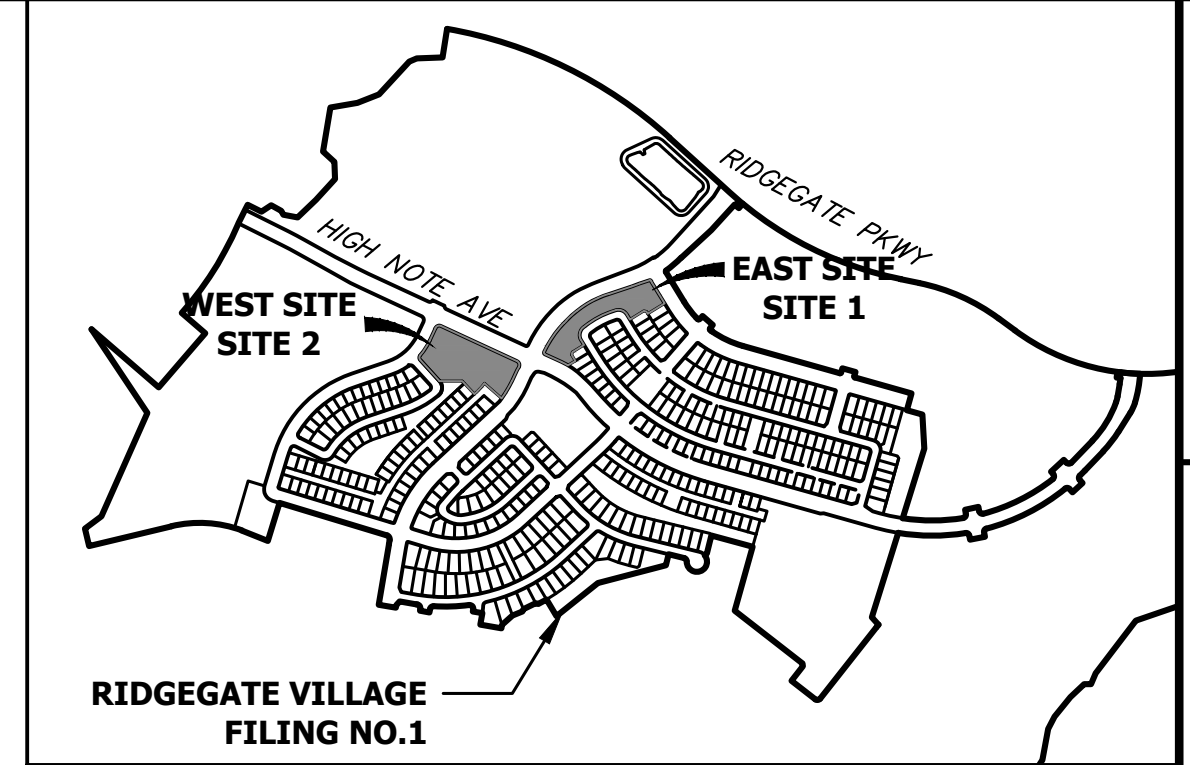


RIDGEGATE SW VILLAGE THRIVE SIP (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

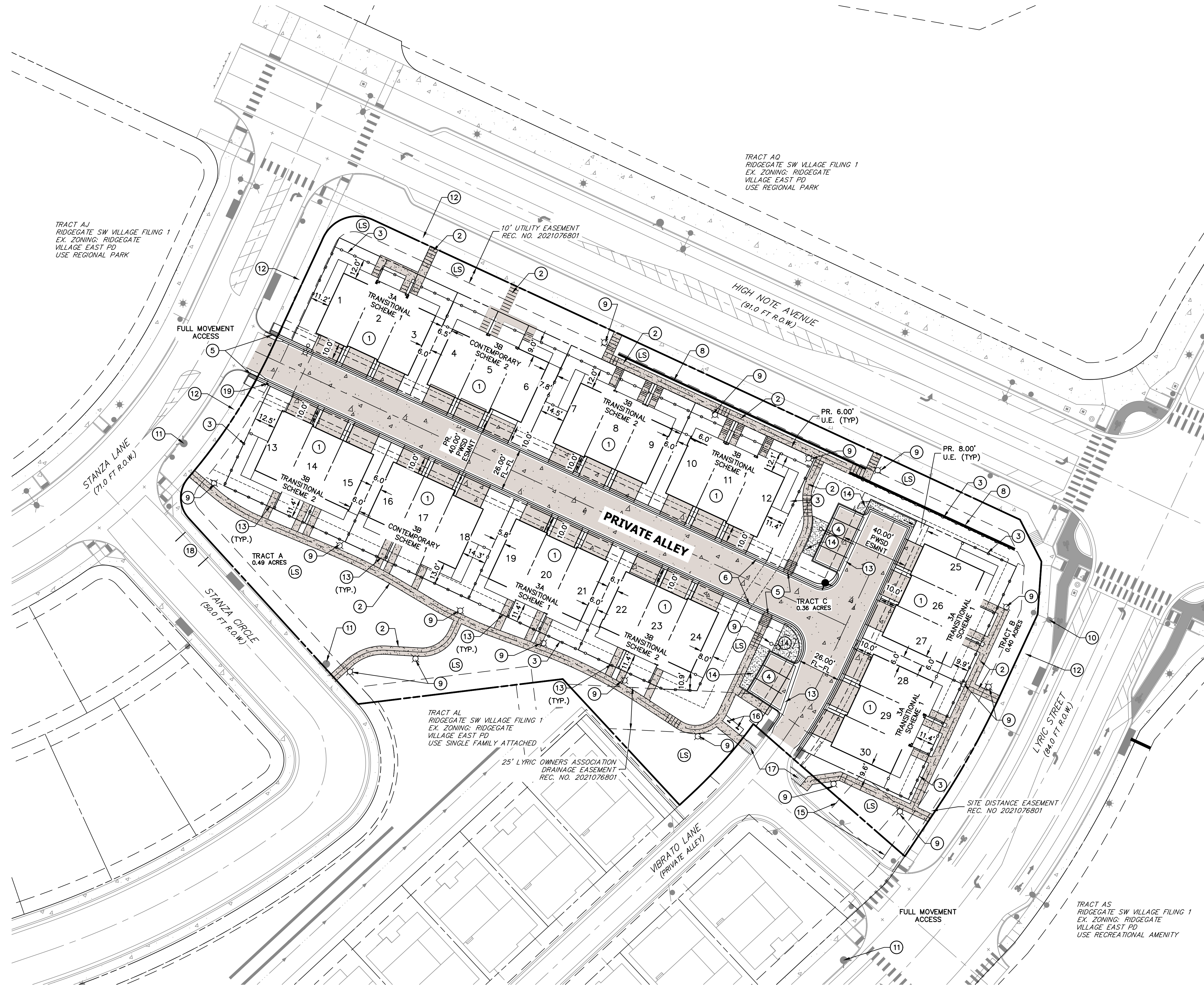


KEYMAP
 SCALE: 1"=1000'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
THB LYRIC LLC
 1875 LAWRENCE STREET
 SUITE 900
 DENVER, CO 80202
 (303) 900-3111

J.R. ENGINEERING
 A Westman Company
 Central 303-740-9888 • Colorado Springs 719-583-2583
 Fort Collins 970-491-9888 • www.jrengineering.com



SITE DATA

LOT 367, RIDGEGATE SW VILLAGE FILING 1
 104,544 SQ. FT. (2.40 ACRES)

EXISTING ZONING

RIDGEGATE PLANNED DEVELOPMENT DISTRICT, 6TH AMENDMENT

RESIDENTIAL MIXED USE (R/M-U) PLANNING AREA
 -PROPOSED USE: SINGLE FAMILY ATTACHED DWELLING
 (PERMITTED USE IN THE R/M-U PLANNING AREA)

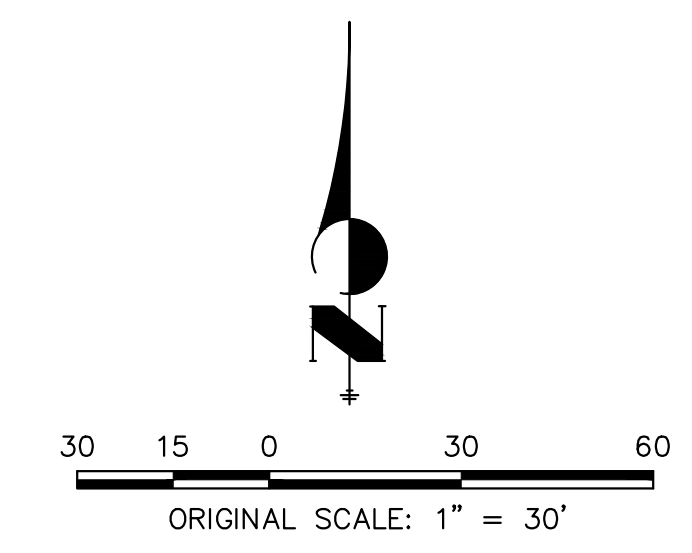
PROPOSED DENSITY: 30 UNITS / 2.40 ACRES = 12.50 DU / ACRE

LEGEND

- SITE BOUNDARY
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- PROPOSED FENCE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE (ALLEY)

SCHEDULE NOTES

- ① LANDSCAPE AREA, REFERENCE LANDSCAPE PLANS
- ① PROPOSED THREE-UNIT TOWNHOME, REF. ARCHITECTURAL PLANS
- ② PROPOSED CONCRETE SIDEWALK
- ③ PROPOSED FENCE
- ④ PROPOSED 9'X18' PARKING STALL (TYP.)
- ⑤ PROPOSED FIRE HYDRANT
- ⑥ PROPOSED MOUNTABLE CURB AND GUTTER
- ⑦ PROPOSED 2-FOOT WIDE CONCRETE RUNDOWN
- ⑧ PROPOSED RETAINING WALL
- ⑨ PROPOSED SITE LIGHT, REF. PHOTOMETRIC PLANS
- ⑩ EXISTING STREET LIGHT TO REMAIN
- ⑪ EXISTING FIRE HYDRANT TO REMAIN
- ⑫ EXISTING SIDEWALK TO REMAIN
- ⑬ PROPOSED SIDEWALK CHASE (PRIVATE)
- ⑭ PROPOSED SNOW STORAGE AREA, REF. LANDSCAPE PLANS FOR PLANTINGS AND MATERIAL SPECIFICATION
- ⑮ ANTICIPATED LOCATION OF XCEL ENERGY EASEMENT FOR FILING 1 DRY UTILITY STRUCTURE
- ⑯ PROPOSED BIKE RACK, REFERENCE LANDSCAPE DETAILS
- ⑰ EXISTING ADA RAMPS TO REMAIN
- ⑱ PROPOSED 8'X20' STREET PARKING SPACE (TYP.)
- ⑲ PROPOSED "PRIVATE ROAD NO CITY MAINTENANCE" SIGN
- ⑳ PROPOSED CURB CUT
- ㉑ PROPOSED SIDEWALK CHASE (PUBLIC)

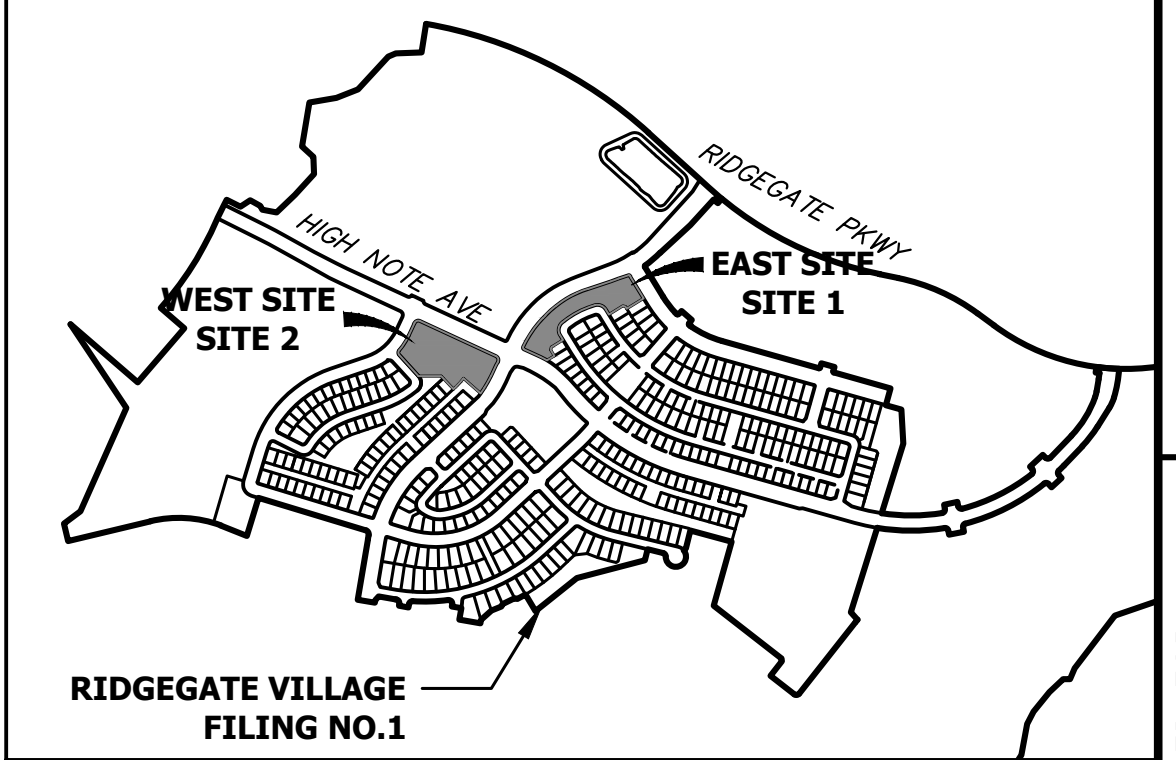


H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=2000'	N/A	5/3/23	MEP	MEP	

RIDGEGATE SW VILLAGE
 THRIVE SIP
 SITE PLAN

RIDGEGATE SW VILLAGE THRIVE SIP (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

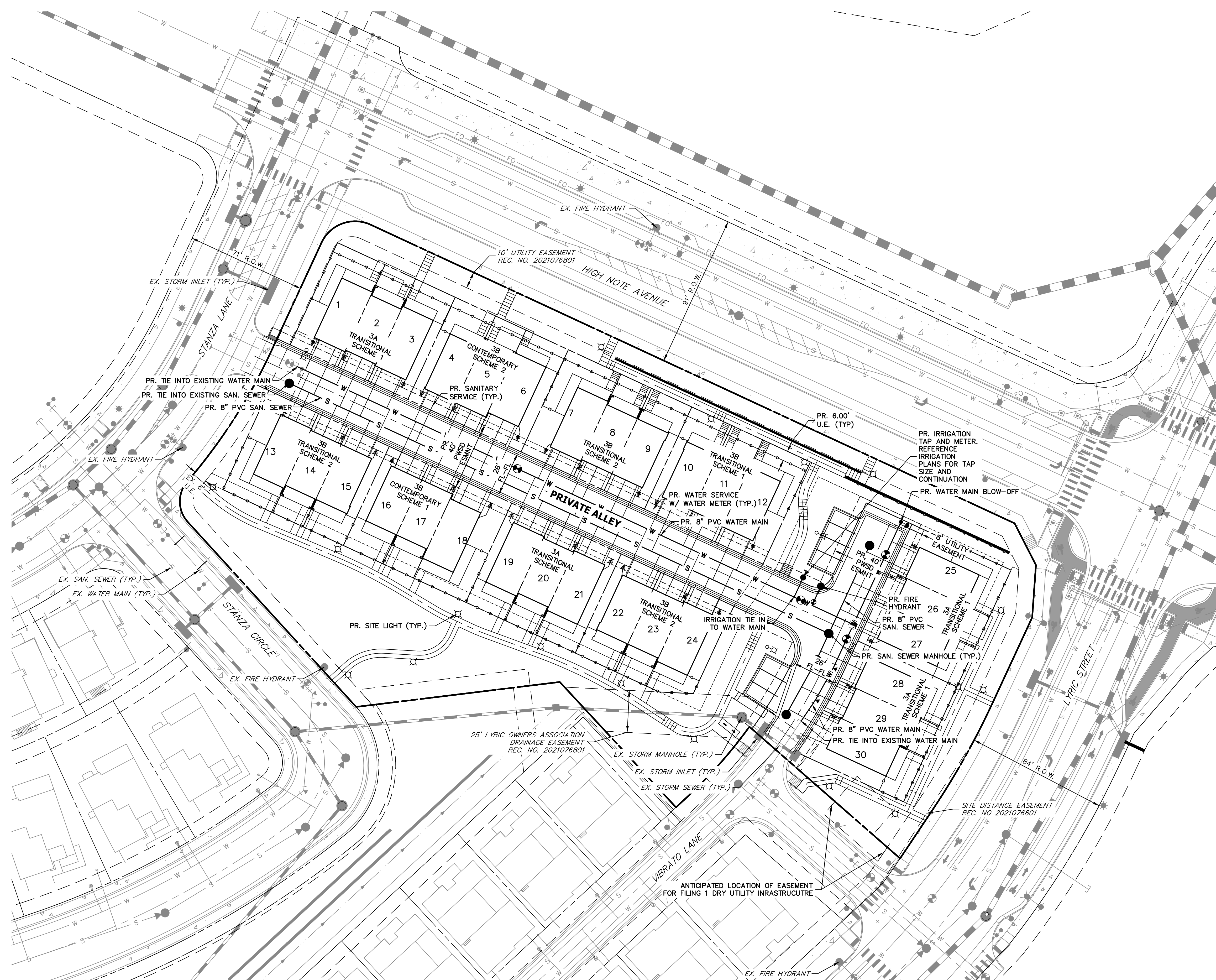


KEYMAP
 SCALE: 1" = 1000'

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LEGEND

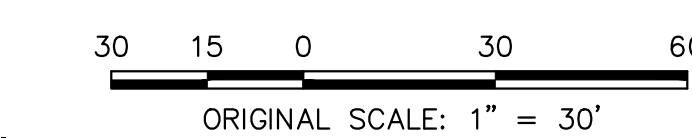
- 6" VERTICAL CATCH CURB W/ 1' GUTTER
- 6" VERTICAL SPILL CURB W/ 1' GUTTER
- W - PROPOSED WATERLINE
- S - PROPOSED SANITARY SEWER
- - - - - PROPOSED STORM SEWER
- E - PROPOSED ELECTRIC LINE
- G - PROPOSED GAS LINE
- - - - - PROPOSED TOP OF SLOPE
- - - - - PROPOSED TOE OF SLOPE
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED GRASS SWALE
- - - - - PROPOSED MINOR CONTOURS
- 6100 - PROPOSED MAJOR CONTOURS
- --- --- EXISTING CURB & GUTTER
- G - EXISTING GASLINE
- W - EXISTING WATERLINE
- S - EXISTING STORM SEWER
- S - EXISTING SANITARY SEWER
- E - EXISTING ELECTRIC LINE
- - - - - EXISTING EDGE OF ASPHALT
- - - - - EXISTING EDGE OF CONCRETE
- - - - - EXISTING RIGHT-OF-WAY
- - - - - EXISTING EASEMENT
- - - - - EXISTING PROPERTY LINE
- - - - - EFFECTIVE 100YR FLOOD PLAIN
- - - - - EXISTING MINOR CONTOUR
- - - - - EXISTING MAJOR CONTOUR
- - PROPOSED FIRE HYDRANT
- - PROPOSED SIGN
- - PROPOSED LIGHT
- - PROPOSED VALVE
- - PROPOSED MH
- - EXISTING WATER VALVE
- - EXISTING FIRE HYDRANT
- - EXISTING LIGHT
- - EXISTING SIGN

NOTES

1. THE H.O.A. IS RESPONSIBLE FOR LONG TERM MAINTENANCE OF THE PRIVATE ALLEY AND CROSSSPAN LOCATED IN STANZA LN.



Know what's below.
 Call before you dig.



