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Landscape Architecture
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Environmental Graphic Design

1390 Lawrence Street
Suite 100
Denver, Colorado 80204
303.623.5186
designworkshop.com

MEMORANDUM

To: City of Lone Tree
From: Design Workshop
Date: 09/11/26
Project Name: Lone Tree Unified Development Code
Project #: 9218
Subject: Open House Summary
Copy To: File

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Community Open House Engagement Summary

Introduction

The City of Lone Tree and Design Workshop hosted a community open house on August 26th, 2026 as part of the Lone Tree Unified Development Code (UDC) Update. The open house provided an opportunity for community members to learn about the UDC update, understand how development and land use regulations influence the built and natural environment, and provide input on key policy and design topics that will inform development of the new code.

Approximately 30 community members participated in the open house. A formal sign-in was not conducted because attendees were already included on the project communication list; therefore, attendance is estimated based on observations during the event.

The open house was organized as a self-guided workshop with interactive boards addressing key topics that will be addressed with the development of the Unified Development Code: site design, parking, transportation and connectivity, mixed-use zoning, accessory dwelling units (ADUs), signs, landscaping and natural resources, public spaces, and park dedication standards. Interactive activities included dot voting, preference exercises, and open-ended comments. The boards connected each topic to goals and objectives from Lone Tree Elevated to help participants understand how community input will inform implementation of the Comprehensive Plan through the UDC. Attendees participated in the different activities at their leisure, with some placing dots and comments on the available posters, and other participating through conversation with staff and the consultant team.

Engagement Activities

The open house was designed to combine education with opportunities for participants to express preferences and consider tradeoffs. Rather than asking participants simply whether they supported or opposed individual regulations, activities focused on the qualities and outcomes they would like future development to achieve. Participants were invited to identify priorities, compare alternative approaches, respond to images and examples, and provide written comments. Several questions allowed participants to select multiple responses. Based on observations during the event, some participants selected fewer options than permitted, so vote totals should be understood as an indication of relative priorities and preferences from those in attendance. Similarly, several activities used different colored dots to indicate levels of comfort or support, but participants did not always use the colors as instructed. Those results are therefore interpreted cautiously.

Summary of Results

Several themes emerged across the engagement activities. Overall, participants desire a community that is well connected, safe, supports economic development, and prioritizes natural areas and pedestrian connectivity. Taken together, the open house results indicate several areas of relatively strong community direction for the next steps in the UDC update:

- Prioritize connected, comfortable pedestrian environments. Participants consistently valued continuous sidewalks, safe crossings, direct connections, shade, and access to trails and destinations.

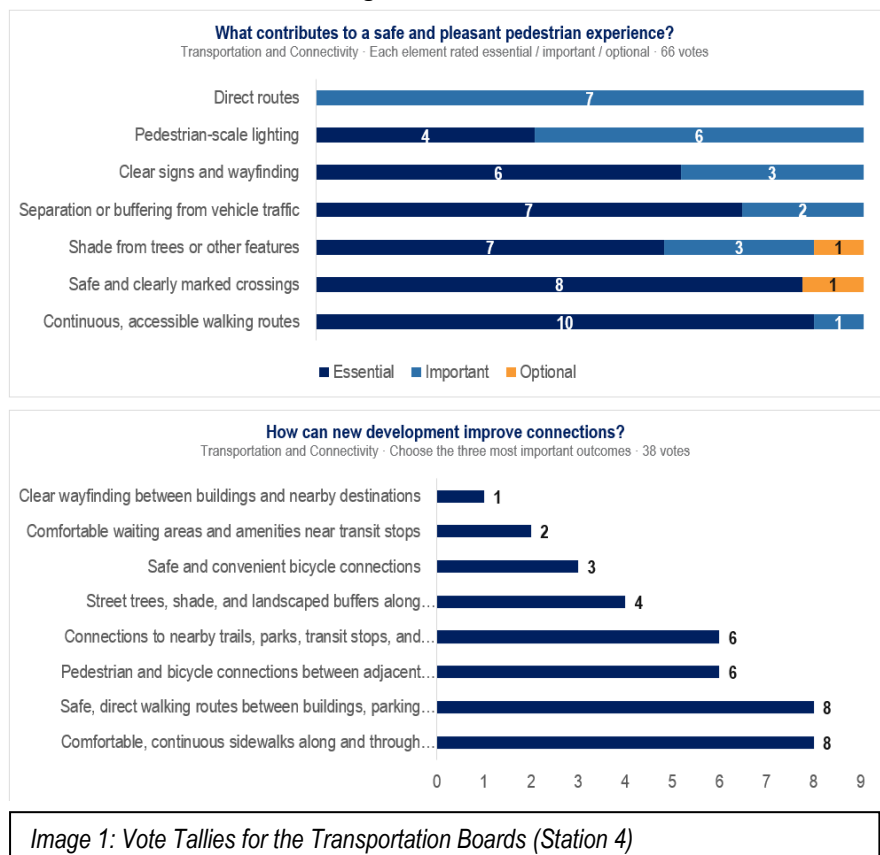
- Use design standards to reinforce quality and community character. Signage, landscaping, public spaces, and site design feedback generally favored clear expectations for high-quality design rather than maximizing flexibility without standards.
- Support mixed-use development that creates genuinely active places. Participants placed particular value on active ground floors, public-facing uses, outdoor dining, gathering spaces, and small storefronts.
- Balance parking and development needs rather than allowing parking to dominate site design. Feedback favored flexibility paired with landscaping, screening, and consideration of buildings and public spaces.
- Plan parks and public spaces as a connected system. Participants favored trails, smaller connected parks, naturalized landscapes, flexible recreation spaces, and gathering opportunities.
- Build flexibility into park dedication requirements. The nearly even split between on-site and community-wide investment suggests that both approaches may have value depending on development context and community need.
- Approach ADUs with clear compatibility standards. Feedback suggests potential acceptance of ADUs in some circumstances, particularly for family and aging needs, but also concerns about scale, parking, density, rentals, and neighborhood impacts.
- Consider implementation and long-term maintenance when establishing standards. Comments regarding green infrastructure and HOA maintenance reinforce the importance of considering who will maintain improvements after development is completed.

Each of these key priorities is described in more detail in this section, with charts and pictures from the event included for each key theme. Appendix A includes the full tally of all the activities.

Connectivity, Walkability, and Access to Destinations Are Strong Priorities

Participants placed considerable emphasis on creating safe, comfortable, and connected pedestrian environments. Continuous and accessible walking routes received the strongest support as an essential component of the pedestrian experience, followed by safe and clearly marked crossings, shade, and separation from vehicle traffic. Pedestrian-scale lighting and wayfinding were also viewed as important components of a comfortable walking environment.

When asked how new development should improve connectivity, the highest priorities were comfortable, continuous sidewalks along and through development sites, and safe, direct walking routes between buildings, parking areas, and public



sidewalks. Connections between adjacent developments and connections to trails, parks, transit stops, and community destinations also received relatively strong support.

These results reinforce the direction established in Lone Tree Elevated to create a connected multimodal system and suggest that the UDC should emphasize not only the provision of sidewalks, but also the continuity, directness, comfort, and connectivity of pedestrian routes. The Transportation and Connectivity board specifically framed these issues around streets, sidewalks, bicycle facilities, trails, crossings, block length, access, and pedestrian-route requirements.

Mixed-Use Areas Should Be Active, Public-Facing, and Organized Around Gathering Spaces

Participants generally supported mixed-use environments that create activity at the ground level and provide meaningful public spaces. Shops, restaurants, and services received the strongest response as contributors to active ground floors, with the most total votes, including participants indicating through green dots that they contribute strongly. Community, cultural, and civic spaces also received relatively strong support.

Written comments reinforced a preference for ground floors that serve the broader public rather than amenities intended primarily for building residents. One participant specifically commented that ground floors should contain public uses rather than private resident-serving uses, while another expressed interest in increasing the proportion of commercial space relative to residential space.

