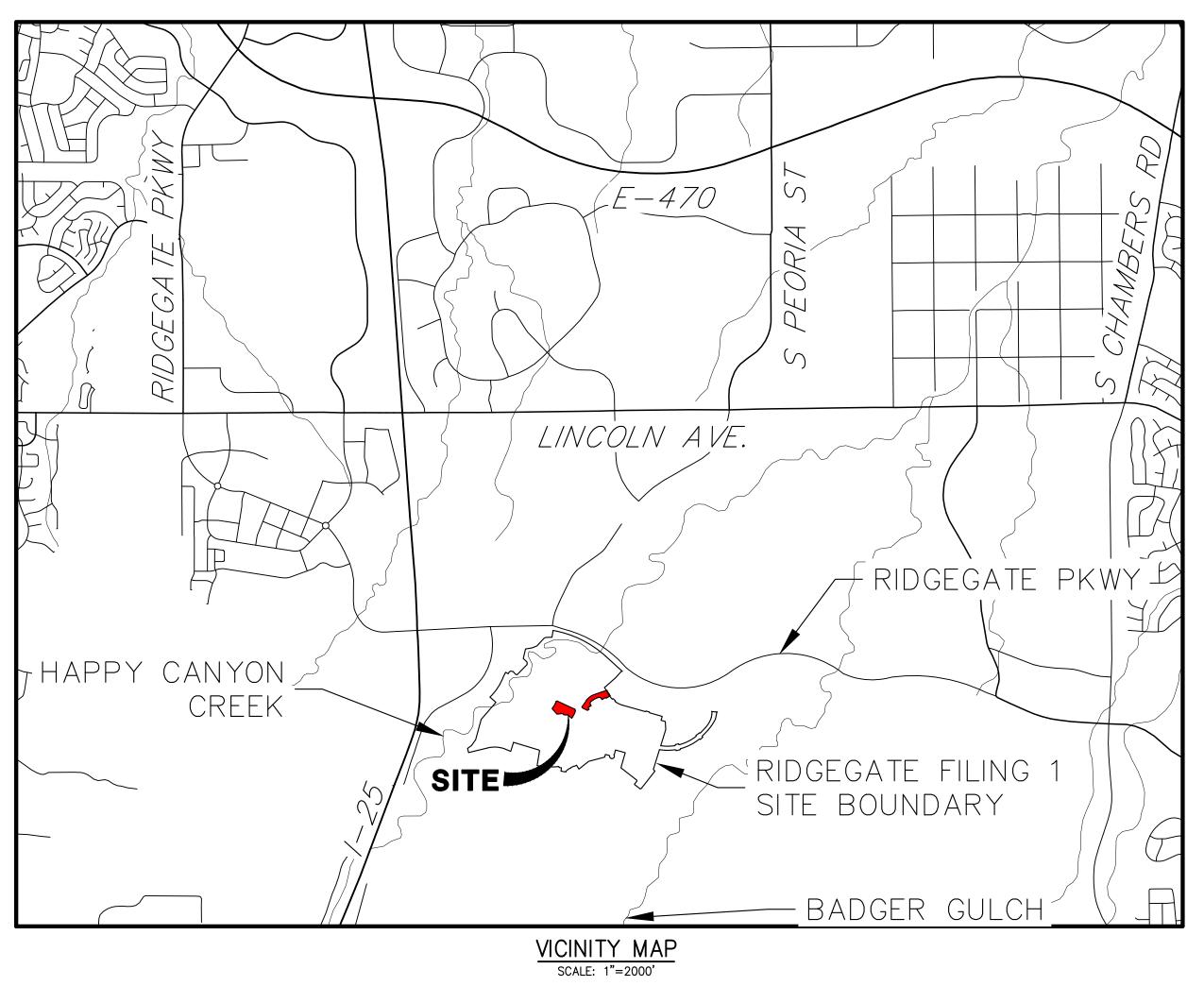
LOT 367 PROJECT DATA

ITEM	SQUARE FOOTAGE	% OF GROSS SITE
GROSS SITE AREA	104554	10
BUILDING FOOTPRINT	22440	21.
PARKING/DRIVE:	20609	19.
LANDSCAPE AREA (EXLUDING, TRAILS, WALKS):	54419	52.
WALKS AND HARDSCAPE:	7076	6.
TOTAL LANDSCAPE:		
BUILDING SIZE		
MAXIMUM HEIGHT (AS MEASURED BY THE CITY'S BUILDING CODE):		
TOTAL FLOOR AREA:		
VEHICLE PARKING:	REQUIRED	PROVIDED
RESIDENCE, SINGLE FAMILY ATTACHED REQUIRED PARKING: 2.0	68 STALLS	68 STALLS
SPACES PER RESIDENCE PLUS 0.25 GUEST SPACES PER RESIDENCE		
FOR GUEST PARKING FOR 30 UNITS ON-SITE		
	68 X 0.02 = 1.4	30 SPACES (1 PER UNIT IN
BICYCLE PARKING (2% OF VEHICLE SPACES):	SPACES	GARAGE) PLUS 4 ON-SITE

*NOTE: 67 STALLS ARE PROVIDED ON-SITE AND ONE ADDITIONAL STALL IS PROVIDED WITHIN THE STANZA CIRCLE R.O.W.

NOTES

- 1. THE PROPERTY DESCRIBED HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE AND DESIGN STANDARDS INCLUDING BUT NOT LIMITED TO, PROPERTY MAINTENANCE, LIGHTING, PARKING, SIGNAGE, LANDSCAPING AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED PLANNED DEVELOPMENT PLAN, SUB- AREA PLAN, OR OTHER APPLICABLE PLAN OR AGREEMENT APPROVED BY THE CITY
- THE APPLICANT ASSUMES RESPONSIBILITY TO ENSURE THE PROJECT IS COMPLETED IN ACCORDANCE WITH THE APPROVED SIP AND ANY ASSOCIATED MATERIALS SAMPLE BOARDS AND FURTHER ASSUMES THE RISK ASSOCIATED WITH ANY CHANGES OR OMISSIONS MADE WITHOUT PRIOR CITY APPROVAL MODIFICATIONS TO STRUCTURES OR SITES MAY REQUIRE AN AMENDMENT TO THE SIP AS DETERMINED BY THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR PER SEC. 16-27-180. UNAUTHORIZED CHANGES OR OMISSIONS MADE WITHOU PRIOR CITY APPROVAL CORRECTIVE ACTIONS, DELAY OF PERMITS OR CITATIONS FOR ZONING VIOLATIONS WITH ASSOCIATED FINES AND LEGAL MEASURES.
- BUILDING PLANS SHALL CONFORM TO THE APPROVED SIP. WITHIN SITE TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED WITH NO SOLID STRUCTURES PERMITTED AS STATED IN THE CITY OF LONE TREE'S LANDSCAPE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING. LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT. AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- 4. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION OF ALL ROADWAY SIGNAGE, INCLUDING 'NO PARKING/FIRE LANE" SIGNAGE, AS REQUIRED BY THE CITY PUBLIC WORKS DEPARTMENT AND/OR THE FIRE DISTRICT. SUCH SIGNAGE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- 5. SITE LANDSCAPING, SITE AMENITIES AND FURNISHINGS, AND ALL SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND PARKING AREAS SHALL BE MAINTAINED IN A STATE OF GOOD REPAIR CONSISTENT WITH THE APPROVED SIP AND THE LONE TREE MUNICIPAL CODE AND DESIGN GUIDELINES AND STANDARDS. SUCH MAINTENANCE SHALL INCLUDE THE REGULAR MAINTENANCE OF PET WASTE STATIONS (WHEN PRESENT), TO INCLUDE WASTE COLLECTION AND WASTE BAG REPLACEMENT. LANDSCAPE PLANTINGS MUST BE ALIVE AND ALL IRRIGATION MUST BE FUNCTIONAL. ALL MAINTENANCE OBLIGATIONS SHALL BE COMPLETED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED IN MAINTENANCE AGREEMENTS RECORDED WITH THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE.
- 6. THE CITY OF LONE TREE REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SITE IMPROVEMENT PLAN IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE CITY OF LONE TREE SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER OR THE RESPONSIBLE MAINTENANCE AUTHORITY.
- 7. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS OF LAND HEREBY SUBJECT TO A SITE IMPROVEMENT PLAN ARE HEREBY NOTIFIED THAT THE PROPERTY IS LOCATED WITHIN PROXIMITY TO CENTENNIAL AIRPORT AND IS SUBJECT TO THE TERMS OF THAT CERTAIN AVIGATION AND HAZARD EASEMENT RECORDED AT RECEPTION NUMBER 2020016188 ON MARCH 6, 2020 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, AS MAY BE AMENDED.
- 8. PROXIMITY TO CENTENNIAL AIRPORT MAY HAVE ANY NUMBER OF IMPACTS ON THE PROPERTY OCCUPANTS, THE PROPERTY, AND THE DEVELOPMENT, IMPROVEMENT, USE, ENJOYMENT OR OCCUPANCY OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ODORS. AIRCRAFT NOISE, VIBRATION, FUMES, FUEL PARTICLES, EXHAUST, AND THE OPERATION AND PASSAGE OF AIRCRAFT ABOVE OR NEAR THE PROPERTY. INDIVIDUAL SENSITIVITIES TO THE POTENTIAL CENTENNIAL AIRPORT IMPACTS CAN VARY FROM PERSON TO PERSON, AND POTENTIAL AIRPORT IMPACTS CAN VARY FROM LOCATION TO LOCATION WITHIN THE PROPERTY AND FROM TIME TO TIME, RECORDS AND INFORMATION CONCERNING CENTENNIAL AIRPORT AND POTENTIAL AIRPORT IMPACTS ARE PUBLICLY AVAILABLE THROUGH VARIOUS FEDERAL, STATE, AND LOCAL GOVERNMENTAL AGENCIES, INCLUDING CENTENNIAL AIRPORT. ALL PRESENT AND FUTURE OWNERS AND OCCUPANTS ARE SOLELY RESPONSIBLE FOR EVALUATING AND DETERMINING WHETHER THE AIRPORT IMPACTS, IF ANY, ARE ACCEPTABLE TO THEM.
- 9. IT SHALL BE THE RESPONSIBILITY OF THE OWNER (OR RESPONSIBLE ASSOCIATION OR DISTRICT, AS MAY BE IDENTIFIED BY MAINTENANCE AGREEMENTS) TO MAINTAIN ALL PLAYGROUND EQUIPMENT AND PARK INFRASTRUCTURE ON THE PROPERTY IN A STATE OF GOOD REPAIR IN CONFORMANCE WITH ALL APPLICABLE BUILDING AND SAFETY REGULATIONS.



AUEET	
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21	3B-CONTEMPORARY
22 23	3B–CONTEMPORARY 3B–CONTEMPORARY
23	3B-TRANSITIONAL
25	3B-TRANSITIONAL
26	3B-TRANSITIONAL
27 28	MATERIAL BOARD STREETSCAPE
29	STREETSCAPE
TOTAL	29

APPLICANT/OWNER

THB LYRIC, LLC 1875 LAWRENCE STREET. SUITE 900, DENVER, CO 80202 P~303.900.3111

CIVIL ENGINEER

JR ENGINEERING 7200 SOUTH ALTON WAY, SUITE C400 CENTENNIAL, CO P~303.267.6220

PLANNER

VALERIAN LLC 970 YUMA STREET, SUITE 130 DENVER, CO 80204 P~303.347.1200

TRAFFIC E

JR ENGINEERING 7200 SOUTH ALTO CENTENNIAL, CO P~303.267.6183

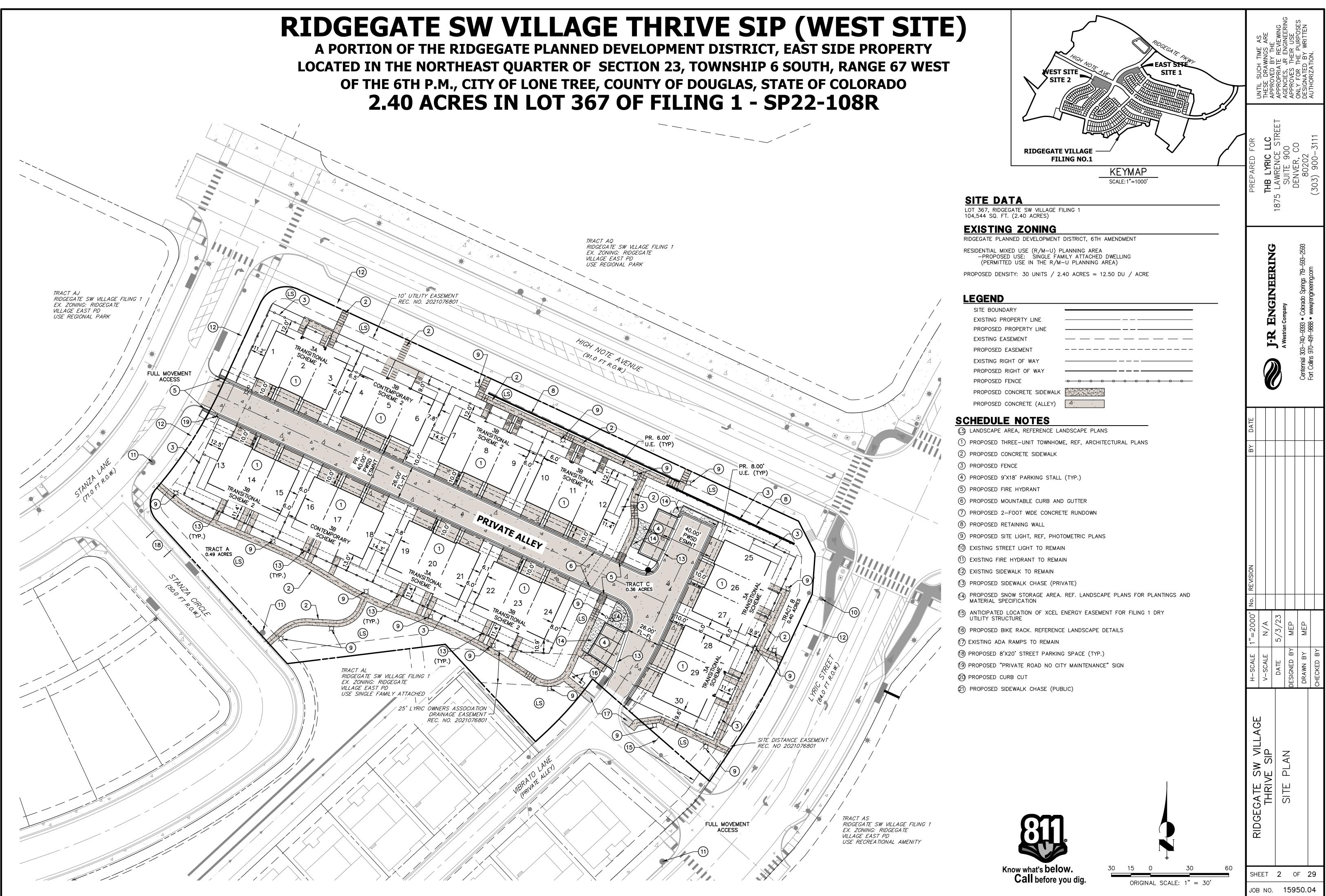
NGINEER			I-R ENGINEE	A Westrian Company	-	Centennial 303-740-9393 • Colorado Springs 7	J-491-9888 ● www.jrengineering.cr
APPROVAL CERTIFICATE						al 303-	nye sn
THIS SITE IMPROVEMENT PLAN WAS APPROVED FOR FILING BY THE COUNCIL OF THE CIT OF LONE TREE, CO, ON THE DAY OF, 20, SUBJECT TO ANY CONDITIONS SPECIFIED HEREON. THE DEDICATIONS OF EASEMENTS AND TRACTS ARE ACCEPTED.			\bigcirc			Centennia Z	Hort Coll
ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING, CURBS, GUTTERS, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES AND ALL THE OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND NOT THE CITY.							
THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY SITE SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.	DATE						
BY:	- ⊢						
NAME:							
TITLE: COMMUNITY DEVELOPMENT DIRECTOR							
DATE:							
BY:	_						
NAME:							
DIRECTOR OF PUBLIC WORKS OR HIS/HER DESIGNATED REPRESENTATIVE							
DATE:	EVISION						
BY:	No.						
NAME: TITLE: MAYOR	- 000	3		23			
DATE:	1"= 20	4	_	5/3/2	MEP	MEP	
THE OWNER(S) OF THE LANDS DESCRIBED HEREIN, HEREBY AGREE(S) (1) TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH THIS APPROVE SITE IMPROVEMENT PLAN AND IN COMPLIANCE WITH CHAPTER 16 OF THE LONE TREE MUNICIPAL CODE AND THAT (2) THE HEIRS, SUCCESSORS AND ASSIGNS OF THE OWNER(S) SHALL ALSO BE BOUND. THE SIGNATURES OF THE OWNER(S)'(S) REPRESENTATIVE(S) BELOW INDICATE THAT ANY REQUIRED AUTHORIZATIONS TO ENTER THIS AGREEMENT, INCLUDING ANY CORPORATE AUTHORIZATIONS, HAVE BEEN OBTAINED.				DATE	DESIGNED BY	DRAWN BY	СНЕСКЕД ВҮ
(NAME OF OWNER)	-	SITE					
(SIGNATURE OF OWNER)	-	I	٥LAN	⊢	_		
(PRINTED NAME AND TITLE)	-	MES					
STATE OF)		ЮН	Ч Ц Л	L V			
)SS.			VEM	با D			
COUNTY OF)		2	RO		$\sum_{i=1}^{n}$		
SUBSCRIBED AND SWORN TO BEFORE ME THISDAY OF, 20, BY			<u>P</u>				
MY COMMISSION EXPIRES:		ARIVE	=				
	_	<u>▲</u>					
NOTARY PUBLIC THE APPROVAL BY THE CITY OF LONE TREE DOES NOT SIGNIFY THAT THE REQUIREMENT OF THE AMERICANS WITH DISABILITIES ACT (ADA) HAVE BEEN SATISFIED. THE APPLICAN	⊤│ ∎			4	-		20
IS RESPONSIBLE TO ENSURE THAT SAID ADA REQUIREMENTS HAVE BEEN MET.				1		F 2	
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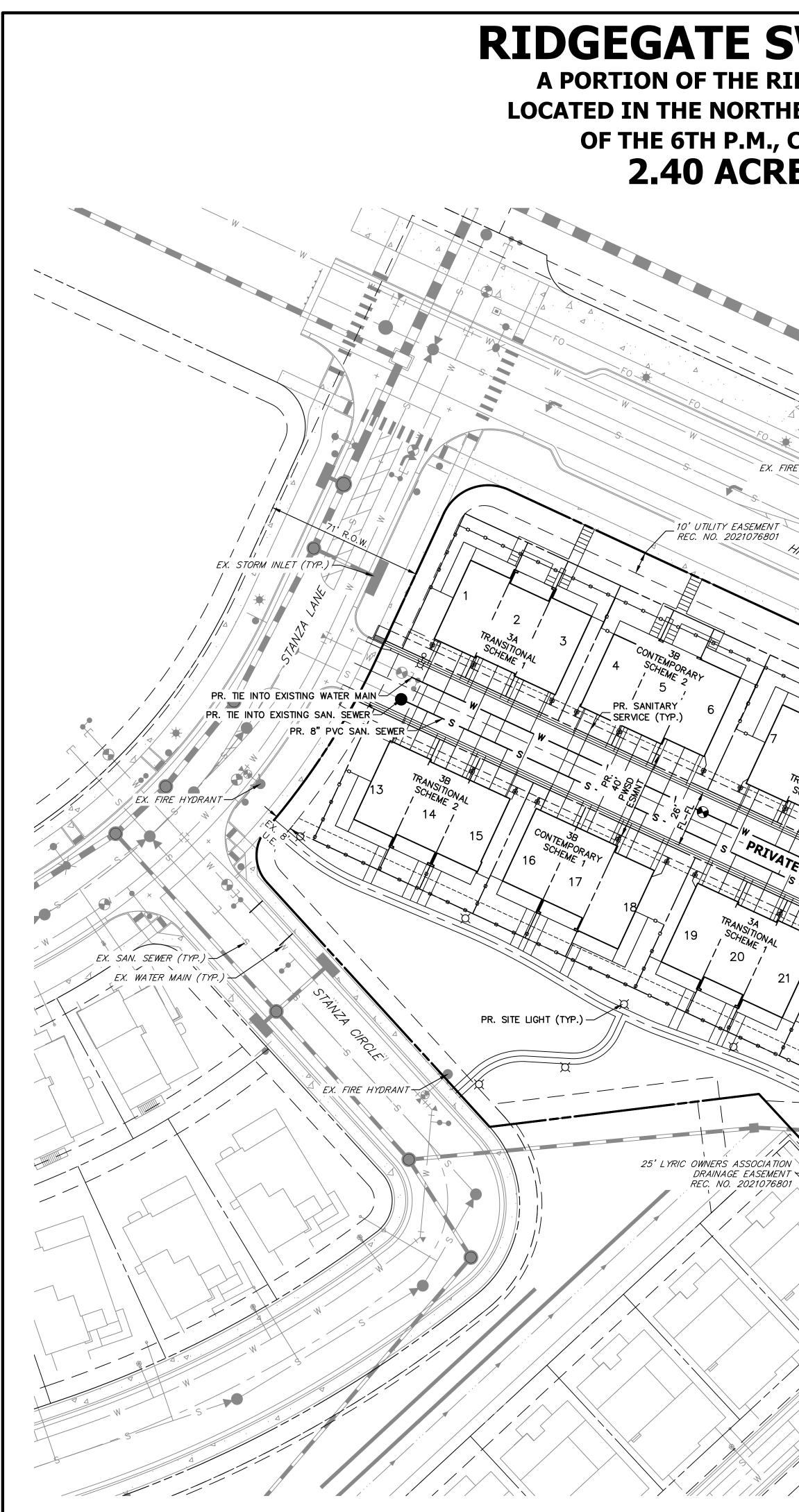
LLC LLC

