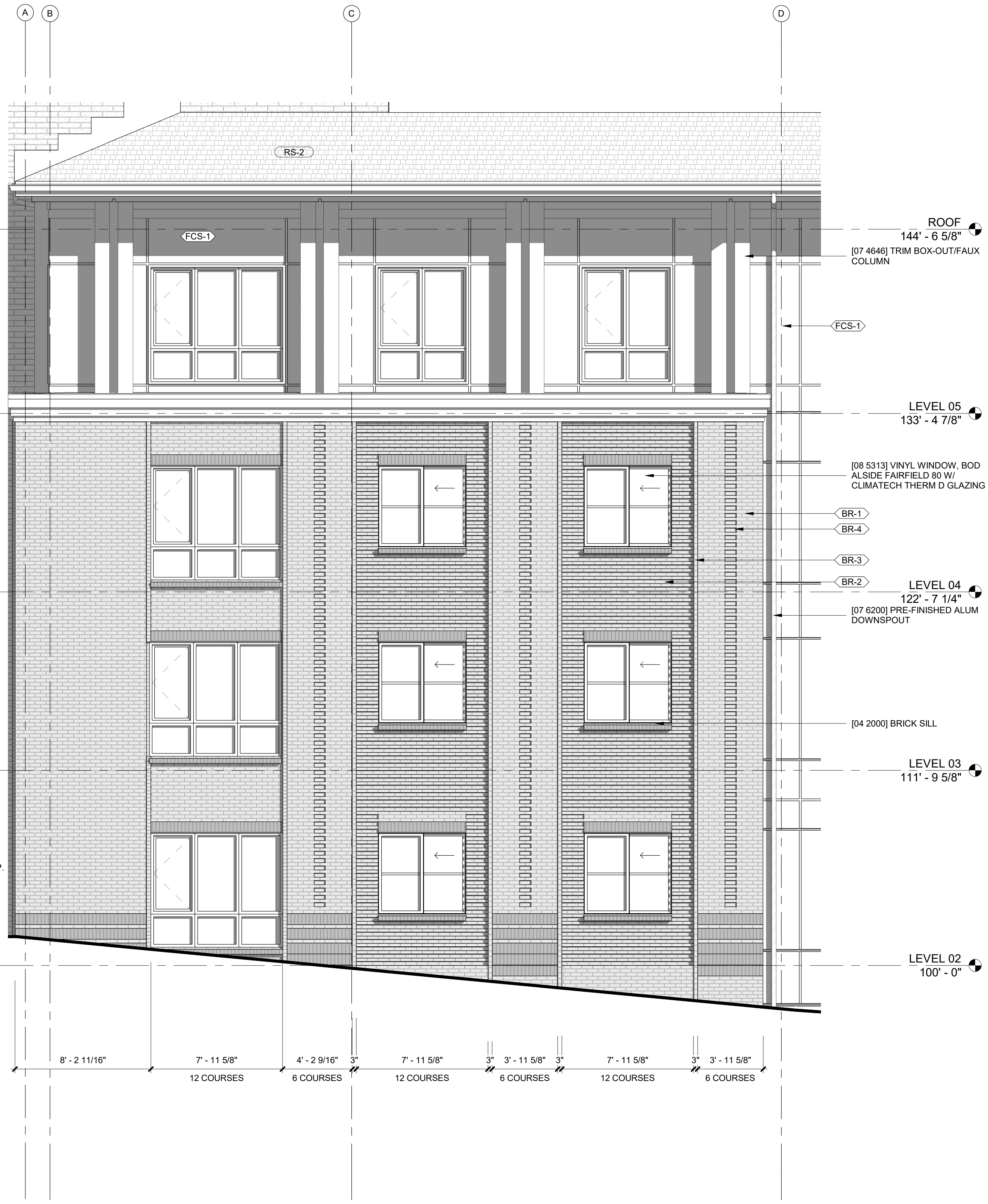
9/8/2023 11:59:45 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025



1 EAST ELEVATION @ TRASH ROOM
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND

DIVISION 03 - CONCRETE

- PC-1 Precast Concrete
Concrete Design, Inc COLOR: WC SPEC: 04 2000
- ACF-1 Architectural Concrete Finish
CIP Concrete SPEC: 03 3000

DIVISION 04 - MASONRY

- BR-1 Brick - Running Bond, Soldier Course & Rowlock Sill
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000
- BR-2 Brick - Running Bond - Alternating Recessed Courses
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000
- BR-3 Brick - Rowlock
Interstate Brick "Ash" 100%
FINISH: Matte SPEC: 04 2000
- BR-4 Brick - Recessed Stretcher
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000

- CMU-1 CMU - 8x8x16
Basaltite COLOR: 600R FINISH: Ground Face Shot Blast
SPEC: 04 2000
- CMU-2 CMU - 8x8x16
Basaltite COLOR: 600R FINISH: Ground Face
SPEC: 04 2000
- CMU-3 CMU - 4x8x16
Basaltite COLOR: 923R FINISH: Ground Face
SPEC: 04 2000
- CMU-4 CMU - 4x8x16
Basaltite COLOR: 923R FINISH: Split Face
SPEC: 04 2000

- BR-G Glass Brick - 4x8x3
SEVES VISTABRIK
3" SOLID GLASS BLOCK: CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

- FCS-1 Fiber-Cement Siding
Allura Panel FINISH: Smooth, COLOR: PTE-1 & PTE-4 SPEC:
- FCS-2 Fiber-Cement Siding
Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:
- FCS-3 Fiber-Cement Siding
Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:
- FCS-4 Fiber-Cement Siding
Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:
- FCS-5 Fiber-Cement Siding
Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:
- FCS-6 Fiber-Cement Siding
Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:

- ARS-1 Asphalt Roof Shingles
Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

- GL-1 Glass
1" Insulated Vision Glass
SPEC: 08 8000

DIVISION 09 - FINISHES

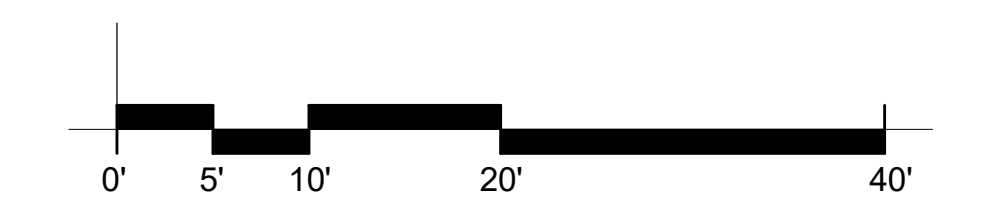
- PTE-1 Paint Color
Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113
- PTE-2 Paint Color
Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113
- PTE-3 Paint Color
Sherwin Williams SW 6216 Jasper SPEC: 09 9113
- PTE-4 Paint Color
Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113