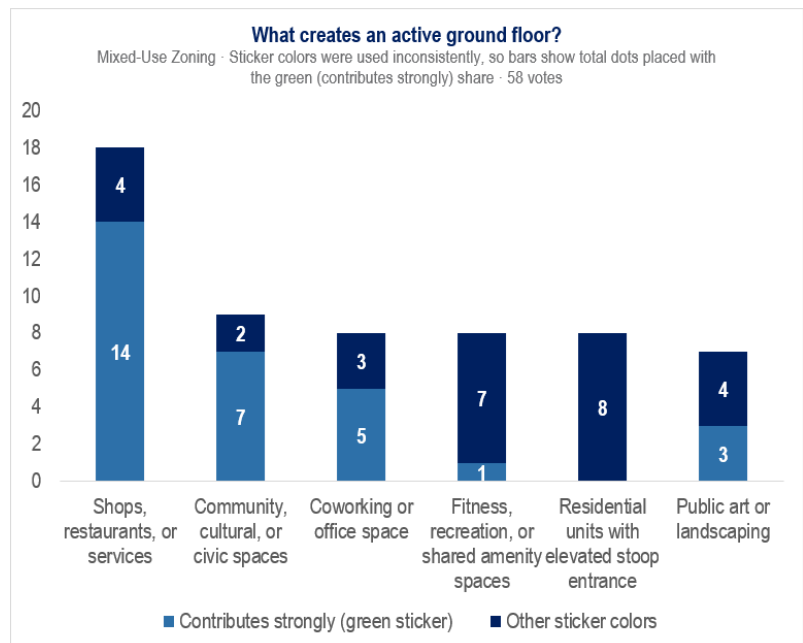


Image 2: Vote Tallies for Active Ground Floor Question, Mixed Use Zoning Boards (Station 5)

When participants considered what makes mixed-use areas successful, the highest-ranked qualities included active ground floors along important streets and public spaces, plazas, pocket parks, and outdoor gathering spaces, and outdoor seating and dining opportunities. Small storefronts and flexible spaces for local businesses also received relatively strong support.

Together, these responses suggest that community interest in mixed-use development is tied not simply to having multiple uses in proximity, but to creating active, walkable places with public-facing uses and spaces for people to gather.

Parking Should Be Balanced with Other Site and Public-Realm Needs

Parking responses suggested an interest in maintaining adequate and functional parking while avoiding allowing parking to dominate site design. When asked which general approach was most important, the strongest response was to balance parking with other site needs, such as buildings, landscaping, and public spaces. Some participants prioritized landscaping and screening to reduce the visual impact of parking, as well as locating parking away from prominent streets.

This feedback suggests that participants may favor a context-sensitive approach rather than a single prescriptive parking strategy. As the UDC is drafted, opportunities may include providing flexibility for different development contexts while using landscaping, placement, shared parking, and other design tools to reduce the impact of parking on walkability and community character.

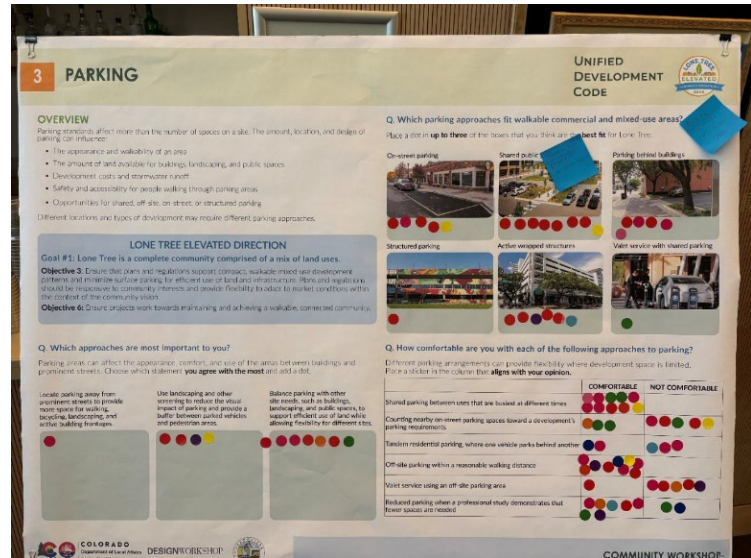


Image 3: Parking Board (Station 3)

High-Quality Sign Design Is More Important Than Simply Increasing Sign Visibility

Signage generated substantial written feedback and one of the clearest preferences among the voting activities. Clearer design standards to ensure signs are attractive, high-quality, and appropriately located were highest priority, with substantially more preference votes than any other signage response. Some participants also supported fewer and smaller signs as a way to create a more attractive and uncluttered streetscape. No participants selected the statement that larger or more visible signs were needed to help people find businesses and destinations.

Written comments provided additional nuance. Participants expressed appreciation for dimensional lettering, natural stone, coordinated directory signs, and signs that reflect Lone Tree's existing character. Concerns focused particularly on oversized and electronic signs, including brightness and nighttime impacts. Multiple comments suggested that electronic signs should be

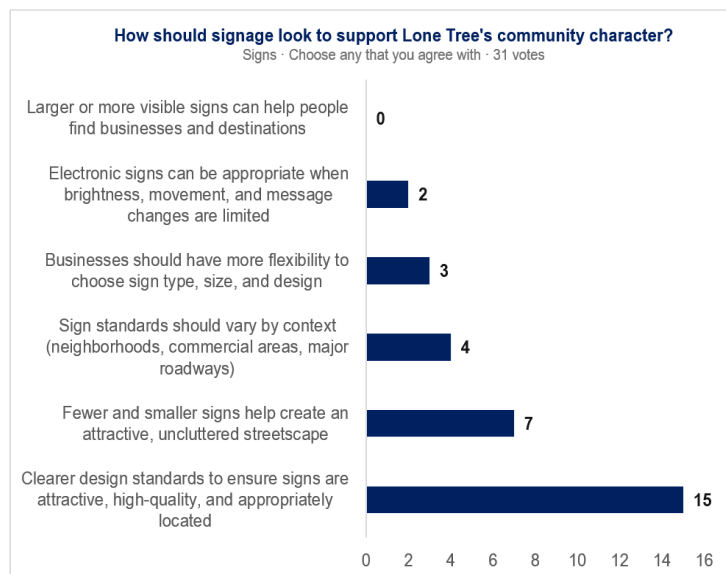


Image 4: Design Standards: Signs Board (Station 7)

turned off at night or be better controlled, and one participant suggested downward-directed sign lighting to minimize impacts on neighboring properties.

At the same time, participants recognized the economic role of signage. One comment emphasized the importance of allowing businesses to maintain brand awareness and avoiding regulations that could discourage commerce. Overall, the feedback suggests support for stronger quality and compatibility standards while maintaining reasonable opportunities for businesses to communicate and maintain their identity.

Landscaping Should Provide Shade, Be Climate-Appropriate, and Remain Maintainable Over Time

Participants identified several complementary priorities for water-wise landscaping. Trees and shade and landscaping that is durable and easy to maintain were the highest priorities, followed closely by native and climate-appropriate plants. Seasonal interest and alternatives to conventional turf also received support.

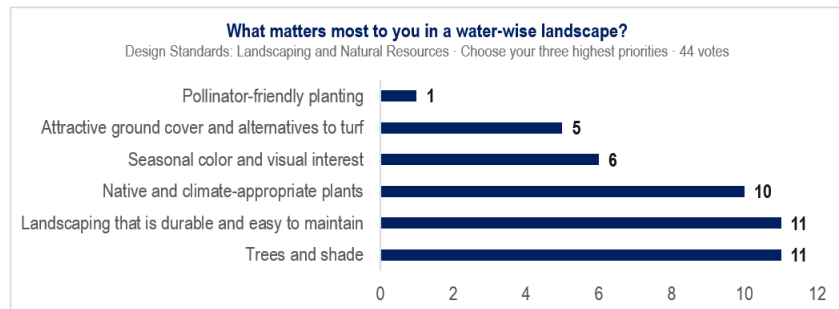


Image 5: Design Standards: Landscaping and Natural Resources Board (Station 8)

Participants were also generally receptive to green infrastructure strategies illustrated on the boards, including rain gardens and parks that can accommodate excess water during large rain events. Written comments described these approaches as creative uses of space and encouraged additional water-quality measures. One participant raised an implementation concern about whether homeowners associations would have the capacity to maintain infrastructure.