H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=2000'	N/A	5/6/23	MEP	MEP	

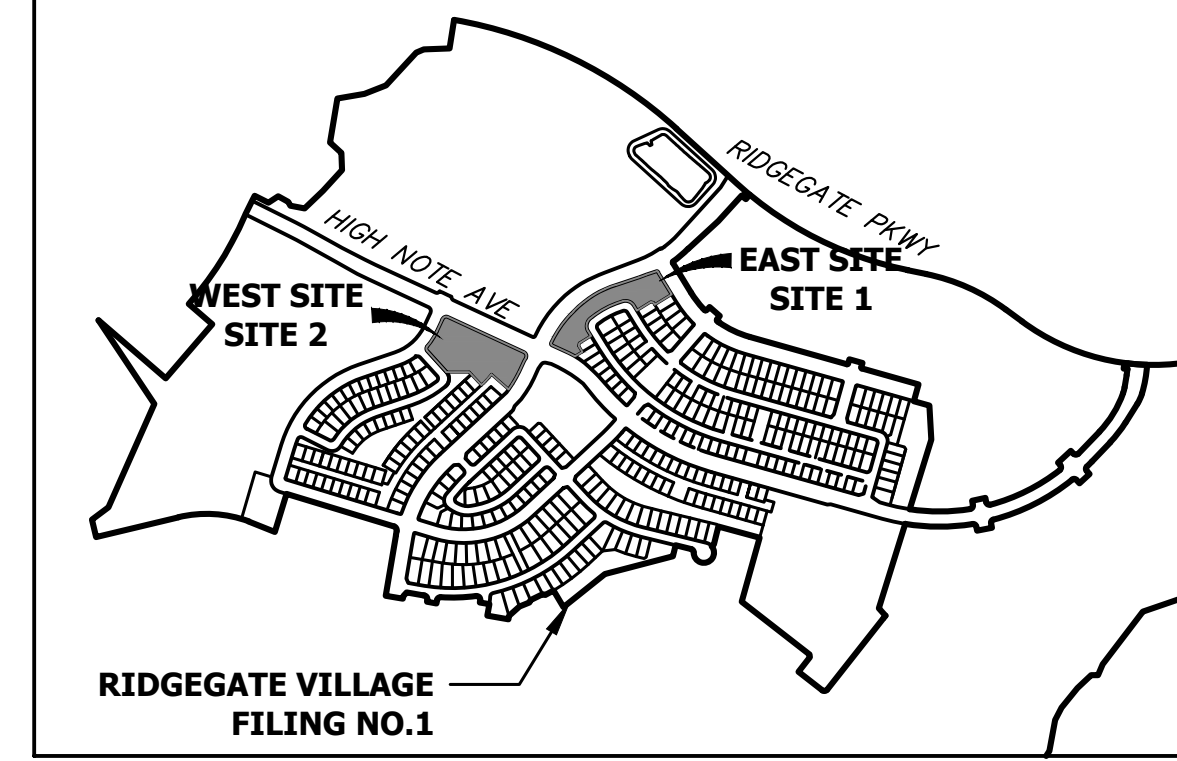
RIDGEGATE SW VILLAGE
 THRIVE SIP
 UTILITY PLAN

SHEET 3 OF 29

JOB NO. 15950.04

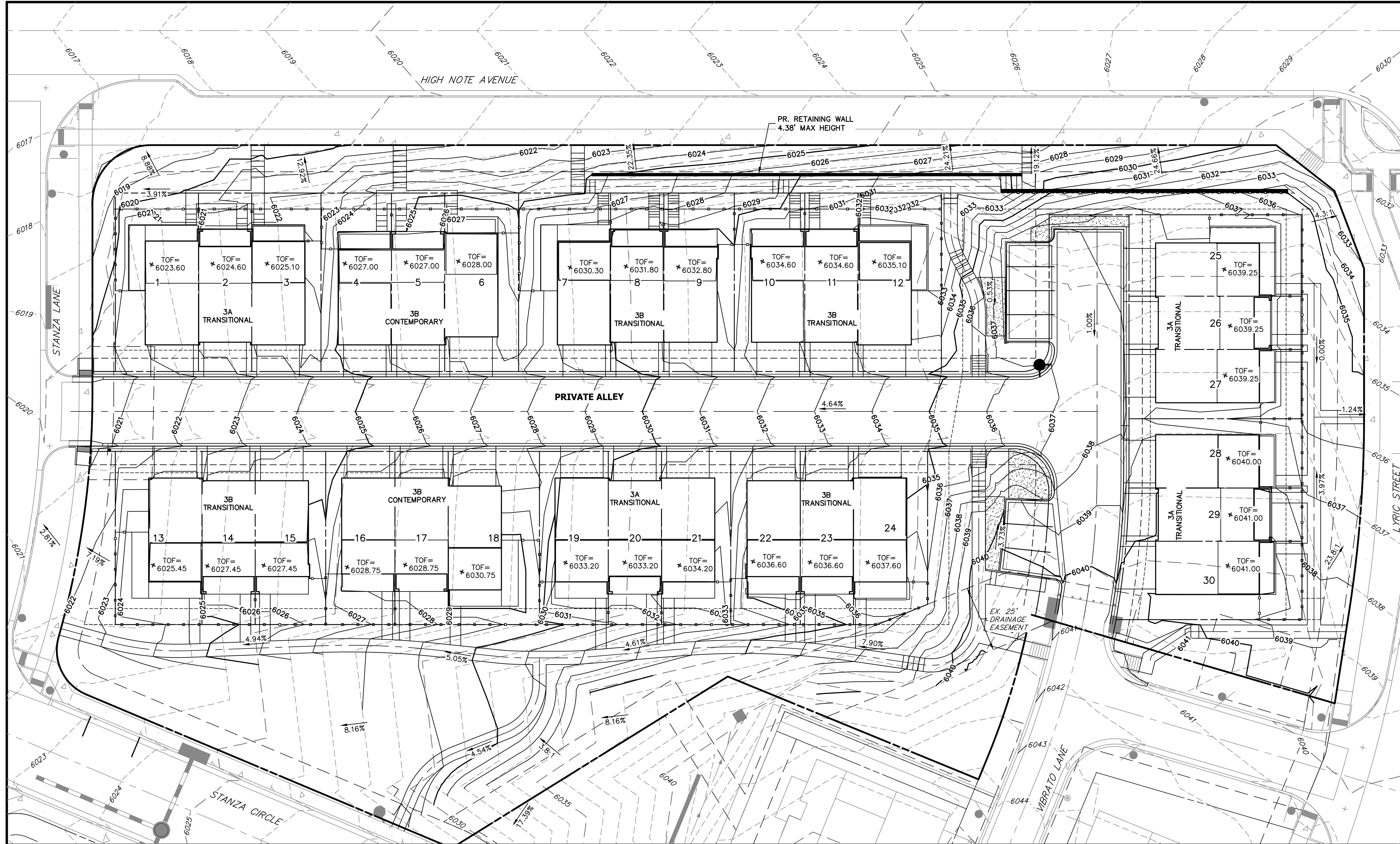
RIDGEGATE SW VILLAGE THRIVE SIP (WEST SITE)

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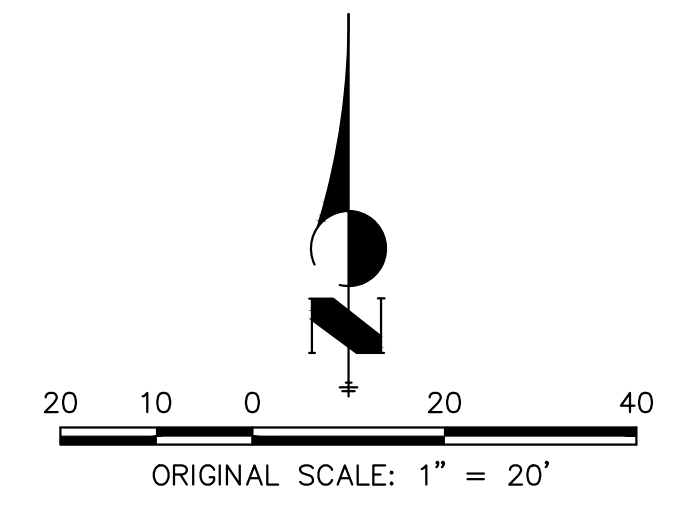


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- ### LEGEND
- 6" VERTICAL CATCH CURB W/ 1" GUTTER
 - 6" VERTICAL SPILL CURB W/ 1" GUTTER
 - PROPOSED STORM SEWER
 - PROPOSED EASEMENT
 - PROPOSED MINOR CONTOURS
 - PROPOSED MAJOR CONTOURS
 - EXISTING CURB & GUTTER
 - EXISTING STORM SEWER
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING PROPERTY LINE
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
- TOF=60XX TOF = TOP OF FOUNDATION
 • FOG=60XX FOG = FRONT OF GARAGE SLAB



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No.	REVISION	BY	DATE

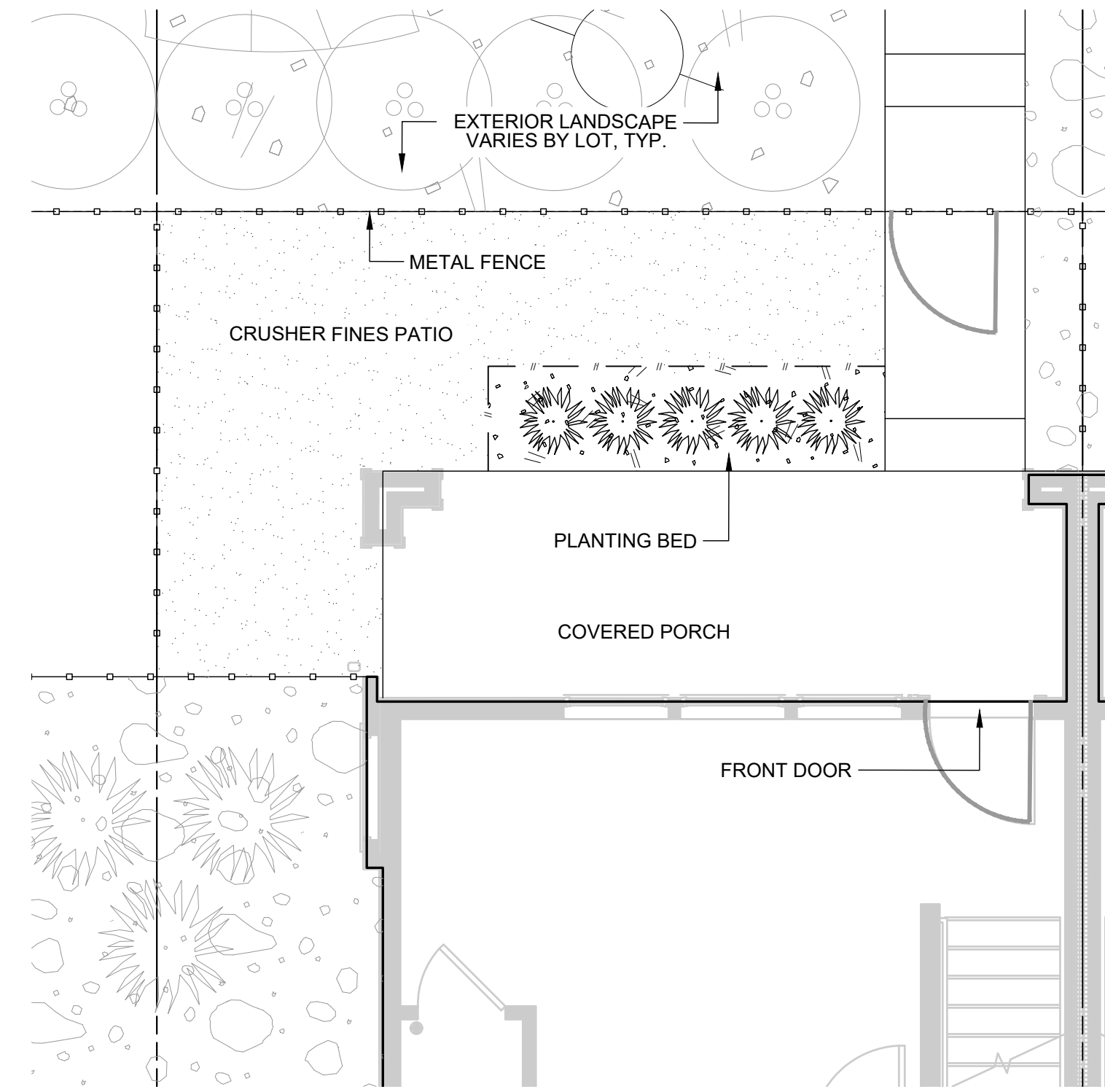
811
Know what's below.
Call before you dig.

RIDGEGATE SW VILLAGE
THRIVE SIP
GRADING PLAN

SHEET 4 OF 29
JOB NO. 15950.04

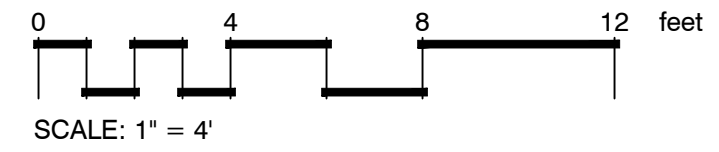
THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

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 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R



LEGEND

	CRUSHER FINES
	WOOD MULCH
	PLANTINGS
	LANDSCAPE EDGER



1 FRONT YARD LANDSCAPE

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

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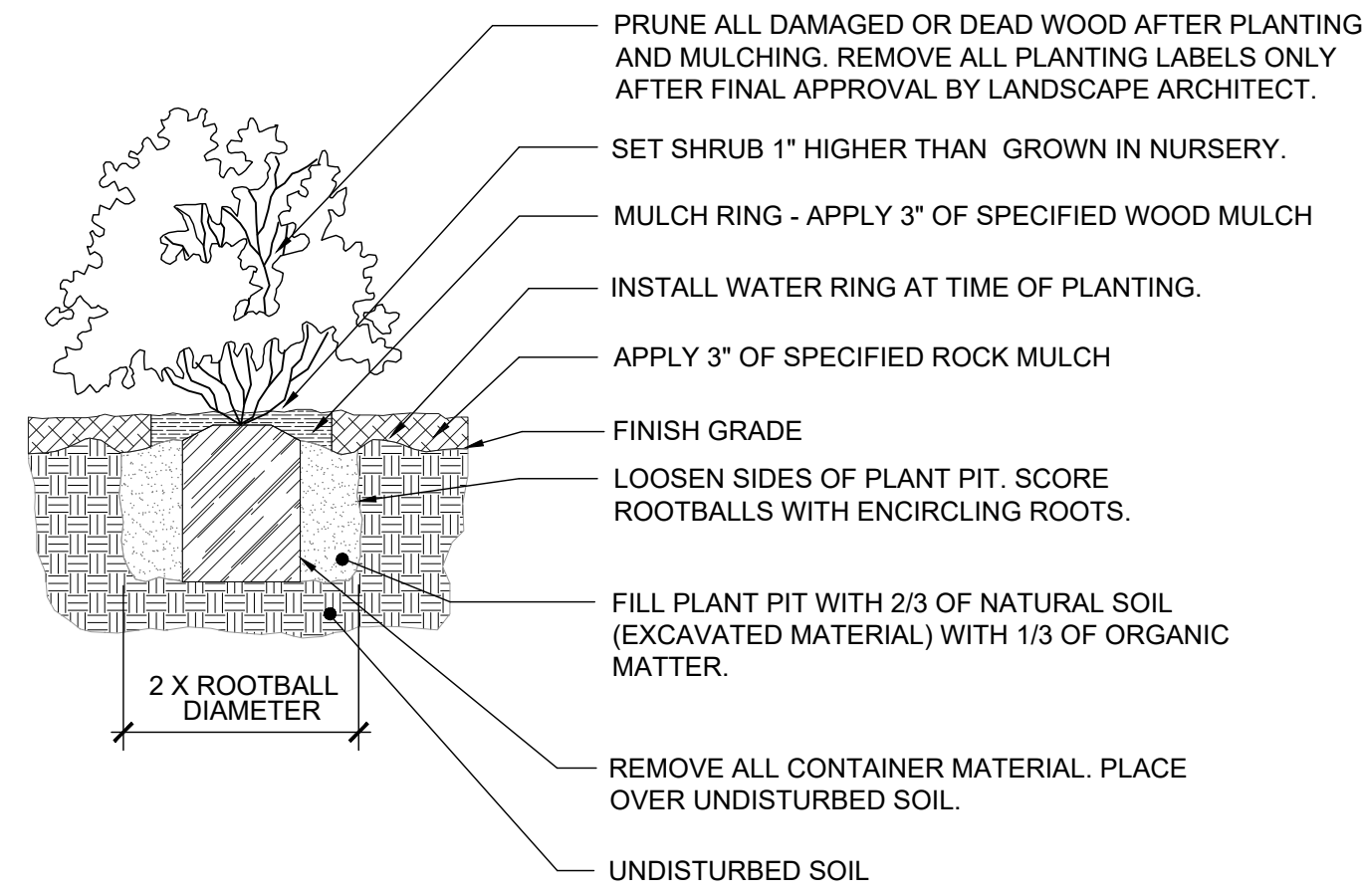
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H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	No.	REVISION		BY	DATE
							1	2		
		11/02/22				1			NR	1/20/23
						2			NR	5/05/23

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN
LANDSCAPE PLAN TYP. LOT

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
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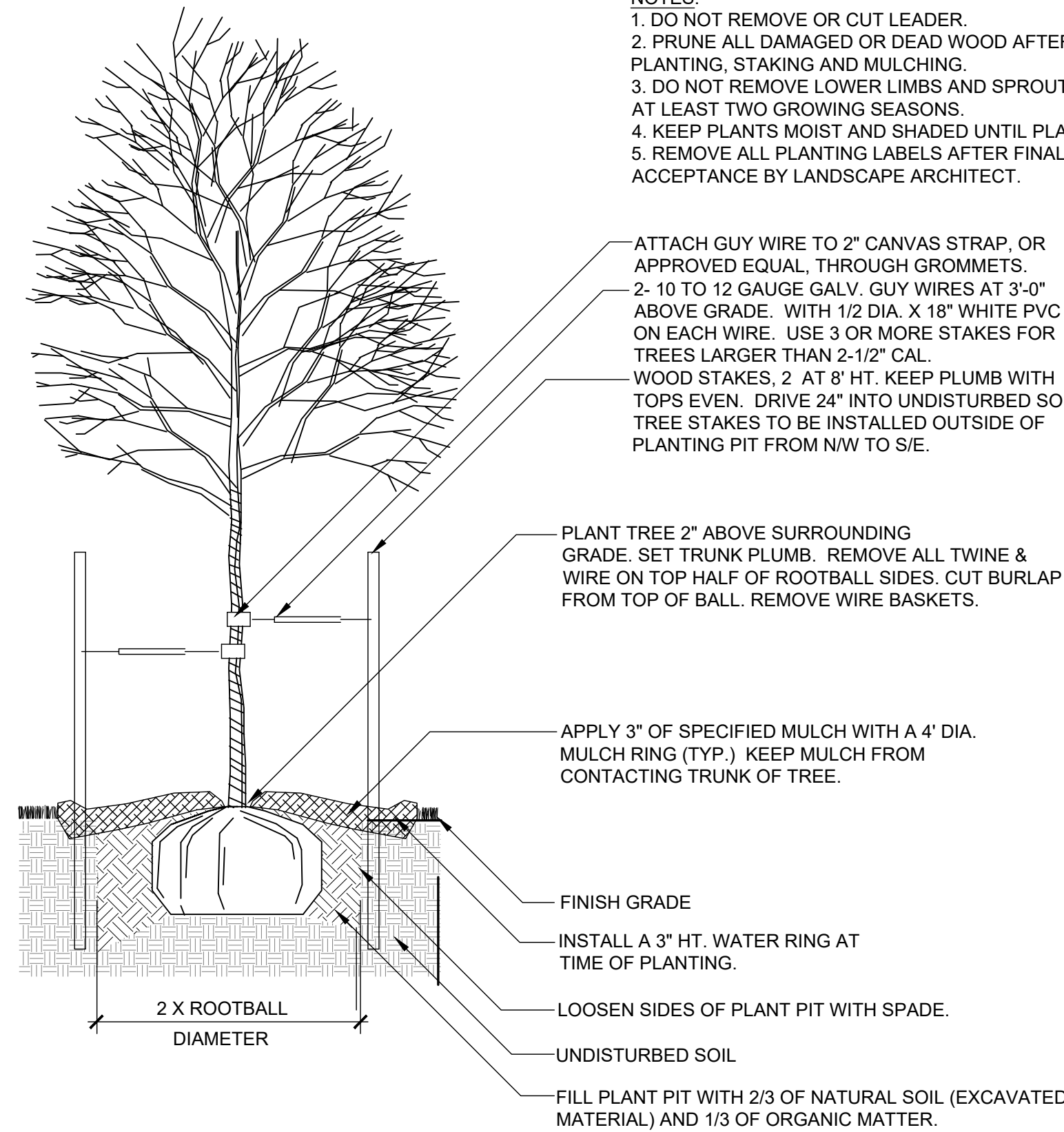
NOTE: ANY PLANT NOT IN ACCORDANCE WITH COLORADO NURSERY ACT REQUIREMENTS WILL BE REJECTED. HOLD MULCH GRADE 1" BELOW EDGE OF WALK, EDGING AND CURB. JUNIPER PLANTS SHALL BE PLANTED WITH TOP OF ROOTBALL AT FINISH GRADE OF MULCH LAYER.