(303) 209-0073
www.bryantflink.com

CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

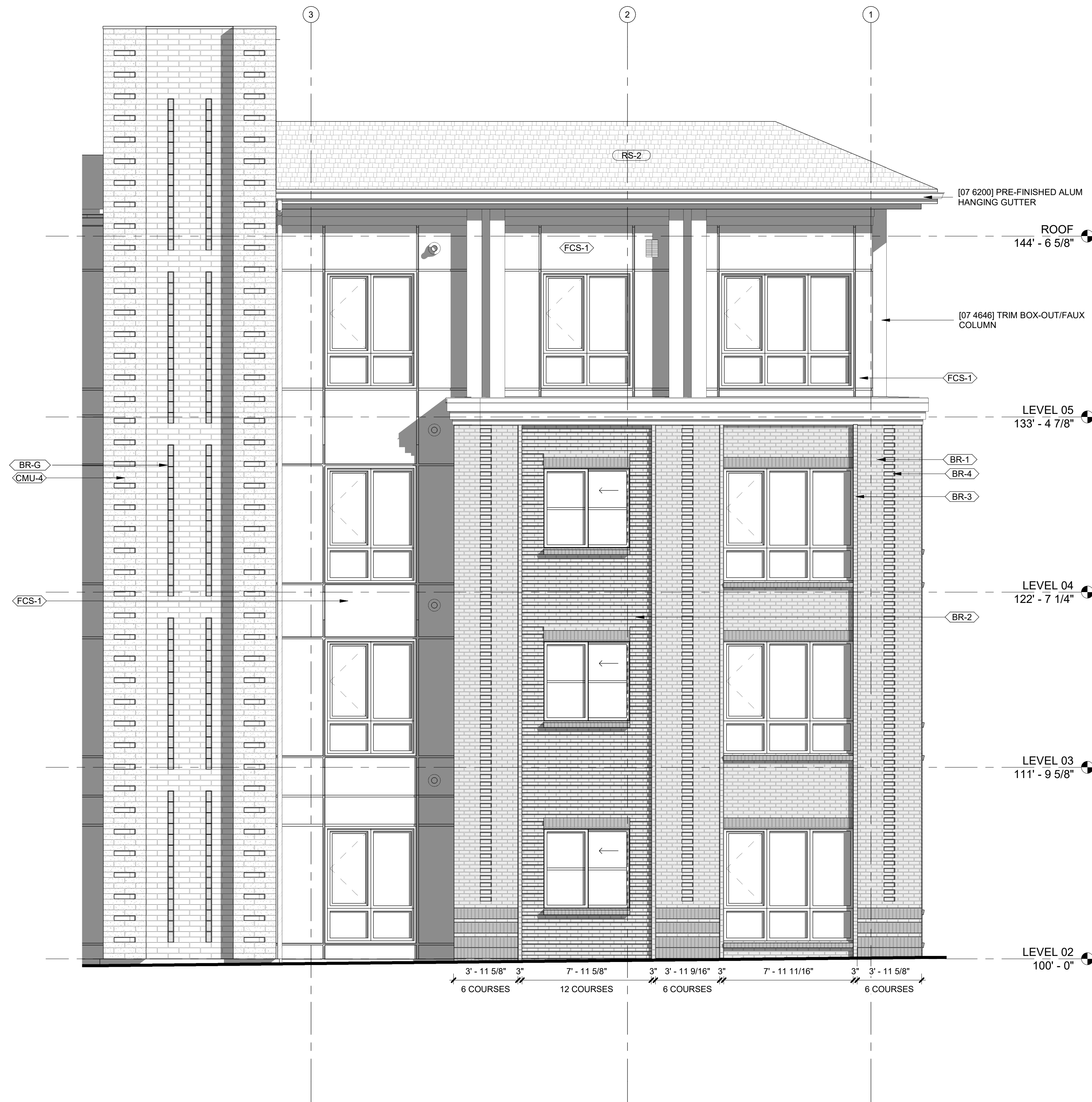


PREPARATION DATE:			
REVISION / COMMENTS			
NO.	DATE	SUBMITTAL #	DESCRIPTION
1	7/14/2023	SUBMITTAL #1	
2	8/03/2023	SUBMITTAL #2	
3	9/11/2023	SUBMITTAL #3	

9/8/2023 11:59:51 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
 Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

BR-2 Brick - Running Bond - Alternating Recessed Courses
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

BR-3 Brick - Rowlock
 Interstate Brick "Ash" 100%
 FINISH: Matte SPEC: 04 2000

BR-4 Brick - Recessed Stretcher
 Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
 FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face Shot Blast
 SPEC: 04 2000

CMU-2 CMU - 8x8x16
 Basalite COLOR: 600R FINISH: Ground Face
 SPEC: 04 2000

CMU-3 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Ground Face
 SPEC: 04 2000

CMU-4 CMU - 4x8x16
 Basalite COLOR: 923R FINISH: Split Face
 SPEC: 04 2000

BR-G Glass Brick - 4x8x3
 SEVES VISTABRIK
 3" SOLID GLASS BLOCK: CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

FCS-1 Fiber-Cement Siding
 Allura Panel FINISH: Smooth, COLOR: PTE-1 & PTE-4 SPEC:

FCS-2 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:

FCS-3 Fiber-Cement Siding
 Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:

FCS-4 Fiber-Cement Siding
 Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:

FCS-5 Fiber-Cement Siding
 Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:

FCS-6 Fiber-Cement Siding
 Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:

ARS-1 Asphalt Roof Shingles
 Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
 1" Insulated Vision Glass
 SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
 Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113

PTE-2 Paint Color
 Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113

PTE-3 Paint Color
 Sherwin Williams SW 6216 Jasper SPEC: 09 9113

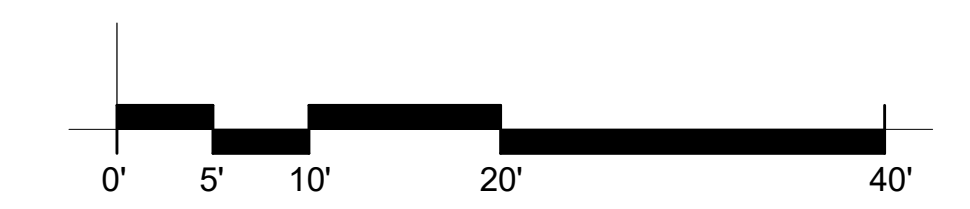
PTE-4 Paint Color
 Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
www.bryantflink.com

CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

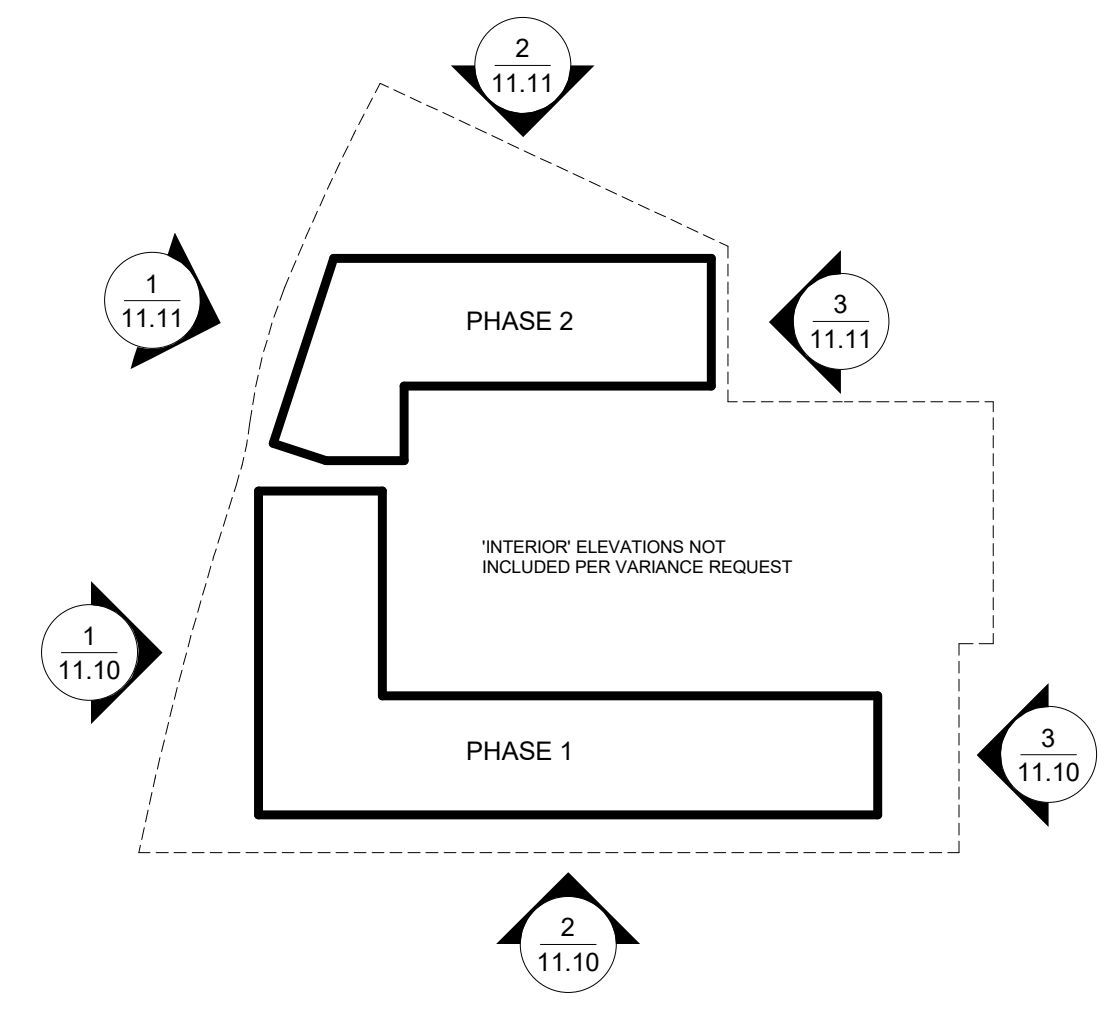
NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

1 WEST ELEVATION @ STAIRS
 1/4" = 1'-0"

9/8/2023 11:59:54 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



ENT-MATERIAL DIAGRAM KEY
 NTS

ORIENTATION	% REQUIRED	TOTAL WALL AREA	PRIMARY MATERIAL REQ'D	PRIMARY MATERIAL PROVIDED	% PROVIDED
PHASE 1 - 1. NORTH	60	10,075 SF	6,045 SF	5,219 SF	52
PHASE 1 - 2. EAST	0	0 SF	0 SF	0 SF	0
PHASE 1 - 3. SOUTH	60	3,250 SF	1,950 SF	2,111 SF	65
PHASE 1 - 4. WEST	60	15,550 SF	9,330 SF	8,169 SF	53
PHASE 2 - 1. NORTH	60	6,470 SF	3,882 SF	3,713 SF	57
PHASE 2 - 2. EAST	60	12,000 SF	7,200 SF	7,595 SF	63
PHASE 2 - 3. SOUTH	60	3,575 SF	2,145 SF	2,627 SF	73
PHASE 2 - 4. WEST	0	0 SF	0 SF	0 SF	0
TOTALS	60%	50,920 SF	30,552 SF	29,434 SF	58%

NOT INCLUDED PER VARIANCE REQUEST

NOT INCLUDED PER VARIANCE REQUEST

SLIGHT DEVIATION PER VARIANCE REQUEST

NOTES

PREDOMINANT MATERIAL: CMU, BRICK, GLASS

SECONDARY MATERIAL: FIBER CEMENT SIDING

REFERENCE CITY OF LONE TREE'S DESIGN GUIDELINES & STANDARDS FOR ARCHITECTURE AND SITE PLAN, SECTION AD-22 (1), FOR PREDOMINANT MATERIAL REQUIREMENTS