This feedback suggests that future landscaping and green infrastructure standards should consider long-term maintenance and responsibility alongside environmental performance and appearance.

Visibility, Lighting, and Activity Influence Perceptions of Safety

Participants emphasized clear sightlines as an important component of safe site design. Clear views along sidewalks, pathways, and gathering spaces was identified as the highest priority of the options identified in the safety question. Well-lit entrances and pedestrian routes, as well as active uses and gathering areas were the next highest identified priority.

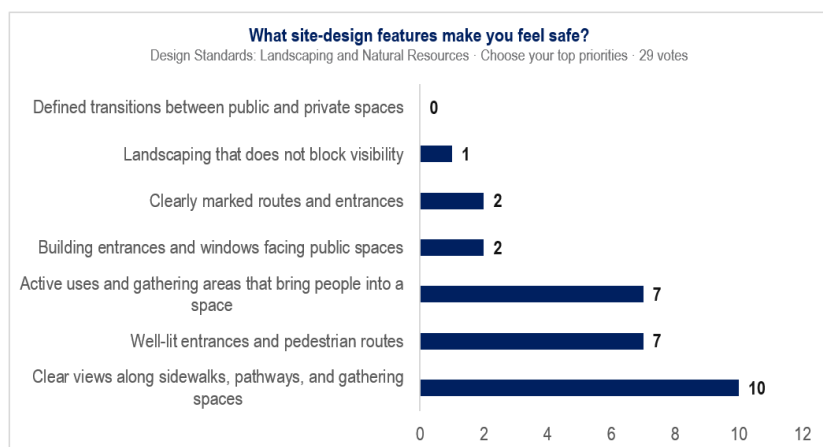


Image 6: Design Standards: Landscaping and Natural Resources Board (Station 8)

These responses indicate that safety is viewed as a combination of physical visibility, appropriate

lighting, and the presence of activity. This could inform landscaping, lighting, building orientation, and public-space standards within the UDC.

Public Spaces Should Emphasize Connectivity, Nature, and Social Interaction

Participants expressed strong preferences regarding the qualities of Lone Tree's parks and public spaces. The highest priority was trails and walking/biking connections, followed by nature and habitat and gathering and social spaces. Recreation and play and shade and comfort also received support. Written comments described public spaces as opportunities to support community connection and contribute to Lone Tree's quality of life.

A trade-off exercise provided additional direction on this topic. Participants strongly preferred:

- *Several smaller parks connected throughout an area over one large park;*
- *Multipurpose recreation spaces over spaces designed for a single activity;*
- *More naturalized spaces over highly landscaped spaces;*
- *Adventure or nature-based playgrounds over traditional playgrounds; and*
- *A hardscape plaza that can support programming over an open, informal gathering space.*

Q. What would you rather have? Balancing tradeoffs.

Public spaces can provide different experiences and benefits. Place **one** sticker next to the outcome you prefer in each scenario. **Choose either** the left option or the right option

One large park	Several small parks connected throughout the area
A recreation space designed for specific activities	A multi-purpose recreation space or field
A highly landscaped space	A more naturalized space
A traditional playground with slides and swings	Adventure or nature based playground
A hardscape plaza for programming	An open, informal gathering space

Image 7: Design Standards: Creating Great Public Spaces (Station 9a)

These preferences point toward a connected and diverse public-space system that combines natural areas, recreation, gathering, and programmed civic spaces rather than relying on a single park type.

Participants also identified dog facilities as an important consideration for future parks. Multiple comments requested dog runs or dog parks, including separation between small and large dogs or by energy level. Participants also emphasized separating dog areas from children's play spaces and athletic fields and providing shade structures near playgrounds.

Participants Were Nearly Evenly Divided on How Development Should Contribute to Parks

The park dedication activity presented participants with a choice between requiring developers to provide parks and amenities within or directly connected to new development and allowing contributions to be pooled for investment in broader community priorities. The results were nearly evenly divided.

The close result suggests there may be value in maintaining flexibility rather than establishing a single approach for all development. The UDC could potentially provide clear criteria for determining when on-site dedication provides the greatest benefit and when fees, credits, or alternative improvements could better advance the broader parks, open space, and trails system. The open house board itself framed this as a question of balancing convenient access within new development with the ability to direct resources toward broader community needs.

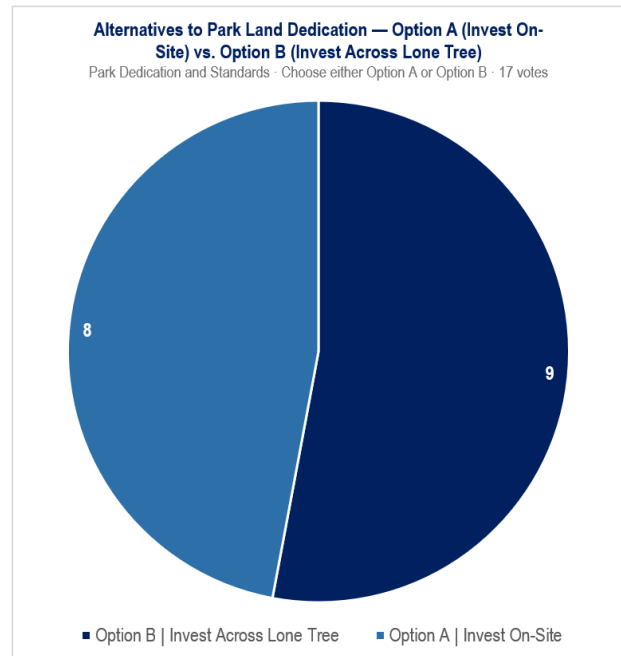


Image 8: Park Dedication and Standards Board (Station 9b)

Accessory Dwelling Unit (ADU) Feedback Indicates Interest but Also Concerns About Compatibility, Density, and Use

Participants identified building height and scale as the most important consideration for integrating ADUs into existing neighborhoods. Parking and vehicle access was identified as the second top consideration, followed by location and distance from neighboring properties. Responses regarding different ADU types were more difficult to interpret because the exercise asked participants to use green, yellow, and red dots to distinguish levels of comfort with different forms of ADUs, but the observed voting pattern suggests some participants may have used the dots in the same manner as other exercises, just selecting which type of ADU they liked the most. Accordingly, the total votes should not be interpreted as clear support or opposition to individual ADU forms. This topic will continue to be explored in the community engagement process.

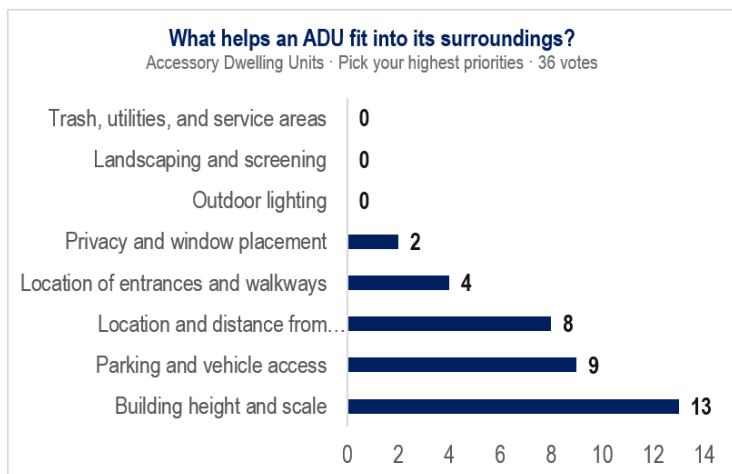


Image 9: Accessory Dwelling Units (ADUs) Board (Station 6)

Written comments provide more useful insight into the underlying concerns. Some participants saw value in ADUs for aging residents or family members, while others raised concerns about rental units, short-term rentals, increased density, infrastructure capacity, and the need for additional ownership opportunities.

