

WILLOW CREEK MIXED USE DISTRICT

PLANNED DEVELOPMENT

GENERAL PROVISIONS:

Authority
This Development Plan is authorized by Chapter 16, Article XV, of the Lone Tree Municipal Code.

Applicability
The provisions of this Development Plan shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Director or City Council.

Adoption
The adoption of this Development Plan shall evidence the findings and decision of the City of Lone Tree City Council that this Development Plan for Willow Creek Mixed Use District is in general conformity with the Comprehensive Plan; is authorized by the provisions of Chapter 16, Article XV, of the Lone Tree Municipal Code; and that such Article XV and this Development Plan comply with the Colorado Planned Unit Development Act of 1972, as amended.

Relationship to City Regulations
The provisions of this Development Plan shall prevail and govern the development of Willow Creek Mixed Use District, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of Chapter 16 of the Lone Tree Municipal Code or any other applicable ordinance or regulations of the City of Lone Tree, shall be applicable.

Enforcement
To further the mutual interest of the residents, occupants, and owners of the Planned Development and of the public in the preservation of the integrity of the Plan, the provisions of this Plan relating to the use of land and the location of common open space shall run in favor of the City of Lone Tree and shall be enforceable at law or in equity by the City within limitation on any power or regulation otherwise granted by law.

Conflict
Where there is more than one provision within the Development Plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern unless determined otherwise by the Director.

Maximum Level of Development
The actual density of dwellings approved by the City in the Planned Development may be less than shown on the plan due to subdivision or Site Improvement Plan requirements or other requirements of the City such as park/school land dedication. The total number of dwellings or density or the total commercial, business, or industrial intensity approved for development within the Planning Areas is the maximum development requested for platting or construction (plus approved density transfers, if any). The actual number of dwellings or level of development for commercial, business, or industrial properties may be less due to subdivision or Site Improvement Plan requirements or other requirements of the City Council.

Project Tracking
At the time of each subdivision final plat, the applicant shall provide a summary of the development, to date, along with the final plat submittal to the Planning Department, in order to assure maximum development limits are not exceeded.

The statement of commitments shall, in all cases, describe the development commitments including a method for assigning responsibility to heirs, successors, or assigns, and timing of the fulfillment of these commitments for the following:

(1) Dedication.
Public dedication for parks, schools, libraries, roads, drainage, etc., either in specific acreage dedication (referenced by symbol) or specific cash in lieu of land or facilities. Describe the proposed ownership, utility provision, improvement schedule, and maintenance provision. A provision for on-demand dedication for regional parks and trails and school sites should be stated. Title insurance shall be provided by the applicant for City-dedicated land. In all cases, dedicated land shall be conveyed to the City and the City may further convey the land to the appropriate agency, unless otherwise specified by City Council.

(2) On- or off-site improvements.
Provision shall be made for the construction of, or payment of fees for, community or off-site improvements through bonding or the imposition of pro rata fees.

(3) Wildlife preservation plan.

(4) Wetlands/riparian preservation plan.

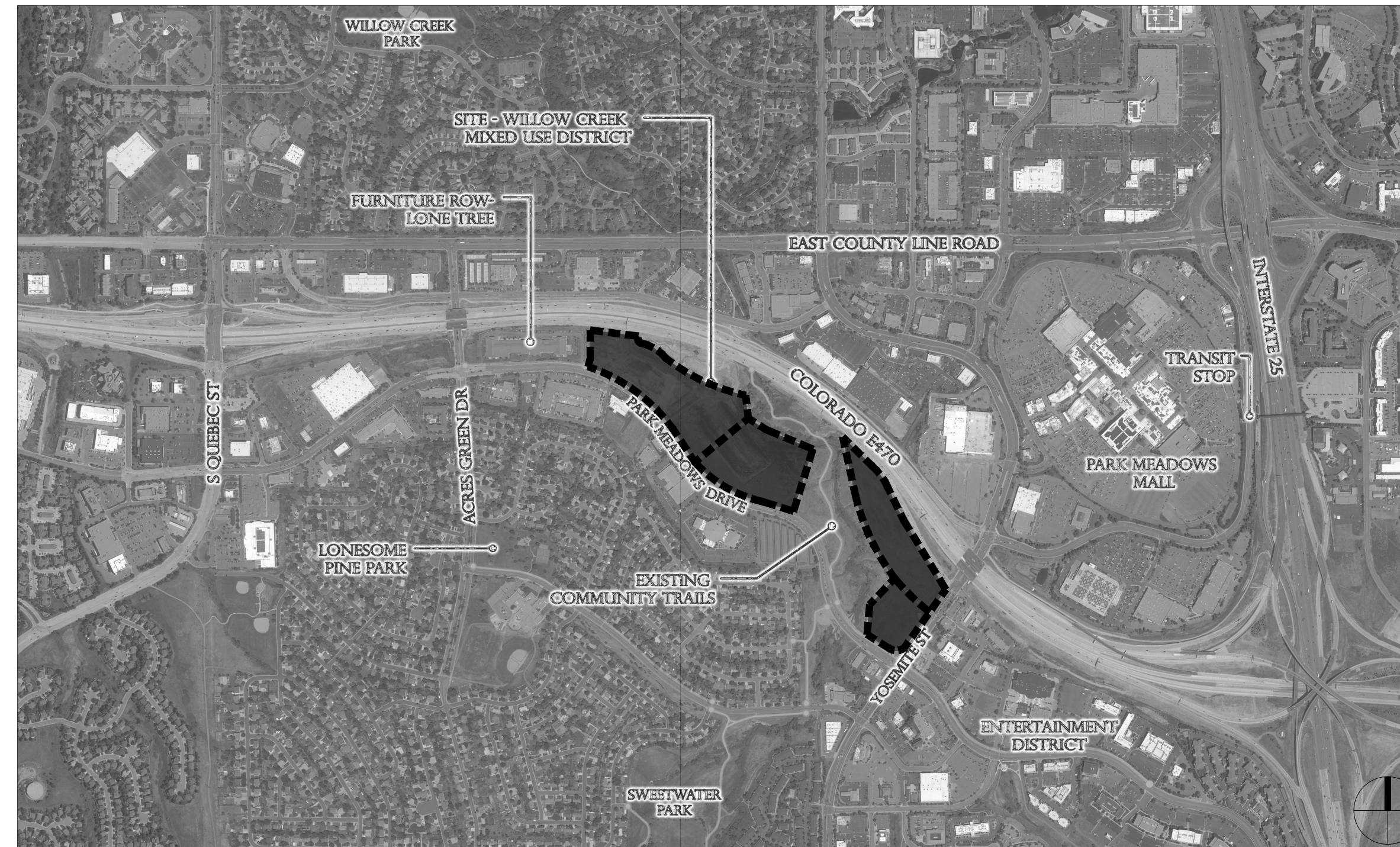
(5) Project phasing restrictions.

(6) Fire protection.

(7) Payment of taxes on land to be dedicated for public use.

(8) Other commitments imposed by the City Council.

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT I (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.



VICINITY MAP SCALE: NTS

CO LONE TREE COMPOSITE LEGAL DESCRIPTION:

Parcel 1:
Lot 1B-1, Parkway Subdivision Filing No. 2, 9th Amendment, County of Douglas, State of Colorado.
APN: 223104105002

Parcel 2:
Lot 2, Block 2, Parkway Subdivision Filing No. 2, City of Lone Tree, County of Douglas, State of Colorado.
APN: 223104105006

Parcel 3:
Tract E, Park Meadows Filing One First Amendment, County of Douglas, State of Colorado, State of Colorado, recorded May 22, 1985 at Reception Number 353654. Except that parcel as taken for State Highway No. C-470, Project No. CC 4701-081. A parcel of land No. 1 of the Department of Transportation, State of Colorado, Project No. CC 4701-081, being a portion of Tract E, Park Meadows Filing One First Amendment, a subdivision recorded at Reception Number 353654 in the records of Douglas County, said parcel located in Section 3, Township 6 South, Range of 67 West of the Sixth Principal Meridian, County of Douglas, State of Colorado, described as follows:
Commencing at the most Southerly corner of said Tract E; thence N 34°39'52"E, along the Southeasterly line of said Tract E, 245.02 feet to the Point of Beginning, whence the Northwest corner of said Section 3, as monumented with a 3-1/4" diameter aluminum cap stamped "Colo. Dept. of Transportation LS 16401" in range box, bears N 21°15'34"W, 3280.94 feet;
1) Thence departing said Southeasterly line N 32°55'14"W, 484.45 feet;
2) Thence N 28°06'51"W, 171.11 feet;
3) Thence N 25°46'46"W, 487.18 feet to the Southwesterly right-of-way of State Highway C-470 as it existed prior to 1995, said point being on a curve;
4) Thence Southeasterly, along said Southwesterly right-of-way line, and along the arc of non-tangent curve to the right, having a radius of 3669.72 feet, a central angle of 02°38'41", and along chord bearing of S 39°48'34"E, 169.39 feet to a non-tangent line;
5) Thence S 29°58'51"E, along said Southwesterly right-of-way line, 236.88 feet;
6) Thence S 38°29'14"E, along said Southwesterly right-of-way line 675.53 feet to the most Easterly corner of said Tract E;
7) Thence S 34°39'52"W, along the Southeasterly line of said Tract E, 160.74 feet more or less, to the Point of Beginning.
Basis of Bearing: The basis of bearings for the above described parcel is the direction between the Northwest corner of Section 3 as monumented with a 3-14" diameter aluminum cap stamped "Colo. Dept. of Transportation LS 16401" in range box and the West one-quarter of Section 3 as monumented with a 3-14" diameter aluminum cap stamped "Benchmark Engineering, Ltd. PLS 16401", both in Township 6 South, Range 67 West of the Sixth Principal Meridian, as bearing S 02°12'32"E (S 01°50'42"E Plat) said Point No. 87 and CDOT control point No. 58 as bearing in N 84°18'43"E, from CDOT GPS Control data. Parcel No. 2231-032-03-008/Tract E Park Meadows I 1st Amendment

Parcel 4:
Tract BA, Park Meadows Filing One First Amendment, according to the recorded plat thereof recorded May 22, 1985, reception no. 353654, County of Douglas, State of Colorado. Except that portion conveyed in Deed recorded May 27, 2004 at Reception No. 2004054399, Douglas County records. Parcel No. 2231-033-01-004/Tract BA Park Meadows I 1st Amendment

Parcel 5:
A parcel of land located in Tract I(B), Park Meadows Filing One, First Amendment, a subdivision recorded under Reception No. 353654 in the records of Douglas County, said parcel located in the Southwest quarter of Section 3, Township 6 South, Range 67 West of the 6th P.M., County of Douglas, State of Colorado, being more particularly described as follows:
Starting at the Northerly most corner of Tract BA of said Park Meadows Filing One, First Amendment, said point being the true point of beginning;
Thence S 46°19'56"W and along the Northwesterly line of said Tract BA and along along the Southeasterly lone of said Tract I (B) a distance of 308.70 feet;
Thence N06°25'43" E and departing said Southeasterly line, a distance of 61.94 feet;
Thence N46°19'56"E and parallel to said Southeasterly line, a distance of 265.77 feet to a point on the Easterly line of said Tract I (B);
Thence Southeasterly and along said Easterly line and also along the arc of a curve concave to the East, who's center bears N53°32'40"E, a delta of 1°14'20", a radius of 185.00 feet, an arc length of 40.00 feet to the true point of beginning.
Parcel No. 2231-033-01-002/Part of Tract 1-B Park Meadows I 1st Amendment

Ownership certification:

Name of Landowner FURNITURE ROW COLO, LLC.

(Landowner's Signature - notarize)

I/we _____, a (one of the following: qualified title insurance company, title company, title attorney, or attorney at law), duly qualified, insured or licensed by the State of Colorado, do hereby certify that I/we have examined the title of all lands depicted and described hereon and that title to such land is owned in fee simple by _____ at the time of this application.