1 MATERIAL DIAGRAM - PHASE 1 - NORTH
 1" = 20'-0"



2 MATERIAL DIAGRAM - PHASE 1 - WEST
 1" = 20'-0"



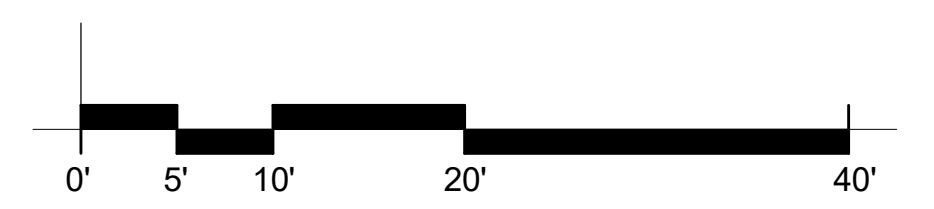
3 MATERIAL DIAGRAM - PHASE 1 - SOUTH
 1" = 20'-0"

BF AD

BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113

(303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



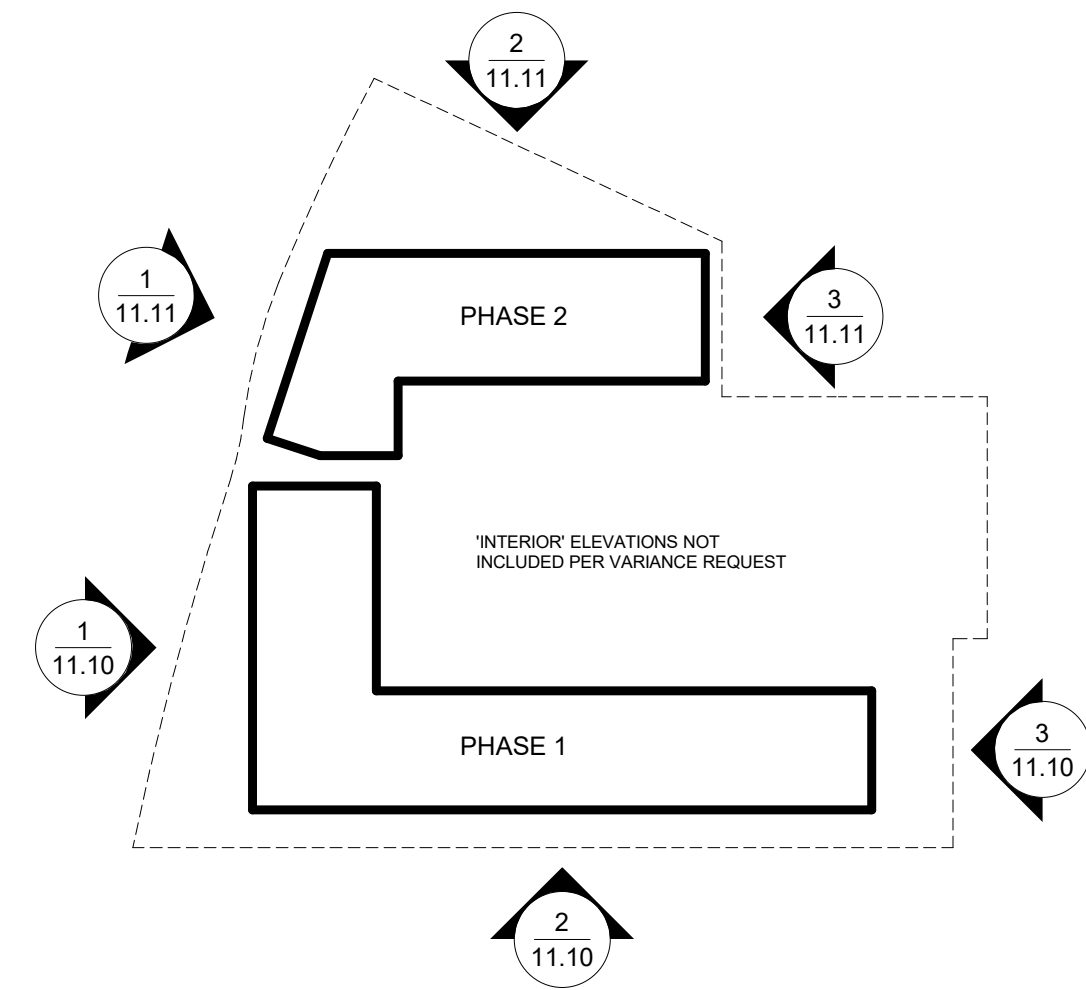
PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

9/8/2023 12:00:03 PM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLER DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



ENT-MATERIAL DIAGRAM KEY
 NTS


NOT INCLUDED PER VARIANCE REQUEST


NOT INCLUDED PER VARIANCE REQUEST

ORIENTATION	% REQUIRED	TOTAL WALL AREA	PRIMARY MATERIAL REQ'D	PRIMARY MATERIAL PROVIDED	% PROVIDED
PHASE 1 - 1. NORTH	60	10,075 SF	6,045 SF	5,219 SF	52
PHASE 1 - 2. EAST	0	0 SF	0 SF	0 SF	0
PHASE 1 - 3. SOUTH	60	3,250 SF	1,950 SF	2,111 SF	65
PHASE 1 - 4. WEST	60	15,550 SF	9,330 SF	8,169 SF	53
PHASE 2 - 1. NORTH	60	6,470 SF	3,882 SF	3,713 SF	57
PHASE 2 - 2. EAST	60	12,000 SF	7,200 SF	7,595 SF	63
PHASE 2 - 3. SOUTH	60	3,575 SF	2,145 SF	2,627 SF	73
PHASE 2 - 4. WEST	0	0 SF	0 SF	0 SF	0
TOTALS	60%	50,920 SF	30,552 SF	29,434 SF	58%

SLIGHT DEVIATION PER VARIANCE REQUEST

NOTES

 PREDOMINANT MATERIAL: CMU, BRICK, GLASS

 SECONDARY MATERIAL: FIBER CEMENT SIDING

REFERENCE CITY OF LONE TREE'S DESIGN GUIDELINES & STANDARDS FOR ARCHITECTURE AND SITE PLAN, SECTION AD-22 (1), FOR PREDOMINANT MATERIAL REQUIREMENTS



1 MATERIAL DIAGRAM - PHASE 2 - NORTH
 1" = 20'-0"



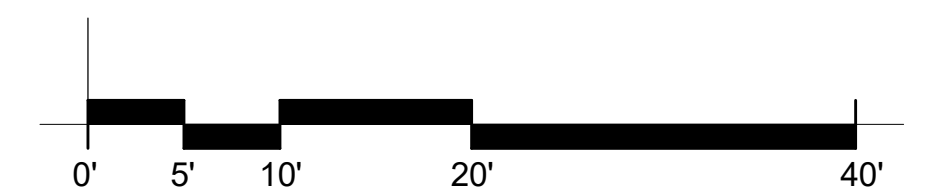
2 MATERIAL DIAGRAM - PHASE 2 - EAST
 1" = 20'-0"



3 MATERIAL DIAGRAM - PHASE 2 - SOUTH
 1" = 20'-0"



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025

MATERIAL LEGEND

DIVISION 03 - CONCRETE

PC-1 Precast Concrete
Concrete Design, Inc COLOR: WC SPEC: 04 2000

DIVISION 04 - MASONRY

BR-1 Brick - Running Bond
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000
BR-2 Brick - Running Bond - Alternating Recessed Courses
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000
BR-3 Brick - Rowlock
Interstate Brick "Ash" 100%
FINISH: Matte SPEC: 04 2000
BR-4 Brick - Recessed Stretcher
Interstate Brick MIX: "Sawgrass" 60%, "Ash" 30%
FINISH: Matte SPEC: 04 2000

CMU-1 CMU - 8x8x16
Basalite COLOR: 600R FINISH: Ground Face Shot Blast
SPEC: 04 2000
CMU-2 CMU - 8x8x16
Basalite COLOR: 600R FINISH: Ground Face
SPEC: 04 2000
CMU-3 CMU - 4x8x16
Basalite COLOR: 923R FINISH: Ground Face
SPEC: 04 2000
CMU-4 CMU - 4x8x16
Basalite COLOR: 923R FINISH: Split Face
SPEC: 04 2000

BR-G Glass Brick - 4x8x3
SEV'S VISTABRIK
3" SOLID GLASS BLOCK: CLEAR VISIBILITY

DIVISION 07 - THERMAL & MOISTURE PROTECTION

FCS-1 Fiber-Cement Siding
Allura Panel FINISH: Smooth, COLOR: PTE-1 & PTE-4 SPEC:

FCS-2 Fiber-Cement Siding
Allura Lap FINISH: Smooth EXPOSURE : 4" COLOR: PTE-2 SPEC:

FCS-3 Fiber-Cement Siding
Allura Lap FINISH: Smooth EXPOSURE : 8" COLOR: PTE-2 SPEC:

FCS-4 Fiber-Cement Siding
Allura Panel FINISH: Smooth COLOR: PTE-2 SPEC:

FCS-5 Fiber-Cement Siding
Allura Soffit Panel FINISH: Smooth COLOR: PTE-3 & PTE-2 SPEC:

FCS-6 Fiber-Cement Siding
Soffit Boards FINISH: Smooth COLOR: PTE-2 SPEC:

ARS-1 Asphalt Roof Shingles
Owens Corning, Oakridge - COLOR: Black Walnut

DIVISION 08 - OPENINGS

GL-1 Glass
1" Insulated Vision Glass
SPEC: 08 8000

DIVISION 09 - FINISHES

PTE-1 Paint Color
Sherwin Williams SW 6208 Pewter Green SPEC: 09 9113

PTE-2 Paint Color
Sherwin Williams SW 7057 Silver Strand SPEC: 09 9113

PTE-3 Paint Color
Sherwin Williams SW 6216 Jasper SPEC: 09 9113

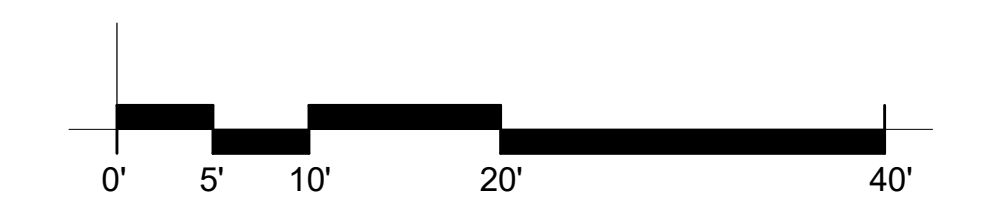
PTE-4 Paint Color
Sherwin Williams SW 9132 Acacia Haze SPEC: 09 9113

ELEVATION KEYNOTES

- 1 [06 1000] 8X8 W/D POSTS, STAINED & SEALED
- 2 [05 5000] MTL RAILING W/HIGH PERFORMANCE COATING
- 3 [08 4113] 6" OFFSET ALUM STOREFRONT GLAZING SYSTEM
- 4 [07 4646] CEMENTITIOUS FASCIA, PTE-2
- 5 [07 6200] RAIN CHAIN; BLACK CAST LINK DIAMOND CHAIN (CLD-01-BLK)
- 6 [05 1200] HSS VEHICLE BARRIER, RE-STRUCTURAL, W/HIGH PERFORMANCE PAINT FINISH

LEVEL 2 = 100'-0" = +6009.0'

B F A D
BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921



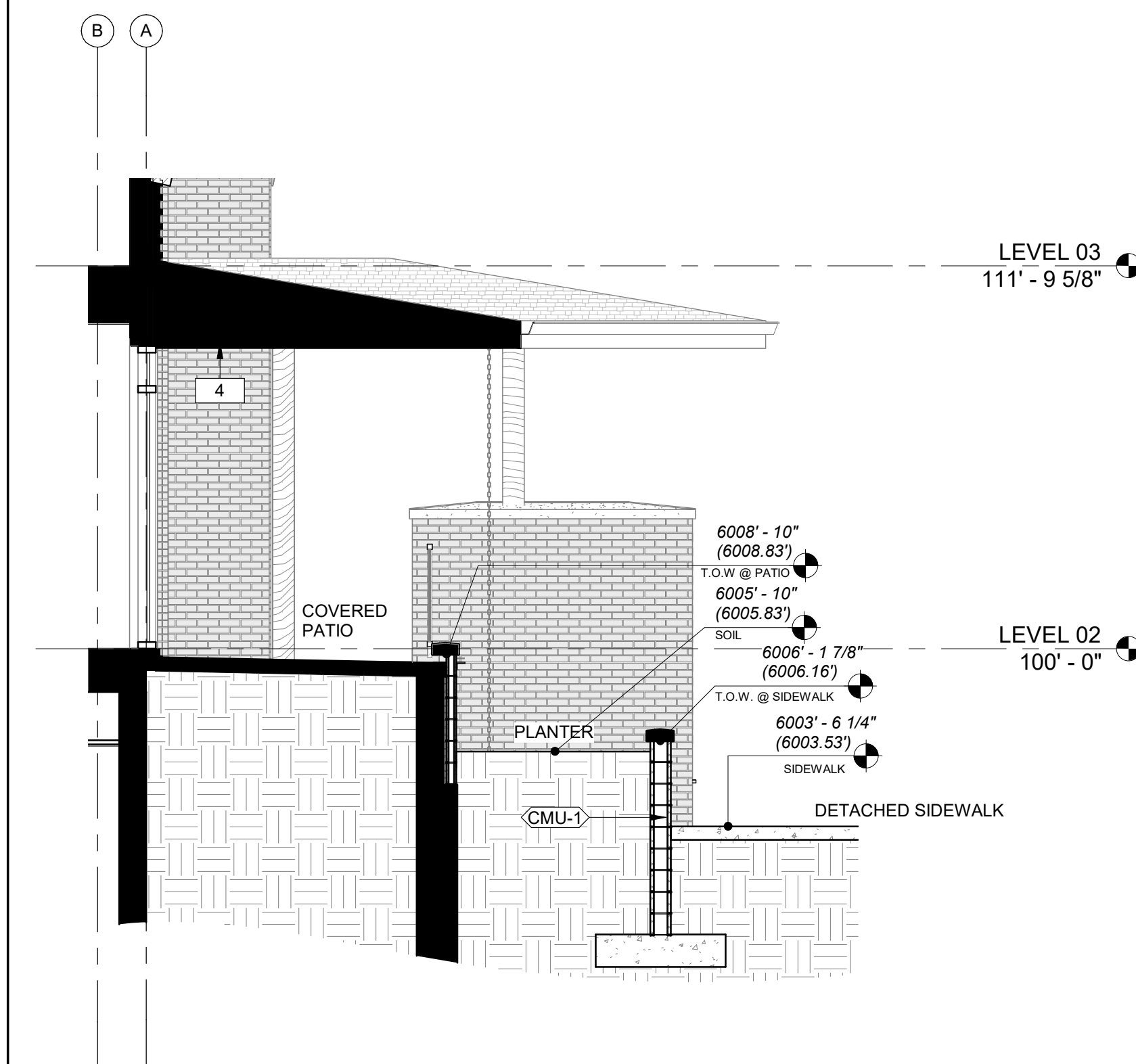
PREPARATION DATE:

REVISION / COMMENTS

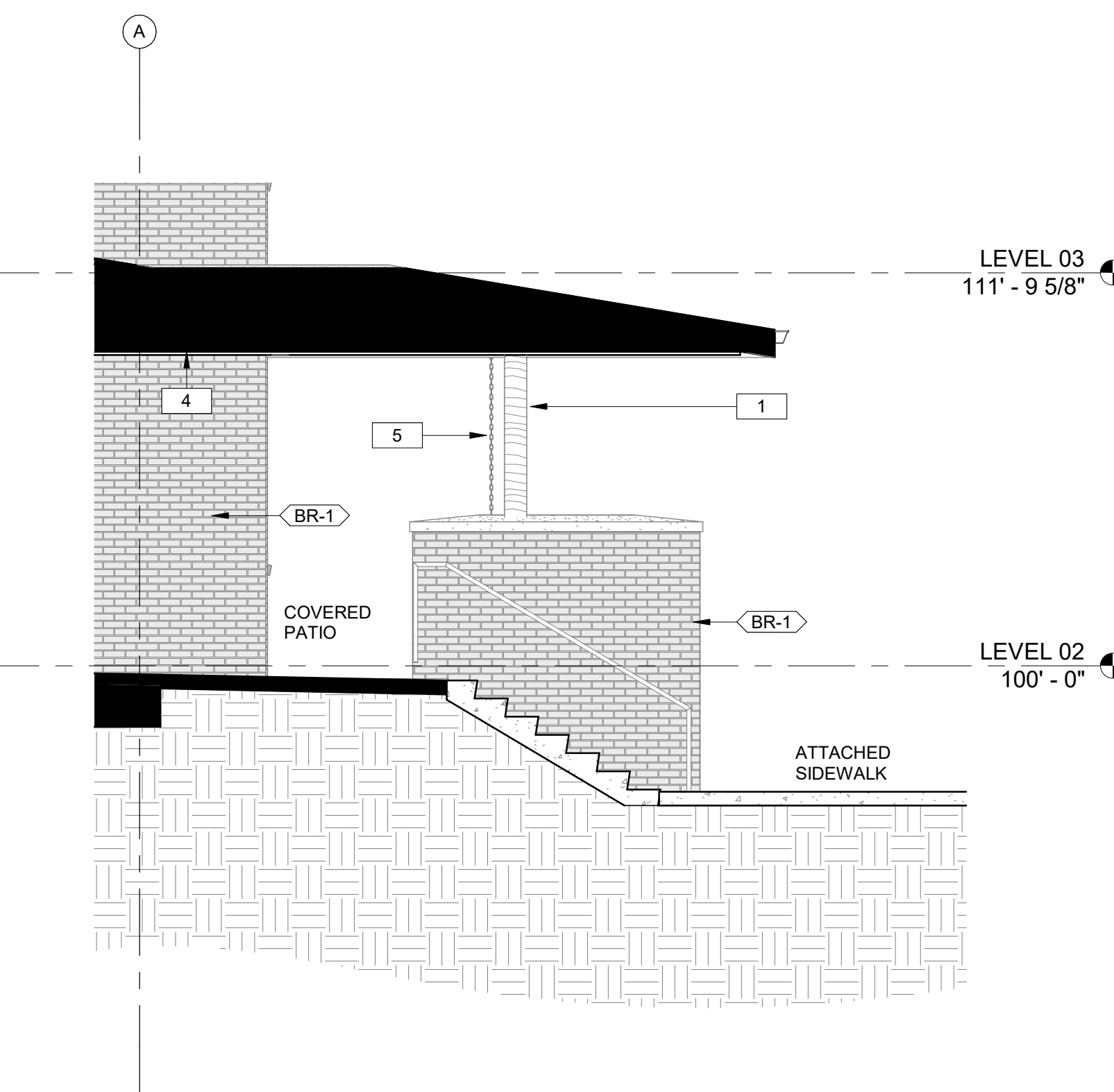
NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