Overall, the feedback suggests that future discussion of ADUs should focus not only on whether they are permitted, but on the standards and conditions that could address neighborhood compatibility, parking, density, and how units are used.

Conclusion

The Lone Tree UDC Open House provided valuable early input on how the community would like development regulations to address design quality, mobility, mixed-use development, housing choice, parking, signage, landscaping, parks, and public spaces. Approximately 30 participants engaged with the interactive boards and provided both quantitative preferences and written comments.

Across topics, participants generally expressed a desire for high-quality development that is walkable and connected, provides attractive and functional public spaces, incorporates landscaping and natural systems, and responds appropriately to its surrounding context. The feedback also highlighted areas where additional discussion will be important, particularly accessory dwelling units, parking flexibility, and how new development should contribute to parks and community amenities.

Because participation was limited to those attending the open house and several activities allowed multiple selections or were not completed exactly as instructed, the results should be treated as qualitative and directional rather than statistically representative of the broader Lone Tree community. They nevertheless provide useful insight into community priorities and tradeoffs and will be considered alongside focus group feedback, future questionnaires, staff input, adopted City plans, and direction from the Planning Commission and City Council as the UDC is developed.

Attachments:

- Attachment A: Open House Engagement Results
- Attachment B: Open House Engagement Event Images

Attachment A: Community Open House Engagement Results

Site Design

2

SITE DESIGN

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OVERVIEW

Site design shapes how buildings and outdoor areas relate to streets, public spaces, and neighboring properties. It can influence:

- How buildings are oriented and entered
- The location of parking, walkways, and gathering spaces
- The amount and placement of landscaping, trees, and shade
- Connections within the site and to surrounding areas
- How building façades, materials, and service areas contribute to the appearance of a place
- Transitions between different buildings, uses, and neighborhoods

LONE TREE ELEVATED DIRECTION

Goal #2: Lone Tree features vibrant and elevated places of design excellence.

Objective 1: Implement standards that support the desired scale, mass, and function of development for each neighborhood to maintain high quality development and reinvestment, consistent with the community's vision.

Objective 2: Identify and engage stakeholders to develop inclusive, functional, and distinctive places for all ages and abilities.

Goal #3: Lone Tree is a distinctive, vibrant, and welcoming city that values arts and culture.

Objective 3: Explore urban design strategies that create places that present a distinct and recognizable look and feel for the Lone Tree community to residents and visitors.

Q. Which of the following site-design outcomes are most important to you?

Different sites require different design approaches. Choose the **three** outcomes that are most important to you, and place a dot below the approach.

Buildings that relate well to their surroundings

Attractive, resilient landscaping

Comfortable connections and site edges

Trees, shade, and ground-level planting

Durable and sustainable building materials

Visually engaging building façades

Q. What makes a well-designed place?

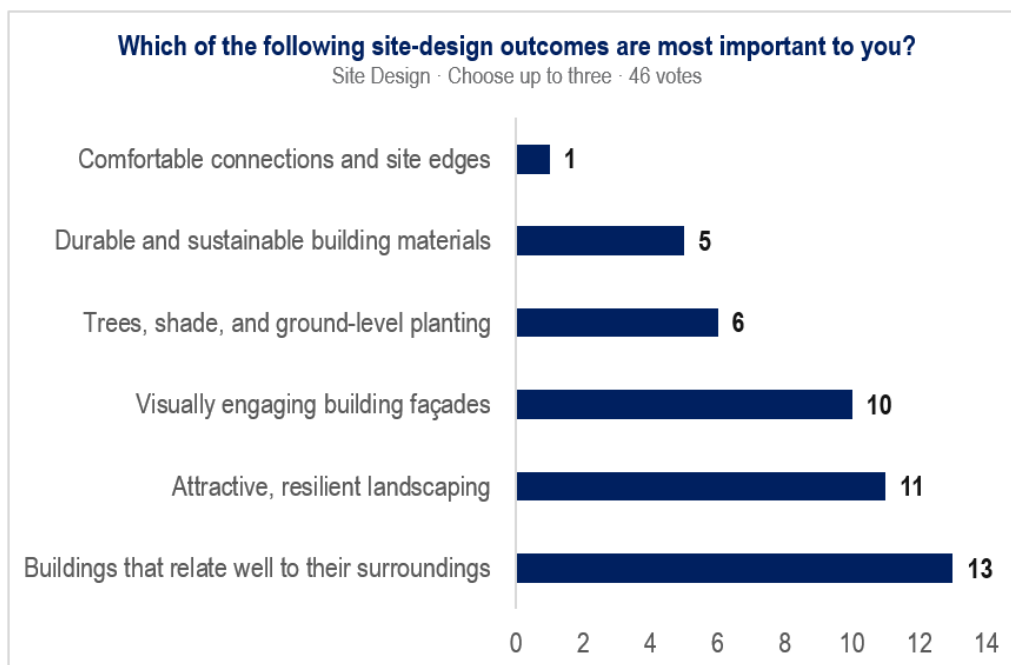
Site design can influence how buildings, landscaping, walkways, parking, and public spaces work together. Look at the examples below and tell us what you think by adding a sticky note.

What works well? What would you change?

Q. Finish this statement: Good development in Lone Tree should feel or be.... ?

Please put **one word** or a **short phrase** on a sticky note and add it below.

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Parking

3

PARKING

**UNIFIED
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CODE**

OVERVIEW
 Parking standards affect more than the number of spaces on a site. The amount, location, and design of parking can influence:

- The appearance and walkability of an area
- The amount of land available for buildings, landscaping, and public spaces
- Development costs and stormwater runoff
- Safety and accessibility for people walking through parking areas
- Opportunities for shared, off-site, on-street, or structured parking

Different locations and types of development may require different parking approaches.

LONE TREE ELEVATED DIRECTION

Goal #1: Lone Tree is a complete community comprised of a mix of land uses.

Objective 3: Ensure that plans and regulations support compact, walkable mixed-use development patterns and minimize surface parking for efficient use of land and infrastructure. Plans and regulations should be responsive to community interests and provide flexibility to adapt to market conditions within the context of the community vision.

Objective 6: Ensure projects work towards maintaining and achieving a walkable, connected community.

Q. Which approaches are most important to you?
 Parking areas can affect the appearance, comfort, and use of the areas between buildings and prominent streets. Choose which statement **you agree with the most** and add a dot.

Locate parking away from prominent streets to provide more space for walking, bicycling, landscaping, and active building frontages.

Use landscaping and other screening to reduce the visual impact of parking and provide a buffer between parked vehicles and pedestrian areas.

Balance parking with other site needs, such as buildings, landscaping, and public spaces, to support efficient use of land while allowing flexibility for different sites.

Q. Which parking approaches fit walkable commercial and mixed-use areas?
 Place a dot in **up to three** of the boxes that you think are the **best fit** for Lone Tree.