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RIDGEGATE SW VILLAGE THRIVE SIP (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO **2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R**

> PR. 6.00' U.E. (TYP) PR. IRRIGATION TAP AND METER REFERENCE IRRIGATION PLANS FOR TAP SIZE AND CONTINUATION 11 PRIVATE ALLEY PR. WATER MAIN BLOW-OFF PR. WATER SERVICE 🗶 W/ WATER METER (TYP.)12 -A R. 8" PVC WATER MAIN 21 ≩PR. FIRE HYDRANT 26 554 22 PR. 8" PVC IRRIGATION TIE IN TO WATER MAIN 23 24 27 \Rightarrow PR. SAN. SEWER MANHOLE (TYP.),

> > 29 PR. 8" PVC WATER MAIN PR. TIE INTO EXISTING WATER MAIN 30

28

EX. STORM INLET (TYP.) –

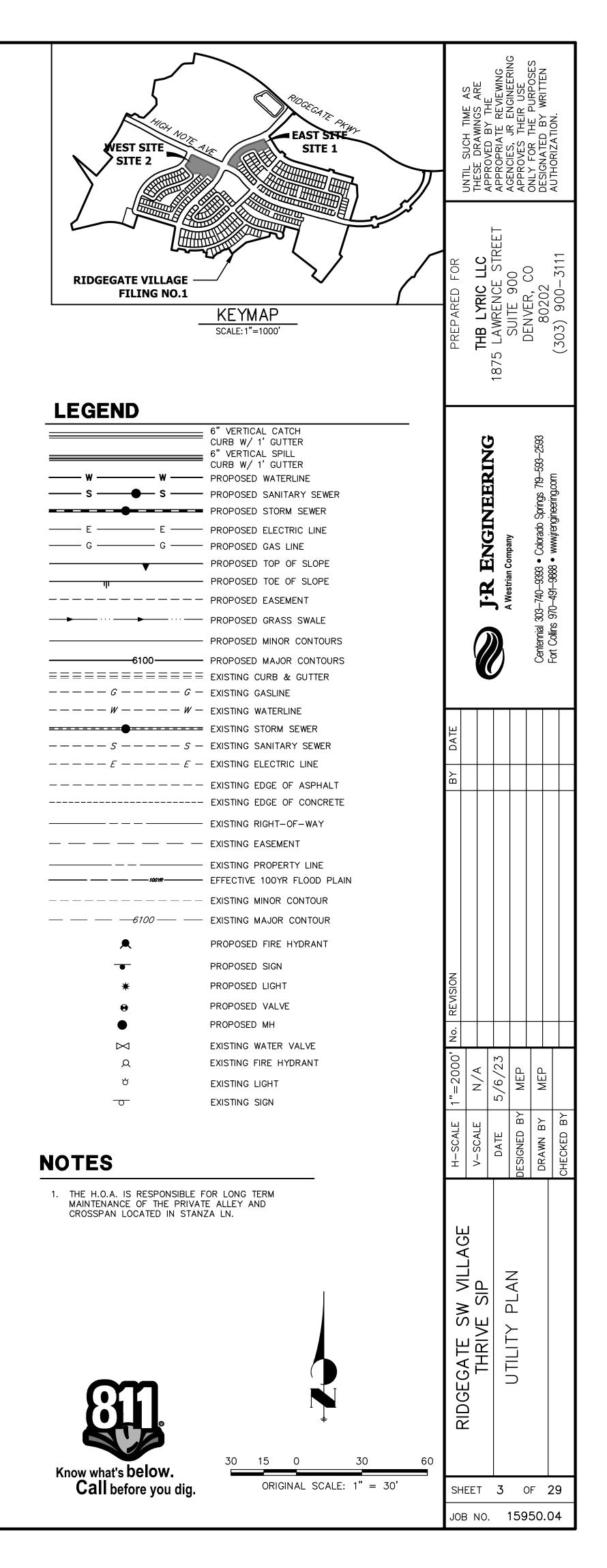
EX. STORM MANHOLE (TYP.

SITE DISTANCE EASEMENT

ANTICIPATED LOCATION OF EASEMENT

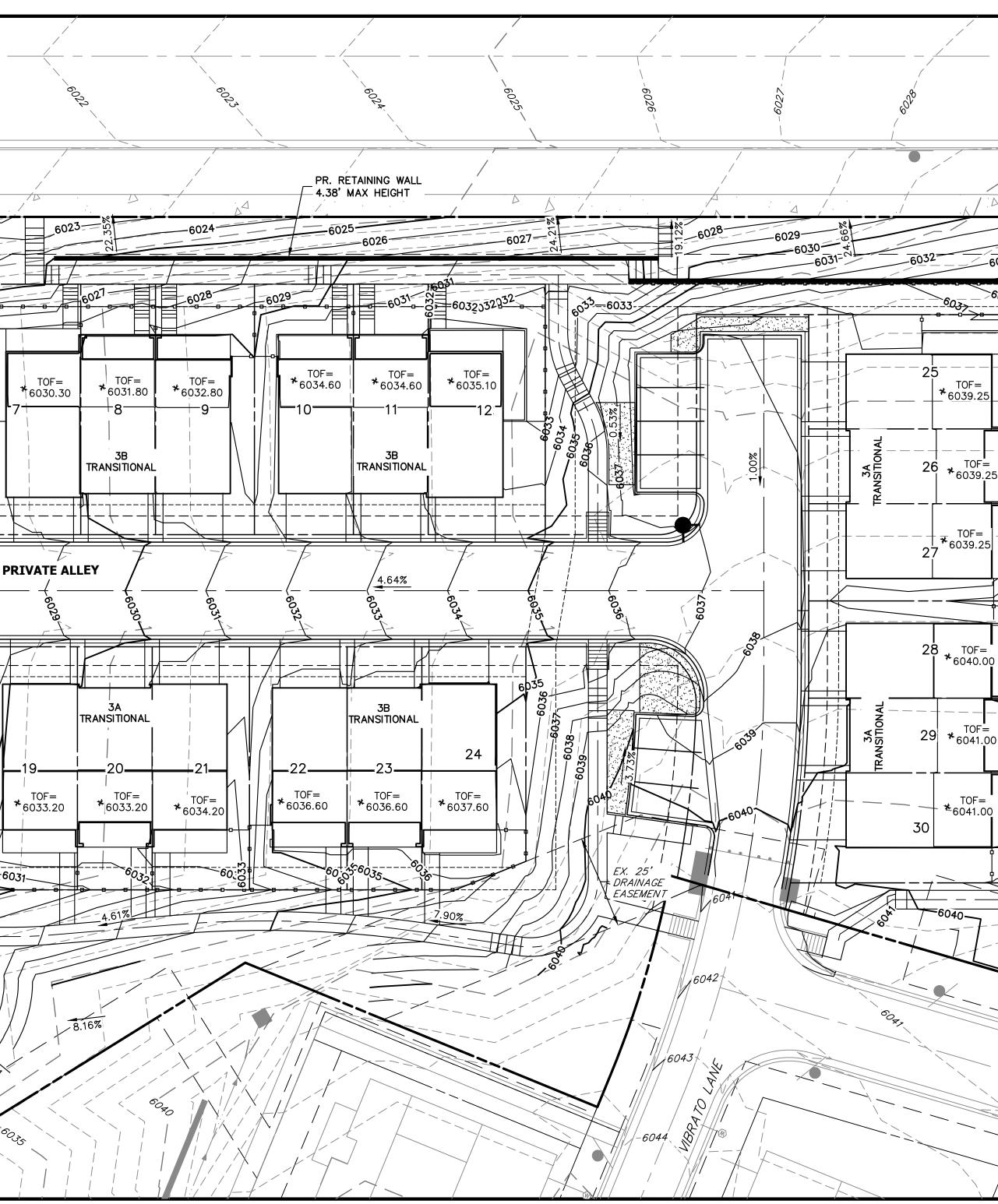
EX. FIRE HYDRANT



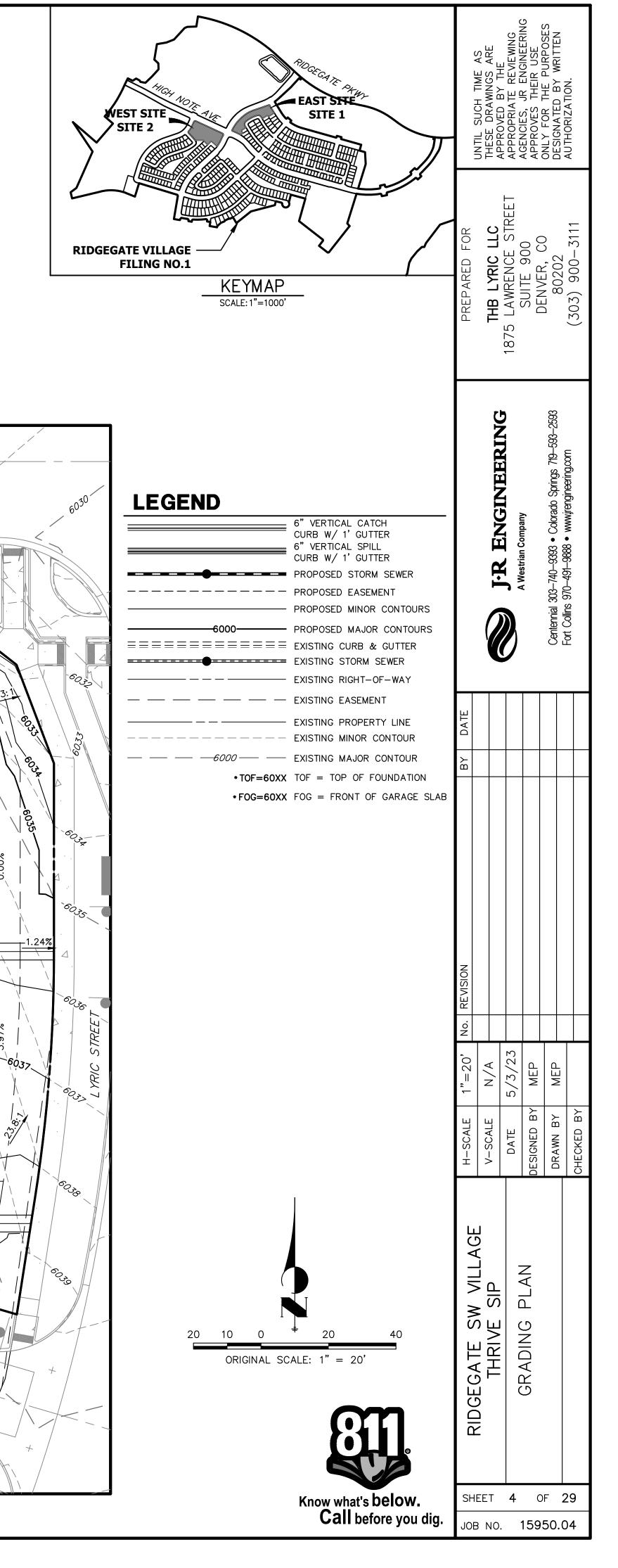


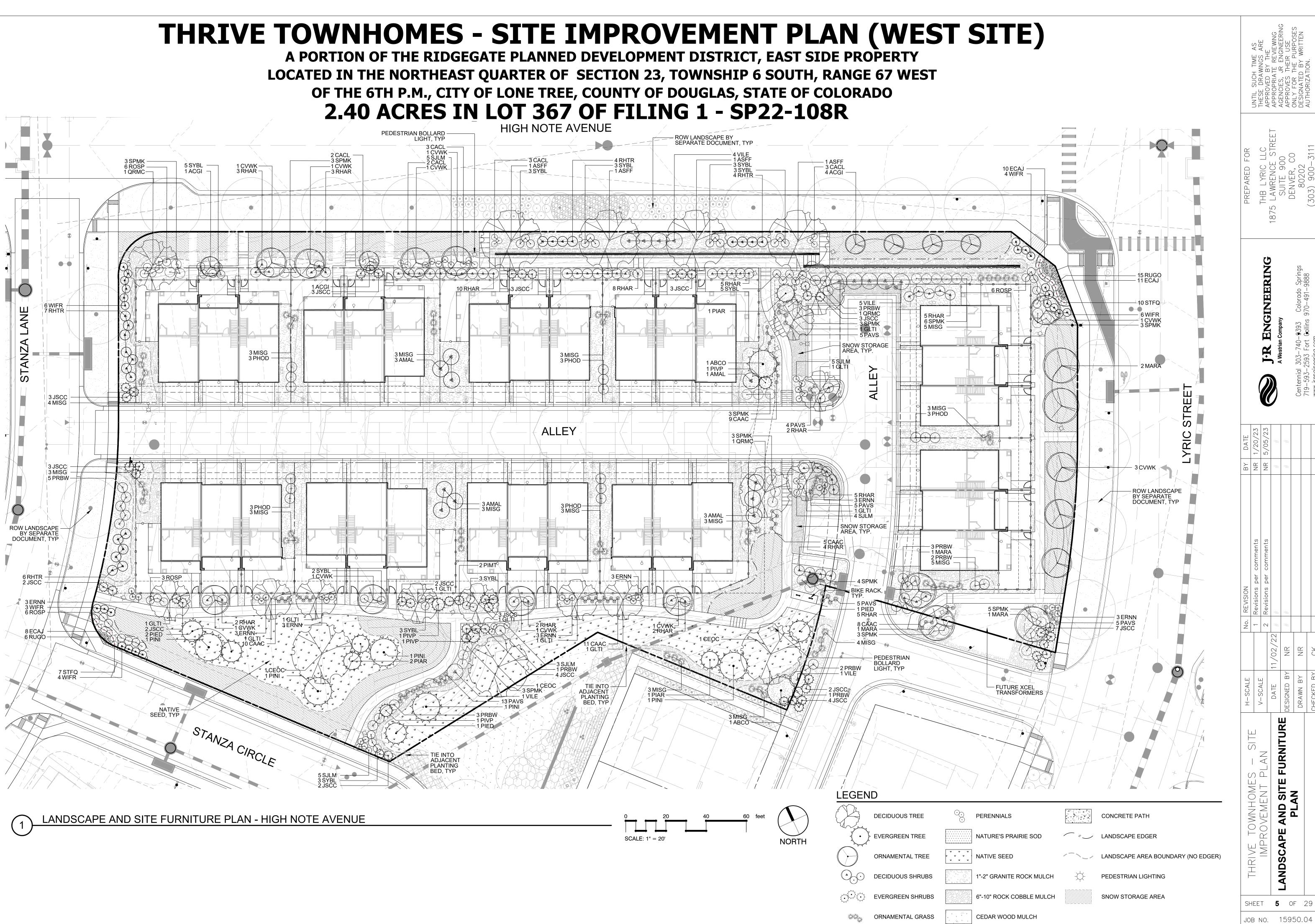
HIGH NOTE AVENUÈ 06027= ²⁰¹⁶ TOF= TOF= ★6027.00 TOF= TOF= *6025.10 TOF= TOF= *6028.00 *6027.00 *6024.60 6023.60 3A TRANSITIONAL -6019-CONTEMPORARY 6020 — *—* . 3B CONTEMPORARY 3B TRANSITIONAL 12. 12. 19. 19. 19. 14 ____17___ TOF= ≭6025.45 TOF= ★6027.45 TOF= ★6028.75 192 TOF= TOF= ★6028.75_ TOF= *6030.75 *****6027.45 _____ -6031-_4.94%土 8.16% STANZA CIRCLE

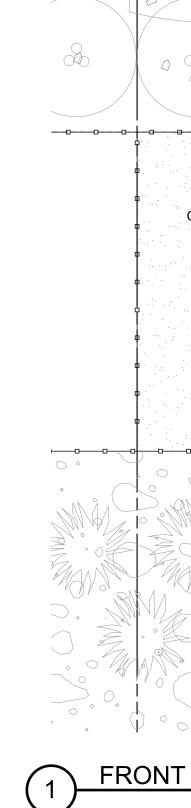
RIDGEGATE SW VILLAGE THRIVE SIP (WEST SITE) A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R