SITE DETAILS

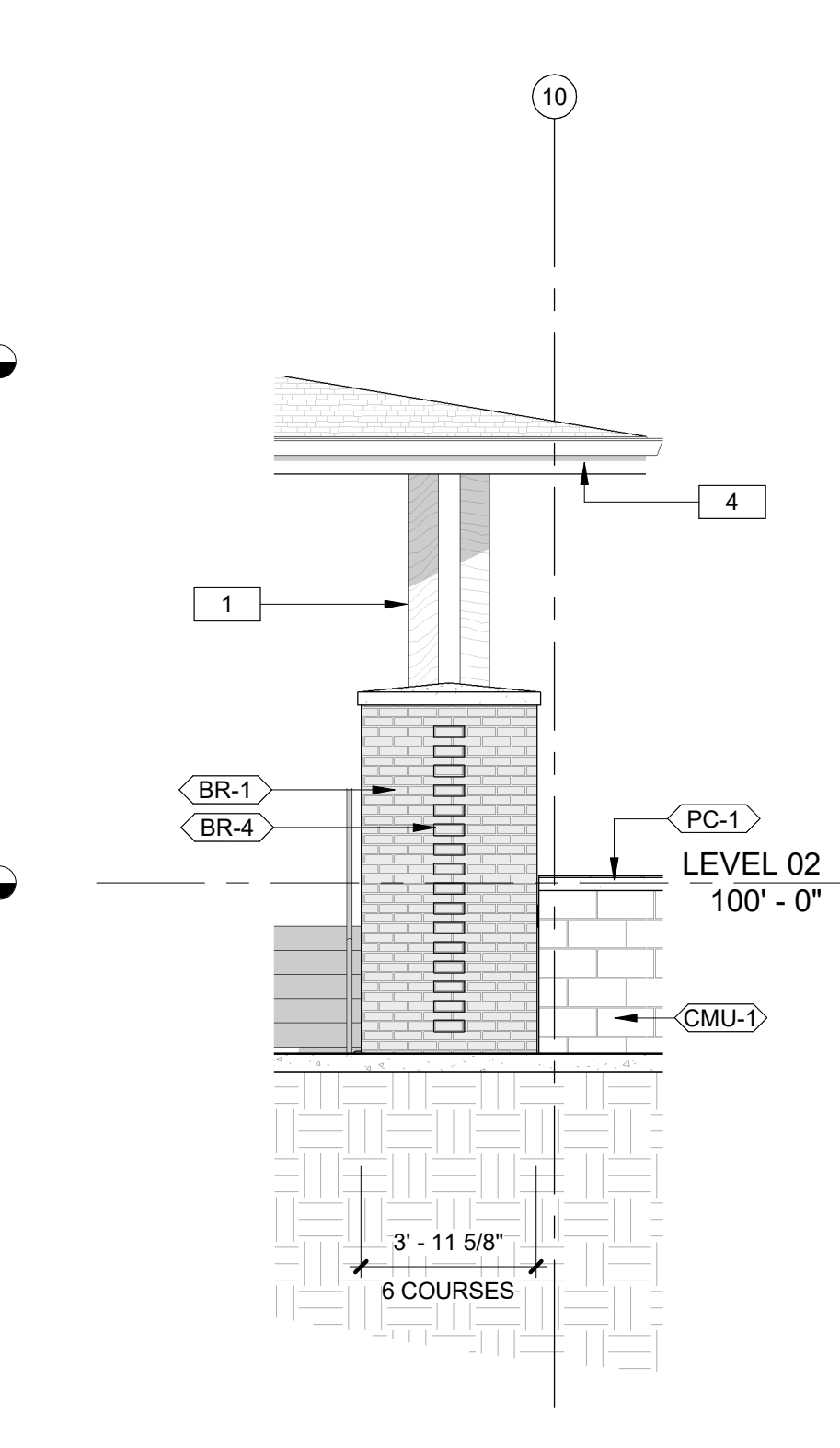
SHEET 11.20 OF 12



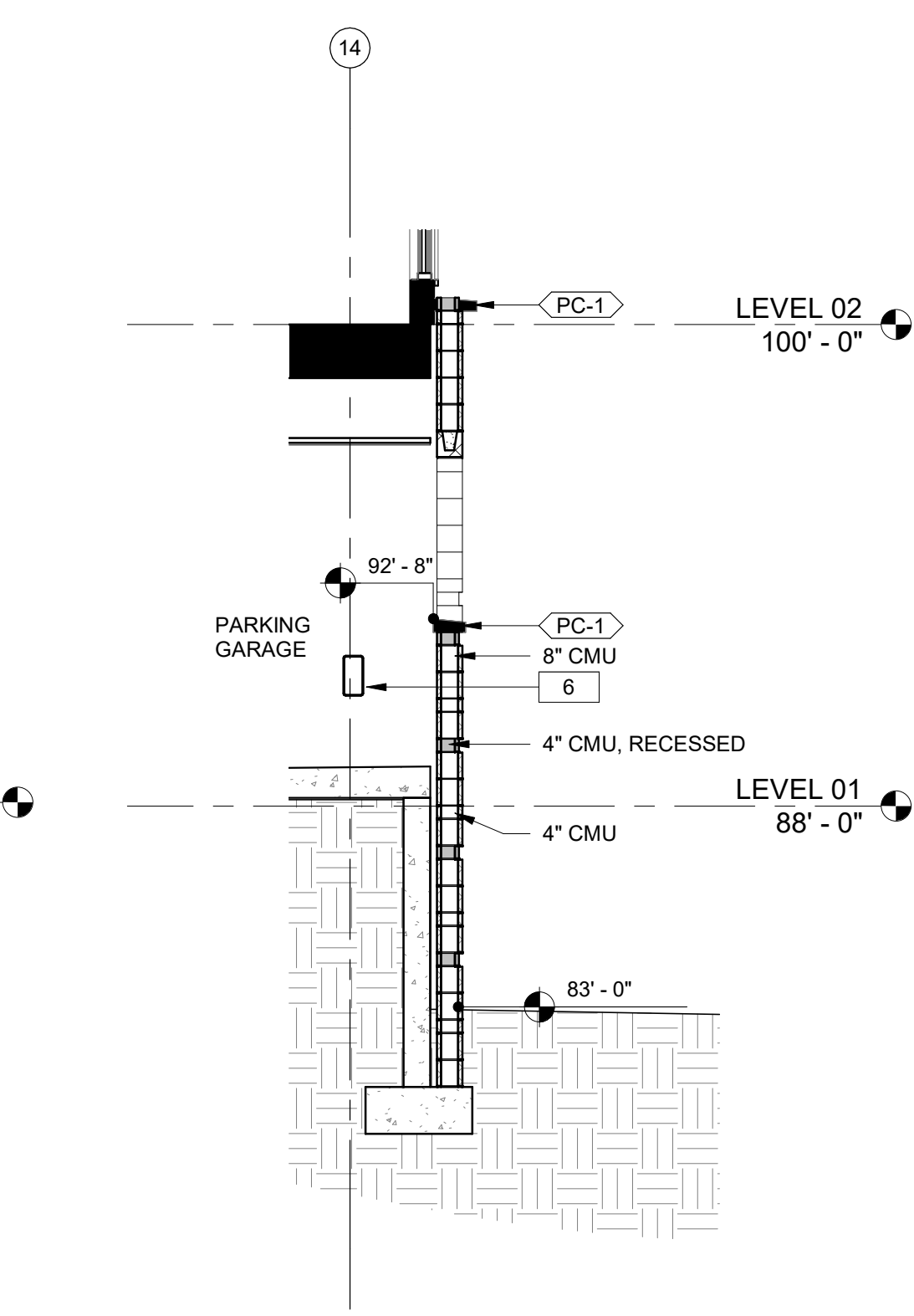
2 DETAIL - PLANTER
1/4" = 1'-0"



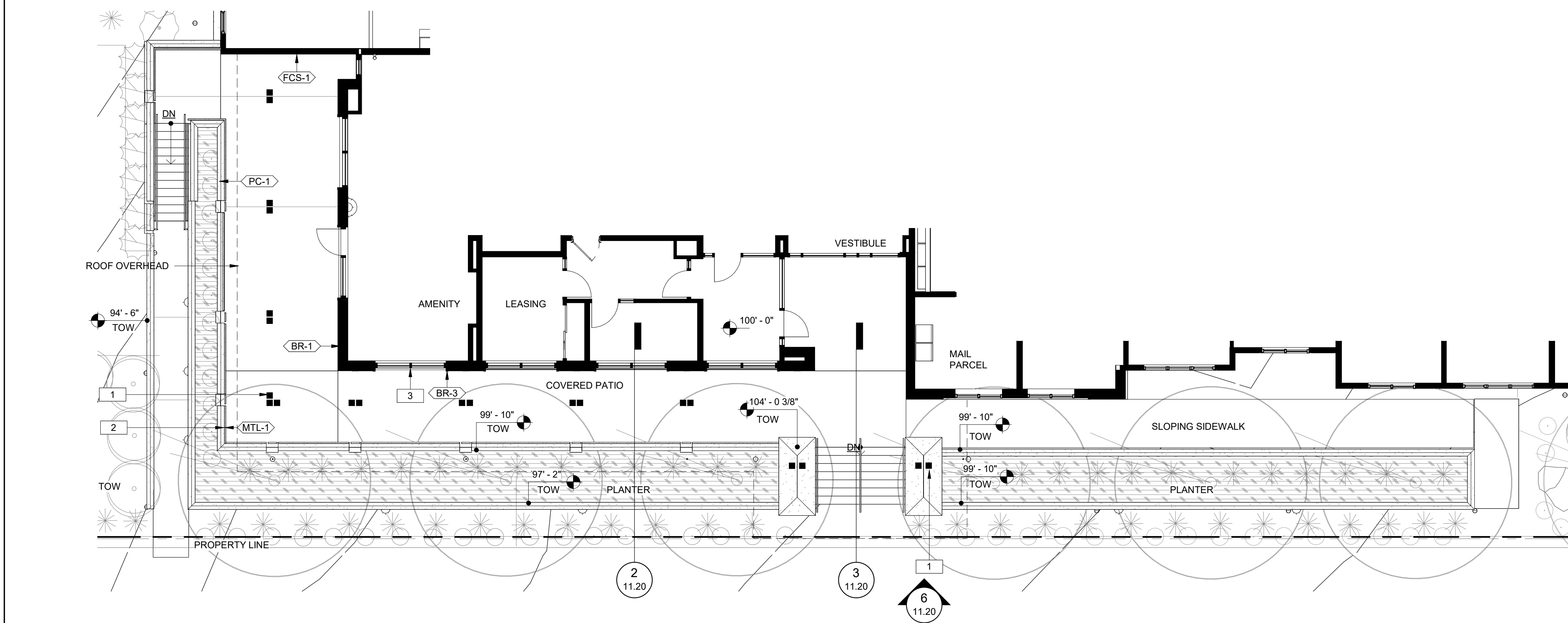
3 DETAIL - ENTRY STAIR
1/4" = 1'-0"