1 SHRUB / ORNAMENTAL GRASS PLANTING WITH MULCH RING

1" = 1'-0"

32 9333.13-11

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
2. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.



NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES OR WITHIN 100' APPROACHING A STOP SIGN ARE TO BE LIMBED TO 8". AT ONSET OF WINTER FOR THE FIRST YEAR OF INSTALLATION, WRAP ENTIRE SURFACE OF TRUNK UP TO BRANCHES. SECURE AT TOP AND BOTTOM WITH DUCT TAPE. AT ONSET OF SPRING REMOVE ALL WRAPPING.

3 DECIDUOUS TREE PLANTING

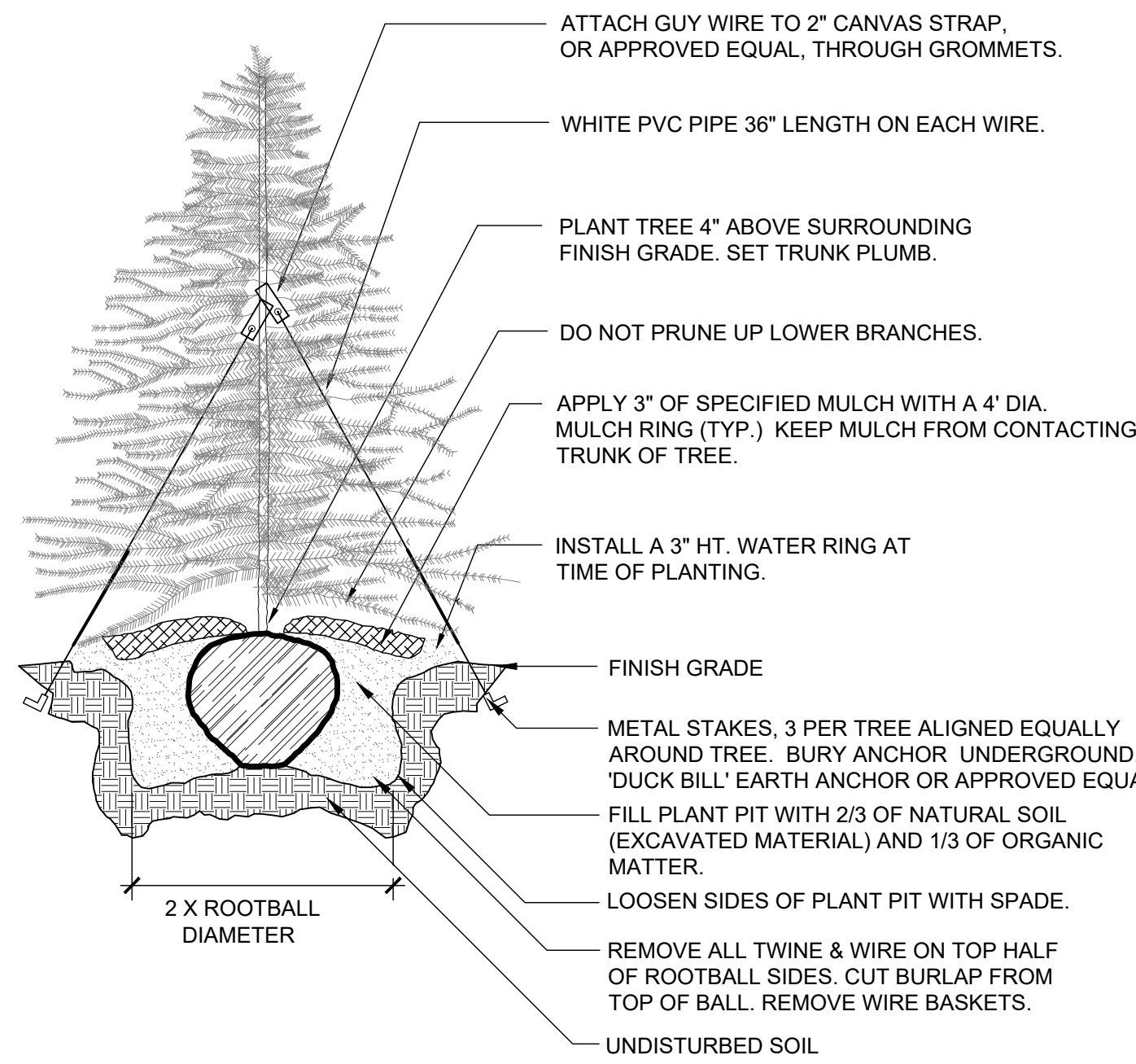
1" = 1'-0"

BLCC-03

GENERAL NOTES:

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
- COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
- NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.
- CITY OF LONE TREE RESERVES THE RIGHT TO MODIFY INFORMATION FOR CONFORMANCE TO CITY CODE/POLICY. IRRIGATION AND LANDSCAPE DRAWINGS WILL REQUIRE STAFF APPROVAL PRIOR TO CONSTRUCTION.
- ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE, INSTALLATION INSTRUCTIONS AND THE LANDSCAPE DRAWINGS ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, TO INCLUDE PLANT SUBSTITUTIONS, MUST BE APPROVED BY THE CITY IN ADVANCE OF INSTALLATION.
- ALL MULCH AND/OR ROCK COBBLE SHALL BE INSTALLED AND MAINTAINED TO THE DEPTH(S) PROVIDED ON THE APPROVED LANDSCAPE PLAN INCLUDED IN THIS SITE IMPROVEMENT PLAN. ORGANIC MULCH SHALL NOT BE PLACED WITHIN SIX (6) FEET OF STORM INLETS.
- THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS PROHIBITED.

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
2. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.



2 EVERGREEN TREE PLANTING

1" = 1'-0"

BLCC-04

CLEARING & GRADING:

- ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS, UNIFORM BUILDING CODES, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND POLICIES.
- A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
- THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTling PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SIGHT WARRANTY/GUARANTEES.
4. CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SPECIFIC TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER DRIp TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION. LOTS TO IRRIGATED INDIVIDUALLY BY SEPARATE TAPS.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY BOTH INSIDE AND OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE REVEGETATED. SEED MIX AND PLANTING INSTRUCTIONS SHALL BE SELECTED FROM THOSE INCLUDED IN THE SUBMITTAL.
7.1. FOR NATIVE SEEDING IN OUTLOT A, CITY PROPERTY PLEASE COORDINATE WITH THE CITY'S OPEN SPACE DIVISION TO HAVE A STAFF MEMBER OBSERVE THE SEEDING AS IT TAKES PLACE AND PROVIDE SEED TAGS TO THE OPEN SPACE DIVISION FOR THE PROJECT RECORD.
7.2. FOR NATIVE SEEDING ESTABLISHMENT IN OUTLOT A, CITY PROPERTY, NATIVE SEED SHALL BE INSPECTED BY THE CITY'S OPEN SPACE DIVISION IN THE SPRING AND FALL TO MONITOR SEED ESTABLISHMENT AND WEED CONTROL FOR A PERIOD OF THREE YEARS AFTER FINAL ACCEPTANCE OF OUTLOT A. THE OPEN SPACE DIVISION WILL DETERMINE IF ADDITIONAL SEEDING IS REQUIRED AND / OR WEED CONTROL MEASURES ARE NEEDED.

PLANT SCHEDULE WEST

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
ASFF	4	ACER SACCHARUM 'FALL FIESTA'	FALL FIESTA SUGAR MAPLE	B & B	2" CAL
CEOC	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL
GLTI	10	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST HONEYLOCUST	B & B	2" CAL
QRMC	3	QUERCUS ROBUR X MACROCARPA 'CLEMONS'	HERITAGE OAK	B & B	2" CAL
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
ABCO	2	ABIES CONCOLOR	WHITE FIR	B & B	6' HT
PIAR	4	PINUS ARISTATA	BRISTLEcone PINE	B & B	6' HT
PIED	4	PINUS EDULIS	PINON PINE	B & B	6' HT
PIVP	4	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	B & B	6' HT
PIMT	2	PINUS MUGO 'TANNENBAUM'	TANNENBAUM MUGO PINE	B & B	6' HT
PINI	5	PINUS NIGRA	AUSTRIAN PINE	B & B	6' HT
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
ACGI	6	ACER GINNALA	AMUR MAPLE	B & B	2" CAL
CVWK	12	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	B & B	2" CAL
MARA	5	MALUS X 'RADIANT'	RADIANT CRAB APPLE	B & B	2" CAL
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	
AMAL	10	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	#5	
CACL	13	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST SPIREA	#5	
ERNN	21	ERICAMERIA NAUSEOSA NAUSEOSA	DWARF BLUE RABBITBRUSH	#5	
PHOD	15	PHYSCOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	#5	
PRBW	20	PRUNUS BESSEYI	WESTERN SAND CHERRY	#5	
RHAR	56	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	#5	
RHRH	21	RHUS TRILOBATA	THREE LEAF SUMAC	#5	
ROSP	21	ROSA FOETIDA PERSIANA	PERSIAN YELLOW ROSE	#5	
SJLM	22	SPIRAEA JAPONICA 'LIMEMOUND'	LIMEMOUND SPIREA	#5	
STFQ	17	SPIRAEA TRILOBATA 'FAIRY QUEEN'	FAIRY QUEEN SPIREA	#5	
SPMK	39	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5	
SYBL	33	SYRINGA X 'BLOOMERANG'	BLOOMERANG LILAC	#5	
VILE	11	VIBURNUM LENTAGO	NANNYBERRY	#5	
WIFR	23	WEIGELA FLORIDA 'RUMBA'	RUMBA WEIGELA	#5	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	
JSSC	46	JUNIPERUS SABINA 'CALGARY CARPET'	CALGARY CARPET JUNIPER	#5	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	
CAAC	43	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#5	
MISG	51	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN HAIR GRASS	#5	
PAVS	37	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#5	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	
ECAJ	29	ECHINACEA X 'ALL THAT JAZZ'	ALL THAT JAZZ CONEFLOWER	#1	
RUGO	21	RUBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	#1	

GROUND COVERS

QTY	BOTANICAL NAME	COMMON NAME
8,249 SF	NATURE'S PRAIRIE TURF	SOD
7,889 SF	PBSI FOOTHILLS SEED MIX	NATIVE SEED MIX

SOIL SPECIFICATIONS:

- ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
- LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
- IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
- ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS 1 TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES. PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
- SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
- PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

MULCH

- PLANTING BEDS (AS SPECIFIED) SHALL CONTAIN 1"-2" GRAY GRANITE ROCK MULCH, OVER FABRIC AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED CEDAR MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS OR PERENNIAL. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.
- DRY STREAM BED / SWALE AREAS (AS SPECIFIED) SHALL CONTAIN 6"-10" WHITE ROCK COBBLE MULCH OVER FABRIC AT A MINIMUM DEPTH OF 3".
- GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

SOD

- KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
- ALL SOD SHALL BE A FINE FESCUE BLEND SOD AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE GROUND IS FROZEN.
- ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.

EDGING:

- ALL EDGING SHALL BE 1/8" X 4" GREEN PAINTED 'RYERSON TYPE' METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURER'S SPECIFICATIONS OR EQUAL.

PBSI FOOTHILLS NATIVE MIX

NATIVE SEED MIX TO BE 'PBSI FOOTHILLS NATIVE MIX' AS SUPPLIED BY PAWNEE BUTTES SEED INC OR APPROVED EQUAL. SEEDING RATE: 25 LBS/ACRE.

SEED MIX TO BE AS FOLLOWS:

(10%) SWITCHGRASS, (10%) ROCKY MOUNTAIN FESCUE, (10%) BIG BLUESTEM, (10%) SANDBERG BLUEGRASS, (10%) SLENDER WHEATGRASS, (10%) THICKSPIKE/STREAMBANK/WESTERN WHEATGRASS, (10%) YELLOW INDIANGRASS, (5%) BLUE GRAMA, (5%) BEARDLESS WHEATGRASS, (5%) INDIAN RICEGRASS, (5%) LITTLE BLUESTEM, (5%) SAND DROPSIEE, (5%) SIDEOATS GRAMA

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
THE LYRIC LLC
1875 LAWRENCE STREET
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(303) 900-3111

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A WestPlan Company
Centennial 303-740-8393 Colorado Springs 719-593-2593 Fort Collins 970-491-9888
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BY DATE
NR 1/20/23
NR 5/05/23

REVISION
1 Revisions per comments
2 Revisions per comments

No. DATE
1 11/02/22
2

H-SCALE
V-SCALE
DESIGNED BY
DRAWN BY
CHECKED BY

THRIVE TOWNHOMES - SITE
IMPROVEMENT PLAN

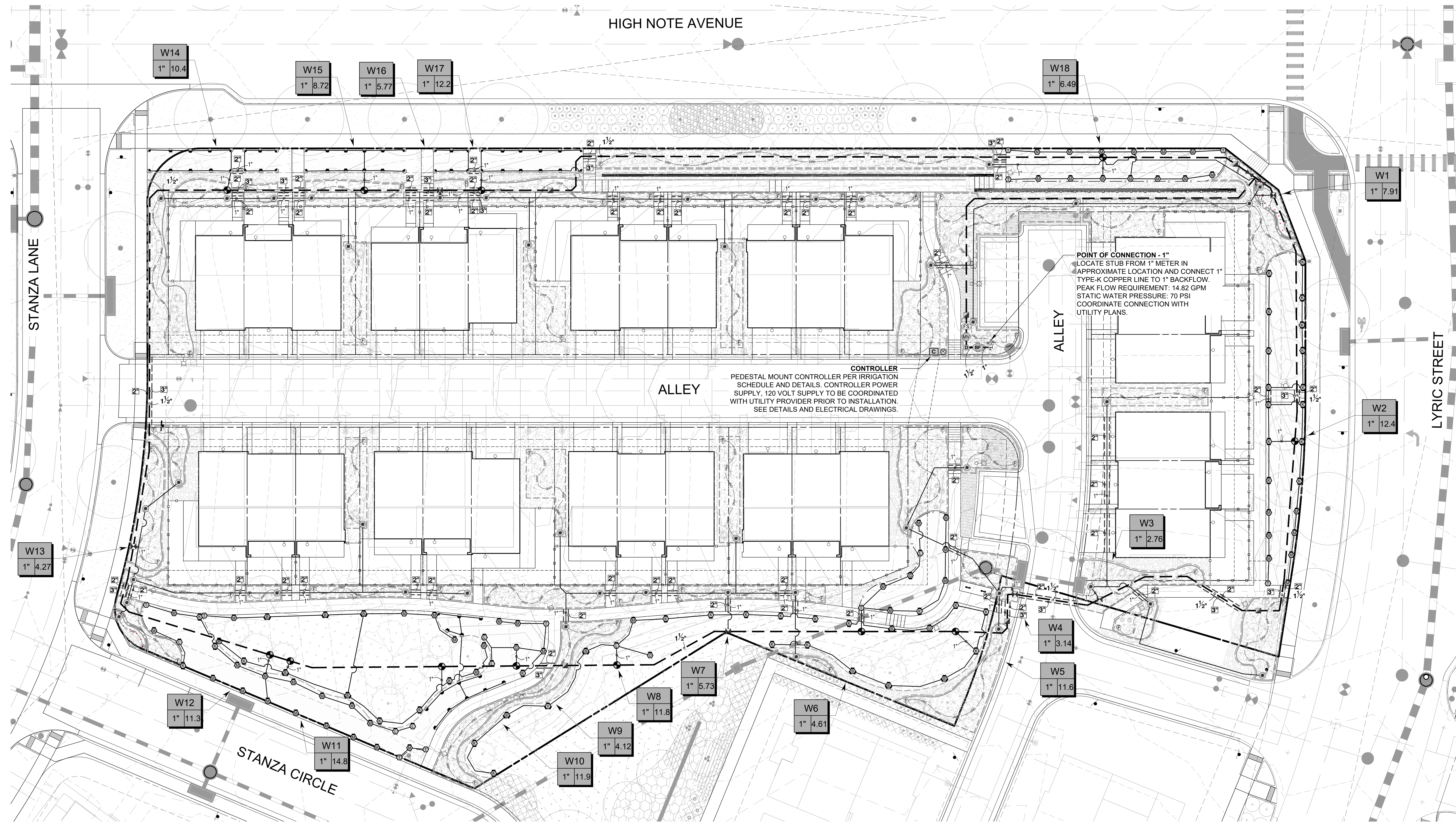
LANDSCAPE NOTES AND DETAILS

SHEET 7 OF 29

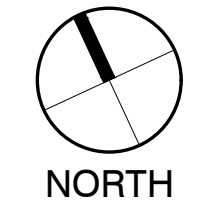
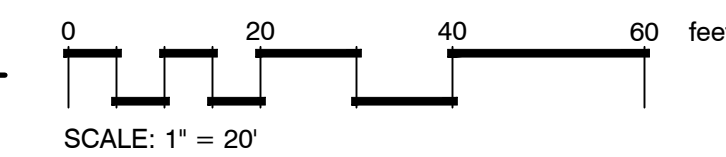
JOB NO. 15950.04


THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R



1 IRRIGATION PLAN - HIGH NOTE AVENUE



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR THB LYRIC LLC 1875 LAWRENCE STREET SUITE 900 DENVER, CO 80202 (303) 900-3111	J.R. ENGINEERING A Western Company  Centennial 303-740-9383 Colorado Springs 719-593-2593 Fort Collins 970-491-9888 www.jrengineering.com
H-SCALE V-SCALE DATE DESIGNED BY DRAWN BY CHECKED BY	No. REVISION 1 Revisions per comments 2 Revisions per comments 11/02/22 NR NR CK
THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN IRRIGATION PLAN	SHEET 9 OF 29 JOB NO. 15950.04

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

GENERAL NOTES:

- PRIOR TO BEGINNING WORK VERIFY THE CONTRACT DRAWINGS AGAINST ALL APPLICABLE EXISTING CONDITIONS. NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES.
- PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH PUBLIC WORKS PRIOR TO CONSTRUCTION.
- BACKFLOW PREVENTION TESTING IS REQUIRED BY BUILDING DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK.
- VERIFY LOCATION OF ALL ABOVE AND BELOW GRADE MECHANICAL, PLUMBING, ELECTRICAL/UTILITY LINES AND EQUIPMENT AND ADHERE TO ALL FEDERAL, MUNICIPAL, UTILITY PURVEYOR REQUIRED EASEMENTS, MINIMUM OFFSETS AND SETBACKS.
- ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.