On-street parking

Shared public parking

Parking behind buildings

Structured parking

Active wrapped structures

Valet service with shared parking

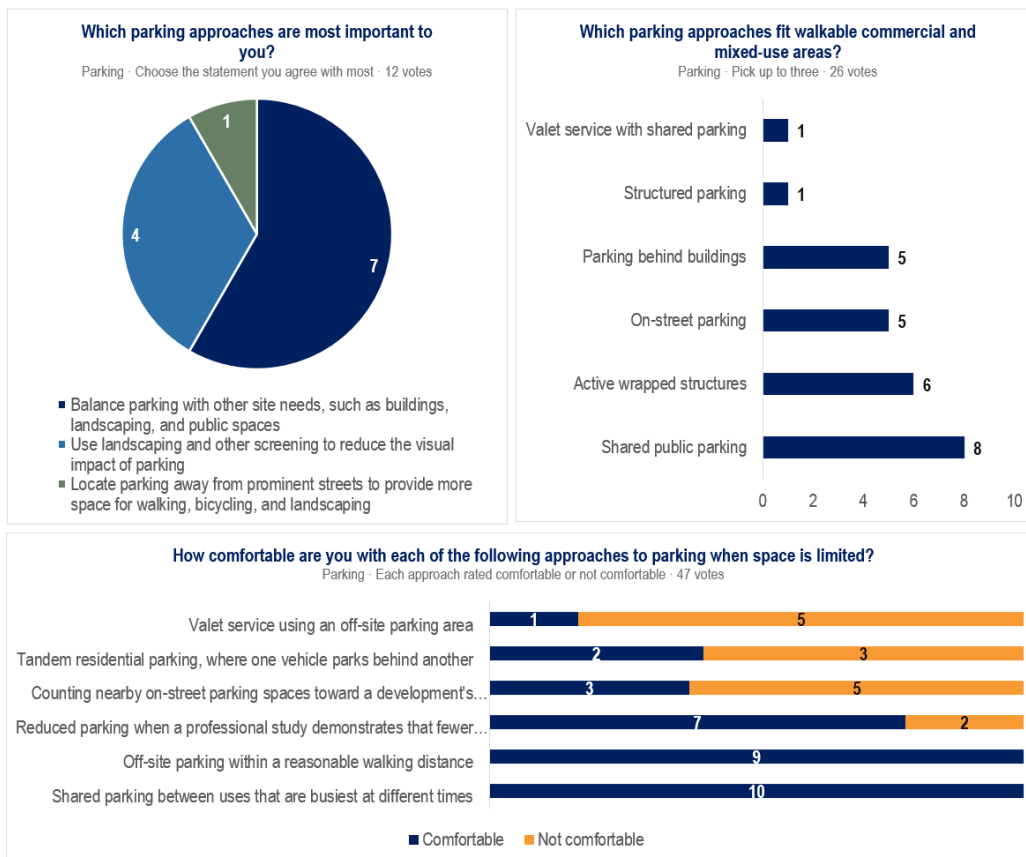
Q. How comfortable are you with each of the following approaches to parking?
 Different parking arrangements can provide flexibility where development space is limited. Place a sticker in the column that **aligns with your opinion**.

	COMFORTABLE	NOT COMFORTABLE
Shared parking between uses that are busiest at different times		
Counting nearby on-street parking spaces toward a development's parking requirements		
Tandem residential parking, where one vehicle parks behind another		
Off-site parking within a reasonable walking distance		
Valet service using an off-site parking area		
Reduced parking when a professional study demonstrates that fewer spaces are needed		

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Transportation and Connectivity

4 TRANSPORTATION AND CONNECTIVITY

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OVERVIEW

A UDC shapes transportation by setting standards for the streets, sidewalks, bicycle facilities, trails, crossings, and internal connections that accompany development. These standards influence whether people can comfortably walk or bike between destinations, whether transit stops are accessible, and whether individual sites contribute to a connected network. The code can also address the relationship between buildings and streets through frontage, access, block length, driveway spacing, and pedestrian route requirements.

LONE TREE ELEVATED DIRECTION

Goal #6: Lone Tree leverages multimodal transportation investments, identifies opportunities to enhance the multimodal transportation system, and enhances regional and local transportation connections.

Objective 1: Collaborate with partner agencies, property owners, developers, neighborhood groups, and community members to implement projects to improve safety for biking and walking.

Objective 2: Pursue the development of trails, greenways, sidewalks and streets that safely connect residents and employees to different districts, amenities, and destinations around Lone Tree.

Objective 5: Plan for last mile connections between transit stations and other key destinations.

Q. What contributes to a safe and pleasant pedestrian experience?

Place **one sticker for each element** in the column that **best reflects** its importance.

	ESSENTIAL	IMPORTANT	OPTIONAL
Continuous, accessible walking routes	●●●●●●●●	●●●●●●●●	
Direct routes	●●●●●●●●	●●●●●●●●	
Safe and clearly marked crossings	●●●●●●●●	●●●●●●●●	●●●●●●●●
Shade from trees or other features	●●●●●●●●	●●●●●●●●	●●●●●●●●
Separation or buffering from vehicle traffic	●●●●●●●●	●●●●●●●●	
Pedestrian-scale lighting	●●●●●●●●	●●●●●●●●	●●●●●●●●
Clear signs and wayfinding	●●●●●●●●	●●●●●●●●	

Q. How can new development improve connections?

Choose the **three outcomes** that are the most important to you and place a sticker in the box.

Comfortable, continuous sidewalks along and through development sites

●●●●●●●●

Safe, direct walking routes between buildings, parking areas, and public sidewalks

●●●●●●●●

Pedestrian and bicycle connections between adjacent developments

●●●●●●●●

Connections to nearby trails, parks, transit stops, and community destinations

●●●●●●●●

Street trees, shade, and landscaped buffers along pedestrian routes

●●●●●●●●

Safe and convenient bicycle connections

●●●●●●●●

Comfortable waiting areas and amenities near transit stops

●●●●●●●●

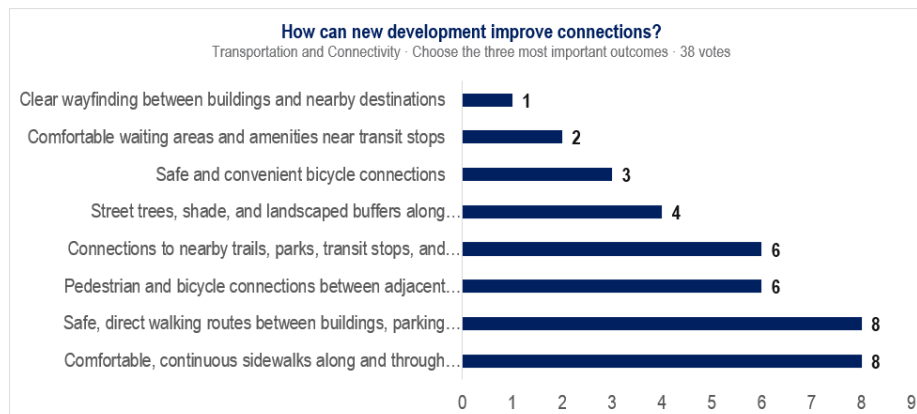
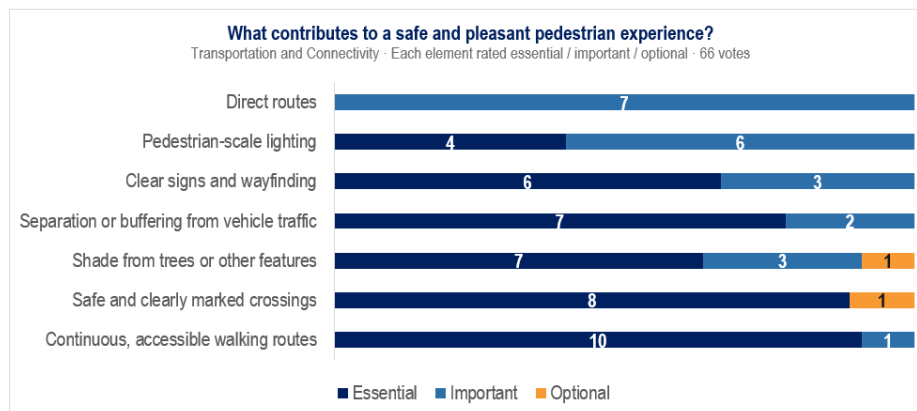
Clear wayfinding between buildings and nearby destinations

●●●●●●●●

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Mixed-Use Zoning

5 MIXED-USE ZONING

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OVERVIEW
Mixed-use places bring different activities and destinations together within a connected, walkable area. They may include:

- Housing
- Shops, restaurants, and services
- Offices and employment
- Civic and community uses
- Parks, plazas, and recreation

Uses can be combined vertically within the same building or horizontally across a connected group of buildings. Successful mixed-use places provide comfortable connections between destinations, active and welcoming ground floors, shared public spaces, and flexibility to respond to changing community and market needs.