(Notarized Signature) _____

Name of Authorized Official _____ (date)

Name of Company _____

City certification:

This rezoning request to Planned Development has been reviewed and found to be complete and in accordance with the (Council Ordinance or Motion and Date) approving the Planned Development and all applicable City Regulations.

(Signature) _____ Mayor, City of Lone Tree (date)

(Signature) _____ Director (date)

Clerk and recorder certification:

State of Colorado)

City of Lone Tree) ss.

Douglas County)

I hereby certify that this Plan was filed in my office on this (day) of (month), 20 __, A.D. at _____ o'clock a.m./p.m., and was recorded per Reception No. _____.

Clerk and Recorder _____

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APPLICANT:

VOGEL & ASSOCIATES
Contact: Jeff Vogel
165 S. Union Boulevard, Suite 440
Lakewood, Colorado 80228
(303) 893-4288

ENGINEER:

BOWMAN CONSULTING GROUP
Contact: Thomas Pannell
1526 Cole Blvd., Suite 100
Lakewood, Colorado 80401
(303) 801-2900

SURVEYOR:

BOWMAN CONSULTING GROUP
Contact: Thomas Pannell
1526 Cole Blvd., Suite 100
Lakewood, Colorado 80401
(303) 801-2900

DEVELOPER:

FURNITURE ROW COLO, LLC.
5651 Broadway
Denver, Colorado 80216

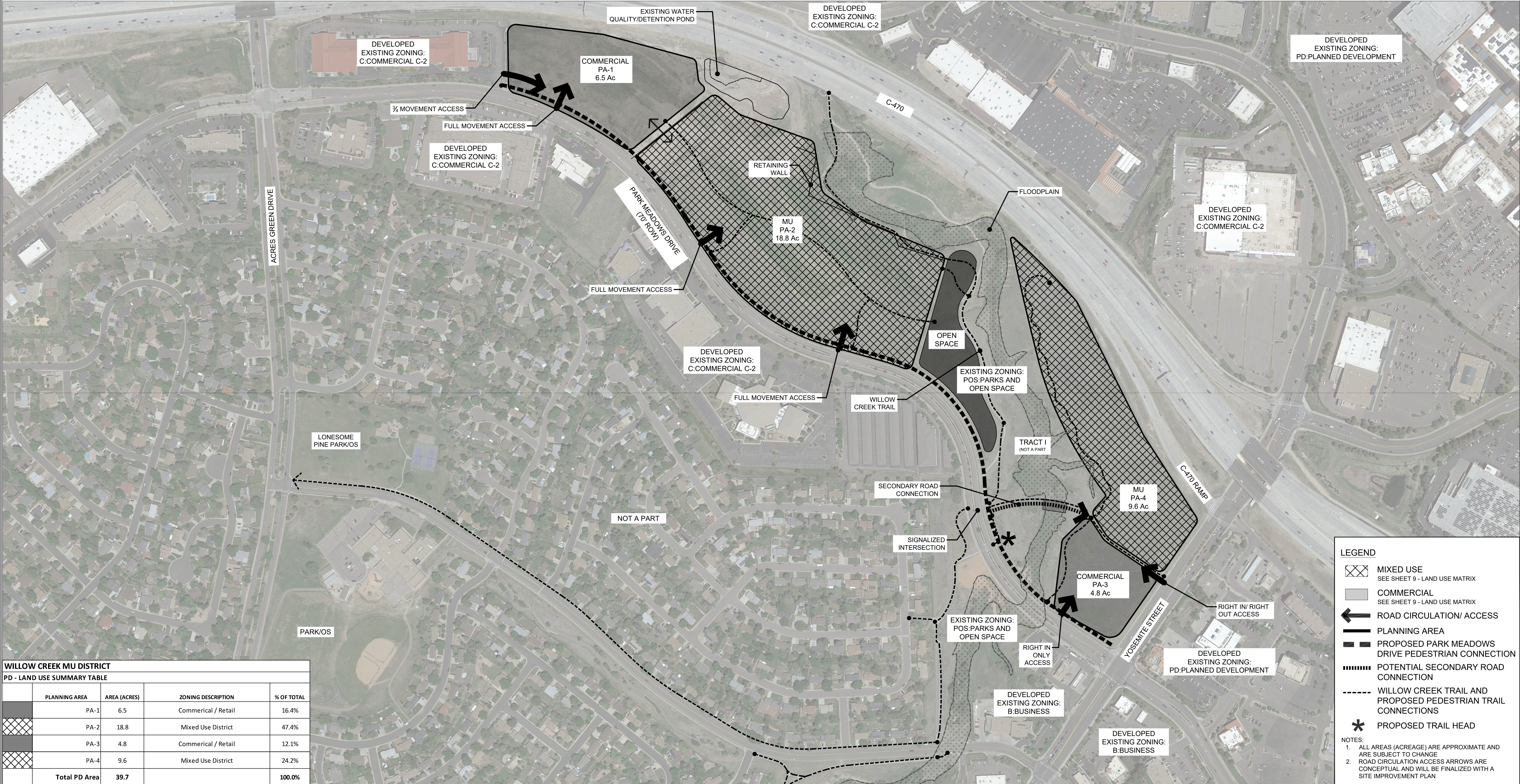
WILLOW CREEK MU DISTRICT - GENERAL PROVISIONS/ REQUIREMENTS

SHEET 1 OF 9

Scale: N/A
Date: JUNE 20, 2023
Revision/Submittal Dates: 10/06/2023, 11/10/2023

WILLOW CREEK MIXED USE DISTRICT PLANNED DEVELOPMENT

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT I (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.



WILLOW CREEK MU DISTRICT			
PD - LAND USE SUMMARY TABLE			
PLANNING AREA	AREA (ACRES)	ZONING DESCRIPTION	% OF TOTAL
PA-1	6.5	Commercial / Retail	16.4%
PA-2	18.8	Mixed Use District	47.4%
PA-3	4.8	Commercial / Retail	12.1%
PA-4	9.6	Mixed Use District	24.2%
Total PD Area	39.7		100.0%

LEGEND

- MIXED USE
SEE SHEET 9 - LAND USE MATRIX
- COMMERCIAL
SEE SHEET 9 - LAND USE MATRIX
- ROAD CIRCULATION/ ACCESS
- PLANNING AREA
- PROPOSED PARK MEADOWS DRIVE PEDESTRIAN CONNECTION
- POTENTIAL SECONDARY ROAD CONNECTION
- WILLOW CREEK TRAIL AND PROPOSED PEDESTRIAN TRAIL CONNECTIONS
- PROPOSED TRAIL HEAD

NOTES:

- ALL AREAS (ACREAGE) ARE APPROXIMATE AND ARE SUBJECT TO CHANGE
- ROAD CIRCULATION ACCESS ARROWS ARE CONCEPTUAL AND WILL BE FINALIZED WITH A SITE IMPROVEMENT PLAN

WILLOW CREEK MIXED USE DISTRICT

PLANNED DEVELOPMENT

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WILLOW CREEK MU DISTRICT DEVELOPMENT PLAN

PROJECT INTENT

THE INTENT IS TO CREATE A VIBRANT MIXED-USE COMMUNITY THAT INCLUDES A VARIETY OF COMMERCIAL AND RESIDENTIAL LAND USES THAT ARE CONFIGURED ALONG THE EXPANSIVE WILLOW CREEK RIPARIAN OPEN SPACE CORRIDOR. ESTABLISHING AND INCORPORATING A SET OF INTEGRATED PLANNING PRINCIPLES TO ENSURE CONSIDERATIONS ARE ADDRESSED THAT INCLUDES PROVIDING A PEDESTRIAN-ORIENTED DEVELOPMENT PATTERN, DIVERSITY OF HOUSING TYPES, VIBRANT COMMERCIAL AREAS THAT ARE CONNECTED TO A CENTRAL OPEN SPACE AND TRAIL SYSTEM ARE CORNERSTONES OF THE WILLOW CREEK PLANNED DEVELOPMENT. THE WILLOW CREEK MIXED-USE PROJECT IS PLANNED AS A MULTI-DIMENSIONAL COMMUNITY THAT WILL SERVE AS AN EMPLOYMENT CENTER AND NEIGHBORHOOD THAT CAN INCLUDE A VARIETY OF HOUSING FOR A DIVERSE DEMOGRAPHIC.

THE LAND USE PLAN INCLUDES FOUR PLANNING AREAS THAT ARE ALL CONFIGURED ALONG THE WILLOW CREEK OPEN SPACE CORRIDOR. PLANNING AREAS ONE AND THREE ARE CONFIGURED TO SERVE AS COMMERCIAL RETAIL CENTERS. THE OTHER TWO PLANNING AREAS ARE CONFIGURED AND PROPOSED AS MIXED-USE AREAS.

INTEGRATED PLANNING PRINCIPLES

INTEGRATED PLANNING PRINCIPLES HAVE BEEN INCORPORATED INTO THE WILLOW CREEK MIXED USE DISTRICT AND PLANNED DEVELOPMENT. PLANNING AND IMPLEMENTING A SUSTAINABLE AND BALANCED COMMUNITY REQUIRES THAT PLANNING AND DESIGN PRINCIPLES BE INCORPORATED AT DIFFERENT LEVELS OF THE PLANNING PROCESS. THE FOLLOWING IS AN OUTLINE OF INTEGRATED PLANNING PRINCIPLES THAT INCORPORATE ECONOMICALLY VIABLE, SUSTAINABLE, AND ENVIRONMENTALLY SENSITIVE PRACTICES.

PRINCIPLE ONE: IDENTIFY AND SUSTAIN GREEN INFRASTRUCTURE

- ❖ PRESERVE AND UTILIZE THE WILLOW CREEK DRAINAGE CORRIDOR TO CONTINUE TO SERVE AS GREEN INFRASTRUCTURE.
- ❖ INCORPORATE AND ENHANCE THE WILLOW CREEK RIPARIAN CORRIDOR TO SERVE AS A LARGE CONTIGUOUS OPEN SPACE AREA THAT CAN BE UTILIZED FOR ACTIVE AND PASSIVE RECREATION INCLUDING THE WILLOW CREEK AND SECONDARY TRAIL CONNECTIONS.

PRINCIPLE TWO: PROTECT ENVIRONMENTAL SYSTEMS AND CONSERVATION

- ❖ ENHANCE THE NATURAL WILLOW CREEK CORRIDOR TO PROVIDE IMPROVED WILDLIFE HABITAT, BANK STABILIZATION AND ADDITIONAL PUBLIC LAND.

PRINCIPLE THREE: CLUSTERED MIXED-USE COMMUNITY PLANNING

- ❖ CLUSTER DEVELOPMENT AND ENCOURAGE MIXED-USE TO REDUCE SPRAWL, ENHANCE SENSE OF COMMUNITY, REDUCE INFRASTRUCTURE COSTS, PROVIDE SAFE AND SECURE PEDESTRIAN ACTIVITY AND PROMOTE ALTERNATIVE MODES OF TRANSPORTATION.
- ❖ PEDESTRIAN ORIENTED NEIGHBORHOODS, THE WILLOW CREEK OPEN SPACE SYSTEM, COMMUNITY GATHERING AREAS, PARKS AND TRAILS SYSTEMS BECOME THE FRAMEWORK AND FOCUS OF THE COMMUNITY.

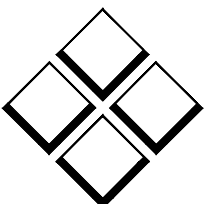
PRINCIPLE FOUR: MIXED USE CENTER AND NEIGHBORHOOD FOCAL POINTS

- ❖ CONFIGURE LAND USES TO PROVIDE A CRITICAL MASS AND SENSE OF PLACE THAT PROVIDES CONVENIENCES FOR RESIDENTS AND THE WORKPLACE AND ENHANCES ACCESSIBILITY.