IRRIGATION NOTES:

- IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 A.M.
- ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.
- THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE COVERAGE FOR ALL LANDSCAPED AREAS AS SHOWN ON CONTRACT DRAWINGS.
- REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND MUNICIPAL CODES FOR WORK NECESSARY IN IRRIGATION SYSTEM INSTALLATION.
- POINT OF CONNECTION SHOWN ON THE IRRIGATION PLANS ARE PER THE CIVIL DOCUMENTS. REPORT ANY DISCREPANCIES IN THE LOCATION TO THE DESIGNER FOR CLARIFICATION OR REVISION.
- CONTRACTOR IS TO PROVIDE ALL NECESSARY PIPE, VALVES, ETC. DOWNSTREAM FROM POINT OF CONNECTION NOT INSTALLED BY OTHER DISCIPLINES.
- WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE 2009 INTERNATIONAL PLUMBING CODE (IPC) AND ALL OTHER STATE OR LOCAL MUNICIPAL REGULATIONS CURRENT UPON THE SIGNING OF THIS CONTRACT.
- CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED IN LANDSCAPED AREAS WHEREVER POSSIBLE AND WITHIN THE PROPERTY LIMITS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY.
- LATERAL AND MAINLINE PIPE, CONTROL WIRES AND SLEEVES ARE SHOWN ON CONTRACT DRAWINGS SPACED HORIZONTALLY ON PLAN FOR GRAPHIC CLARITY ONLY. CONTRACTOR SHALL CONSOLIDATE IRRIGATION LATERALS, MAINLINES AND COMPONENTS WHEREVER POSSIBLE. IRRIGATION PIPING SHALL BE INSTALLED WITH A MINIMUM OF 4 INCHES CLEAR ON ALL SIDES.
- CONTRACTOR SHALL MAINTAIN THE MINIMUM DEPTHS DETAILED AND SPECIFIED FOR ALL IRRIGATION EQUIPMENT.
- CONTRACTOR IS TO VERIFY AVAILABLE PRESSURE AND FLOW AT POINT OF CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM EQUIPMENT.
- CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH OVERALL SITE CONSTRUCTION AND INSTALLATION OF PAVING AND SIDEWALKS. ALL SLEEVING UNDER PAVED SURFACES SHOWN ON CONTRACT DRAWINGS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. ALL MAINLINES, LATERAL LINES, DRIP LINES AND CONTROL WIRES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. INSTALL SLEEVING AS PER DETAIL, NOTES, SCHEDULES AND SPECIFICATIONS.
- ALL PIPING, PVC ELECTRICAL SLEEVES, ETC. UNDER PAVING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. CAP ALL ENDS HAND TIGHT PRIOR TO BACKFILL.
- EACH MAINLINE SLEEVE REPRESENTED IN THE DRAWINGS SHALL CONSIST OF TWO SLEEVES. ONE FOR MAINLINE PIPING AND ONE FOR FIELD WIRING.
- CONTRACTOR IS TO PROVIDE ELECTRICAL POWER TO THE AUTOMATIC CONTROLLER, SEE ELECTRICAL DRAWINGS.
- INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL MALE PIPE THREADS ON ALL IRRIGATION SWING JOINT AND VALVE ASSEMBLIES.
- BACKFILLING SHALL BE DONE IN LIFTS AND COMPACTED.
- MAINTENANCE AND OPERATION REQUIREMENTS: A SEASONAL MAINTENANCE SCHEDULE BEGINNING ON APRIL 1 THROUGH OCTOBER 1 SHALL ESTABLISH PROCEDURES FOR OPTIMUM IRRIGATION EFFICIENCY AND PREVENTIVE MAINTENANCE PRACTICES THAT WILL CONSERVE WATER RESOURCES. THE MAINTENANCE SCHEDULE SHOULD INCLUDE THE FOLLOWING ITEMS:
 - VERIFY COVERAGE OF HEADS (BI-MONTHLY)*
 - CHECK FOR BROKEN HEADS OR LEAKAGE (BI-MONTHLY)*
 - REPROGRAM CONTROLLERS ACCORDING TO THE SEASONAL NEEDS (MONTHLY)*
 - VERIFY WATER SUPPLY AND PRESSURE (UPON SYSTEM STARTUP, THEN TWO ADDITIONAL TIMES)
 - INSPECT THE BACKFLOW PREVENTER DEVICE (UPON SYSTEM STARTUP)
 - VERIFY SENSOR FUNCTIONALITY (BI-MONTHLY)*

*ALL ITEMS SHALL BE PERFORMED UPON SYSTEM START UP AND THEN AT A MINIMUM OF THE PERIOD STATED. INSPECTIONS SHALL BE PERFORMED MORE FREQUENTLY AS REQUIRED.

POINT OF CONNECTION (POC) NOTES:

P.O.C. 1' - CONNECT TO 1" STUB FROM METER AND EXTEND AND CONNECT 1" TYPE-K COPPER LINE TO 1" BACKFLOW DEVICE. REFER TO CIVIL PLANS FOR CONNECTION LOCATION.

AVAILABLE WATER PRESSURE: THE ASSUMED AVAILABLE PSI AT THE POINT OF CONNECTION IS - **70 PSI**. CONTRACTOR SHALL TEST PRIOR TO INSTALLATION.

DESIGN PRESSURE: 70 PSI

DESIGN FLOW: 14.82 GPM MAX. (SINGLE VALVE OPERATION)

- THE IRRIGATION SYSTEMS ARE DESIGNED WITHIN A WATER WINDOW AND SIZED TO ACCOMMODATE SINGLE VALVE STARTS NOT TO EXCEED DESIGN FLOW LISTED. CONTRACTOR TO PROGRAM CONTROLLER ACCORDINGLY.
- CONTRACTOR TO INSTALL ALL REQUIRED EQUIPMENT IN ACCORDANCE WITH ALL LOCAL WATER PURVEYORS REQUIREMENTS.
- CONTRACTOR TO FIELD LOCATE REQUIRED IRRIGATION EQUIPMENT DOWNSTREAM FROM METER FOR APPROVAL PRIOR TO INSTALLATION. ALL ATTEMPTS SHALL BE MADE TO INSTALL EQUIPMENT IN LANDSCAPE BEDS.
- ALL ENCLOSURES SHALL BE SECURELY MOUNTED AND LOCKABLE TO PREVENT VANDALISM, DAMAGE AND/OR THEFT. TURN KEYS OVER TO OWNERS REPRESENTATIVE AT COMPLETION OF WORK AS PER SPECIFICATIONS.
- CONTRACTOR TO COORDINATE CONTROLLER LOCATIONS WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. INSTALL CONTROLLERS IN COMMON AREA IN LANDSCAPE BED.
- RAIN SENSOR, MOUNT WIRELESS RAIN SENSOR WITHIN OPTIMAL RANGE FROM CONTROLLER, PER MANUFACTURERS RECOMMENDATIONS. INSTALL SENSOR ON LIGHT/UTILITY POLE A MINIMUM OF 10' ABOVE GRADE TO MINIMIZE DAMAGE/VANDALISM, CLEARLY NOTE LOCATION AND PROVIDE INFORMATION TO OWNERS REPRESENTATIVE.
- IRRIGATION ZONES HAVE BEEN CREATED TO PROPERLY HYDROZONE THE SITE BASED ON SITE CONDITIONS AND MICROCLIMATES. IF FIELD ADJUSTMENTS ARE TO BE MADE IRRIGATION EQUIPMENT IRRIGATING A NORTH AND EAST EXPOSURE SHOULD NOT BE INSTALLED ON THE SAME ZONE AS IRRIGATION EQUIPMENT ON THE SOUTH AND WEST EXPOSURES TO ALLOW FOR MICROCLIMATE ADJUSTMENTS IN THE CONTROLLER PROGRAMMING.

IRRIGATION SCHEDULE 1

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
Q T H P	TURF SPRAY 10' RADIUS HUNTER PROS-06-PRS30-CV 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE.	60	30

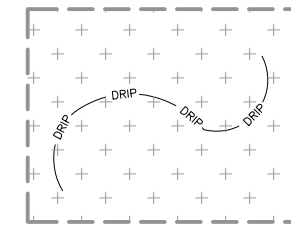
M O	TURF ROTARY - 1000 HUNTER MP1000 PROS-06-PRS40-CV 6" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	62	40
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A G R	TURF ROTARY - 2000 HUNTER MP2000 PROS-06-PRS40-CV 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	39	40
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B Y A	TURF ROTARY - 3000 HUNTER MP3000 PROS-06-PRS40-CV 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	12	40
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T	TURF ROTARY - CORNER HUNTER MP CORNER PROS-06-PRS40-CV 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. T=TURQUOISE ADJ ARC 45-105.	10	40
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
X	DRIP CONTROL VALVE ASSEMBLY - MED. FLOW HUNTER ICZ-101-40 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	6
●	PIPE TRANSITION POINT PIPE TRANSITION FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX.	44
F	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	53



AREA TO RECEIVE DRIP EMITTERS AREA FOR DRIP EMITTERS RAIN BIRD XB-PC & 3/4" BLUE STRIPE POLY DRIP TUBING SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each #1 plant) 1.0 GPH emitters (2 assigned to each #5 plant) 2.0 GPH emitters (6 assigned to each B & B, 2"Cal plant) 2.0 GPH emitters (6 assigned to each B & B, 6" HT plant) 2.0 GPH emitters (4 assigned to each B & B, 1.5"Cal plant)	16,049 S.F.
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
●	CONTROL VALVE HUNTER ICV-G PLASTIC ELECTRIC REMOTE CONTROL VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET.	12
■	QUICK COUPLER VALVE RAIN BIRD 44-RC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	6
X	GATE VALVE - 2-1/2" AND SMALLER MATCO ANORCA 514T BRASS GATE VALVE, FULL PORT. WITH SOLID WEDGE. IPS. WHEEL HANDLE. SAME SIZE AS MAINLINE PIPE.	2

MV	MASTER VALVE - NORMALLY CLOSED 1" RAIN BIRD EFB-CP BRASS MASTER VALVE. THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN AND FD-101TURF DECODER. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE.	1
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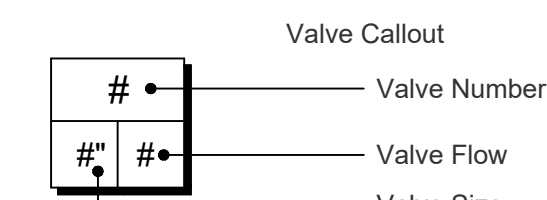
D	MANUAL DRAIN VALVE MUELLER ORISEAL #H-10283, WITH BRASS SWING JOINT ASSEMBLY. INSTALL PER INSTALLATION DETAIL.	1
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BF	REDUCED PRESSURE BACKFLOW PREVENTER 1" WITH STRONG BOX ENCLOSURE, FEBCO 825YA	1
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C	CONTROLLER HUNTER HCC-PED-SS - 24 STATION, STAINLESS STEEL PEDESTAL MOUNT CONTROLLER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	1
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R	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.	1
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(FS)	HUNTER HC-150-FLOW 1-1/2" FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.	1
POC 1'	POINT OF CONNECTION 1"	1
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	3,591 L.F.
----	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	1,519 L.F.
-----	IRRIGATION MAINLINE: TYPE K COPPER PIPE	5.1 L.F.
=====	PIPE SLEEVE: PVC CLASS 160 SDR 26	331.3 L.F.



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Revisions per comments	2		NR	CK

H-SCALE	V-SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		NR	NR	CK

THRIVE TOWNHOMES - SITE
 IMPROVEMENT PLAN
IRRIGATION NOTES

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

CRITICAL PRESSURE ANALYSIS WORKSHEET								
Project: Lyric at Ridgeway								
Date: 10-Oct-22								
Valve #: W11								
Location: Native Rotor Zone								
							 VALERIAN	
AREA	DESCRIPTION	TYPE	SIZE	LENGTH / QTY	FLOW	Loss	SUB LOSS	
SOURCE	SERVICE LINE	Type-K Copper	1"	15 FT	14.8	7.29	1.09 PSI	
SYSTEM	BACKFLOW UNIT	Febco 825YA	1"	1 EA	14.8	n/a	10.82 PSI	
	SERVICE LINE	CL-200 PVC	1 1/2"	3 FT	14.8	0.45	0.01 PSI	
	MASTER VALVE	Rain Bird	1"	1 EA	14.8	n/a	1.27 PSI	
	MAINLINE	CL-200 PVC	1 1/2"	3 FT	14.8	0.45	0.01 PSI	
	FLOW SENSOR	PVC Tee	1"	1 EA	14.8	n/a	0.25 PSI	
MAINLINE	CL-200 PVC	1 1/2"	800 FT	14.8	0.45	3.58 PSI		
CRITICAL ZONE	CONTROL VALVE	PEB Series	1"	1 EA	14.8	n/a	3.00 PSI	
	LATERAL LINE 1	CL-200 PVC	1"	2 FT	14.8	2.7	0.05 PSI	
	LATERAL LINE 2	CL-200 PVC	1"	26 FT	12.0	1.8	0.48 PSI	
	LATERAL LINE 3	CL-200 PVC	1"	33 FT	7.3	0.7	0.24 PSI	
	LATERAL LINE 4	CL-200 PVC	1"	13 FT	4.3	0.3	0.04 PSI	
	LATERAL LINE 5	CL-200 PVC	1"	21 FT	2.5	0.1	0.02 PSI	
	LATERAL LINE 6	CL-200 PVC	1"	11 FT	0.7	0.0	0.00 PSI	
	LATERAL LINE 7	CL-200 PVC	1"	10 FT	0.3	0.0	0.00 PSI	
	FITTINGS	10% of Pipe Losses						2.09 PSI
					TOTAL FRICTION LOSS			23.0 PSI
ELEVATION CHANGE WITHIN ZONE				-10 FT	X.433		-4.3 PSI	
IRRIGATION CONTINGENCY				10%	OF ALL LOSSES		1.9 PSI	
				TOTAL SYSTEM LOSS			20.5 PSI	
SUMMARY	AVAILABLE STATIC PRESSURE AT SOURCE/TAP						Enter	70.0 PSI
	TOTAL PRESSURE LOSS							20.5 PSI
	PSI REQUIRED AT CRITICAL HEAD						Enter	40.0 PSI
	AVAILABLE DYNAMIC PRESSURE AT CRITICAL HEAD							49.5 PSI
	RESIDUAL PRESSURE							9.5 PSI

POC WEST - Run Time Analysis								
Run times under water restrictions								
#	SIZE	PLANT TYPE	TYPE	GPM	PRECIP	PEAK DEMAND IN/WK	ZONE RUN TIME MIN./WK	WATER USAGE GAL/WK
W1	1"	Planting Beds	Point Source Drip	7.91	0.50	0.96	115	911.23
W2	1"	Turfgrass	Turf Rotary	12.42	0.58	0.65	67	835.14
W3	1"	Planting Beds	Point Source Drip	2.76	0.50	0.96	115	317.95
W4	1"	Planting Beds	Point Source Drip	3.14	0.50	0.96	115	361.73
W5	1"	Native	Turf Rotary	11.56	0.50	0.65	78	901.68
W6	1"	Native	Turf Rotary	4.61	0.47	0.65	83	382.53
W7	1"	Planting Beds	Point Source Drip	5.73	0.50	0.96	115	660.10
W8	1"	Native	Turf Rotary	11.79	0.29	0.65	134	1,585.55
W9	1"	Turfgrass	Turf Rotary	4.12	0.54	0.65	72	297.56
W10	1"	Native	Turf Rotary	11.86	1.55	0.65	25	298.41
W11	1"	Native	Turf Rotary	14.82	0.39	0.65	100	1,482.00
W12	1"	Turfgrass	Turf Rotary	11.30	0.58	0.65	67	759.83
W13	1"	Planting Beds	Point Source Drip	4.27	0.50	0.96	115	491.90
W14	1"	Turfgrass	Turf Spray	10.40	2.00	1.64	49	511.68
W15	1"	Turfgrass	Turf Spray	8.72	0.27	1.64	364	3,177.96
W16	1"	Planting Beds	Point Source Drip	5.77	0.50	0.96	115	664.70
W17	1"	Turfgrass	Turf Spray	12.16	2.03	1.64	48	589.43
W18	1"	Turfgrass	Turf Rotary	6.49	0.50	0.65	78	506.22
							Hours/Wk	31
							Gal/Wk	14,735.60
							Kgal/Month	64

WATER BUDGET										
PROJECT NAME: Lyric at Ridgeway - POC WEST				SUBMITTED BY: Valerian LLC		DATE: 10/5/2022				
DESCRIPTION	IRRIGATED ACRES	MONTH	HISTORICAL ET	PLANT COEFFICIENT	PLANT WATER REQUIREMENT	SYSTEM EFFICIENCY (%)	TOTAL WATER REQUIREMENTS (IN.)	WEEKLY WATER REQUIREMENTS (IN.)	MONTHLY WATER REQUIREMENTS (GAL.)	
PLANT TYPE:	0.19	APRIL		2.26	0.80	1.81	65%	2.78	0.65	14,226
Nature's Prairie Turf Sod (Moderate/High Usage)		MAY		5.73	0.80	4.58	65%	7.05	1.65	36,068
		JUNE		6.64	0.80	5.31	65%	8.17	1.91	41,796
		JULY		7.27	0.80	5.82	65%	8.95	2.09	45,762
		AUGUST		5.87	0.80	4.70	65%	7.22	1.69	36,949
Square Foot Area:		SEPTEMBER		4.45	0.80	3.56	65%	5.48	1.28	28,011
	8,249	OCTOBER		1.60	0.80	1.28	65%	1.97	0.46	10,071
OPERATING PERIOD-HRS./DAY	12						TOTAL	41.62		212,884
DAYS/WEEK	3									0.65
DAYS/MONTH	13									4.97
ACRE FEET/YR										0.65
PEAK SEASON GPM										4.97
DESCRIPTION	IRRIGATED ACRES	MONTH	HISTORICAL ET	PLANT COEFFICIENT	PLANT WATER REQUIREMENT	SYSTEM EFFICIENCY (%)	TOTAL WATER REQUIREMENTS (IN.)	WEEKLY WATER REQUIREMENTS (IN.)	MONTHLY WATER REQUIREMENTS (GAL.)	
PLANT TYPE:	0.51	APRIL		2.26	0.50	1.13	90%	1.26	0.29	17,250
SHRUBS (Moderate Usage)		MAY		5.73	0.50	2.87	90%	3.18	0.74	43,734
		JUNE		6.64	0.50	3.32	90%	3.69	0.86	50,680
		JULY		7.27	0.50	3.64	90%	4.04	0.94	55,489
		AUGUST		5.87	0.50	2.94	90%	3.26	0.76	44,803
Square Foot Area:		SEPTEMBER		4.45	0.50	2.23	90%	2.47	0.58	33,965
	22,159	OCTOBER		1.60	0.50	0.80	90%	0.89	0.21	12,212
OPERATING PERIOD-HRS./DAY	12						TOTAL	18.79		288,133
DAYS/WEEK	3									0.79
DAYS/MONTH	13									6.02
ACRE FEET/YR										0.79
PEAK SEASON GPM										6.02
DESCRIPTION	IRRIGATED ACRES	MONTH	HISTORICAL ET	PLANT COEFFICIENT	PLANT WATER REQUIREMENT	SYSTEM EFFICIENCY (%)	TOTAL WATER REQUIREMENTS (IN.)	WEEKLY WATER REQUIREMENTS (IN.)	MONTHLY WATER REQUIREMENTS (GAL.)	
PLANT TYPE:	0.18	APRIL		2.26	0.30	0.68	70%	0.97	0.23	4,737
NATIVE SEED (Low Usage)		MAY		5.73	0.30	1.72	70%	2.46	0.57	12,011
		JUNE		6.64	0.30	1.99	70%	2.85	0.66	13,919
		JULY		7.27	0.30	2.18	70%	3.12	0.73	15,240
		AUGUST		5.87	0.30	1.76	70%	2.52	0.59	12,305
Square Foot Area:		SEPTEMBER		4.45	0.30	1.34	70%	1.91	0.45	9,328
	7,889	OCTOBER		1.60	0.30	0.48	70%	0.69	0.16	3,354
OPERATING PERIOD-HRS./DAY	12						TOTAL	14.49		70,894
DAYS/WEEK	3									0.22
DAYS/MONTH	13									1.65
ACRE FEET/YR										0.22
PEAK SEASON GPM										1.65
PROJECT TOTALS										
IRRIGATED ACRES									0.88	
GALLONS/YEAR									541,911	
ACRE FEET/YEAR									1.66	
PEAK SEASON GPM									12.65	
NOTES:										
Plant water requirements are determined utilizing 100% system efficiencies. Actual system efficiencies are specific to each systems design, operating pressure and will increase application rates.										
Approximate values:										
Drip irrigation - 90%						Maximum Safe Flow Through Water Meters (7.5 feet per second in service line):				
Rotor irrigation - 70%						PEAK SEASON GPM		MINIMUM TAP SIZE REQUIRED		
Spray head irrigation: 65%						0 - 10 GPM		0.75"		
April & October ET represent 2 week watering windows.						11 - 18 GPM		1.00"		
						19 - 40 GPM		1.50"		
						41 - 70 GPM		2.00"		
						71 - 150 GPM		3.00"		
						151 - 275 GPM		4.00"		