LONE TREE ELEVATED DIRECTION

Goal #1: Lone Tree is a complete community comprised of a mix of land uses.

Objective 1: Encourage site design that maximizes function within the context of the greater community and infrastructure systems to promote a balanced and efficient distribution of land uses.

Objective 2: Clearly define mixed-use forms and establish standards that incentivize vertical mixed use or compact mixed-use site configurations.

Objective 7: Identify key high activity corridors to further facilitate mixed-use, walkable environments.

Q. How should different uses come together?

Mixed-use areas can combine housing, businesses, offices, and other activities in different ways. Which pattern do you prefer? Place **one** sticker next to the one you prefer.

Vertical Mixed-use:
Different uses are located within the same building. Often separated by floors.

Horizontal Mixed-use:
Different uses are located in separate, closely connected buildings within the same walkable area.

Q. What makes a mixed-use area successful?

Mixed-use areas bring different activities and destinations together. Which qualities are most important to you? Choose your **five** highest priorities and place a sticker in each of those rows.

Destinations located within a comfortable walking distance of one another	
Active ground floors along important streets and public spaces	
Plazas, pocket parks, and outdoor gathering spaces	
Comfortable sidewalks, street trees, and pedestrian amenities	
Convenient connections between buildings, parking, transit, and nearby destinations	
Shared parking that can serve multiple uses	
Small storefronts and flexible spaces for local businesses	
Outdoor seating and dining opportunities	

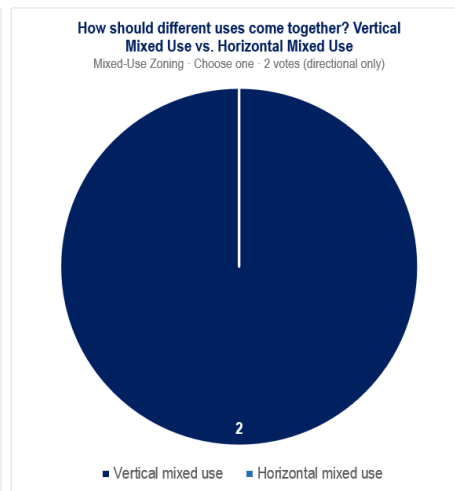
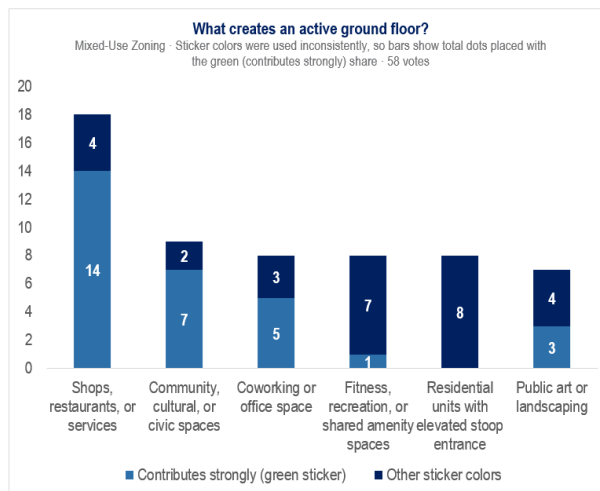
Q. What creates an active ground floor?

Ground floors can contribute activity and interest to a street even when traditional retail is not feasible. How well could each of the following contribute to an active and welcoming ground floor? Choose **which color sticker** aligns with your opinion and place **one response** for each approach.

● Contributes strongly ● Could contribute with appropriate design ● Does not contribute

Shops, restaurants, or services		Fitness, recreation, or shared amenity spaces	
Coworking or office spaces		Public art or landscaping	
Community, cultural, or civic spaces		Residential units with elevated stoop entrance	

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Accessory Dwelling Units (ADUs)

ACCESSORY DWELLING UNITS (ADUs)

OVERVIEW
An accessory dwelling unit, or ADU, is a smaller, independent home located on the same property as a primary residence. It typically includes its own living, sleeping, kitchen, and bathroom areas. ADUs can provide flexible housing for family members, caregivers, older adults, or renters. Their design and placement can also help address considerations such as privacy, parking, access, and compatibility with neighboring properties.

LONE TREE ELEVATED DIRECTION
Goal #4: Lone Tree has diverse and accessible housing
Objective 1: Pursue actions and strategies to continue to grow and diversify the housing stock in Lone Tree, including efforts to promote home ownership.
Objective 3: Promote programs and policies to increase the inventory of affordable housing units in Lone Tree to enable people who work in the area to live here, and to ensure that people can stay in the community as they age.
Objective 4: Explore land use strategies and administrative approaches that minimize costs related to housing development.

Q. What helps an ADU fit into its surroundings?
Which considerations are most important when an ADU is added to an existing residential property? Place a dot on your **three** highest priorities.

Building height and scale

Privacy and window placement

Parking and vehicle access

Outdoor lighting

Location and distance from neighboring properties

Location of entrances and walkways

Landscaping and screening

Trash, utilities, and service areas

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Q. How comfortable are you with each type of ADU when it is appropriately designed for the property?

Accessory dwelling units are smaller, independent homes located on the same property as a primary residence. They can take several forms. Choose **which color sticker** aligns with your opinion and place **one response for each form**.

● Comfortable
● Comfortable with conditions
● Not Comfortable

* Images from AARP ACB's of ADUs

DETACHED

INTERIOR LOWER LEVEL

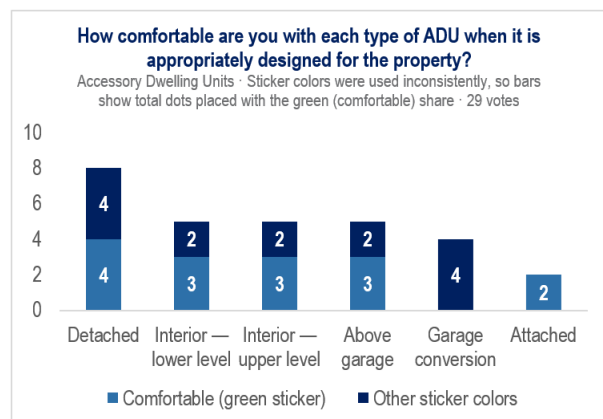
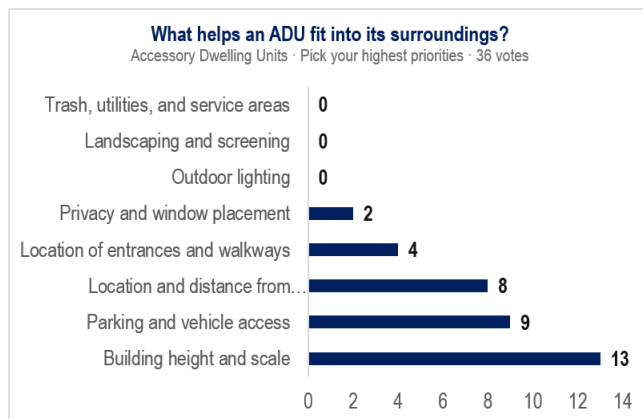
INTERIOR UPPER LEVEL

ATTACHED

ABOVE GARAGE

GARAGE CONVERSION

Q. What benefits or concerns do you associate with ADUs?



Design Standards: Signs

DESIGN STANDARDS: SIGNS

INTERVIEW

standards help businesses and community destinations communicate while protecting traffic, visual quality, and neighborhood character. A UDC can regulate the location, size, height, depth, orientation, movement, and duration of sign message changes without regulating the viewpoint or age of the sign. Electronic message signs require particular attention because brightness, animation, change frequency, and operating hours can affect drivers and nearby properties.