PRINCIPLE FIVE: COMMUNITY CONNECTIVITY

- ❖ DEVELOP A HIERARCHY OF CONNECTED STREETS, WALKS AND TRAILS TO PROVIDE TRANSPORTATION ALTERNATIVES AND CONVENIENT ACCESS FOR A MULTI-GENERATIONAL POPULATION. PROVIDE ADDITIONAL CONNECTIONS TO THE WILLOW CREEK TRAIL.
- ❖ ESTABLISH MIXED USE CENTERS THAT ARE CONVENIENTLY ACCESSIBLE FROM PRIMARY TRANSPORTATION ROUTES AND RESIDENTIAL NEIGHBORHOODS.
- ❖ INCORPORATE A LAND USE PATTERN AND COHESIVE URBAN FABRIC THAT PROVIDES ALTERNATIVE TRANSPORTATION ROUTES AND ENCOURAGES CONNECTIVITY.
- ❖ CREATE WALKABLE BLOCK PATTERNS AND CONNECTIONS.
- ❖ TREAT YOSEMITE STREET, PARK MEADOWS DRIVE AND WILLOW CREEK AS DEVELOPMENT FRONTAGE. THIS WILL INCLUDE ESTABLISHING AN ARCHITECTURAL OR LANDSCAPED EDGE.
- ❖ YOSEMITE STREET AND PARK MEADOWS DRIVE TO INCLUDE A STREETScape THAT PROVIDES VISUALLY COHESIVE LANDSCAPE APPEARANCE AND SAFE PEDESTRIAN ENVIRONMENT.
- ❖ ENHANCE EXISTING WILLOW CREEK AT-GRADE PEDESTRIAN CROSSING AT PARK MEADOWS DRIVE.
- ❖ PROVIDE PEDESTRIAN CONNECTION BETWEEN YOSEMITE STREET AND ACRES GREEN DRIVE.
- ❖ PROVIDE PEDESTRIAN TRAIL CONNECTIONS TO THE WILLOW CREEK TRAIL.
- ❖ INCORPORATE SAFE AND COMFORTABLE PEDESTRIAN CONNECTIONS TO PUBLIC AND PRIVATE COMMUNITY FOCAL POINTS AND GATHERING AREAS.
- ❖ INCORPORATE MULTI-SITE SHARED PARKING STRATEGIES THAT ARE FUNCTIONAL AND REINFORCE SAFE PEDESTRIAN CONNECTIVITY.

END OF SECTION



VOGEL & ASSOCIATES
475 W. 12th Avenue - Suite E
Denver, Colorado 80204-3688
(303) 893-4288

OVERVIEW AND PLANNING PRINCIPLES

SHEET 3 OF 9

Scale: N/A
Date: JUNE 20, 2023
Revision/Submittal Dates: 10/06/2023, 11/10/2023

WILLOW CREEK MIXED USE DISTRICT

PLANNED DEVELOPMENT

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT 1 (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

WILLOW CREEK MU DISTRICT DEVELOPMENT PLAN

COMMERCIAL/RETAIL - PLANNING AREA 1

COMMERCIAL PLANNING AREA 1 APPROXIMATELY 6.5 ACRES AND IS LOCATED WITHIN THE WEST QUADRANT OF THE PROPERTY. ADJACENT LAND USES LOCATED TO THE WEST INCLUDES A COMMERCIAL/RETAIL BUILDING. COMMERCIAL BUILDINGS ARE LOCATED TO THE SOUTH. THE PROPERTY LOCATED TO THE NORTH AND EAST IS CURRENTLY UNDEVELOPED.

PRIMARY ACCESS IS PROVIDED VIA PARK MEADOWS DRIVE. THE WESTERN PORTION OF THE PLANNING AREA IS VISIBLE FROM C-470 AND PARK MEADOWS DRIVE. THE PROPOSED PARK MEADOWS TRAIL WILL BE LOCATED ALONG THE SOUTHERN PERIMETER OF PLANNING AREA 1.

GIVEN THE LOCATION AND VISIBILITY, THIS PROPERTY IS PROPOSED TO INCLUDE COMMERCIAL AND RETAIL USES. PRINCIPAL, USE BY SPECIAL REVIEW, AND ACCESSORY LAND USES FOR THIS PLANNING AREA ARE OUTLINED ON THE LAND USE MATRIX (SEE SHEET 9).

DEVELOPMENT STANDARDS AND GUIDELINES

THE CITY OF LONE TREE SITE PLANNING, ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES AND STANDARDS SHALL APPLY. FUTURE DEVELOPMENT APPLICATIONS WILL BE REVIEWED AGAINST THE PLANNING PRINCIPLES (SEE SHEET 3). IN ADDITION TO THE CITY OF LONE TREE STANDARDS AND GUIDELINES, THE FOLLOWING DEVELOPMENT STANDARDS SHALL BE APPLIED TO EACH PROJECT.

SETBACKS

PARK MEADOWS DRIVE SETBACK (MINIMUM): 30 FEET

PLANNING AREA TWO SETBACK (MINIMUM):

- BUSINESS OR COMMERCIAL: NO SETBACK
(BETWEEN COMMERCIAL USES)
- MULTI-FAMILY RESIDENTIAL: 20 FEET
(BETWEEN MULTI-FAMILY & COMMERCIAL USES)
- OPEN SPACE, NON-TRAIL: 20 FEET

MINIMUM LOT AREA

- THERE IS NO MINIMUM LOT AREA

LANDSCAPE

- A MINIMUM OF FIFTEEN PERCENT (15%) OF EACH SITE SHALL BE MAINTAINED AS LANDSCAPED AREA, LANDSCAPE AMENITIES, RECREATION AREAS AND PEDESTRIAN WALKWAYS OR PLAZAS SHALL BE ALLOWED WITHIN THE REQUIRED LANDSCAPE AREA.

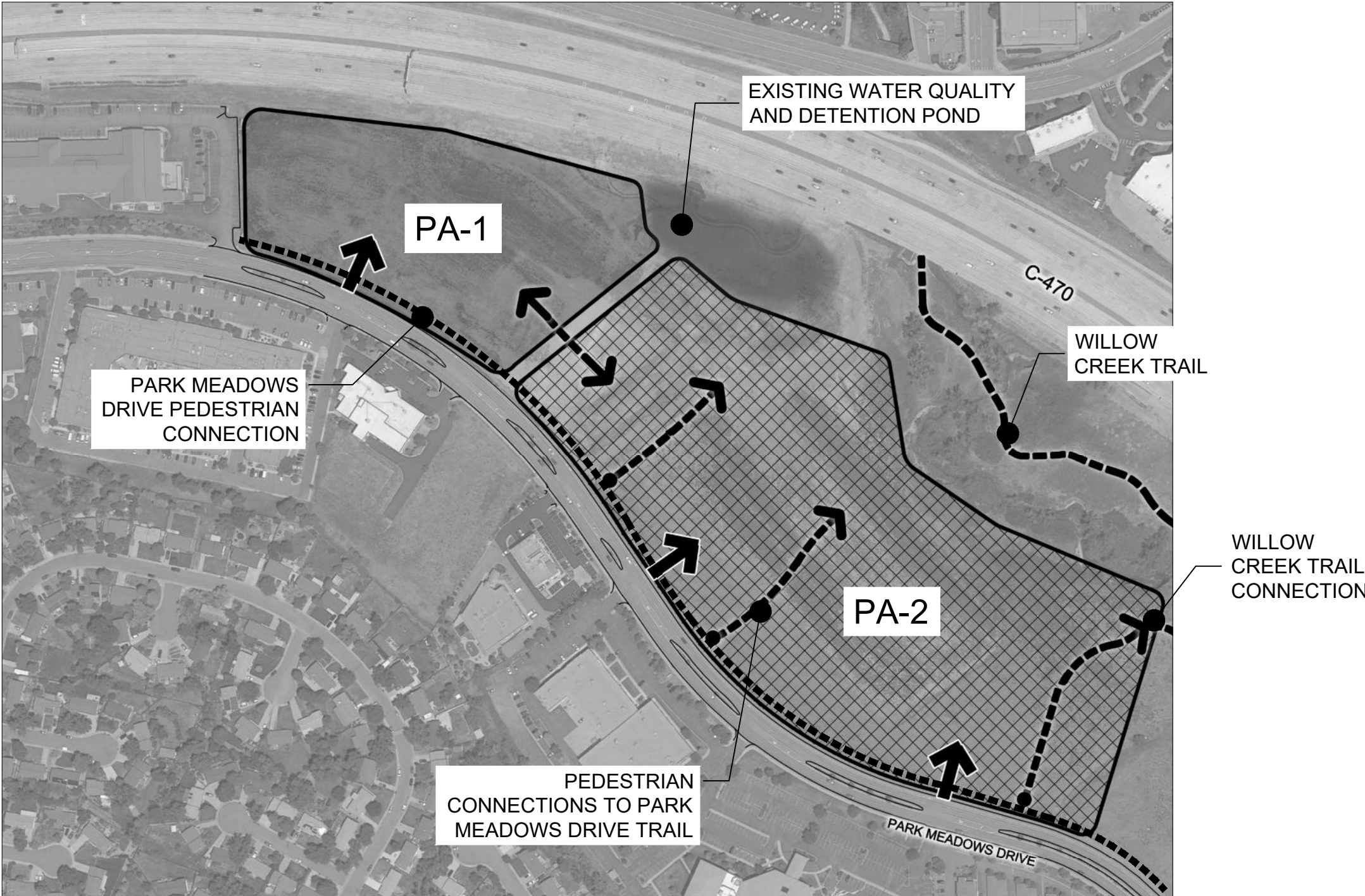
BUILDING HEIGHT

- MAXIMUM BUILDING HEIGHT: SIXTY FIVE (65) FEET. BUILDING HEIGHT EXCEPTIONS ARE PERMITTED AS DEFINED IN THE CITY'S COMMERCIAL DISTRICT.

RETAINING WALLS

- RETAINING WALLS FOR INDIVIDUAL PROJECTS SHALL BE CONSISTENT WITH THE CITY OF LONE TREE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING.
- RETAINING WALL HEIGHTS REQUIRED FOR THE WILLOW CREEK BANK STABILIZATION MAY BE INCREASED AS REQUIRED TO RETAIN SLOPES AND REDUCE EROSION. RETAINING WALL HEIGHTS WILL BE REVIEWED AND DETERMINED WITH THE BANK STABILIZATION PROJECT.

DESIGN STANDARDS



PLAN DIAGRAMS ARE CONCEPTUAL AND ILLUSTRATIVE. STREETS, TRAIL ALIGNMENTS AND ACCESS POINTS ARE SUBJECT TO CHANGE AND REFINEMENT.

- A PEDESTRIAN CONNECTION SHALL BE PROVIDED TO PLANNING AREA 2.
- A PEDESTRIAN CONNECTION SHALL BE MADE TO THE PARK MEADOWS TRAIL.
- PARKING AND SERVICES AREAS SHALL BE SCREENED FROM PARK MEADOWS DRIVE AND THE OPEN SPACE. LANDSCAPE, BERMS OR SITE WALLS SHALL BE UTILIZED TO SCREEN PARKING AND SERVICE AREAS. SEE CITY OF LONE TREE DESIGN GUIDELINE AND STANDARDS FOR SITE PLANNING AND ARCHITECTURE.
- THE BUILDING SETBACK FROM PLANNING AREA TWO SHALL INCLUDE PERIMETER LANDSCAPING PER THE CITY OF LONE TREE LANDSCAPE DESIGN GUIDELINES, STANDARDS AND REGULATIONS.
- SITE DRAINAGE SHALL BE DIRECTED TO THE EXISTING WATER QUALITY AND DETENTION POND LOCATED TO THE NORTH OF PLANNING AREA 1 AND 2.