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 THB LYRIC LLC
 1875 LAWRENCE STREET
 SUITE 900
 DENVER, CO 80202
 (303) 900-3111

J.R. ENGINEERING
 A WestPlan Company

 Centennial 303-740-9393 Colorado Springs 719-593-2593 Fort Collins 970-491-9888
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BY	DATE
NR	1/20/23
NR	5/05/23
#	#
#	#

No.	REVISION	Comments
1	Revisions per comments	
2	Revisions per comments	
#	#	
#	#	

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		11/02/22	NR	NR	CK

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN
IRRIGATION NOTES

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

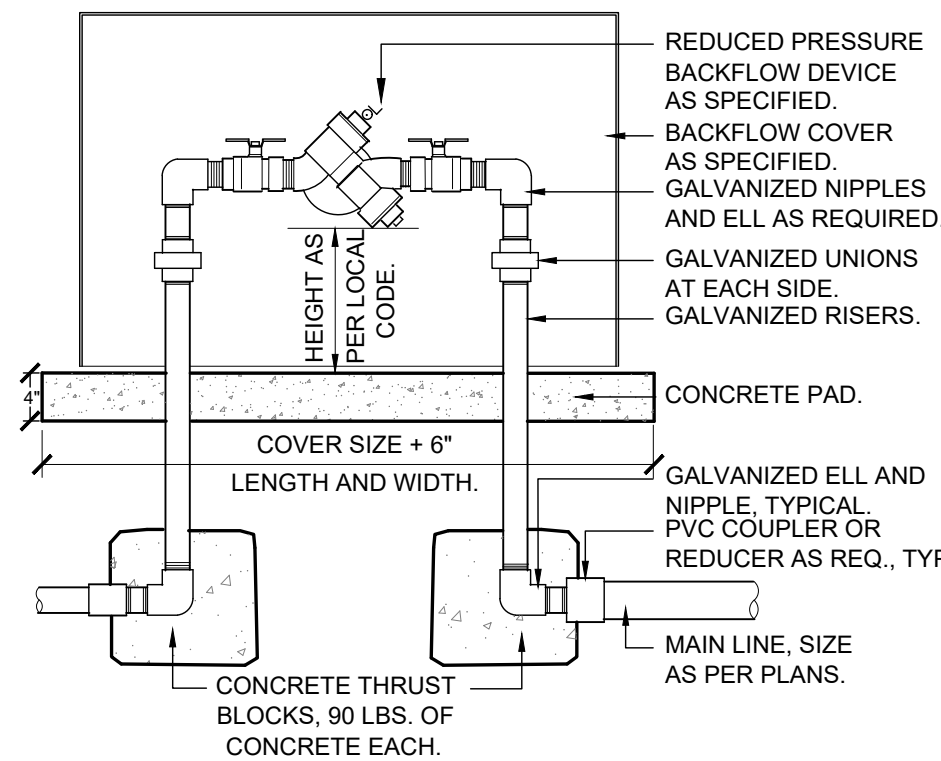
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
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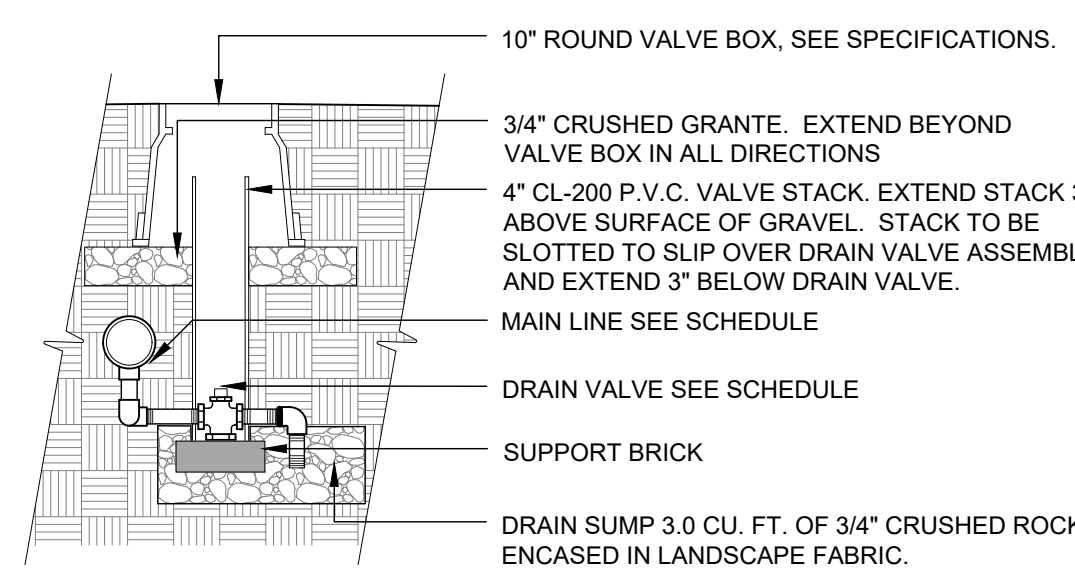
J.R. ENGINEERING
 A Westman Company
 Centennial 303-740-8383 Colorado Springs 719-593-2593 Fort Collins 970-491-9888
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NOTE: INSTALL SHUT-OFF GATE VALVE AND MANUAL DRAIN VALVES TO ALLOW FOR WINTERIZATION OF THE BACKFLOW. INSTALL PER LOCAL AND MUNICIPAL CODES.



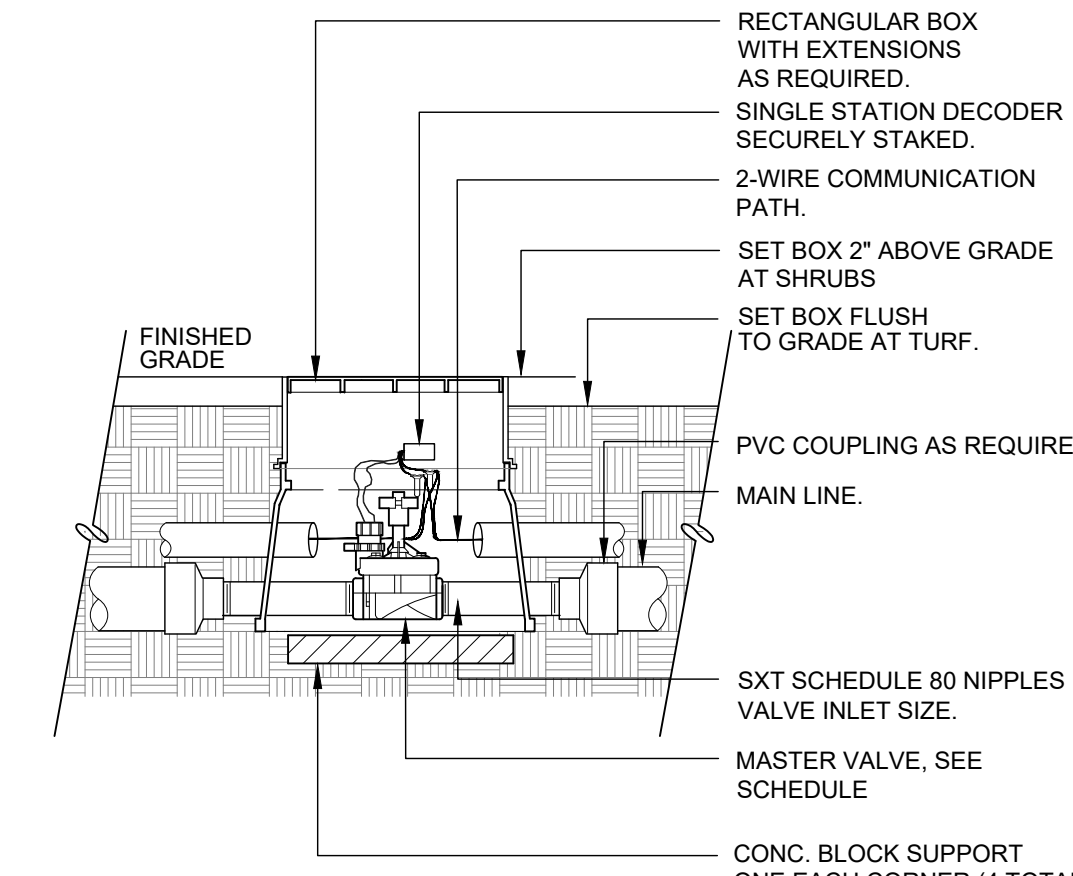
1 RP BACKFLOW W/ ENCLOSURE
 3/4" = 1'-0" 32 8409.46-03

NOTE:
 1. BRAND (DV) INTO VALVE BOX LID WITH 2" HIGH LETTERS MIN.
 2. EXTEND VERTICAL DISCHARGE NIPPLE INTO DRAIN SUMP A MINIMUM OF 3".
 3. SET TOP OF VALVE BOX LID LEVEL WITH FINISHED GRADE OF ADJACENT UNDISTURBED TURF GRASS AREAS.



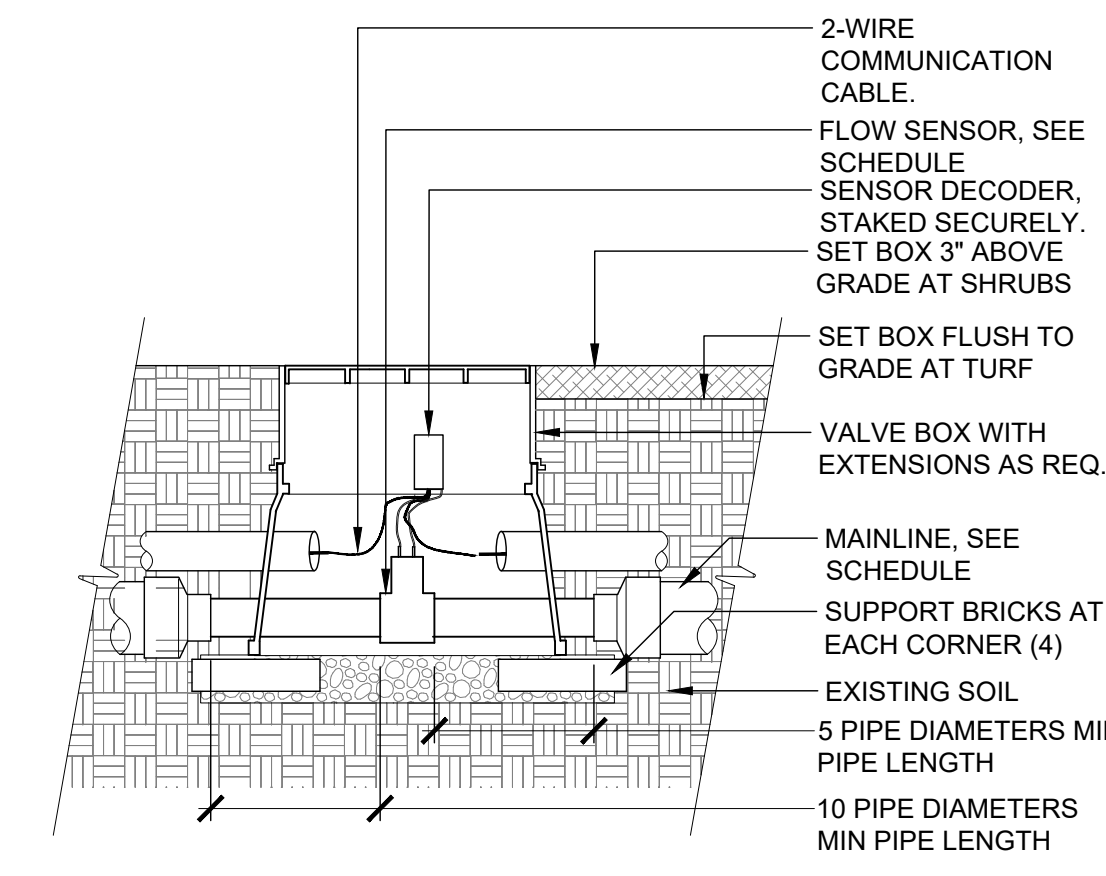
2 MANUAL DRAIN VALVE
 1/2" = 1'-0" 328409.86-13

NOTE:
 1. BRAND (MV) INTO VALVE BOX LID WITH 2" HIGH LETTERS MINIMUM.



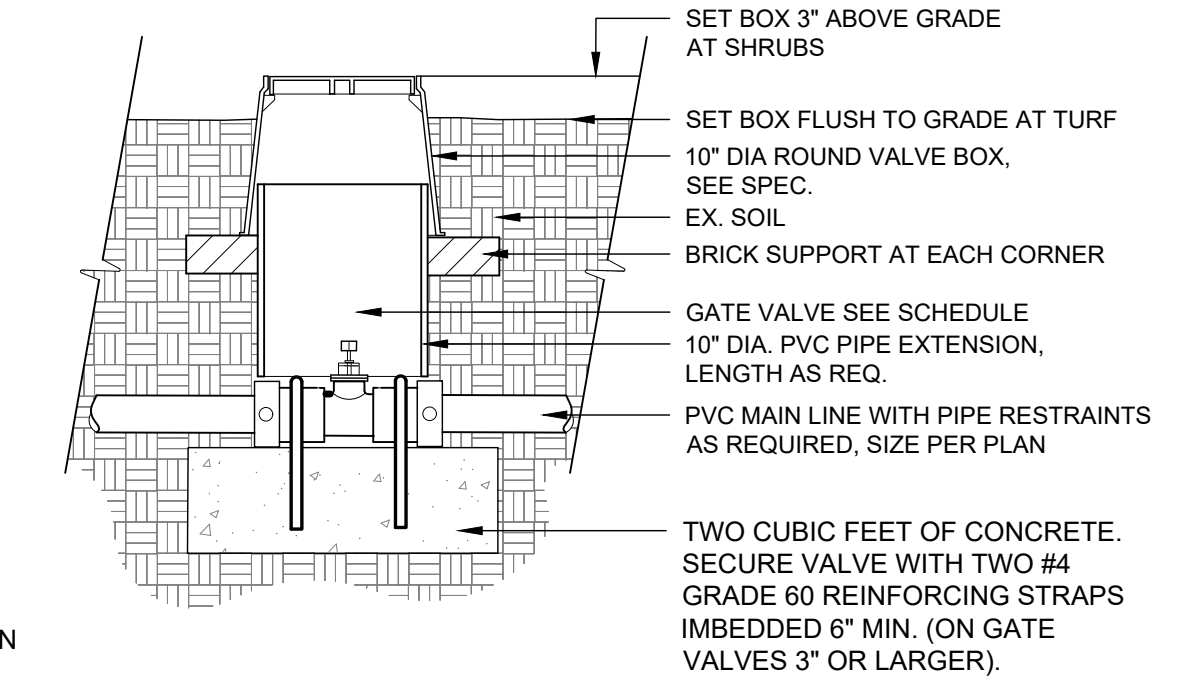
3 MASTER CONTROL VALVE
 1 1/2" = 1'-0" 328406.23-12

NOTE:
 1. HEAT BRAND (FS) ON VALVE BOX LID IN 2" HIGH LETTERS MINIMUM



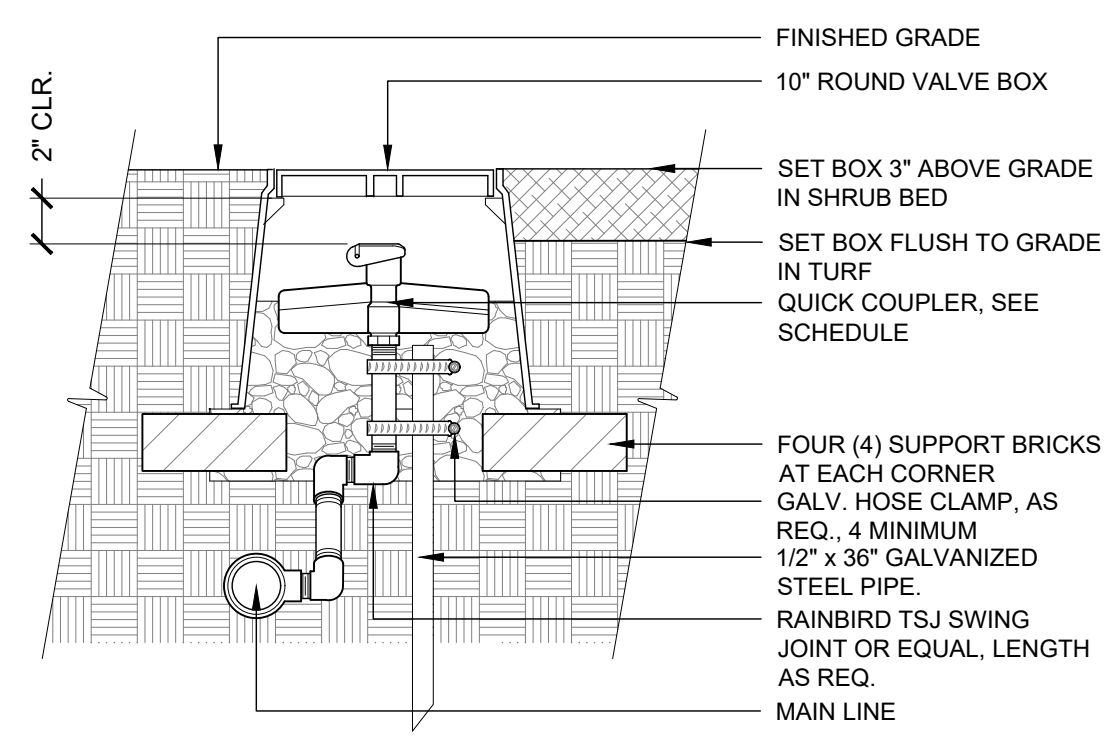
4 FLOW SENSOR
 1" = 1'-0" 32 8409.63-05

NOTE:
 1. HEAT BRAND (GV) ON LID WITH 2" HIGH CHARACTERS



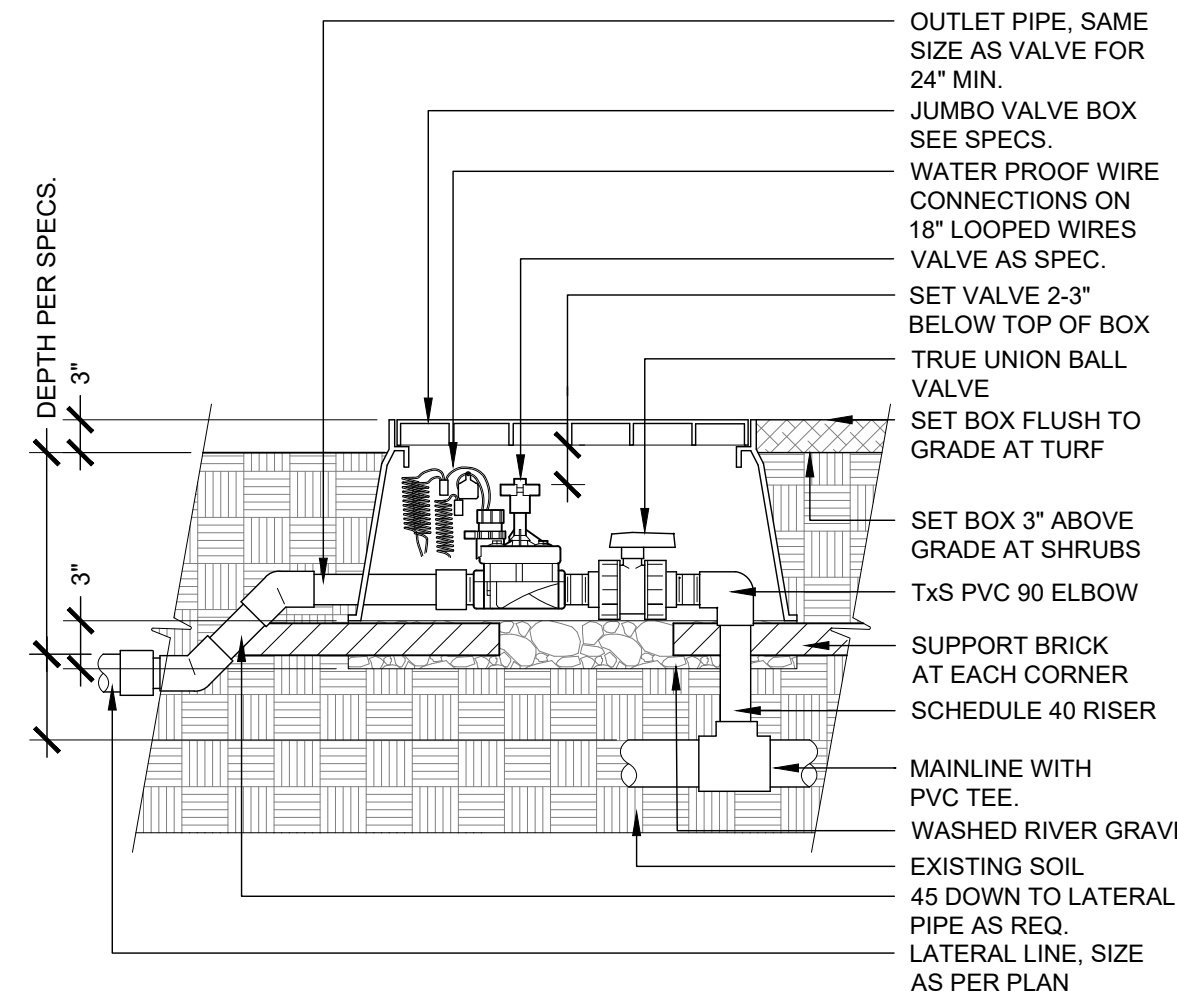
5 GATE VALVE UNDER 3"
 1" = 1'-0" 328406.33-90