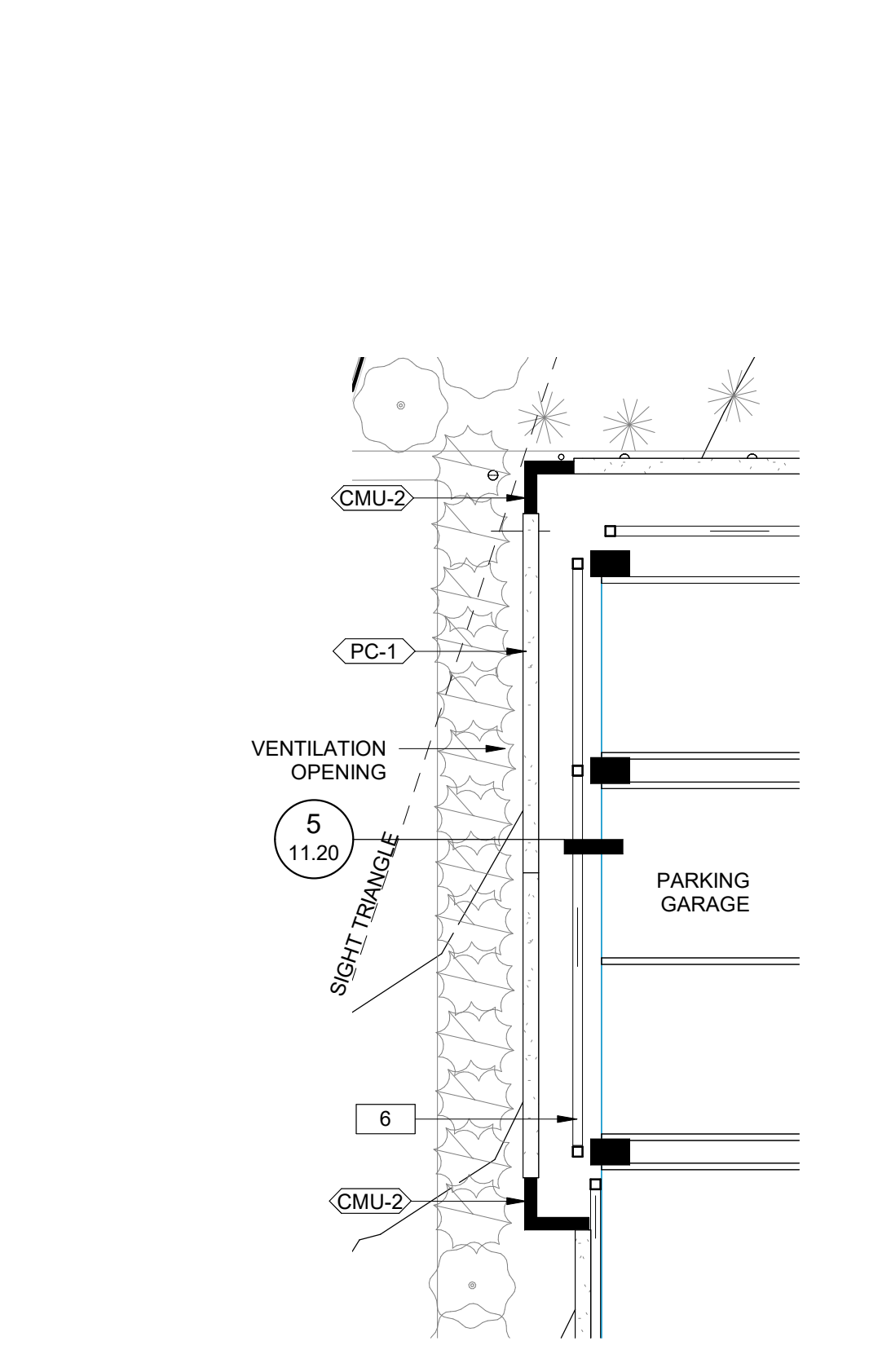
6 DETAIL - ENTRY COLUMN
1/4" = 1'-0"



5 DETAIL - PARKING CMU
1/4" = 1'-0"



1 ENLARGED SITE PLAN - MAIN ENTRY
1/8" = 1'-0"



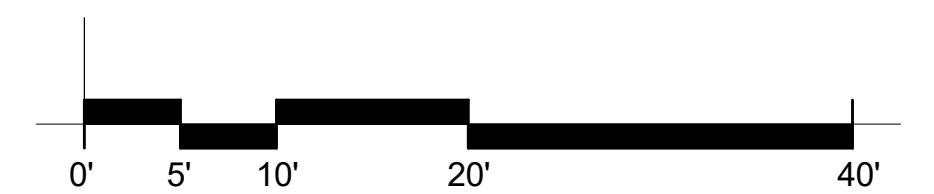
4 DETAIL - PARKING CMU PLAN
1/8" = 1'-0"

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
www.bryantflink.com
 CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RENDERINGS

SHEET 12.0 OF 12

7/31/2023 10:38:45 AM

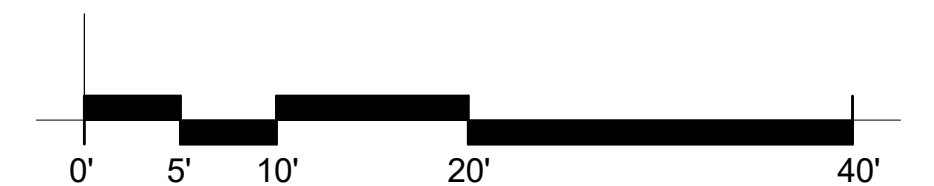
NORTHWEST CORNER PERSPECTIVE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
www.bryantflink.com
 CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RENDERINGS

SHEET 12.1 OF 12

SOUTHWEST CORNER PERSPECTIVE

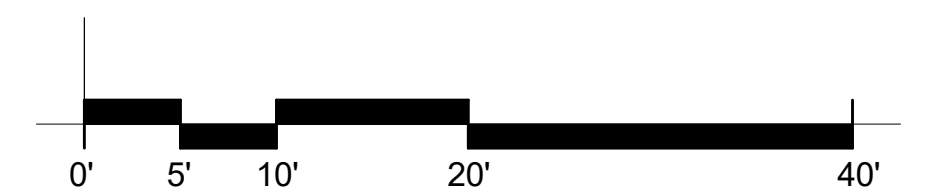
7/31/2023 10:38:45 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
www.bryantflink.com
 CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RENDERINGS

SHEET 12.2 OF 12

7/31/2023 10:38:45 AM

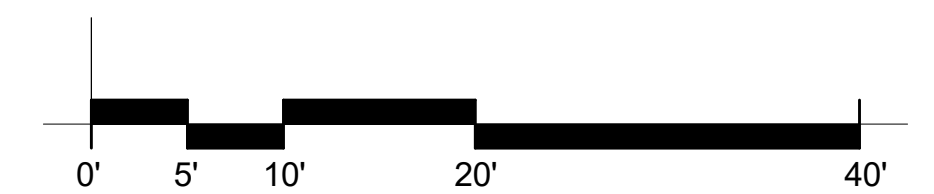
NORTHEAST CORNER PERSPECTIVE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUplet DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
www.bryantflink.com
 CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RENDERINGS