LONE TREE ELEVATED DIRECTION

Goal #2: Lone Tree features vibrant and elevated places of design excellence.

Objective 3: Integrate design with natural systems and landmarks to preserve ecological, agricultural, historic, and cultural resources

Goal #5: Lone Tree maintains a diverse and vibrant economy

Objective 2: Promote Lone Tree as a regional destination for retail, entertainment, and recreational amenities through attraction of economic investment and reinvestment in community assets.

Objective 3: Align land use and development patterns with the City's goals of balancing the service needs associated with different types of land uses with revenue (to the City) anticipated from different land use types.

How should signage look to support lone tree's community character??

Put a sticker next to **any of the following statements** that you agree with.

er and smaller signs help create an attractive, cluttered streetscape

ger or more visible signs can help people find illnesses and destinations

Electronic signs can be appropriate when their brightness, movement, and frequency of message changes are limited.

businesses should have more flexibility to choose the type, size, and design of signs that meet their needs

Clearer design standards are important to ensure signs are attractive, high-quality, and appropriately located.

Standards should vary by context, with different expectations for neighborhoods, commercial areas, and major roadways.

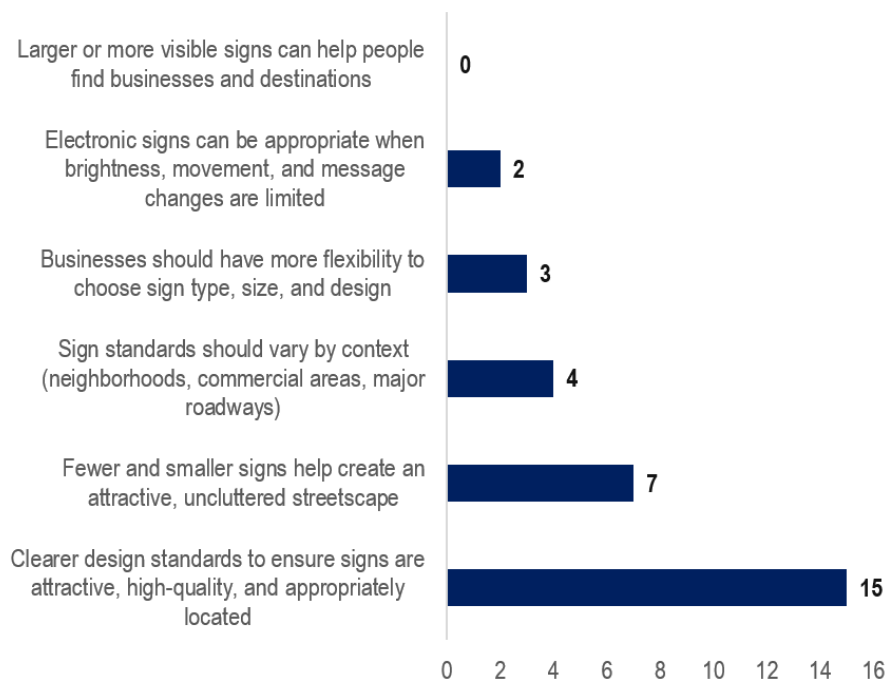
Q. What works well and what could be improved?

Signs can vary in their size, location, materials, lighting, landscaping, and relationship to surrounding buildings and streets. Review the examples of signs and share your thoughts about their design by sticky note.

Tell us what you like and dislike about these types of signs



Signs · Choose any that you agree with · 31 votes



Creating Public Spaces

CREATING GREAT PUBLIC SPACES

INTERVIEW

to the community identify what they value most from public and shared outdoor spaces, how those spaces should function within the broader Parks, Open Space, and Trails (POST) system, and what characteristics make public spaces meaningful, accessible, and useful.

Feedback will inform the POST Master Plan's vision, system framework, improvement opportunities, and recommendations. The goal is to understand community needs and desires, identifying underserved areas and opportunities, and developing a framework for future park planning and development.

IMPORTANT NOTE

Your feedback will help inform the POST Master Plan. The POST Master Plan will look at community needs, system gaps, future opportunities, and the types and locations of parks, trails, open spaces, and amenities that can best serve Lone Tree.

Q. What does great outdoor community space look like?

Different projects and public spaces may serve the community in different ways. Which qualities are most important to you? Choose your **three** highest priorities and add a dot.

Shade and Comfort

Recreation and Play

Nature and Habitat

Gathering and Social Spaces

Trails and Walking/Biking Connections

Public Art and Placemaking

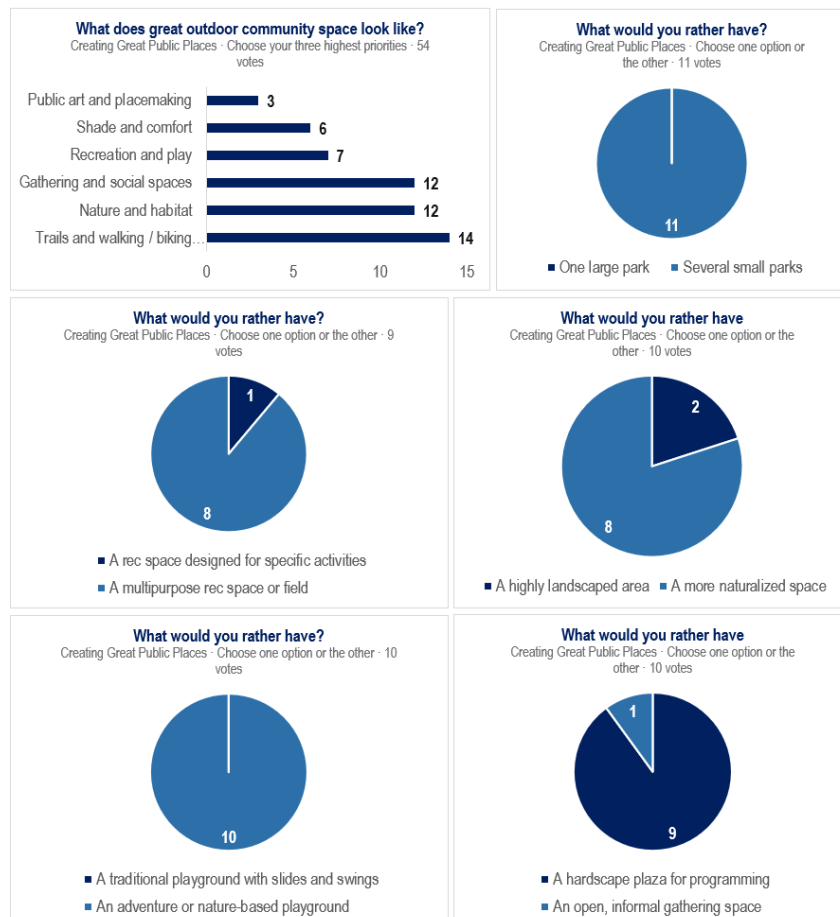
Q. What should public spaces help accomplish in Lone Tree?

Looking ahead, what should be preserved, improved, connected, or added to Lone Tree's parks, trails, open spaces, plazas, and gathering places?

Q. What would you rather have? Balancing tradeoffs.

Public spaces can provide different experiences and benefits. Place **one** sticker next to the outcome you prefer in each scenario. Choose **either** the left option or the right option.

One large park	Several small parks connected throughout the area
A recreation space designed for specific activities	A multi-purpose recreation space or field
A highly landscaped space	A more naturalized space
A traditional playground with slides and swings	Adventure or nature based playground
A hardscape plaza for programming	An open, informal gathering space



Park Dedication and Standards

PARK DEDICATION AND STANDARDS

OVERVIEW

As Lone Tree grows, new development can help provide parks, trails, plazas, public art, transportation improvements, and other amenities that serve new residents, employees, and the broader community. The UDC can establish clear dedication, improvement, and fee requirements while allowing alternatives when additional land dedication is not practical or does not produce the greatest public value. Any requirement must be legally proportionate to the impacts of development, but the City can use adopted standards and credit systems to clarify eligible improvements and how they are valued.