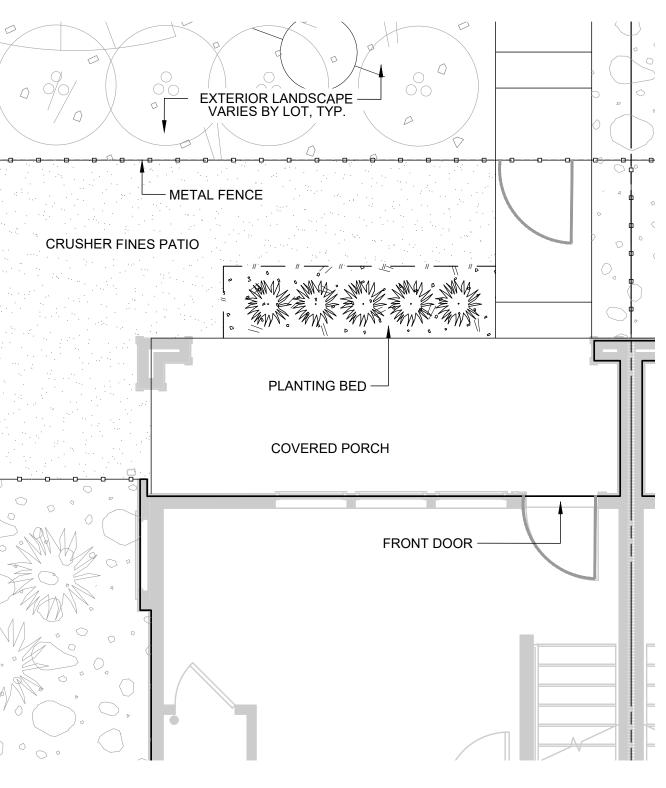






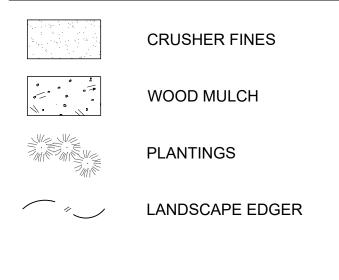


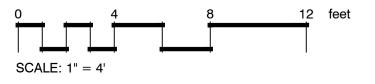
THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)



FRONT YARD LANDSCAPE







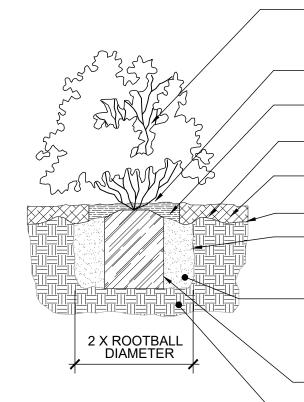
O APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.				UNTIL SUCH TIME AS	
DENVER, CO 80202 (303) 900-3111	DENVER CC	18/5 LAWKENCE SIREEI	, DIN LARIC LLC		PREPARED FOR
Centennial 303-740-9393 Colorado Springs 719-593-2593 Fort Gollins 970-491-9888 www.jrengineering.com		A Westrian Company	I-R ENGINEERING		
	# #	##	NR 5/05/23	NR 1/20/23	BY DATE
	# #	# #	2 Revisions per comments	1 Revisions per comments	No. REVISION
DESIGNED BY NR DRAWN BY NR CHECKED BY CK	DESIGNED BY NR	DATE 11/02/22			H-SCALE
		TO LAN TVD LOT	AFROVEMEN FLAN		

ANDSCA

SHEET **6** OF 29

JOB NO. 15950.04

THRIVE



PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING AND MULCHING. REMOVE ALL PLANTING LABELS ONLY AFTER FINAL APPROVAL BY LANDSCAPE ARCHITECT.

SET SHRUB 1" HIGHER THAN GROWN IN NURSERY.

MULCH RING - APPLY 3" OF SPECIFIED WOOD MULCH

INSTALL WATER RING AT TIME OF PLANTING.

APPLY 3" OF SPECIFIED ROCK MULCH

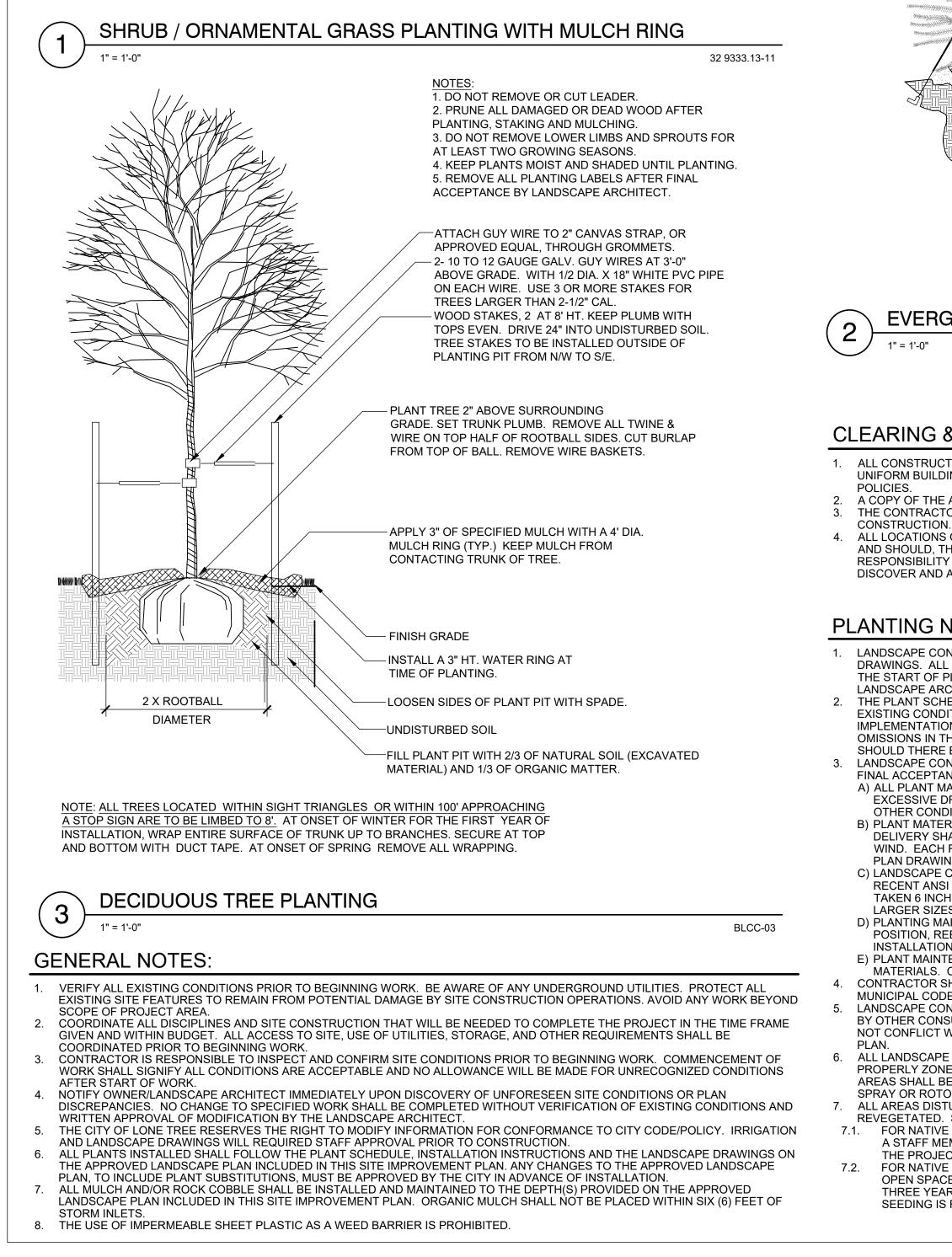
- FINISH GRADE LOOSEN SIDES OF PLANT PIT. SCORE ROOTBALLS WITH ENCIRCLING ROOTS.

FILL PLANT PIT WITH 2/3 OF NATURAL SOIL (EXCAVATED MATERIAL) WITH 1/3 OF ORGANIC MATTER.

REMOVE ALL CONTAINER MATERIAL. PLACE OVER UNDISTURBED SOIL.

UNDISTURBED SOIL

NOTE: ANY PLANT NOT IN ACCORDANCE WITH COLORADO NURSERY ACT REQUIREMENTS WILL BE REJECTED. HOLD MULCH GRADE 1" BELOW EDGE OF WALK, EDGING AND CURB. JUNIPER PLANTS SHALL BE PLANTED WITH TOP OF ROOTBALL AT FINISH GRADE OF MULCH LAYER.



1. DO NOT REMOVE OR CUT LEADER. 2. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING. STAKING AND MULCHING 3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS. 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. 5. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT ATTACH GUY WIRE TO 2" CANVAS STRAP. OR APPROVED EQUAL, THROUGH GROMMETS. WHITE PVC PIPE 36" LENGTH ON EACH WIRE. PLANT TREE 4" ABOVE SURROUNDING FINISH GRADE, SET TRUNK PLUMB DO NOT PRUNE UP LOWER BRANCHES. APPLY 3" OF SPECIFIED MULCH WITH A 4' DIA. MULCH RING (TYP.) KEEP MULCH FROM CONTACTING TRUNK OF TREE.

> INSTALL A 3" HT. WATER RING AT TIME OF PLANTING.

> > FINISH GRADE

METAL STAKES, 3 PER TREE ALIGNED EQUALLY AROUND TREE. BURY ANCHOR UNDERGROUND. USE 'DUCK BILL' EARTH ANCHOR OR APPROVED EQUAL. FILL PLANT PIT WITH 2/3 OF NATURAL SOIL (EXCAVATED MATERIAL) AND 1/3 OF ORGANIC MATTER.

- LOOSEN SIDES OF PLANT PIT WITH SPADE

REMOVE ALL TWINE & WIRE ON TOP HALF OF ROOTBALL SIDES. CUT BURLAP FROM TOP OF BALL. REMOVE WIRE BASKETS. UNDISTURBED SOIL

EVERGREEN TREE PLANTING

2 X ROOTBALL DIAMETER

CLEARING & GRADING

1. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS; UNIFORM BUILDING CODES; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND

A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING

ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.

2. THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE. 3. LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL

FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS: A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY

OTHER CONDITION DAMAGING TO PLANTS. B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.

C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.

D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.

E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES. CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.

LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS

6. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/DRIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION. LOTS TO IRRIGATED INDIVIDUALLY BY SEPARATE TAPS.

ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY BOTH INSIDE AND OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE REVEGETATED. SEED MIX AND PLANTING INSTRUCTIONS SHALL BE SELECTED FROM THOSE INCLUDED IN THE SUBMITTAL. 7.1. FOR NATIVE SEEDING IN OUTLOT A, CITY PROPERTY PLEASE COORDINATE WITH THE CITY'S OPEN SPACE DIVISION TO HAVE A STAFF MEMBER OBSERVE THE SEEDING AS IT TAKES PLACE AND PROVIDE SEED TAGS TO THE OPEN SPACE DIVISION FOR THE PROJECT RECORD.

7.2. FOR NATIVE SEEDING ESTABLISHMENT IN OUTLOT A. CITY PROPERTY, NATIVE SEED SHALL BE INSPECTED BY THE CITY'S OPEN SPACE DIVISION IN THE SPRING AND FALL TO MONITOR SEED ESTABLISHMENT AND WEED CONTROL FOR A PERIOD OF THREE YEARS AFTER FINAL ACCEPTANCE OF OUTLOT A. THE OPEN SPACE DIVISION WILL DETERMINE IF ADDITIONAL SEEDING IS REQUIRED AND / OR WEED CONTROL MEASURES ARE NEEDED.

PLANT SCHEDU	JLE WE	ST			
DECIDUOUS TREES ASFF CEOC GLTI QRMC	<u>QTY</u> 4 3 10 3	BOTANICAL NAME ACER SACCHARUM `FALL FIESTA` CELTIS OCCIDENTALIS GLEDITSIA TRIACANTHOS INERMIS `SUNBURST` QUERCUS ROBUR X MACROCARPA `CLEMONS`	<u>COMMON NAME</u> FALL FIESTA SUGAR MAPLE COMMON HACKBERRY SUNBURST HONEYLOCUST HERITAGE OAK	CONT B & B B & B B & B B & B B & B	<u>CAL</u> 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL
EVERGREEN TREES ABCO PIAR PIED PIVP PIMT PINI	QTY 2 4 4 4 2 5	BOTANICAL NAME ABIES CONCOLOR PINUS ARISTATA PINUS EDULIS PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' PINUS MUGO `TANNENBAUM` PINUS NIGRA	<u>COMMON NAME</u> WHITE FIR BRISTLECONE PINE PINON PINE VANDERWOLF'S PYRAMID LIMBER PINE TANNENBAUM MUGO PINE AUSTRIAN PINE	CONT B & B B & B B & B B & B B & B B & B	<u>CAL</u> 6` HT 6` HT 6` HT 6` HT 6` HT 6` HT
ORNAMENTAL TREES ACGI CVWK MARA	<u>QTY</u> 6 12 5	<u>BOTANICAL NAME</u> ACER GINNALA CRATAEGUS VIRIDIS `WINTER KING` MALUS X `RADIANT`	<u>COMMON NAME</u> AMUR MAPLE WINTER KING HAWTHORN RADIANT CRAB APPLE	CONT B & B B & B B & B	<u>CAL</u> 2"CAL 2"CAL 2"CAL
DECIDUOUS SHRUBS AMAL CACL ERNN PHOD PRBW RHAR RHTR ROSP SJLM STFQ SPMK SYBL VILE WIFR EVERGREEN SHRUBS JSCC	QTY 10 13 21 15 20 56 21 21 22 17 39 33 11 23 QTY 46 QTY	BOTANICAL NAME AMELANCHIER ALNIFOLIA CARYOPTERIS X CLANDONENSIS 'BLUE MIST' ERICAMERIA NAUSEOSA NAUSEOSA PHYSOCARPUS OPULIFOLIUS 'DIABLO' PRUNUS BESSEYI RHUS AROMATICA 'GRO-LOW'' RHUS TRILOBATA ROSA FOETIDA PERSIANA SPIRAEA JAPONICA 'LIMEMOUND' SPIRAEA TRILOBATA 'FAIRY QUEEN' SYRINGA PATULA 'MISS KIM' SYRINGA X 'BLOOMERANG' VIBURNUM LENTAGO WEIGELA FLORIDA 'RUMBA' BOTANICAL NAME JUNIPERUS SABINA 'CALGARY CARPET'	COMMON NAME SASKATOON SERVICEBERRY BLUE MIST SPIREA DWARF BLUE RABBITBRUSH DIABLO NINEBARK WESTERN SAND CHERRY GRO LOW SUMAC THREE LEAF SUMAC PERSIAN YELLOW ROSE LIMEMOUND SPIREA FAIRY QUEEN SPIREA MISS KIM LILAC BLOOMERANG LILAC NANNYBERRY RUMBA WEIGELA COMMON NAME CALGARY CARPET JUNIPER	CONT #5 #5 #5 #5 #5 #5 #5 #5 #5 #5 #5 #5 #5	
CAAC MISG PAVS	43 51 37	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` MISCANTHUS SINENSIS `GRACILLIMUS` PANICUM VIRGATUM `SHENANDOAH`	KARL FOERSTER FEATHER REED GRASS MAIDEN HAIR GRASS SHENANDOAH SWITCH GRASS	#5 #5 #5	
PERENNIALS ECAJ RUGO	<u>QTY</u> 29 21	BOTANICAL NAME ECHINACEA X `ALL THAT JAZZ` RUDBECKIA FULGIDA `GOLDSTRUM`	<u>COMMON NAME</u> ALL THAT JAZZ CONEFLOWER BLACK EYED SUSAN	<u>CONT</u> #1 #1	
GROUND COVERS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME		
	8,249 SF	NATURE`S PRAIRIE TURF	SOD		
	7,889 SF	PBSI FOOTHILLS SEED MIX	NATIVE SEED MIX		

SOIL SPECIFICATIONS:

- REPRESENTATIVES DISCRETION.
- HOURS AFTER DELIVERY
- PRESENT.
- THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL. AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

MULCH

BLCC-04

- OR PERENNIAL. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.

SOD

- RESTORED TO ORIGINAL CONDITIONS
- OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- GROUND IS FROZEN.
- OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.

EDGING:

SPECIFICATIONS OR EQUAL

PBSI FOOTHILLS NATIVE MIX

NATIVE SEED MIX TO BE 'PBSI FOOTHILLS NATIVE MIX' AS SUPPLIED BY PAWNEE BUTTES SEED INC OR APPROVED EQUAL. SEEDING RATE: 25 LBS/ACRE.

SEED MIX TO BE AS FOLLOWS: (10%) SWITCHGRASS, (10%) ROCKY MOUNTAIN FESCUE, (10%) BIG BLUESTEM, (10%) SANDBERG BLUEGRASS, (10%) SLENDER WHEATGRASS, (10%) THICKSPIKE/STREAMBANK/WESTERN WHEATGRASS, (10%) YÉLLOW INDIANGRASS, (5%) BLUE GRAMA, (5%) BEARDLESS WHEATGRASS, (5%) INDIAN RICEGRASS, (5%) LITTLE BLUESTEM, (5%) SAND DROPSEE, (5%) SIDEOATS GRAMA

1. ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS

2. LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE. 3. LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24

4. IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH. ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES. PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE NOT ACCEPTABLE. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE

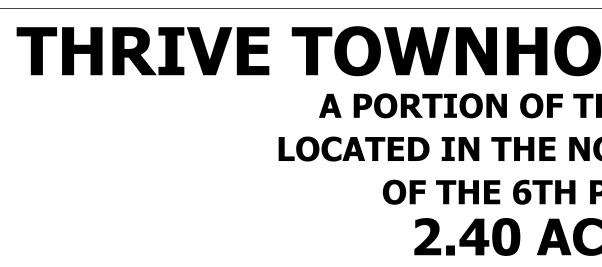
6. SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE 7. PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/ SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES

PLANTING BEDS (AS SPECIFIED) SHALL CONTAIN 1"-2" GRAY GRANITE ROCK MULCH, OVER FABRIC AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED CEDAR MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS DRY STREAM BED / SWALE AREAS (AS SPECIFIED) SHALL CONTAIN 6"-10" WHITE ROCK COBBLE MULCH OVER FABRIC AT A MINIMUM DEPTH OF 3". 3. GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

1. KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS 2. ALL SOD SHALL BE A FINE FESCUE BLEND SOD AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE 3. ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE 4. ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT

1. ALL EDGING SHALL BE 1/8" X 4" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S

	UNTIL SUCH TIME AS			APENCIES, UN ENVINCE			
PREPARED FOR			18/5 L	DENIVED CO			(303) 900-3111
		I-R ENGINEERING			Centennial 303-740-9393 Colorado Springs	710-503-7503 Fort Alline 070-401-0888	www.jrengineering.com
DATE	NR 1/20/23	NR 5/05/23	#	#			
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No. REVISION	1 Revisions per comments	2 Revisions per comments	# #	# #			
			DATE 11/02/22	Ц Ц Д	R Z		Х О
H-SCALE			DATE	DESIGNED BY NR	DRAWN BY		СНЕСКЕД ВҮ
	ITRIVE TOWNHOMES - STIE	IMPROVEMEN PLAN					
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Asymmetric light distribution

• A •

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· A ·

Shielded bollard · flat beam

Shielded bollard · asymmetric

LED

84 238 11.5 W

LED

84219 11.5 W

84 220 11.5 W

Flat beam light distribution

A B Anchorage

Anchorage

6¹/₄ 37¹/₄ **79817**

6¹/₄ 19¹/₂ **79817**

6¹/₄ 37¹/₄ **79817**



A series of bollards with shielded asymmetric light distribution. The fully shielded design provides visual comfort while illuminating ground surfaces. Provided with mounting system that allows the luminaire to be adjusted independent of anchor bolt orientation.