SHEET 12.3 OF 12

7/31/2023 10:38:45 AM

SOUTH PERSPECTIVE

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
2.857 ACRES
SIP-SP23-0025

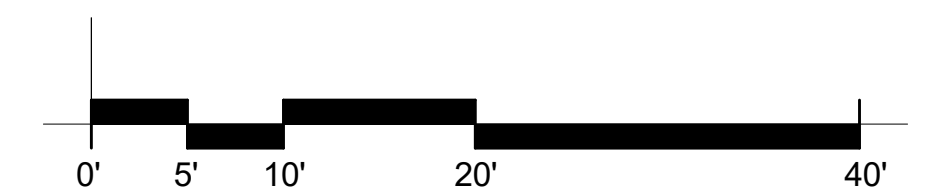


BRYANT FLINK ARCHITECTURE & DESIGN
2700 S. BROADWAY, SUITE 303
ENGLEWOOD, CO 80113

(303) 209-0073

www.bryantflink.com

CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

RENDERINGS

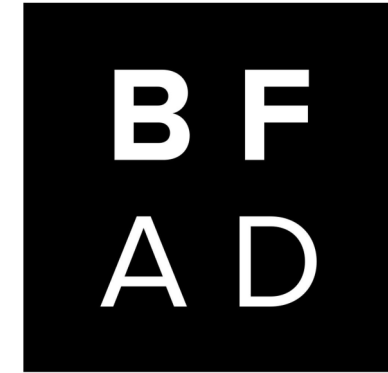
SHEET 12.4 OF 12

NORTH PERSPECTIVE

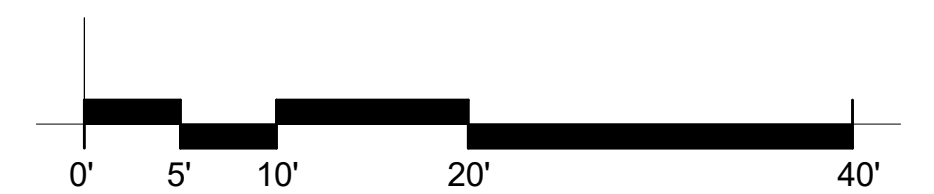
7/31/2023 10:38:45 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
www.bryantflink.com
 CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3

NORTHWEST CORNER CLOSE UP PERSPECTIVE

7/31/2023 10:38:46 AM

RIDGEGATE SENIOR HOUSING

RIDGEGATE EAST FILING NO. 4, LOT 3
 CENTRAL VILLAGE EAST COUPLET DISTRICT (MU CORE AREA)
 2.857 ACRES
 SIP-SP23-0025

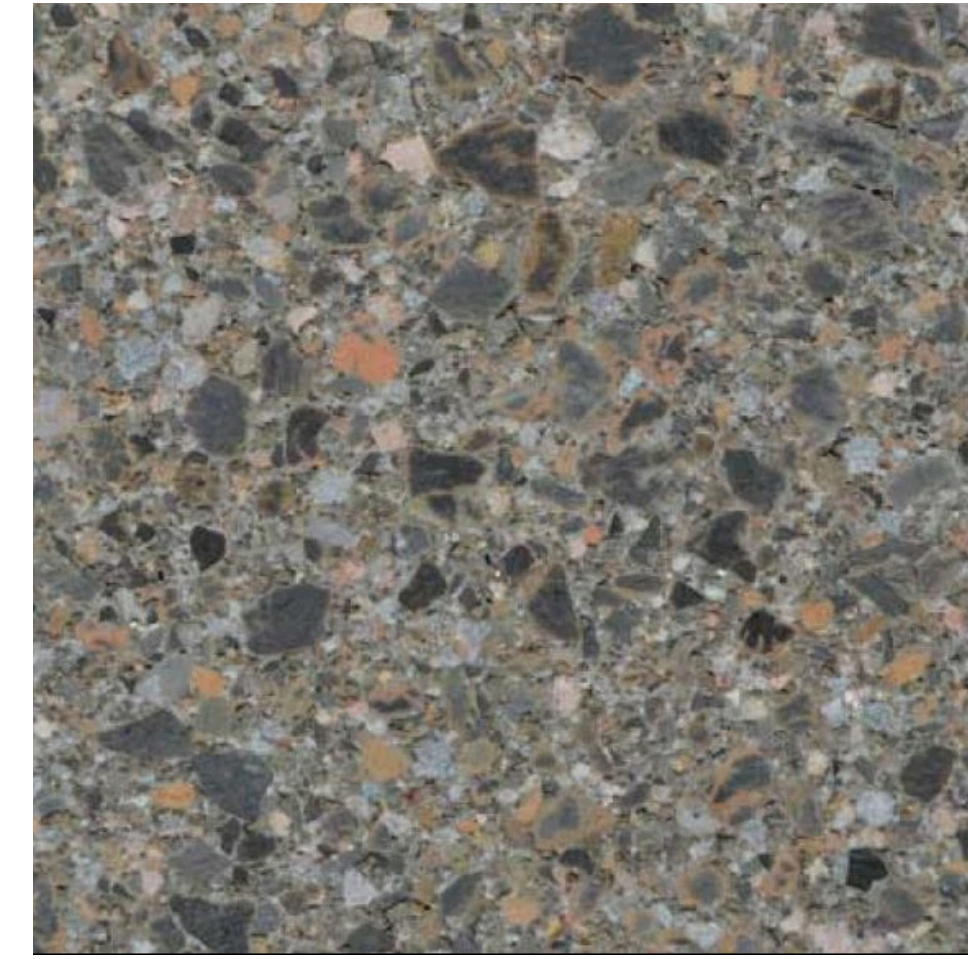


BR-1, BR-2, BR-4
 INTERSTATE BRICK | MIX: "SAWGRASS" 60%, "ASH" 30% | FINISH: "MATTE"
 PATTERN: "RUNNING BOND" (BR-1), "RUNNING BOND - ALTERNATING RECESSED COURSES" (BR-2), "RECESSED STRETCHER" (BR-4) | SPEC: 04 2000

BR-3
 INTERSTATE BRICK | "ASH" 100% | FINISH: MATTE
 PATTERN: "ROWLOCK" | SPEC: 04 2000

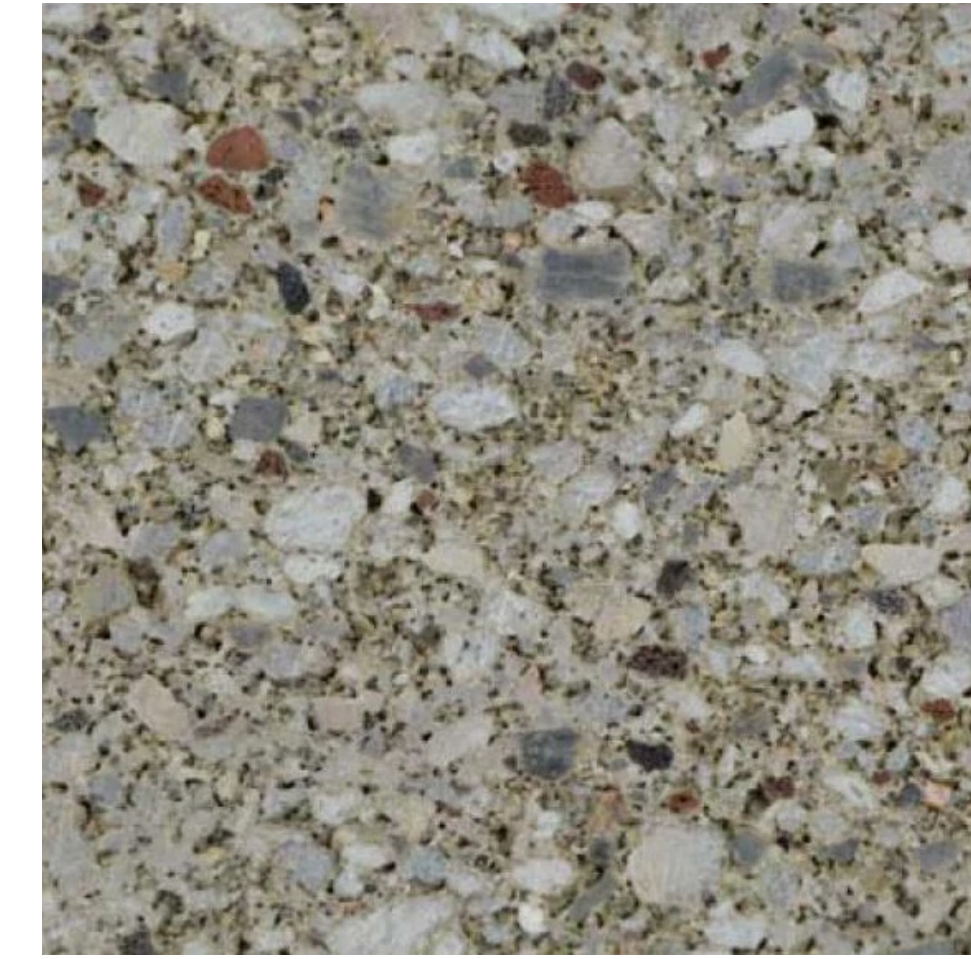


PC-1
 CONCRETE DESIGN, INC | COLOR: WC
 SPEC: 04 2000



CMU-1: 8x8x16
 BASALITE | COLOR: 600R | FINISH: GROUND FACE SHOT BLAST
 SPEC: 04 2000

CMU-2: 8x8x16
 BASALITE | COLOR: 600R | FINISH: GROUND FACE
 SPEC: 04 2000



CMU-3: 4x8x16
 BASALITE | COLOR: 923R | FINISH: GROUND FACE
 SPEC: 04 2000



CMU-4: 4x8x16
 BASALITE | COLOR: 923R | FINISH: SPLIT FACE
 SPEC: 04 2000



ALL FCS
 ALLURA SIDING, LAP & SOFFIT PANELS | FINISH: SMOOTH, PRIMED FOR PAINT
 COLOR: PTE-1, PTE-2, PTE-3, PTE-4



ARS-1
 OWENS CORNING | OAKRIDGE | COLOR: BLACK WALNUT

GROUND FACE

A STIPPLED OR BUMPY TEXTURE, SIMILAR TO AN "EXPOSED AGGREGATE SIDEWALK". IT IS ACHIEVED BY DROPPING STEEL BEADS ONTO THE PRECISION FINISH, WHICH CAUSES THE FINES OF THE PRECISION FINISH TO BE BLASTED AWAY, LEAVING THE OUTER PORTION OF THE LARGER AGGREGATES AND A REDUCED AMOUNT OF CEMENT AND PIGMENT VISIBLE.