NOTE:
 1. 10" DIAMETER VALVE BOX. HEAT BRAND (QC) ON LID WITH 2" HIGH CHARACTERS.

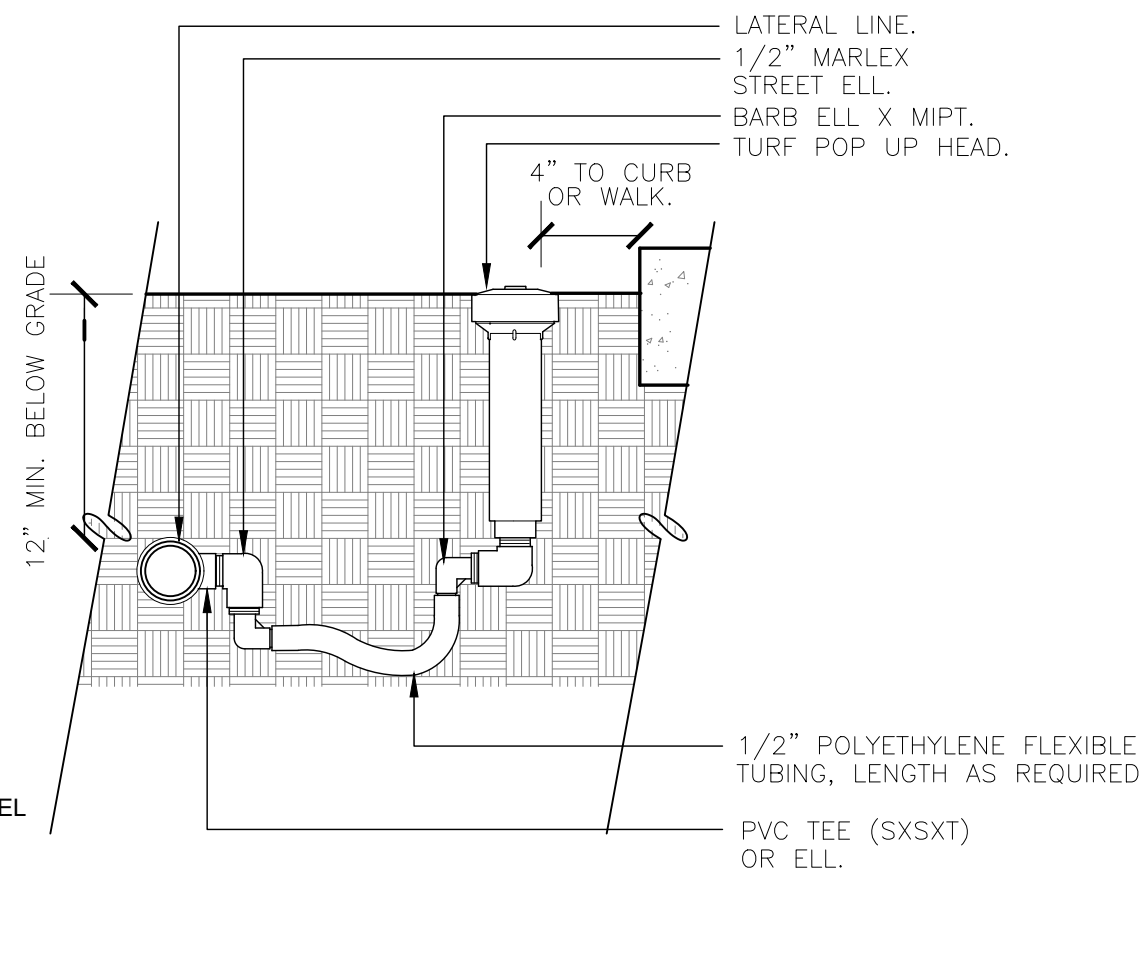


6 QUICK COUPLING VALVE
 1 1/2" = 1'-0"

NOTE:
 HEAT BRAND VALVE AND CONTROLLER NUMBER ON LID WITH 2" HIGH CHARACTERS



7 REMOTE CONTROL VALVE
 1" = 1'-0" 328403.13-03



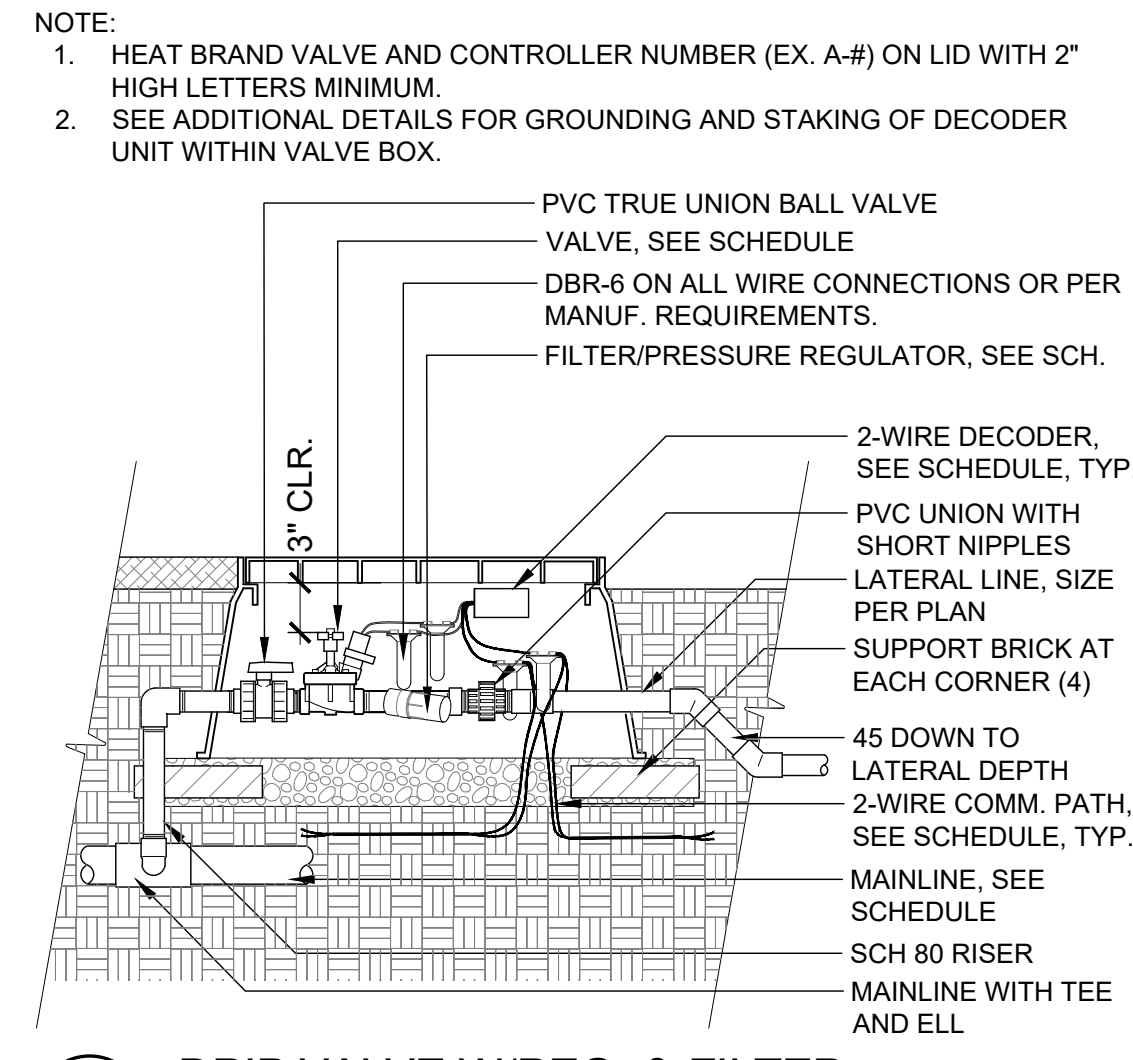
8 TURF SPRAY-FLEX ASSEMBLY
 3" = 1'-0" 328403.13-03

REVISION	DATE	BY
No. 1	1/20/23	NR
No. 2	5/05/23	NR
No. 3		
No. 4		
No. 5		
No. 6		
No. 7		
No. 8		
No. 9		
No. 10		
No. 11		
No. 12		

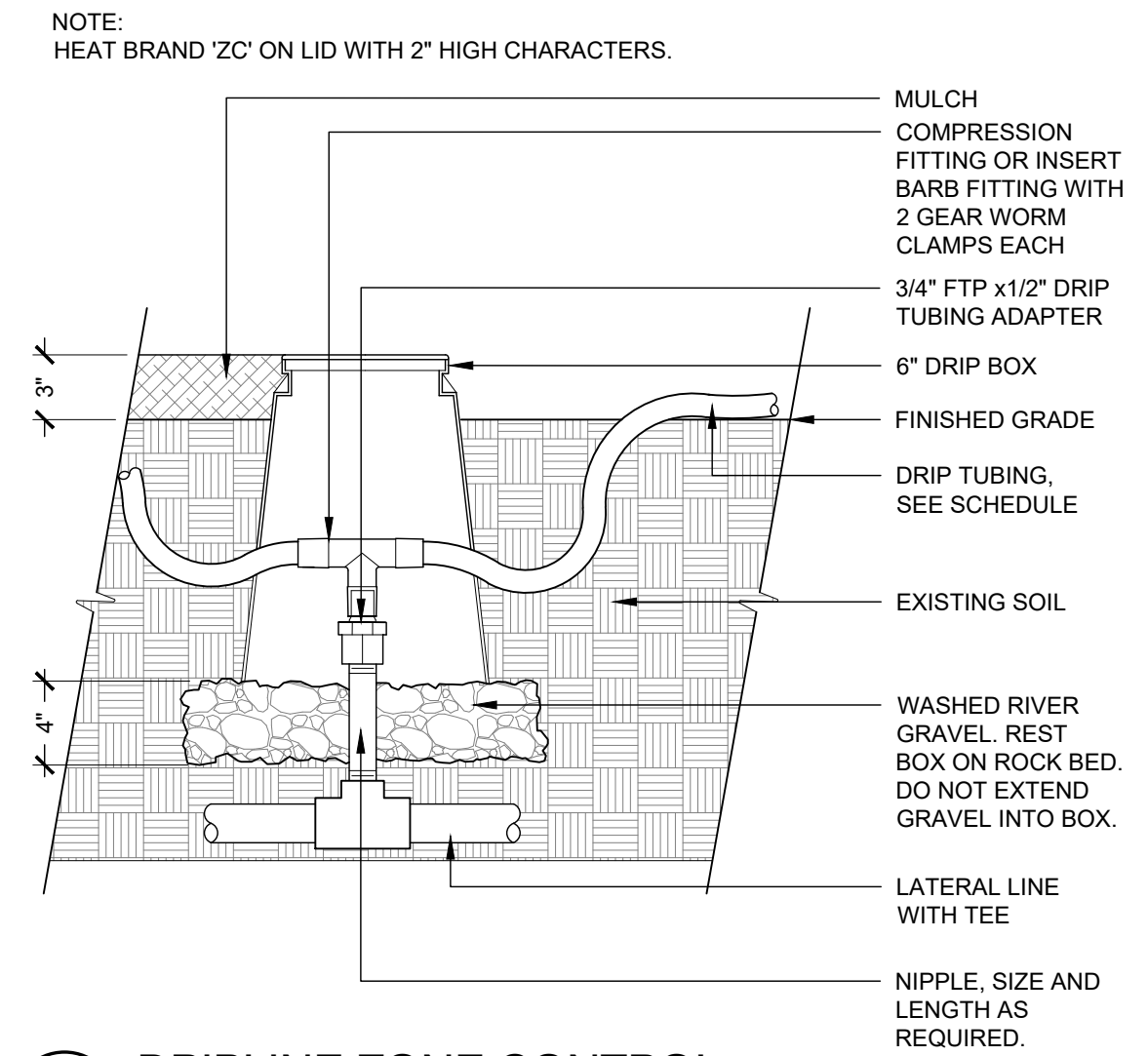
H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		11/02/22	NR	NR	CK

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

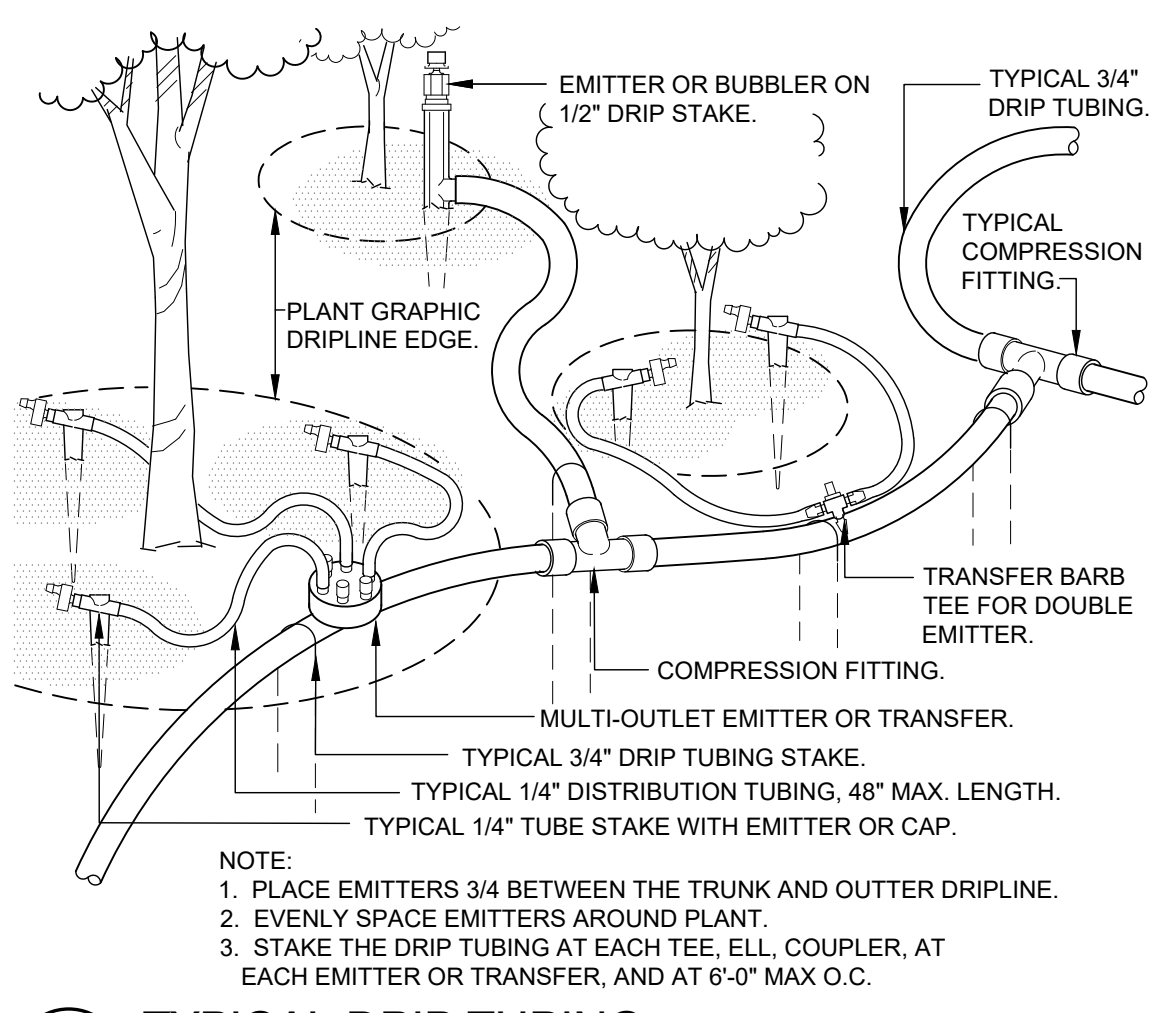
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R