Die-cast and extruded aluminum Clear safety glass with anti-reflective coating Reflector made of pure anodized aluminum

LED color temperatures: 2700 K, 3000 K, 3500 K, 4000 K

BEGA luminaires offer a minimum service life of 60,000 hours, with suitable LED replacement modules guaranteed for up to 20 years after date of purchase. Further LED technical data including luminous flux, CRI, dimming and electrical characteristics are provided on the individual luminaire specification sheets, available at www.bega-us.com

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White, as well as optionally available RAL and custom colors, are a polyester powder.

NRTL listed to North American standards · Suitable for wet locations Protection class IP 65

PEDESTRIAN BOLLARD - SHIELDED BOLLARD - ASYMMETRIC BEAM #84 220, HEIGHT 37.25"







METAL HAND RAIL TO BE CUSTOM FABRICATED ON SITE. HEIGHT 36", COLOR BLACK



METAL FENCE TO BE CUSTOM

NOT TO SCALE



THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R



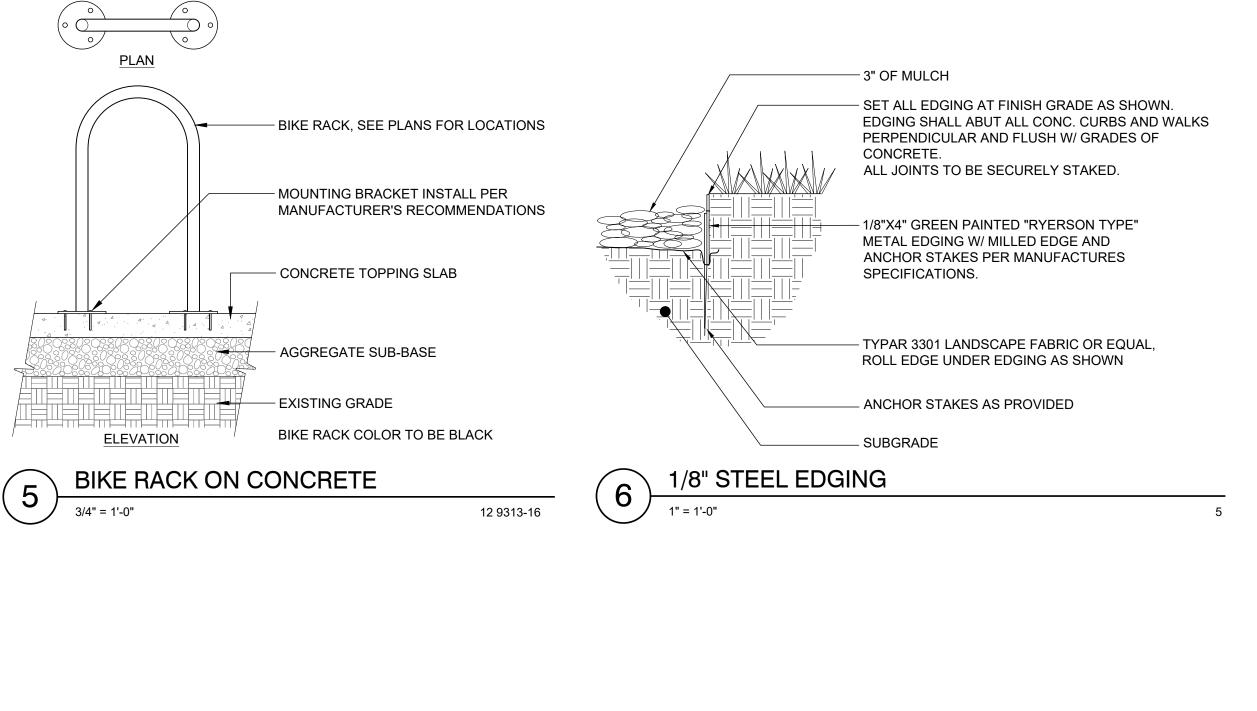




ONLY RETAINING WALL COLOR AND STYLE ARE LISTED HERE. REFER TO CIVIL FOR RETAINING WALL DETAILS.



METAL HAND RAIL



DIAMOND PRO® PS SMOOTH FACE

METROPOLITAN

For walls over 30 inches in height, soil reinforcement is generally necessary. A qualified engineer should be consulted for design and analysis of structures. *All colors and/or products may not be available in all areas. Please inquire for availability and special order options.

COLORS

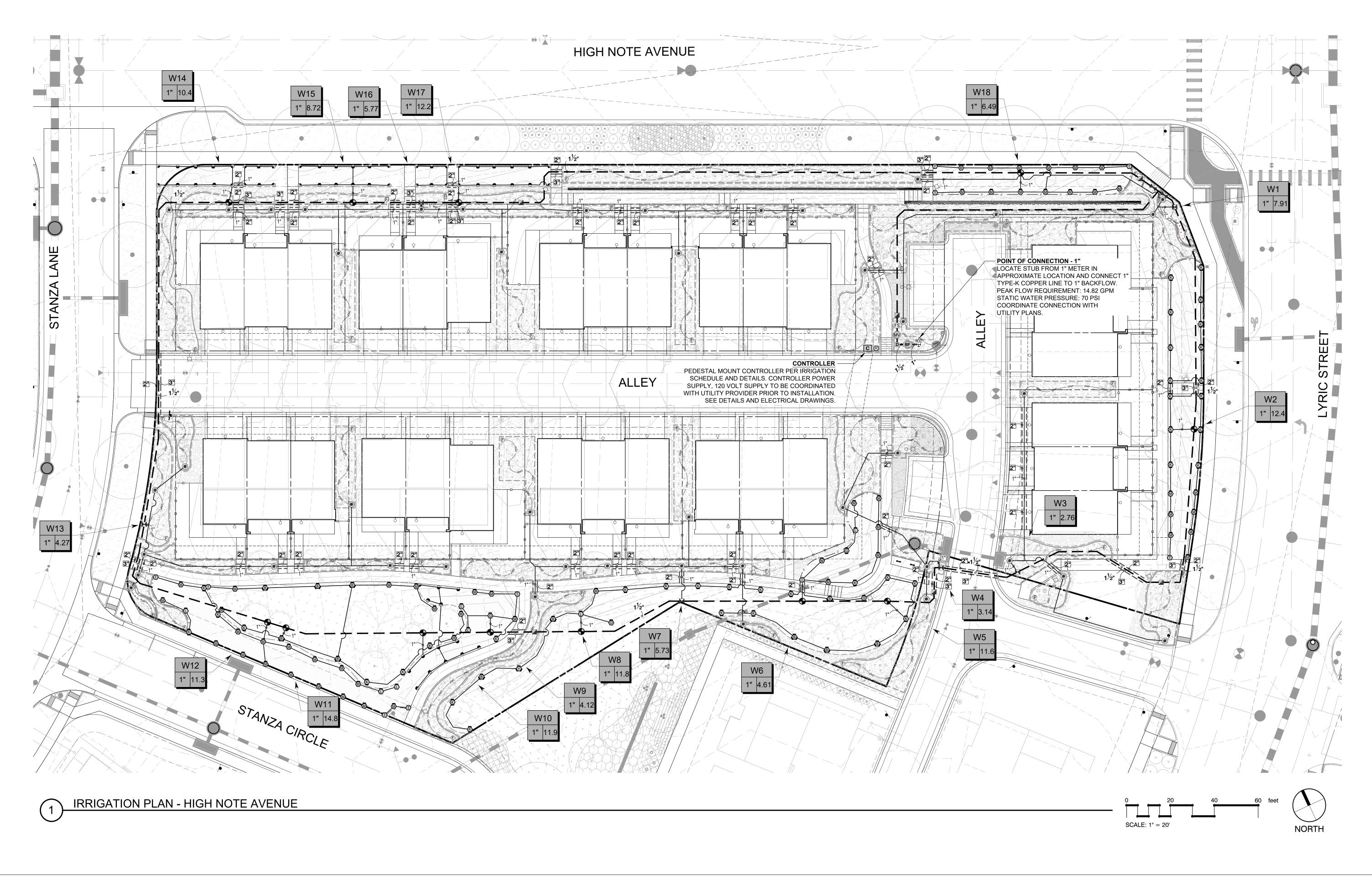




RETAINING WALL: DIAMOND PRO PS SMOOTH FACE BY BELGARD, COLOR: RIO

MODULAR BLOCK RETAINING WALL - STYLE / COLOR

	UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES THEIR USE	ONLY FOR THE PURPOSES		
PREPARED FOR		IHB LYRIC LLC	1875 LAWRENCE STREET	DENIVED DO	ULINTIN, CO BODOD	20200	(303) 900-3111
		I-R ENGINEERING			Centennial 303-740-9393 Colorado Springs	710_503_9503 Fort Calline 070_101_088	www.jrengineering.com
<pre> DATE </pre>	NR 1/20/23	NR 5/05/23	#	#			
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No. REVISION	1 Revisions per comments	2 Revisions per comments	2 # #	# #			
			11/02/22	BY NR			3Y CK
H-SCALE			DATE	DESIGNED BY	DRAWN BY		СНЕСКЕД ВҮ
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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R

PREPARED FOR		IHB LYRIC LLC	1875 LAWRENCE STREET	SULLE 400 Deniver co	80202	(303) 900-3111
		I'R ENGINEERING	A Westrian Commany		Centennial 303-740-9393 Colorado Springs	
BY DATE	NR 1/20/23	NR 5/05/23	# #	# #		
No. REVISION	1 Revisions per comments	2 Revisions per comments	11/02/22 # #	NR # #	NR NR	
H-SCALE			DATE 11	DESIGNED BY	DRAWN BY	
		IMPROVEMEN PLAN		IKKIGA I ION PLAN		

GENERAL NOTES:

- 1. PRIOR TO BEGINNING WORK VERIFY THE CONTRACT DRAWINGS AGAINST ALL APPLICABLE EXISTING CONDITIONS, NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES.
- 2. PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH PUBLIC WORKS PRIOR TO CONSTRUCTION.
- 3. BACKFLOW PREVENTION TESTING IS REQUIRED BY BUILDING DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK
- 5. VERIFY LOCATION OF ALL ABOVE AND BELOW GRADE MECHANICAL, PLUMBING, ELECTRICAL/UTILITY LINES AND EQUIPMENT AND ADHERE TO ALL FEDERAL, MUNICIPAL, UTILITY PURVEYOR REQUIRED EASEMENTS, MINIMUM OFFSETS AND SETBACKS.
- 6. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.

IRRIGATION NOTES:

- 1. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 A.M.
- 2. ANY IRRIGATION EQUIPMENT MOUNTED TO THE BUILDING SHALL BE PAINTED TO MATCH THE BUILDING.
- 3. THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE COVERAGE FOR ALL LANDSCAPED AREAS AS SHOWN ON CONTRACT DRAWINGS.
- 4. REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND MUNICIPAL CODES FOR WORK NECESSARY IN IRRIGATION SYSTEM INSTALLATION.
- 6. POINT OF CONNECTION SHOWN ON THE IRRIGATION PLANS ARE PER THE CIVIL DOCUMENTS. REPORT ANY DISCREPANCIES IN THE LOCATION TO THE DESIGNER FOR CLARIFICATION OR REVISION.
- CONTRACTOR IS TO PROVIDE ALL NECESSARY PIPE, VALVES, ETC. DOWNSTREAM FROM POINT OF CONNECTION NOT INSTALLED BY OTHER DISCIPLINES.
- WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE 2009 8 INTERNATIONAL PLUMBING CODE (IPC) AND ALL OTHER STATE OR LOCAL MUNICIPAL REGULATIONS CURRENT UPON THE SIGNING OF THIS CONTRACT.
- CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED IN LANDSCAPED AREAS WHEREVER POSSIBLE AND WITHIN THE PROPERTY LIMITS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY.
- 10. LATERAL AND MAINLINE PIPE, CONTROL WIRES AND SLEEVES ARE SHOWN ON CONTRACT DRAWINGS SPACED HORIZONTALLY ON PLAN FOR GRAPHIC CLARITY ONLY. CONTRACTOR SHALL CONSOLIDATE IRRIGATION LATERALS, MAINLINES AND COMPONENTS WHEREVER POSSIBLE. IRRIGATION PIPING SHALL BE INSTALLED WITH A MINIMUM OF 4 INCHES CLEAR ON ALL SIDES.
- 11. CONTRACTOR SHALL MAINTAIN THE MINIMUM DEPTHS DETAILED AND SPECIFIED FOR ALL IRRIGATION EQUIPMENT.
- 12. CONTRACTOR IS TO VERIFY AVAILABLE PRESSURE AND FLOW AT POINT OF CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM EQUIPMENT.
- 13. CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH OVERALL SITE CONSTRUCTION AND INSTALLATION OF PAVING AND SIDEWALKS. ALL SLEEVING UNDER PAVED SURFACES SHOWN ON CONTRACT DRAWINGS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. ALL MAINLINES, LATERAL LINES, DRIP LINES AND CONTROL WIRES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. INSTALL SLEEVING AS PER DETAIL, NOTES, SCHEDULES AND SPECIFICATIONS.
- 14. ALL PIPING, PVC ELECTRICAL SLEEVES, ETC. UNDER PAVING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. CAP ALL ENDS HAND TIGHT PRIOR TO BACKFILL.
- 15. EACH MAINLINE SLEEVE REPRESENTED IN THE DRAWINGS SHALL CONSIST OF TWO SLEEVES: ONE FOR MAINLINE PIPING AND ONE FOR FIELD WIRING.
- 16. CONTRACTOR IS TO PROVIDE ELECTRICAL POWER TO THE AUTOMATIC CONTROLLER, SEE ELECTRICAL DRAWINGS.
- 17. INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL MALE PIPE THREADS ON ALL IRRIGATION SWING JOINT AND VALVE ASSEMBLIES.
- 18. BACKFILLING SHALL BE DONE IN LIFTS AND COMPACTED.
- 19. MAINTENANCE AND OPERATION REQUIREMENTS: A SEASONAL MAINTENANCE SCHEDULE BEGINNING ON APRIL 1 THROUGH OCTOBER 1 SHALL ESTABLISH PROCEDURES FOR OPTIMUM IRRIGATION EFFICIENCY AND PREVENTIVE MAINTENANCE PRACTICES THAT WILL CONSERVE WATER RESOURCES. THE MAINTENANCE SCHEDULE SHOULD INCLUDE THE FOLLOWING ITEMS:
 - VERIFY COVERAGE OF HEADS (BI-MONTHLY)*
 - CHECK FOR BROKEN HEADS OR LEAKAGE (BI-MONTHLY)*
 - REPROGRAM CONTROLLERS ACCORDING TO THE SEASONAL NEEDS (MONTHLY)* • VERIFY WATER SUPPLY AND PRESSURE (UPON SYSTEM STARTUP, THEN TWO ADDITIONAL TIMES)
 - INSPECT THE BACKFLOW PREVENTER DEVICE (UPON SYSTEM STARTUP)
 - VERIFY SENSOR FUNCTIONALITY (BI-MONTHLY)* *ALL ITEMS SHALL BE PERFORMED UPON SYSTEM START UP AND THEN AT A MINIMUM OF THE PERIOD STATED, INSPECTIONS SHALL BE PERFORMED MORE FREQUENTLY AS REQUIRED.

POINT OF CONNECTION (POC) NOTES:

DESIGN PRESSURE: 70 PSI

- ACCORDINGLY
- REQUIREMENTS.
- BEDS.
- SPECIFICATIONS.
- OWNERS REPRESENTATIVE PROGRAMMING.

P.O.C. '1' - CONNECT TO 1" STUB FROM METER AND EXTEND AND CONNECT 1" TYPE-K COPPER LINE TO 1" BACKFLOW DEVICE. REFER TO CIVIL PLANS FOR CONNECTION LOCATION.

AVAILABLE WATER PRESSURE: THE ASSUMED AVAILABLE PSI AT THE POINT OF CONNECTION IS - 70 PSI. CONTRACTOR SHALL TEST PRIOR TO INSTALLATION.