END OF SECTION

WILLOW CREEK MIXED USE DISTRICT

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WILLOW CREEK MU DISTRICT DEVELOPMENT PLAN

MIXED USE - PLANNING AREA 2

MIXED USE PLANNING AREA 2 IS APPROXIMATELY 18.8 ACRES AND IS LOCATED WITHIN THE CENTRAL QUADRANT OF THE PROPERTY. ADJACENT LAND USES LOCATED TO THE WEST INCLUDES COMMERCIAL/RETAIL PLANNING AREA 1. COMMERCIAL USES ARE LOCATED TO THE SOUTH SIDE OF PARK MEADOWS DRIVE. THE WILLOW CREEK OPEN SPACE CORRIDOR IS LOCATED TO THE NORTH. THIS OPEN SPACE AREA INCLUDES THE EXISTING WATER QUALITY AND DETENTION FACILITY THAT IS ADJACENT TO THE NORTHWEST PORTION OF THE PLANNING AREA.

PRIMARY ACCESS IS PROVIDED VIA PARK MEADOWS DRIVE. PORTIONS OF THE PLANNING AREA HAS LIMITED VISIBILITY FROM C-470. THE PROPOSED PARK MEADOWS TRAIL WILL BE LOCATED ALONG THE SOUTHERN PERIMETER OF PLANNING AREA 2.

GIVEN THE LOCATION AND VISIBILITY, THIS PROPERTY IS DESIGNATED AS MIXED-USE WITH THE ABILITY TO ACCOMMODATE NON-RESIDENTIAL AND RESIDENTIAL LAND USES. PRINCIPAL, USE BY SPECIAL REVIEW, AND ACCESSORY LAND USES FOR THIS PLANNING AREA ARE OUTLINED ON THE LAND USE MATRIX (SEE SHEET 9).

DEVELOPMENT STANDARDS AND GUIDELINES

THE CITY OF LONE TREE SITE PLANNING, ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES AND STANDARDS SHALL APPLY. FUTURE DEVELOPMENT APPLICATIONS WILL BE REVIEWED AGAINST THE PLANNING PRINCIPLES (SEE SHEET 3). IN ADDITION TO THE CITY OF LONE TREE STANDARDS AND GUIDELINES, THE FOLLOWING DEVELOPMENT STANDARDS SHALL BE APPLIED TO EACH PROJECT.

SETBACKS

PARK MEADOWS DRIVE SETBACK (MINIMUM):	30 FEET
PLANNING AREA TWO SETBACK (MINIMUM):	
- BUSINESS OR COMMERCIAL: (BETWEEN COMMERCIAL USES)	NO SETBACK
- MULTI-FAMILY RESIDENTIAL: (BETWEEN MULTI-FAMILY & COMMERCIAL USES)	20 FEET
- SINGLE-FAMILY ATTACHED AND TOWNHOME LOTS	0 SETBACK
- MINIMUM DISTANCE BETWEEN BUILDINGS:	10 FEET
- OPEN SPACE, NON-TRAIL:	10 FEET

MINIMUM LOT AREA

- THERE IS NO MINIMUM LOT AREA.

LANDSCAPE

- A MINIMUM OF FIFTEEN PERCENT (15%) OF EACH SITE SHALL BE MAINTAINED AS LANDSCAPED AREA, LANDSCAPE AMENITIES, RECREATION AREAS AND PEDESTRIAN WALKWAYS OR PLAZAS AND SHALL BE ALLOWED WITHIN THE REQUIRED LANDSCAPE AREA.

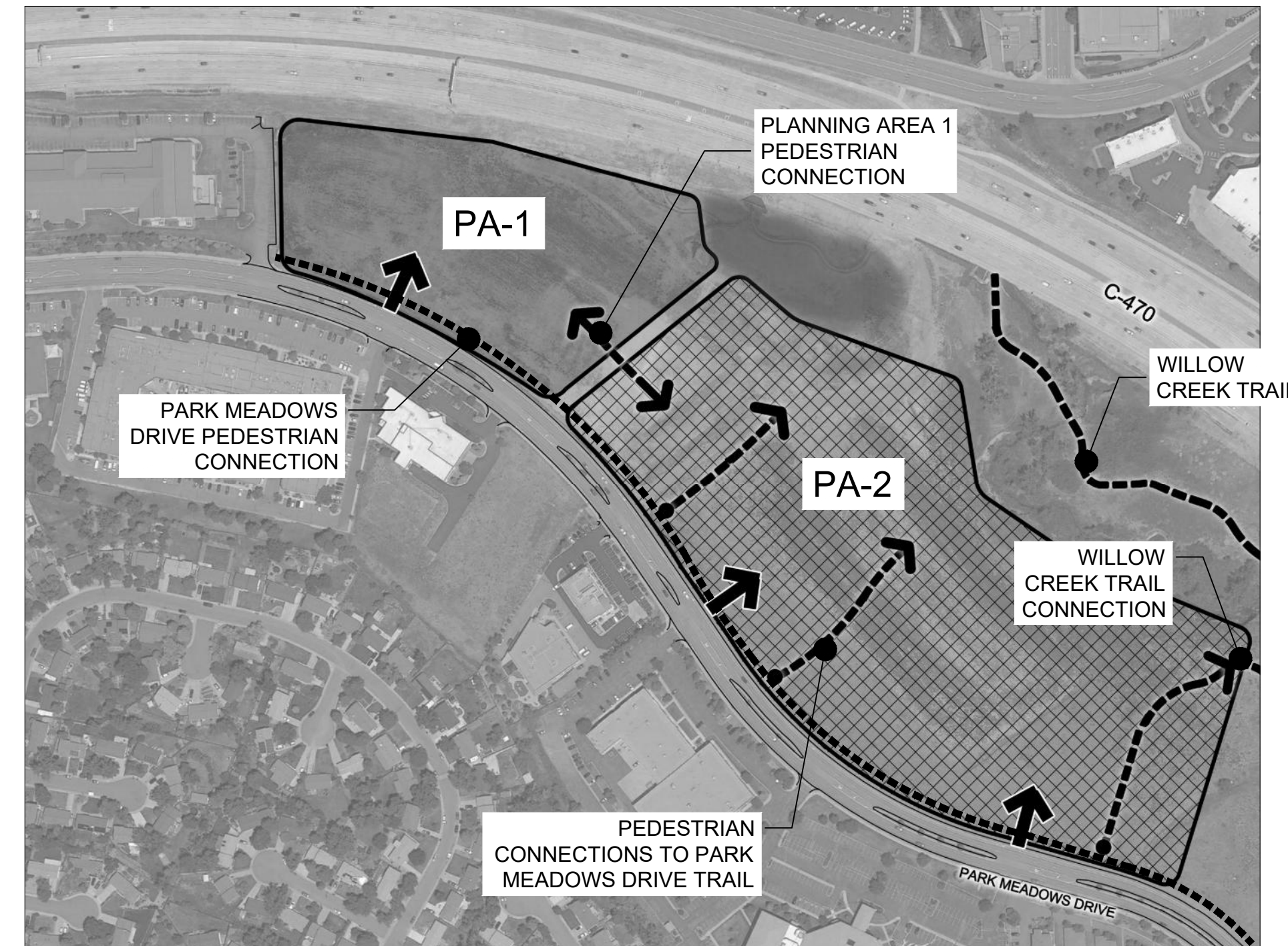
BUILDING HEIGHT

- MAXIMUM BUILDING HEIGHT: SIXTY FIVE (65) FEET. BUILDING HEIGHT EXCEPTIONS ARE PERMITTED AS DEFINED IN THE CITY'S COMMERCIAL DISTRICT.

RETAINING WALLS

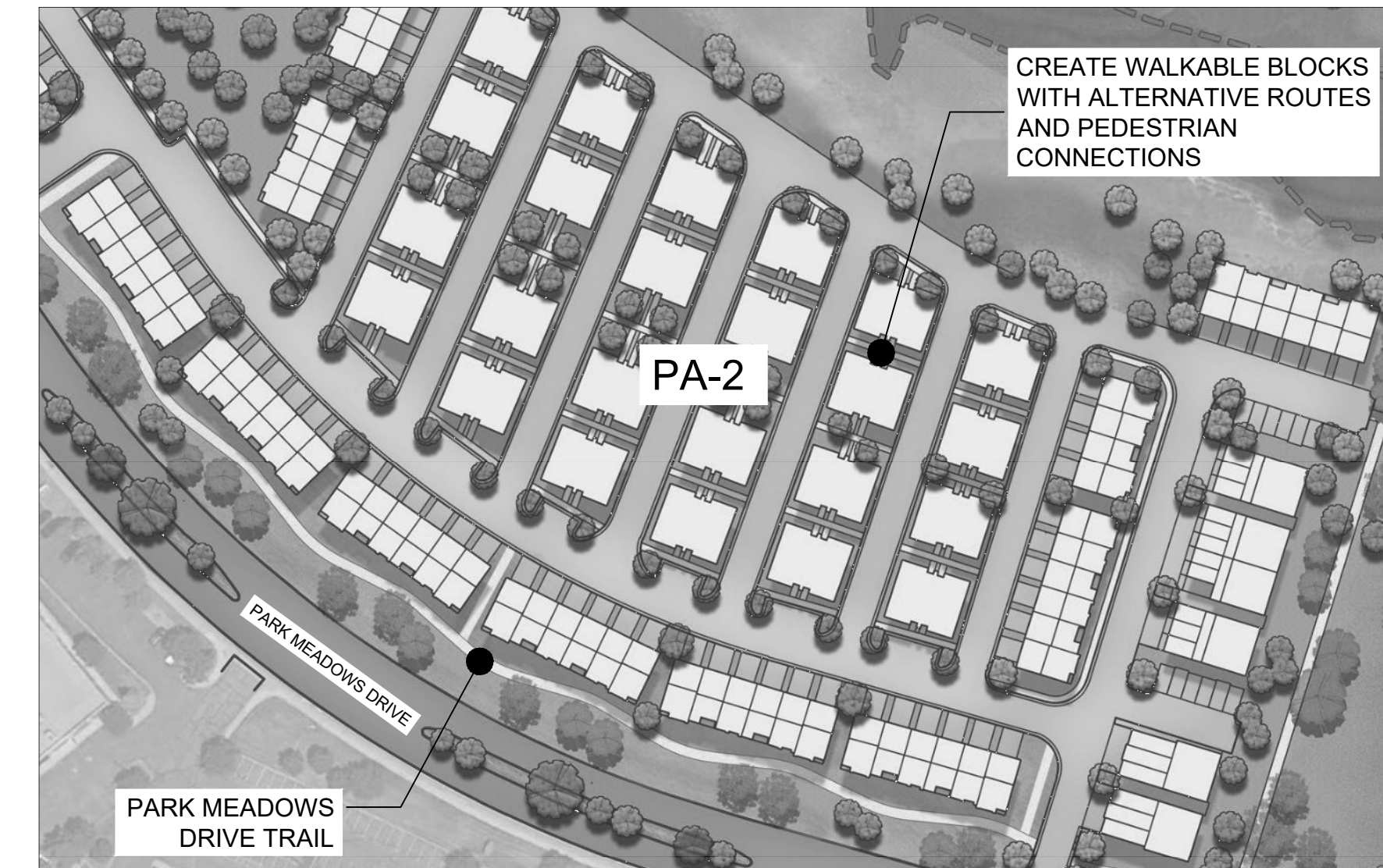
- RETAINING WALLS FOR INDIVIDUAL PROJECTS SHALL BE CONSISTENT WITH THE CITY OF LONE TREE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING.
- RETAINING WALL HEIGHTS REQUIRED FOR THE WILLOW CREEK BANK STABILIZATION MAY BE INCREASED AS REQUIRED TO RETAIN SLOPES AND REDUCE EROSION. RETAINING WALL HEIGHTS WILL BE REVIEWED AND DETERMINED WITH THE BANK STABILIZATION PROJECTS.