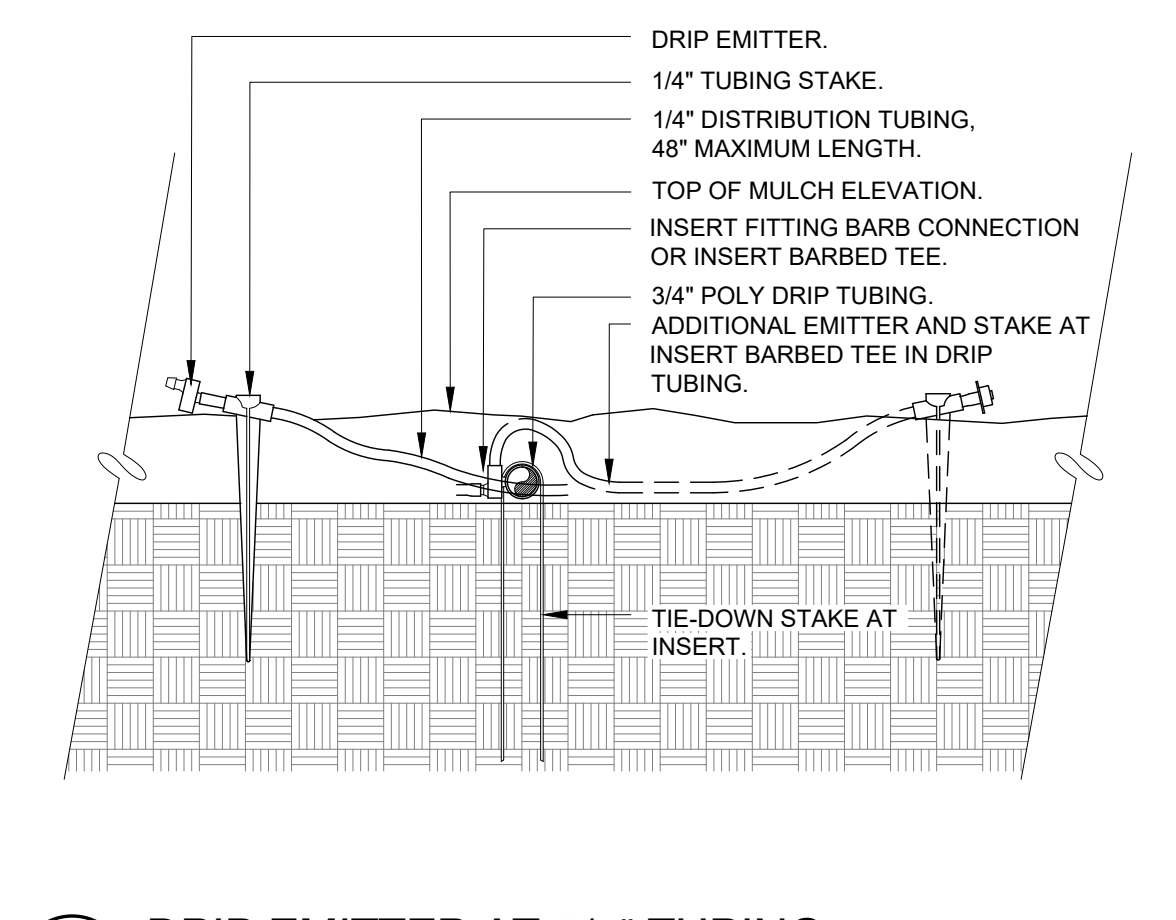
1 DRIP VALVE W/REG. & FILTER
 1" = 1'-0" 328413.76-50



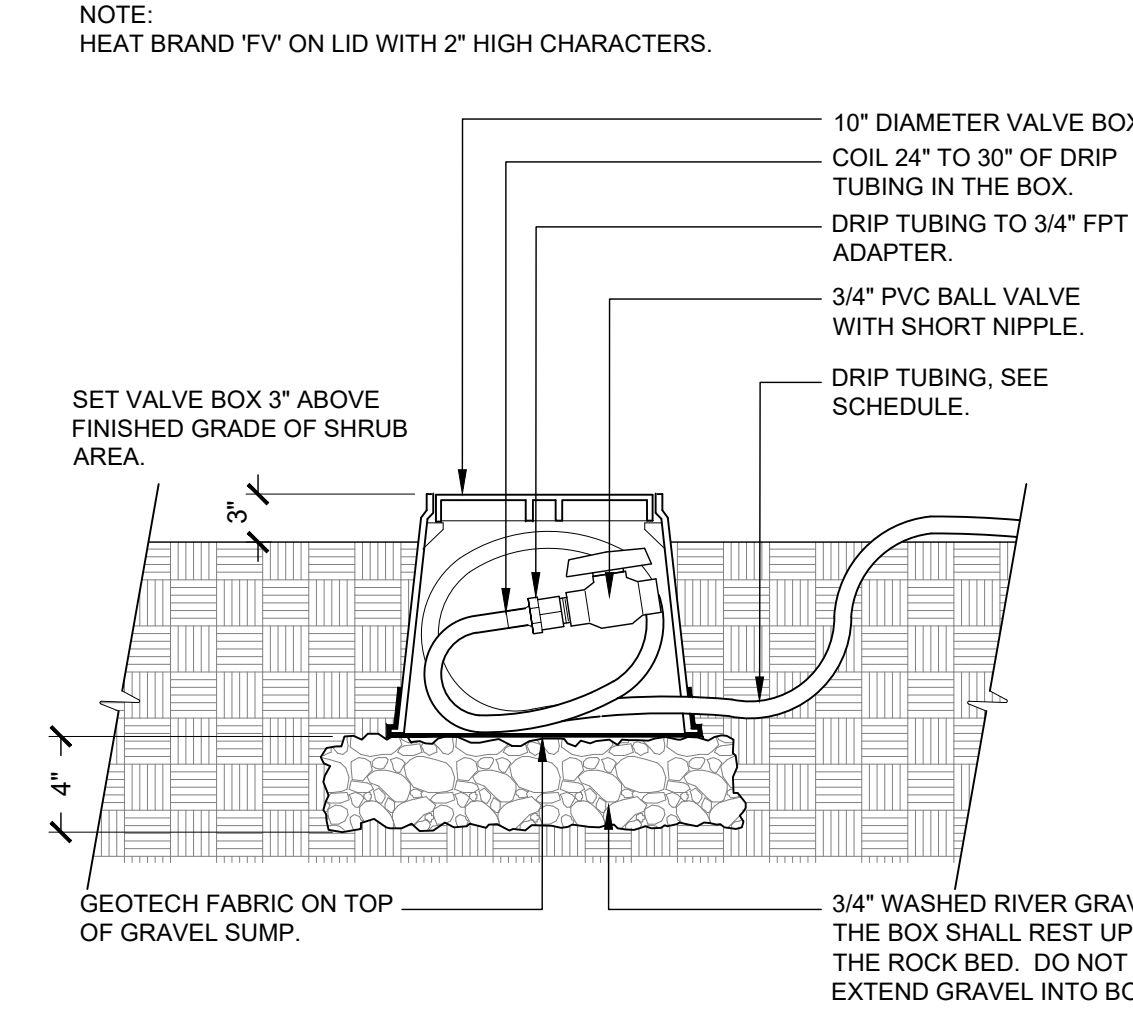
2 DRIPLINE ZONE CONTROL
 1 1/2" = 1'-0" 328413.46-13



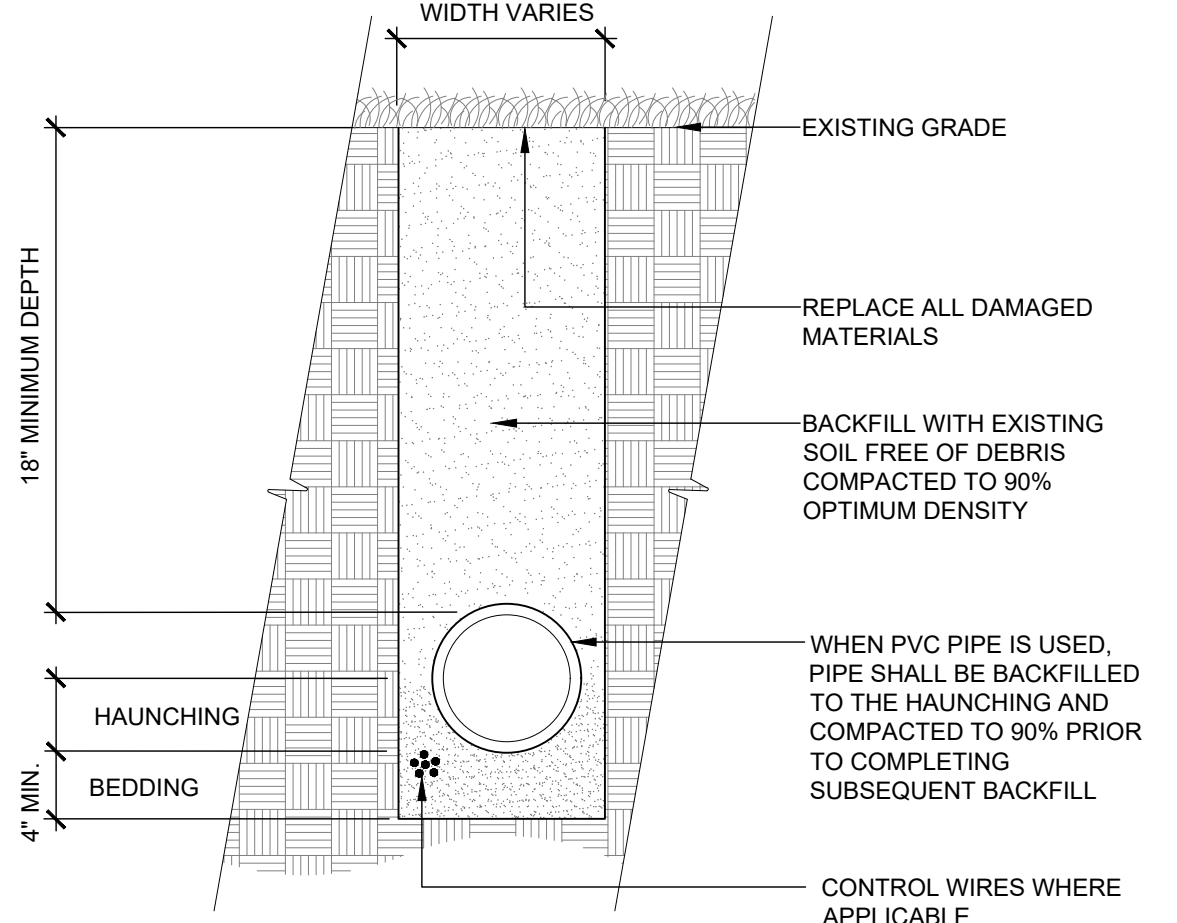
3 TYPICAL DRIP TUBING
 1 1/2" = 1'-0" 328413.43-01



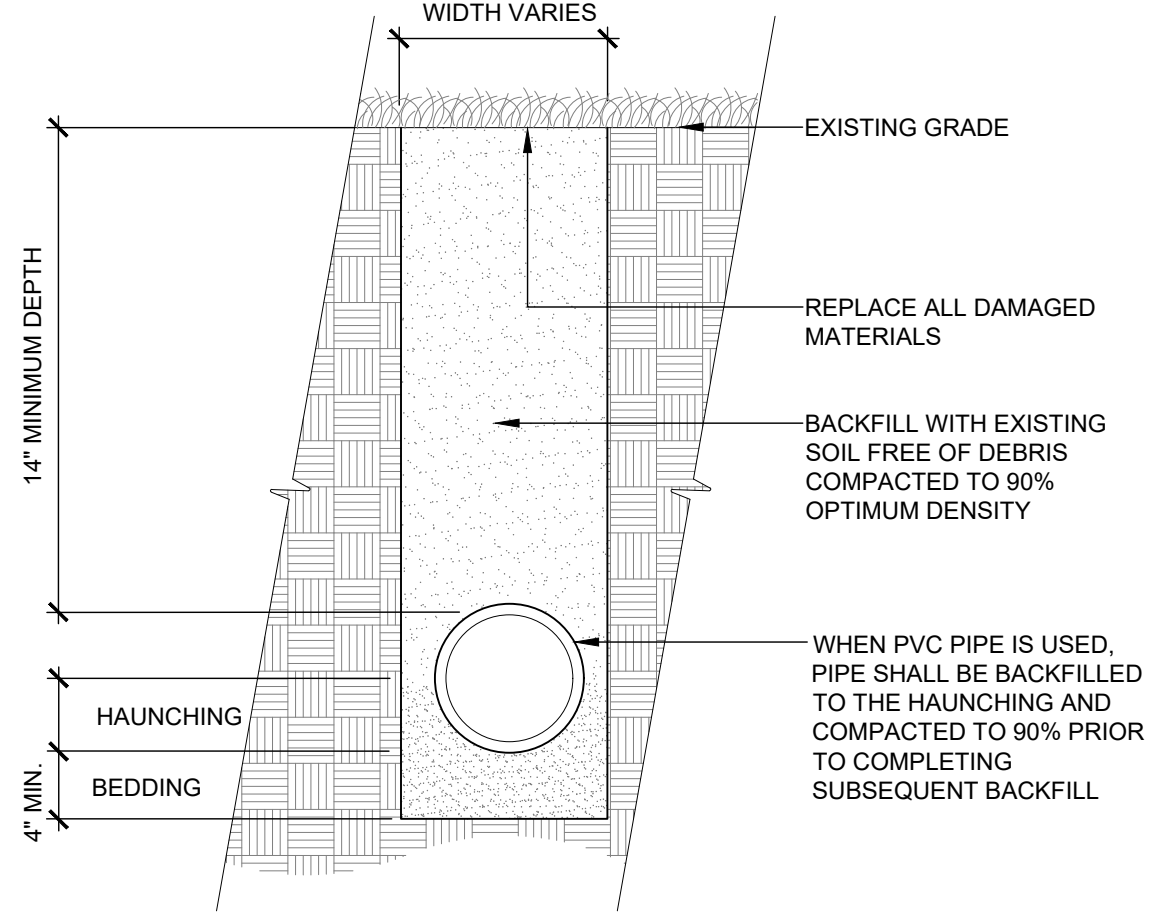
4 DRIP EMITTER AT 1/4" TUBING
 3" = 1'-0" 328413.49-98



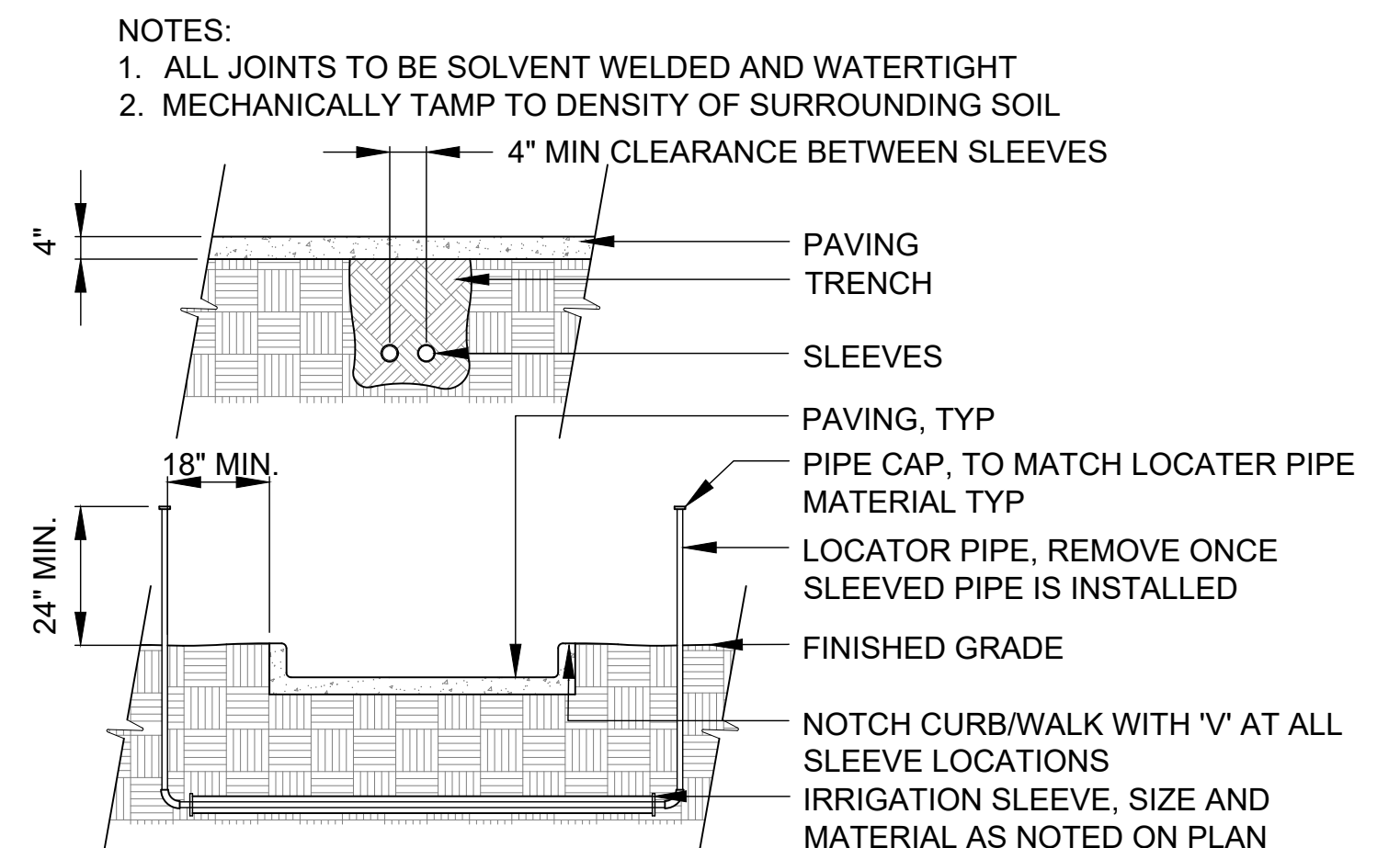
5 DRIP FLUSH VALVE
 1 1/2" = 1'-0" 328413.49-98



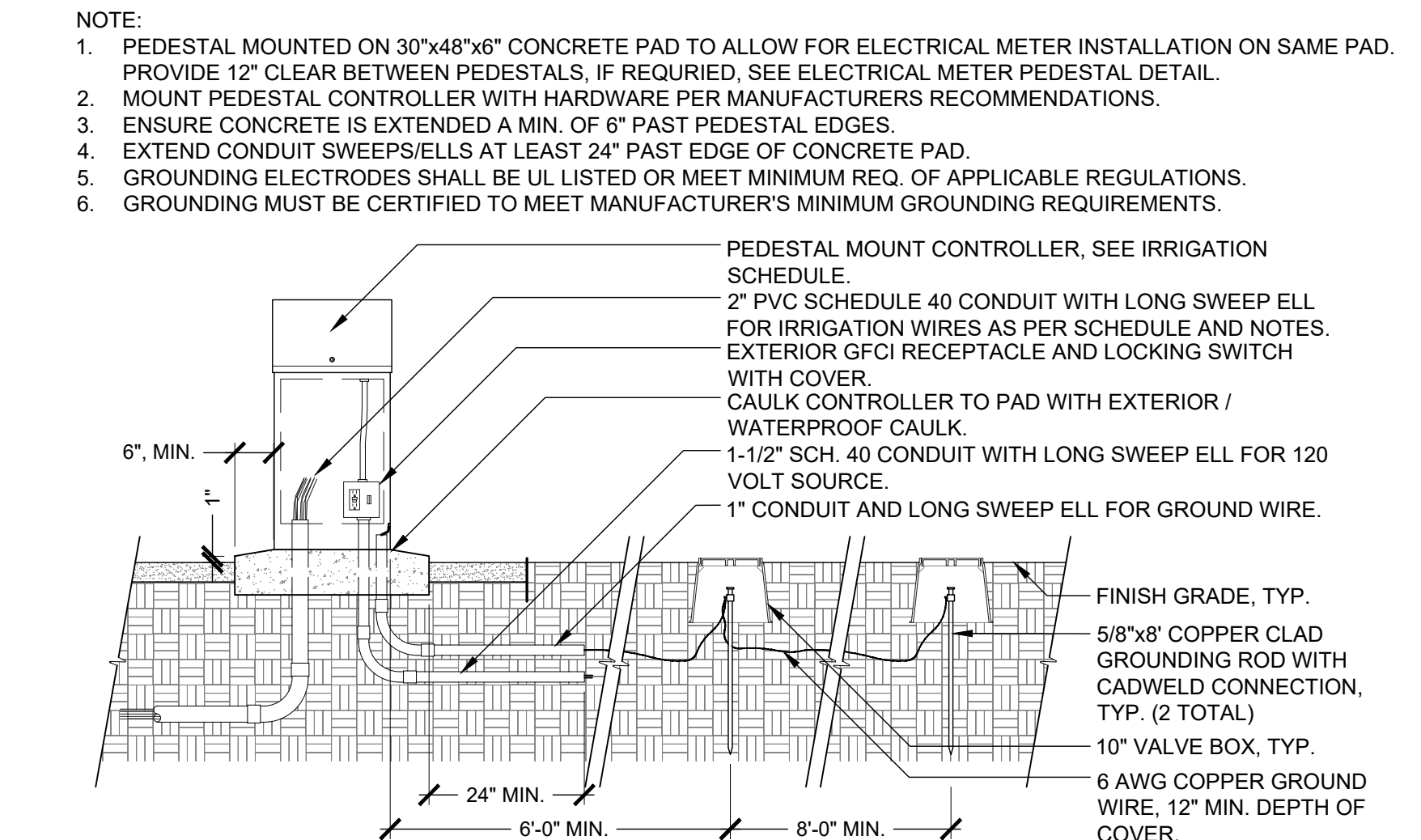
6 TRENCH DETAIL - MAINLINE
 1 1/2" = 1'-0" 328409.76-90