DESIGN FLOW : 14.82 GPM MAX, (SINGLE VALVE OPERATION)

1. THE IRRIGATION SYSTEMS ARE DESIGNED WITHIN A WATER WINDOW AND SIZED TO ACCOMMODATE SINGLE VALVE STARTS NOT TO EXCEED DESIGN FLOW LISTED. CONTRACTOR TO PROGRAM CONTROLLER

2. CONTRACTOR TO INSTALL ALL REQUIRED EQUIPMENT IN ACCORDANCE WITH ALL LOCAL WATER PURVEYORS

3. CONTRACTOR TO FIELD LOCATE REQUIRED IRRIGATION EQUIPMENT DOWNSTREAM FROM METER FOR APPROVAL PRIOR TO INSTALLATION. ALL ATTEMPTS SHALL BE MADE TO INSTALL EQUIPMENT IN LANDSCAPE

4. ALL ENCLOSURES SHALL BE SECURELY MOUNTED AND LOCKABLE TO PREVENT VANDALISM, DAMAGE AND/OR THEFT. TURN KEYS OVER TO OWNERS REPRESENTATIVE AT COMPLETION OF WORK AS PER

5. CONTRACTOR TO COORDINATE CONTROLLER LOCATIONS WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. INSTALL CONTROLLERS IN COMMON AREA IN LANDSCAPE BED. 6. RAIN SENSOR, MOUNT WIRELESS RAIN SENSOR WITHIN OPTIMAL RANGE FROM CONTROLLER, PER MANUFACTURERS RECOMMENDATIONS. INSTALL SENSOR ON LIGHT/UTILITY POLE A MINIMUM OF 10' ABOVE

GRADE TO MINIMIZE DAMAGE/VANDALISM, CLEARLY NOTE LOCATION AND PROVIDE INFORMATION TO IRRIGATION ZONES HAVE BEEN CREATED TO PROPERLY HYDROZONE THE SITE BASED ON SITE CONDITIONS

AND MICROCLIMATES. IF FIELD ADJUSTMENTS ARE TO BE MADE IRRIGATION EQUIPMENT IRRIGATING A NORTH AND EAST EXPOSURE SHOULD NOT BE INSTALLED ON THE SAME ZONE AS IRRIGATION EQUIPMENT ON THE SOUTH AND WEST EXPOSURES TO ALLOW FOR MICROCLIMATE ADJUSTMENTS IN THE CONTROLLER

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	2
Q T H F	TURF SPRAY 10` RADIUS HUNTER PROS-06-PRS30-CV 30 PSI REGULATED 6.0" POP-UP. WITH FACTORY INSTALLED DRAIN CHECK VALVE.	6
$\overline{\mathbb{O}}$	TURF ROTARY - 1000 HUNTER MP1000 PROS-06-PRS40-CV 6" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	6
⟨K⟩⟨G⟩⟨R⟩	TURF ROTARY - 2000 HUNTER MP2000 PROS-06-PRS40-CV 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	3
(B) (Y) (A)	TURF ROTARY - 3000 HUNTER MP3000 PROS-06-PRS40-CV 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	1
₪	TURF ROTARY - CORNER HUNTER MP CORNER PROS-06-PRS40-CV 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. T=TURQUOISE ADJ ARC 45-105.	1
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>c</u>
	DRIP CONTROL VALVE ASSEMBLY - MED. FLOW HUNTER ICZ-101-40 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	e
۲	PIPE TRANSITION POINT PIPE TRANSITION FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX.	2
Ē	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	5
$\begin{array}{c} + & + & + & + & + \\ + & + & + & + & + &$	AREA TO RECEIVE DRIP EMITTERS AREA FOR DRIP EMITTERS RAIN BIRD XB-PC & 3/4" BLUE STRIPE POLY DRIP TUBING SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each #1 plant)	1
	1.0 GPH emitters (2 assigned to each #5 plant)	
	2.0 GPH emitters (6 assigned to each B & B, 2"Cal plant)	
	2.0 GPH emitters (6 assigned to each B & B, 6` HT plant)	
	2.0 GPH emitters (4 assigned to each B & B, 1.5"Cal plant)	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>c</u>
	CONTROL VALVE HUNTER ICV-G PLASTIC ELECTRIC REMOTE CONTROL VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET.	1
	QUICK COUPLER VALVE RAIN BIRD 44-RC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	6
	GATE VALVE - 2-1/2" AND SMALLER MATCO-NORCA 514T BRASS GATE VALVE, FULL PORT, WITH SOLID WEDGE. IPS. WHEEL HANDLE. SAME SIZE AS MAINLINE PIPE.	2
Ŵ	MASTER VALVE - NORMALLY CLOSED 1" RAIN BIRD EFB-CP BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN AND FD-101TURF DECODER. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE.	1
$\langle \mathbf{D} \rangle$	MANUAL DRAIN VALVE MUELLER ORISEAL #H-10283, WITH BRASS SWING JOINT ASSEMBLY. INSTALL PER INSTALLATION DETAIL.	1
BF	REDUCED PRESSURE BACKFLOW PREVENTER 1" WITH STRONG BOX ENCLOSURE, FEBCO 825YA	1
С	CONTROLLER HUNTER HCC-PED-SS - 24 STATION, STAINLESS STEEL PEDESTAL MOUNT CONTROLLER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	1
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR	

 $\langle R \rangle$

WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER. AND GUTTER MOUNT BRACKET.

IS TY VEST	T SITE)		UNTIL SUCH TIME AS THESE DRAWINGS ARE		APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING	ΪΞ	DESIGNATED BY WRITTEN	AU IHUKIZA HUN.
<u>QTY</u> 60 62	PSI 30 40		ARED	LLC N TD	SUITE GUC		0202	(303) 900-3111
62 39 12 10	40 40 40			J-R ENGINEERING	A Westrian Company		Centennial 303-740-9393 Colorado Springs 210 503 2503 504 Collino 070 401 0888	www.irengineering.com
<u>QTY</u> 6 44 53 16,049 S.F.			BY DATE NR 1/20/23	NR 5/05/23		# #	Cen.	
<u>QTY</u> 12					7.7.	# #		
6			H-SCALE V-SCALE		11/	DESIGNED BY NR	DRAWN BY NR	CHECKED BY CK
1 1 1 1	FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM. POC POINT OF CONNECTION 1" IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	1 1,519 L.F. 5.1 L.F. 331.3 L.F.	TOWNHOMES	IMPROVEMENI PLAN				29

JOB NO. 15950.04

THRIVE TOWNHO A PORTION OF T LOCATED IN THE N OF THE 6TH 2.40 AC

Project:	Lyric at Ridgegate						
Date:	10-Oct-22					-	
Valve #:						-	
Location:	Native Rotor Zone					-	
			I	1		- V/	ALERIAN
AREA	DESCRIPTION	ТҮРЕ	SIZE	LENGTH / QTY	FLOW	Loss	SUB LOS
SOURCE	SERVICE LINE	Type-K Copper	1"	15 FT	14.8	7.29	1.09 PS
	BACKFLOW UNIT	Febco 825YA	1"	1 EA	14.8	n/a	10.82 PS
	SERVICE LINE	CL-200 PVC	1 1/2"	3 FT	14.8	0.45	0.01 PS
0.0777	MASTER VALVE	Rain Bird	1"	1 EA	14.8	n/a	1.27 PS
SYSTEM	MAINLINE	CL-200 PVC	1 1/2"	3 FT	14.8	0.45	0.01 PS
	FLOW SENSOR	PVC Tee	1"	1 EA	14.8	3 n/a	0.25 PS
	MAINLINE	CL-200 PVC	1 1/2"	800 FT	14.8	0.45	3.58 PS
	CONTROL VALVE	PEB Series	1"	1 EA	14.8	n/a	3.00 PS
	LATERAL LINE 1	CL-200 PVC	1"	2 FT	14.8	2.7	0.05 PS
	LATERAL LINE 2	CL-200 PVC	1"	26 FT	12.0	1.8	0.48 PS
	LATERAL LINE 3	CL-200 PVC	1"	33 FT	7.3	0.7	0.24 PS
	LATERAL LINE 4	CL-200 PVC	1"	13 FT	4.3	0.3	0.04 PS
	LATERAL LINE 5	CL-200 PVC	1"	21 FT	2.5	0.1	0.02 PS
CRITICAL ZONE	LATERAL LINE 6	CL-200 PVC	1"	11 FT	0.7	0.0	0.00 PS
20112	LATERAL LINE 7	CL-200 PVC	1"	10 FT	0.3	0.0	0.00 PS
	FITTINGS	10%	of Pipe Lo	osses			2.09 PS
				тот	AL FRICTIO	ON LOSS	23.0 PS
	ELEVATION CHANC	GE WITHIN ZONE		-10 FT	X.433		-4.3 PS
	IRRIGATION CONT	INGENCY		10%	OF ALL LC	OSSES	1.9 PS
				то	TAL SYSTE	EM LOSS	20.5 PS
	AVAILABLE STATIC PRESSURE AT SOURCE/TAP Enter						
	TOTAL PRESSURE L	OSS					20.5 PS
SUMMARY	PSI REQUIRED AT C	RITICAL HEAD				Enter	40.0 PS
	AVAILABLE DYNAMIC PRESSURE AT CRITICAL HEAD						49.5 ps

POC WEST - Run Time Analysis

						PEAK	ZONE RUN	WATER
						DEMAND	TIME	USAGE
#	SIZE	PLANT TYPE	ТҮРЕ	GPM	PRECIP	IN/WK	MIN./WK	GAL/WK
W1	1"	Planting Beds	Point Source Drip	7.91	0.50	0.96	115	911.23
W2	1"	Turfgrass	Turf Rotary	12.42	0.58	0.65	67	835.14
W3	1"	Planting Beds	Point Source Drip	2.76	0.50	0.96	115	317.95
W4	1"	Planting Beds	Point Source Drip	3.14	0.50	0.96	115	361.73
W5	1"	Native	Turf Rotary	11.56	0.50	0.65	78	901.68
W6	1"	Native	Turf Rotary	4.61	0.47	0.65	83	382.53
W7	1"	Planting Beds	Point Source Drip	5.73	0.50	0.96	115	660.10
W8	1"	Native	Turf Rotary	11.79	0.29	0.65	134	1,585.55
W9	1"	Turfgrass	Turf Rotary	4.12	0.54	0.65	72	297.56
W10	1"	Native	Turf Rotary	11.86	1.55	0.65	25	298.41
W11	1"	Native	Turf Rotary	14.82	0.39	0.65	100	1,482.00
W12	1"	Turfgrass	Turf Rotary	11.30	0.58	0.65	67	759.83
W13	1"	Planting Beds	Point Source Drip	4.27	0.50	0.96	115	491.90
W14	1"	Turfgrass	Turf Spray	10.40	2.00	1.64	49	511.68
W15	1"	Turfgrass	Turf Spray	8.72	0.27	1.64	364	3,177.96
W16	1"	Planting Beds	Point Source Drip	5.77	0.50	0.96	115	664.70
W17	1"	Turfgrass	Turf Spray	12.16	2.03	1.64	48	589.43
W18	1"	Turfgrass	Turf Rotary	6.49	0.50	0.65	78	506.22
						Hours/Wk		31

Gal/Wk Kgal/Month 14,735.60

64

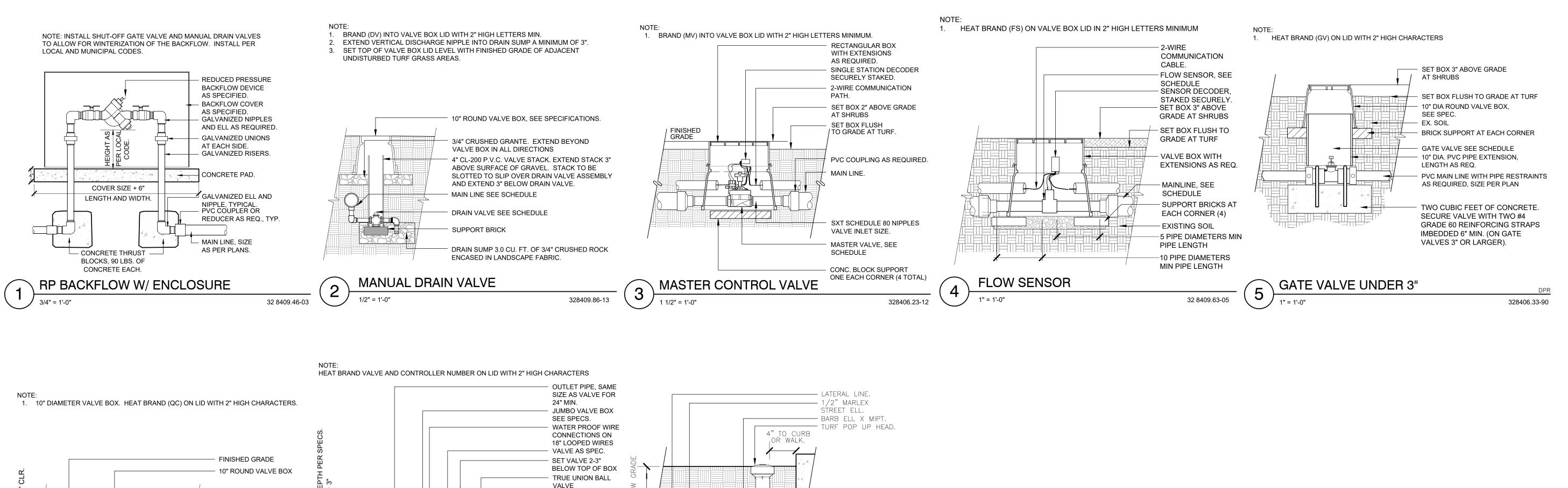
THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

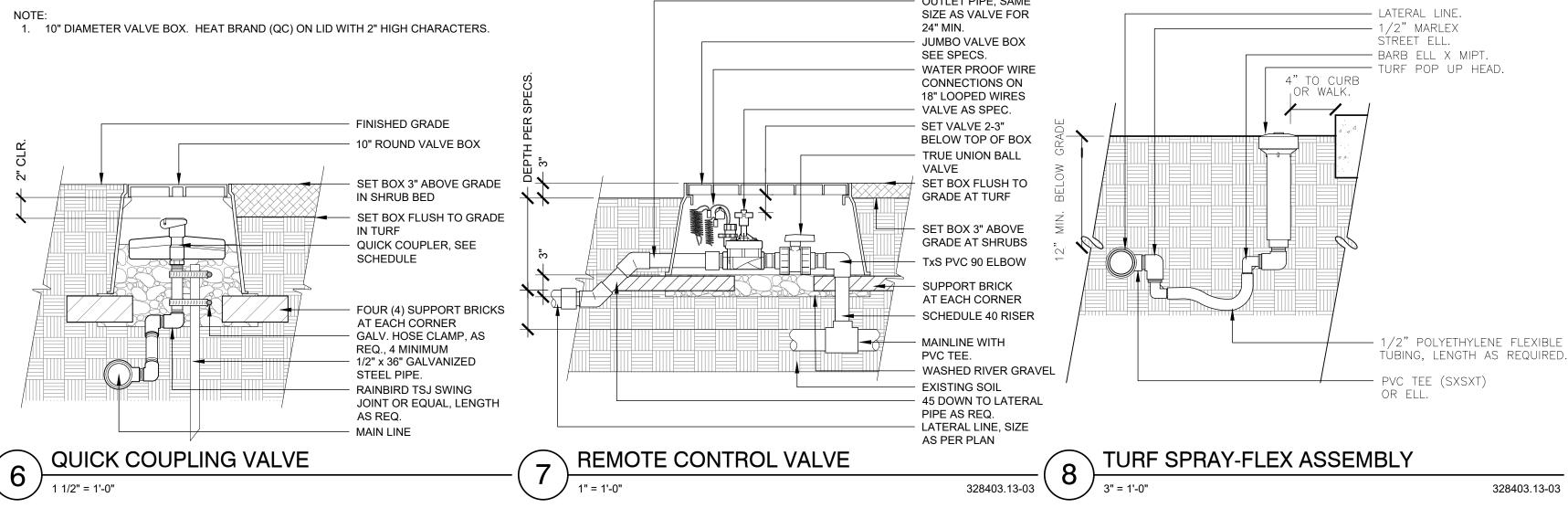
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO **2.40 ACRES IN LOT 367 OF FILING 1 - SP22-108R**

					WATER BU	DGET			
PROJECT NAME:	Lyric at Ridg	egate - PO	C WEST		SUBMITTED BY:	Valerian LLC		DAT	E: 10/5/2022
DESCRIPTION	IRRIGATED ACRES	MONTH	HISTORICAL ET	PLANT COEFFICIENT	PLANT WATER REQUIREMENT	SYSTEM EFFICIENCY (%)	TOTAL WATER REQUIREMENTS (IN.)	WEEKLY WATER REQUIREMENTS (IN.)	MONTHLY WATER REQUIREMENTS (GAL.)
PLANT TYPE:	0.19	APRIL	2.	26 0.80		65%	2.7	8 0	.65 14
Nature's Prairie Turf Sod		MAY	5.			65%	7.0		.65 36
(Moderate/High Usage)		JUNE	6.			65%	8.1		.91 41
		JULY	7.			65%	8.9		.09 45
Square Foot Area:		AUGUST SEPTEMBER	5. 4.			65% 65%	7.2		.69 36 .28 28
8,249		OCTOBER	4.			65%	1.9		.46 10
OPERATING PERIOD-HRS./DAY	12		1.	TOTAL					
DAYS/WEEK	3							ACRE FEET/	
DAYS/MONTH	13							PEAK SEASON G	
DESCRIPTION	IRRIGATED ACRES	MONTH	HISTORICAL ET	PLANT COEFFICIENT	PLANT WATER REQUIREMENT	SYSTEM EFFICIENCY (%)	TOTAL WATER REQUIREMENTS (IN.)	WEEKLY WATER REQUIREMENTS (IN.)	MONTHLY WATER REQUIREMENTS (GAL.)
PLANT TYPE:	0.51	APRIL	2.	26 0.50		90%	1.2	6 0	.29 17
SHRUBS		MAY	5.			90%	3.1		.74 43
(Moderate Usage)		JUNE	6.			90%	3.6		.86 50
		JULY	7.			90%	4.0		.94 55
		AUGUST	5.			90%	3.2		.76 44
Square Foot Area: 22,159		SEPTEMBER OCTOBER	4.			90% 90%	2.4		.58 33 .21 12
OPERATING PERIOD-HRS./DAY	12	OCTOBER	1.	TOTAL					
DAYS/WEEK	3			TOTAL	. 10.91	101		ACRE FEET/	
DAYS/MONTH	13							PEAK SEASON G	
DESCRIPTION	IRRIGATED	MONTH	HISTORICAL	PLANT	PLANT WATER	SYSTEM	TOTAL WATER	WEEKLY WATER	MONTHLY WATER
	ACRES		ET	COEFFICIENT	REQUIREMENT	EFFICIENCY (%)	REQUIREMENTS (IN.)	REQUIREMENTS (IN.)	REQUIREMENTS (GAL.)
PLANT TYPE:	0.18	APRIL	2.			70%	0.9		.23 4
NATIVE SEED		MAY	5.			70%	2.4		.57 12
(Low Usage)		JUNE JULY	6.	64 0.30 27 0.30	1.99	70% 70%	2.8		.66 13 .73 15
		AUGUST	5.			70%	2.5		.59 12
Square Foot Area:		SEPTEMBER		45 0.30		70%	1.9		.45 9
7,889		OCTOBER		60 0.30		70%	0.6		.16 3
OPERATING PERIOD-HRS./DAY	12			TOTAL	. 10.15	TOT	AL 14.4		
DAYS/WEEK	3							ACRE FEET/	
DAYS/MONTH	13							PEAK SEASON G	
								PROJECT TOTALS	5
								IRRIGATED ACRES	
								GALLONS/YEAR	541
						1		ACRE FEET/YEAR	
NOTES:								PEAK SEASON GPM	1
NOTES:		_							
Plant water requirements are determined					es are		/ Through Water Meters (7.5 f		
specific to each systems design,	operating pressu	ie and will inc	rease application	indles.			K SEASON GPM	MINIMUM TAP SIZE REQUIRED	
Approximate values:							10 GPM	0.75"	
Drip irrigation - 90%							18 GPM	1.00"	
						19 - 4	40 GPM	1.50"	
Rotor irrigation - 70%						inter teter			
Spray head irrigation: 65%						41 - 1	70 GPM	2.00"	
	veek watering w	indows.				41 - 1	70 GPM 50 GPM		