DESIGN STANDARDS



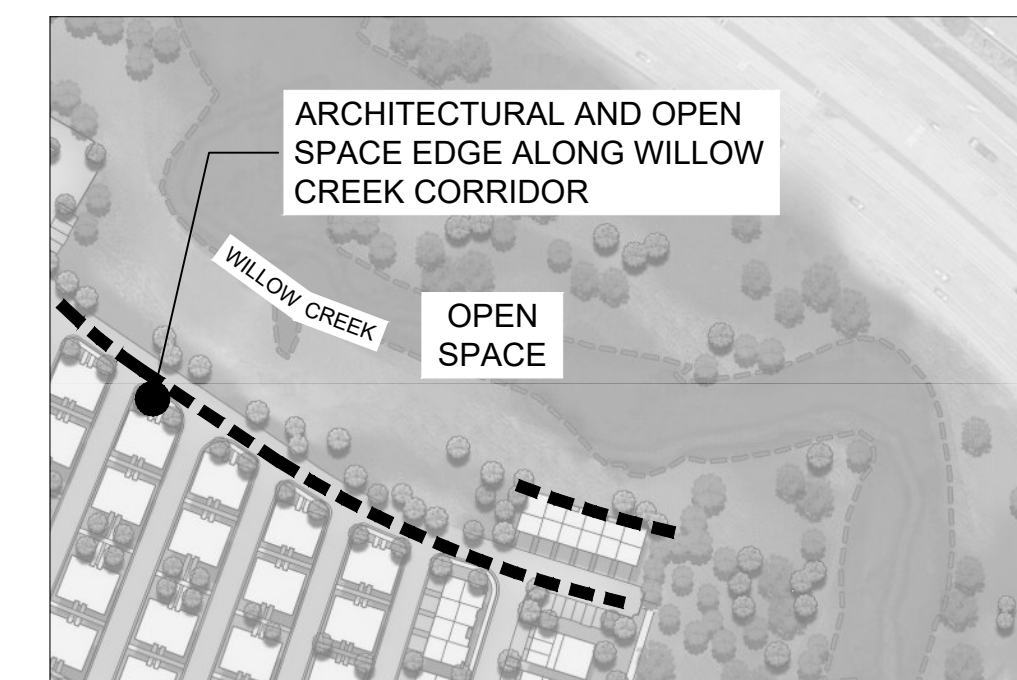
PLAN DIAGRAMS ARE CONCEPTUAL AND ILLUSTRATIVE. STREETS, TRAIL ALIGNMENTS AND ACCESS POINTS ARE SUBJECT TO CHANGE AND REFINEMENT.

- A MINIMUM OF TWO PEDESTRIAN CONNECTIONS SHALL BE PROVIDED TO THE PROPOSED PARK MEADOWS DRIVE TRAIL.
- A PEDESTRIAN CONNECTION SHALL BE PROVIDED TO PLANNING AREA 1.
- A PEDESTRIAN CONNECTION SHALL BE PROVIDED TO THE WILLOW CREEK TRAIL AND PARK LOCATED TO THE EAST.
- SHOULD PLANNING AREA 2 BE DEVELOPED TO INCLUDE RESIDENTIAL USES, PUBLIC DEDICATION WILL BE REQUIRED. PLEASE SEE THE WILLOW CREEK MIXED USE OPEN SPACE PLAN FOR PUBLIC LAND DEDICATION, SEE SHEET 8.
- BLOCK PATTERNS SHALL BE DESIGNED TO ENCOURAGE PEDESTRIAN MOBILITY. A STREET, PARKING AREA W/ SIDEWALKS OR PEDESTRIAN CORRIDOR SHALL BE UTILIZED TO DEFINE BLOCKS. THE MAXIMUM DISTANCE BETWEEN PEDESTRIAN CONNECTION POINTS SHALL BE 400'.



PLAN DIAGRAMS ARE CONCEPTUAL AND ILLUSTRATIVE. STREETS, TRAIL ALIGNMENTS AND ACCESS POINTS ARE SUBJECT TO CHANGE AND REFINEMENT.

- BUILDINGS SHALL BE LOCATED AND ORIENTED TOWARDS THE WILLOW CREEK OPEN SPACE CORRIDOR AND PARK MEADOWS DRIVE.



PLAN DIAGRAMS ARE CONCEPTUAL AND ILLUSTRATIVE. STREETS, TRAIL ALIGNMENTS AND ACCESS POINTS ARE SUBJECT TO CHANGE AND REFINEMENT.

- PARKING AND SERVICES AREAS SHALL BE SCREENED FROM PARK MEADOWS DRIVE AND THE WILLOW CREEK OPEN SPACE. LANDSCAPE, BERMS OR SITE WALLS SHALL BE UTILIZED TO SCREEN PARKING AND SERVICE AREAS. SEE CITY OF LONE TREE DESIGN GUIDELINE AND STANDARDS FOR THE SITE PLANNING AND ARCHITECTURE.
- SITE DRAINAGE SHALL BE DIRECTED TO THE EXISTING WATER QUALITY AND DETENTION POND LOCATED TO THE NORTHWEST OF PLANNING AREA 2.

END OF SECTION

WILLOW CREEK MIXED USE DISTRICT PLANNED DEVELOPMENT

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT I (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

WILLOW CREEK MU DISTRICT DEVELOPMENT PLAN

COMMERCIAL/RETAIL - PLANNING AREA 3

COMMERCIAL PLANNING AREA 3 APPROXIMATELY 4.8 ACRES AND IS LOCATED WITHIN THE SOUTHEAST QUADRANT OF THE PROPERTY AT THE NORTHWEST CORNER OF THE PARK MEADOWS DRIVE AND YOSEMITE STREET INTERSECTION. ADJACENT LAND USES LOCATED TO THE WEST INCLUDES THE WILLOW CREEK OPEN SPACE CORRIDOR. EXISTING COMMERCIAL/RETAIL BUILDINGS ARE LOCATED TO THE SOUTH AND EAST. THE PROPERTY LOCATED TO THE NORTH IS CURRENTLY UNDEVELOPED.

PRIMARY ACCESS IS PROVIDED SHARE DRIVE VIA YOSEMITE STREET. PLANNING AREA 3 IS VISIBLE FROM BOTH YOSEMITE STREET AND PARK MEADOWS DRIVE. THE PROPOSED PARK MEADOWS TRAIL WILL BE LOCATED ALONG THE SOUTHERN PERIMETER OF PLANNING AREA 3. AN EXISTING ATTACHED SIDEWALK IS LOCATED ON THE WEST SIDE OF YOSEMITE STREET.

GIVEN THE LOCATION AND VISIBILITY, THIS PROPERTY IS PROPOSED TO INCLUDE COMMERCIAL AND RETAIL USES. PRINCIPAL, USE BY SPECIAL REVIEW, AND ACCESSORY LAND USES FOR THIS PLANNING AREA ARE OUTLINED ON THE LAND USE MATRIX (SEE SHEET 9).

DEVELOPMENT STANDARDS AND GUIDELINES

THE CITY OF LONE TREE SITE PLANNING, ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES AND STANDARDS SHALL APPLY. FUTURE DEVELOPMENT APPLICATIONS WILL BE REVIEWED AGAINST THE PLANNING PRINCIPLES (SEE SHEET 3). IN ADDITION TO THE CITY OF LONE TREE STANDARDS AND GUIDELINES, THE FOLLOWING DEVELOPMENT STANDARDS SHALL BE APPLIED TO EACH PROJECT.

SETBACKS

PARK MEADOWS DRIVE (MAXIMUM):	30 FEET
YOSEMITE STREET (MAXIMUM):	30 FEET
PLANNING AREA THREE SETBACK (MINIMUM):	
- BUSINESS OR COMMERCIAL: (BETWEEN COMMERCIAL USES)	NO SETBACK
- MULTI-FAMILY RESIDENTIAL: (BETWEEN MULTI-FAMILY & COMMERCIAL USES)	20 FEET
- OPEN SPACE, NON-TRAIL:	10 FEET

MINIMUM LOT AREA

- THERE IS NO MINIMUM LOT AREA

LANDSCAPE

- A MINIMUM OF FIFTEEN PERCENT (15%) OF EACH SITE SHALL BE MAINTAINED AS LANDSCAPED AREA, LANDSCAPE AMENITIES, RECREATION AREAS AND PEDESTRIAN WALKWAYS OR PLAZAS AND SHALL BE ALLOWED WITHIN THE REQUIRED LANDSCAPE AREA

BUILDING HEIGHT

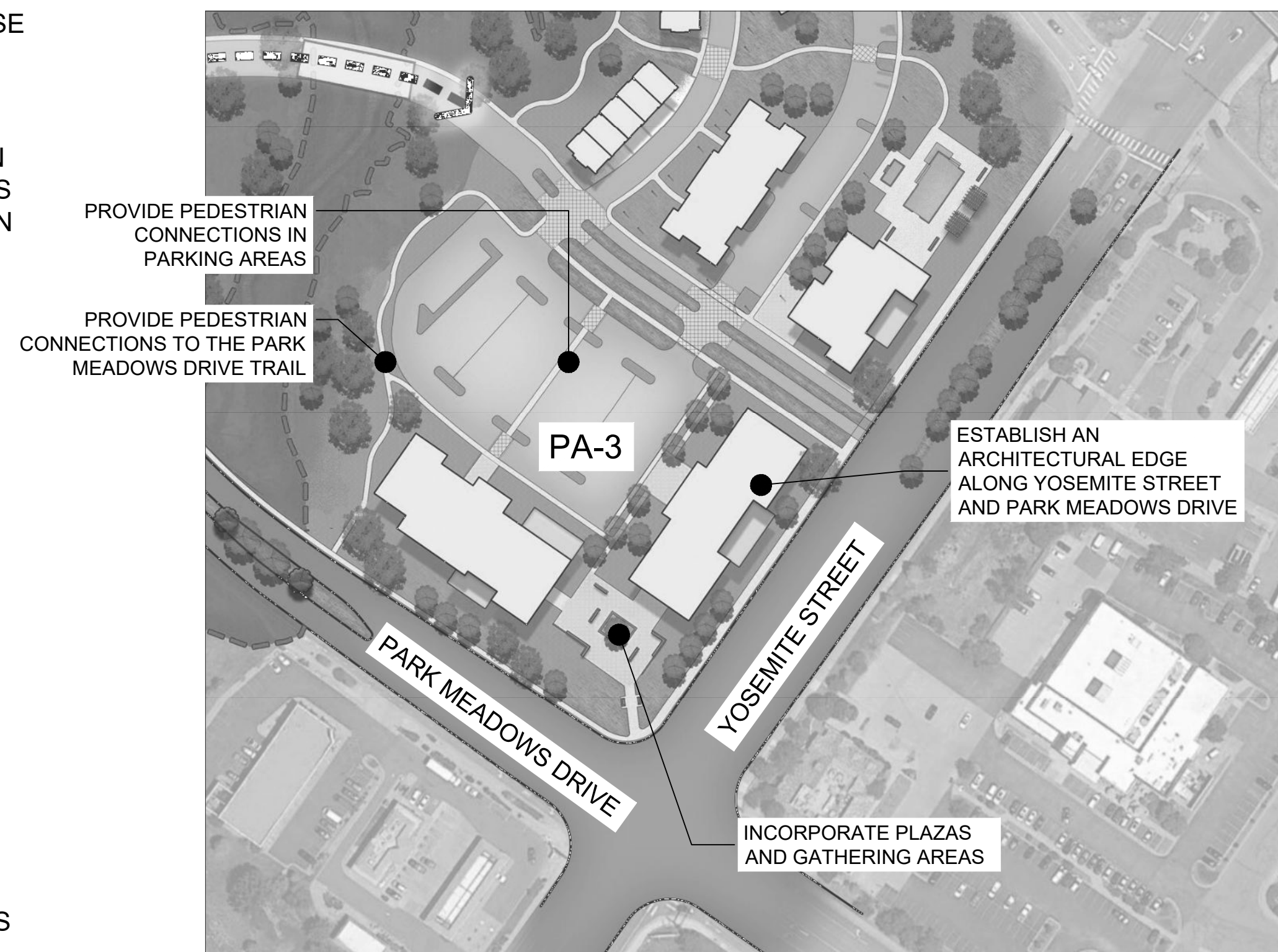
- MAXIMUM BUILDING HEIGHT: SIXTY FIVE (65) FEET. BUILDING HEIGHT EXCEPTIONS ARE PERMITTED AS DEFINED IN THE CITY'S COMMERCIAL DISTRICT.