LONE TREE ELEVATED DIRECTION

Goal #7: Lone Tree has a rich, connected system of outdoor & recreational amenities.

Objective 1: Plan for an interconnected system of parks, plazas, trails, and open spaces to create a network of non-vehicular corridors that provide primary routes of travel for pedestrians and bicyclists, with access to all of the recreational amenities in the City.

Objective 2: Explore dedication standards that consider the value of amenities and promote the even distribution of public spaces and investment to address community needs.

Objective 3: Adopt parks, plaza, trails, and open space design standards to ensure that recreational amenities are accessible to all and serve the interests of the community.

Goal #2: Lone Tree features vibrant and elevated places of design excellence.

Objective 4: Consider a variety of project amenities and placemaking elements appropriate to the project design and context that may be valued to satisfy park dedication standards in the municipal code.

Alternatives to Park Land Dedication

Lone Tree currently requires new development to provide land for parks and open space. As the city grows and available land becomes more limited, should these contributions continue to focus on providing amenities within new developments, or could they be used to support community priorities across Lone Tree?

Place **one** sticker next to the outcome you prefer. **Choose either Option A or Option B**

Option A | Invest On-Site

Require developers to provide park land, trails, plazas, recreation amenities, or other public spaces within directly connected to their development, so new sports and the surrounding area have convenient access to amenities

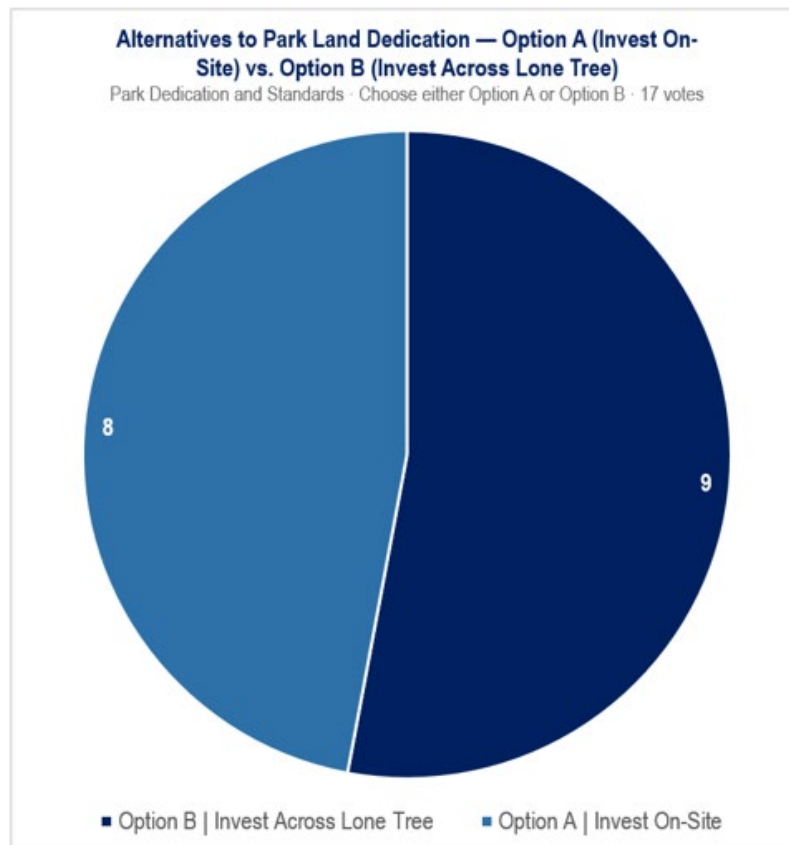
Option B | Invest Across Lone Tree

Allow developers to contribute funding that the City can combine and invest where it will provide the greatest community benefit, including improving or maintaining parks and trails or supporting other community priorities.

Q. What should every new park or public space provide?

Parks and public spaces may vary in size, setting, and purpose, but some features may be important across many different types of spaces. What features or qualities should be considered essential for new parks and public spaces in Lone Tree?

Write **one feature or quality** per sticky note. Place your note on the board and group it with similar ideas already posted.



Design Standards: Landscaping and Natural Resources

DESIGN STANDARDS: LANDSCAPING AND NATURAL RESOURCES

OVERVIEW
Thoughtful landscaping and site design can contribute to attractive, comfortable, safe, and environmentally responsible places. They can help:

- Conserve water through climate appropriate planting
- Provide trees, shade, seasonal interest, and comfortable outdoor spaces
- Improve visibility and create safer pedestrian routes and gathering areas
- Screen parking, utilities, and service areas
- Support long-term landscape health and maintenance
- Capture, absorb, and filter stormwater through green infrastructure

**UNIFIED
DEVELOPMENT
CODE**

LONE TREE ELEVATED DIRECTION

Goal #8: Lone Tree is a safe, prepared, and healthy community

Objective 1: Integrate safety considerations into the built environment to enhance public safety and maximize crime prevention.

Objective 2: Coordinate land use plans and development with comprehensive disaster preparedness through collaboration with relevant agencies.

Objective 4: Enhance the quality of emergency management systems (including evacuation routes) serving the Lone Tree community and complement them through site design.

Goal #9: Lone Tree is resilient and sustainable

Objective 2: Increase the efficiency and conservation of resources in the infrastructure systems serving the City through strategic planning, investment and partnerships.

Goal #10: Lone Tree protects its natural systems

Objective 1: Ensure development proposals are assessed for their impact to natural systems and that consideration of such impacts represents a balance between the community's goal of protecting such systems, with its interest in supporting intentional development.

Q. What site-design features make you feel safe?

The design and maintenance of outdoor spaces can improve visibility, support activity, and people feel more comfortable. Choose your top **three** and add a dot.

Clear views along sidewalks, pathways, and gathering spaces

Landscaping that does not block visibility

Well-lit entrances and pedestrian routes

Building entrances and windows facing public spaces

Clearly marked routes and entrances

Defined transitions between public and private spaces

Active uses and gathering areas that bring people into a space

Q. What matters most to you in a water-wise landscape?

Water wise landscapes can conserve water while also providing shade, beauty, habitat, and comfortable outdoor spaces. Choose your **three** highest priorities and add a dot.

Trees and shade

Native and climate-appropriate plants

Seasonal color and visual interest

Attractive ground cover and alternatives to turf

Landscaping that is durable and easy to maintain

Pollinator-friendly planting

Q. Could these approaches work well in Lone Tree?

Green infrastructure uses landscaping and other site features to capture, absorb, or filter stormwater while contributing to the appearance of a place. What **benefits** or **concerns** do you see? Review the examples and tell us your thoughts by **adding a sticky note**.

Rain gardens



Rainwater harvesting



Floodable parks



Green roofs



What matters most to you in a water-wise landscape?

Design Standards: Landscaping and Natural Resources - Choose your three highest priorities - 44 votes

Priority	Votes
Pollinator-friendly planting	1
Attractive ground cover and alternatives to turf	5
Seasonal color and visual interest	6
Native and climate-appropriate plants	10
Landscaping that is durable and easy to maintain	11
Trees and shade	11

What site-design features make you feel safe?

Design Standards: Landscaping and Natural Resources - Choose your top priorities - 29 votes

Priority	Votes
Defined transitions between public and private spaces	0
Landscaping that does not block visibility	1
Clearly marked routes and entrances	2
Building entrances and windows facing public spaces	2
Active uses and gathering areas that bring people into a space	7
Well-lit entrances and pedestrian routes	7
Clear views along sidewalks, pathways, and gathering spaces	10

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Attachment B: Community Open House Engagement Event Images