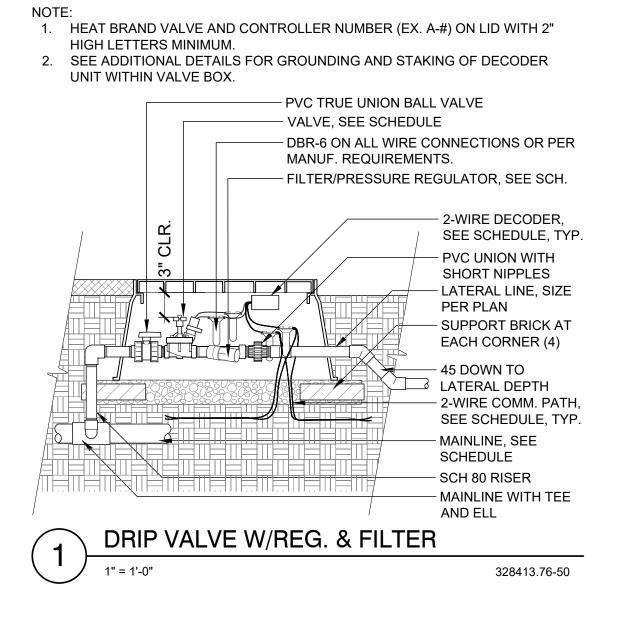
VEST SITE)

No.ReVISIONBYDATE1Revisions per commentsNR $1/20/23$ 2Revisions per commentsNR $5/05/23$ $/02/22$ ### $/02/22$ ## $/120/23$ ## $/120/23$ ## $/120/23$ ## $/120/22$ ## $/120/23$ ## $/120/23$ ## $/120/23$ ## $/120/23$ ## $/120/23$ ## $/120/23253$ For control $/120/23253$ For control $/120/23253$ For control $/120/23253$ For control $/120/23253$ $/120/2313$ $/120/2322537$ $/120/2313$ $/120/232537$ $/120/2313$ $/120/232537$ $/120/232533$ $/120/232537$ $/120/232533$ $/120/232537$ $/120/232533$ $/120/232537$ $/120/2333$ $/120/232537$ $/120/2333$ $/120/232537$ $/120/23333$ $/120/232537$ $/120/23333$ $/120/23333$ $/120/23333$ $/120/23333$ $/120/233333$ $/120/233333$ $/120/23333332$ $/120/2333334$ $/120/2333334$ $/120/233334$ $/120/2333334$ $/120/233334$ $/120/2333334$ $/120/233334$ $/120/233334$ $/120/23334$ $/120/233334$ $/120/23344$ $/120/233334$ $/120/23344$ $/120/233344$ $/120/23344$ $/120/23344$ <th>No.REVISIONBYDATE1Revisions per commentsNR$1/20/23$2Revisions per commentsNR$5/05/23$11/02/22###MR##NR##NR##NR##NR##NR#<</th> <th></th> <th>UNTIL SUCH TIME AS</th> <th></th> <th></th> <th>APPROVES THEIR USE</th> <th>DESIGNATED BY WRITTEN</th> <th>AU IHORIZA IION.</th>	No.REVISIONBYDATE1Revisions per commentsNR $1/20/23$ 2Revisions per commentsNR $5/05/23$ 11/02/22###MR##NR##NR##NR##NR##NR#<		UNTIL SUCH TIME AS			APPROVES THEIR USE	DESIGNATED BY WRITTEN	AU IHORIZA IION.
No. REVISION 1 Revisions per comments NR 1/20/23 2 Revisions per comments NR 5/05/23 # # # # # # # # 1 Main 1 205/23 719-593-2 2 Revisions 2 8 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 </th <th>No. REVISION 1 Revisions per comments NR 1/20/23 2 Revisions per comments NR 5/05/23 # # # # # # # # 1 Main 1 205/23 719-593-2 2 Revisions 2 8 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1<!--</th--><th>PREPARED FOR</th><th></th><th>THB LYRIC LLC</th><th>18/5 LAWRENCE SIRE</th><th>SUILE 900 Denived Co</th><th>80202</th><th>(303) 900-3111</th></th>	No. REVISION 1 Revisions per comments NR 1/20/23 2 Revisions per comments NR 5/05/23 # # # # # # # # 1 Main 1 205/23 719-593-2 2 Revisions 2 8 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 </th <th>PREPARED FOR</th> <th></th> <th>THB LYRIC LLC</th> <th>18/5 LAWRENCE SIRE</th> <th>SUILE 900 Denived Co</th> <th>80202</th> <th>(303) 900-3111</th>	PREPARED FOR		THB LYRIC LLC	18/5 LAWRENCE SIRE	SUILE 900 Denived Co	80202	(303) 900-3111
No. REVISION No. REVISION 1 Revisions per comments 2 Revisions per comments # # # # # # # # # # # # # # # #	No. REVISION No. REVISION 1 Revisions per comments 2 Revisions per comments # # # # # # # # # # # # # # # #				-		al 303-740-9393 Colorado Springs	0-2000 FORL CONINS 9/0-491-9000 aineering.com
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	H-SCALE V-SCALE DATE 11, DESIGNED BY DESIGNED BY DRAWN BY CHECKED BY	No. REVISION	1 Revisions per comments	2	/02/22 # #	NR # #	NR NR	CX

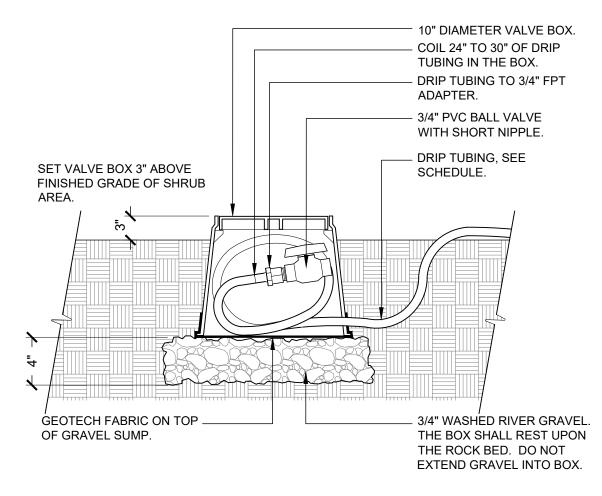




	UNTIL SUCH TIME AS	APPROVED BY THE		APPROVES THEIR USE	ONLY FOR THE PURPOSES	DESIGNATED DI WATTEN	
PREPARED FOR	(- - - - - - - - - - - - - - - - - - -	IHB LYRIC LLC	1875 LAWRENCE STREET		DENVER, CO Baras	20700	(303) 900-3111
		I'R ENGINEERING	A Westrian Commany		Centennial 303-740-9393 Colorado Sprinas	710_503_9503 Fort Colline 070_401_088	www.jrengineering.com
BY DATE	NR 1/20/23	NR 5/05/23	# #	# #			
No. REVISION	1 Revisions per comments	2 Revisions per comments	11/02/22 # #	NR # #			CK
H-SCALE			DATE 11/0	DESIGNED BY			СНЕСКЕД ВУ
		IMPROVEMEN PLAN					
	HEE.		12)F 50		29)4



HEAT BRAND 'FV' ON LID WITH 2" HIGH CHARACTERS.



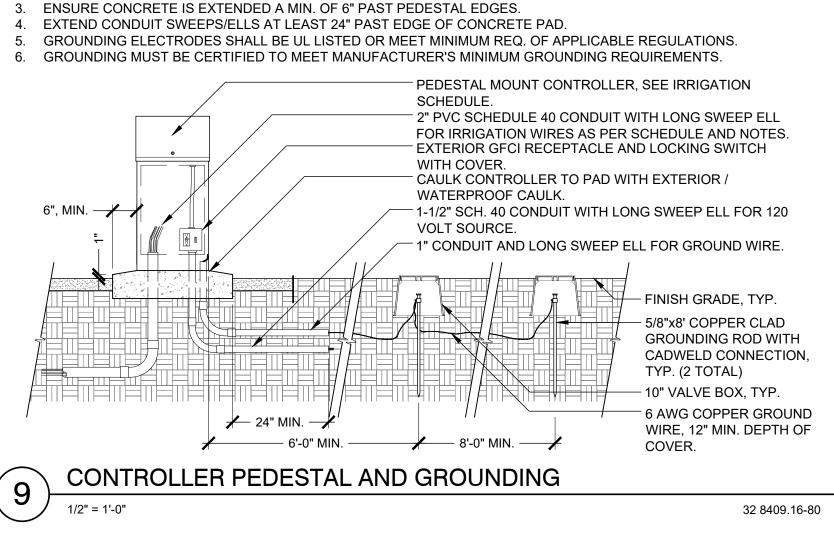
DRIP FLUSH VALVE 5 1 1/2" = 1'-0"

NOTE:

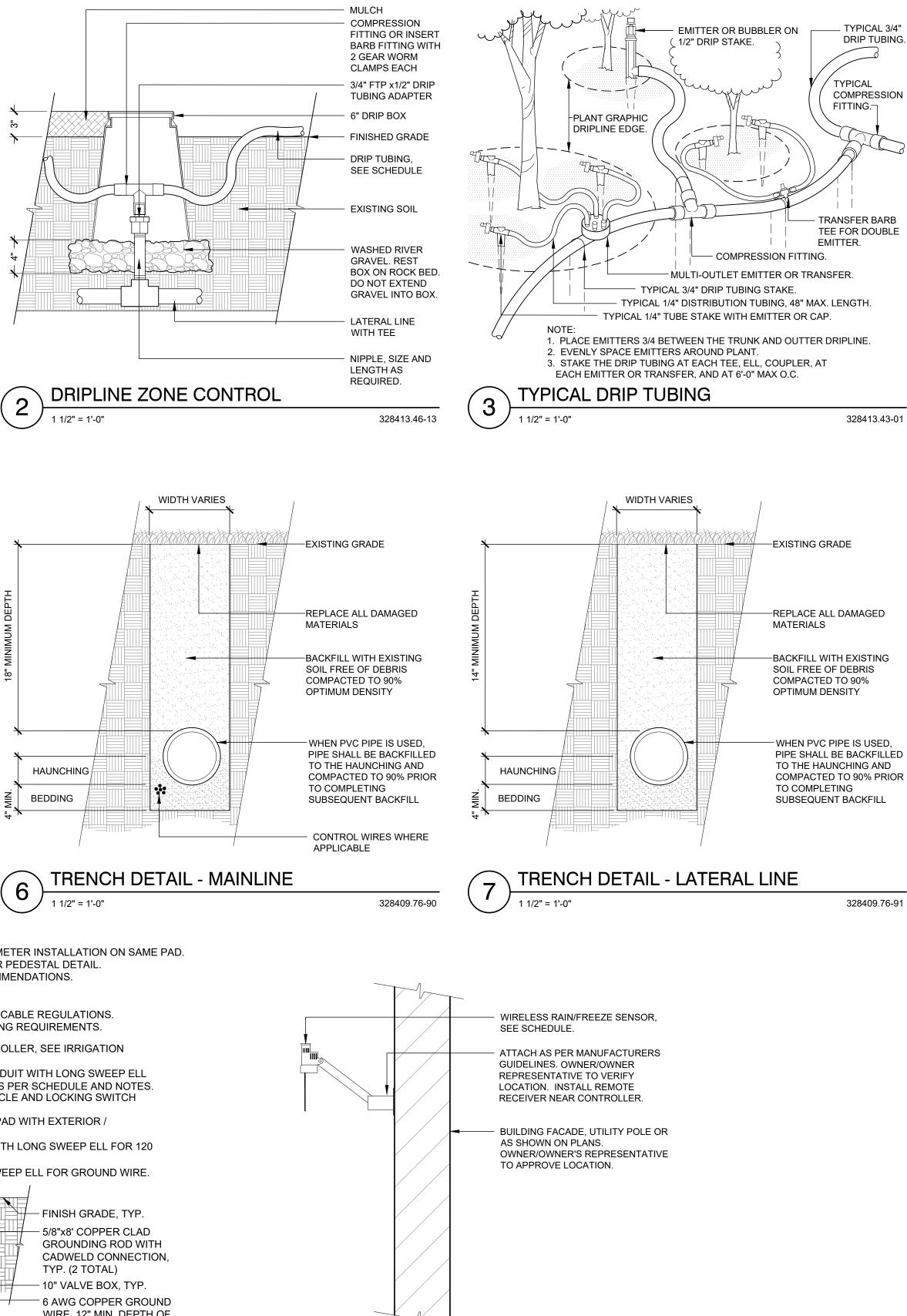
328413.49-98

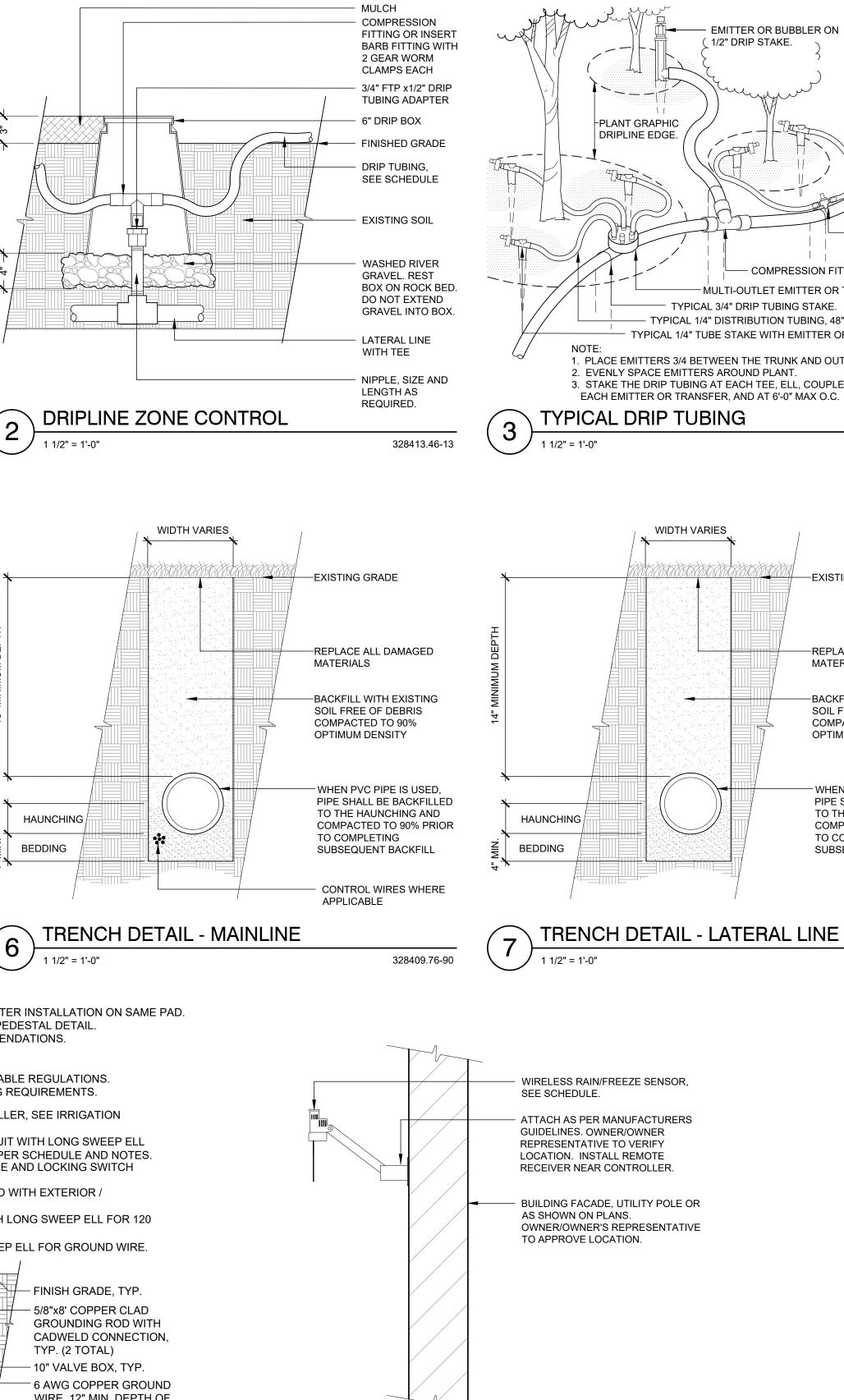
1. PEDESTAL MOUNTED ON 30"x48"x6" CONCRETE PAD TO ALLOW FOR ELECTRICAL METER INSTALLATION ON SAME PAD. PROVIDE 12" CLEAR BETWEEN PEDESTALS, IF REQURIED, SEE ELECTRICAL METER PEDESTAL DETAIL.

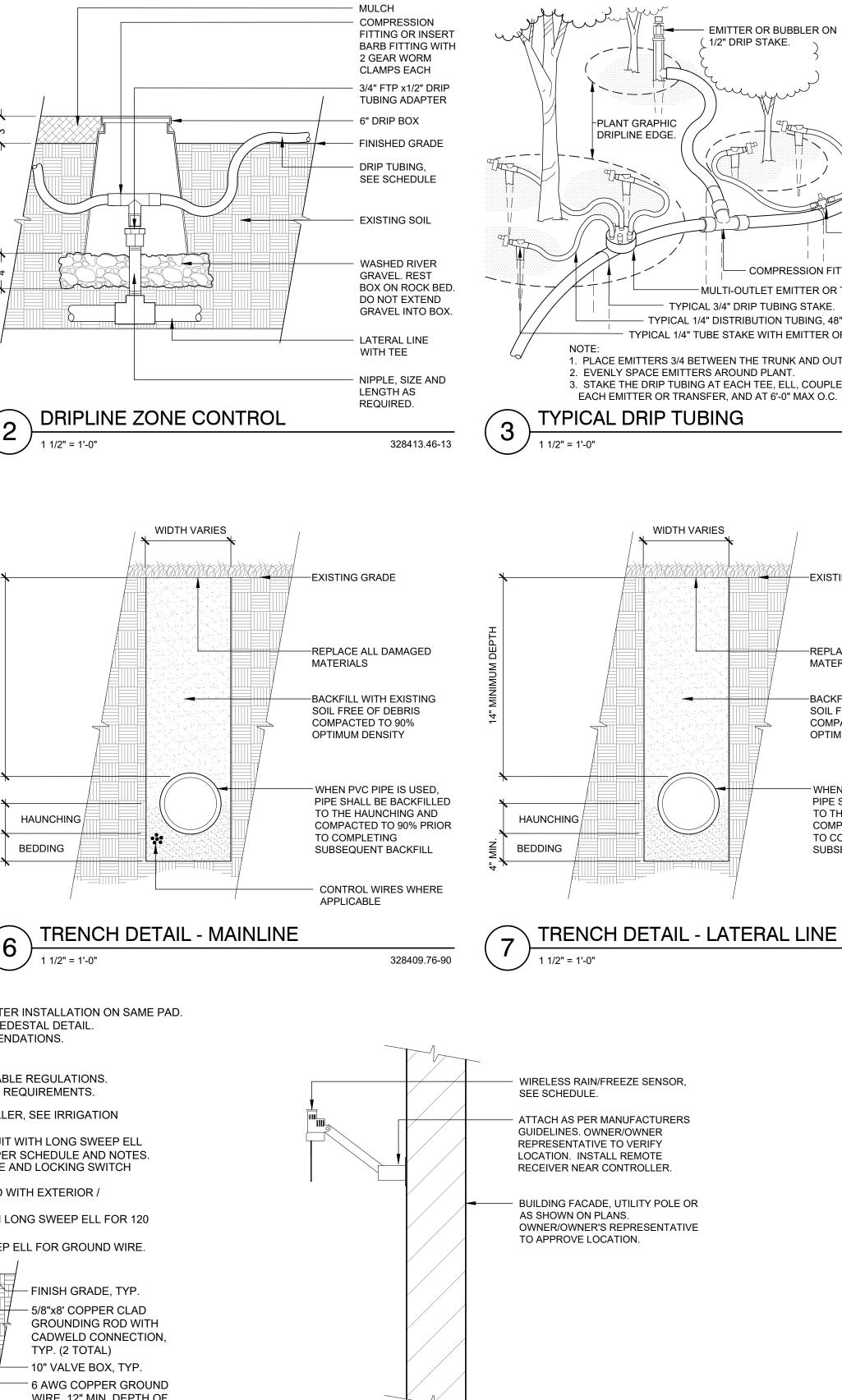
- 2. MOUNT PEDESTAL CONTROLLER WITH HARDWARE PER MANUFACTURERS RECOMMENDATIONS.
- 3. ENSURE CONCRETE IS EXTENDED A MIN. OF 6" PAST PEDESTAL EDGES.