RETAINING WALLS

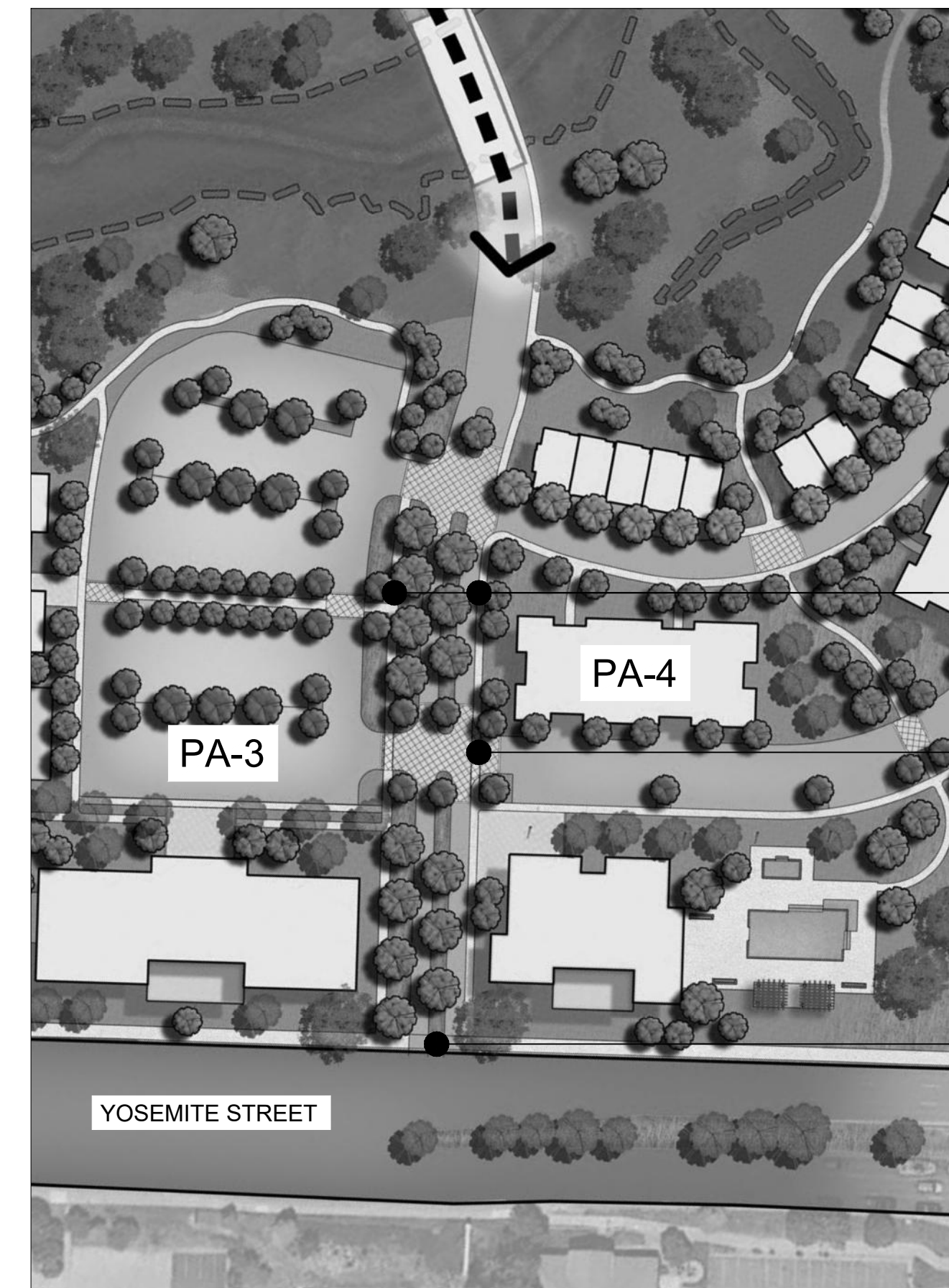
- RETAINING WALLS FOR INDIVIDUAL PROJECTS SHALL BE CONSISTENT WITH THE CITY OF LONE TREE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING.
- RETAINING WALL HEIGHTS REQUIRED FOR THE WILLOW CREEK BANK STABILIZATION MAY BE INCREASED AS REQUIRED TO RETAIN SLOPES AND REDUCE EROSION. RETAINING WALL HEIGHTS WILL BE REVIEWED AND DETERMINED WITH THE BANK STABILIZATION PROJECTS.

DESIGN STANDARDS

- A PEDESTRIAN CONNECTION SHALL BE PROVIDED TO PLANNING AREA 4.
- A PEDESTRIAN CONNECTION SHALL BE MADE TO THE PARK MEADOWS TRAIL AND THE YOSEMITE STREET SIDEWALK.
- GIVEN THE HIGH VISIBILITY OF THIS PLANNING AREA, THE INTENT WILL BE TO ESTABLISH AN ARCHITECTURAL EDGE ALONG YOSEMITE STREET AND PARK MEADOWS DRIVE. PLAZAS, OUTDOOR DINING AND LANDSCAPE AREAS CAN BE ORIENTED TOWARDS THE INTERSECTION AND STREET TO REINFORCE THE EDGE.
- A BUILDING ENTRANCE FOR EACH STRUCTURE SHALL BE ORIENTED TO YOSEMITE STREET AND PARK MEADOWS DRIVE. BUILDING ENTRANCES SHALL CONNECT TO WALKS LOCATED ADJACENT TO YOSEMITE STREET AND PARK MEADOWS DRIVE.



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END OF SECTION

- PARKING AND SERVICE AREAS SHALL BE SCREENED FROM PARK MEADOWS DRIVE, YOSEMITE STREET AND WILLOW CREEK OPEN SPACE. LANDSCAPE, BERMS OR SITE WALLS SHALL BE UTILIZED TO SCREEN PARKING AND SERVICE AREAS. SEE CITY OF LONE TREE DESIGN GUIDELINE AND STANDARDS FOR THE SITE PLANNING AND ARCHITECTURE.

- THE SHARED YOSEMITE STREET ACCESS POINT AND DRIVE DESIGN SHALL BE COORDINATED WITH BOTH PLANNING AREA 3 AND 4. THE ACCESS DRIVE SHALL INCLUDE PEDESTRIAN WALKS THAT CONNECT TO THE YOSEMITE STREET SIDEWALK AND TO THE PEDESTRIAN WALK LOCATED ADJACENT TO WILLOW CREEK.

WILLOW CREEK MIXED USE DISTRICT

PLANNED DEVELOPMENT

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT I (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

WILLOW CREEK MU DISTRICT DEVELOPMENT PLAN

MIXED USE - PLANNING AREA 4

COMMERCIAL PLANNING AREA 4 APPROXIMATELY 9.6 ACRES AND IS LOCATED WITHIN THE CENTRAL QUADRANT OF THE PROPERTY. ADJACENT LAND USES LOCATED TO THE WEST INCLUDES THE WILLOW CREEK OPEN SPACE CORRIDOR. THE COLORADO 470 HIGHWAY IS LOCATED TO THE NORTH THAT INCLUDES THE EAST BOUND OFF-RAMP THAT CONNECTS TO YOSEMITE STREET. COMMERCIAL USES ARE LOCATED EAST OF PLANNING 4 ACROSS FROM YOSEMITE STREET.

PRIMARY ACCESS IS PROVIDED VIA SHARE ACCESS AT YOSEMITE STREET. EASTERN PORTIONS OF THE PLANNING AREA HAS LIMITED VISIBILITY FROM C-470. THE SITE DOES HAVE GOOD VISIBILITY FROM YOSEMITE STREET.

GIVEN THE LOCATION AND VISIBILITY, THIS PROPERTY IS DESIGNATED AS MIXED-USE WITH THE ABILITY TO ACCOMMODATE NON-RESIDENTIAL AND RESIDENTIAL LAND USES. PRINCIPAL, USE BY SPECIAL REVIEW, AND ACCESSORY LAND USES FOR THIS PLANNING AREA ARE OUTLINED ON THE LAND USE MATRIX (SEE SHEET 9).

DEVELOPMENT STANDARDS AND GUIDELINES

THE CITY OF LONE TREE SITE PLANNING, ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES AND STANDARDS SHALL APPLY. FUTURE DEVELOPMENT APPLICATIONS WILL BE REVIEWED AGAINST THE PLANNING PRINCIPLES (SEE SHEET 3). IN ADDITION TO THE CITY OF LONE TREE STANDARDS AND GUIDELINES, THE FOLLOWING DEVELOPMENT STANDARDS SHALL BE APPLIED TO EACH PROJECT.

SETBACKS

PLANNING AREA FOUR SETBACK (MINIMUM):

- BUSINESS OR COMMERCIAL: NO SETBACK
(BETWEEN COMMERCIAL USES)
- MULTI-FAMILY RESIDENTIAL: 20 FEET
(BETWEEN MULTI-FAMILY & COMMERCIAL USES)
- MULTI-FAMILY C-470 SETBACK: 40 FEET
(PARKING CAN ENCROACH 30' INTO SETBACK)
- SINGLE-FAMILY ATTACHED AND TOWNHOME LOTS 0 SETBACK
- REAR YARD SETBACK: 15 FEET
- MINIMUM DISTANCE BETWEEN BUILDINGS: 10 FEET
- OPEN SPACE, NON-TRAIL: 10 FEET

MINIMUM LOT AREA

- THERE IS NO MINIMUM LOT AREA

LANDSCAPE

- A MINIMUM OF FIFTEEN PERCENT (15%) OF EACH SITE SHALL BE MAINTAINED AS LANDSCAPED AREA, LANDSCAPE AMENITIES, RECREATION AREAS AND PEDESTRIAN WALKWAYS OR PLAZAS AND SHALL BE ALLOWED WITHIN THE REQUIRED LANDSCAPE AREA.

BUILDING HEIGHT

- MAXIMUM BUILDING HEIGHT: SIXTY FIVE (65) FEET. BUILDING HEIGHT EXCEPTIONS ARE PERMITTED AS DEFINED IN THE CITY'S COMMERCIAL DISTRICT.