SHOT BLAST

A RESULT FROM GRINDING THE FACE OF A PRECISION UNIT, UNTIL ALL OF THE INTERNAL AGGREGATES ARE SHOWING. IT HAS AN APPEARANCE SIMILAR TO TERRAZZO. GROUND FACE UNITS ARE SMOOTH TO THE TOUCH, AND SHOULD TYPICALLY BE TREATED WITH A POST-APPLIED SEALER, TO BRING OUT THE MOST INTENSE COLOR OF THE BLOCK.

SPLIT FACE

PRODUCED BY SPLITTING TWO OR MORE UNITS FROM EACH OTHER, AFTER THEY HAVE CURED. THEREFORE, EACH SPLIT FACE UNIT IS UNIQUE, AND BECAUSE THE RESULTING SPLIT FACE DIPS IN AND OUT RANDOMLY, THESE UNITS ARE PRODUCED IN A SLIGHTLY WIDER SIZE, TO ENSURE THAT A MINIMUM FACE SHELL THICKNESS IS MAINTAINED, EVEN WHEN THE TEXTURE DIPS IN.



PTE-1
 SHERWIN WILLIAMS | SW 6208 PEWTER GREEN
 SPEC: 09 9113



PTE-2
 SHERWIN WILLIAMS | SW 7057 SILVER STRAND
 SPEC: 09 9113



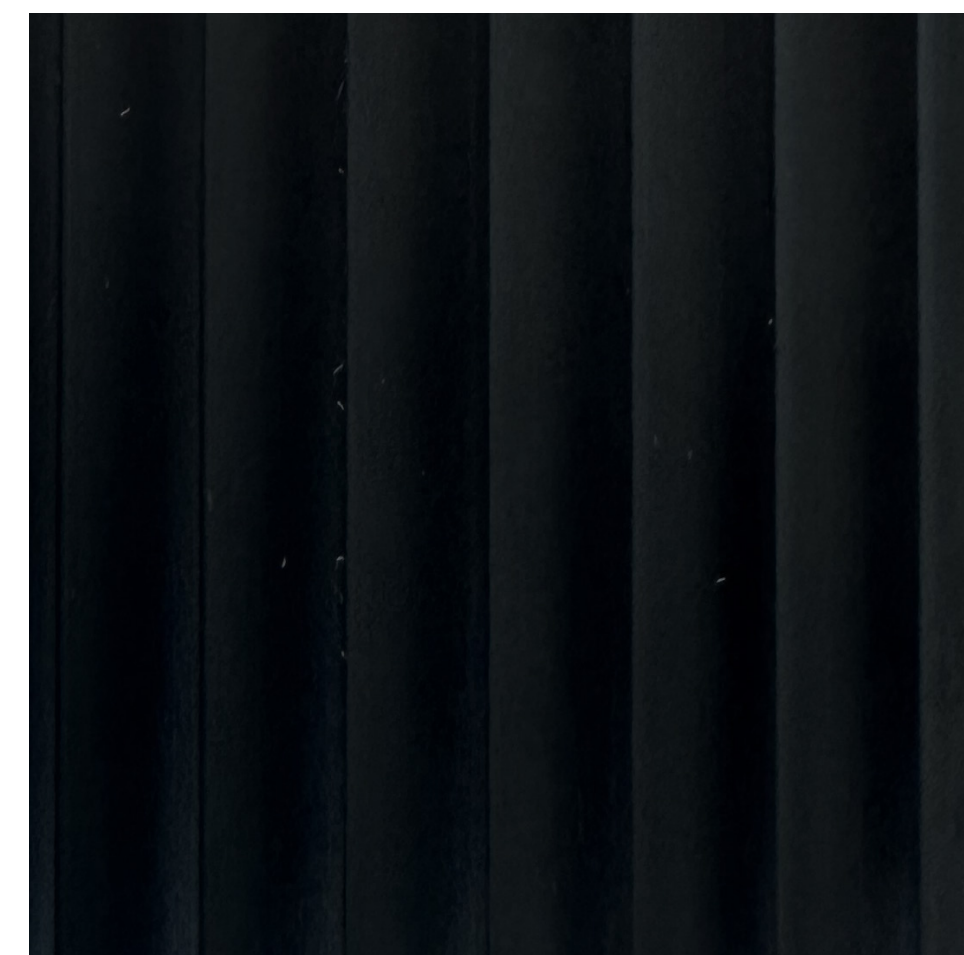
PTE-3
 SHERWIN WILLIAMS | SW 6216 JASPER
 SPEC: 09 9113



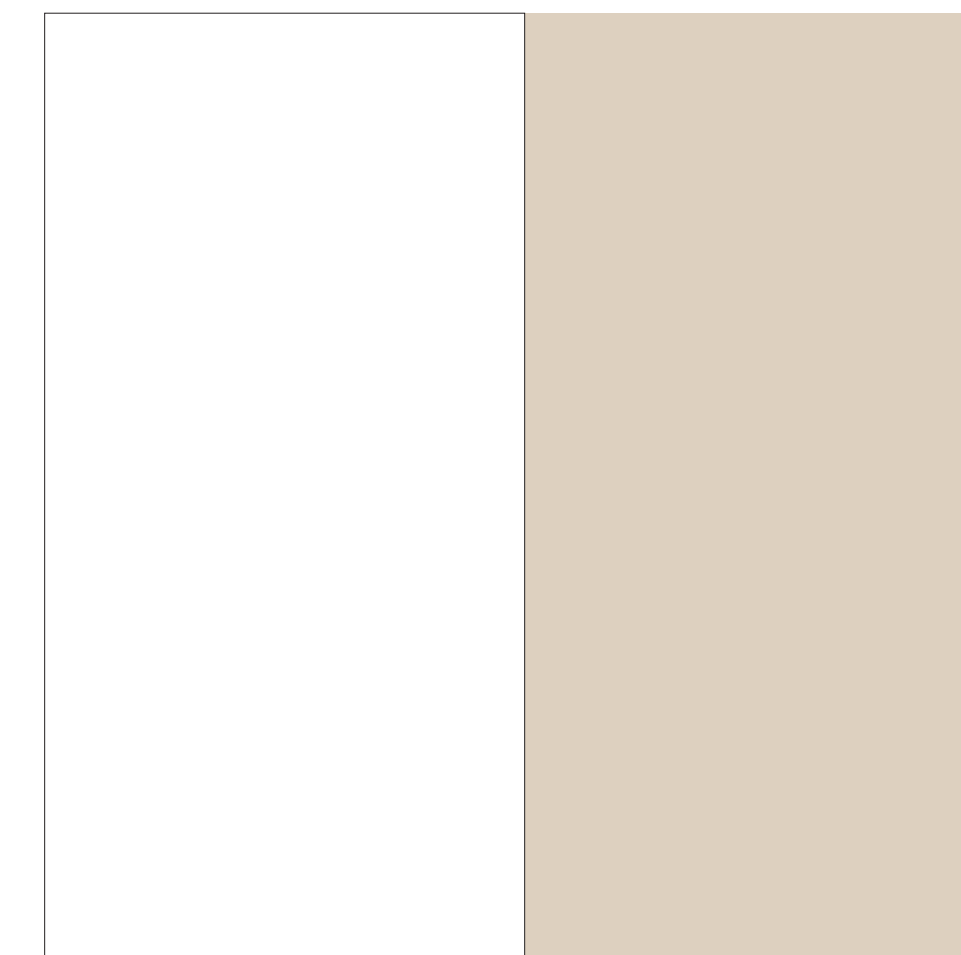
PTE-4
 SHERWIN WILLIAMS | SW 9132 ACACIA HAZE
 SPEC: 09 9113



GL-1
 GUARDIAN | 1" INSULATED VISION GLASS
 SPEC: 08 8000



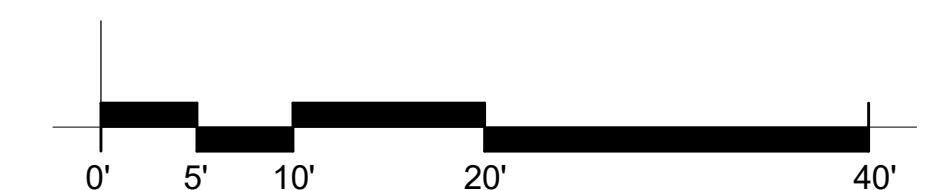
SFS-01
 MANKO | 6" ALUMINUM STOREFRONT SYSTEM W/ 2" MULLION,
 COLOR: DARK BRONZE.



VINYL WINDOWS
 ALSIDE | FAIRFIELD 80 SERIES | COLORS: WHITE & ALMOND



BRYANT FLINK ARCHITECTURE & DESIGN
 2700 S. BROADWAY, SUITE 303
 ENGLEWOOD, CO 80113
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	7/14/2023	SUBMITTAL #1
2	8/03/2023	SUBMITTAL #2
3	9/11/2023	SUBMITTAL #3