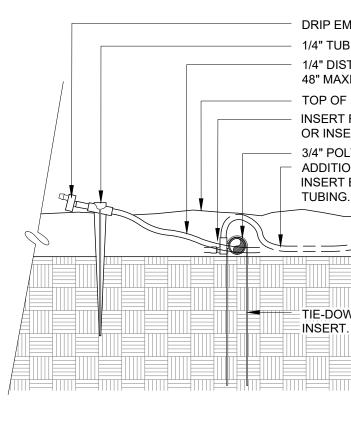


HEAT BRAND 'ZC' ON LID WITH 2" HIGH CHARACTERS.









TYPICAL 3/4"

DRIP TUBING.

COMPRESSION

TYPICAL

FITTING.-

TRANSFER BARB

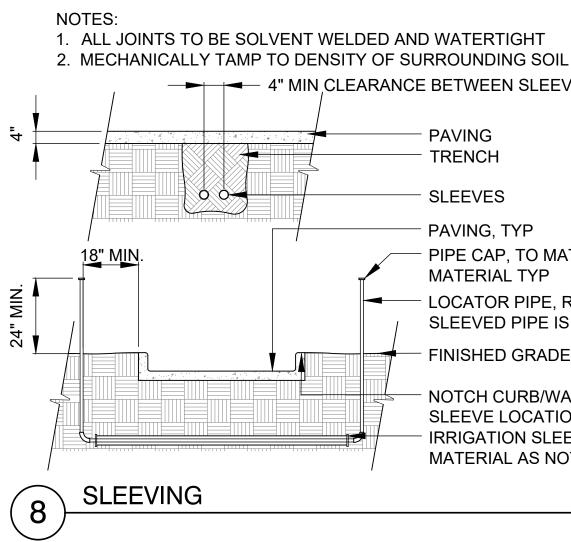
TEE FOR DOUBLE

328413.43-01

328409.76-91

EMITTER.





RAIN SENSOR

3/4" = 1'-0"

DRIP EMITTER 1/4" TUBING STAKE. 1/4" DISTRIBUTION TUBING. 48" MAXIMUM LENGTH. TOP OF MULCH ELEVATION. INSERT FITTING BARB CONNECTION OR INSERT BARBED TEE. 3/4" POLY DRIP TUBING. ADDITIONAL EMITTER AND STAKE AT INSERT BARBED TEE IN DRIP TIE-DOWN STAKE AT

328413.49-98

→→ 4" MIN CLEARANCE BETWEEN SLEEVES



SLEEVES

PAVING TYP PIPE CAP, TO MATCH LOCATER PIPE MATERIAL TYP LOCATOR PIPE, REMOVE ONCE

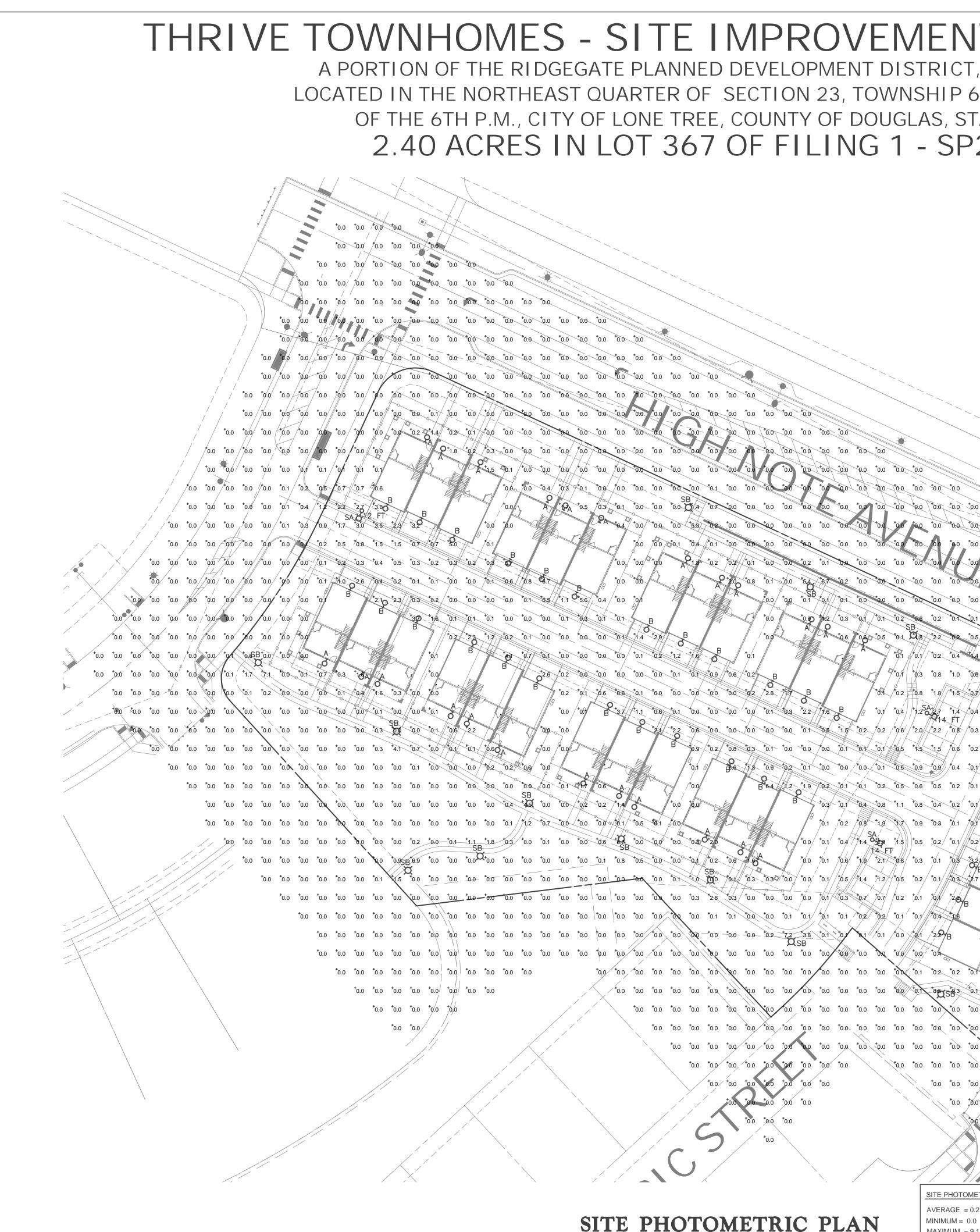
SLEEVED PIPE IS INSTALLED

FINISHED GRADE

NOTCH CURB/WALK WITH 'V' AT ALL SLEEVE LOCATIONS IRRIGATION SLEEVE, SIZE AND MATERIAL AS NOTED ON PLAN

328409.76-82

	UNTIL SUCH TIME AS	APPROVED BY THE	APPROPRIATE REVIEWING	APPROVES THEIR USE	ONLY FOR THE PURPOSES Designated by written		
PREPARED FOR		IHB LYRIC LLC	1875 LAWRENCE STREET	DENIVED OO	ULN VLIV, (() 80000		(303) 900-3111
		I-R ENGINEERING			Centennial 303-740-9393 Colorado Springs	719-593-7593 Fort Calline 970-491-9888	www.jrengineering.com
BY DATE	NR 1/20/23	NR 5/05/23	# #	# #			
No. REVISION	1 Revisions per comments	2 Revisions per comments	# #	# #			
H-SCALE			DATE 11/02/22	DESIGNED BY NR	DRAWN BY NR		CHECKED BY CK
Ē	Inkive lownhomes — she	IMPROVEMEN PLAN		IKKIGATION DETAILS			
SF	IEE		13)F 50.		9



B 64 7.2 +1.9 +0.2 +0.1 +0.1 +0.2 +0.5 +0.6 +0.5 +0.2 +0.1 +0.2 +2.9 E

⁺0.0 ⁺0.1 ⁺0.6 ⁺1/9 ⁺2.1 ⁺0.8 ⁺0.3 ⁺0.1 ⁺0/3 ⁺3.2

+0.3 +0.1 +0.4 +0.8 +1.1 +0.8 +0.4 +0.2 +0.1 +1.0

+0.1 +0.2 +0.8 +1.9 +1.7 +0.9 +0.3 +0.1 +01 +1.7

+0.0 +0.1 +0.4 +1.4 2 + +1.5 +0.5 +0.2 +0.1 +0.2 +0.2 +0.2

⁺0.0 ⁺0.0 ⁺0.0 ⁺0.4

+0.1 +0.0 +0.0 +0.0 /0.1 /0.1 +0.0

SITE PHOTOMETRIC SUMMARY

AVERAGE = 0.2 FT. CANDLE

MINIMUM = 0.0 FT. CANDLE MAXIMUM = 9.1 FT. CANDLE

+0.0 +0.0 +0.0 /+0.0 /+0.0 +0.0 /+0.0

0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0

*0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0

+0.0 +0.0 +0.0 +0.0 +0.0 +0.0

+0.0 +0.0 +0.0 +0.0×

+01 B B.6 713 +0.9 +0.2 +0.1 +0.0 +0.0 +0.0 +0.1 +0.5 +0.9 +0.8 +0.4 +0.1 +0.1 +0.8

SITE PHOTOMETRIC PLAN Scale: 1"=30'

⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.0 ⁺0.0 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.2 ⁺0.2 ⁺0.1 ⁺0.4 ⁺1.6

⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0

⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0

 $0.0 \ 0.0$

⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0

FEET

B +2.1 +2.2

0,0⁺00⁺0,0

+0.2 +0.0 +0.0

A0.0 10.0

*0.0 +0.0 +0.1 +0.1 +0.6 A

+42 +0.0 +0.0 +0/2 +0.2 +1.4

⁺/1/2 ⁺0.7 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.1 ⁺0.5 ¹0.1 ⁺0.0

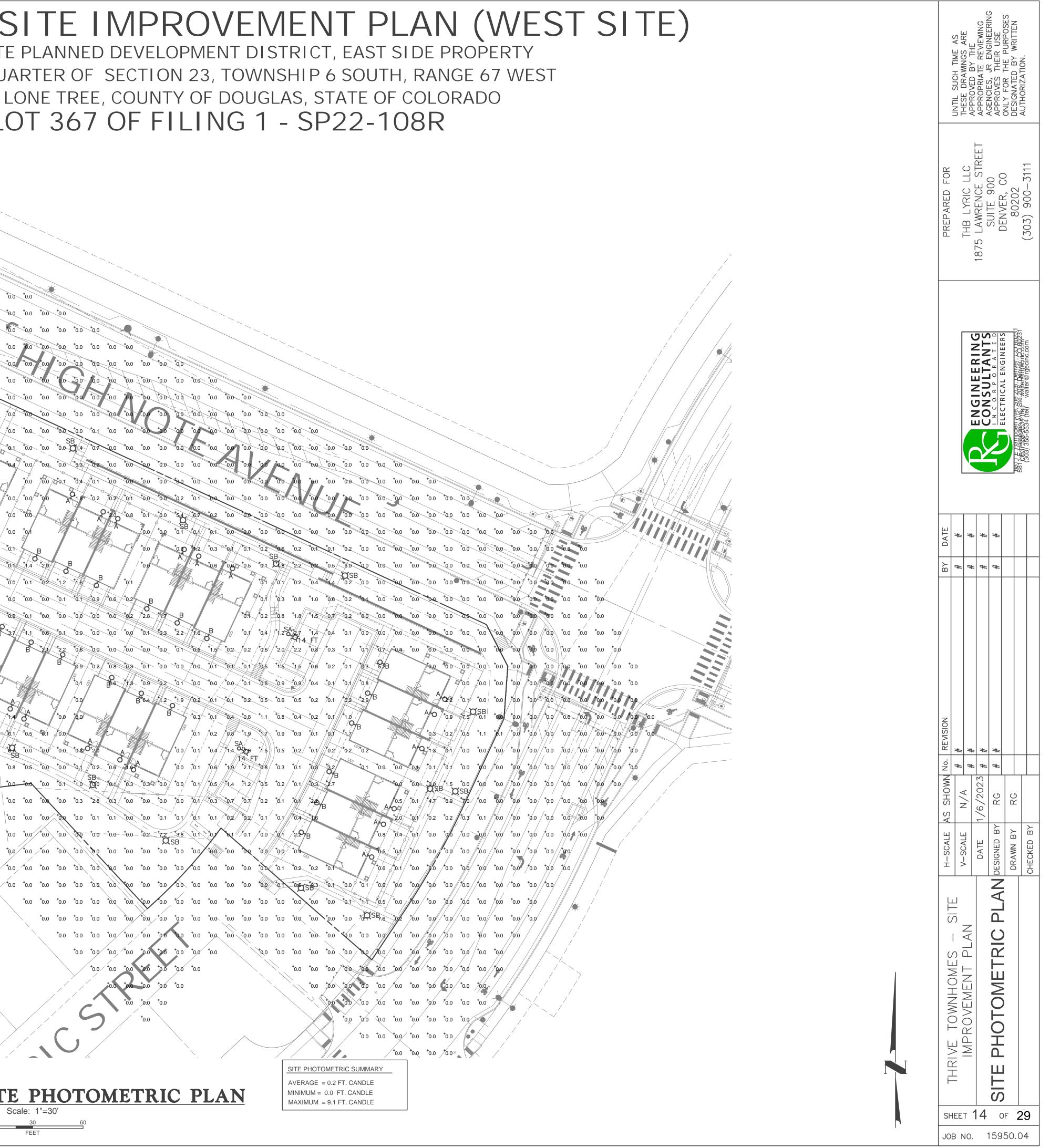
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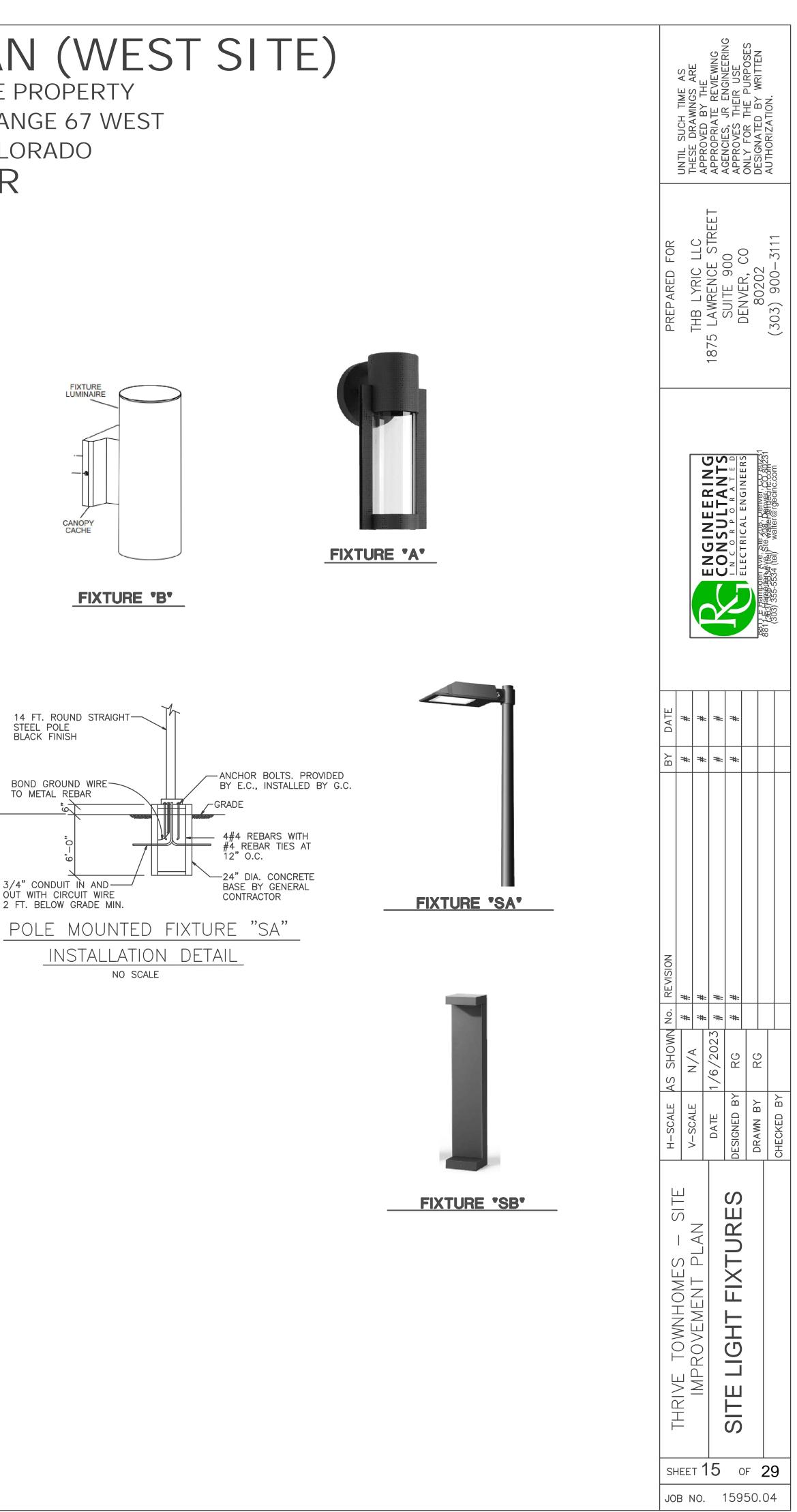
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	LIGHTING FIXTURE SCHEDULE											
ITEM	NUMB	MANUFACTURER	CAT. NO.	FINISH	LAMPS	MOUNTING	DESCRIPTION					
SA	3	BEGA LIGHTING	77 939 HEAD 14RFNS1 POLE	BLACK	24 WATT 3000K LED 3,195 LUMENS	14 FT POLE 12 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON STRAIGHT ROUND POLE					
SB	17	BEGA LIGHTING	84 220 79 817 ANCHORAGE	BLACK	11.5 WATT 3000K LED 3,500 LUMENS	37.25" HIGH	SHIELDED ASYMMETRIC DISTRIBUTION RECTANGULAR BOLLARD LIGHT					
A	30	PROGRESS LIGHTING	P560051-031-30	BLACK	9 WATT 3000K LED 624 LUMENS	WALL +6'—7"AFG TO BOTTOM	WET LOCATION RATED EXTERIOR CYLINDER WALL LIGHT AT UNIT ENTRY DOOR, FULLY SHIELDED					
В	30	KICHLER	11310BKTLED	BLACK	3000K LED 925 LUMENS	WALL +9'AFG	FULL CUT OFF EXTERIOR CYLINDER LED WALL LIGHT INSTALLED CENTERED ABOVE EACH GARAGE DOOR					