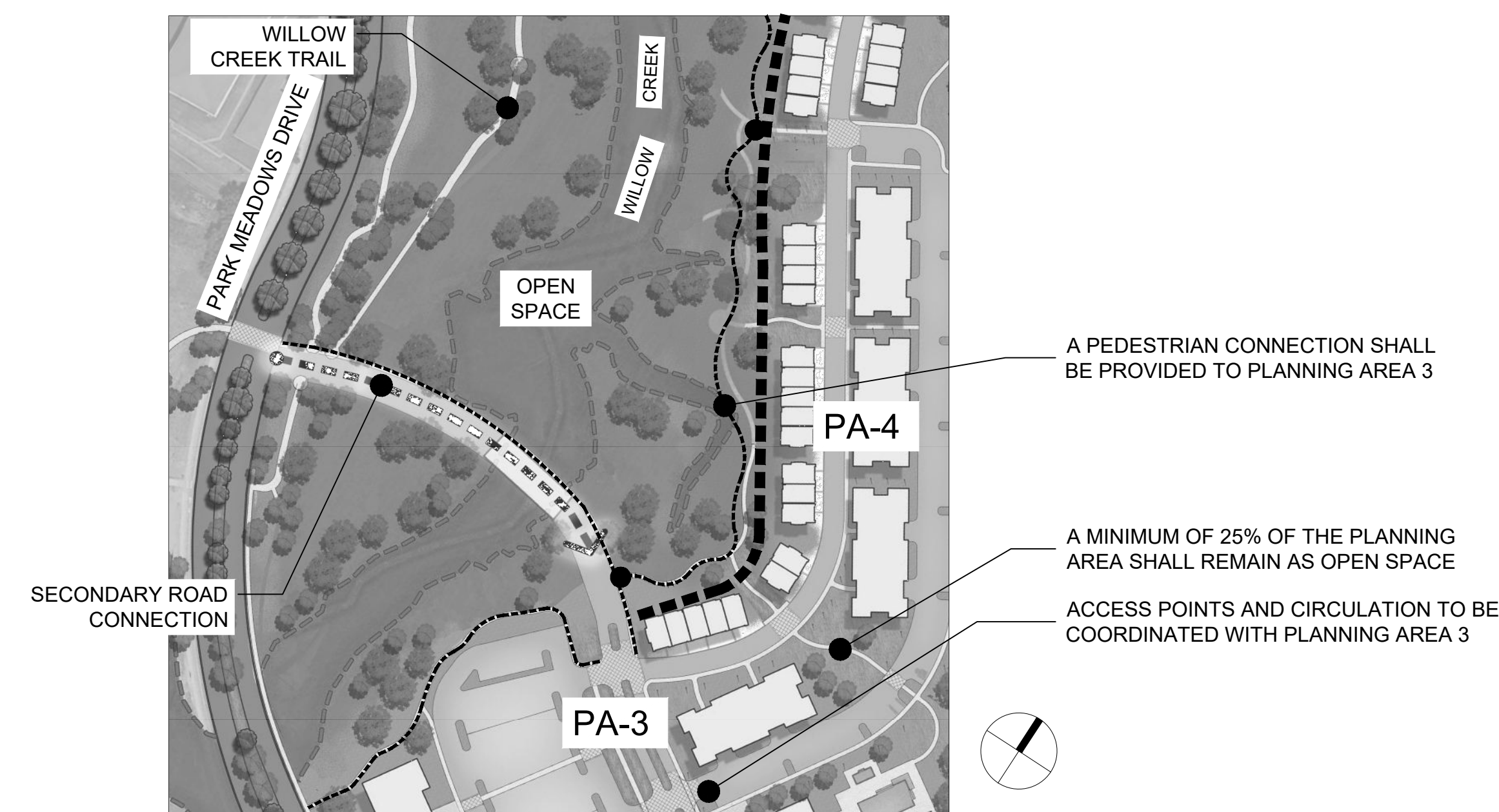
RETAINING WALLS

- RETAINING WALLS FOR INDIVIDUAL PROJECTS SHALL BE CONSISTENT WITH THE CITY OF LONE TREE DESIGN GUIDELINES AND STANDARDS FOR LANDSCAPING.
- RETAINING WALL HEIGHTS REQUIRED FOR THE WILLOW CREEK BANK STABILIZATION MAY BE INCREASED AS REQUIRED TO RETAIN SLOPES AND REDUCE EROSION. RETAINING WALL HEIGHTS WILL BE REVIEWED AND DETERMINED WITH THE BANK STABILIZATION PROJECTS.

DESIGN STANDARDS

- A PEDESTRIAN CONNECTION SHALL BE PROVIDED TO PLANNING AREA 3. THE PEDESTRIAN CONNECTION CAN BE PROVIDED INTERNALLY OR ALONG THE PERIMETER OF THE PROPERTY ADJACENT TO THE WILLOW CREEK OPEN SPACE CORRIDOR.
- SHOULD PLANNING AREA 4 BE DEVELOPED TO INCLUDE RESIDENTIAL USES, PUBLIC DEDICATION WILL BE REQUIRED. PLEASE SEE THE WILLOW CREEK MIXED USE OPEN SPACE PLAN FOR PUBLIC LAND DEDICATION, SEE SHEET 9.
- BLOCK PATTERNS SHALL BE DESIGNED TO ENCOURAGE PEDESTRIAN MOBILITY. A STREET, PARKING AREA W/ SIDEWALKS OR PEDESTRIAN CORRIDOR SHALL BE UTILIZED TO DEFINE BLOCKS. THE MAXIMUM DISTANCE BETWEEN PEDESTRIAN CONNECTION POINTS SHALL BE 400'.
- BUILDINGS SHALL BE LOCATED AND ORIENTED TOWARDS THE WILLOW CREEK OPEN SPACE CORRIDOR AS OPPOSED TO C-470.

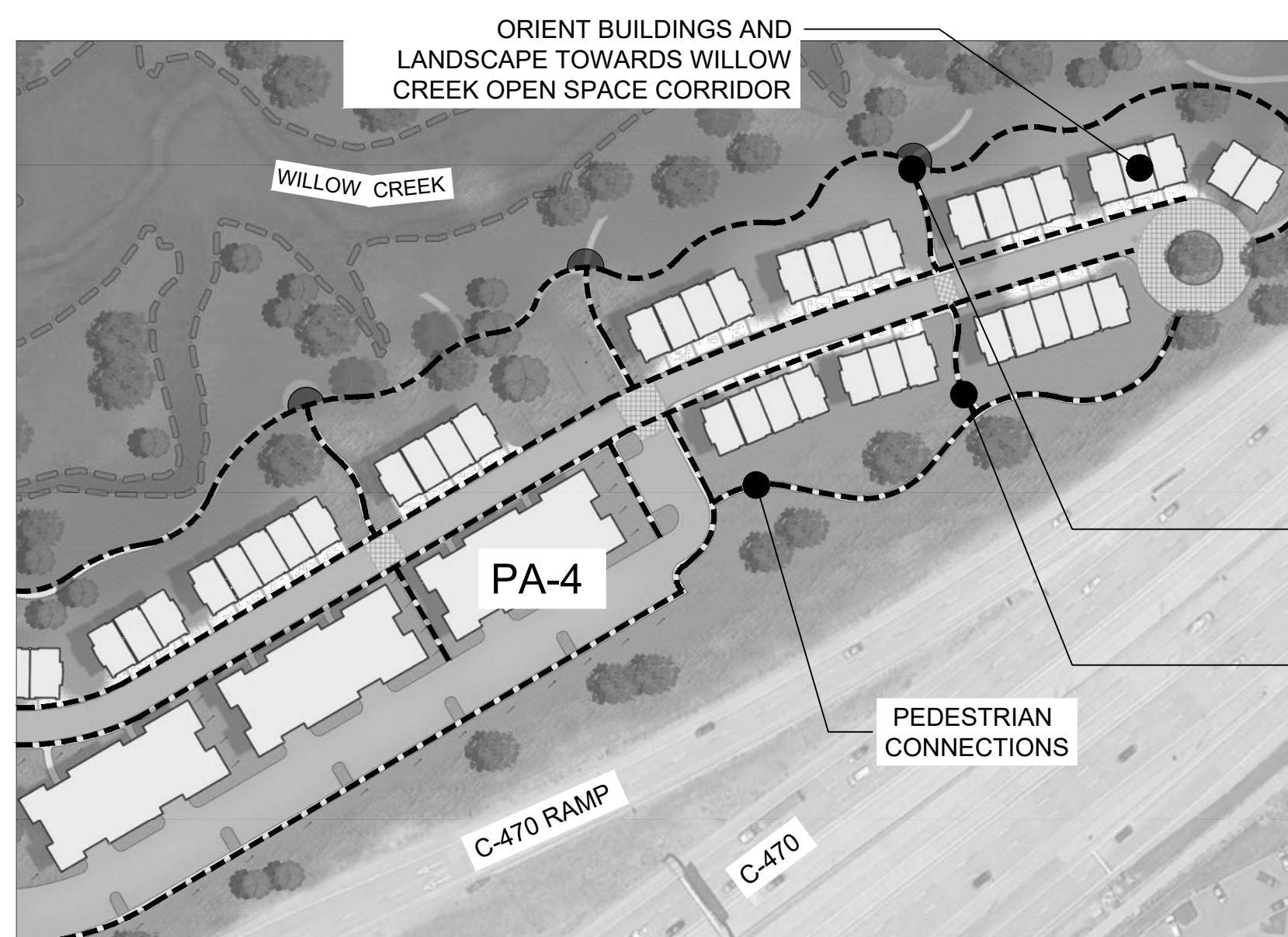
- THE SECONDARY ROAD CONNECTION SHALL AT A MINIMUM CONTAIN A PEDESTRIAN WALK ON ONE SIDE OF THE STREET
- THE SECONDARY ROAD CONNECTION INTERSECTION AND ALIGNMENT SHALL BE INTEGRATED WITH THE WILLOW CREEK TRAIL AND CROSSING



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- PARKING AND SERVICE AREAS SHALL BE SCREENED FROM PARK MEADOWS DRIVE, YOSEMITE STREET AND WILLOW CREEK OPEN SPACE. LANDSCAPE, BERMS OR SITE WALLS SHALL BE UTILIZED TO SCREEN PARKING AND SERVICE AREAS. SEE CITY OF LONE TREE DESIGN GUIDELINE AND STANDARDS FOR THE SITE PLANNING AND ARCHITECTURE.
- THE SHARED YOSEMITE STREET ACCESS POINT AND DRIVE DESIGN SHALL BE COORDINATED WITH BOTH PLANNING AREA 3 AND 4. THE ACCESS DRIVE SHALL INCLUDE PEDESTRIAN WALKS THAT CONNECT TO THE YOSEMITE STREET SIDEWALK AND TO THE PEDESTRIAN WALK LOCATED ADJACENT TO WILLOW CREEK.

END OF SECTION



PLAN DIAGRAMS ARE CONCEPTUAL AND ILLUSTRATIVE. STREETS, TRAIL ALIGNMENTS AND ACCESS POINTS ARE SUBJECT TO CHANGE AND REFINEMENT.

- RESIDENTIAL NEIGHBORHOODS TO INCORPORATE PEDESTRIAN CONNECTIONS AND OVERLOOKS ALONG WILLOW CREEK OPEN SPACE CORRIDOR
- CREATE WALKABLE BLOCKS WITH ALTERNATIVE ROUTES AND PEDESTRIAN CONNECTIONS

WILLOW CREEK MIXED USE DISTRICT PLANNED DEVELOPMENT

WILLOW CREEK MU DISTRICT DEVELOPMENT PLAN

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT 1 (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

WILLOW CREEK OPEN SPACE PLAN

THE WILLOW CREEK OPEN SPACE PLAN INCORPORATES SPECIFIC INTEGRATED PLANNING PRINCIPLES RELATED TO PRESERVATION, CONNECTIVITY AND RECREATION. THIS PLAN INCLUDES REINFORCING THE WILLOW CREEK OPEN SPACE CORRIDOR AND TRAIL SYSTEM.

LOCATED WITHIN THE CENTER OF THE WILLOW CREEK MIXED USE PLANNED DEVELOPMENT IS THE WILLOW CREEK OPEN SPACE AND TRAIL CORRIDOR. THIS CORRIDOR IS OWNED BY THE CITY OF THE LONE TREE. GIVEN THE NATURAL CHARACTERISTICS AND ADJACENCIES, THIS CORRIDOR CAN SERVE AS AN ORGANIZING ELEMENT TO ENHANCE COMMUNITY CONNECTIVITY, RECREATION, SCENIC QUALITY AND SAFETY.