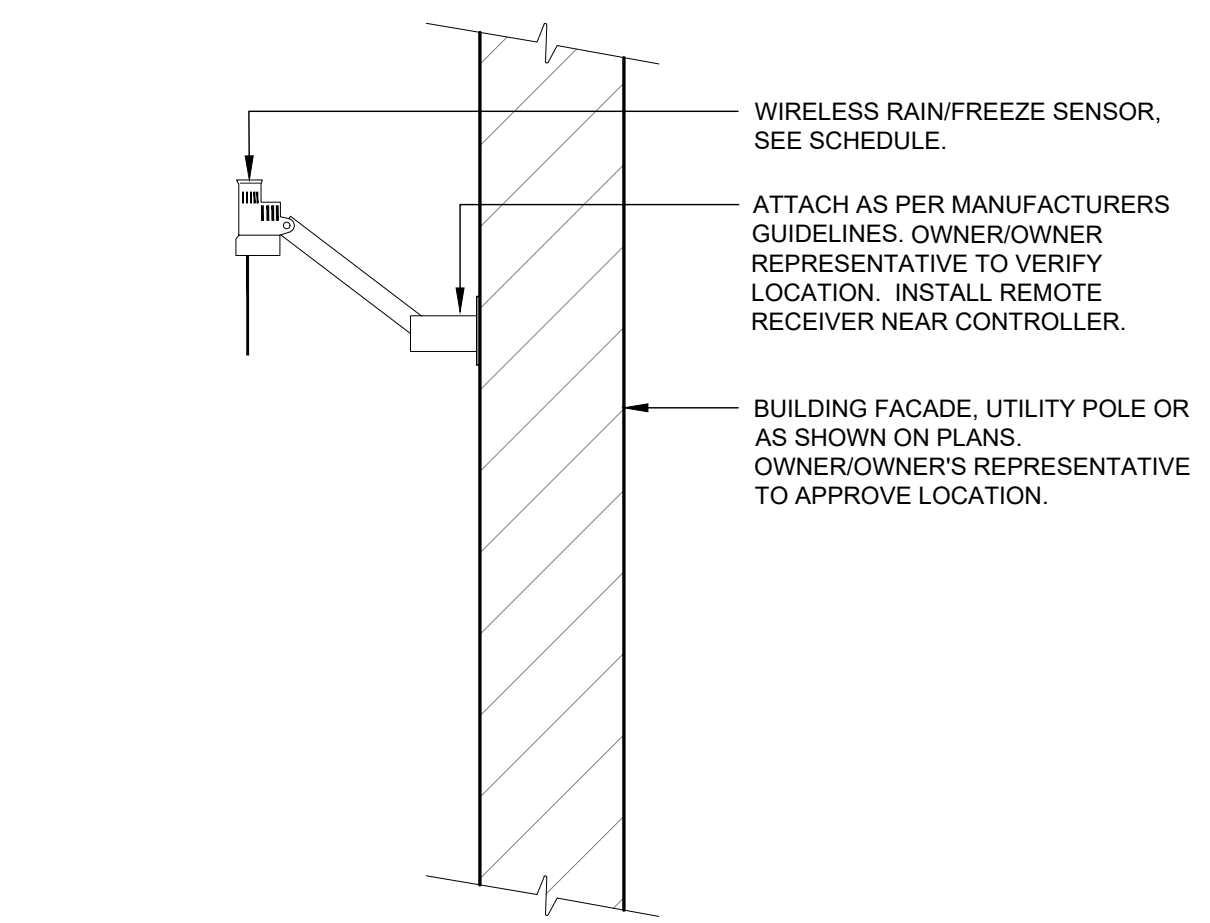
7 TRENCH DETAIL - LATERAL LINE
 1 1/2" = 1'-0" 328409.76-91



8 SLEEVING
 328409.76-82



9 CONTROLLER PEDESTAL AND GROUNDING
 1/2" = 1'-0" 32 8409.16-80



10 RAIN SENSOR
 3/4" = 1'-0" 328409.66-03

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 THB LYRIC LLC
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 SUITE 900
 DENVER, CO 80202
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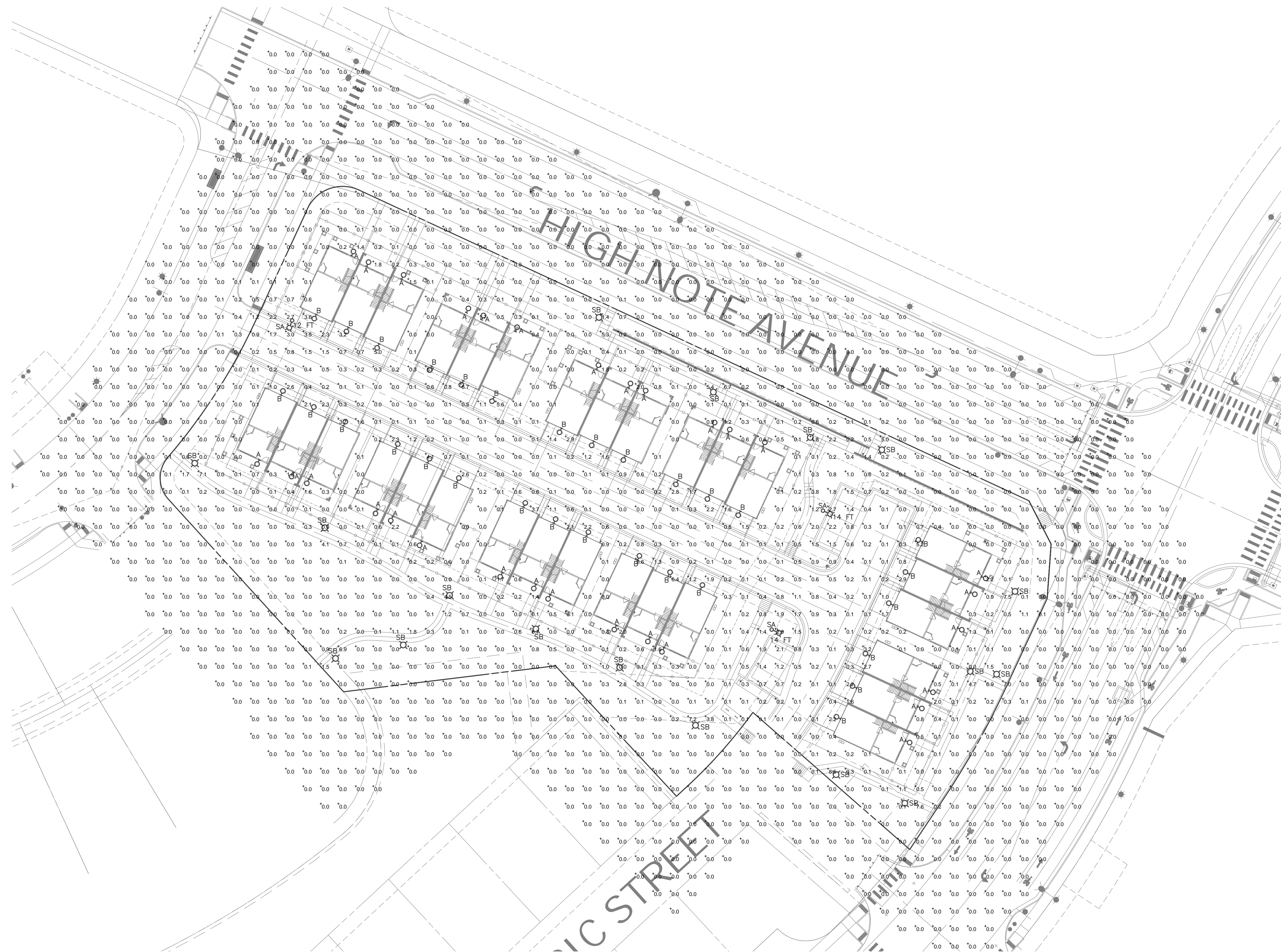
BY	DATE	REVISION
NR	1/20/23	1
NR	5/05/23	2
#	#	#
#	#	#
#	#	#
#	#	#

No.	REVISION	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1	Revisions per comments	11/02/22	NR	NR	CK
2	Revisions per comments				

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN
IRRIGATION DETAILS

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

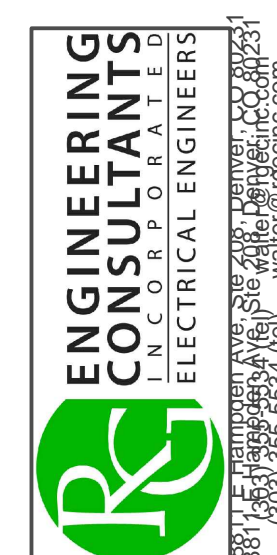


SITE PHOTOMETRIC PLAN

Scale: 1"=30'
 0 30 60
 FEET

SITE PHOTOMETRIC SUMMARY
 AVERAGE = 0.2 FT. CANDLE
 MINIMUM = 0.0 FT. CANDLE
 MAXIMUM = 9.1 FT. CANDLE



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PREPARED FOR THB LYRIC LLC 1875 LAWRENCE STREET SUITE 900 DENVER, CO 80202 (303) 900-3111	 ENGINEERING CONSULTANTS L.L.C. P.C. ELECTRICAL ENGINEERS 8871 E. Hampden Ave., Suite 400, Denver, CO 80231 (303) 355-8554 (tel) water@engcon.com
H-SCALE AS SHOWN No. V-SCALE N/A DATE 1/6/2023 DESIGNED BY RG DRAWN BY RG CHECKED BY	REVISION #
THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN SITE PHOTOMETRIC PLAN	SHEET 14 OF 29 JOB NO. 15950.04

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX



- DECORATIVE GABLE VENT
- 3RD PLATE
- 1x4 TRIM AT WINDOWS & DOORS
- 8" SMARTSIDE LAP SIDING
- 3RD LEVEL
- 2ND PLATE
- SMARTSIDE PANEL SIDING
- 10" SMARTSIDE LAP SIDING
- 2ND LEVEL
- 1ST PLATE
- AC UNIT
- 1ST LEVEL
100'-0"

1 3A - FRONT ELEVATION - TRANSITIONAL - SCHEME 1
 1/4" = 1'-0"

UNTIL SUCH TIME AS
 THESE DRAWINGS ARE
 APPROVED BY THE
 APPROPRIATE REVIEWING
 AGENCIES, JR
 ENGINEERING APPROVES
 THEIR USE ONLY FOR THE
 PURPOSES DESIGNATED
 BY WRITTEN
 AUTHORIZATION.

PREPARED FOR
 THE LYRIC LLC
 1875 LAWRENCE STREET
 SUITE 900
 DENVER, CO
 80202
 (303) 900-3111

Godden|Sudik
 ARCHITECTS
 SEE WHAT COULD BE
 303.455.4437
 www.goddensudik.com
 5975 S. Quebec Street
 Suite 250
 Centennial, CO 80111

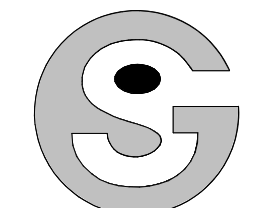
BY	DATE	REVISION		H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		No.	#						

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
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 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX

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5975 S. Quebec Street
 Suite 250
 Centennial, CO 80111



1 3A - REAR ELEVATION - TRANSITIONAL - SCHEME 1
 1/4" = 1'-0"

BY	DATE	No.	REVISION	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN	3A - TRANSITIONAL
						10/17/22	ARCH	ARCH			

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

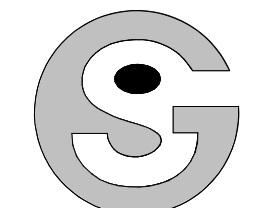
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 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX



1 3B - FRONT ELEVATION - CONTEMPORARY - SCHEME 2
 1/4" = 1'-0"

UNTIL SUCH TIME AS
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 APPROPRIATE REVIEWING
 AGENCIES, JR
 ENGINEERING APPROVES
 THEIR USE ONLY FOR THE
 PURPOSES DESIGNATED
 BY WRITTEN
 AUTHORIZATION.

PREPARED FOR
 THB LYRIC LLC
 1875 LAWRENCE STREET
 SUITE 900
 DENVER, CO
 80202
 (303) 900-3111



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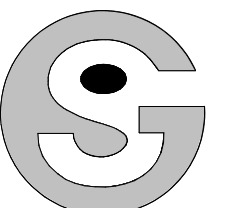
THRIVE TOWNHOMES - SITE
 IMPROVEMENT PLAN
 3B - CONTEMPORARY

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST
 OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX

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		No.	#						
				N/A		10/17/22	ARCH	ARCH	



1 3B - REAR ELEVATION - CONTEMPORARY - SCHEME 2
 1/4" = 1'-0"

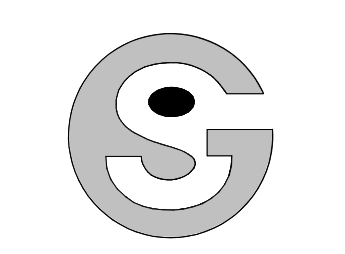
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1 3B - REAR ELEVATION - TRANSITIONAL - SCHEME 2
 1/4" = 1'-0"

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY
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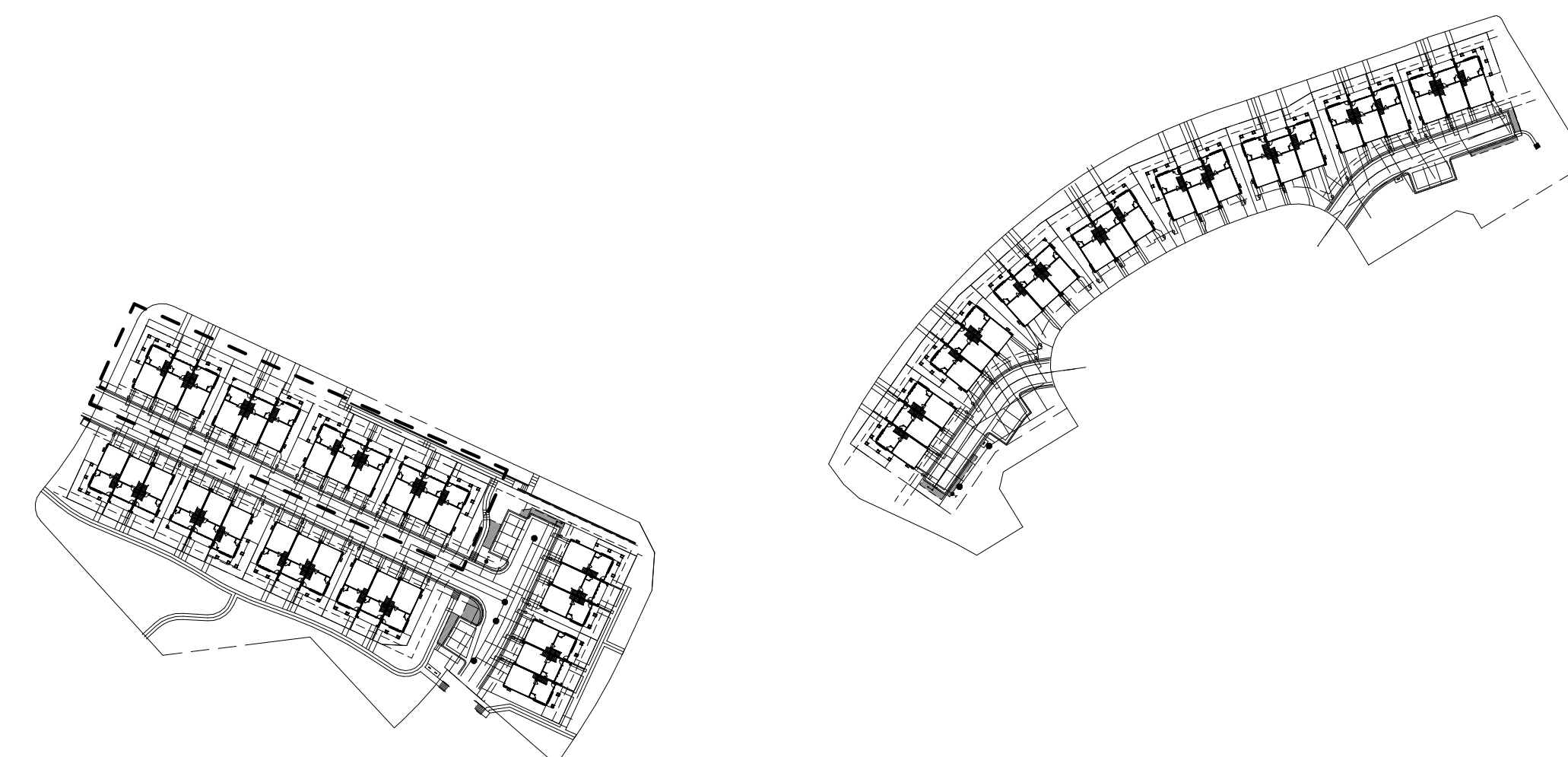


3B - TRANSITIONAL - WRAPPED
SCHEME 1

3B - TRANSITIONAL - WRAPPED
SCHEME 2

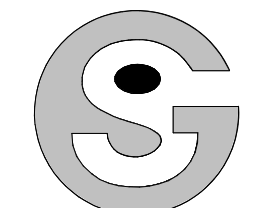
3B - CONTEMPORARY
SCHEME 2

3A - TRANSITIONAL - WRAPPED
SCHEME 1



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						No.	#		
N/A		10/17/22	ARCH	ARCH					

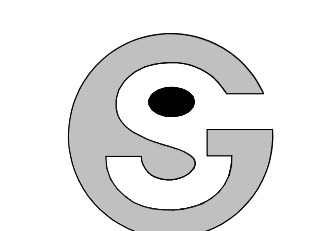
THRIVE TOWNHOMES - SITE
 IMPROVEMENT PLAN
 STREETScape

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

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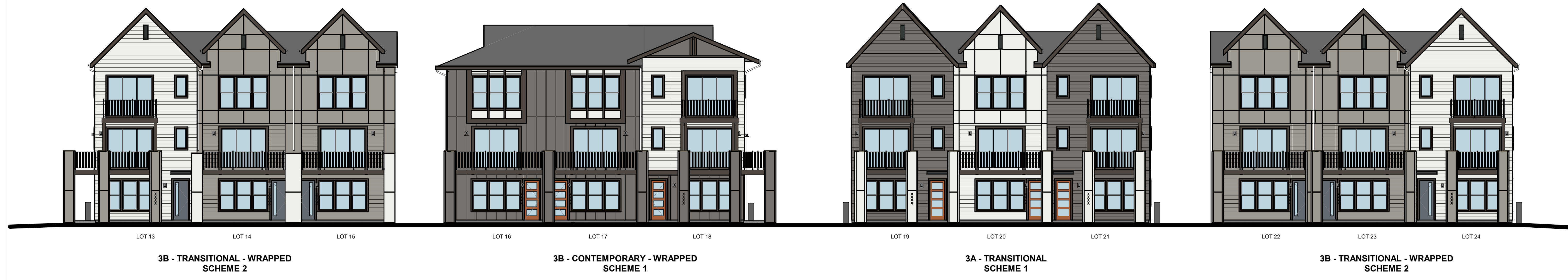
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2 STANZA CIRCLE - LOT 367 OF FILING 1
 1" = 10'-0"



3 LYRIC STREET - LOT 367 OF FILING 1
 1" = 10'-0"



1 HIGH NOTE STREET - LOT 367 OF FILING 1
 1" = 10'-0"

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