ALL EXTERIOR LIGHTS ARE FULL CUT OFF



BOND GROUND WIRE-TO METAL REBAR



OB NO. 15950.04



UNTIL SUCH TIME AS	THESE DRAWINGS ARE			ENGINEERING APPROVES Their list only for the	PURPOSES DESIGNATED	BY WRITTEN
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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE) A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST

OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX

In the second se	UNTIL SUCH TIME AS	THESE DRAWINGS ARE	APPROPRIATE REVIEWING	AGENCIES, JR	ENGINEERING APPROVES	PURPOSES DESIGNATED	BY WRITTEN
ARCHITECTS SEE WHAT COULD BE 303.455.4437 www.goddensudik.co 5975 S. Quebec Stree Suite 250 Centennial, CO 8011	PREPARED FOR		1071 - MURICILC	10/0 LAWKENCE SIKEEI	DENVER DO	80202	(303) 900-3111
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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE) A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST

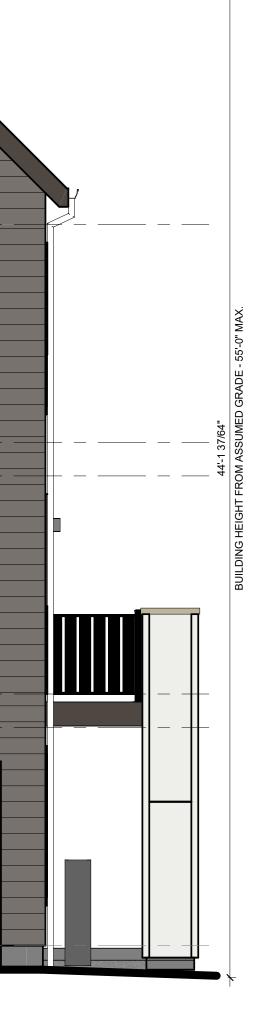
OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX



1/4" = 1'-0"

3A - REAR ELEVATION - TRANSITIONAL - SCHEME 1

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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (W

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WI OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO **2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX**



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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO **2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX**

3RD PLATE

8" SMARTSIDE LAP SIDING

3RD LEVEL
 2ND PLATE

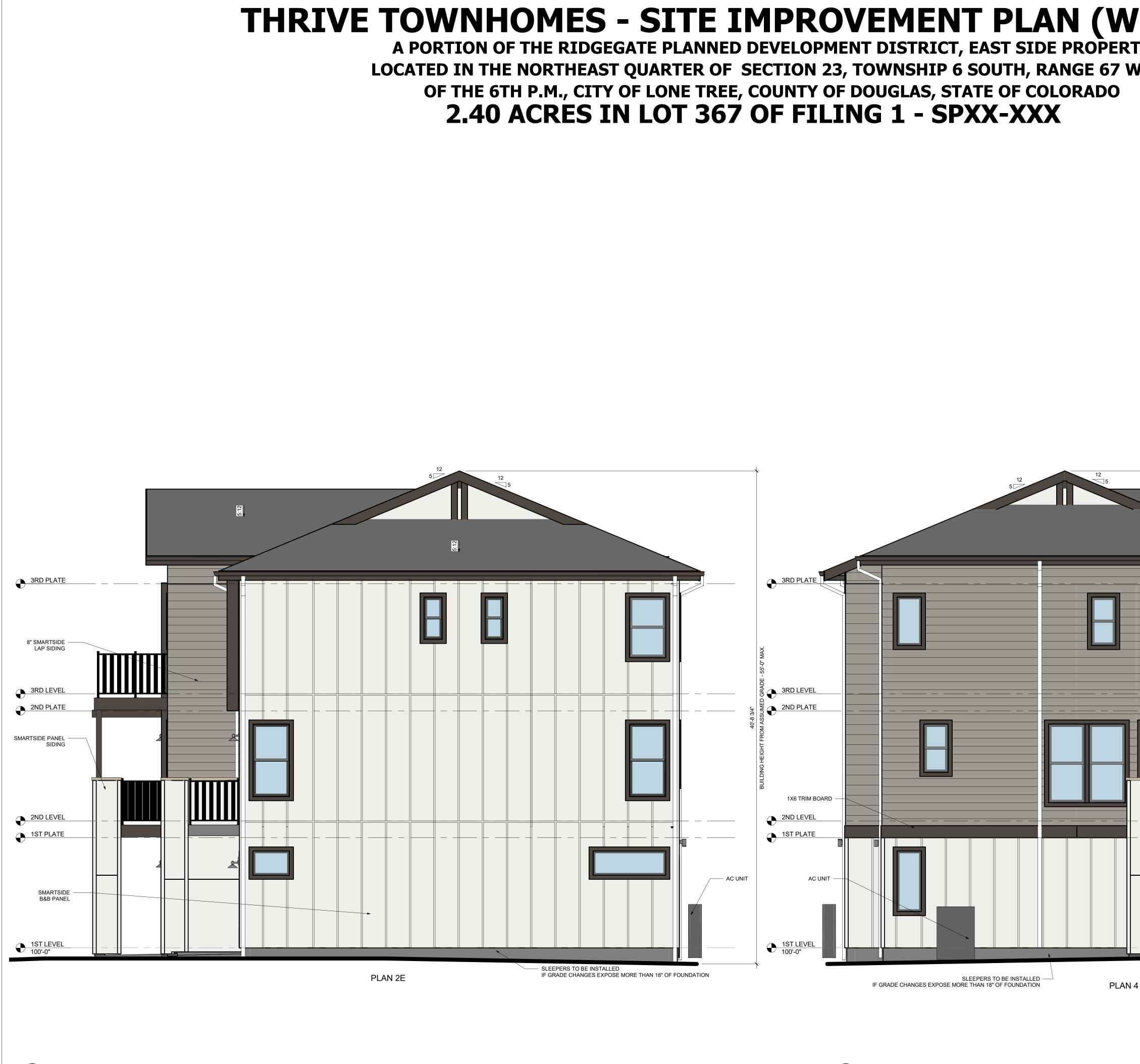
2ND LEVEL
 1ST PLATE
 SMARTSIDE B&B PANEL
 O.H GARAGE DOOR

• 1ST LEVEL 100'-0"



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ARCHITECTS SEE WHAT COULD BE 303.455.4437 www.goddensudik.com 5975 S. Quebec Stree Suite 250 Centennial, CO 80111	ARCHITECTS SEE WHAT COULD BE 303.455.4437 www.goddensudik.col 5975 S. Quebec Stree Suite 250 Centennial, CO 80111 *# # ## # ## # ## # ## # ## # ## # ## # ## # ## # ARCHITECTS Soldensudik.col Soldensudik.col Soldensudik.col Soldensudik.col ## # ## # Woldensudik.col XB # ## # Woldensudik.col XB # ## # ## # XB # <th>ARCHITECTS SEE WHAT COULD BE 303.455.4437 www.goddensudik.com 5975 S. Quebec Stree Suite 250 Centennial, CO 80111 # # # I I I I I I I I I I I I I I I I I</th> <th>PREPARED FOR</th> <th></th> <th>HB LYRIC LLC</th> <th>18/5 LAWRENCE SIREEL</th> <th>SULLE 900</th> <th>DENVER, CO Bajaj</th> <th>20200</th> <th>(303) 900-3111</th>	ARCHITECTS SEE WHAT COULD BE 303.455.4437 www.goddensudik.com 5975 S. Quebec Stree Suite 250 Centennial, CO 80111 # # # I I I I I I I I I I I I I I I I I	PREPARED FOR		HB LYRIC LLC	18/5 LAWRENCE SIREEL	SULLE 900	DENVER, CO Bajaj	20200	(303) 900-3111
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2 3B - RIGHT SIDE ELEVATION - CONTEMPORARY - SCHEME 2

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NY - SCHEME 2		IOWNHOME	IMPROVEMENT PLAN		3B - CONTEMPORARY		29 29	

JOB NO. 15950.04



3B - FRONT ELEVATION - TRANSITIONAL - SCHEME 2 1/4" = 1'-0"

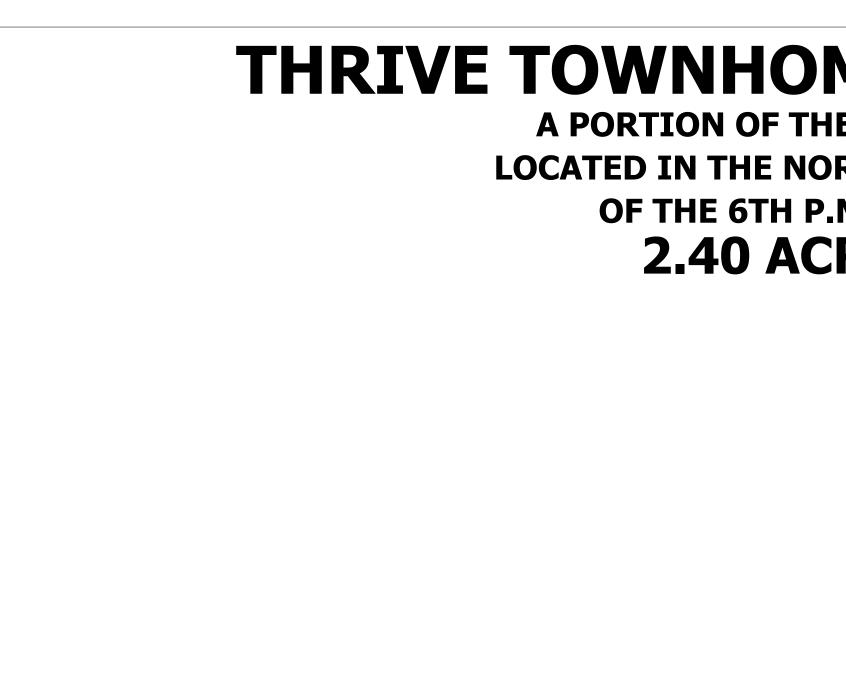
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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX



UNTIL SUCH TIME AS	THESE DRAWINGS ARE	APPROVED BY THE Appropriate reviewing	AGENCIES, JR	ENGINEERING APPROVES	PURPOSES DESIGNATED	BY WRITTEN Authorization.
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THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (W

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERT LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 W OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX

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JOB NO. 15950.04

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO 2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX

TRANSITIONAL / CONTEMPORARY COLOR SCHEME 1

BODY 1 - SHERWIN WILLIAMS

SW7006



FASCIA - SHERWIN WILLIAMS SW7020

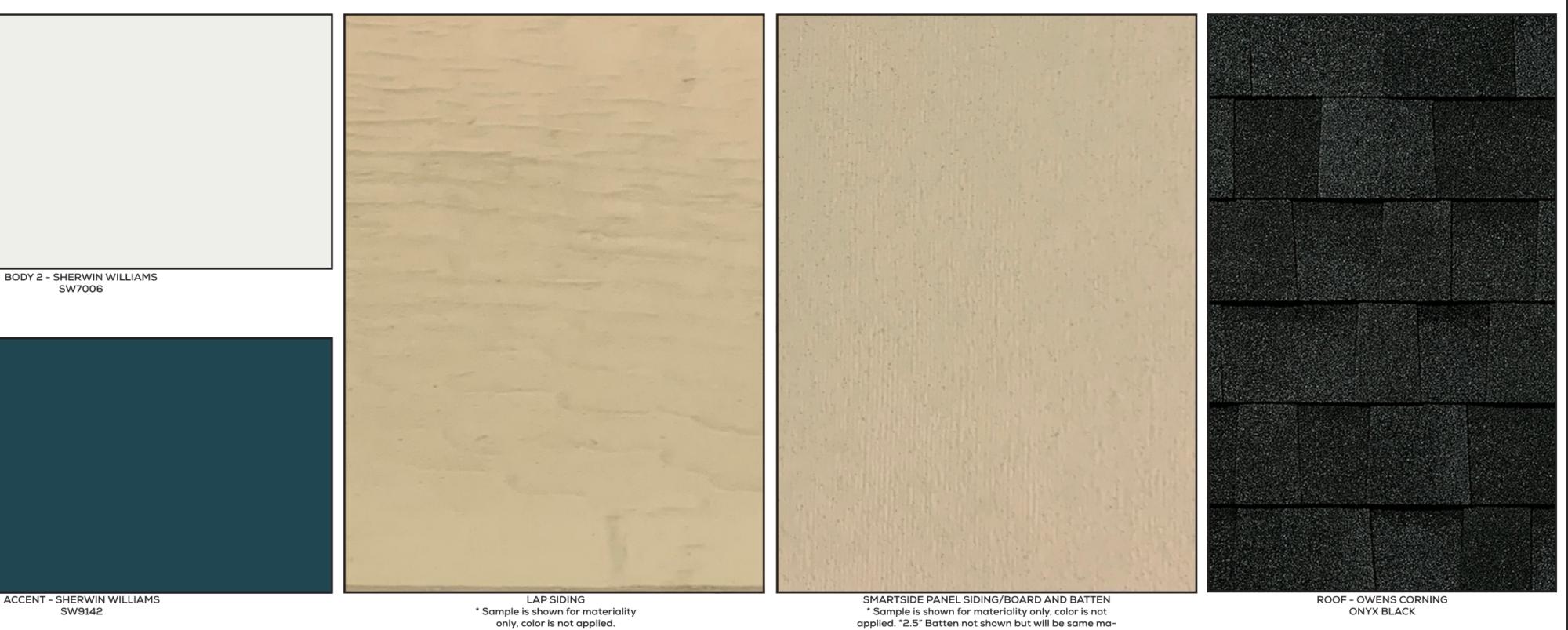
TRANSITIONAL / CONTEMPORARY COLOR SCHEME 2

BODY 1 - SHERWIN WILLIAMS SW9170

FASCIA - SHERWIN WILLIAMS SW7020

SW6356

* Sample is shown for materiality only, color is not applied.

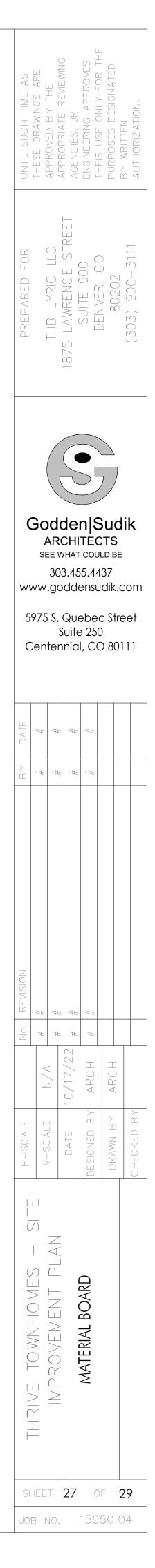




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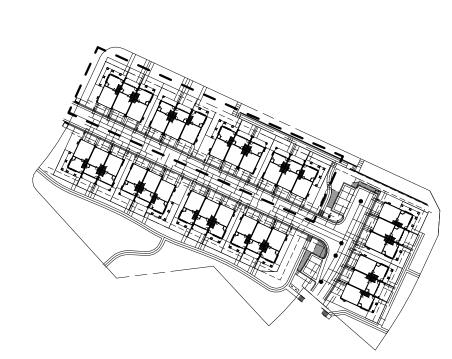
3B - TRANSITIONAL - WRAPPED SCHEME 1

THRIVE TOWNHOMES - SITE IMPROVEMENT PLAN (WEST SITE)

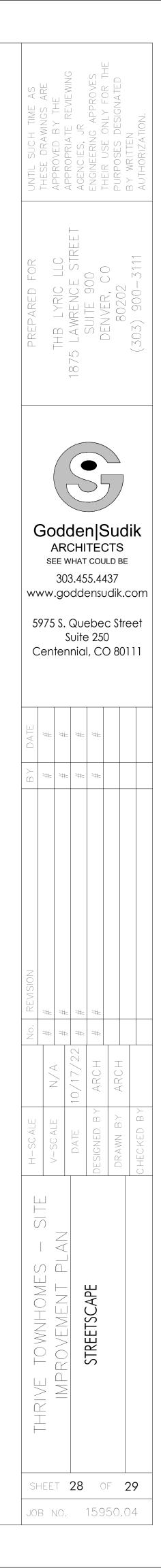
A PORTION OF THE RIDGEGATE PLANNED DEVELOPMENT DISTRICT, EAST SIDE PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO **2.40 ACRES IN LOT 367 OF FILING 1 - SPXX-XXX**

> 3B - TRANSITIONAL - WRAPPED SCHEME 2

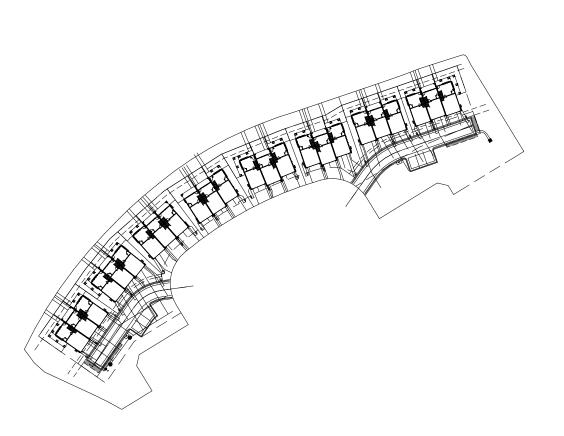
3B - CONTEMPORARY SCHEME 2



EST SITE)



3A - TRANSITIONAL - WRAPPED SCHEME 1







$\overline{\bullet}$ Godden|Sudik ARCHITECTS SEE WHAT COULD BE 303.455.4437 www.goddensudik.com 5975 S. Quebec Street Suite 250 Centennial, CO 80111

STREETS