THE WILLOW CREEK OPEN SPACE ALSO INCLUDES ENHANCING EXISTING LINKAGES AND PROVIDING ADDITIONAL COMMUNITY CONNECTIONS. THESE LINKAGES WILL ALSO IMPROVE CONNECTIVITY FOR EXISTING AND FUTURE NEIGHBORHOODS.

THIS OPEN SPACE PLAN INCLUDES PUBLIC LAND DEDICATION CONSIDERATIONS THAT INCLUDES PROVIDING ADDITIONAL LAND, TRAILS, AND RECREATION IMPROVEMENTS. THESE IMPROVEMENTS WILL BE COMPLETED ON AND OFF-SITE OF THE WILLOW CREEK PARCELS.

THE CITY OF LONE TREE AND MILE HIGH FLOOD CONTROL DISTRICT SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR IMPROVEMENTS TO BE COMPLETED WITHIN THE WILLOW CREEK FLOODPLAIN.

BELOW IS AN OUTLINE OF COMPONENTS INCLUDED IN THE OPEN SPACE PLAN.

PUBLIC LAND DEDICATION

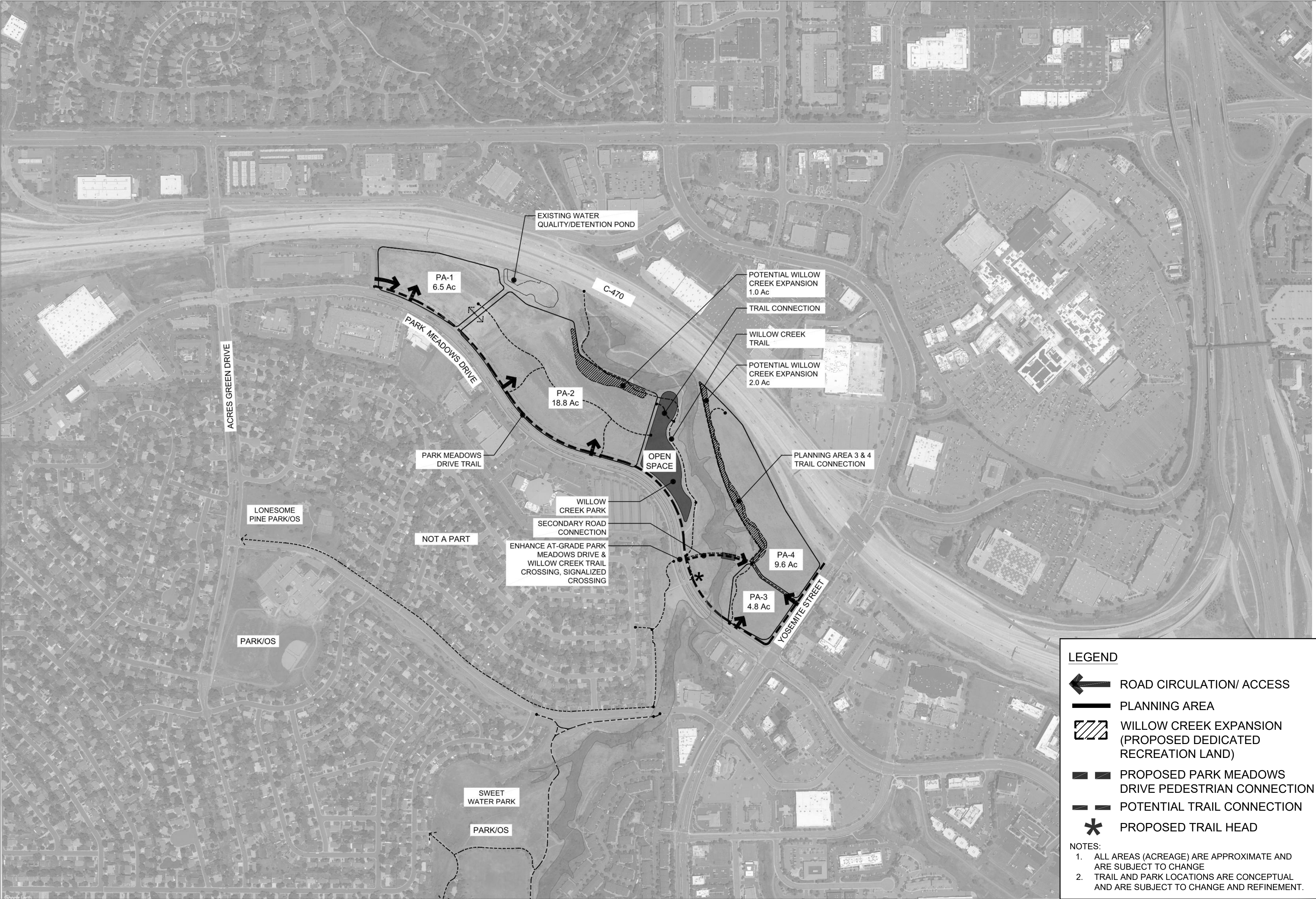
- PROVIDE AN 8' DETACHED SIDEWALK ALONG YOSEMITE STREET.
- CONSTRUCT A 15' WIDE DETACHED CONCRETE TRAIL ALONG THE NORTH SIDE OF PARK MEADOWS DRIVE ADJACENT PLANNING AREAS 1, 2, 3 AND THE CITY PARCEL. THE PARK MEADOWS TRAIL WILL BE DESIGNED WITH THE FIRST PLAT WITHIN PLANNING AREAS 1, 2 AND 3.
- PROVIDE ENHANCED AT-GRADE CROSSING FOR THE EXISTING WILLOW CREEK TRAIL AT PARK MEADOWS DRIVE. THIS CROSSING WILL OCCUR AT A FULL ACCESS SIGNALIZED INTERSECTION.
- PROVIDE AN 8' WIDE CONCRETE TRAIL ALONG THE SOUTH SIDE OF PLANNING AREA 4 TO CONNECT WITH THE NORTH SIDE OF PLANNING AREA 3. TRAIL TO INCLUDE TWO OVERLOOKS WITH BENCHES. THE TRAIL SHALL BE DESIGNED WITH THE FIRST PLAT LOCATED WITHIN PLANNING AREAS 3 AND 4.

PLANNING AREA 2 - SHOULD PLANNING AREA 2 BE DEVELOPED AS RESIDENTIAL, THE FOLLOWING PUBLIC LAND DEDICATION AND IMPROVEMENTS SHALL BE PROVIDED AT THE TIME OF PLAT. THE FOLLOWING SHALL COMPLETE ALL PUBLIC DEDICATION REQUIREMENTS.

- DEDICATE 1.0 ACRE LOCATED ALONG THE NORTH PERIMETER OF PLANNING AREA 2 ADJACENT TO THE WILLOW CREEK CORRIDOR.
- INCORPORATE A PARK WITHIN THE WILLOW CREEK OPEN SPACE CORRIDOR. THIS PARK WILL BE LOCATED EAST OF PLANNING AREA 2 WITHIN THE CITY PARCEL ADJACENT TO THE WILLOW CREEK TRAIL. THIS POCKET PARK WILL BE APPROXIMATELY 2.9 ACRES. APPROXIMATELY 50% OF THE PARK IS TO BE CONSTRUCTED TO ACCOMMODATE ACTIVE RECREATION. ACTIVE RECREATION COMPONENTS SHALL INCLUDE A SHADE PAVILION, MULTI-PURPOSE TURF AREA AND PICNIC TABLES. APPROXIMATELY 50% OF THE PARK SHALL BE CONSTRUCTED TO ACCOMMODATE PASSIVE RECREATION ELEMENTS THAT MAY INCLUDE AN 8' WIDE MEANDERING TRAIL AND BENCHES.

PLANNING AREA 4- SHOULD PLANNING AREA 4 BE DEVELOPED AS RESIDENTIAL, THE FOLLOWING PUBLIC LAND DEDICATION AND IMPROVEMENTS SHALL BE PROVIDED AT THE TIME OF PLAT. THE FOLLOWING SHALL COMPLETE ALL REQUIRED PUBLIC DEDICATION REQUIREMENTS.

- DEDICATE 2.0 ACRES ON THE SOUTH SIDE OF PLANNING AREA 4 ADJACENT TO THE WILLOW CREEK OPEN SPACE CORRIDOR.



END OF SECTION



DEVELOPMENT STANDARDS AND GUIDELINES
Open Space & Public Land Dedication

SHEET 8 OF 9

Scale: N/A
Date: JUNE 20, 2023
Revision/Submittal Dates: 10/06/2023, 11/10/2023

WILLOW CREEK MIXED USE DISTRICT

PLANNED DEVELOPMENT

LOT 1B-1, PARKWAY SUBDIVISION FILING NO. 2, 9TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO. LOT 2, BLOCK 2, PARKWAYS SUBDIVISION FILING NO. 2, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO. TRACT E AND BA, PARK MEADOWS FILING ONE FIRST AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO, RECORDED MAY 22, 1985 AT RECEPTION NUMBER 353654. A PARCEL OF LAND LOCATED IN TRACT 1 (B), PARK MEADOWS FILING ONE, FIRST AMENDMENT, SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

LAND USE CLASSIFICATION	PA-1	PA-2	PA-3	PA-4
COMMERCIAL USES				
Bar/Lounge	P	P	P	P
Bank (no drive-thru facilities)	P	P	P	P
Bank (w /drive-thru facilities)	P	P	-	P
Church or Church School	P	P	P	P
Construction Office, Temporary	P	P	P	P
Convenience Store without Gas Pump	P	P	P	P
Daycare Center (outdoor play area shall be enclosed by six-foot fence)	P	P	P	P
Educational and vocational training institutions	P	P	P	P
Fire Station	P	P	P	P
Furniture or major household appliance repair	P	P	P	P
Hospital (No Heliport)	P	P	P	P
Hotels/motels and conference and meeting facilities	P	P	P	P
Library	P	P	P	P
Light industrial facilities, including manufacture, fabrication, processing or assembling of products, provided, however, that no effects from noise, smoke, glare, vibration, fumes or other environmental	P	P	S	P
Liquor Store	P	P	P	P
Office, General, Medical, Dental, Including All Professional and Governmental Activities	P	P	P	P
Open Space/Trails	P	P	P	P
Park/Playground	P	P	P	P
Parking Lot, Public or Private	P	P	P	P
Research and Development Facilities	P	P	P	P
Recreational Facilities, public or private (Indoor or Outdoor Facilities)	P	P	P	P
Restaurant/Fast Food Establishment (drive thru)	P	P	-	P
Restaurant/Fast Food Establishment (no drive thru)	P	P	P	P
Retail/Service Business	P	P	P	P
School, Including College or University and Related Facilities (Public or Private)	P	P	P	P
Sheriff Substation	P	P	P	P
Theater, Indoor	P	P	P	P
Utility Service Facility	P	P	P	P
Veterinary clinic/hospitals, animals, shall be confined in an enclosed structure of primary building	P	P	P	P
Warehousing and Distribution Facilities, Mini Warehouses Excluded	P	P	P	P

RESIDENTIAL USES	PA-1	PA-2	PA-3	PA-4
Boarding House or Rooming House	-	S	-	S
Nursing Home, Convalescent Home or Other Extended-Care Facility	P	P	-	P
Residence: Multi-Family Dw elling	-	P	-	P
Residence: Single-Family Attached (Townhouses, patio)	-	P	-	P
Retirement Home	P	P	-	P
Sales Office, Temporary	-	P	P	-
Family Childcare Homes	-	P	-	P
Accessory Uses and Buildings	-	A	-	A

LEGEND

LAND USE	
P	PERMITTED USE
A	ACCESSORY USE
S	USE BY SPECIAL REVIEW
-	EXCLUDED USE
PA-1	PLANNING AREA 1 (COMMERCIAL)
PA-2	PLANNING AREA 2 (MIXED-USE)
PA-3	PLANNING AREA 3 (COMMERCIAL)
PA-4	PLANNING AREA 4 (MIXED-USE)

